



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: June 10, 2019

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #872474: Porch alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 7, 2019 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Myles Perkins (Lisa Quandt, Architect)
Address: 3928 Baltimore Street, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



Perkins- Lindgren Residence

3928 Baltimore Street

Kensington, MD 20895

Sheet Index 2	
ID	Name
G-1	Coversheet
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A-5	Outdoor Grill Equipment
A-6	Outdoor Grill Equipment

ZONING INFORMATION

ZONING: R-60 (Montgomery County)
 LEGAL:
 SUBDIVISION: Kensington Park
 HISTORIC REVIEW
 JURISDICTION: Kensington Historic District
 LOT: 21 & 22
 BLOCK: 11
 RECORD DATE: 11/15/1890

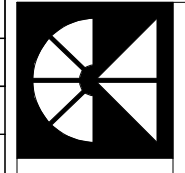
LOT AREA: 20,310 (Record)
 LOT COVERAGE: 13.5%
 HEIGHT: 29.7' (EXG. HOUSE)- NO CHANGE

APPLICABLE CODES

- BUILDING CODE**
 - 2015 ICC International Residential Code (IRC) w/ amendments per Executive Regulation No.4-15AM11
- ELECTRICAL CODE**
 - NFPA National Electrical Code (NEC) 2008
- PLUMBING CODE**
 - WSSC Plumbing Code
- FUEL GAS CODE**
 - 2015 ICC International Fuel Gas Code (IFGC) w/ amendments per Executive Regulation No.4-15AM11
- MECHANICAL CODE REFERENCED**
 - 2015 ICC International Mechanical Code (IMC) w/ amendments per Executive Regulation No.4-15AM11
- FIRE CODE**
 - 2012 NFPA 1 Fire Code (National Fire Protection Association) w/ amendments, per State Code found below
 - State of Maryland Fire Prevention Code
- FIRE ALARM CODE**
 - NFPA 72/2010 w/ amendments
 - COMAR NFPA 72/2010
- LIFE SAFETY CODE**
 - NFPA 1 & 101 Life Safety Code (National Fire Protection Association) 2012 w/ amendments
 - COMAR NFPA 101/2012
- RESIDENTIAL SPRINKLER CODE**
 - NFPA 13D/2010 w/ amendments
 - COMAR NFPA 13D/2010
- ENERGY CONSERVATION CODE**
 - 2015 ICC International Energy Conservation Code (IECC) w/ amendments per Executive Regulation No.4-15AM11
- STATE OF MARYLAND BUILDING STANDARDS**
 - Maryland Building Performance Standards COMAR 05.02.07

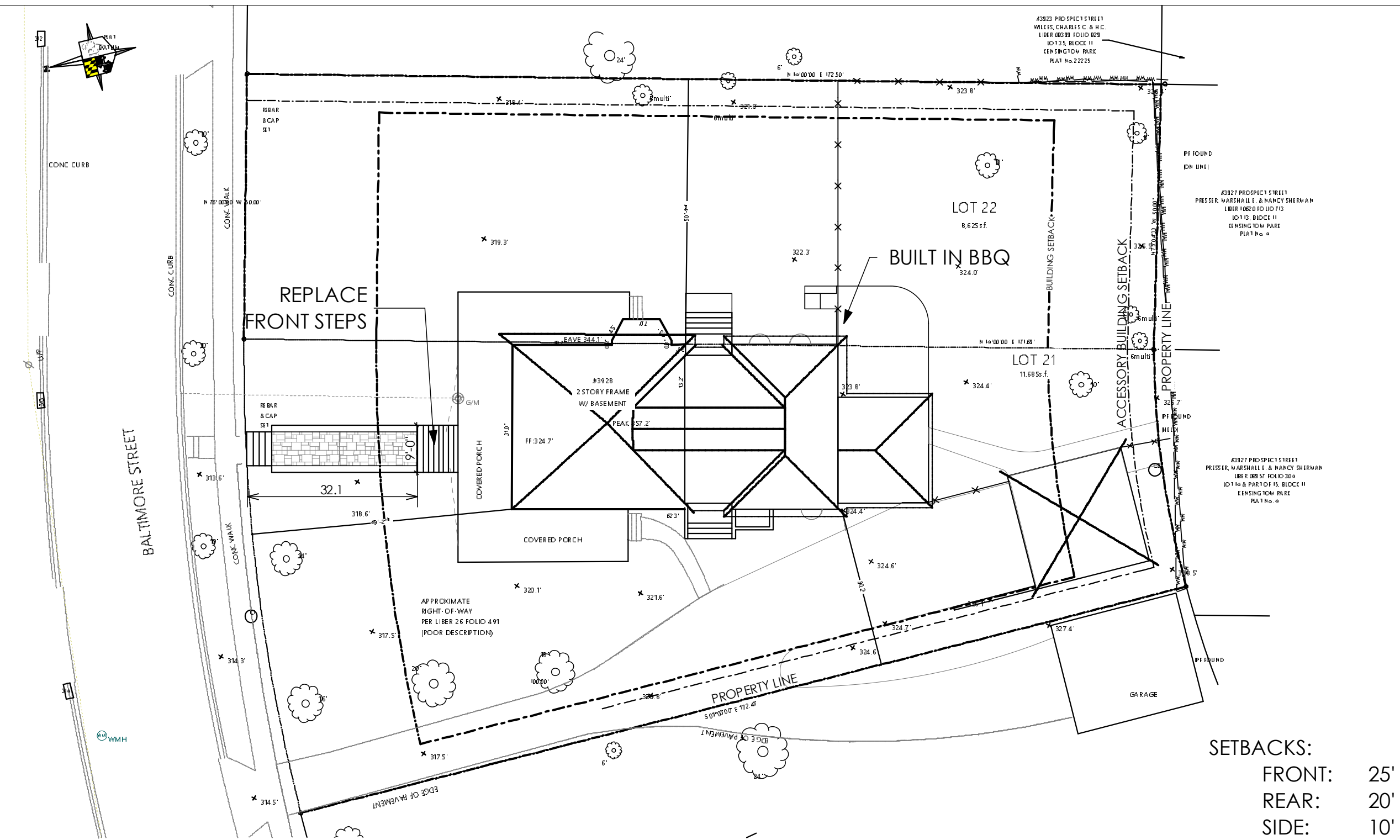
SCOPE OF WORK:

EXTERIOR WORK:
 -REPLACE EXISTING BRICK FRONT PORCH STEPS WITH NEW FRAMED STEPS
 -NEW BUILT IN GRILL



MANION + ASSOCIATES ARCHITECTS
 7307 MacArthur Blvd, Ste. 216, Bethesda, Maryland 20816
 T:301.229.7000 F:301.229.7171 www.manionandassociates.com

PROJECT PHASE: PERMIT/BID
 ISSUE DATE: 05/20/2019
 DRAWN BY: Lisa Quandt
 REVISIONS: 06/10/2019
 CHECKED BY:



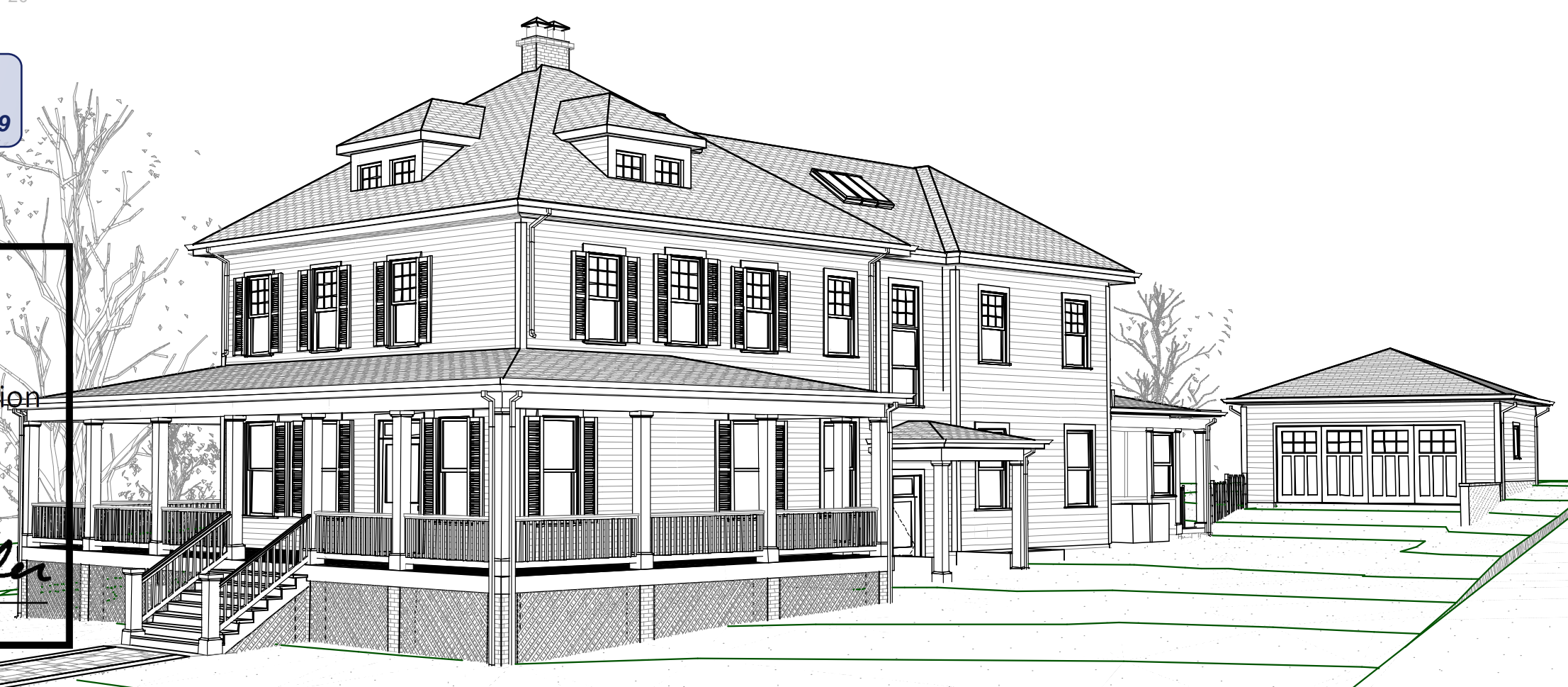
SETBACKS:
 FRONT: 25'
 REAR: 20'
 SIDE: 10'

1 Site Plan
 G-1 SCALE: 1" = 20'

REVIEWED
 By Michael.Kyne at 3:45 pm, Jun 10, 2019

APPROVED
 Montgomery County
 Historic Preservation Commission

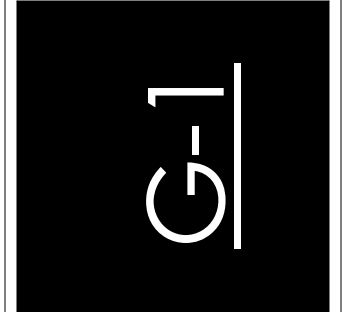
Sandra L. Heiler



PERMIT/BID

DO NOT SCALE DRAWINGS
 Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and must notify this office of any variations from the dimensions and conditions shown.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO.: 3727-R
 EXPIRATION DATE: 05/08/2020



Y:\P\Perkins-Construction\Perkins_19_05-13_Front\Perkins-Lindgren\Perkins-Lindgren.dwg

