

### HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler Chairman

Date: May 20, 2019

### **MEMORANDUM**

TO: Diane Schwartz Jones

Department of Permitting Services

FROM: Michael Kyne

Historic Preservation Section

Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #871593: Porch alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 7, 2019 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mary Beth Donnelly (Michael Dombo, Architect)

Address: 3718 Bradley Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3400 or <a href="michael.kyne@montgomeryplanning.org">michael.kyne@montgomeryplanning.org</a> to schedule a follow-up site visit.



# **BRADLEY LANE SCREENED PORCH**

3718 Bradley Lane Chevy Chase, MD

#### CODE AUTHORITIES

2015 International Residential Code (IRC)

2015 International Building Code (IBC)

2015 International Plumbing Code (IPC)

2015 International Mechanical Code (IMC)

2015 International Fuel Gas Code (IFGC)

2015 International Energy Conservation Code (IECC)

2015 International Existing Building Code (IEBC)

2015 National Electrical Code (NFPA 70)

2015 International Green Construction Code (IgCC)

2015 ADA Standards

2015 NFPA 1 Fire Code

2015 NFPA 101 Life Safety Code

2015 NFPA 13, 13R, 13D Fire Sprinkler Codes

2015 NFPA 72 Fire Alarm Code



**EXISTING REAR** 

SCOPE OF WORK The property owner is requesting a permit to construct a screened area to enclose a portion of an existing deck.

### **GENERAL NOTES**

JURISDICTION HAVING AUTHORITY, ARRANGE FOR REQUIRED INSPECTIONS BY AUTHORITIES AT THE PROPER TIME DURING PROGRESS OF THE WORK.

- 4. IF ANY ERROR, DISCREPANCIES OR OMISSIONS APPEAR

  1. THIS SHEET IS PART OF AN ENTIRE SET OF CONSTRUCTION DOCUMENTS, SPECERICATIONS, OR OTHER CONTRACTOR IS

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  1. SHEET OR DRAWNING NODE), THE CONTRACTOR IS

  1. SHEET OR THE ARCHITECT OF DISCREPANCIES IN WHITTEN FORM IMMEDIATELY, FALLIRE TO GIVE NOTICE WILL

  2. SHEET OR THE ARCHITECT OF OTHER SHEET OF DISCREPANCIES OR OF RECTFERING THE SAME

  WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION

  COUGHTON SHEET OF THE MOST STREETE OF DISCREPANCIES.

  SUBMITTED IN WHITTING TO THE ARCHITECT FOR APPROVAL IN CONSTITION SHALL APPLY AND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT INMEDIATELY OF SUCH DISCREPANCES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD 6. VERIFY EQUING SITE CONDITIONS AND DIMENSIONS FROR TO ALL SUB-CONTRACTORS TO BE USED AND SUBMIT TO THE STARTING CONSTRUCTION. CONDITIONS SHOWN ON THESE OWNER AND ARCHITECT WITHIN 10 WORKING DAYS OF STARTING CONSTRUCTION. CONDITIONS SHOWN ON THESE OWNER AND ARCHITT DOCUMENTS ARE BASED ON INFORMATION OBTAINED FROM SITE CONTRACT AWARD. VISITS PRIOR TO CLEARING AND CONSTRUCTION, NOTIFY THE ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING CONTRACTOR SHALL VEHIN' ALL EXISTING CONDITIONS BEFORE FOTURES BY OTHERS AND SHALL BE AVAILABLE TO RECEIVE 12. WARRANT TO THE OWNER THAT ALL MATERIAL AND SUBMITTING A BID, YERRY ALL DIMENSIONS PROR TO DELIVERY AND ASSIST IN INSTALLATION OF ALL EQUIPMENT AND CONTRACT CONTRACTOR SHALL VEHILL PLANTING CONTRACTOR SHALL VEHILL PLANTING THE PROOF TO COMMENCEMENT OF WORK OR COLDERING MATERIAL OR ORDERING MATERIAL (SIUCH AS DOORS AND TRUBERS) AND CREEKING MATERIAL (SIUCH AS DOORS AND TRUBERS) SHALL ADVISE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR MANTANING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON THE SITE DURING CONSTRUCTION, THE OWNERS CONTRACTOR SHALL

