



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra Heiler
Chairman

Date: January 11, 2019

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit: 840182 – Rear Porch and Window and Door Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the August 15, 2018 Historic Preservation Commission meeting with an additional modification approved at the February 12, 2019 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Sarah Boehm & Leonard Newmark
Address: 111 Elm Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



111 ELM AVENUE, TAKOMA PARK, MD

INTERIOR ALTERATIONS WITHOUT STRUCTURAL CHANGES

PROJECT SCOPE

Existing 1-1/2 story wood framed residence is a contributing resource in the Takoma Park Historic District. The project scope includes a minor interior renovation and small rear deck addition for better access to the yard from the existing screen porch. The expansion of the kitchen requires changes to the existing door and window openings on the rear elevation only. Small, single level deck designed in accordance with Montgomery County Deck Details.

Construction to be in conformance with the IRC and IECC, 2015 Edition, as amended by Montgomery County Executive Regulation No 8-12.

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DRAWING LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING WALL TO REMAIN AS IS
- NEW CMU BLOCK WALL
- NEW POURED CONC WALL
- NEW WOOD STUD WALL; 2x6 EXTERIOR, 2X4 INTERIOR
- NO NEW WORK - EXISTING TO REMAIN

TYPICAL DRAWING NOTES

- EX. BASEMENT WALLS DRAWN AS MASONRY/ CONCRETE AND HAVE FRAMED WALLS AS SHOWN.
 - EXISTING HOUSE WALLS ARE DRAWN WITH FINISHES. NEW ADDITION ARE DRAWN AS FRAMING. FINAL FINISH SURFACES SHALL ALIGN.
 - 2X4 STUD WALLS ARE TYPICAL AT INTERIOR U.O.N.
 - EXTERIOR WALLS ARE 2X6 FRAME, SHEATHING, AND INSULATION PER NOTES ON PLAN.
- USE EFFICIENT FRAMING METHODS WHERE POSSIBLE**
- NON-LOAD BEARING WALL STUDS AT 24" CENTER
 - WINDOW ROUGH OPENINGS ELIMINATE JACK STUD
 - NON-STRUCTURAL HEADERS IN NON-LOAD BEARING WALLS
 - SINGLE TOP PLATE WITH STACKED FRAME
 - 2-STUD CORNERS W/DRYWALL CLIPS OR ALT. FRAMING
 - T-WALLS W/DRYWALL CLIPS OR ALTERNATIVE FRAMING

GENERAL DEMOLITION NOTES

- REMOVE WALLS, DOORS, TRIM, FINISHES, FIXTURES, AND CABINETS AS NOTED. PREPARE FOR NEW WALL FRAMING PER NEW DESIGN INTENT AND FINISHES.
- SALVAGE DOORS, HARDWARE, TRIM, WINDOWS, FIXTURES, ETC FOR REUSE WHERE APPLICABLE.
- SALVAGE WOOD FLOORING FOR PATCHING AS R'ORD.
- REMOVE SELECT WINDOWS AND PREPARE NEW ROUGH OPENINGS AND LOCATIONS PER NEW DESIGN INTENT FOR NEW WINDOWS - SEE WINDOW SCHEDULE OR PLAN NOTES.
- TEMPORARILY BRACE AND REINFORCE STRUCTURE AS REQUIRED. INSTALL NEW BEAMS AND POSTS FOR NEW DESIGN INTENT - SEE STRUCTURAL DRAWINGS.
- RELOCATE MECHANICAL DUCTS, VENTS, UNITS, AND EXTERIOR AC AS REQUIRED FOR NEW DESIGN INTENT.
- RELOCATE PLUMBING AS REQUIRED FOR NEW DESIGN.

BUILDING PLANNING

- DESIGN CRITERIA SHALL BE:
GROUND SNOW LOAD 30 PSF
WIND SPEED 115 MPH (3 SECOND GUST)
SEISMIC ZONE: B
FROST LINE DEPTH 30"
- MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
ATTICS W/O STORAGE 20 PSF
ATTICS W/O STORAGE 10 PSF
DECKS 40 PSF
EXTERIOR BALCONIES 40 PSF
PASSENGER VEHICLE GARAGES (GRADE) 50 PSF
ROOMS OTHER THAN SLEEPING 40 PSF
SLEEPING ROOMS 30 PSF
STAIRS 40 PSF