GENERAL NOTES

- ALL WORK IS TO BE DONE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL CONFORM TO ALL O.S.H.A. REQUIREMENTS.
- ALL WORK TO BE IN COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE.
- APPROVAL OF THESE DRAWINGS BY GOVERNING AUTHORITIES DOES NOT RELEASE THE CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE CODES AND STANDARDS.
- THE GENERAL CONTRACTOR SHALL BEAR FULL RESPONSIBILITY AND COSTS FOR THE FOLLOWING:
 - PERMITS, LICENSES, INSPECTIONS AND FEES (ALL IMPACT FEES).
 - TEMPORARY POWER AND UTILITIES.
 - TRASH REMOVAL.
 - LIABILITY AND WORKMEN'S COMPENSATION INSURANCE, ETC.
 - AND OTHER ITEMS INDICATED IN SPECIFICATIONS.
- CONTRACTOR TO VISIT SITE AND COMPLETELY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS PRIOR TO EXECUTION OF ANY CONSTRUCTION, CONTACT ARCHITECT PRIOR TO EXECUTING ANY WORK IN QUESTION.
- CHECK ALL DIMENSIONS ON JOB AND FULLY VERIFY PRIOR TO EXECUTION. ALL ELEVATIONS GIVEN ARE APPROXIMATE AND ARE GIVEN FOR RELATIONAL PURPOSES. CONTRACTOR SHALL ESTABLISH EXACT LEVELS PRIOR TO START OF WORK AND NOTIFY ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES.
- CONTRACTOR SHALL NOT SCALE DRAWINGS AND DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCEMENT OF WORK.
- THE ARCHITECT WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS CONTRACTORS, SUBCONTRACTORS, OR ANYONE PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.
- IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
- IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- THE ARCHITECT AND OWNER WILL CONSIDER FORMAL REQUESTS FROM THE CONTRACTOR FOR SUBSTITUTION OF PRODUCTS, MATERIALS OR MANUFACTURERS. THESE REQUESTS SHALL ACCOMPANY BUT NOT BE INCLUDED IN THE BASE BID ON THE SPECIFIED BID DUE DATE. SUBMIT TWO COPIES OF REQUEST FOR SUBSTITUTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/VENDOR DATA SUBMITTAL SCHEDULE TO ARCHITECT FOR REVIEW AND APPROVAL WITHIN THIRTY (30) DAYS FROM COMMENCEMENT OF WORK. SUBMIT TWO (2) COPIES TO ARCHITECT.
- DEMOLITION TO BE PROVIDED BY CONTRACTOR AS REQUIRED. COMPLETELY REMOVE ALL TRASH FROM SITE.
- WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES AND AREAS FROM DAMAGE. ANY AREAS DAMAGED DURING CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST. THIS APPLIES PARTICULARLY TO ADJACENT SPACES, ROOF, AND OTHER EXTERIOR AREAS AND SURFACES.
- THE CONTRACTOR IN THE FIELD SHALL ASSESS AND DETERMINE THE METHOD FOR EXCAVATION, SHORING, AND FORMING NEW FOOTINGS AND FOUNDATION WALLS.
- THE EXCAVATION CONTRACTOR WILL USE ALL NECESSARY PRECAUTIONS WHEN EXCAVATING AT OR NEAR EXISTING BUILDING FOUNDATIONS, TREES, ETC.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AGAINST THE DEPOSIT OF SOIL, GRAVEL, OR OTHER MATERIAL ON ANY PUBLIC PROPERTY OR OTHER NEIGHBORING PREMISES PER LOCAL/STATE CODE REQUIREMENTS.
- ALL CONCRETE DETAILS AND CONSTRUCTION ARE TO COMPLY WITH LATEST A.C.I. CODE AND LOCAL CODES.
- ALL WOOD FRAMING EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA.
- ONLY NEW, FIRST CLASS MATERIALS WILL BE USED (EXCEPT AS NOTED). ALL WORK AND EQUIPMENT SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE EXCEPT FOR MANUFACTURER'S GUARANTEES WHICH MAY BE LONGER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS OR IS NOT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
- ALL MANUFACTURED ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- WARRANTIES, GUARANTEES AND MANUFACTURER'S INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE CONTRACTOR SHALL BE GIVEN TO THE OWNER.
- ALL GYPSUM BOARD SHALL BE TAPED, SPACKLED AND SANDED SMOOTH PRIOR TO FINISHING, METAL BEADING SHALL BE USED ON ALL OUTSIDE CORNERS WHERE APPLICABLE.
- ALL PENETRATIONS THROUGH EXISTING ROOF SHALL BE SEALED IN PITCH POCKETS AT PIPING, CONDUIT, ETC.; FLASH DUCTS AND CURBS.
- CONTRACTOR SHALL PROVIDE PROTECTION ON A DAILY BASIS FOR ALL WORK THAT PENETRATES THE EXISTING ROOF MATERIAL. CONTRACTOR TO COVER ALL WORK UNTIL WATER/WEATHER PROOF THROUGH COMPLETION OF CONSTRUCTION.
- UTILITIES TO BE COORDINATED AND PROVIDED AS PER DRAWINGS.
- REMOVAL, DISPOSAL, ALTERATION AND RELOCATION OF EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT, CONDUITS, PIPES AND DUCTS ARE INCLUDED IN THE WORK.
- ALL NOTES ON THIS DRAWING APPLY FOR THE ENTIRE PROJECT WHETHER OR NOT REPEATED ON OTHER DRAWINGS.

STRUCTURAL NOTES

LIVE LOADS:

Residential:			
Decks	40 psf	Pg =	30 psf
Balcony	60 psf	Is =	1.0
Rooms other than Sleeping Rooms	40 psf	Ce =	1.0
Sleeping Rooms	30 psf	Ct =	1.0
Stairs	40 psf	Pf =	20 psf
Roof Snow Load	30 psf		

Individual stair treads shall be designed for the uniformly distributed live load of a 300 pound concentrated load acting over an area of 4 square inches, whichever produces the greatest stresses. Handrail assemblies and guards shall be designed to resist a load of 50 plf applied in any direction at the top and to transfer this load through the supports to the structure. Handrail assemblies and guards shall be able to resist a single concentrated load of 200 pounds, applies in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building (this load need not act concurrently with the loads specified above). Intermediate rails, balusters, and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds.

WIND LOAD:

Section 1609.0 2015 IRC Code:	V3s =	115 mph
	q =	20.7 psf
	I =	1.0
	Exposure:	B
	GCpi =	+/-0.18

GENERAL:

- Provide all labor, material, equipment and miscellaneous items including but not limited to clips, inserts, ties, anchor straps, hangers, bolts, and other fasteners required to complete the work.
- Verify all floor and roof openings with the architectural and MEP drawings. Verify all depressions, dimensions, and slopes from the architectural drawings. Any discrepancy shall be brought to the attention of the Architect.
- The contractor shall be solely responsible for site safety, and the stability of all new, temporary, and existing structures, walls, slabs, etc. during the construction phase.

FOUNDATIONS:

- The architect is not responsible for subsurface conditions encountered in the field different to those assumed for the design.
- Assumed soil bearing value of "2,000" psf to be verified by geotechnical engineer or qualified soils technician.
- All footings shall project at least 1'-0" into undisturbed natural soil or compacted controlled fill having a bearing value at least equal to that specified above.
- Bottoms of all exterior footings shall be at least 2'-6" below finished grade or as required by local code requirements. Footing elevations indicated on drawings have been established from available information provided by others and may not violate criteria established above. Footing elevations shall be lowered as site conditions warrant for poor soil conditions or as required to facilitate site utilities or existing conditions.
- Unless otherwise shown on the drawings, wall footings shall be 12" deep and project 6" beyond each face of wall. Wall footings supporting masonry walls are to be reinforced with (3) #5 longitudinal continuous bottom bars.
- All disturbed earth under footings shall be replaced with lean concrete.
- All bearing strata shall be adequately drained before foundation concrete is placed.
- No excavation to be closer than at a slope of 2:1 (2 horizontal to one vertical) to an exg. footing or structure U.O.N.
- Do not place concrete over frozen soil.
- Centerline of footing shall match centerline of column, pedestal and/or pier unless shown otherwise.

MASONRY:

- Solid masonry shall be Grade N1 in accordance with ASTM C-90 and may be 75% solid, U.O.N. Hollow masonry units shall be Grade N1 conforming to ASTM C-90. All mortar shall conform to ASTM C270, and shall be Portland cement / lime mortar. Masonry cement shall not be acceptable.
- Mortar in bearing walls shall be type 'S'. Mortar in non-bearing walls may be type 'N'. Mortar below grade shall be type 'M'. All mortar joints in masonry walls (horizontal & vertical) shall be filled 100% with mortar. Provide care to eliminated excessive mortar in air space of cavity walls.
- Provide damp-proofing on exterior face of masonry walls below grade.
- Provide a minimum of 3 courses of solid brick, one course 100% solid block, or a continuous bond beam at bearing of joists, bearing walls or supported slabs.
- Provide control joints in masonry walls at 30'-0" maximum or as shown on Architectural drawings.
- All portions of bearing walls having a horizontal cross section of 4 square feet or less shall be of solid masonry down to footings.
- Provide horizontal masonry reinforcing (DUR-O-WALL or equal) at 16" o.c. in all masonry walls U.O.N.
- Use buckets to measure materials for mixing mortar. Grout to be sand & cement, 8 bags of cement per cubic yard.
- Provide 12 gage galvanized masonry straps with 3/16" diameter ties @ 24" o/c horizontally and 16" o.c. vertically between veneer walls and back-up. Masonry tie assemblies shall be screwed (not nailed) to wood and light gauge stud backup. Provide dovetail anchor slots at 24" o.c. where masonry abuts concrete.

REINFORCED MASONRY:

- Shall be constructed as follows:
 - All cells line up;
 - Provide clean-out holes above the footing in block cells to be reinforced;
 - Break all mortar protruding into block cells with the reinforcing rod and remove loose mortar;
 - Fill cells containing reinforcing with 3000 psi pea-gravel grout.

CONCRETE:

- All concrete construction including detailing, fabrication, placement of reinforcing, mixing, handling, placing, finishing, and curing shall conform to ACI "Structural Concrete for Buildings" (ACI 301), ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI-315), and "ACI Building Code Requirements for Reinforced Concrete" (ACI-318).
- All concrete shall conform to ASTM C94. Minimum compressive strength and maximum water/cement ratio shall be as follows:
 - Foundations, walls, slabs on grade: 3000 psi (0.58)
 - Garage slabs on grade: 3500 psi (0.50)
 - Deck supported slabs: 3000 psi (0.58)
- Maximum aggregate size for regular concrete shall be 3/4" and pea-gravel concrete shall be 3/8". Aggregate for regular weight concrete shall conform to ASTM C33 and lightweight concrete shall conform to ASTM C330.
- All concrete exposed to the weather shall be air entrained with 6% +/- 1% air. All other concrete shall be air entrained with 4% +/- 1% air unless concrete is interior-exposed and is to receive a hard-troweled finish. Slump shall be 4" +/- 1".
- Provide expansion joints at 150' O.C. and control joints at 25' O.C. at all exposed CIP walls (except basement walls). Coordinate joint locations with architectural drawings.

REINFORCEMENT STEEL:

- All reinforcing steel except beam stirrups and column ties shall conform to ASTM-A615, Grade 60. Stirrups and ties shall conform to ASTM A615, Grade 40 unless noted otherwise.
- Welded wire mesh to conform to ASTM-A185, and have minimum side and end laps of 8".
- Fabricate and provide standard supporting accessories in accordance with the ACI Manual of Standard Practice for Detailing Reinforced Concrete Structures ACI 315.
- All top reinforcing steel and beam stirrups in balconies, parking slabs and weather-exposed locations shall be epoxy coated per ASTM A 775/A 775M.

STRUCTURAL NOTES (continued)

CONCRETE PROTECTION FOR REINFORCEMENT:

- Reinforcing bars and mesh to have concrete cover as follows:
 - Footings and other concrete poured against earth 3"
 - Formed concrete exposed to earth for bars larger than #52"
 - Formed concrete exposed to earth for bars #5 or smaller bars 1 1/2"
 - Interior faces of walls 1"
 - Beams, columns and top reinforcing in the garage slabs 1 1/2"
 - Framed Slabs 3/4"
 - Slabs on ground to have reinforcement in top third of thickness.

POST INSTALLED MECHANICAL AND CHEMICAL ANCHORS:

- All mechanical and chemical anchors indicated within these documents shall be provided by Hilli, Inc. or an structural engineer-approved equivalent. Alternate anchors shall submitted to structural engineer for approval-submittal must include all relevant technical information including allowable load values.
- All anchors shall be installed in accordance with the anchor manufacturer's specifications.
- UON, all anchors shall have standard embedment depth as defined by the anchor manufacturer.

SLABS ON GRADE:

- Except where otherwise noted, shall be 4" thick, reinforced with 6x6 - W1.4xW1.4 (6x6 - 10/10) WWM. Lap mesh 8" in each direction. Slab reinforcement shall be located in top third of slab thickness.
- Provide control joints at 15'-0" o.c. each way in all slabs on grade. Control joints shall be sawcut within 4 hours after finishing or shall be a pre-fabricated mechanical joint. Interior slabs shall be laid on a layer of 6 mil. polyethylene over a 4" layer of washed gravel unless otherwise recommended in Geotechnical report.

BACKFILL:

- Shall not be placed against walls until top of wall is either temporarily or permanently braced with floor system. If floor system is a concrete slab, the floor system concrete must have achieved 75% of design strength prior to placement of backfill. Where backfill is required on both sides of walls, backfill both sides simultaneously.

SUMP PUMPS:

- Are to be provided during construction as required to control surface water and after construction as permanent means of controlling underground water.

