



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: May 20, 2019

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #871593: Porch alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 7, 2019 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mary Beth Donnelly (Michael Dombo, Architect)
Address: 3718 Bradley Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



BRADLEY LANE SCREENED PORCH

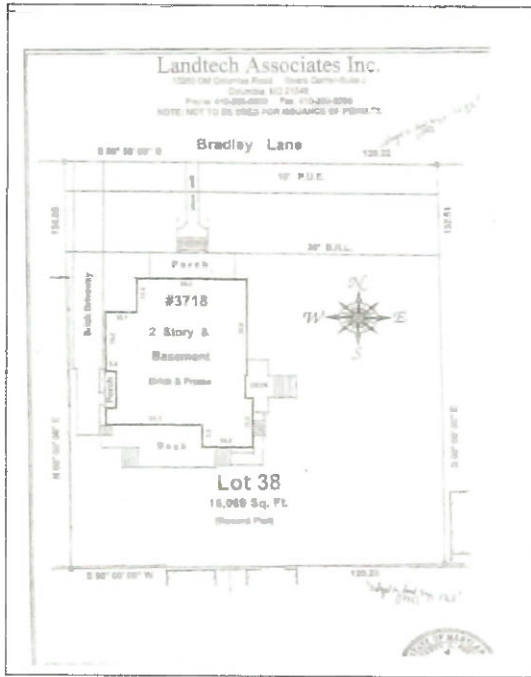
3718 Bradley Lane
Chevy Chase, MD

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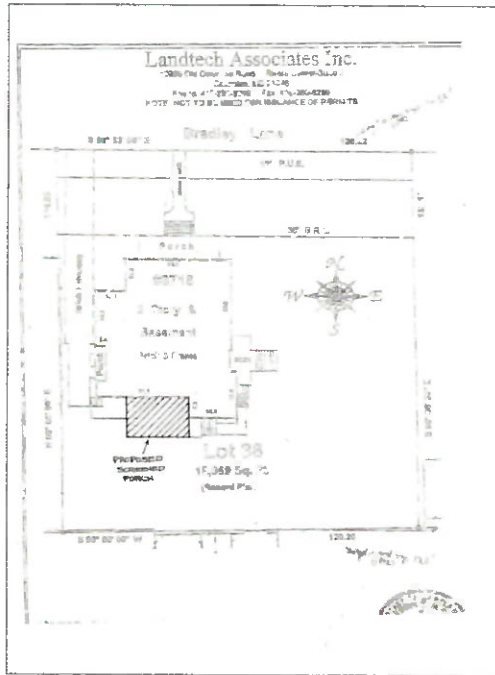
By Michael.Kyne at 1:36 pm, May 20, 2019

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Montgomery County
Historic Preservation Commission

Sandra Heiler



EXISTING SITE PLAN



PROPOSED SITE PLAN

CONTACT
MICHAEL McCLELLAN
BETHESDA, MD
RENOVATIONDRAFTING@GMAIL.COM
P 240 476 9277

RENOVATION DRAFTING

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SITE PLAN

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2001

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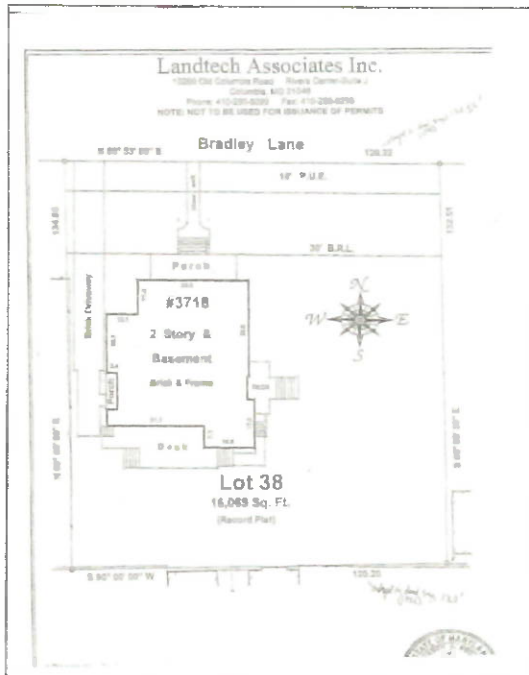
By Michael.Kyne at 1:37 pm, May 20, 2019