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL BE APPLICABLE CODES & ORDINANCES AS ADOPTED BY THE LIDCAL TURNIED OVER TO THE OWNER WHEN THE PROJECT IS

SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL IN WRITING, NOTIFICATION OF INTENT TO MAKE SUBSTITUTION MUST BE SUBLITTED WITHIN 10 WORKING DAYS OF CONTRACT.

- THE CONTRACTOR IS REQUIRED TO PROVIDE A LIST OF
- THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL
- 8. CONTRACTOR TO CHECK IN AND VERIFY ALL SHIPMENTS OF OWNER'S FURNISHED MATERIALS. THIS INCLUDES OPENING ALL BOXES OF EACH SHIPMENT AND VERIFYING THE THEIR

CONTENTS AGAINST PACKING LISTS AND THEN NOTIFYING THE OF CORRECTIONS. OWNER OF ALL BACK ORDERS OR SHORTAGES WITHIN 40 HOURS OF RECEIVING SHEMENT, IF THIS IS NOT DONE, THE OWNER'S CONTRACTOR WILL BEAR THE COSTS OF ANY EXPEDITED FREIGHT CHARGES TO MEET CONSTRUCTION SCHEDULE

- OWNER'S CONTRACTOR SHALL KEEP ALL HANDROOKS PAPERWORK, AND KEYS IN A MARKED ENVELOPE. ALL KEYS ARE TO BE TAGGED WITH PROPER LOCATIONS. THIS ENVELOPE SHOULD BE TURNED OVER TO THE OWNER'S PROJECT REPRESENTATIVE WITH THE CERTIFICATE OF USE AND OCCUPANCY, RELEASES OF LIENS FROM ALL THOSE RECEIVING, 15. CONTRACTOR SHALL PROVIDE PORTABLE FIRE INCLUDED WITH THIS INFORMATION IS TO BE A LIST OF ALL
- THESE DRAWINGS ARE NOTTO BE ALTERED IN ANY WAY HOUT AUTHORIZATION FROM THE ARCHITECT, CHANGES IN DRAWINGS OR ACTUAL WORK SHALL BE ISSUED BY THE
- 11. WORK SCHEDULED TO BE SUPPLIED BY OTHERS, BUT INSTALLED UNDER THIS CONTRACT MEANS THAT THE APPLICABLE ITEM WILL BE DELIVERED BY OTHERS.
- EXURAGAT FURNISHED AND RESTALLED UNDER THIS CONTRACTOR SHALL
  ASSUME FILL RESPONDED ON SITE.

  B. CONTRACTOR TO CHECK IN AND VERFY ALL SUPPLEMENT.

  CONTRACTOR TO CHECK IN AND VERFY ALL SUPPLEMENT. FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPTLY CORRECT WORK NOT FOUND TO BE IN ACCORDANCE WITH THE

- CONTRACTOR SHALL COORDINATE WORK TO ENSURE EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF CONSTRUCTION ELEMENTS WITH PROVISIONS FOR ACCOMMODATING ITEMS INSTALLED LATER.
- 14. CONTRACTOR SHALL PROVIDE SUPPLEMENTARY SUPPORT AND/OR FRANKING FOR ALL LIGHT FIXTURES, CEILING DIFFUSERS, ETC.
- EXTINGUISHERS IN ACCORDANCE WITH MEPA HIT, BURING CONSTRUCTION MAINTAIN FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR, ALL WORK PERFORMED LL COMPLY WITH ALL LOCAL AND NATIONAL CODES.
- CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE AT ALL TIMES,
- PROVIDE PROTECTION BARRICADES AND/OR CANOPIES AS REQUIRED BY OWNER, OR AS NECESSARY FOR SAFETY.
- 18. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND
- EXAMPE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN, AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION, START OF INSTALLATION CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS. GROUNDS FOR CLAMS AGAINST IMPROPER PERFORMANCE OF