REVIEWED

By Michael.Kyne at 3:45 pm, Jun 10, 2019

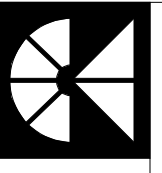


ABBREVIATIONS:

- ADA = AMERICANS WITH DISABILITIES ACT
- A.F.F. = ABOVE FINISHED FLOOR
- B.I. = BUILT IN
- C.H. = CEILING HEIGHT
- CONC. = CONCRETE
- COORD. = COORDINATE
- DIA. = DIAMETER
- EA. = EACH
- EQ = EQUAL
- ETR = EXISTING TO REMAIN
- E.W. = EACH WAY
- EXG. = EXISTING
- FR = FIRE RATED
- FRP = FIBERGLASS REINFORCED PLASTIC
- FTG. = FOOTING
- GPF = GALLONS PER FLUSH
- GYP. BD= GYPSUM BOARD
- HR. = HOUR
- MIN. = MINIMUM
- MAX. = MAXIMUM
- MTL = METAL
- N.I.C. = NOT IN CONTRACT
- O.C. = ON CENTER
- O.F.C.I. = OWNER FURNISHED, CONTRACTOR INSTALLED
- P.F.E. = PORTABLE FIRE EXTINGUISHER
- PTD.= PAINTED
- REQ'D = REQUIRED
- SIM. = SIMILAR
- S.S = STAINLESS STEEL
- TYP. = TYPICAL
- U.O.N. = UNLESS OTHERWISE NOTED
- V.I.F. = VERIFY IN FIELD
- W/ = WITH
- W.R. = WATER RESISTANT

PERMIT/BID

PROFESSIONAL CERTIFICATION
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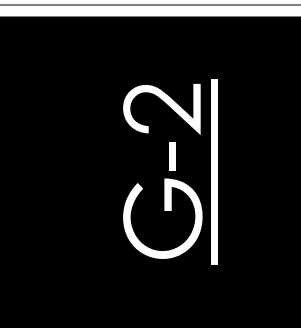
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DRAWN BY: Lisa Quandt	REVISIONS
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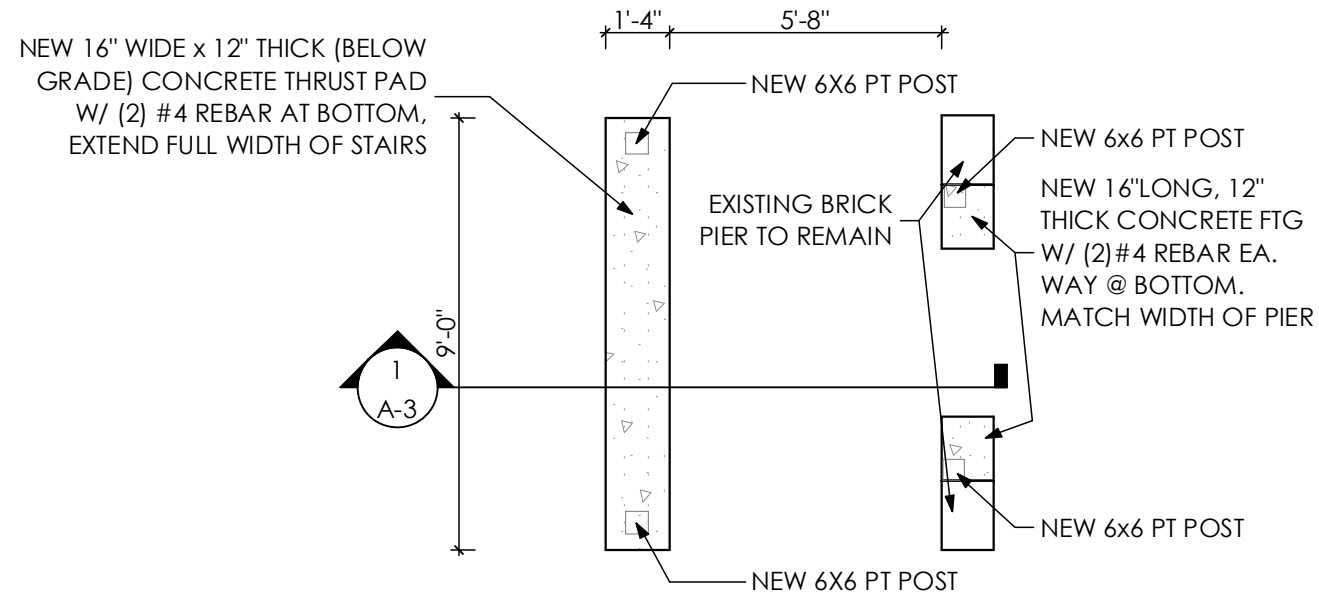
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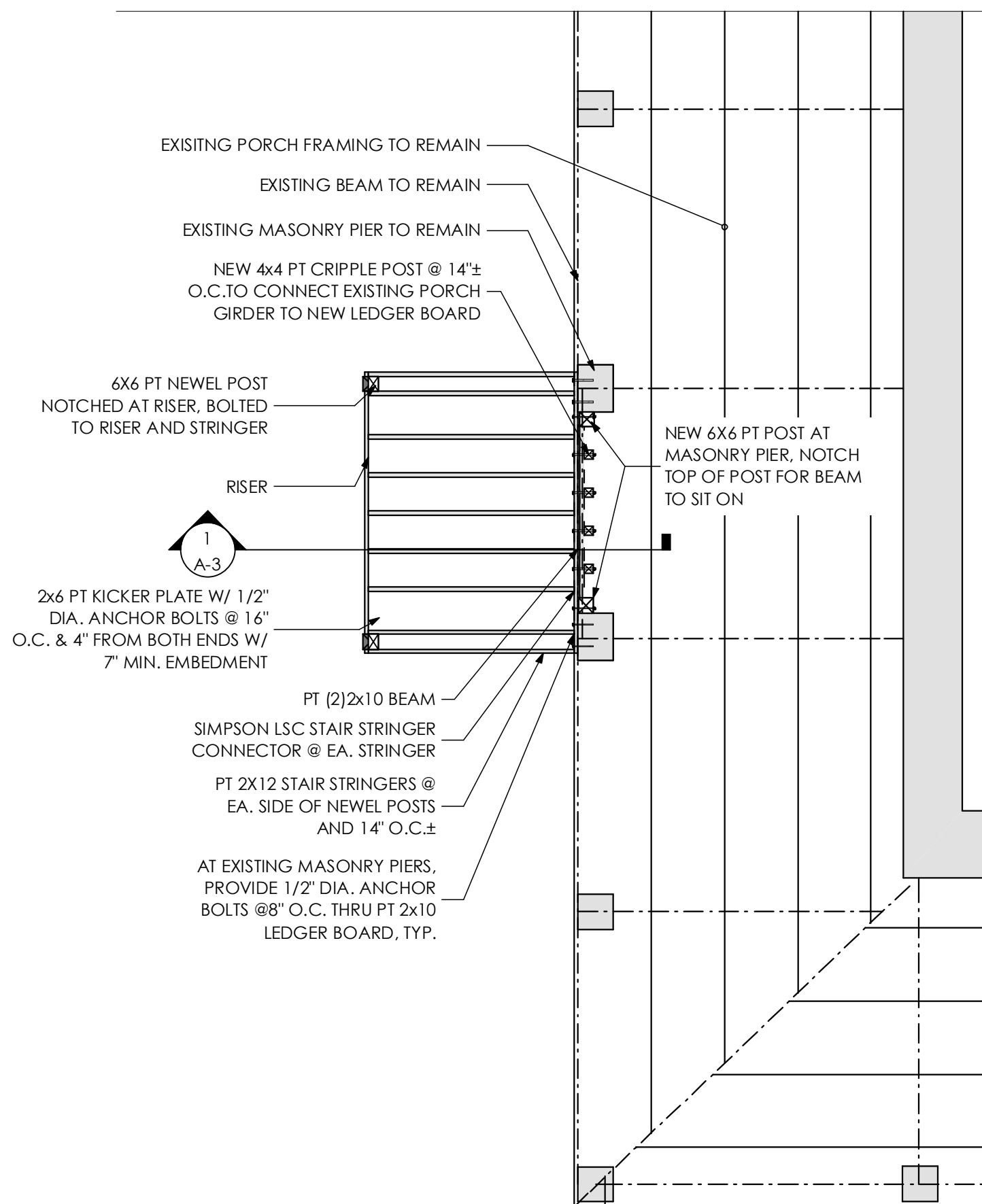
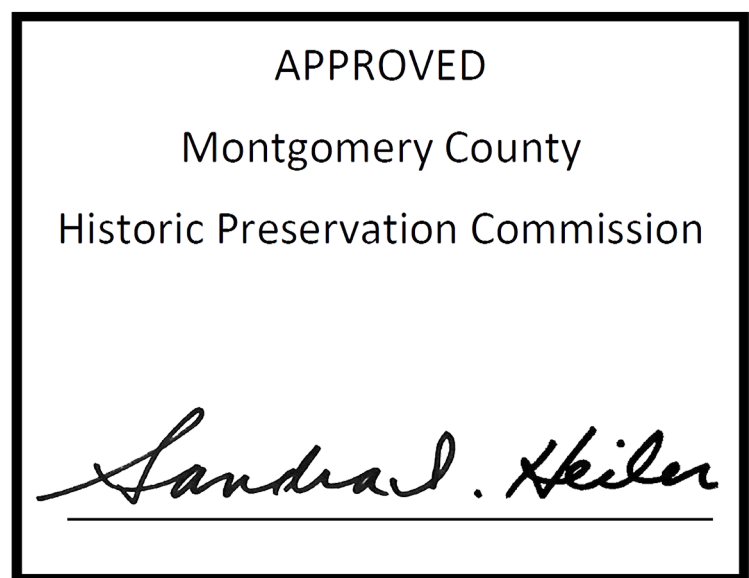


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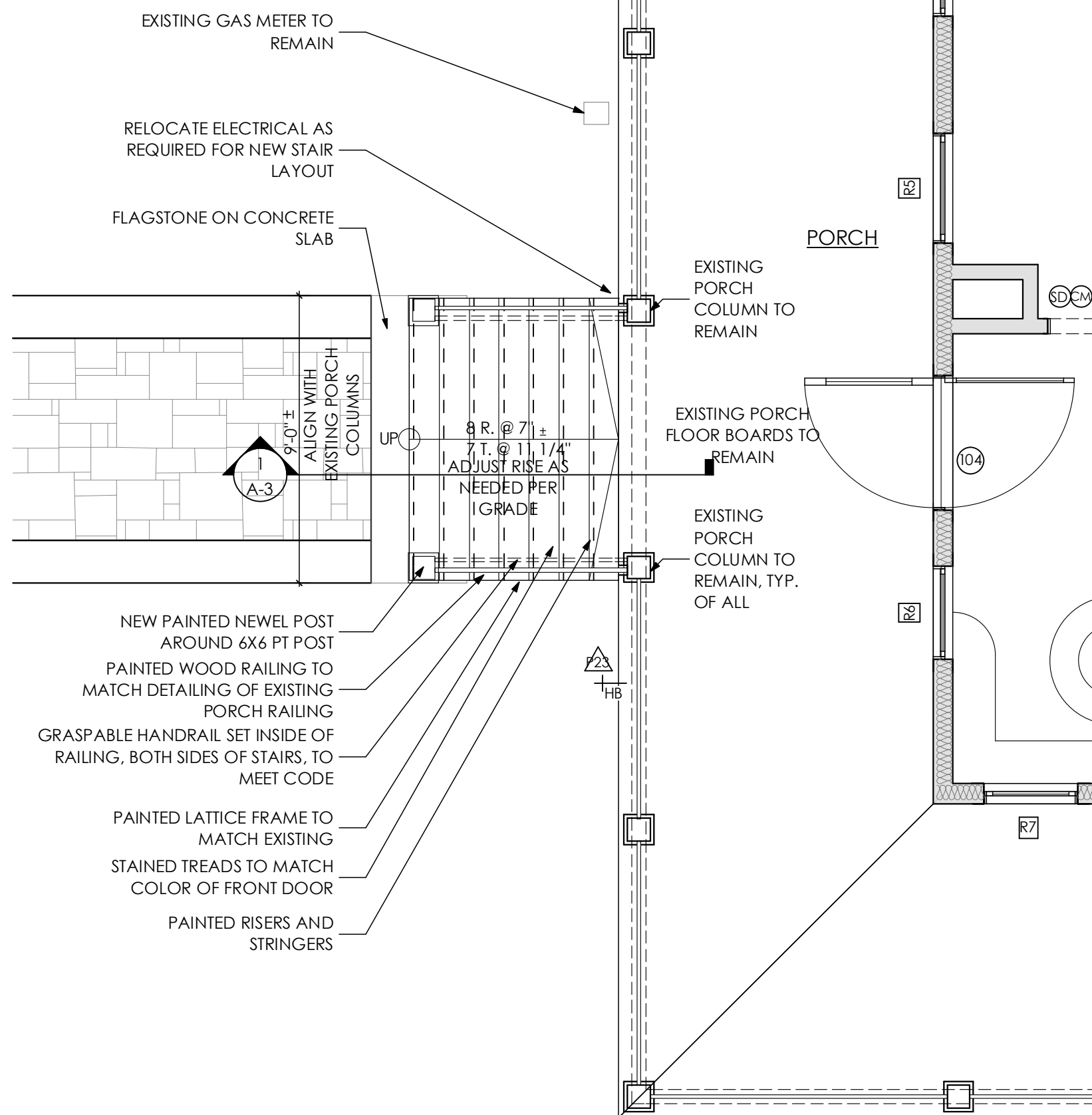


1
A-1
Porch Stair Foundation Plan
SCALE: 1/4" = 1'-0"

REVIEWED
By Michael.Kyne at 3:45 pm, Jun 10, 2019



2
A-1
Partial- First Floor Front Porch Framing Plan
SCALE: 1/4" = 1'-0"



3
A-1
Partial- First Floor Front Porch Plan
SCALE: 1/4" = 1'-0"



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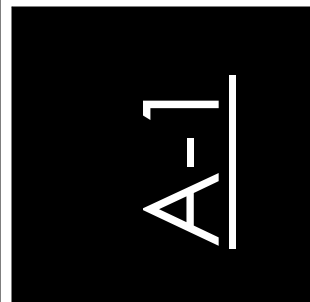
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Perkins - Lindgren Residence
3928 Baltimore Street
Kensington, MD 20895
Front Porch