BRADLEY LANE SCREENED PORCH

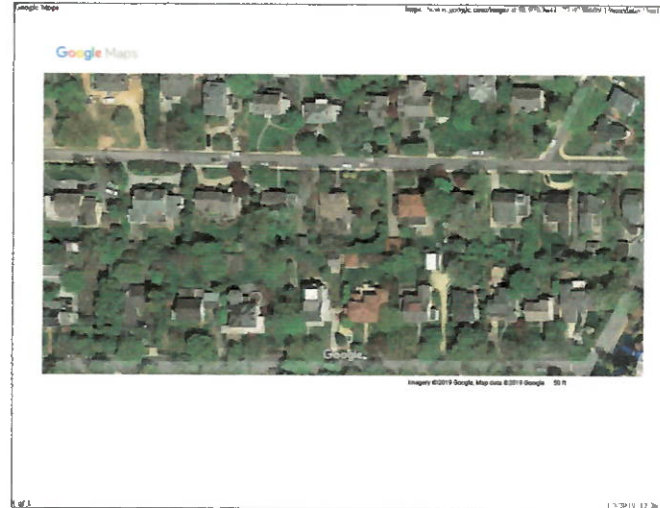
3718 Bradley Lane
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SITE PLAN



AERIAL VIEW

PROJECT
**Bradley Lane
Screened Porch**
3718 Bradley Lane
Chevy Chase, MD

CONTACT
MICHAEL McCLELLAN
BETHESDA, MD
ERENOVATIONDRAFTING@GMAIL.COM
P.240.478.9277

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SITE PLAN

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Z001

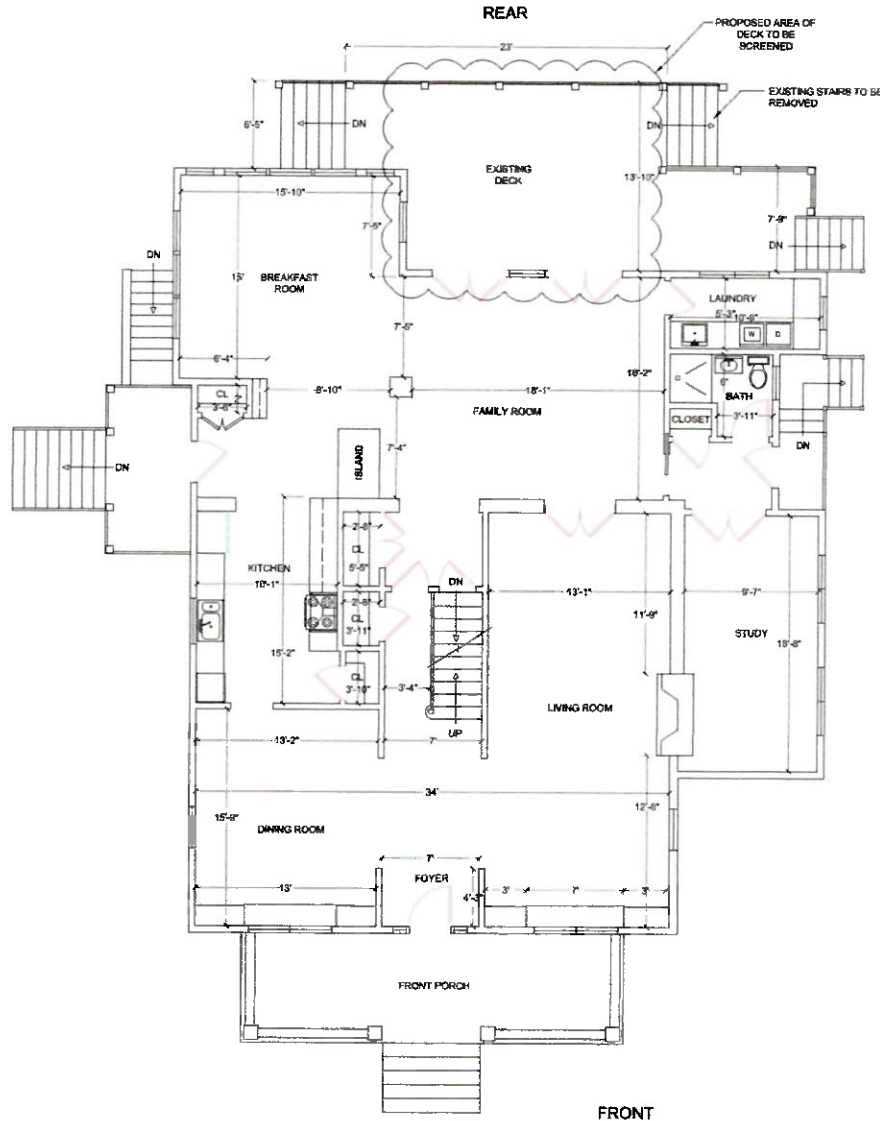
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By Michael.Kyne at 1:37 pm, May 20, 2019

