



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: July 23, 2019

### MEMORANDUM

TO: Diane Schwartz Jones  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #873936: Window and door alterations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with conditions** at the May 21, 2019 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Elizabeth Delgard  
Address: 29 Hesketh Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.





# HESKETH STREET

2019-009  
29 HESKETH ST. CHEVY CHASE, MD 20815

## BUILDING PERMIT APPLICATION

ISSUED FOR PERMIT: 7.8.2019

### GENERAL NOTES

- ALL CONSTRUCTION ASSOCIATED WITH THIS PROJECT SHALL CONFORM TO THE LISTED BUILDING CODES AS DICTATED AND INTERPRETED BY THE LOCAL AUTHORITY HAVING JURISDICTION. COMPLIANCE WITH THE BUILDING CODE REQUIREMENTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR
- ALL BUILDING COMPONENTS AND SYSTEMS SHALL BE INSTALLED AS DIRECTED BY THE LOCAL CODE OFFICIAL HAVING JURISDICTION AND IN ACCORDANCE WITH THE CLIMATE AND GEOGRAPHICAL DESIGN CRITERIA
- THE STRUCTURAL INTEGRITY OF THE BUILDING IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE PLANS AND SPECIFICATIONS. THE METHOD OF CONSTRUCTION AND THE SEQUENCE OF OPERATIONS US THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL SUPPLY ANY NECESSARY BRACING, SHEATHING AND SHORING TO PROPERLY BRACE THE STRUCTURE AGAINST WIND, DEAD AND LIVE LOADS UNTIL THE BUILDING IS COMPLETED ACCORDING TO THE PLANS AND SPECIFICATIONS.
- DO NOT START CONSTRUCTION UNTIL ALL THE REQUIRED PERMIT APPROVALS ARE OBTAINED.
- VISIT THE SITE PRIOR TO CONSTRUCTION TO VERIFY EXISTING CONDITIONS. THOROUGHLY EXAMINE AND BE FAMILIAR WITH THE DRAWINGS, DRAWING NOTES AND SPECIFICATIONS. FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS. ANY AND ALL DISCREPANCIES AND CONFLICTS BETWEEN EXISTING CONDITIONS AND THESE DOCUMENTS SHALL IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER.
- DO NOT SCALE DRAWINGS FOR ANY PURPOSE. CONTACT ARCHITECT IF ADDITIONAL DIMENSIONS ARE NEEDED.
- FURNISH AND INSTALL ALL THE ITEMS SHOWN OR IMPLIED ON THESE DRAWINGS UNLESS NOTE OTHERWISE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL BUILDING TRADES ASSOCIATED WITH THE WORK OUTLINED IN THESE DOCUMENTS. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER AND THE ARCHITECT ALL CONFLICTS AS THEY RELATE TO THE BUILDING TRADES AND SUB CONTRACTORS FOR RESOLUTION.
- INFORMATION ON THESE DRAWINGS IS BASE ON LIMITED FIELD MEASUREMENT AND MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS. IN CASES WHERE CHANGES IN DETAIL ARE NECESSARY, THESE DRAWINGS SHALL BE USED TO SHOW DESIGN INTENT ONLY. PERFORM WORK, SHOWN OR IMPLIED, THAT IS NECESSARY TO CARRY OUT THE INTERN OF THE DRAWINGS AND SPECIFICATIONS OR IS CUSTOMARILY PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- PROTECT EXISTING BUILDING ELEMENTS TO REMAIN FROM DEMOLITION AND CONSTRUCTION ACTIVITIES. PATCH AND REPAIR ALL DAMAGE FROM CONSTRUCTION ACTIVITIES.
- GENERAL CONTRACTOR TO KEEP DISTURBANCE TO THE NEIGHBORS TO A MINIMUM.
- GENERAL CONTRACTOR TO ENSURE FLUSH TRANSITION FROM EXISTING WORK TO NEW WORK.
- ALL WALL SURFACES ARE TO BE MADE FLUSH AND SMOOTH AND SMOOTH TO PRIOR TO PAINTING OR INSTALLATION OF WALL COVERING.
- PRIOR TO CUTTING OR DRILLING AFFECTING STRUCTURAL MEMBERS NOT INDICATED, SUBMIT WRITTEN NOTICE TO ARCHITECT SPECIFYING LOCATION AND REQUESTING CONSENT TO PROCEED WITH CUTTING OR DRILLING. CONTRACTOR SHALL DO CUTTING AND DRILLING OF EXISTING CONSTRUCTION REQUIRED FOR INSTALLATION OF NEW WORK, INCLUDING CUTTING OF HOLES FOR NEW ELECTRICAL WORK. COVER OPENINGS TEMPORARILY WHEN NOT IN USE AND PATCH AS SOON AS WORK IS INSTALLED. REFINISH ALL AFFECTED AREAS TO THEIR ORIGINAL CONDITION.
- COORDINATE THE UNLOADING AND SAFE STORAGE OF OWNER DELIVERED MATERIAL ON SITE (CASEWORK, EQUIPMENT ETC...). INSTALLATION OF OWNER DELIVERED MATERIAL IS T BE INCLUDED IN THE BASE BID (UNLESS NOTED OTHERWISE)

### PROJECT TEAM

OWNER : ELIZABETH DALGARD  
29 HESKETH ST.  
CHEVY CHASE, MD 20815  
P: 301.807.7336  
E: edalgard@gmail.com

ARCHITECT: SHAHNUR BOSTAN  
AXIS ARCHITECTS  
702 CARTER ROAD  
ROCKVILLE MD 20852  
P: 202.361.8811  
E-MAIL: sbostan@axis-architects.com

STRUCTURAL: CHARLES GAVIN  
ENGINEER GAVIN&ASSOCIATES  
PO Box 5142  
McLean, Va. 22103  
P: 703.409.9795  
E-MAIL: c1gavin@cox.net

### BUILDING & ZONING INFORMATION

APPLICABLE CODES:  
International Residential Code (IRC) 2015 w/ Montgomery County requirements  
International Energy Conservation Code (IECC) 2015 w/ Montgomery County requirements

SITE INFO and ZONING:  
Subdivision - 0009  
Block - 29  
Lot - 8  
Property Land Area - 12,865 sf  
Zone - R60

No change to building footprint is being proposed other than a 4'-0" x 8'-8" rear deck and stairs to grade. Please refer to the site plat as part of this application.