PERMIT/BID

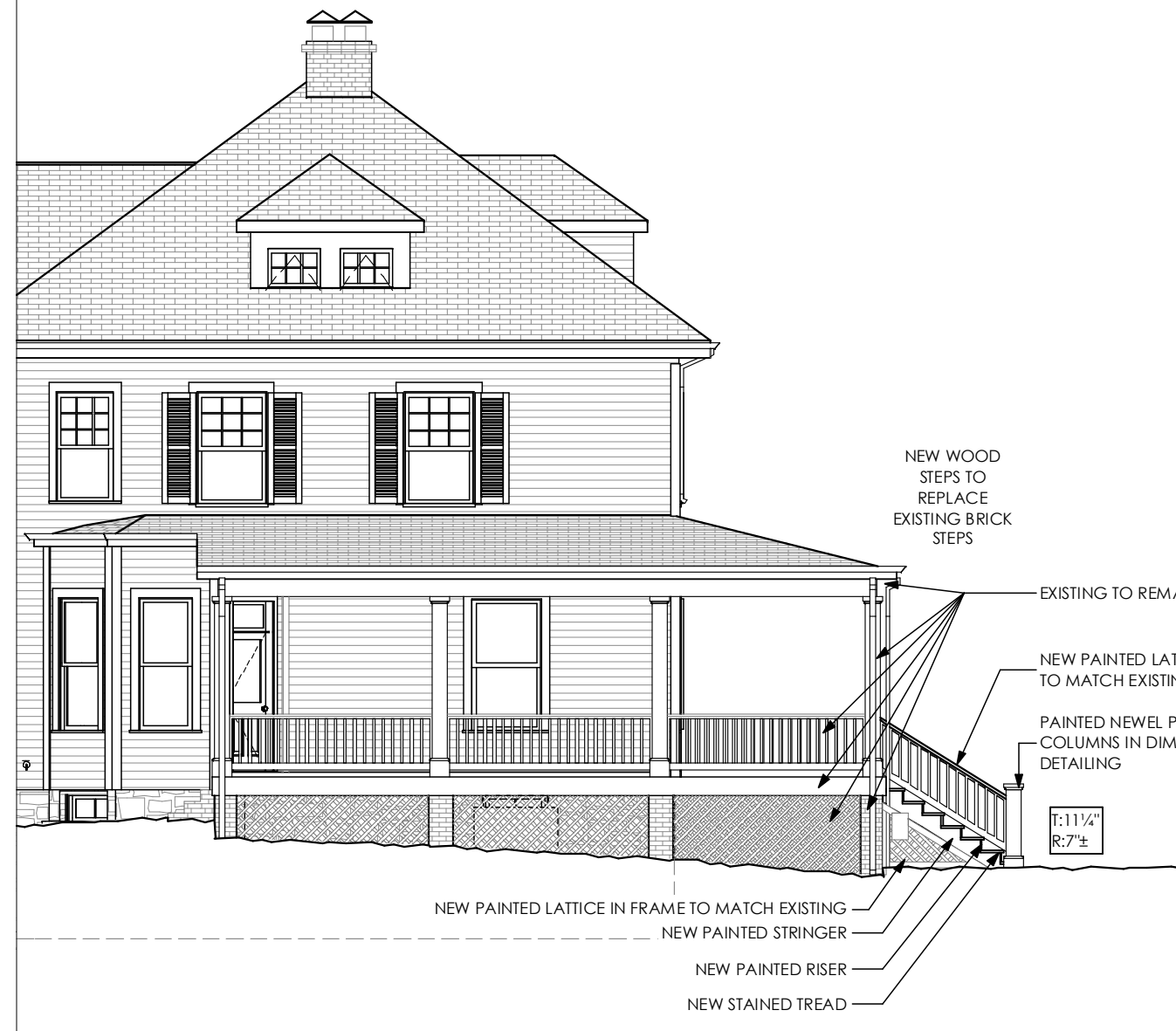
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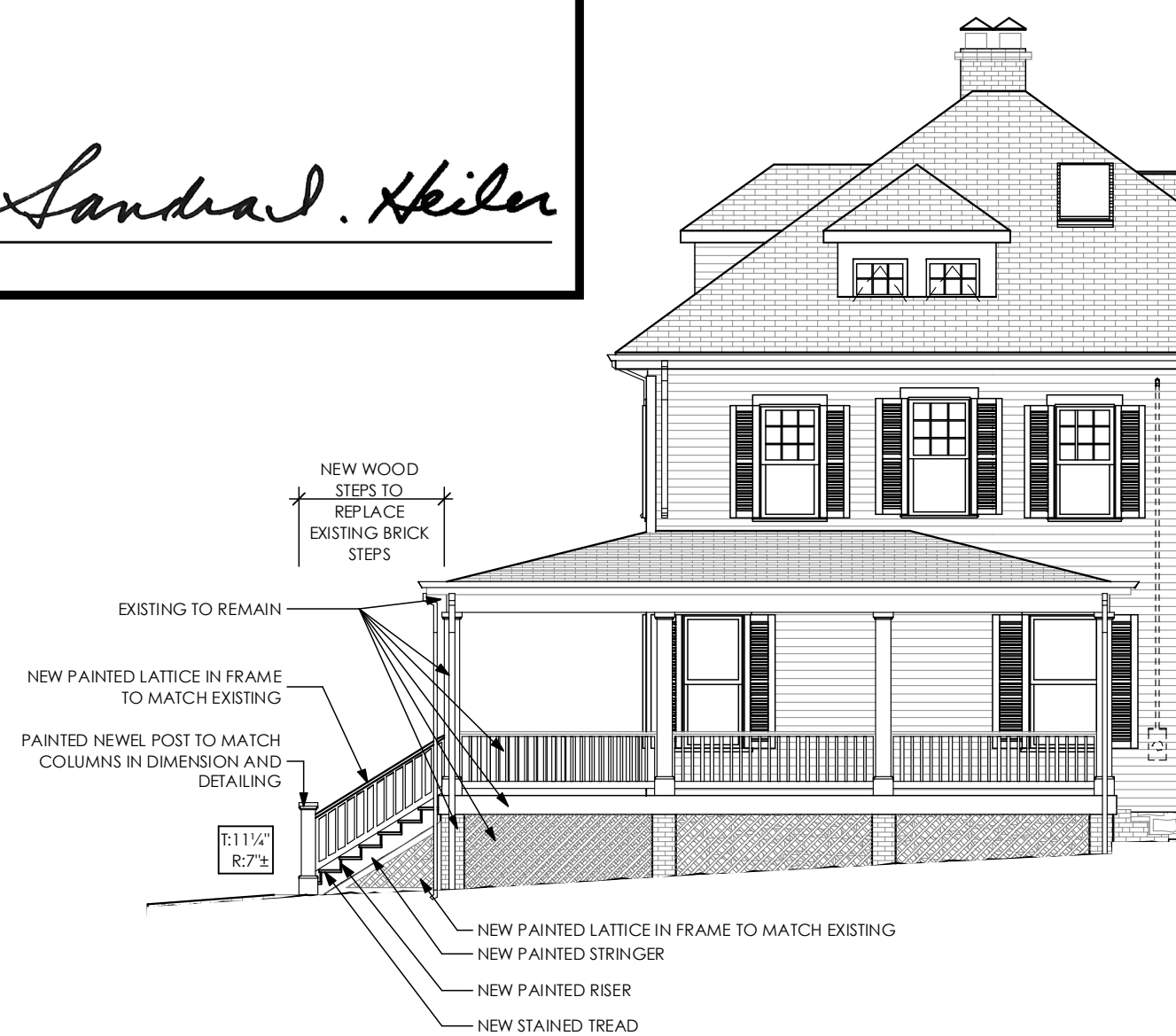
1
A-2 **Front Elevation**
SCALE: 1/8" = 1'-0"



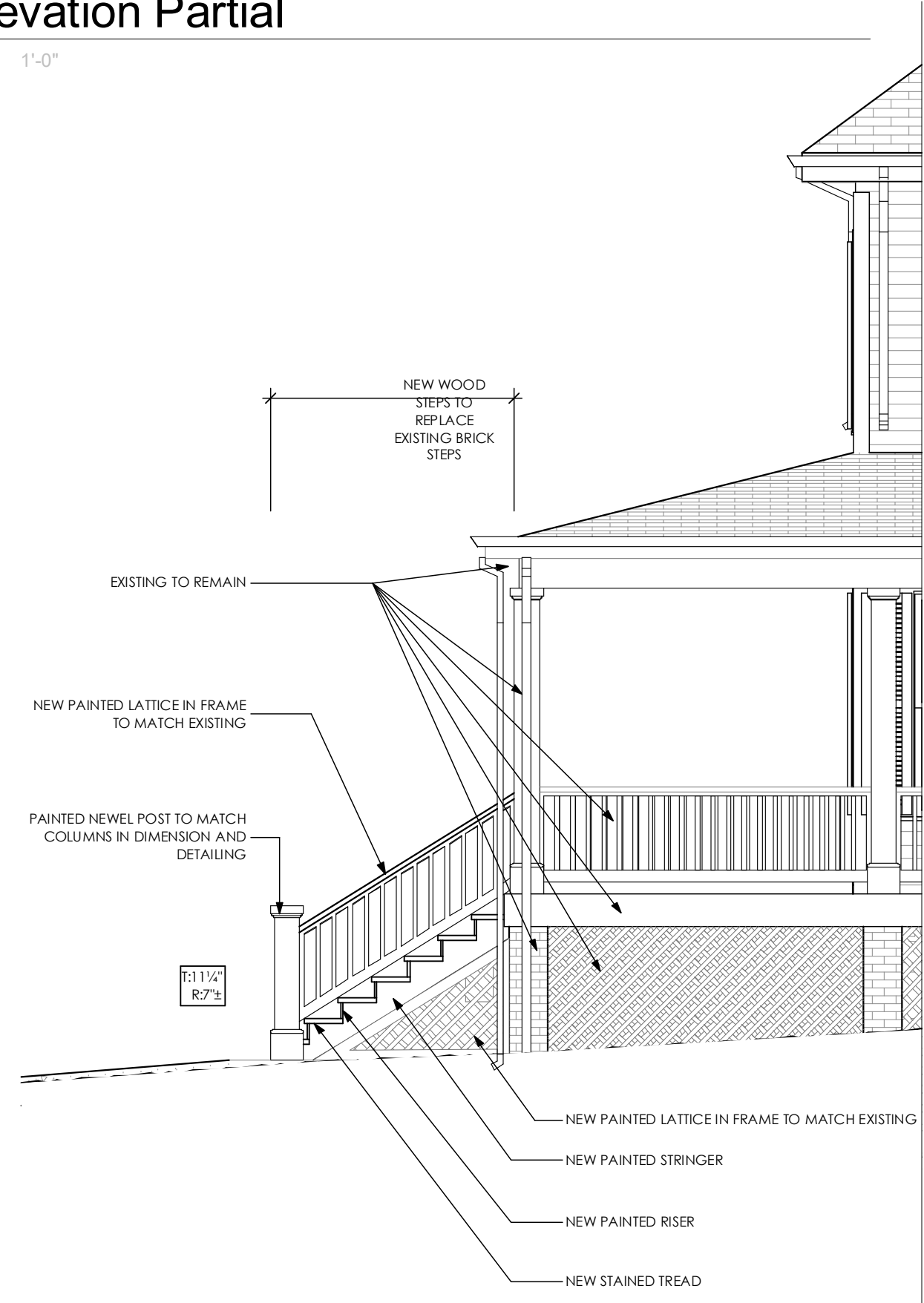
2
A-2 **Left Elevation Partial**
SCALE: 1/8" = 1'-0"

REVIEWED
By Michael.Kyne at 3:45 pm, Jun 10, 2019

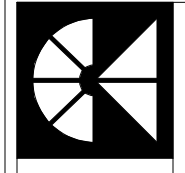
APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler



3
A-2 **Right Elevation Partial**
SCALE: 1/8" = 1'-0"



4
A-2 **Porch Stair Elevation**
SCALE: 1/4" = 1'-0"



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DRAWN BY: Lisa Quandt
CHECKED BY:
ISSUE DATE: 05/20/2019
REVISIONS 06/10/2019

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Kensington, MD 20895
Elevations