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Montgomery County
Historic Preservation Commission

Sandra L. Heiler



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

EXISTING OPEN PERGOLA
TO BE REMOVED



EXISTING OPEN PERGOLA
TO BE REMOVED



PROJECT

**Bradley Lane
Screened Porch**

3718 Bradley Lane
Chevy Chase, MD

CONTACT

MICHAEL McCLELLAN
BETHESDA, MD
ERENOVATIONDRAFTING@GMAIL.COM
P.240.478.9277

RENOVATION DRAFTING

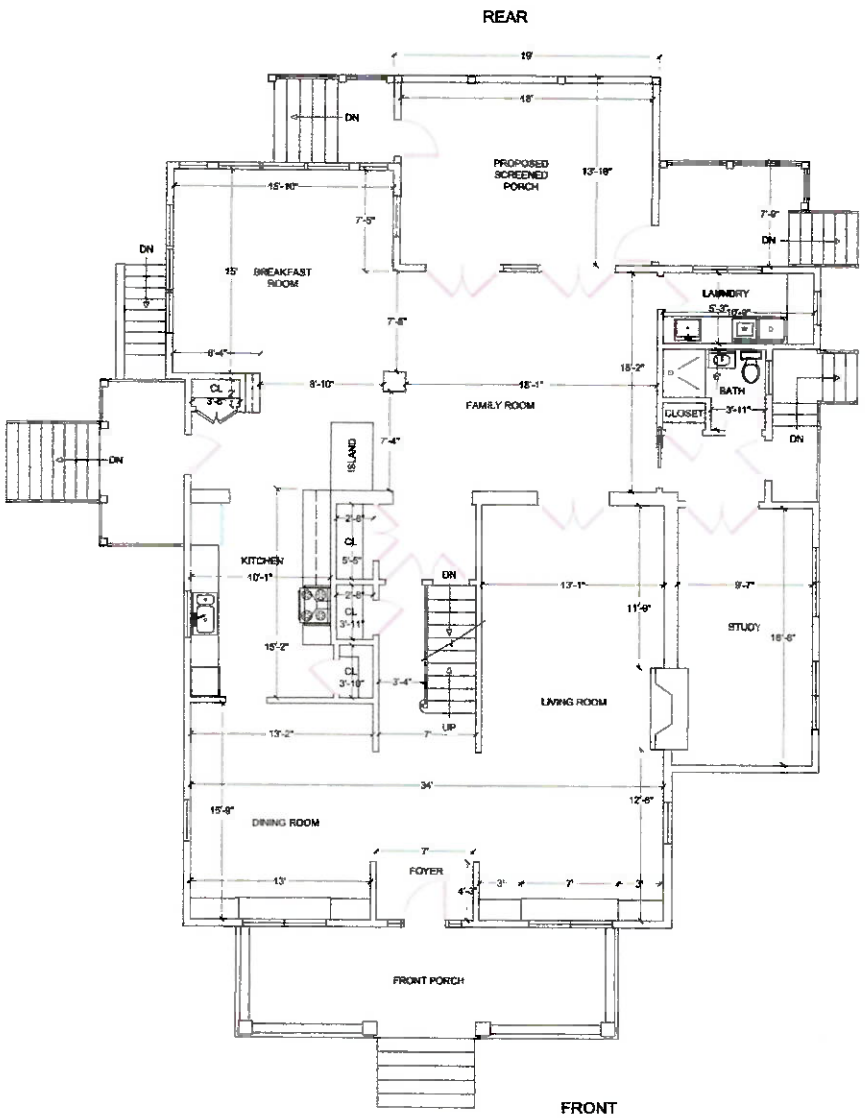
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FIRST FLOOR PLAN

DRAWING SHEET NO:

A001



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



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By Michael.Kyne at 1:37 pm, May 20, 2019

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Montgomery County
Historic Preservation Commission
Sandra Heiler