### SCOPE OF WORK

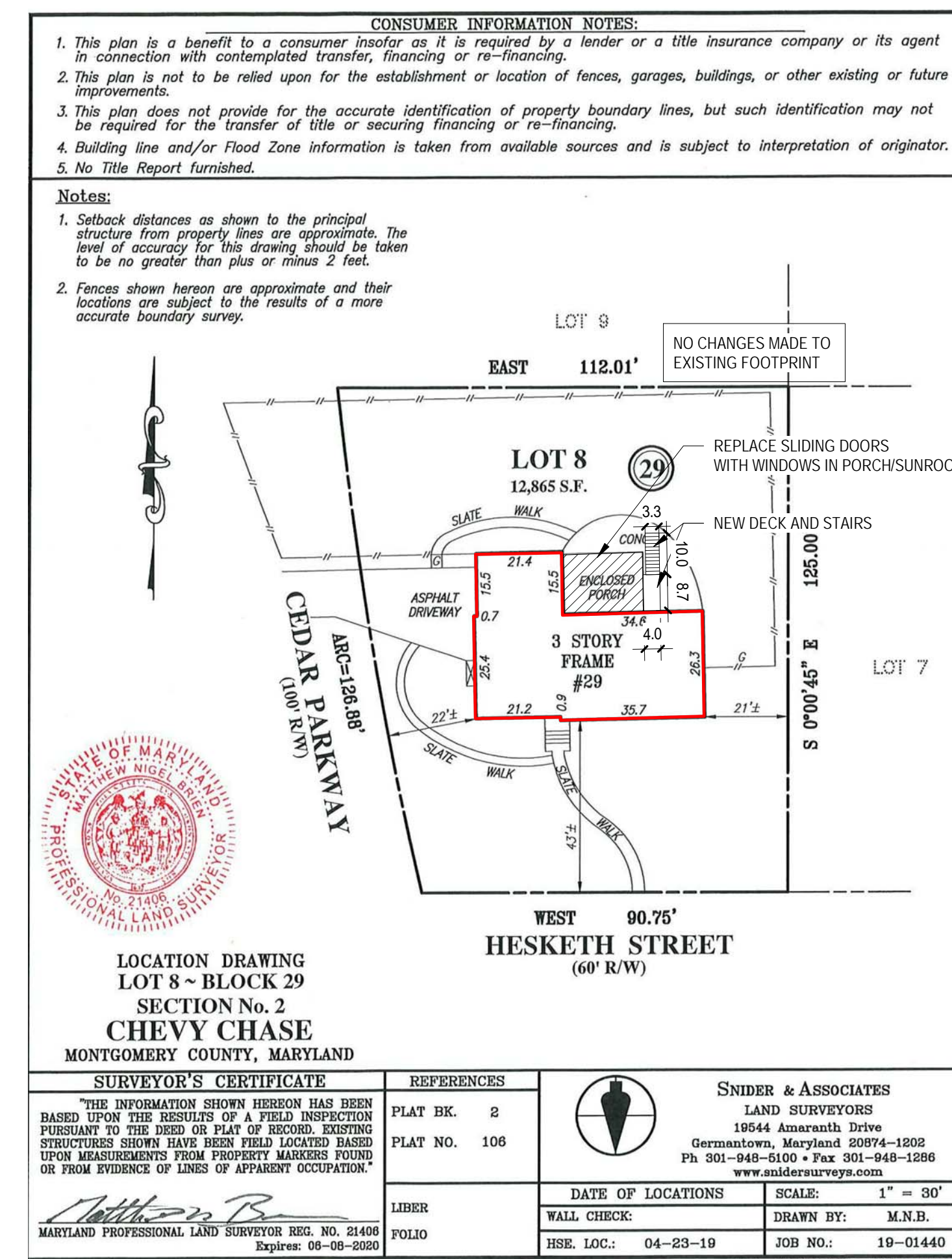
Project is for adding a new stair and a deck from the sunroom to the backyard, replacing the sliding doors at the sunroom with windows and adding railing and deck over the sunroom.

The scope of the project is - 375 sf.

