



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: November 8, 2019

### MEMORANDUM

TO: Hadi Mansouri, Acting DPS Director  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #869918: Porch alteration, stair removal, and egress window

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the June 12, 2019 Historic Preservation Commission meeting.

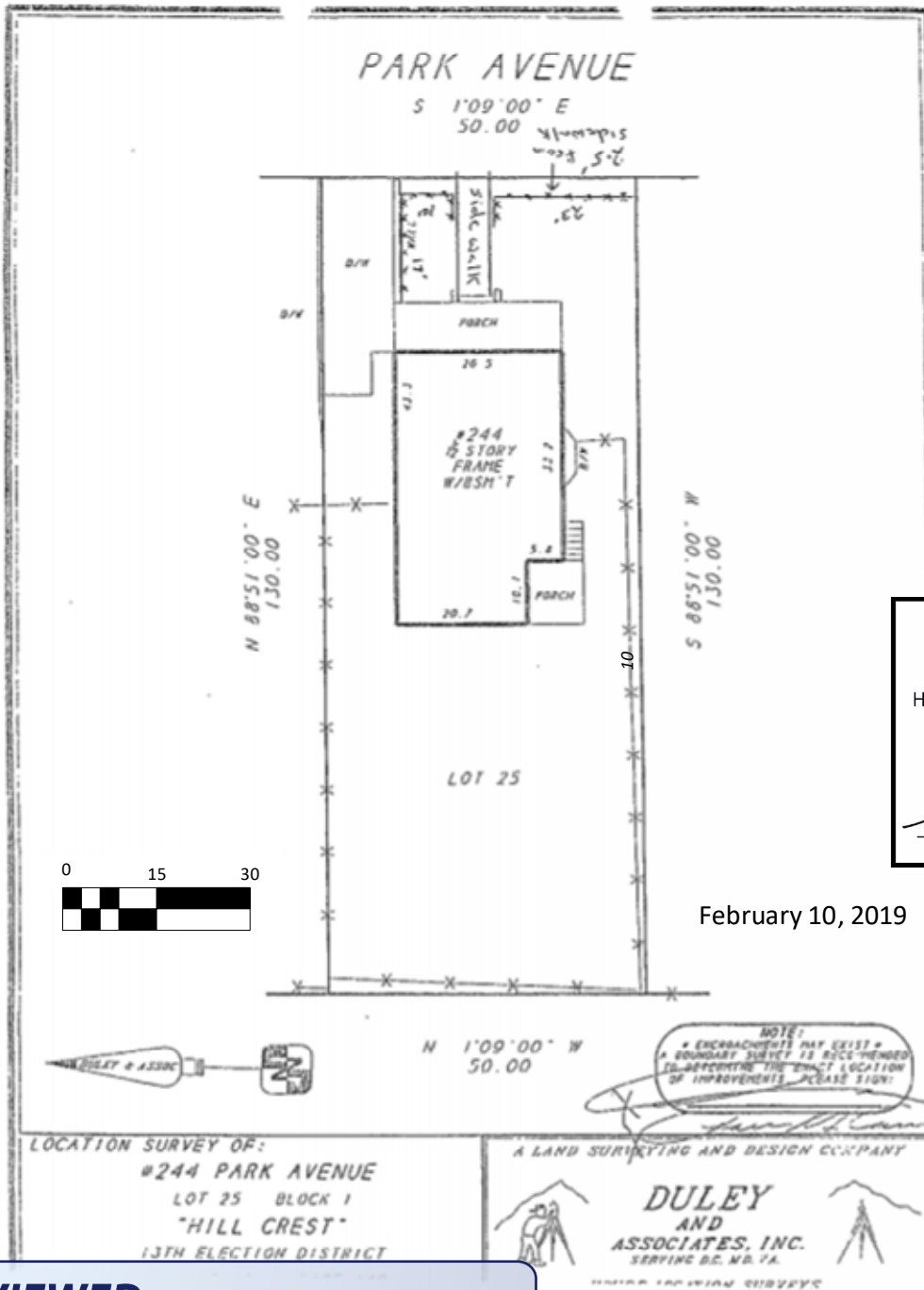
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Kenneth Andrew Markle  
Address: 244 Park Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.





APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Sandra L. Skiler*

February 10, 2019

**REVIEWED**  
 By Michael Kyne at 1:06 pm, Nov 08, 2019

NOTE:  
 \* ENCROACHMENTS MAY EXIST \*  
 \* A BOUNDARY SURVEY IS RECOMMENDED TO DETERMINE THE EXACT LOCATION OF IMPROVEMENTS. PLEASE SIGN!