REVIEWED

By Michael.Kyne at 1:36 pm, May 20, 2019

**APPROVED** 

Montgomery County

Historic Preservation Commission

Sandral. Keiler

#### DRAWING INDEX

0.091	COVEN SHEET
ZD01	SITE PLAN AND AERIAL VIEW
Atter	EXISTING FLOOR PLANE
A802	PROPOSED FLOOR PLANS
AUUS	EXISTING AND PROPORED REAR ELEVATIONS
ARDA	EXISTING AND PROPOSED SIDE ELEVATIONS
A406	SECTION DETAILS AND ROOF PLAN

INSTALLED MATERIALS, ADVISE ARCHITECT OF ANY EXISTING CONDITION NOT LEVEL, PLUMB, AND SMOOTH WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.

- OWNER RESERVES THE RIGHT TO OCCUPY AND TO PLACE OR INSTALL EQUIPMENT IN COMPLETED AREAS OF THE PROJECT, PROVIDING SUCH ACTS DO NOT INTERFERE WITH THE COMPLETION OF THE WORK, SUCH ACTS BY THE OWNER SHALL NOT CONSTITUTE ACCEPTANCE OF THE TOTAL WORK
- THOROUGHLY CLEAN ALL SURFACES OF DUST'S DERRIS LOOSE CONSTRUCTION MATERIAL AND EQUIPMENT 24 HOURS PRIOR TO OCCUPANCY OF ANY PHASE, VACUUM OR MOP, AS APPROPRIATE, ALL FLOORS AND CLEAN WINDOWS AND GLAZING.
- CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE DRAWINGS, ALL WORK UNDER THE CONTRACT IS TO BE PERFORMED TO A COMPLETE AND FAMISHED PRODUCT, AT THE END OF JOB, CONTRACTOR SHALL CLEAN ALL FINISHED SURFACES AND LEAVE JOB IN AN ORDERLY AND NEAT FASHION CAPABLE OF BRING USED FOR THE INTENDED PURPOSE. ALL WORK IS TO BE WARRANTED FOR TWO YEARS AGAINST ANY DEFECTS OR DEFICIENCIES. IT IS EXPRESSLY UNDERSTOOD THAT ONE CONDITION FOR FINAL PAYMENT TO THE CONTRACTOR UNDER THIS AGREEMENT IS COMPLETENESS
- 23. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION AND REQUIREMENTS.
- 28. CONTRACTOR SHALL CARRY AND MAINTAIN ALL STANDARD INSURANCE COVERAGE TO STANDARD LIMITS OR GREATER, AS IS REQUIRED BY THE LANDLORD

**Bradley Lane** Screened Porch

3718 Bradley Lane Chevy Chase, MD

MICHAEL McCLELLAN BETHESDA, MD

ERENOVATIONDRAFTING@GMAIL.COM P:240.478.9277

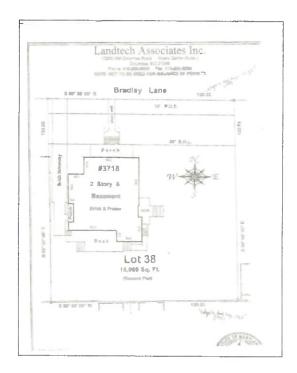
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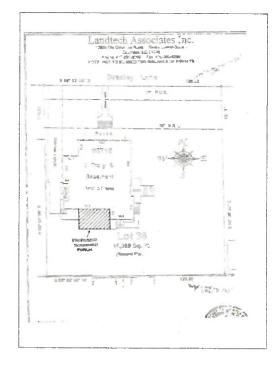
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BRADLEY LANE SCREENED PORC By Michael. Kyne at 1:36 pm, May 20, 2019