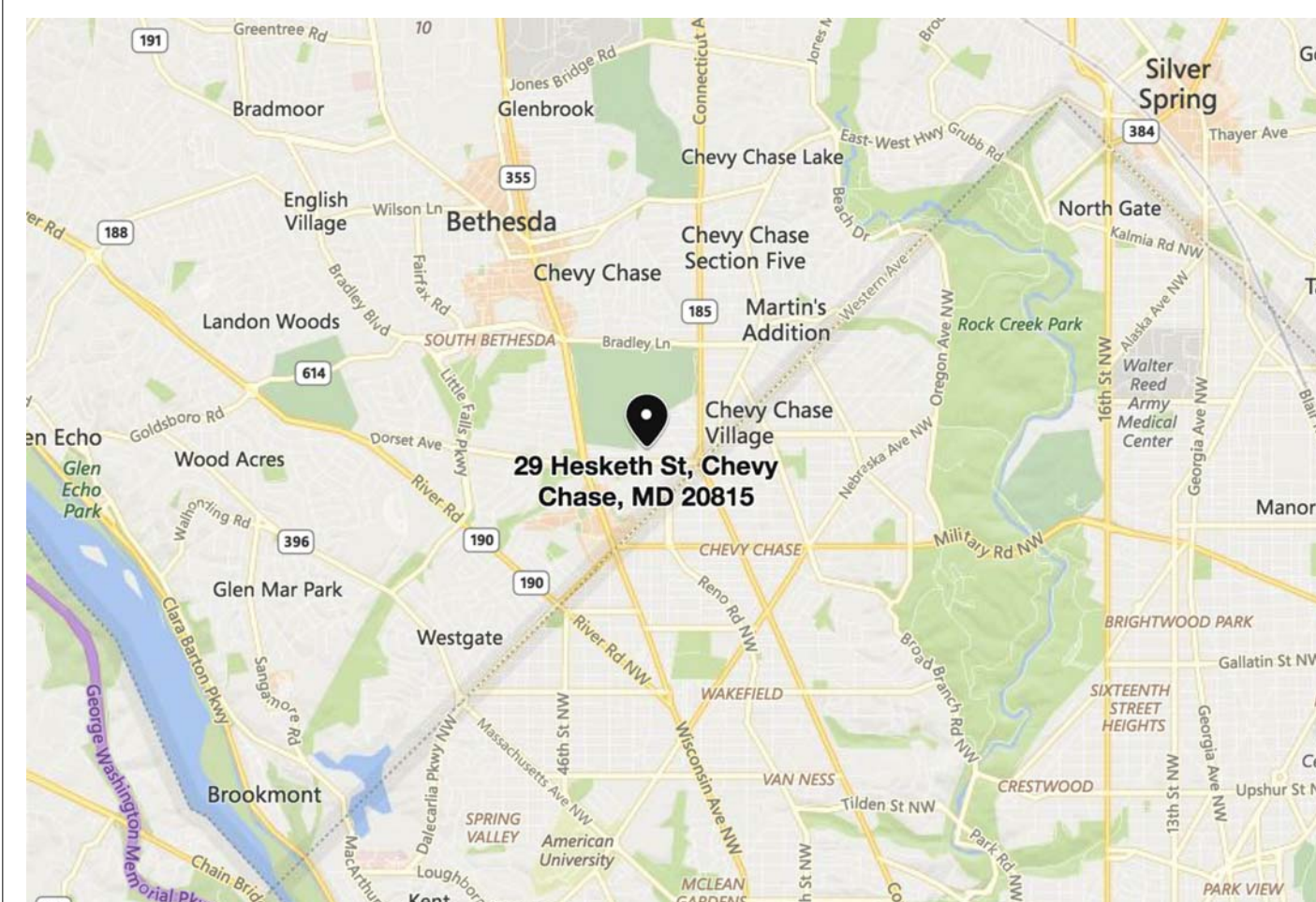
### DRAWING INDEX

SHEET #	SHEET TITLE
A001	COVER SHEET
A101	FLOOR PLANS
A301	EXTERIOR ELEVATIONS

### SITE PLAN 1" = 30'-0"



### VICINITY MAP



702 Carter Road  
Rockville MD 20852  
P: 202.361.8811  
sbostan@axis-architects.com

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### HESKETH STREET

29 HESKETH ST. CHEVY CHASE, MD 20815

### STAMP

### PROFESSIONAL CERTIFICATION

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. Licence No. 16390, Expiration Date 11/22/2020