INSULATION SPECIFICATIONS

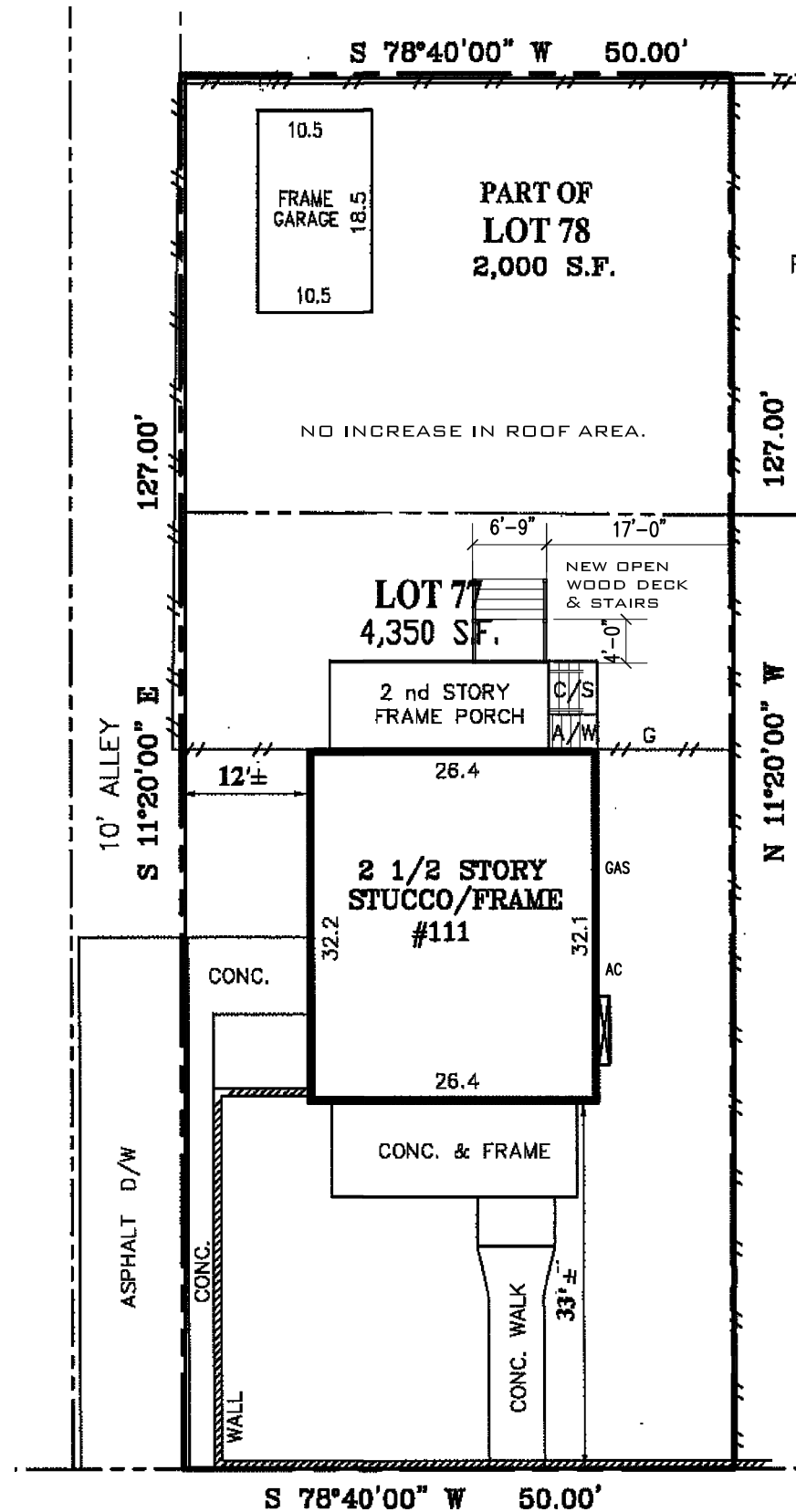
- PROVIDE INSULATION TO MEET THE MINIMAL R VALUE IN AREA OF NEW WORK, TYPICAL EXCEPT AS NOTED ON DRAWINGS. BATT INSULATION SHALL BE FORMALDEHYDE FREE. RIGID INSULATION AS NOTED. CLOSED/OPEN SPRAY FOAM IF NOTED. MINIMUM VALUES ARE PER TABLE R402.1.1 OF THE 2015 IRC - CLIMATE ZONE 4:
R-49 FOR ROOF OF ADDITION AND EXISTING
R-38C OR R-38 FOR NEW ROOF AREA OVER EXTERIOR WALLS W/ LIMITED SPACE (LESS THAN 20% OF AREA)
R-21 FOR EXTERIOR WALLS MINIMUM;
2X6 STUDS W/R-21 BATT INSULATION
R-25 FOR FLOORS OVER UNCONDITION AIR / GARAGE
R-11 UNFACED FOR INTERIOR WALLS
R-30 AT BAND JOIST
R-15 FOR STUD CAVITY AT BASEMENT WALL
R-10 FOR CONTINUOUS AT BASEMENT WALL
R-10 RIGID UNDER CONCRETE SLAB & B/W FTG
- SEE WINDOW SCHEDULE FOR U-FACTORS.
- INSULATE INTERIORS FOR ACOUSTICS: INTERIOR FLOORS AND INTERIOR WALLS AT PLUMBING AND BATHROOMS. FORMALDEHYDE FREE BATT OR DENSE PACK CELLULOSE.