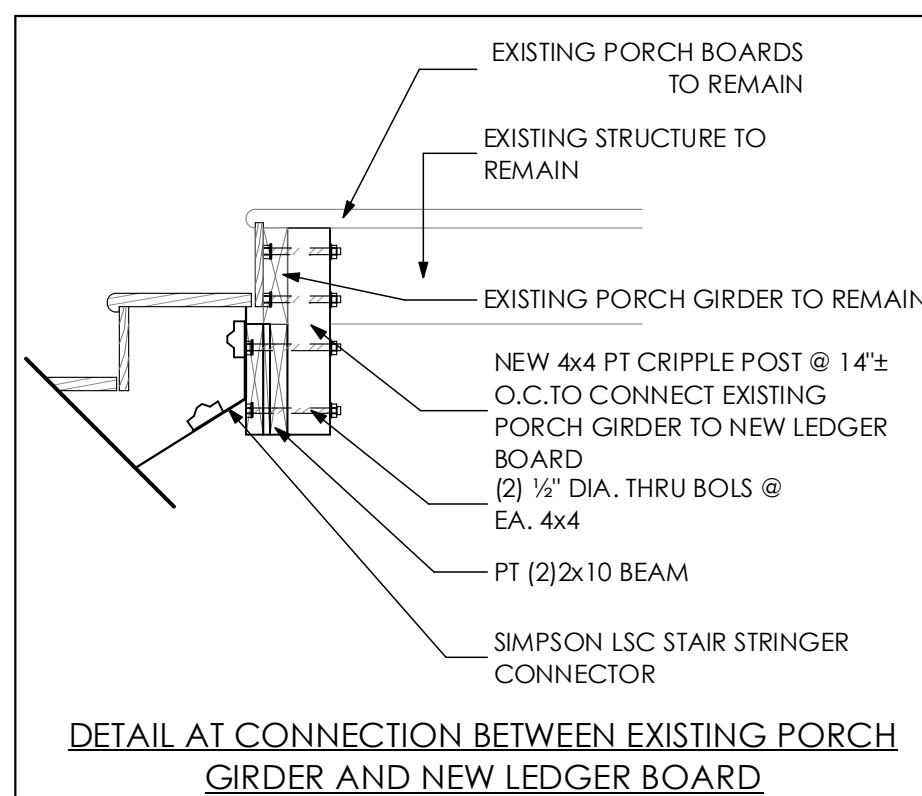
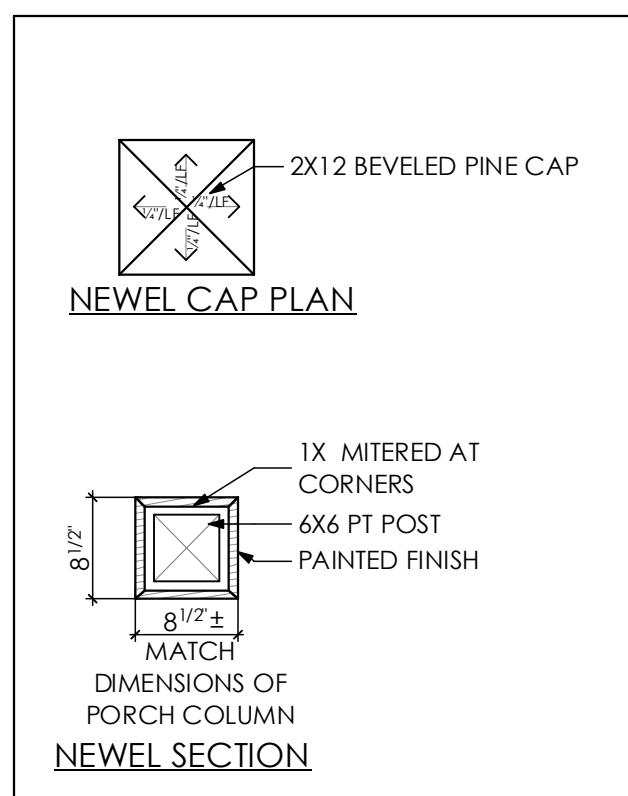
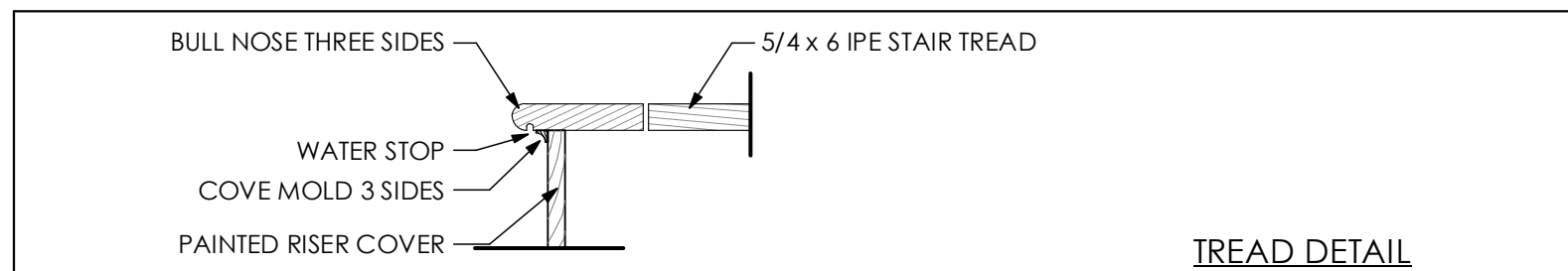
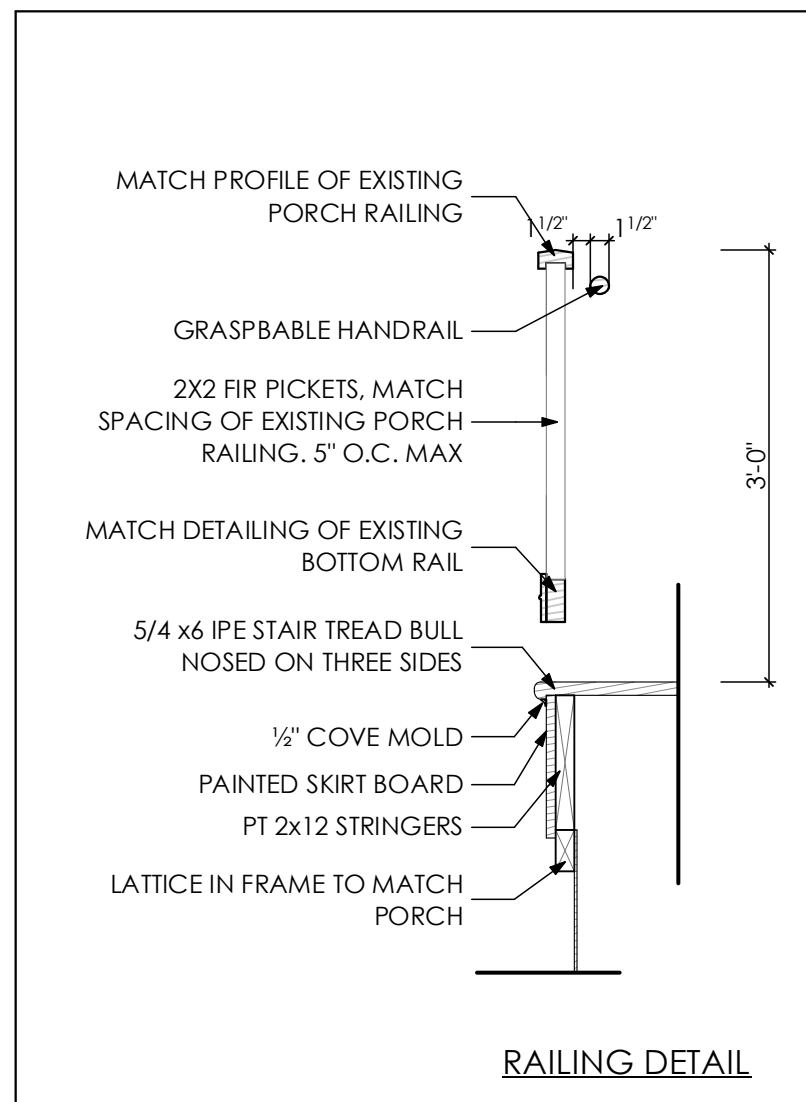
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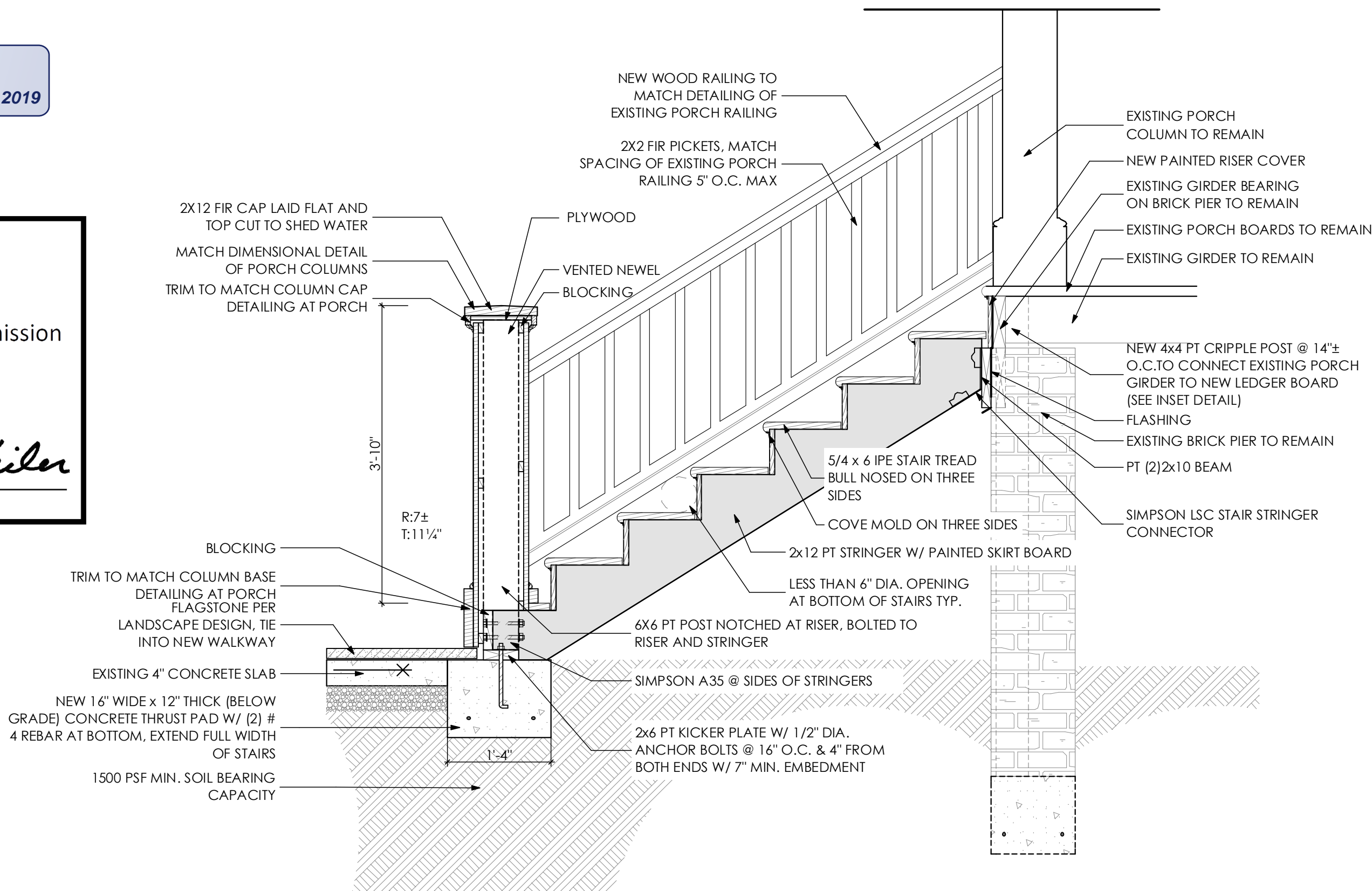
A-2

Y:\P\Perkins\Construction\Perkins_19_05-13_FrontSteps.pln



REVIEWED
By Michael.Kyne at 3:46 pm, Jun 10, 2019

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler



1
A-3

Front Porch Stair Detail

SCALE: 3/4" = 1'-0"



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DRAWN BY: Lisa Quandt
CHECKED BY:
ISSUE DATE: 05/20/2019
REVISIONS: 06/10/2019

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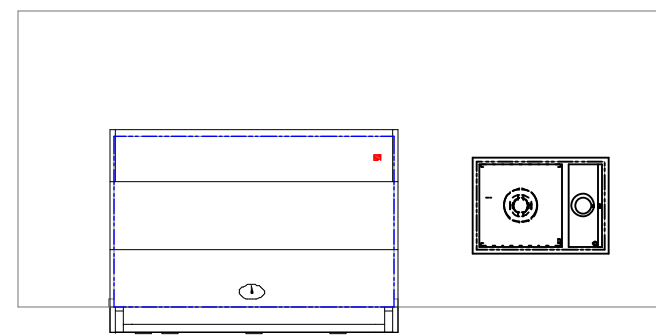
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Porch Stair Details