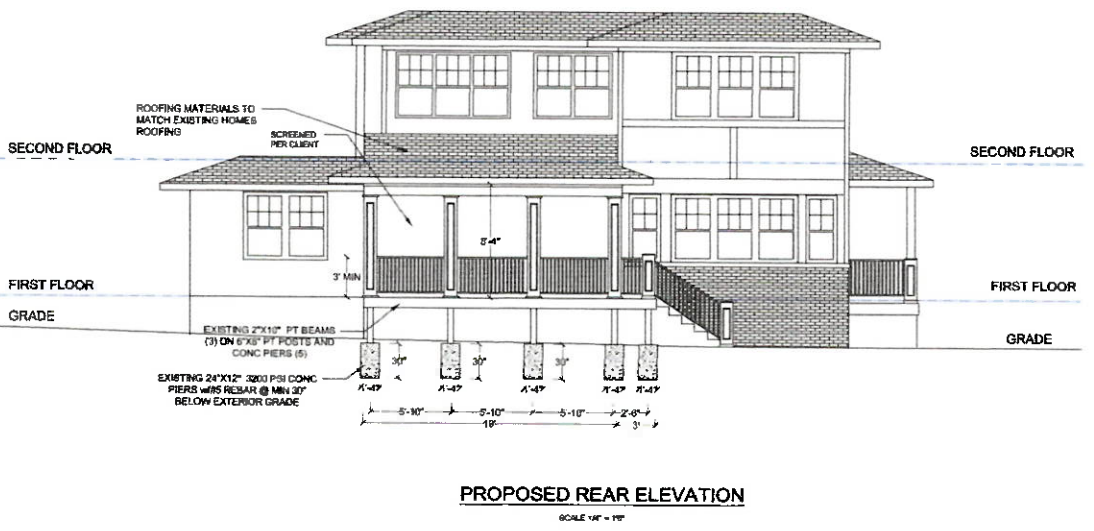
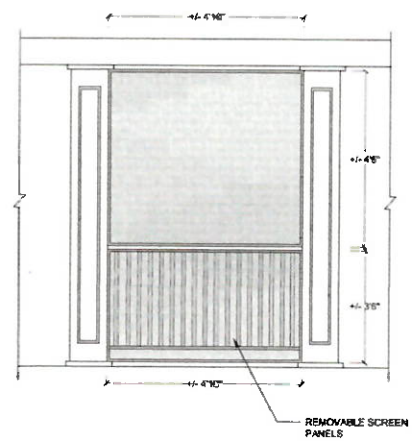
GENERAL NOTES

- DESIGN CODE:
1. 2015 INTERNATIONAL RESIDENTIAL CODE.
- DESIGN LOADS:
1. FLOOR DEAD LOAD: 12 PSF
2. FLOOR LIVE LOAD: 40 PSF
3. ROOF LIVE LOAD: 30 PSF
4. GROUND SNOW LOAD: 30 PSF
- WIND DESIGN CRITERIA:
1. ULTIMATE (V_W) DESIGN WIND SPEED: 115 MPH
- FRAMING:
2. ALL JOINT HANGERS TO BE SIMPSON STRONG TIE, OR APPROVED EQUAL.
3. ALL FRAMING TO BE SOUTHERN PINE #2 OR BETTER.
4. TYPICAL WALL FRAMING TO BE 2 X 6 AT 16" O.C. UNLESS OTHERWISE NOTED.
5. ALL FASTENERS TO BE IN ACCORDANCE WITH 2015 IRC, TABLE RB02.2(1).
6. WALLS SHALL HAVE A CONTINUOUS BOTTOM AND CONTINUOUS DOUBLE TOP PLATE.
7. ALL FRAMING WOOD ON THE FIRST FLOOR IS PRESSURE TREATED WOOD

CONTACT	
MICHAEL McCLELLAN BETHESDA, MD RENOVATIONDRAFTING@GMAIL.COM P.240.478.9277	
PROJECT	
Bradley Lane Screened Porch 3718 Bradley Lane Chevy Chase, MD	
RENOVATION DRAFTING	
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PROPOSED PORCH FLOOR PLAN	
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A002	

REVIEWED
 By Michael.Kyne at 1:37 pm, May 20, 2019

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 Montgomery County
 Historic Preservation Commission
Sandra L. Skiller



PROJECT

Bradley Lane Screened Porch
 3718 Bradley Lane
 Chevy Chase, MD

CONTACT
MICHAEL McCLELLAN
 BETHESDA, MD
 E.RENOVATIONDRAFTING@GMAIL.COM
 P.240.478.9277

RENOVATION DRAFTING

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ISSUE TITLE

EXISTING AND PROPOSED REAR ELEVATIONS

DRAWING SHEET NO.