REVIEWED

By Dan.Bruechert at 11:16 am, Feb 13, 2019

APPROVED

Montgomery County
Historic Preservation Commission



ELM AVENUE
(40' R/W)

SITE PLAN - NEW WORK

Scale: 1/16" = 1'-0"



M J W
DESIGNS

Project Architect - Maria Wright
443.994.8777

maria@mjwdesignsllc.com

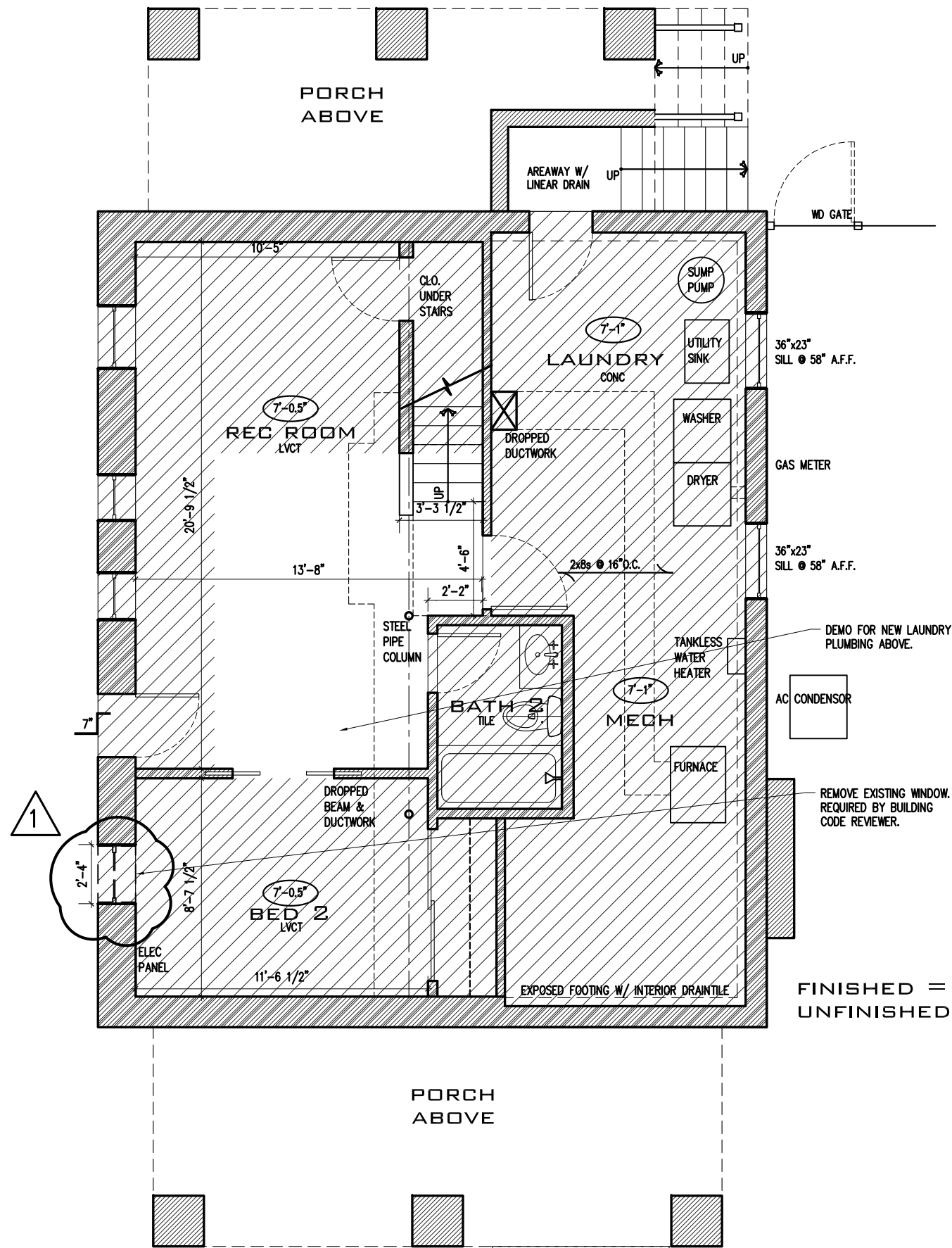
BOEHM-NEWMARK RESIDENCE

111 Elm Avenue
Takoma Park, MD 20912
Interior Renovation

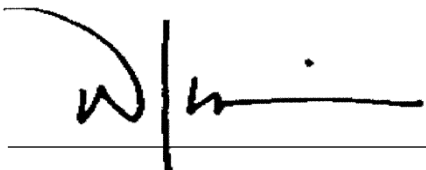
Issue: PERMIT
Date: 2018.09.11
REV. 1
2009.01.16

COVER SHEET





C-S