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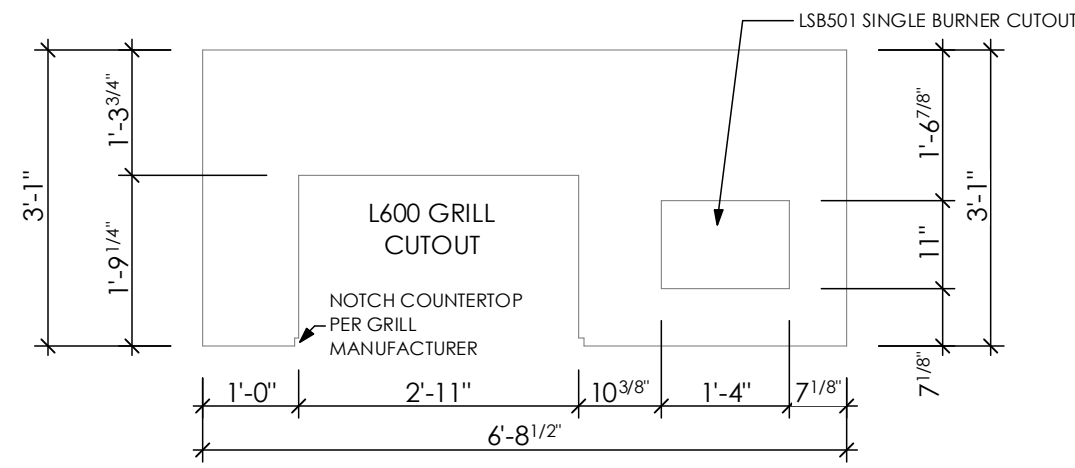
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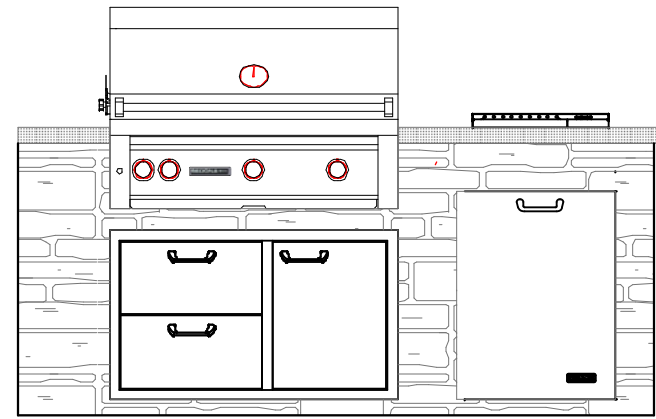
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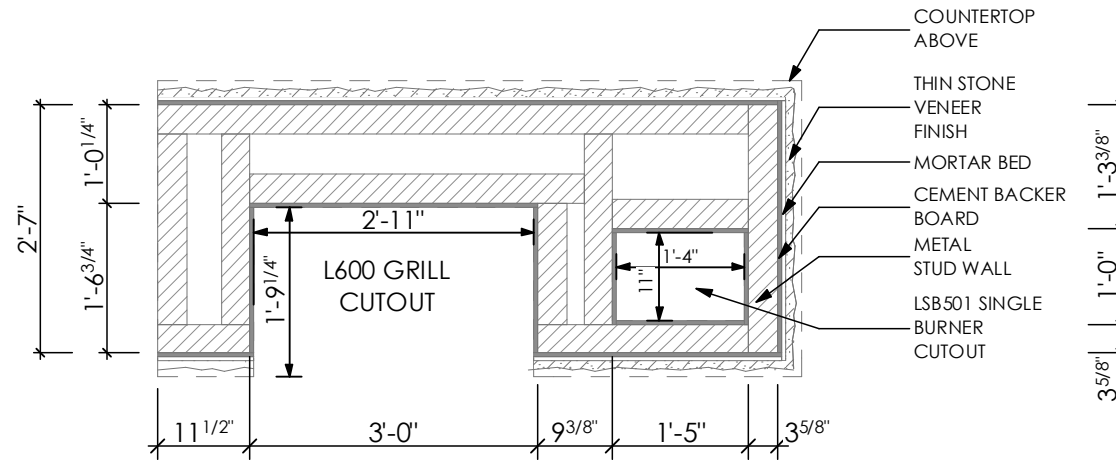
OUTDOOR KITCHEN PLAN



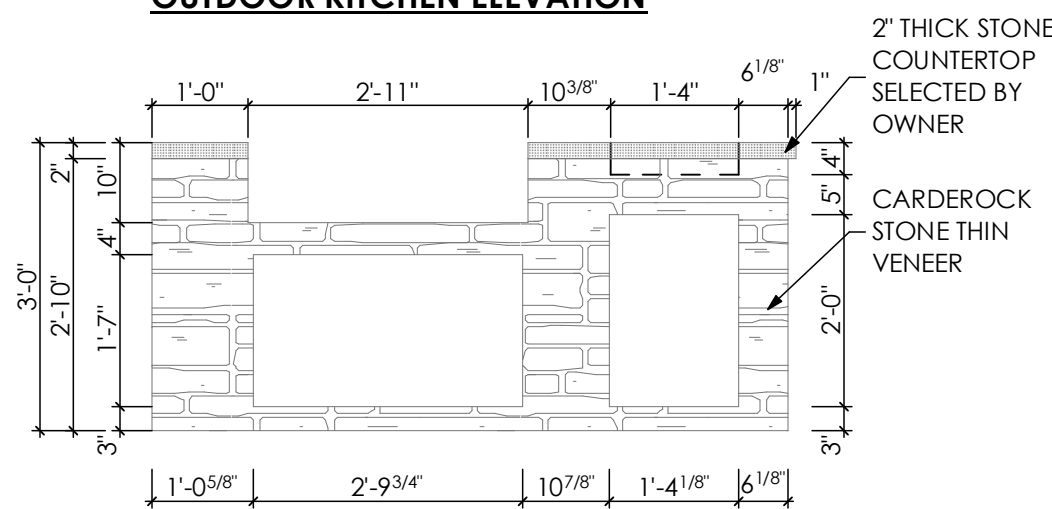
COUNTERTOP CUT OUT



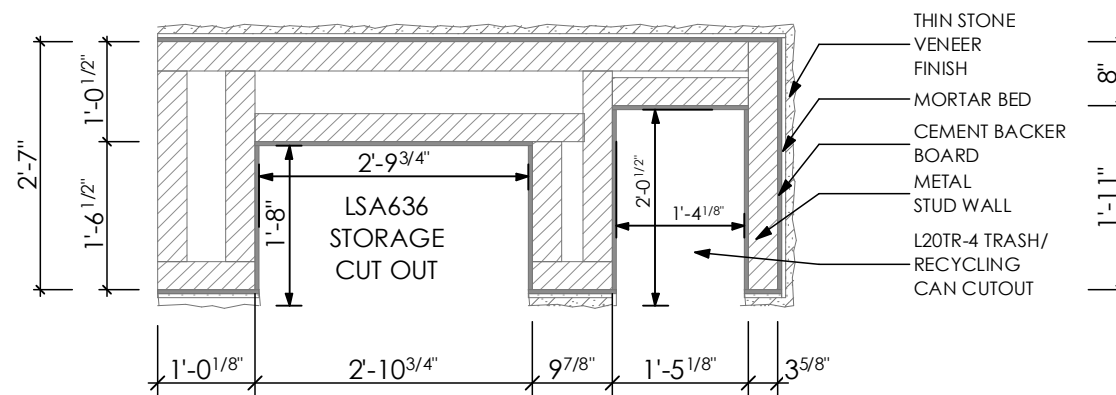
OUTDOOR KITCHEN ELEVATION



UPPER LEVEL STUD LAYOUT



OUTDOOR KITCHEN CUT OUT ELEVATION



LOWER LEVEL STUD PLAN

REVIEWED
By Michael.Kyne at 3:46 pm, Jun 10, 2019

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EXISTING FENCE TO BE REMOVED AND REPLACED AFTER CONSTRUCTION OF GRILL

NEW 4" CONCRETE SLAB W/ 6"X6" W/ 1.4xW/1.4 WWF ON 1 MIL VAPOR BARRIER ON 4" GRAVEL ON 95% COMPACTED FILL

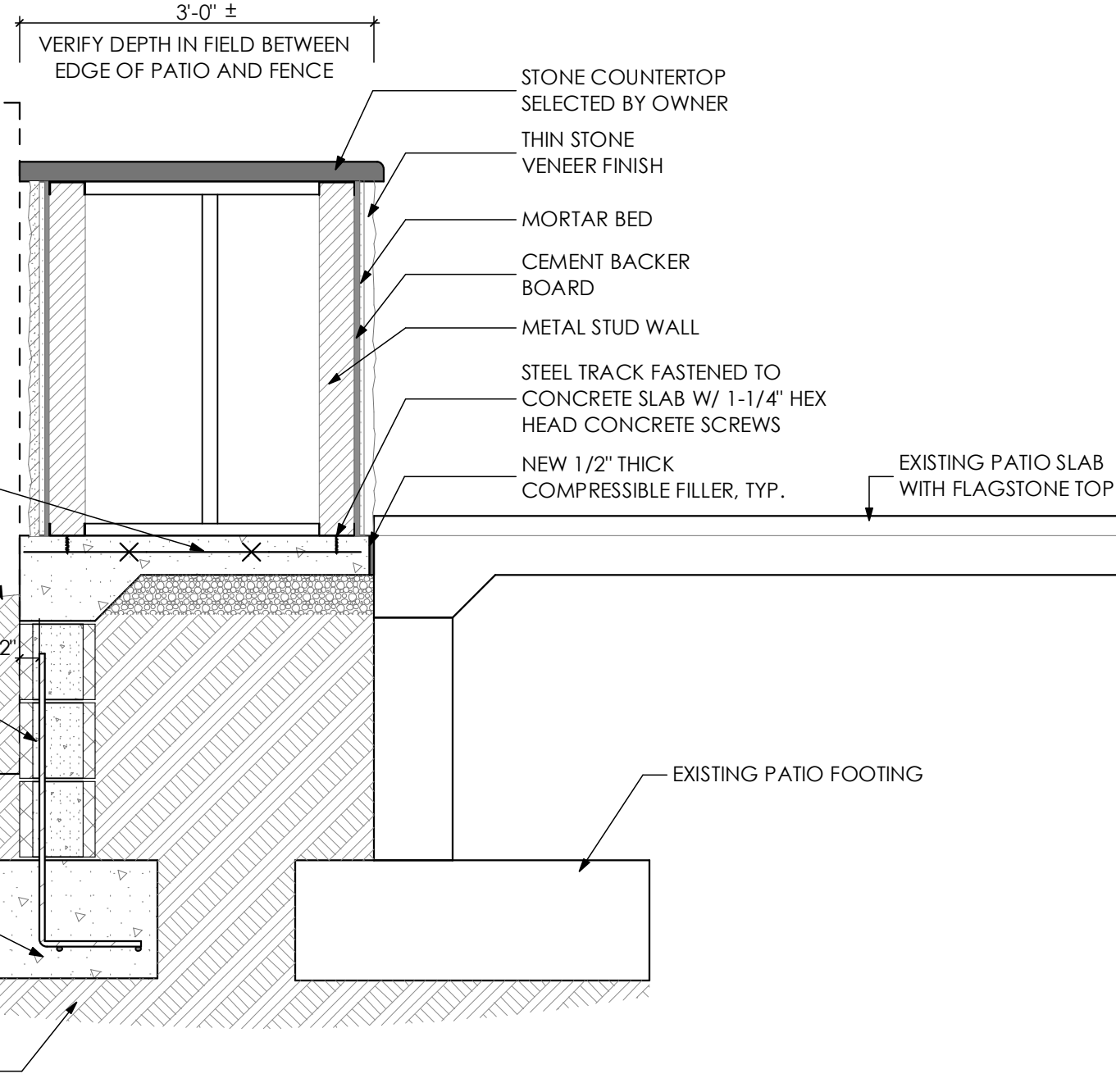
FINISHED GRADE

NEW 8" CMU FOUNDATION WALL W/ #4 VERTICAL REBAR @ 16" O.C. W/ SOLID GROUTED CELLS @ REBAR LOCATION AND HORIZONTAL DUR-O-WAL REINFORCEMENT @ EVERY SECOND BLOCK, TYP.

