



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: August 17, 2020

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic Area

SUBJECT: Work Permit: #869721: Porch, Dormer, and Building Additions

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the April 10, 2019 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: **Alex Nephew & Kathryn Doyle**
Address: 5914 Cedar Pkwy., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



GENERAL NOTES

- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated February, 2019. Dimensions provided herein are accurate to 0.10-ft.
- Total lot area: Parcel 623= 14,704 sq. ft. (0.338 Acres)
- Property is located on Tax Map HN341 and WSSC 200 Sheet 208NW04.
- Property is located on Montgomery County soils survey map number 27. Soil type(s): ZUC, 1C, Glenelg-Urban land complex & Galia silt loam. Hydrologic Soil Group "B".
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C045D.
- Property is located in the Little Falls Branch Watershed.
- Water Category - 1, Sewer Category - 1
- Local utilities include:
Water / Sewer - Washington Suburban Sanitary Commission
Electric - Pepco
Telephone - Verizon
Gas - Washington Gas
- Property is located in the incorporated municipality of Chevy Chase Village.

ZONING DATA

- Zoning: R-40**
Minimum Lot Area = 6,000 sq ft
Minimum Lot Width at RW = 25 ft
Minimum Lot Width at S.R.L. = 50 ft
Front B.R.L. = 25 ft (Per CCV & McCo) (1)(1)
Rear B.R.L. = 20 ft min. (Per CCV & McCo) (3)
Side B.R.L. = 7 ft min. (Per CCV & McCo) (1)(1)(1)
- Per Montgomery County Code Section 4.4.1.A.1, the established building line only applies to new buildings, and does not apply to an alteration or addition to an existing building.
- Per Chevy Chase Village Code Section 8-16(c), no structure of any description shall be erected within twenty-five (25) feet of the front lot line of any lot.
- Per Chevy Chase Village Code Section 8-16(h), no part of any main building shall be erected within twenty (20) feet of the rear lot line of the property upon which it is located.
- Per Montgomery County Code Section 7.7.1.D.2.c, a detached house on a platted lot, parcel, or part of a previously platted lot that has not changed in size or shape since June 1, 1958, exclusive of changes due to public acquisition, may be constructed or reconstructed in a manner that satisfies the maximum building height, lot coverage and established building line of its zone when the building permit is submitted and the side yard and rear setback required by its pre-1958 zoning in effect when the lot, parcel or part of a lot was first created.
- This property was created prior to January 1, 1954, therefore 7 foot side setbacks are permitted.
- Per Chevy Chase Village Code Section 8-16(g), no part of any building or structure shall be erected or maintained within seven (7) feet of the side or rear lot lines, nor within ten (10) feet of the nearest adjacent dwelling, provided, however, that externally attached gutters shall not be considered part of any building or structure for purposes of this subsection (see Sec. 8-15).

CHEVY CHASE VILLAGE - ZONING INFORMATION

In accordance with Section 8-16, Residential building construction prohibitions:
8-16 (g) side and rear setback. Except as otherwise specifically stated in the Chapter no part of any building or structure shall be erected or maintained within seven (7) feet of the side or rear lot lines nor within ten (10) feet of the nearest adjacent dwelling, provided, however, that externally attached gutters shall not be considered part of any building or structure for purposes of this subsection (see Sec. 8-15)

Proposed setback for Pergola structure is 7-feet.
Proposed setback for Pergola rafters is 5.5-feet. A Variance of 1.5-feet is hereby requested.

In accordance with Section 8-21 Installation and maintenance of fences, walls trees, hedgess shrubbery, lamp posts, hand rails and arbors.
8-21 (d) Fence and wall height in rear yard: No person shall construct any fence or wall at any location between the front building line and rear property line nor along any rear property line having a height greater than six and one-half (6.5) feet. The measurement shall be made from the surface of the ground of the lower yard next to the fence or wall.

Proposed wood fence not to exceed 6.5 feet in height.

Proposed wall not to exceed 6.5 feet in height.

8-21(g) Arbors: An arbor or trellis, or lattice or other open construction shall be subject to the same setback location requirements as a fence, provided it does not exceed three (3) feet in depth, five (5) feet in width and eight and one-half (8.5) feet in height when located in a side or rear yard. An arbor that is not of open construction or that exceeds any of the foregoing dimensions shall be subject to the setback requirements for structures.

FENCING NOTE:

ALL PROPOSED FENCING SHALL BE LOCATED INSIDE OF THE SUBJECT PROPERTY LINES. FENCING MAY NOT EXCEED 6.5-FT IN HEIGHT, MEASURED FROM THE LOWEST GRADE ON EITHER SIDE OF THE FENCE.