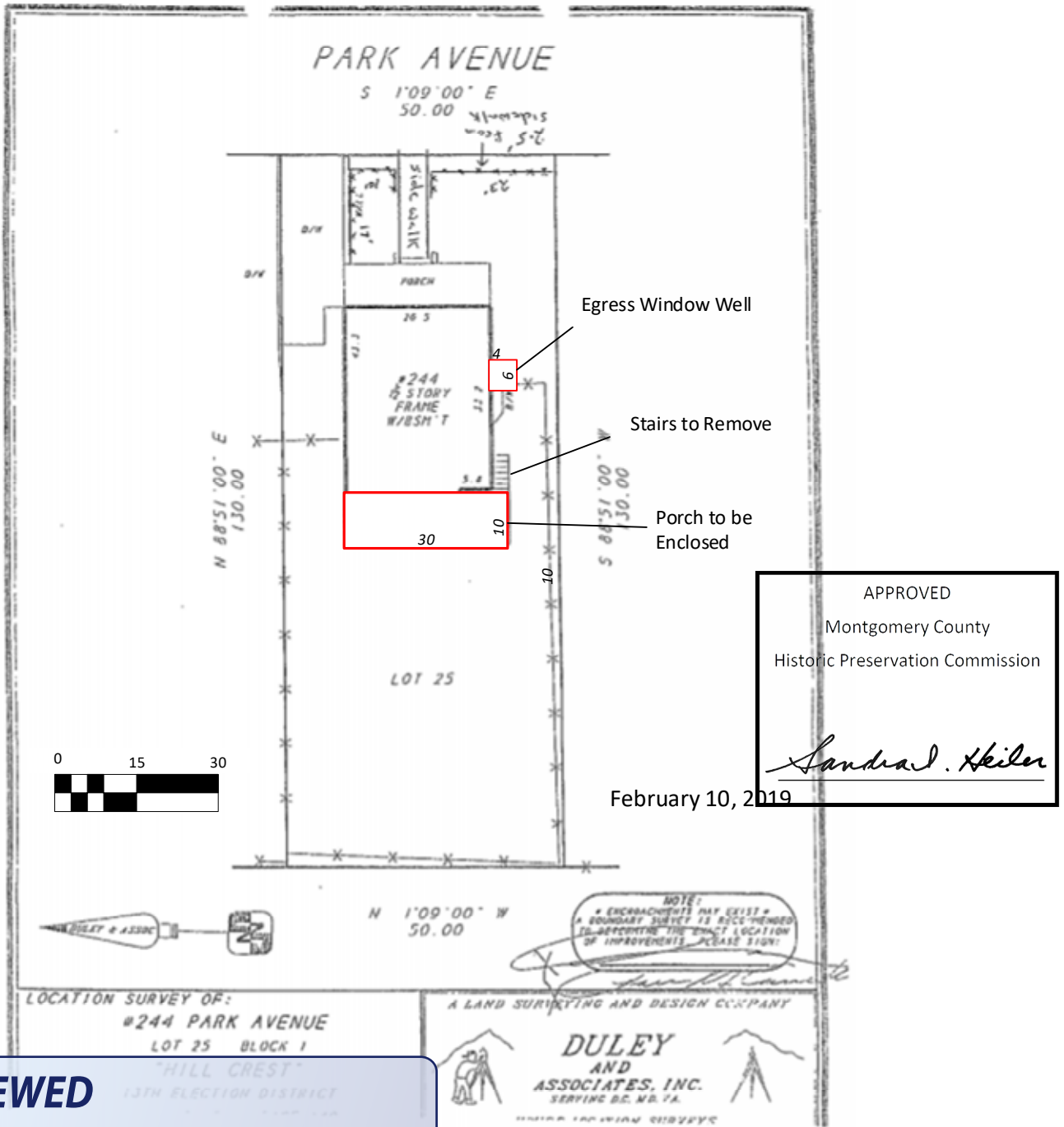
LOCATION SURVEY OF:  
 #244 PARK AVENUE  
 LOT 25 BLOCK 1  
 "HILL CREST"  
 13TH ELECTION DISTRICT

A LAND SURVEYING AND DESIGN COMPANY

**DULEY AND ASSOCIATES, INC.**  
 SERVING D.C., MD., VA.

Title- Original Site Drawing for 244 Park Basement Renovation

Date- May 13, 2019  
Prepared By: Andrew Markle



**REVIEWED**  
By Michael Kyne at 1:06 pm, Nov 08, 2019

Title- Site Drawing for 244 Park  
Basement Renovation

Date- February 18, 2019  
Prepared By: Andrew Markle



Enclosure 3 to  
Letter Dated  
May 15, 2019  
2019-022-01

## **Schematic Construction Plan**

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Herein is the Schematic Construction Plan completed to the best of our abilities. The drawing is marked with dimension, indicating location, size and general types of walls, windows, and door openings, and other fixed features of both the existing resource and the proposed work. This enclosure includes one drawing provided in duplicate.