10



FINISHED = 475 SF
 UNFINISHED = 375 SF

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DRAWING LEGEND	
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	EXISTING WALL TO REMAIN AS IS
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BASEMENT PLAN - DEMO
 Scale: 3/16" = 1'-0"

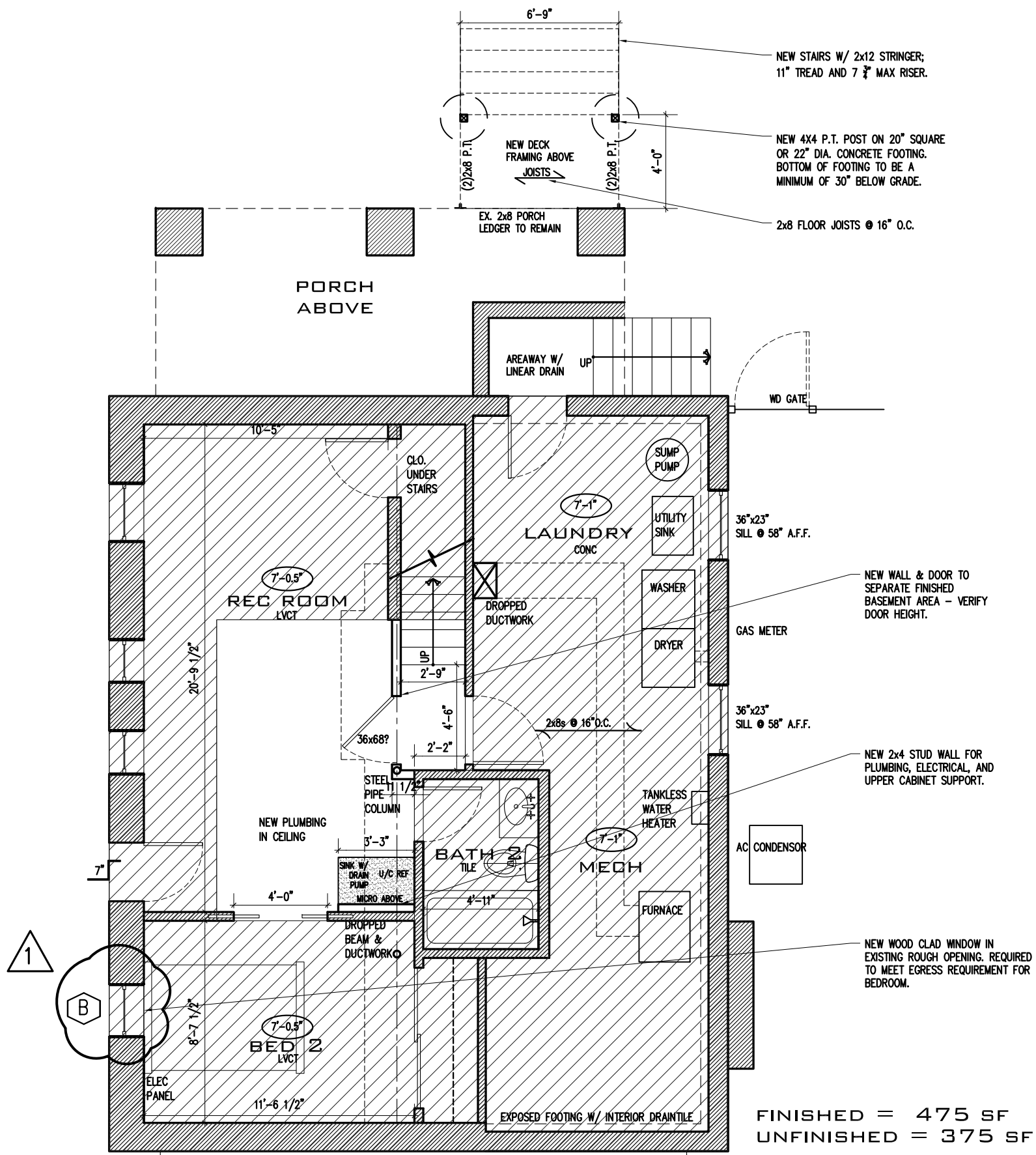
**M J W
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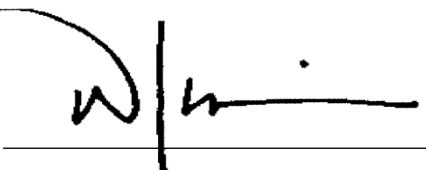
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REV. 1	2009.01.16