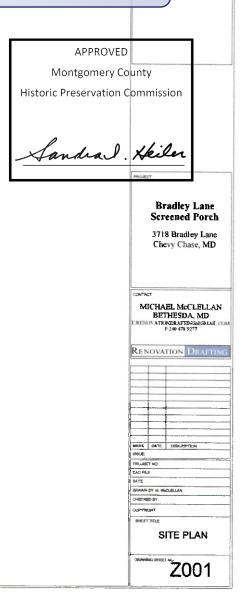
3718 Bradley Lane Chevy Chase, MD



**EXISTING SITE PLAN** 



PROPOSED SITE PLAN



By Michael.Kyne at 1:37 pm, May 20, 2019

APPROVED

**Montgomery County** 

Historic Preservation Commission

Sandral. Kkiler

# **BRADLEY LANE SCREENED PORCH**

3718 Bradley Lane Chevy Chase, MD

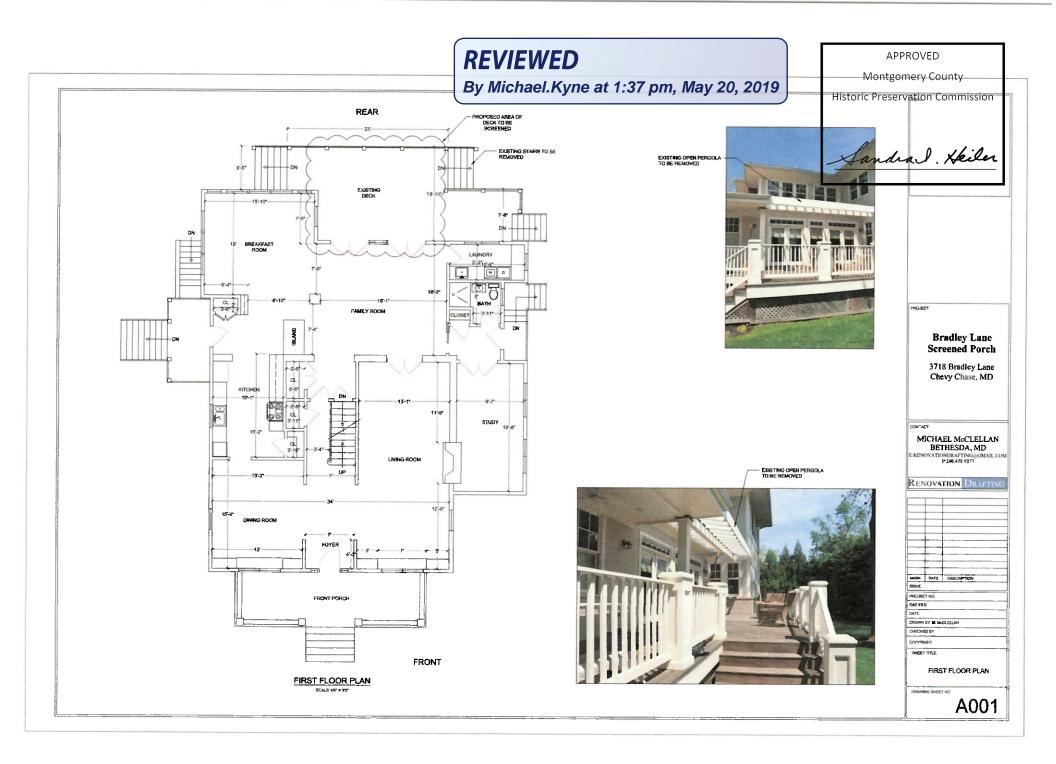
> Landtech Associates Inc. 16,069 Sq. Ft.