**REVIEWED**  
By Michael Kyne at 2:11 pm, Jul 23, 2019

APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*

NO.	DATE	DESCRIPTION

Project Number: 2019-009

Issue Date: 7.8.2019

COVER SHEET

**A001**





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**HESKETH STREET**

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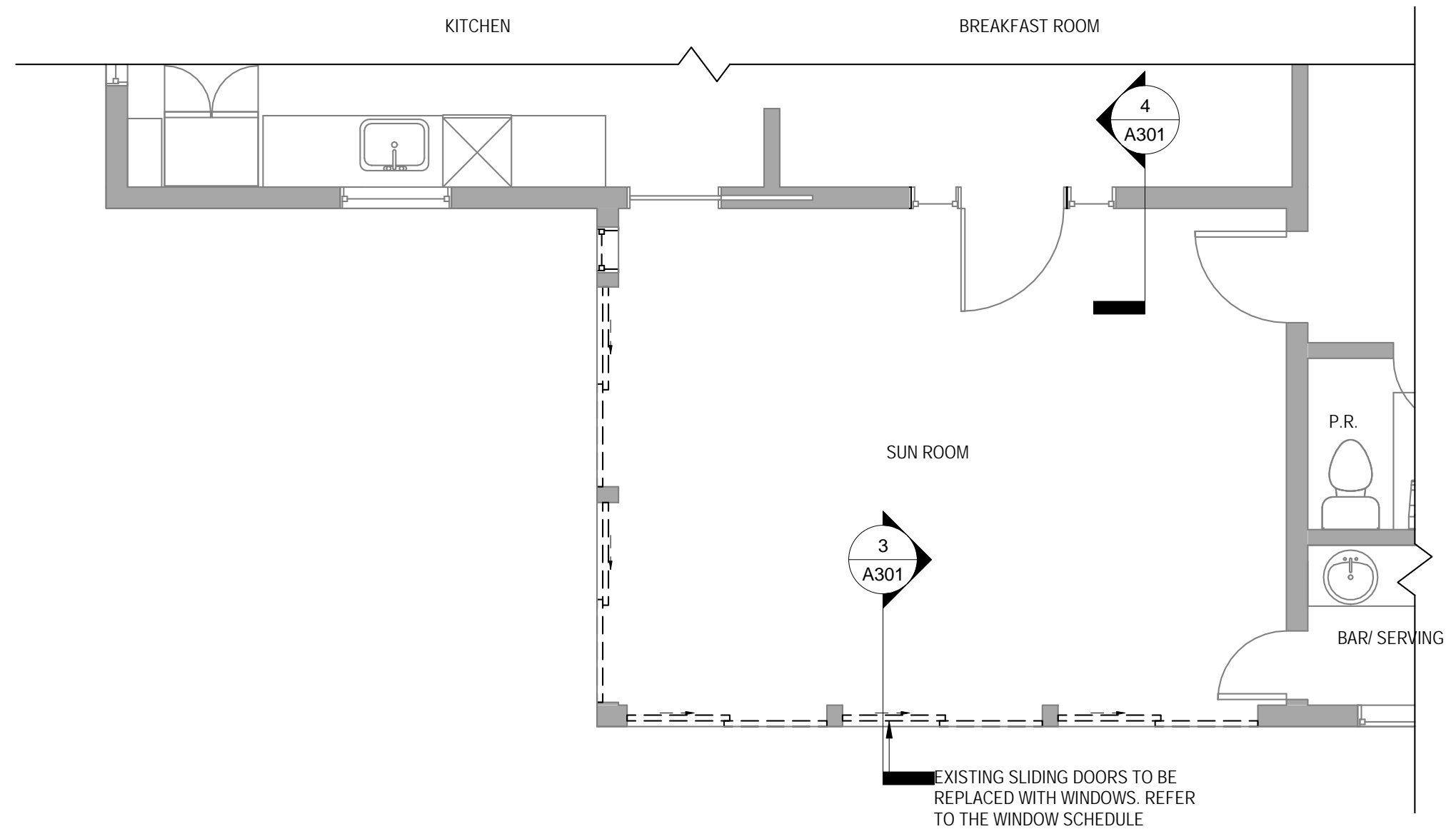
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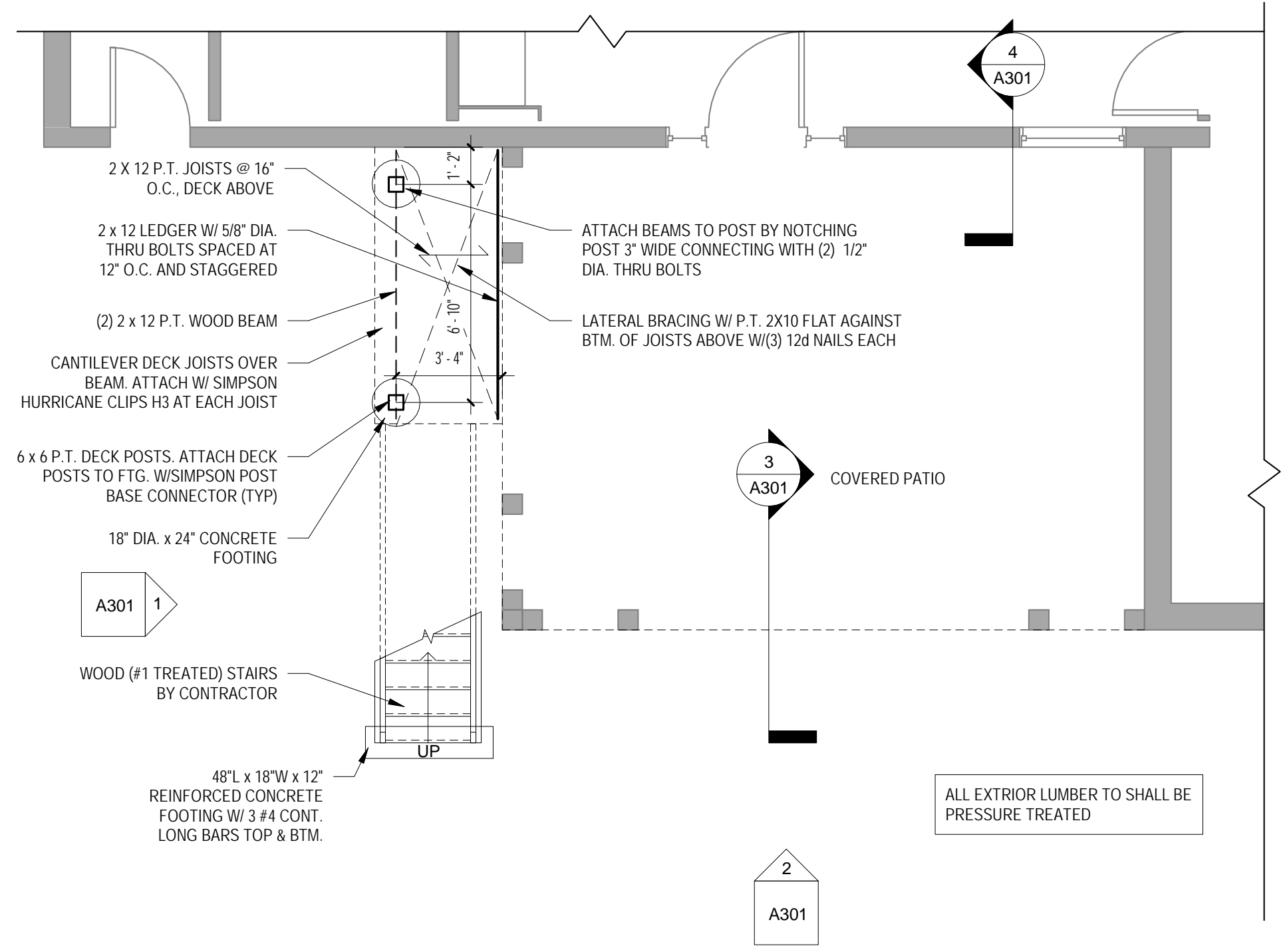
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FLOOR PLANS