A003

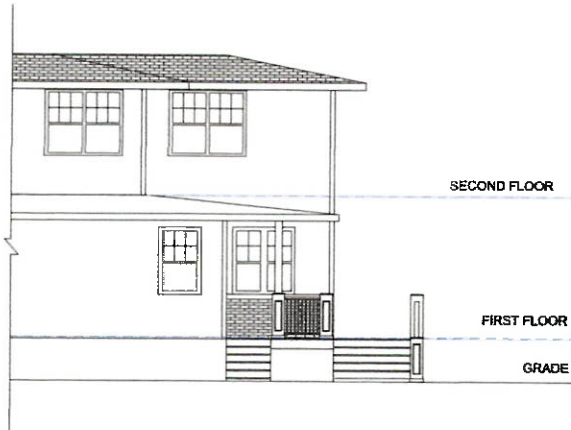
REVIEWED

By Michael.Kyne at 1:37 pm, May 20, 2019

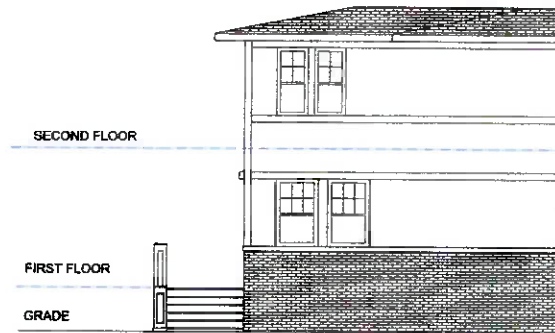
APPROVED

Montgomery County
Historic Preservation Commission

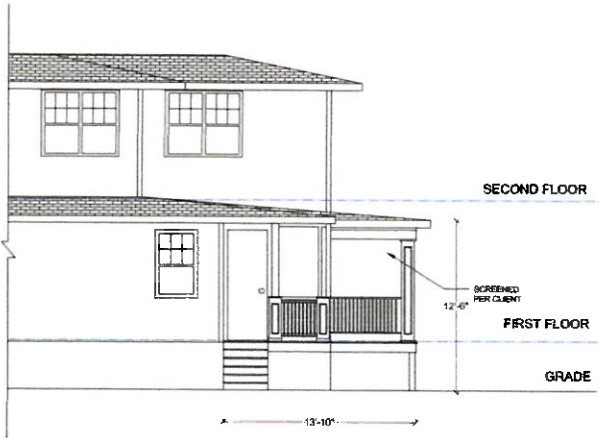
SEAL
Sandra D. Heiler



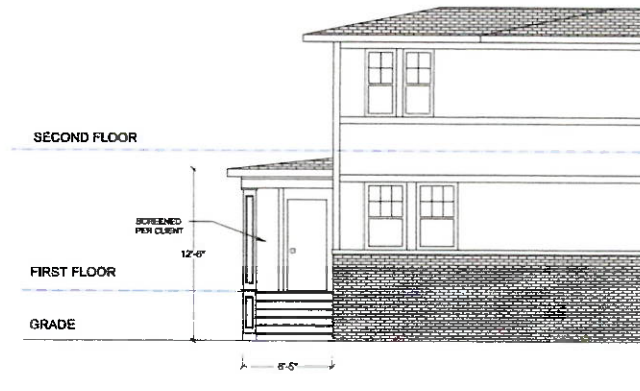
EXISTING SIDE ELEVATION
SCALE 1/4" = 1'-0"



EXISTING SIDE ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED SIDE ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED SIDE ELEVATION
SCALE 1/4" = 1'-0"

PROJECT:
**Bradley Lane
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RENOVATION DRAFTING

NO.	DATE	DESCRIPTION
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ISSUE

PROJECT NO.

CAD FILE

DATE

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SHEET TITLE

EXISTING AND PROPOSED
SIDE ELEVATIONS

DRAWING SHEET NO.

A004

REVIEWED

By Michael.Kyne at 1:37 pm, May 20, 2019

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Montgomery County
Historic Preservation Commission

SEAL
Sandra L. Heiler

GENERAL NOTES

DESIGN CODE:

- 1. 2015 INTERNATIONAL RESIDENTIAL CODE.