DEMO PLAN

D-1
 11







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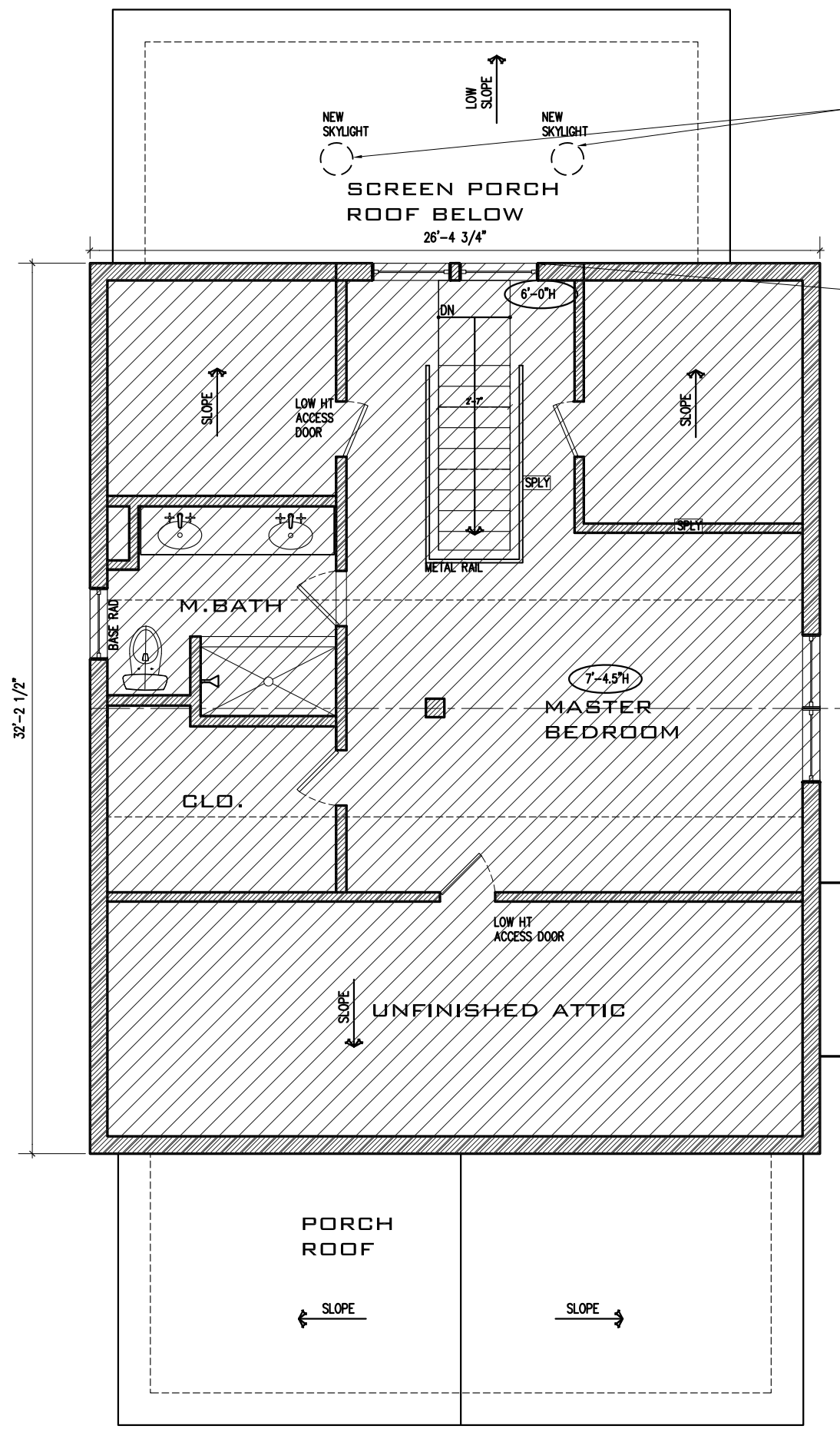
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Interior Renovation