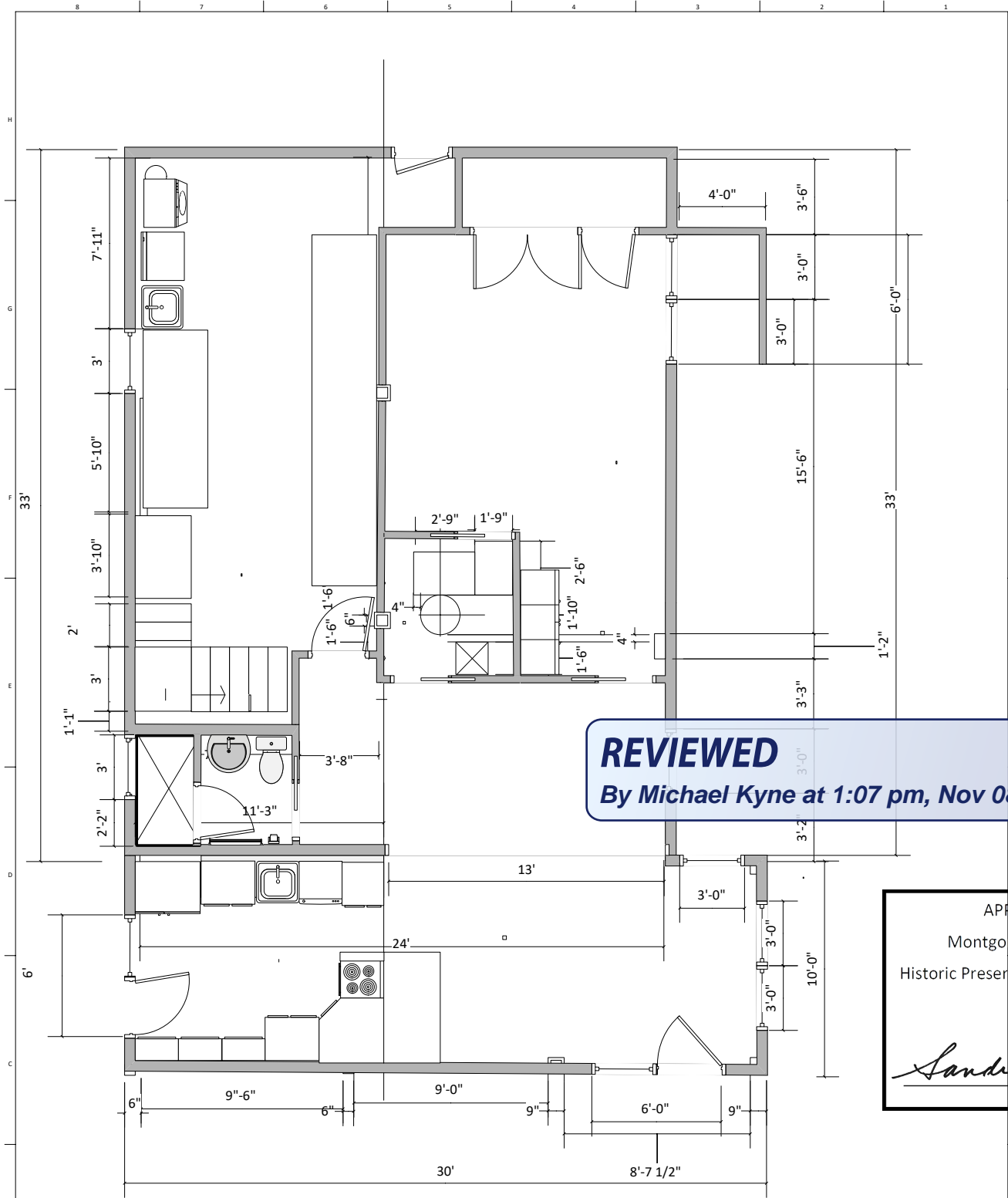
**REVIEWED**

*By Michael Kyne at 1:06 pm, Nov 08, 2019*

APPROVED

Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*



**REVIEWED**  
 By Michael Kyne at 1:07 pm, Nov 08, 2019

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra L. Heiler*

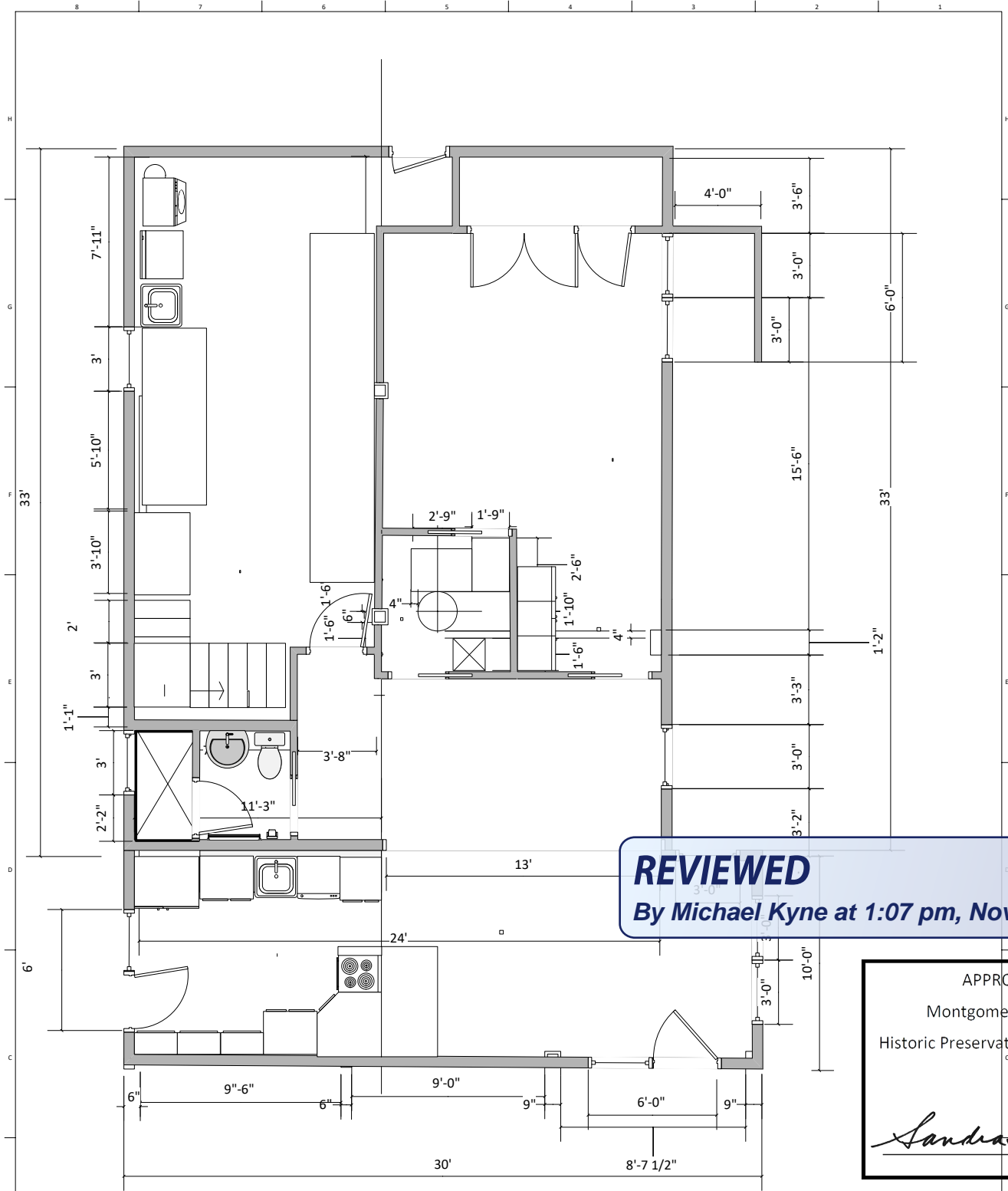
- Notes:**
1. Furthest west 10 feet is currently a covered porch. New walls will enclose this porch and will be concrete with a stucco parge coat to prevent moisture intrusion.
  2. All windows, outside of the newly enclosed porch and the expansion of the furthest SE window to an egress window, will lie within an existing window frame widths. The bathroom window is currently of rough wood construction, and will be replaced with double paned wood window. The existing laundry room window will not be replaced. The remaining window on the southside of the existing basement will be lengthened and replaced with a wooden window.
  3. All windows and doors in the newly enclosed porch will be double-paned and of wood construction.

REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK

**244 PARK AVE  
 BASEMENT RENOVATION  
 LAYOUT AFTER**

DOC NUMBER: 244-2018-007

Project: MARKLE-KENNEDY FAMILY	Page: 1 of 3	Prepared by: ANDREW MARKLE	Date: 12/02/2018
Client: NA	Submitted by: MEGAN KENNEDY	Date: 12/02/2018	



**REVIEWED**  
 By Michael Kyne at 1:07 pm, Nov 08, 2019

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra Heiler*

- Notes**
1. Furthest west 10 feet is currently a covered porch. New walls will enclose this porch and will be concrete with a stucco parge coat to prevent moisture intrusion.
  2. All windows, outside of the newly enclosed porch and the expansion of the furthest SE window to an egress window, will lie within an existing window frame widths. The bathroom window is currently of rough wood construction, and will be replaced with double paned wood window. The existing laundry room window will not be replaced. The remaining window on the south side of the existing basement will be lengthened and replaced with a wooden window.
  3. All windows and doors in the newly enclosed porch will be double-paned and of wood construction.

REVISION				
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A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK



**244 PARK AVE  
 BASEMENT RENOVATION  
 LAYOUT AFTER**

DOC NUMBER: 244-2018-007

Project by: MARKLE-KENNEDY FAMILY  
 Prepared by: ANDREW MARKLE  
 Date: 11/02/2018

Drawn by: MEGAN KENNEDY  
 Date: 11/02/2018



Enclosure 4 to  
Letter Dated  
May 15, 2019  
2019-022-01

## Elevation Drawings

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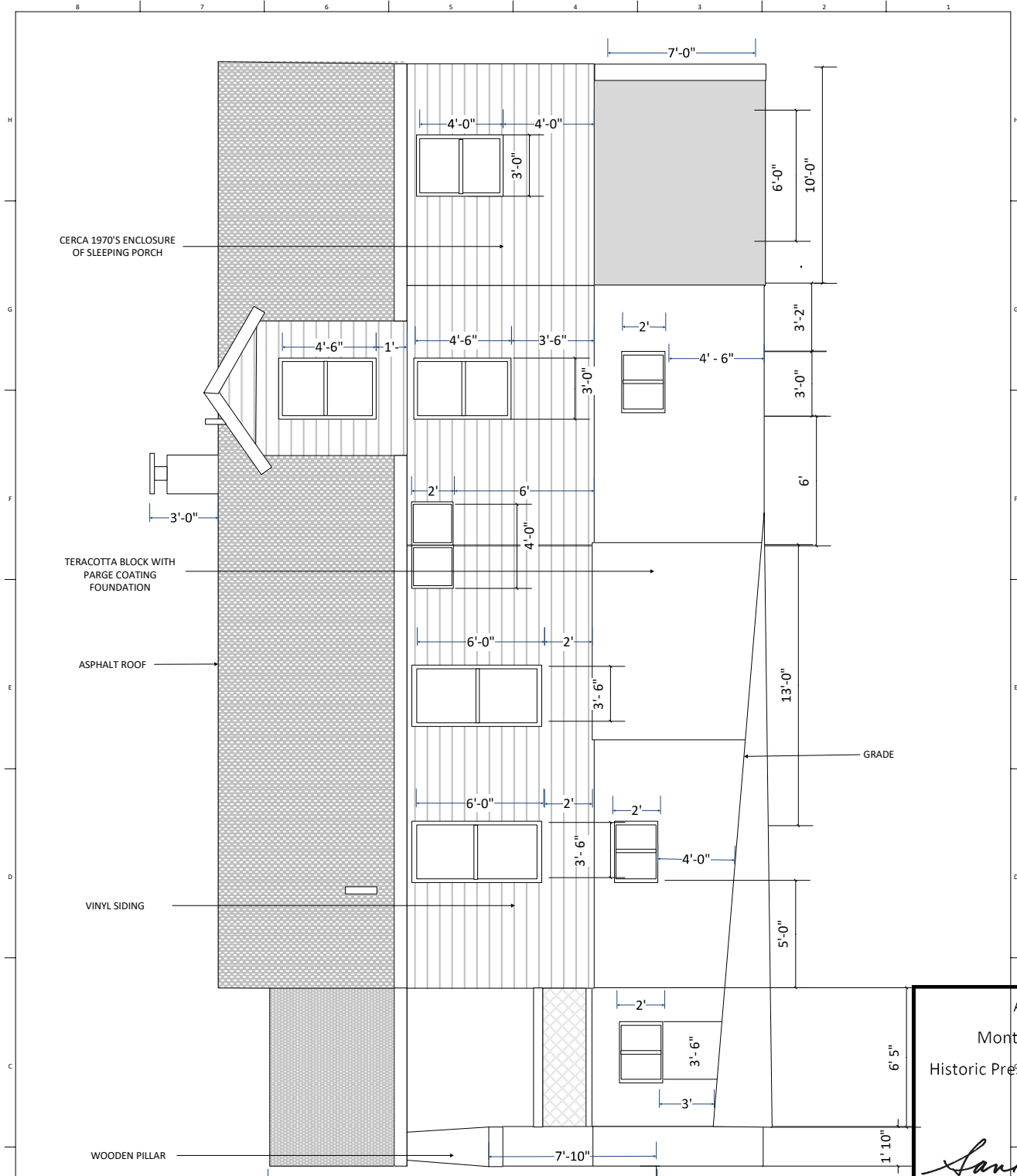
Herein is the Elevation Drawings completed to the best of our abilities. As requested, two copies have been provided. The drawing is marked with dimensions, clearly indicating proposed work in relation to the existing construction, and when appropriate, context. All materials and fixtures proposed for the exterior are noted on the elevation drawings. Separate drawings for three separate views are provided for before and after the modification. The views include the north, south, and west side of the structure. This enclosure includes six drawings provided in duplicate.