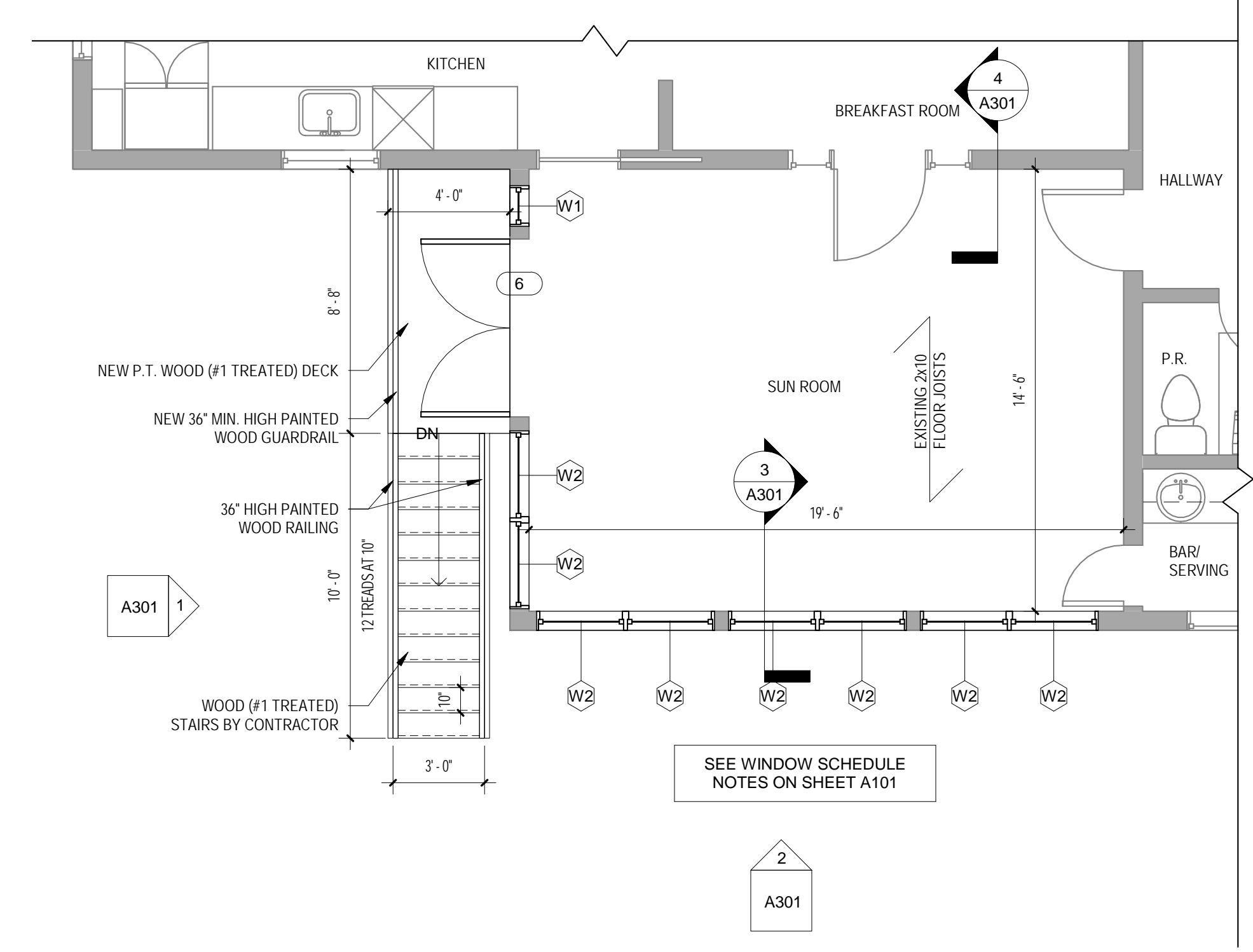
**A101**



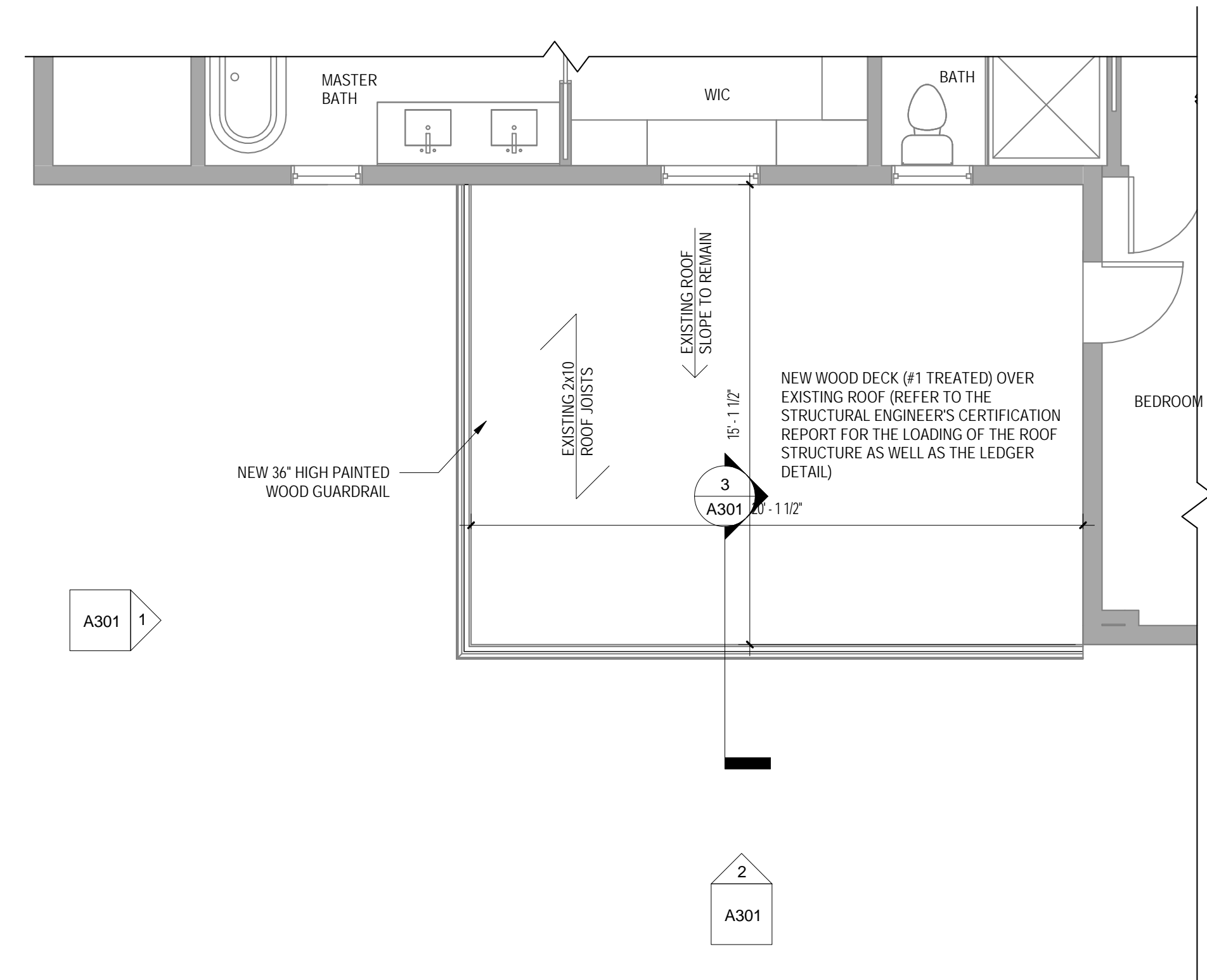
**1 1ST FLOOR DEMO**  
A101 1/4" = 1'-0"



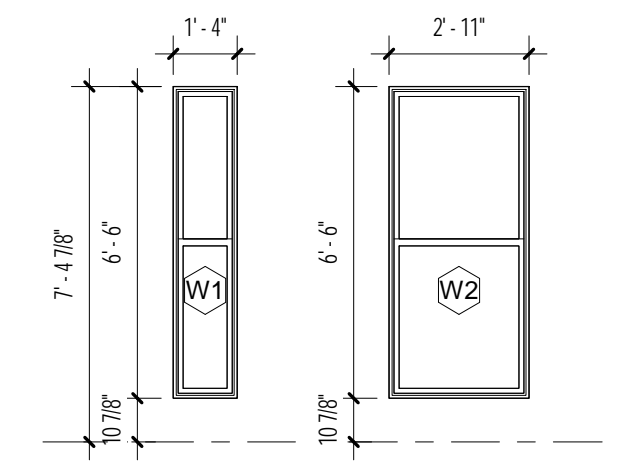
**3 BASEMENT PROPOSED EXTERIOR**  
A101 1/4" = 1'-0"



**2 1ST FLOOR PROPOSED**  
A101 1/4" = 1'-0"



**4 2ND FLOOR PROPOSED**  
A101 1/4" = 1'-0"



**5 WINDOW SCHEDULE**  
A101 1/4" = 1'-0"

NOTES:  
a. WINDOWS AT SUNROOM ARE BEING REPLACED. EXISTING HEADERS REMAIN IN PLACE.  
b. WINDOW FALL PROTECTION PROVIDED PER IRC SECTION R312.2.1, EXCEPTION 2.  
c. ALL NEW WINDOWS AND DOORS TO BE WOOD WITH ALUM. CLAD, PELLA LIFESTYLE SERIES OR EQUAL.