NEW 12"Dx20"W FOOTING 30" W/ (3)#4 CONTINUOUS RBAR @ BOTTOM SET AT MIN. FROST DEPTH OR TO BEARING SOIL

1500 PSF MIN. SOIL BEARING CAPACITY

Sandra L. Heiler

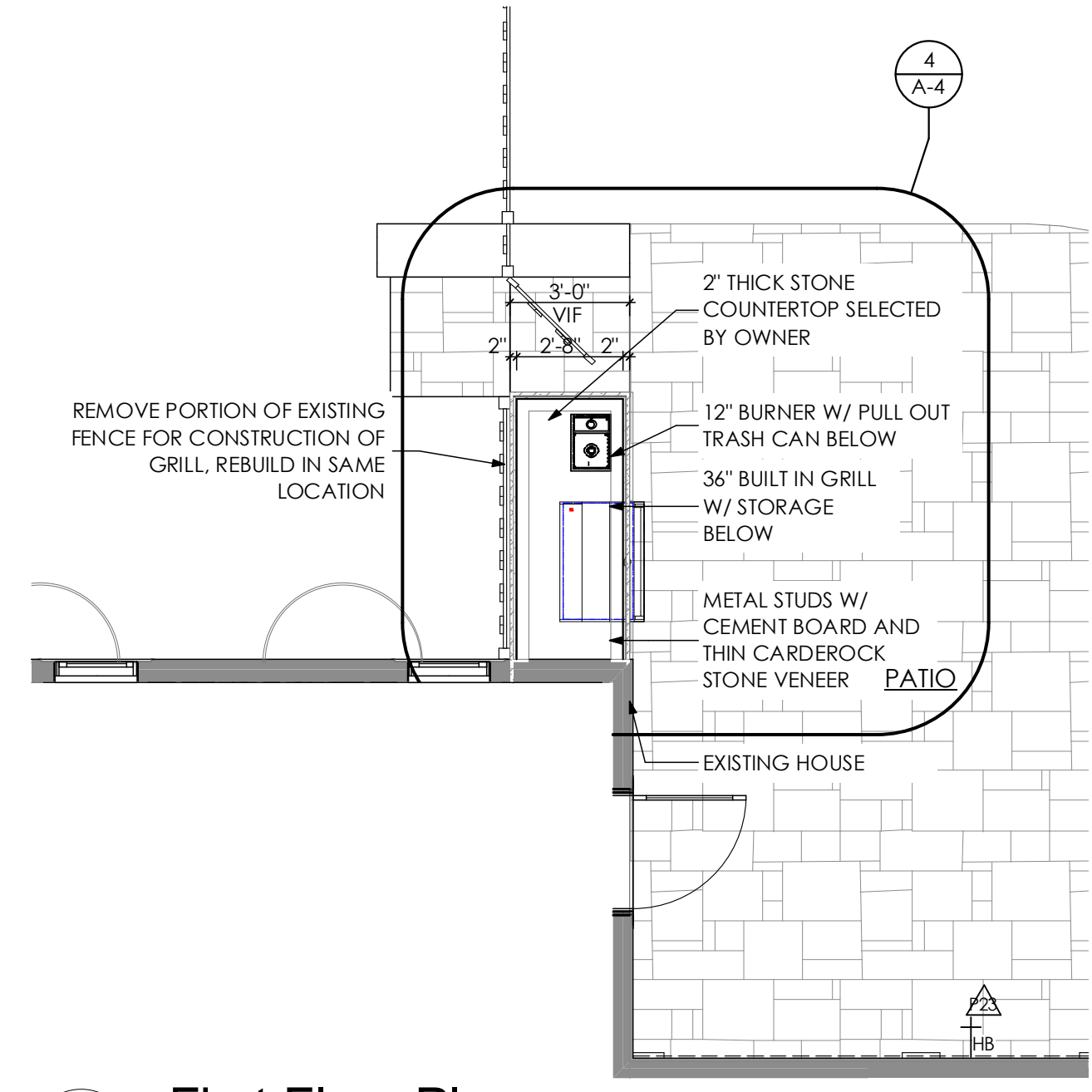


Outdoor Kitchen Foundation Detail

SCALE: 3/4" = 1'-0"

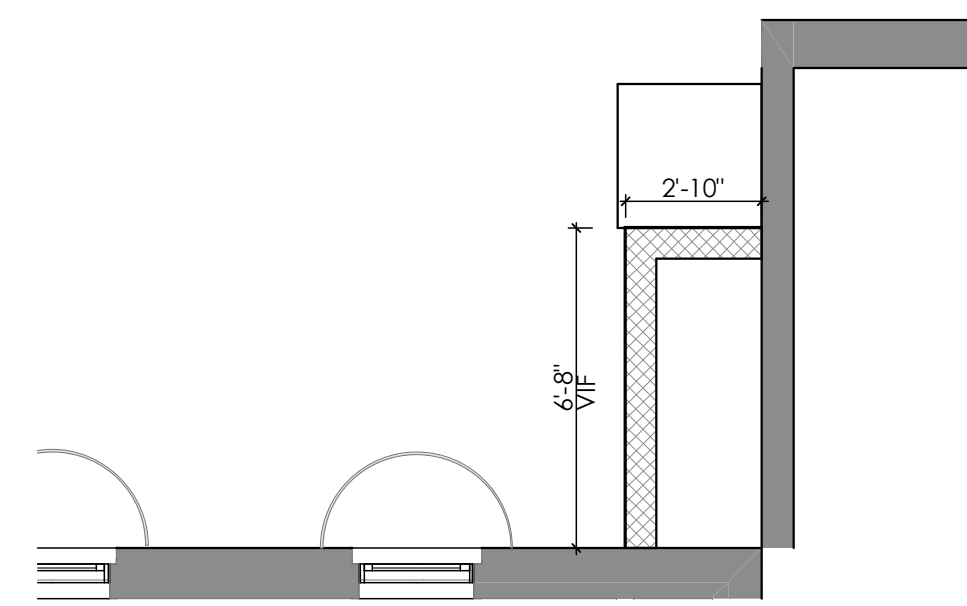
LYNX GRILLS
BUILT IN GRILL: SEDONA LYNX L600PSR
DRAWERS: 36" SEDONA DOOR DRAWER COMBINATION LSA636
BURNER: SINGLE SIDE BURNER LSB501
TRASH CAN: L20TR-4 TRASH RECYCLING CENTER

NOTE: VERIFY AVAILABLE DEPTH BETWEEN PATIO AND FENCE IN FIELD PRIOR TO CONSTRUCTION



2 First Floor Plan

SCALE: 1/4" = 1'-0"



1 Foundation Plan

SCALE: 1/4" = 1'-0"

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Outdoor Kitchen

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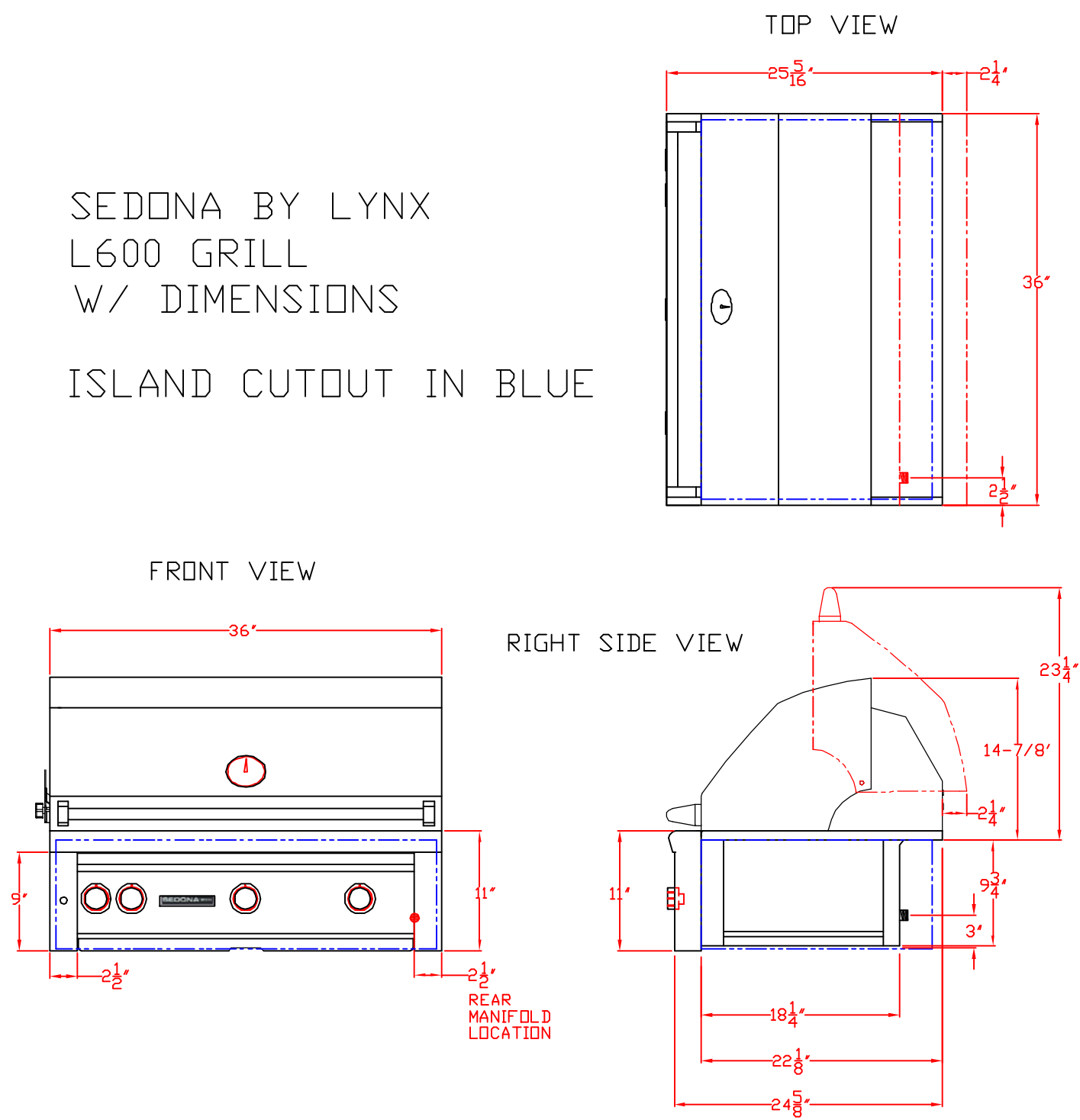
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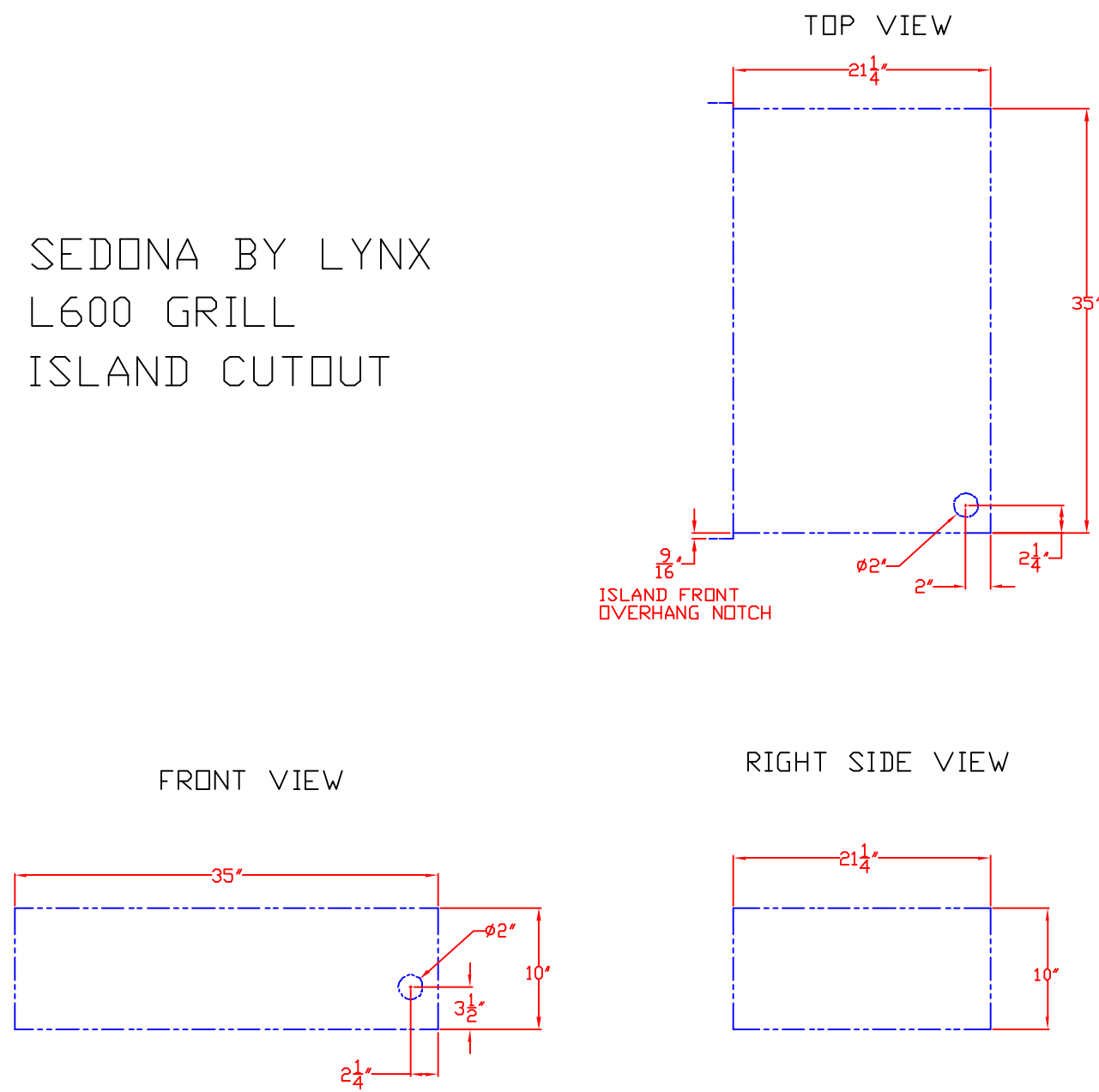
A-4