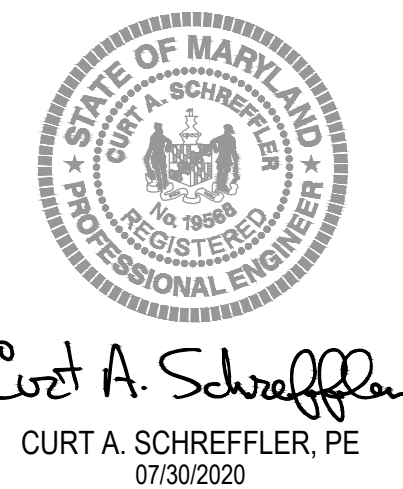
APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler

REVIEWED
By Dan.Bruechert at 11:24 am, Aug 17, 2020

CAS JOB NO.: 19-057
DATE: 03/2019

| DATE | REVISION |
|----------|--|
| 03/08/19 | JSC - Topo Survey to Client, Builder and Architect |
| 04/30/19 | JAR - BPSP - For Permit application |
| 04/16/20 | JAR - For Building Permit Application |
| 07/30/20 | JAR - Revised to include proposed driveway |

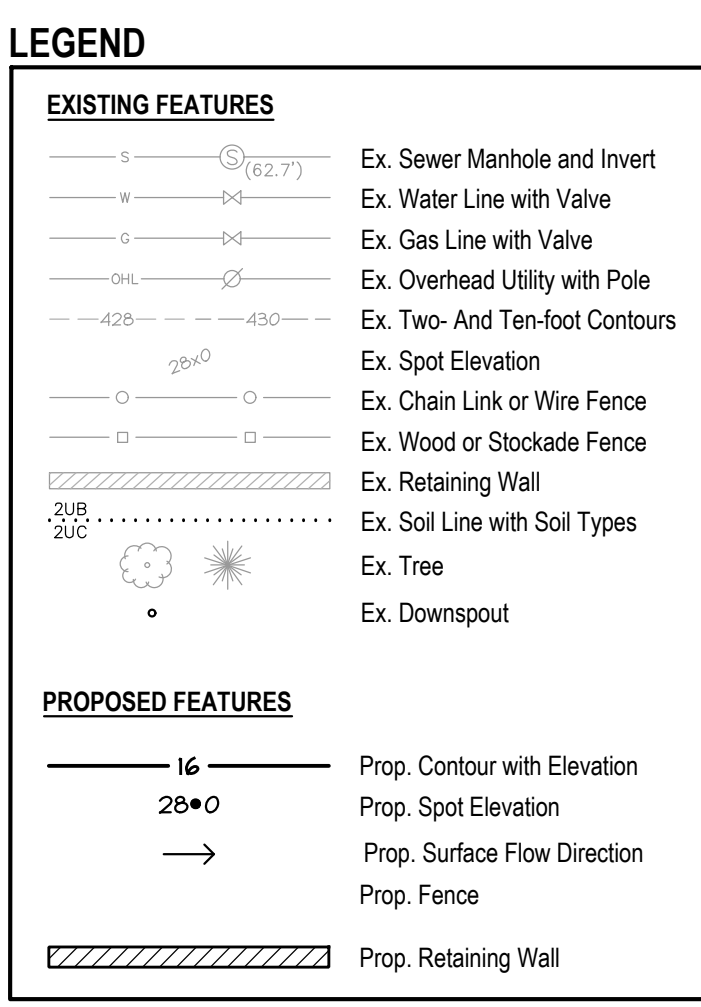
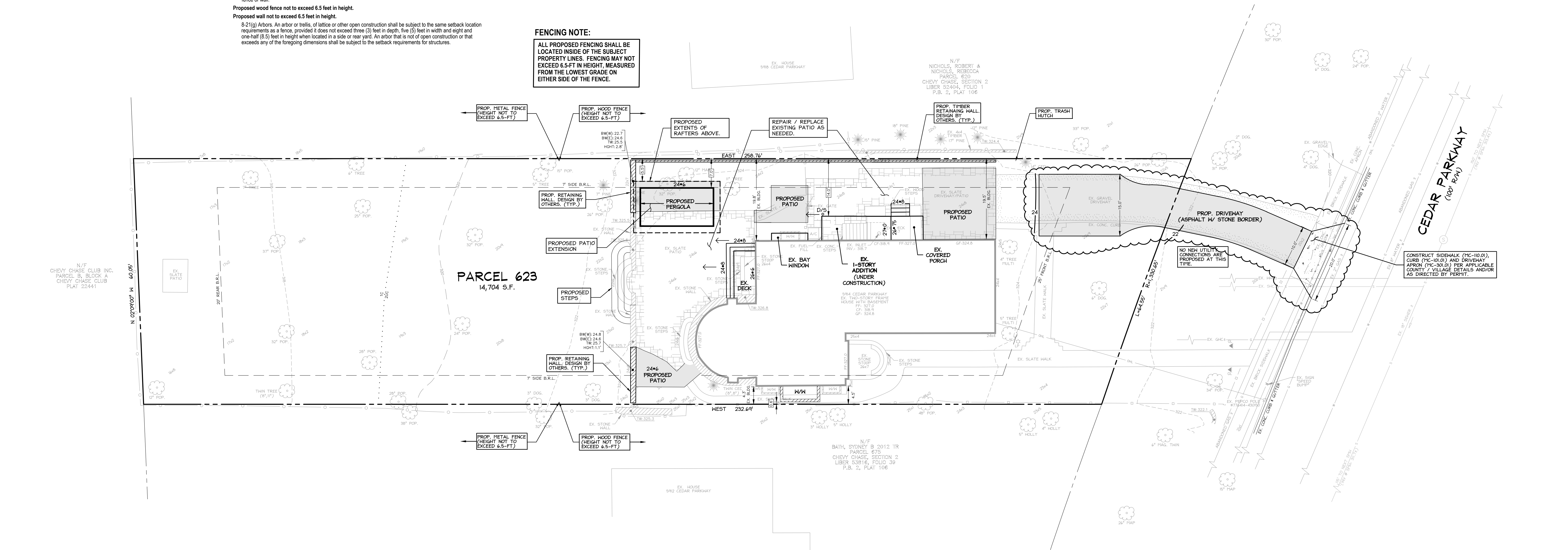
VICINITY MAP
ADC MAP 5407, GRID G-5, SCALE: 1" = 200'