DESIGN LOADS:

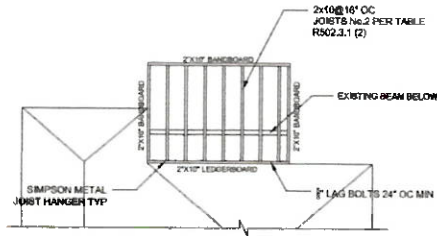
- 1. FLOOR DEAD LOAD: 12 PSF
- 2. FLOOR LIVE LOAD: 40 PSF
- 3. ROOF LIVE LOAD: 30 PSF
- 4. GROUND SNOW LOAD: 30 PSF

WIND DESIGN CRITERIA:

- 1. ULTIMATE (V_W) DESIGN WIND SPEED: 115 MPH

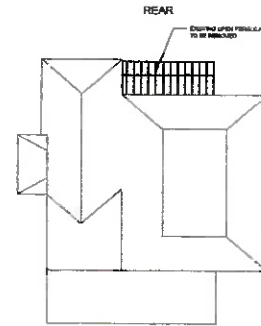
FRAMING:

- 2. ALL JOIST HANGERS TO BE SIMPSON STRONG TIE, OR APPROVED EQUAL.
- 3. ALL FRAMING TO BE SOUTHERN PINE #2 OR BETTER.
- 4. TYPICAL WALL FRAMING TO BE 2 X 6 AT 16" OC, UNLESS OTHERWISE NOTED.
- 5. ALL FASTENING TO BE IN ACCORDANCE WITH 2015 IRC, TABLE R602.3.1).
- 6. WALLS SHALL HAVE A CONTINUOUS BOTTOM AND CONTINUOUS DOUBLE TOP PLATE.
- 7. ALL FRAMING WOOD ON THE FIRST FLOOR IS PRESSURE TREATED WOOD.



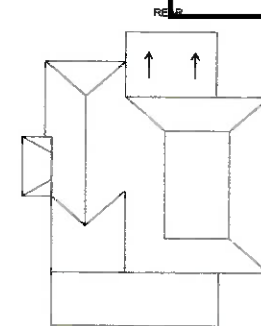
ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"



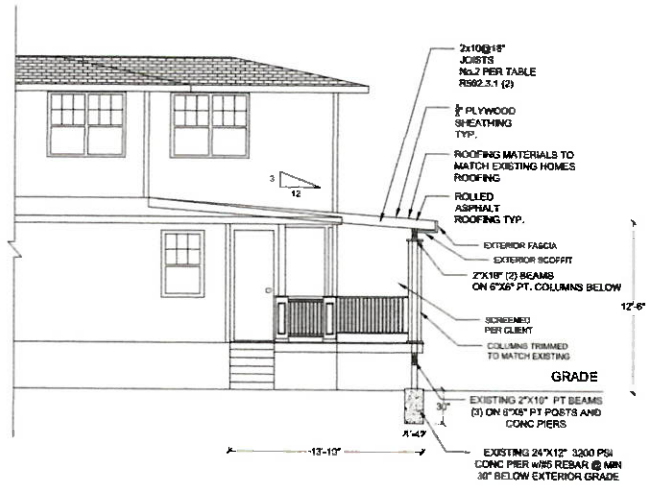
EXISTING ROOF PLAN

NOT TO SCALE



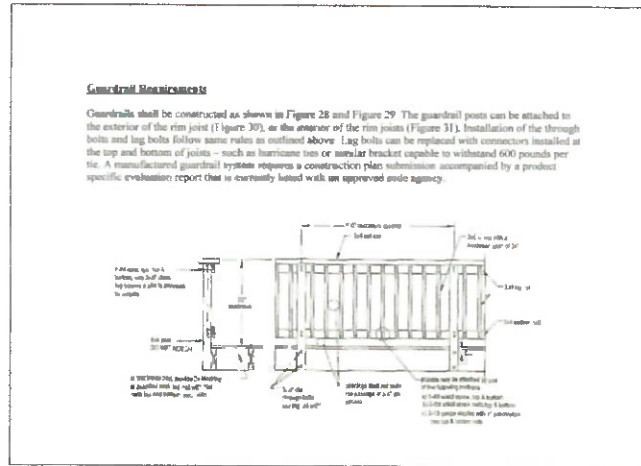
PROPOSED ROOF PLAN

NOT TO SCALE



SECTION DETAIL

SCALE 1/4" = 1'-0"



RAILINGS DETAIL

NOT TO SCALE

PROJECT
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SECTION AND ROOF PLAN

DRAWING SHEET NO:

A005