Issue:	Date:
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PERMIT	
REV. 1	2009.01.16

NEW PLAN

A-1
12

BASEMENT PLAN - NEW WORK
Scale: 3/16" = 1'-0" 



NEW SKYLIGHTS IN EXISTING PORCH ROOF; COORDINATE SIZE & LOCATION W/ EXISTING ROOF FRAMING.

REPAIR FLASHING AND ADD CONTINUOUS ICE & WATER SHIELD FOR LOW SLOPE ROOF. NEW EPDM ROOFING MATERIAL TO MATCH EXISTING.

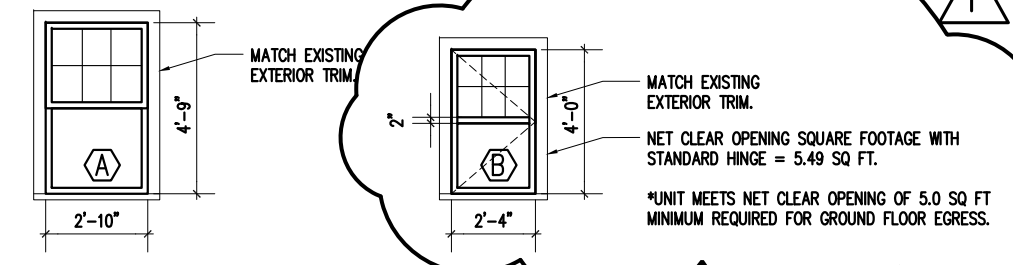
FINISHED = 450 SF

SECOND FLOOR PLAN - NEW WORK
Scale: 3/16" = 1'-0"

EXTERIOR WINDOW & DOOR SCHEDULE		QUANTITY			
		UP	LT.	RT.	FXD
(A)	SCD3856 - 6/1 SIMULATED DIVIDED-LITE PATTERN.	1			
(B)	SCC2848 - 6/1 SIMULATED DIVIDED LITE PATTERN WITH MODIFIED CHECKRAIL			1	
(1)	PR805W30611 - SITELINE CLAD WOOD OUTSWING PATIO DOOR W/ TRANSOM PROOSTWSQ14, TEMPERED GLAZING.			1	
(2)	SIMPSON DOOR, MODEL 36802 CRAFTSMAN TWO PANEL - TWO LITE (SDL), TEMPERED GLAZING.			1	
(3)	VELUX SUN TUNNEL SKYLIGHT IN SCREEN PORCH; COORDINATE SIZE W/ EXISTING FRAMING				2

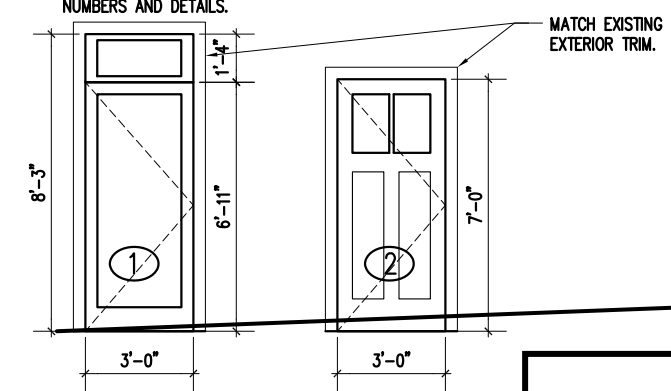
NEW WINDOWS

DIMENSIONS NOTED ARE GENERAL UNIT DIMENSIONS. SEE MANUFACTURER FOR ROUGH OPENING SIZE. SEE SCHEDULE FOR MODEL NUMBERS AND DETAILS.