**REVIEWED**  
By Michael Kyne at 2:11 pm, Jul 23, 2019

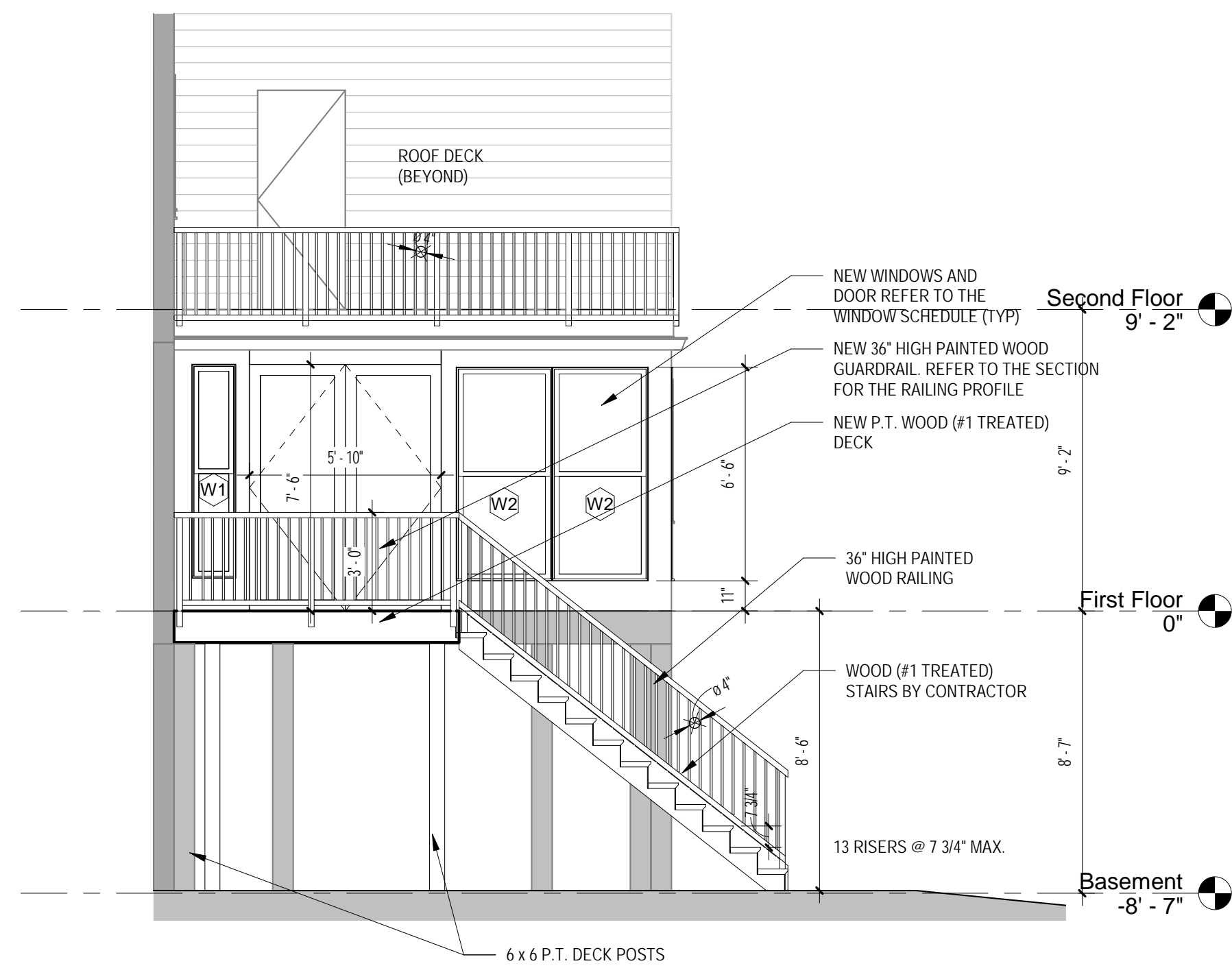
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Heiler*

**PLAN NOTES**

- CONTRACTOR TO VERIFY EXISTING DIMENSIONS AND INFORM THE ENGINEER AND ARCHITECT IF THERE ARE ANY DISCREPANCIES.
- ALL DIMENSIONS ARE FROM FACE OF STUD, CONCRETE OR MASONRY AND FACE OF FINISH OF EXTERIOR WALLS. MAINTAIN CLEAR DIMENSIONS AND COORDINATE ROUGH OPENING DIMENSIONS WITH FINISH SYSTEMS SPECIFIED.
- PER RECOMMENDATIONS FROM HISTORIC PRESERVATION COMMISSION THE FOLLOWING TO BE PROVIDED:
  - The proposed windows will be wood (with alum. clad), not vinyl
  - The proposed railings and balusters will be wood, not composite or aluminum
  - The proposed stairs and trim will be constructed from wood