**REVIEWED**

*By Michael Kyne at 1:07 pm, Nov 08, 2019*

APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra Skiler*

**REVIEWED**  
 By Michael Kyne at 1:07 pm, Nov 08, 2019

1. Furthest west 10 feet is currently a covered porch. a stucco parge coat to prevent moisture intrusion. Newly walled area will have windows and doors, as indicated.
2. No further changes on Northside of structure.
3. Scale 1/2" = 1'



REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK

244 PARK AVE  
 BASEMENT RENOVATION  
 NORTHSIDE ELEVATION  
 DRAWING- BEFORE

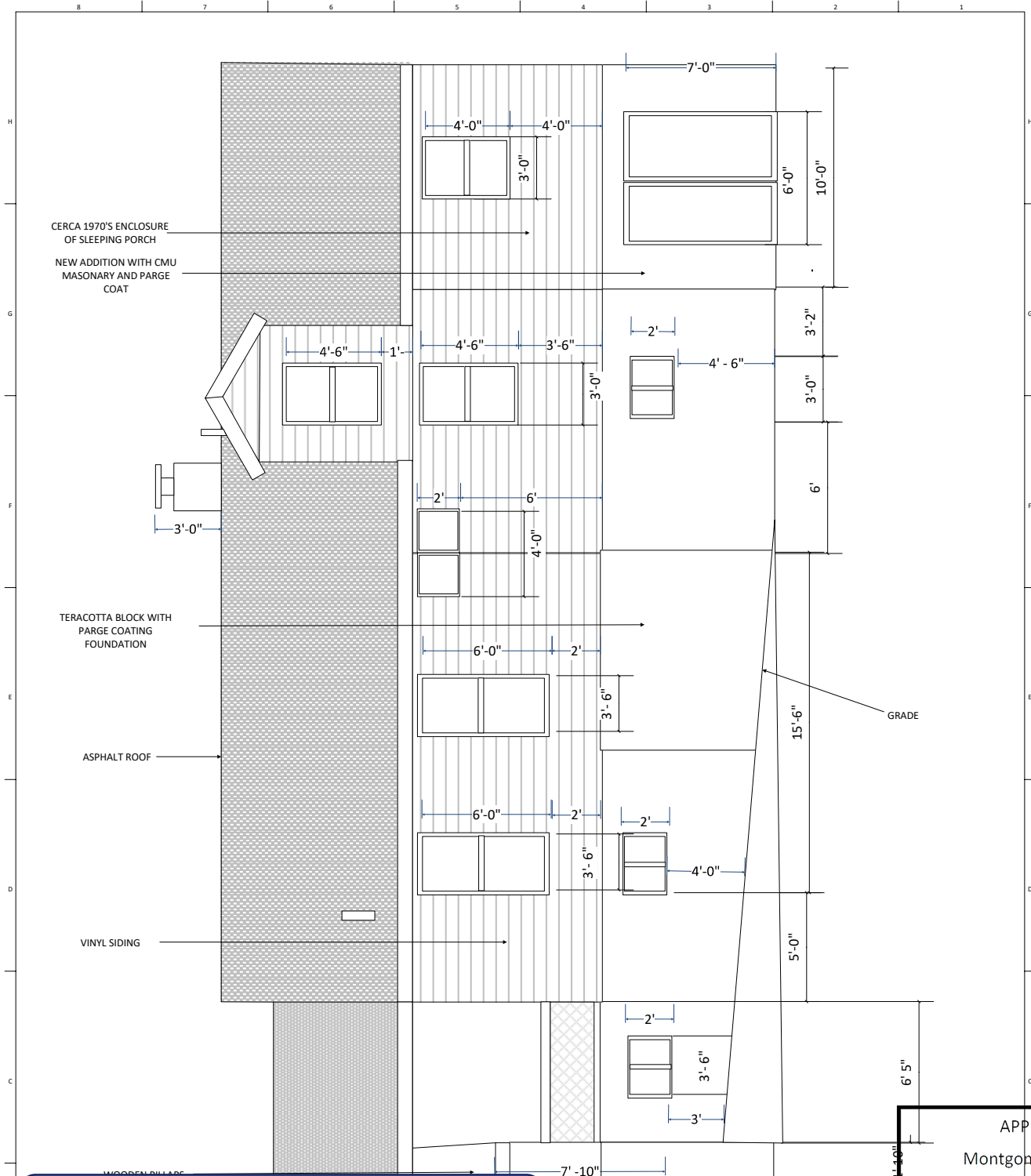
244-2018-002

MARKLE-KENNEDY FAMILY

ANDREW MARKLE

MEGAN KENNEDY





APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Sandra L. Heiler*

**REVIEWED**  
 By Michael Kyne at 1:07 pm, Nov 08, 2019

NOTES:  
 1. FURTHEST WEST 10 FEET IS CURRENTLY A COVERED PORCH. NEW WALLS WILL ENCLOSE THIS PORCH AND WILL BE CONCRETE WITH A STUCCO PARGE COAT TO PREVENT MOISTURE INTRUSION. NEWLY WALLED AREA WILL HAVE WINDOWS AND DOORS, AS INDICATED.