NEW EXTERIOR DOORS

DIMENSIONS NOTED ARE GENERAL UNIT DIMENSIONS. SEE MANUFACTURER FOR ROUGH OPENING SIZE. SEE SCHEDULE FOR MODEL NUMBERS AND DETAILS.



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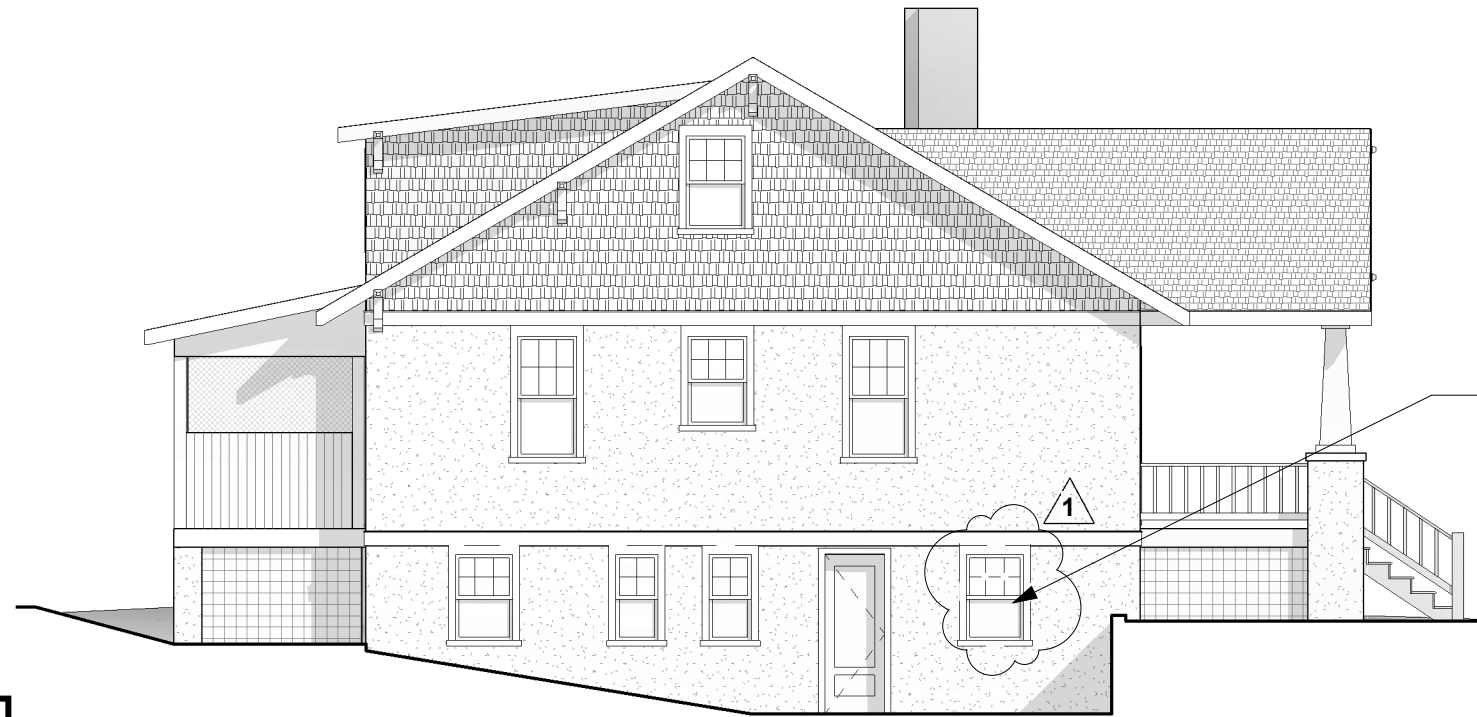
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NEW PLAN