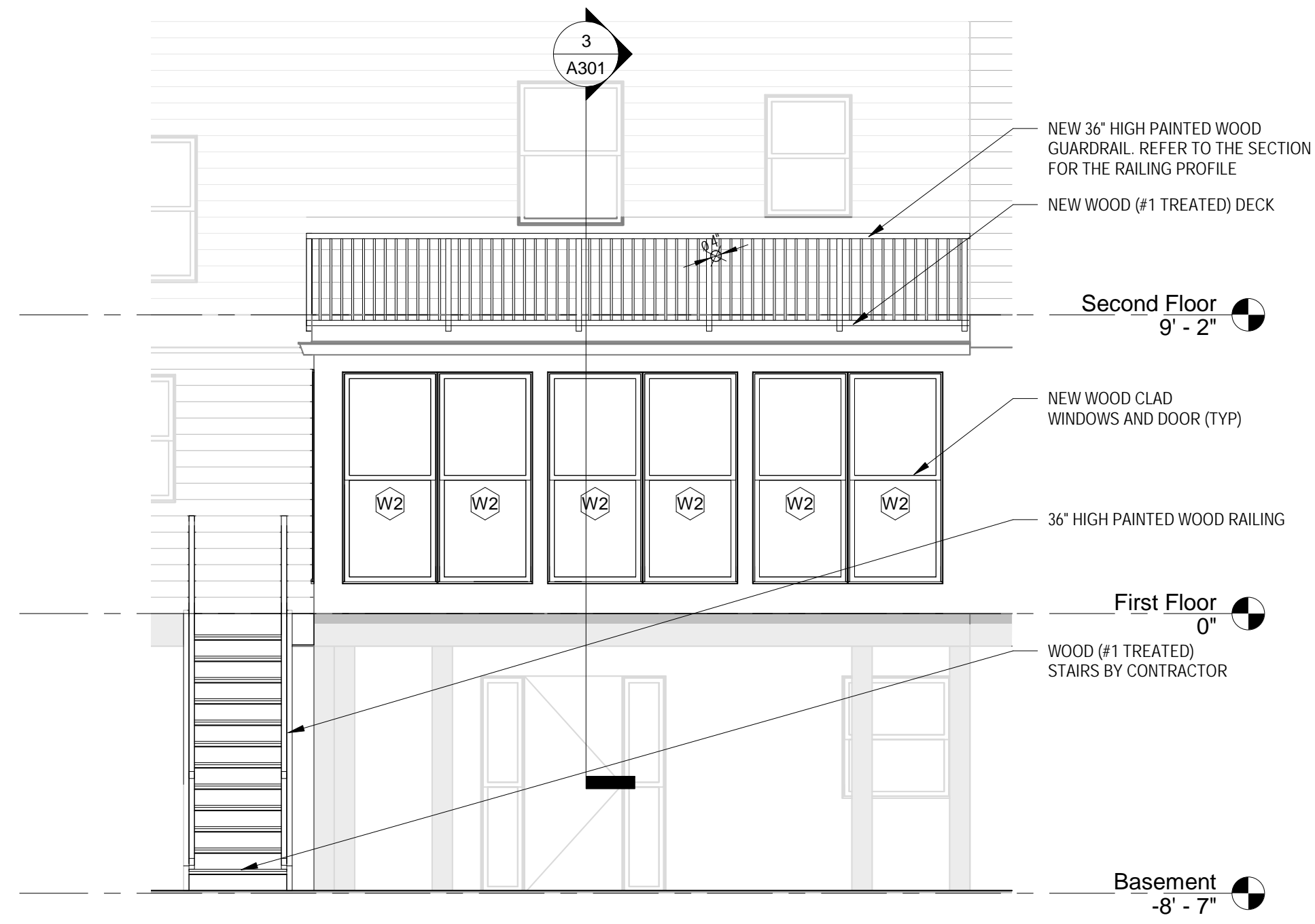
- EXISTING WALLS
- DEMO WALLS
- PROPOSED WALLS

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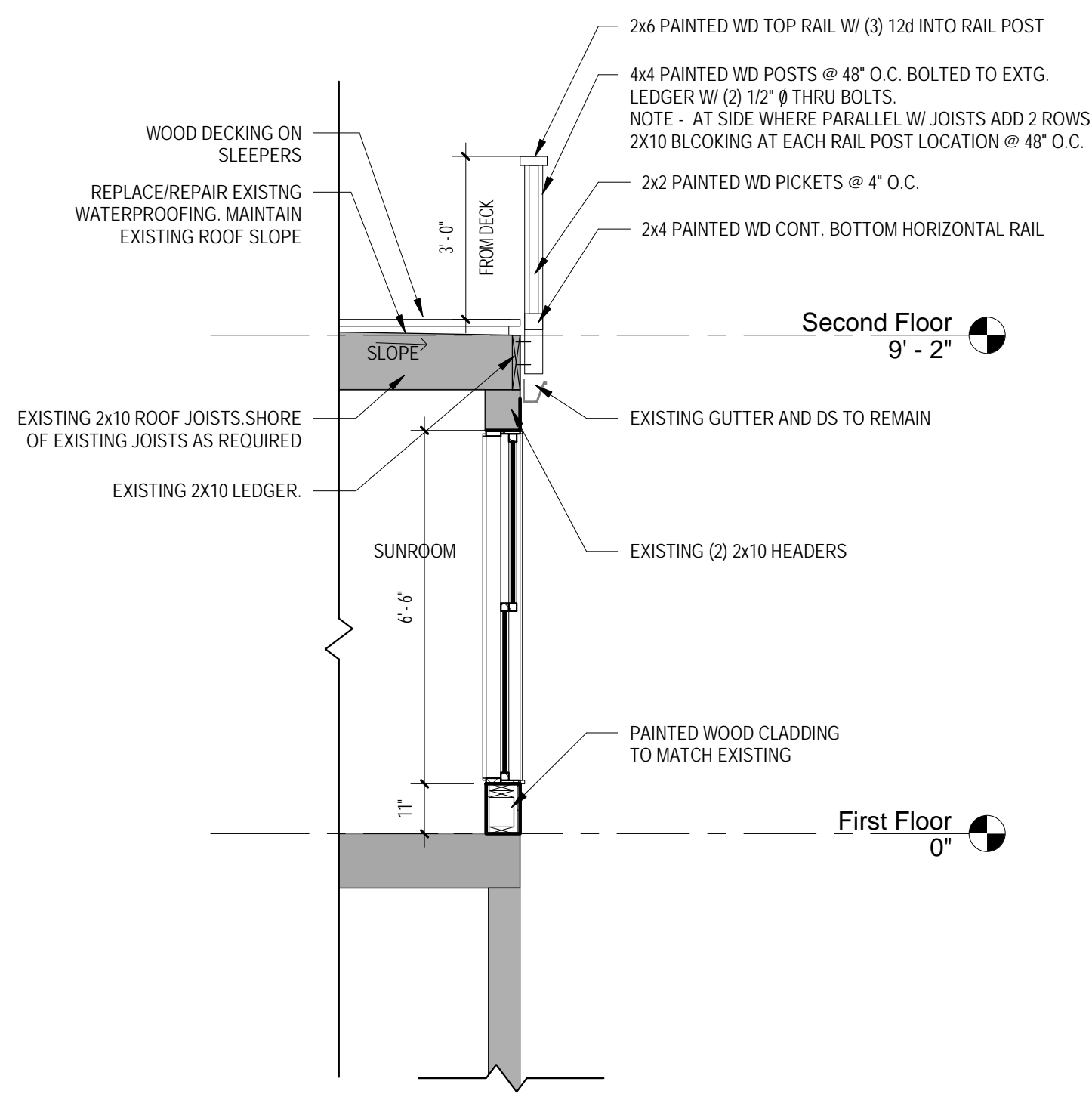
1 ELEVATION LANDING AND STAIRS