SITE PLAN

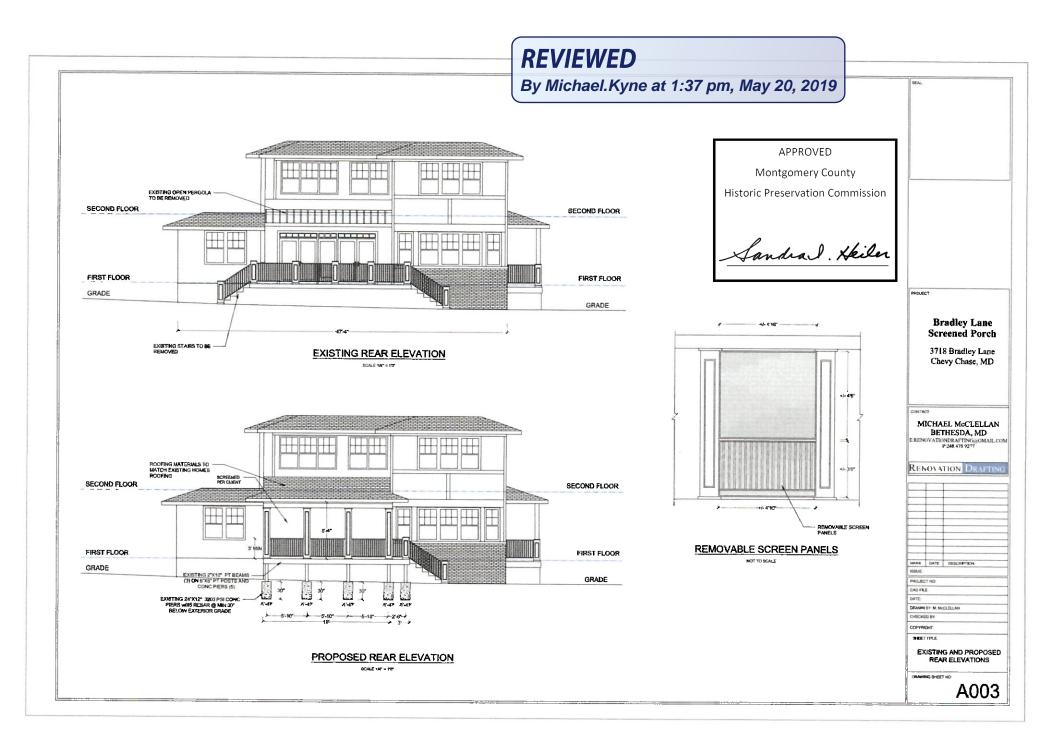


**AERIAL VIEW** 

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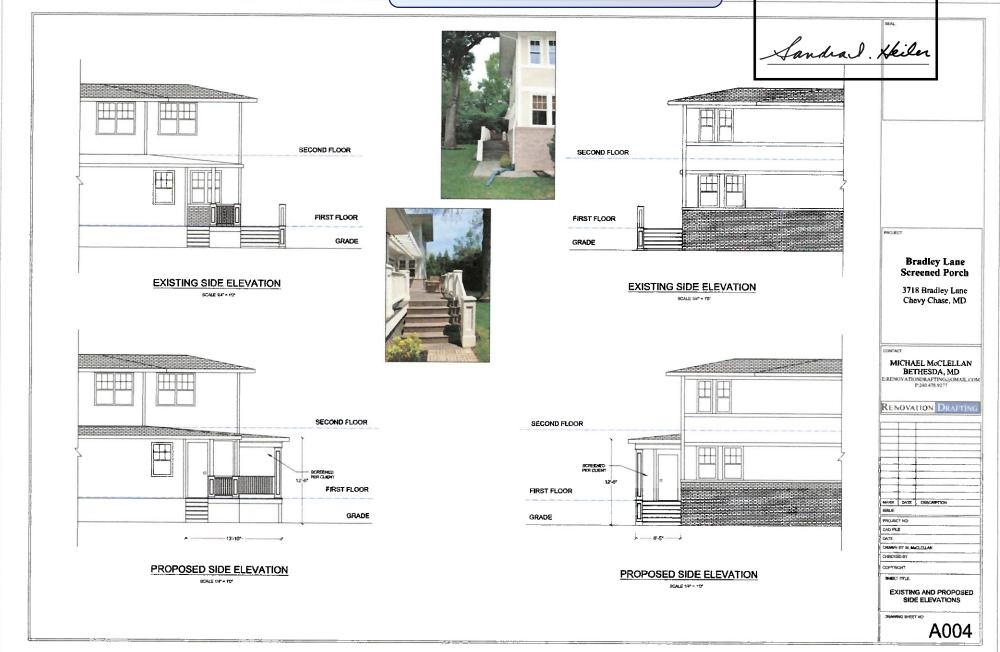