Curt A. Schreffler
CURT A. SCHREFFLER, PE
07/30/2020

PROFESSIONAL ENGINEER CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 19668, expiration date 3/31/2022, and that this plan meets MDPS criteria for building permit applications.

Parcel 623, Chevy Chase, Section 2
Plat Book 106, Plat No. 2
Beltsville (7th) Election District, Montgomery County, MD
5914 Cedar Parkway
Chevy Chase, Maryland 20815



UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

| UTILITY CO. | REQUEST DATE | BY | INFO. RECEIVED | PLAN REVISED | BY |
|--------------------------------|--------------|-----|----------------|--------------|------------------|
| A/E/T | 02/28/2019 | PJS | - | - | - |
| TOWNSHIP | 02/28/2019 | PJS | 02/28/2019 | - | OVERHEAD UTILITY |
| PEPCO | 02/28/2019 | PJS | - | - | - |
| VERIZON/WI | 02/28/2019 | PJS | - | - | - |
| WASH. GAS | 02/28/2019 | PJS | 02/28/2019 | 03/05/2019 | ISV |
| W.S.S.C. | - | - | - | - | - |
| SEWER CONTRACT DRAWING | 02/28/2019 | - | 03/05/2019 | - | ISV |
| WATER CONTRACT DRAWING | 02/28/2019 | - | 03/05/2019 | - | ISV |
| HOUSE-CONNECTOR PLUMBING CARES | 02/28/2019 | - | 03/05/2019 | - | ISV |

MISS UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.ATLANTA.GA 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 88A OF THE MONTGOMERY COUNTY CODE.

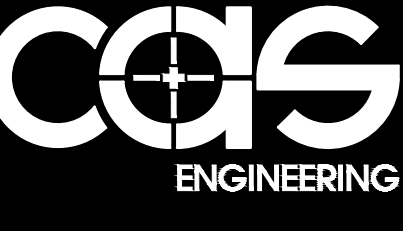
MONTGOMERY COUNTY - DRAINAGE NOTE

THIS PROJECT INVOLVES PRIMARILY LANDSCAPING AND HARDSCAPING ACTIVITIES. A PERGOLA STRUCTURE IS PROPOSED. AS ARE RETAINING WALLS AND FENCING. THE IMPROVEMENTS CONSTITUTE LESS THAN 400 SQUARE FEET OF BUILDING LOT COVERAGE (9 SQUARE FEET OF BUILDING LOT COVERAGE IS PROPOSED). AS A RESULT THE SMALL LOT DRAINAGE REQUIREMENTS DO NOT APPLY TO THIS PROJECT.

OWNERS
Alexander Neshaw and Kathryn Doyle
5914 Cedar Parkway
Chevy Chase, MD 20815
301-758-8817 direct
alex@parldata.com
kathryn.b.doyle@gmail.com

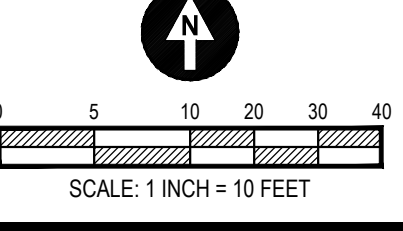
ARCHITECT
Jones & Boer Architects
Attn: David Jones
1739 Connecticut Avenue, NW
Washington, DC 20009
202-332-1200 direct
david@jonesboer.com

**5914 Cedar Parkway
Parcel 623, Chevy Chase,
Chevy Chase, Section 2
- Chevy Chase Village -
Building Permit Site Plan**



CAS ENGINEERING-MD
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Frederick, Maryland 21701
301-607-8025 Phone
info@casengineering.com
www.casengineering.com

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Washington, DC 20036
info@cas-dc.com
301-758-8817 direct
202-332-1200 Phone
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SHEET TITLE:
Building Plan Site Plan

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