A301 1/4" = 1'-0"



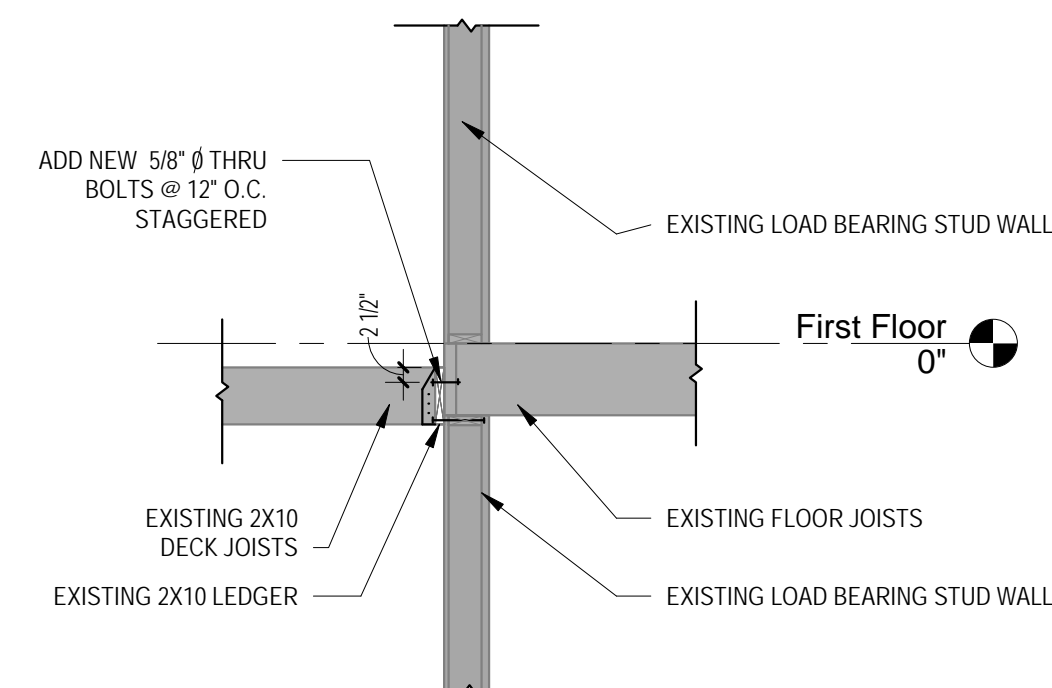
2 ELEVATION SUNROOM

A301 1/4" = 1'-0"



3 SECTION AT DECK

A301 3/8" = 1'-0"



4 SECTION AT LEDGER

A301 3/8" = 1'-0"

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EXTERIOR ELEVATIONS

**A301**

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# Pella Lifestyle Series

Dual- and Triple-Pane Products  
\$\$-\$\$\$



**REVIEWED**  
By Michael Kyne at 2:12 pm, Jul 23, 2019



APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Heiler*

Unbeatable performance options.<sup>1</sup>



**79% more energy efficient**  
for a more comfortable home<sup>2</sup>



**52% reduction in outside noises**  
like traffic and lawnmowers<sup>3</sup>

Values are averages based on the Ultimate Performance package compared with single-pane windows.

Style and durability.



Durability and style flexibility with the most desired features and options, backed by the **best limited lifetime warranty** in the industry.<sup>4</sup>

Packed with innovation.

**37**  
TIME-TESTED  
INNOVATIONS

Offering products with 37 time-tested innovations like our best integrated blinds and shades and integrated security sensors.



Pella Lifestyle Series triple-pane casement window

## WINDOW STYLES

Special sizes and configurations are also available.



AWNING



BAY OR BOW



CASEMENT



DOUBLE-HUNG<sup>5</sup>

## PATIO DOOR STYLES



SLIDING



HINGED



<sup>1,2,3,4,5</sup> See inside front cover for disclosures.



# Colors & Finishes PELLA® LIFESTYLE SERIES

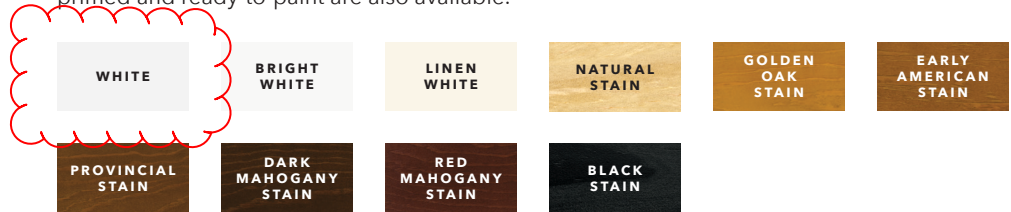
## WOOD TYPE

The wood species that best complements your home's interior.



## PREFINISHED PINE INTERIOR COLORS

We can prefinish pine in your choice of three paint colors and seven stains. Unfinished or primed and ready-to-paint are also available.



## ALUMINUM-CLAD EXTERIOR COLORS

Our low-maintenance EnduraClad® exterior finish resists fading and helps protect your windows and patio doors for years.



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<sup>1</sup> Available performance solutions offer an unbeatable combination of energy efficiency, sound control and value. Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

<sup>2</sup> Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when comparing Pella Lifestyle Series windows with Advanced Comfort Low-E triple-pane glass with argon and mixed glass thickness to a single pane wood or vinyl window. Double-hung windows are not available with triple-pane glass. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see [pella.com/methodology](http://pella.com/methodology).

<sup>3</sup> Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with triple-pane glass with mixed glass thickness to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

<sup>4</sup> Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at [pella.com/warranty](http://pella.com/warranty), or contact Pella Customer Service at 877-473-5527.

<sup>5</sup> Available in dual-pane only.

<sup>6</sup> Available on triple-pane products only.