2. NO FURTHER CHANGES ON NORTHSIDE OF STRUCTURE.

3. SCALE 1/2" = 1'

REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK

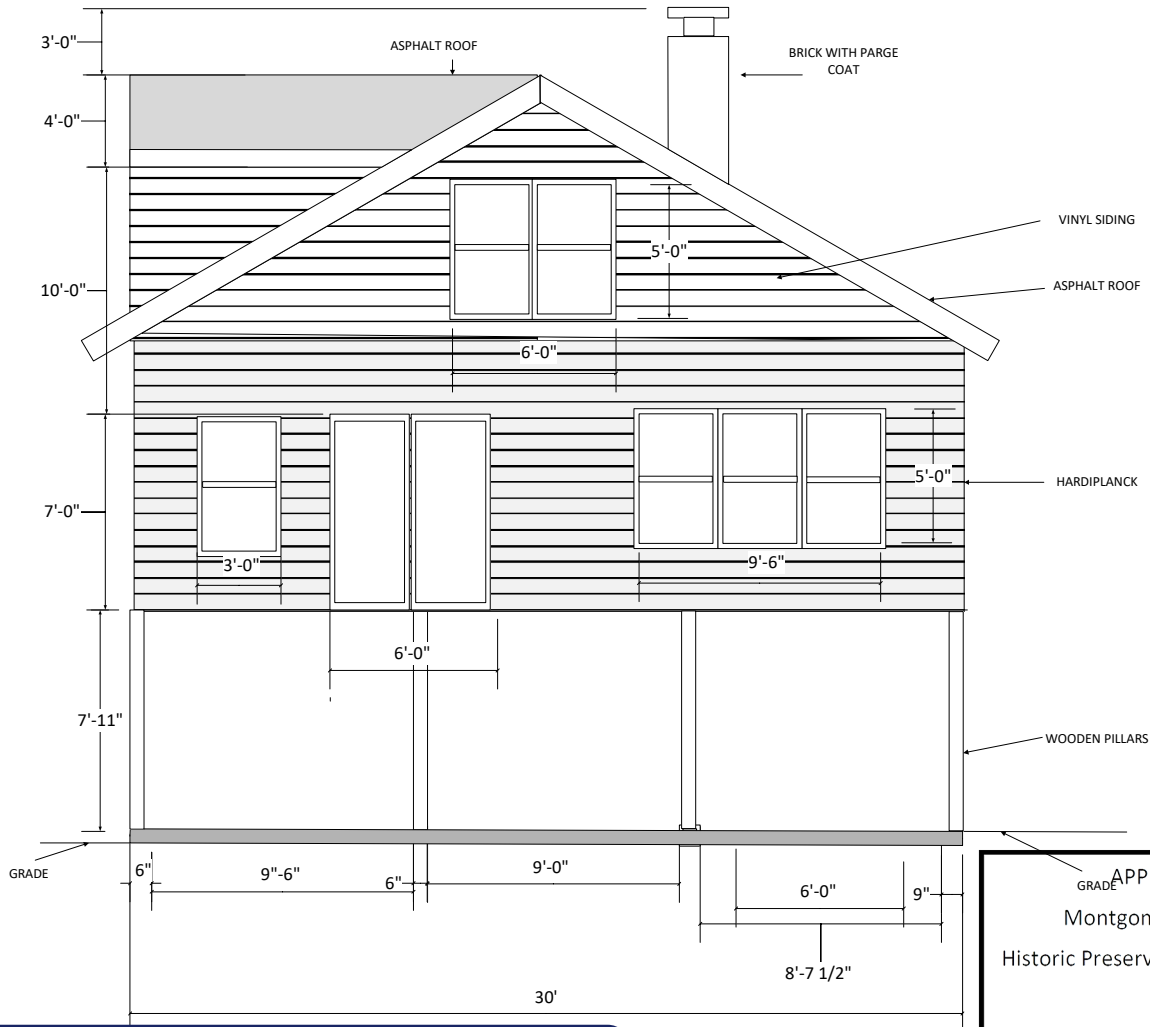
244 PARK AVE  
 BASEMENT RENOVATION  
 NORTHSIDE ELEVATION  
 DRAWING- AFTER

244-2018-001

MARKLE-KENNEDY FAMILY  
 Process NA

Page 1 of 1  
 Prepared by ANDREW MARKLE  
 Approved by MEGAN KENNEDY

Date 12/02/2018  
 Date 12/02/2018

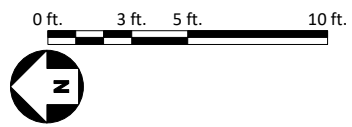


APPROVED  
 Montgomery County  
 Historic Preservation Commission


*Sandra J. Heiler*

**REVIEWED**  
 NOTES:  
 By Michael Kyne at 1:07 pm, Nov 08, 2019  
 2. ATTIC VINYL SIDING OFF-WHITE.