A-3
13

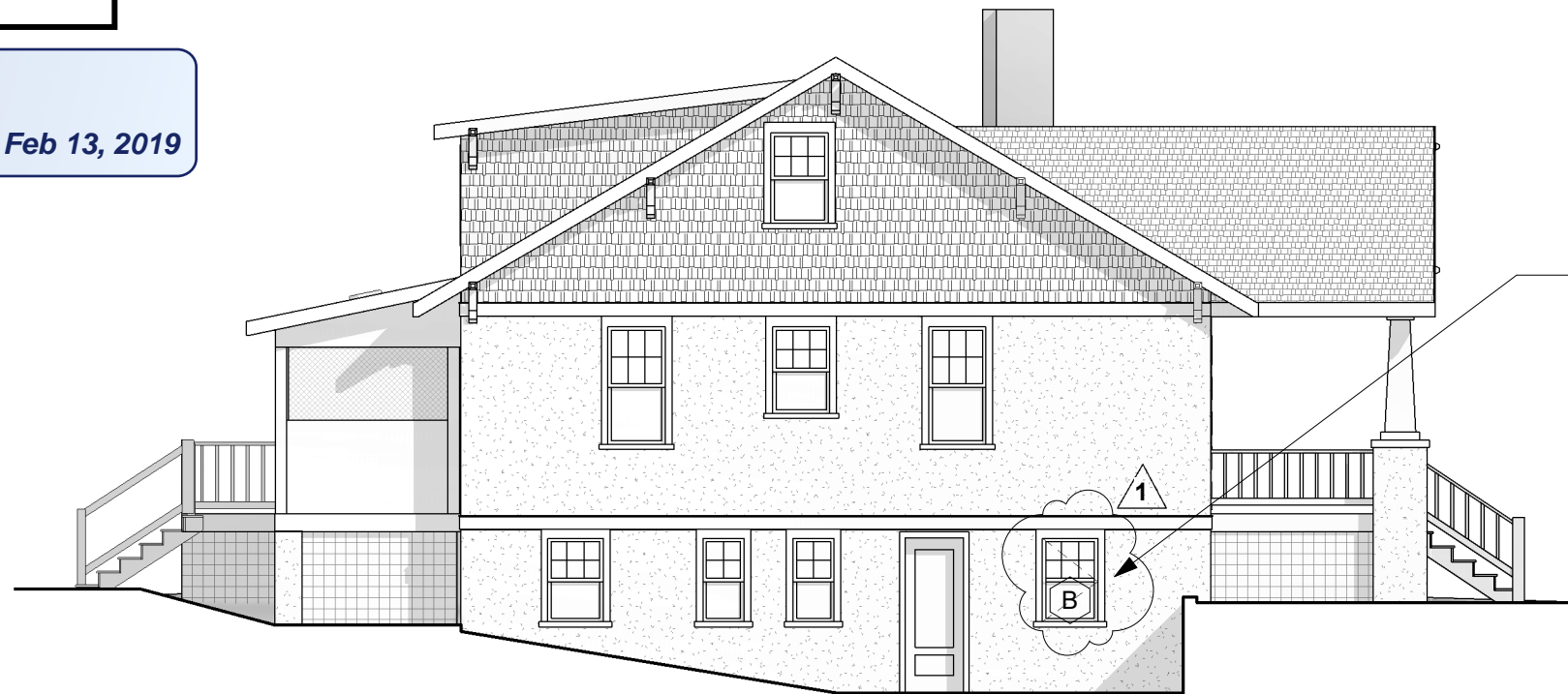


REMOVE EXISTING WINDOW.
REMOVAL WAS REQUIRED
DURING BUILDING CODE
REVIEW BECAUSE IT DOES NOT
MEET EGRESS REQUIREMENTS
FOR A BEDROOM.

APPROVED
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① EAST SIDE ELEVATION DEMO
1/8" = 1'-0"

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NEW CLAD WOOD WINDOW
IN EXISTING WINDOW
OPENING. NEW WINDOW
TO MEET BUILDING CODE
REQUIREMENT FOR
EGRESS IN BEDROOM. SEE
SCHEDULE - SHEET A-3.

② EAST SIDE ELEVATION - PROPOSED
1/8" = 1'-0"

**MJW
DESIGNS, LLC**

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ELEVATION

A-8
14