By Michael.Kyne at 1:37 pm, May 20, 2019

APPROVED

Montgomery County

Historic Preservation Commission



By Michael.Kyne at 1:37 pm, May 20, 2019

**APPROVED** 

**Montgomery County** 

Sandrad. Kkiler

Historic Preservation Commission

### GENERAL NOTES

#### DESIGN CODE.

1. 2015 INTERNATIONAL RESIDENTIAL CODE.

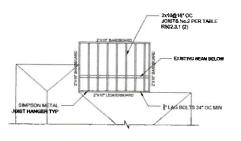
#### DESIGN LOADS:

- FLOOR DEAD LOAD: 12 PSF FLOOR LIVE LOAD: 48 PSF

#### WIND DESIGN CRITERIA:

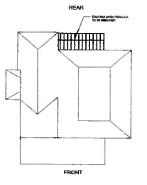
1. ULTIMATE (Vult) DESIGN WIND SPEED: 115 MPH

- ALL LOSS IMMURES TO DE SIMPSON STRONG TE. OR APPROVED EQUAL.
  ALL FRAMMEN TO DE SOUTHERS PINE AT OR DETTERS.
  TYPICAL WALL FRAMMEN TO BE ? AT OR DETTERS TO THE PROME MOTED.
  ALL FRAMMENT TO BE IN ACCORDANCE WITH ARIS SEC. TABLE ROKE. YOU
  WALL SHATLEHAL HAVE A CONTRAIOUS BOTTOM AND CONTINUOUS DOUBLE TOP
  PLATE.
- 1. ALL FRAMING WOOD ON THE FIRST FLOOR IS PRESQUIRE TREATED WOOD.



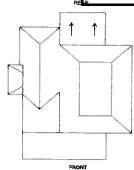
### ROOF FRAMING PLAN

BCALE US\* # 10\*



EXISTING ROOF PLAN



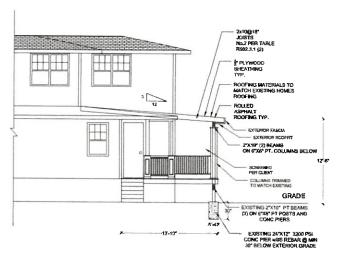


PROPOSED ROOF PLAN



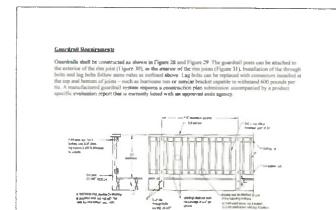
### **Bradley Lane** Screened Porch

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SECTION DETAIL

SCALE 14" + 10"



RAILING DETAIL

NOT TO SCALE

MICHAEL McCLELLAN BETHESDA, MD

E-RENOVATIONDRAFTING@GMAIL.COM P:240.478.9277

RENOVATION DRAFTIN MARK DATE DESCRIPTION

1900 IF PROJECT NO CADFLE

CHECKED BY COPYRIGHT

SECTION AND ROOF PLAN

A005