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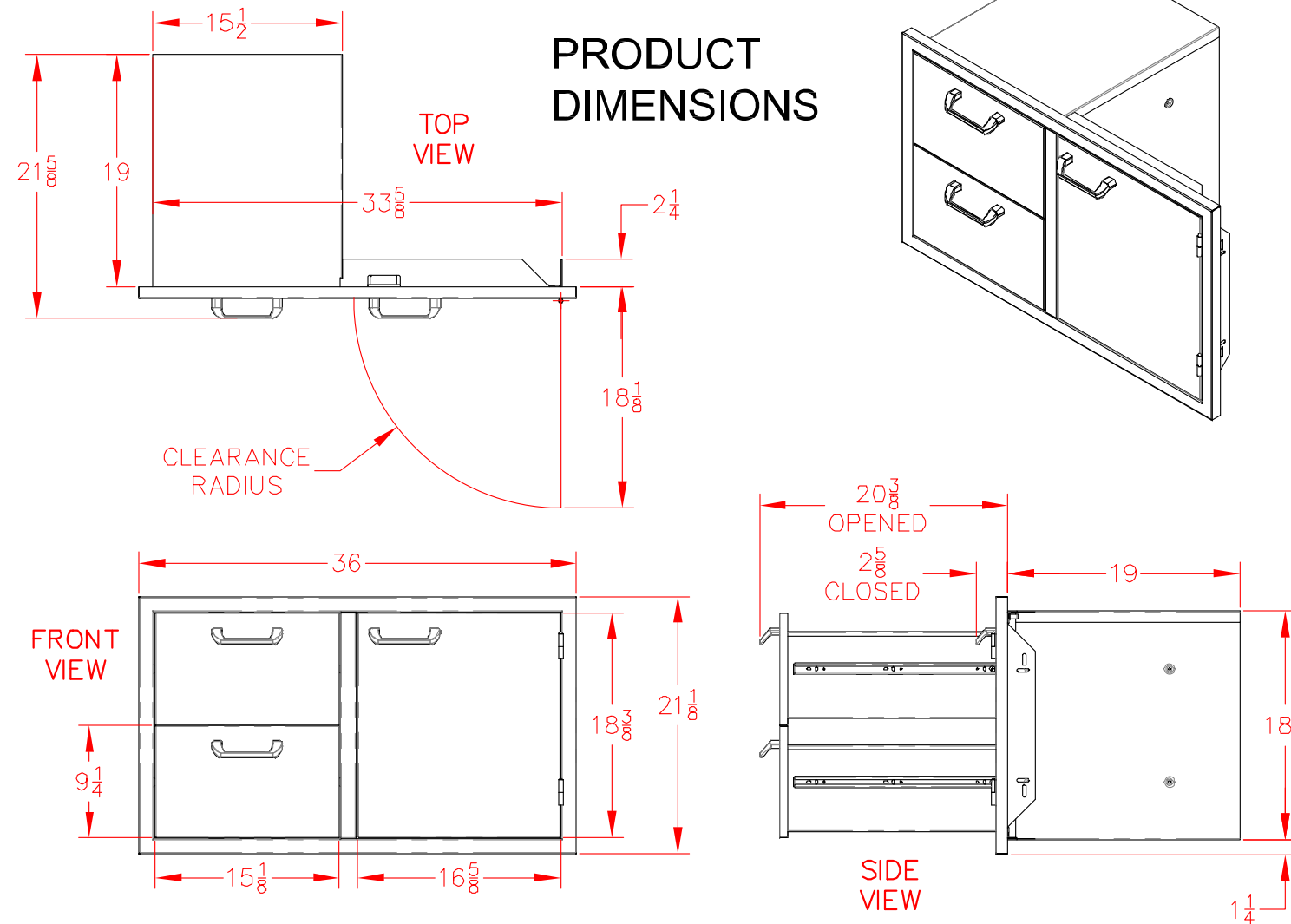
SEDONA BY LYNX
L600 GRILL
W/ DIMENSIONS
ISLAND CUTOUT IN BLUE



SEDONA BY LYNX
L600 GRILL
ISLAND CUTOUT



LSA636 - SEDONA 36" DOOR/DRAWERS



REVIEWED
By Michael.Kyne at 3:47 pm, Jun 10, 2019

APPROVED
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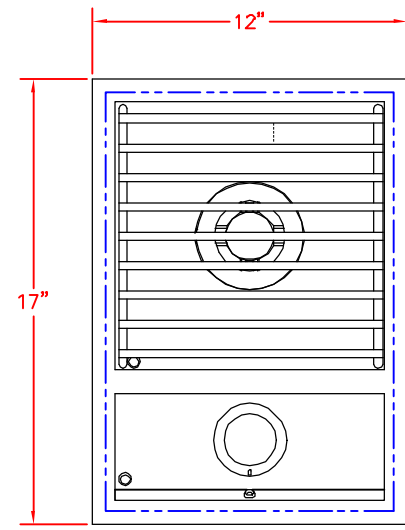
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Outdoor Grill Equipment

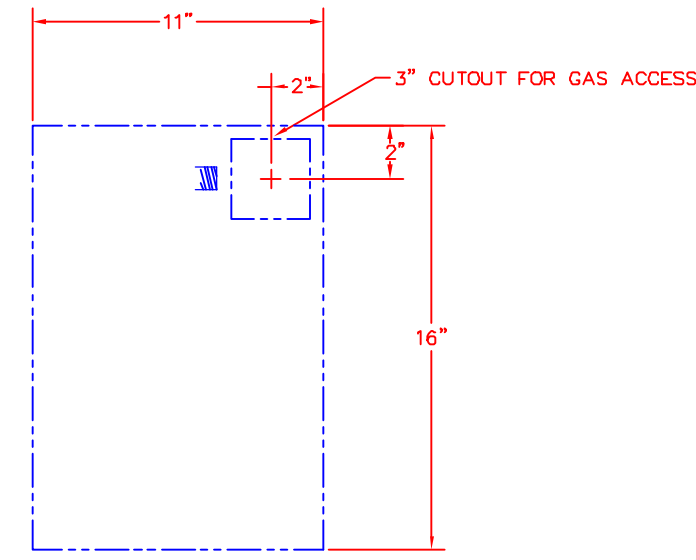
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SEDONA by LYNX
SINGLE SIDE BURNER
MODEL LSB501
W/DIMENSIONS

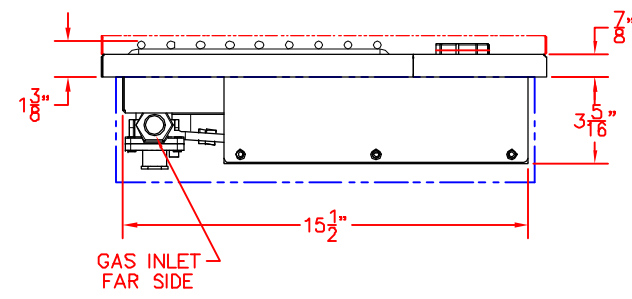
ISLAND CUTOUT
IN BLUE



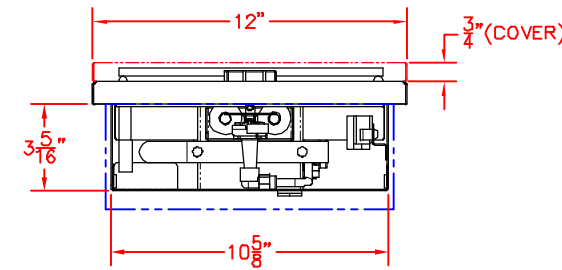
TOP VIEW



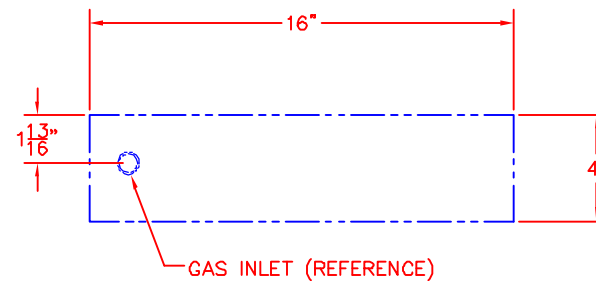
TOP VIEW



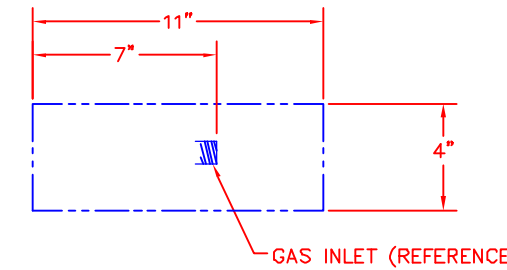
SIDE VIEW



FRONT VIEW



SIDE VIEW

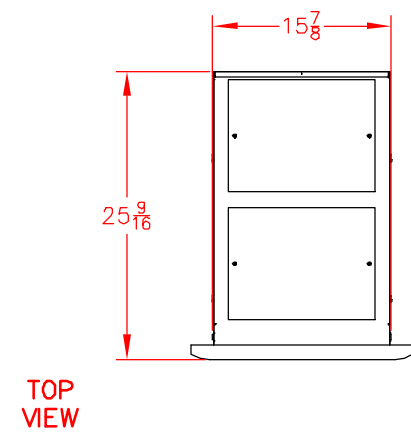


FRONT VIEW

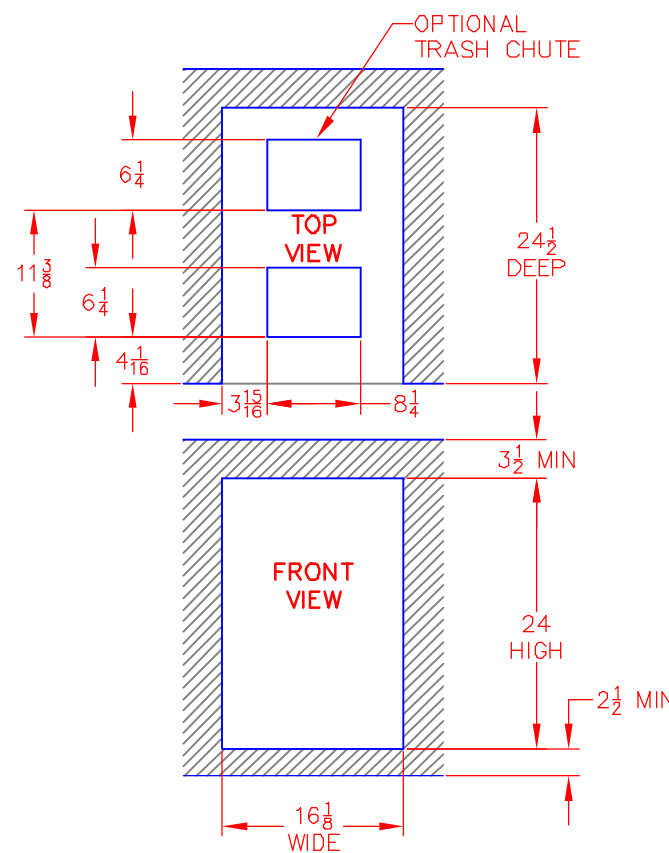
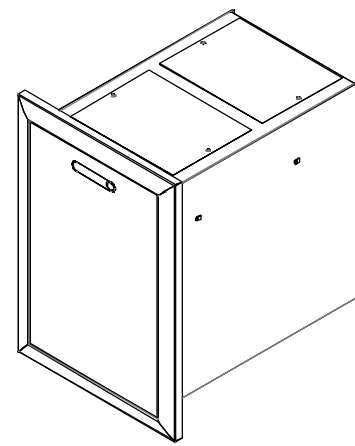
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L20TR-4 TRASH RECYCLING CENTER
PRODUCT
DIMENSIONS

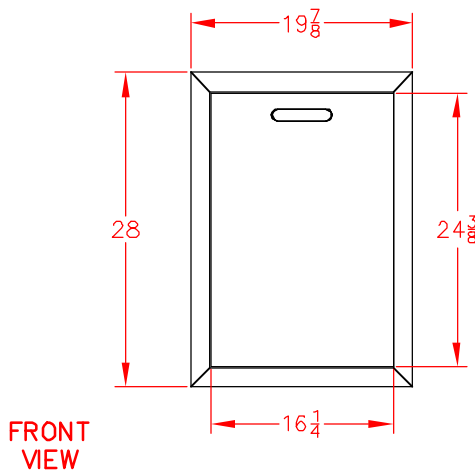


TOP VIEW

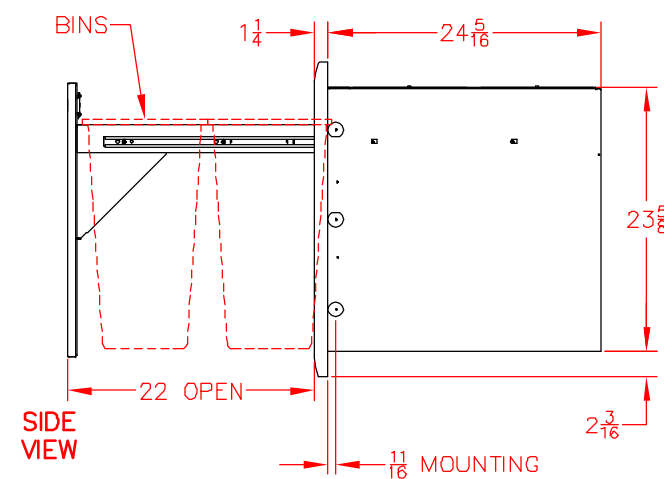


TOP VIEW

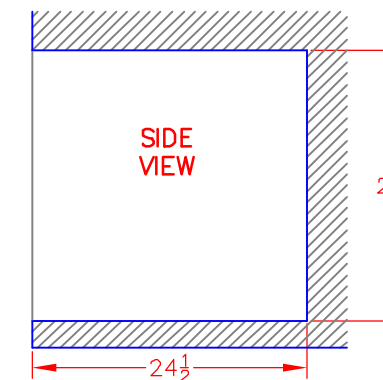
FRONT VIEW



FRONT VIEW



SIDE VIEW



SIDE VIEW

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