- 3. BASEMENT PARGING COAT WITH YELLOW PAINT.
- 4. FIRST FLOOR DOORS SERVICE BACK DECK, NOT SHOWN. SEE PHOTOS FOR FURTHER DETAILS.
- 5. SOUTHERN HALF OF FIRST FLOOR PREVIOUSLY A THREE-SEASSON ROOM. ENCLOSED CIRCA 2008.
- 6. FIRST FLOOR WINDOWS AND DOORS ADDED CIRCA 2008.
- 7. SCALE 1/2" = 1'

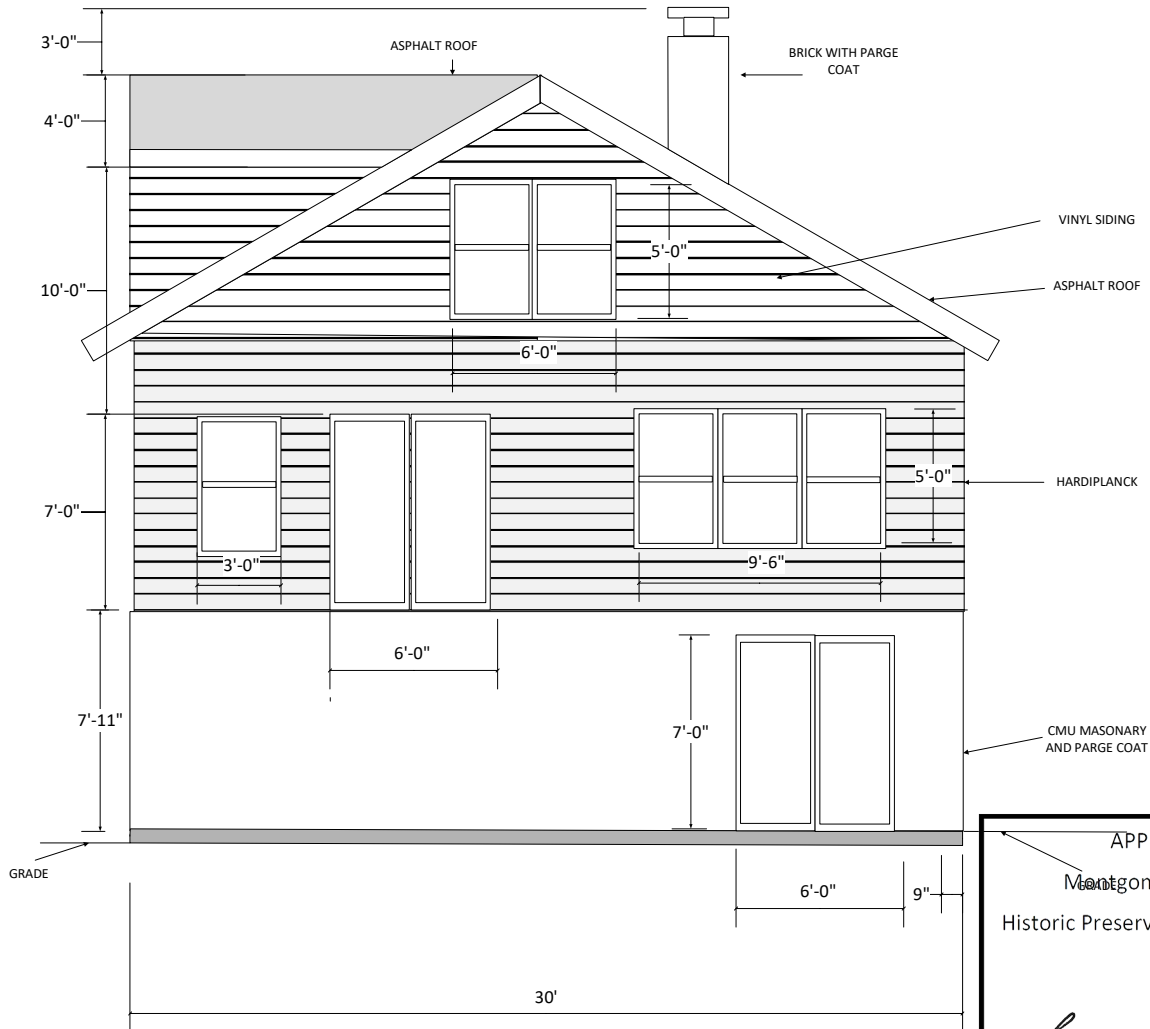


REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK


**244 PARK AVE  
 BASEMENT RENOVATION  
 ELEVATION DRAWING  
 REAR- BEFORE**

DOC NUMBER: 244-2018-006

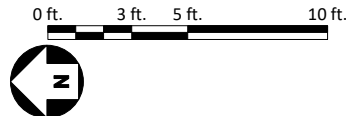
Client MARKLE-KENNEDY FAMILY	Page 1 of 1	Prepared by ANDREW MARKLE	Date 12/02/2018
Process NA		Approved by MEGAN KENNEDY	Date 12/02/2018




APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra J. Heiler*

**REVIEWED**  
 By Michael Kyne at 1:08 pm, Nov 08, 2019

- 1. HARDSIDING HARDIPLANK BEIGE.
- 2. ATTIC VINYL SIDING OFF-WHITE.
- 3. BRICK CHIMNEY WITH PARGE COAT.
- 4. FIRST FLOOR DOORS SERVICE BACK DECK, NOT SHOWN. SEE PHOTOS FOR FURTHER DETAILS.
- 5. SOUTHERN HALF OF FIRST FLOOR PREVIOUSLY A THREE-SEASON ROOM. ENCLOSED CIRCA 2008.
- 6. FIRST FLOOR WINDOWS AND DOORS ADDED CIRCA 2008.
- 7. SCALE 1/2" = 1'

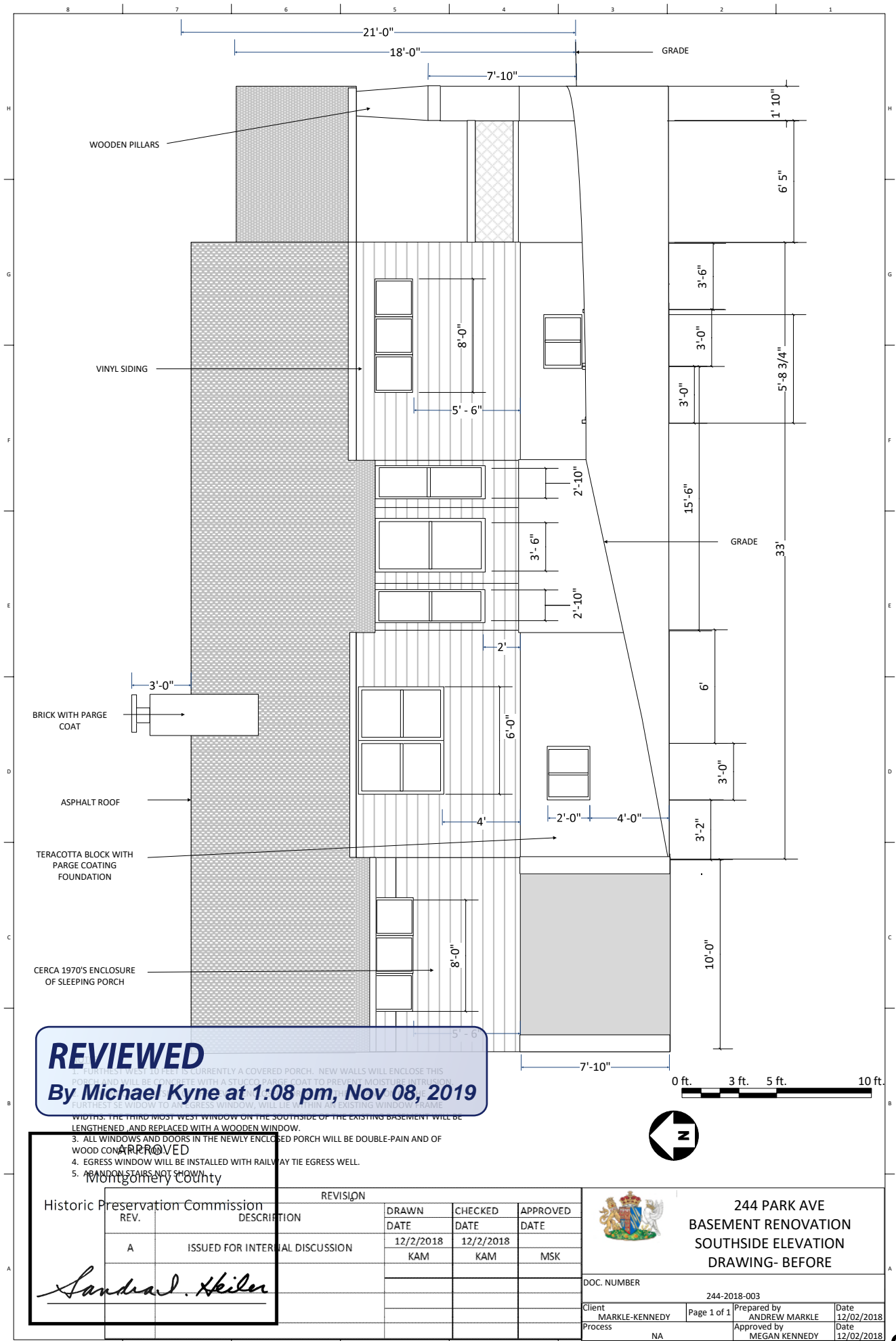


REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK


**244 PARK AVE  
 BASEMENT RENOVATION  
 ELEVATION DRAWING  
 REAR- AFTER**

DOC NUMBER  
 244-2018-006

<small>Client</small> MARKLE-KENNEDY FAMILY	<small>Page 1 of 1</small>	<small>Prepared by</small> ANDREW MARKLE	<small>Date</small> 12/02/2018
<small>Process</small> NA		<small>Approved by</small> MEGAN KENNEDY	<small>Date</small> 12/02/2018



**REVIEWED**

By Michael Kyne at 1:08 pm, Nov 08, 2019

FURTHEST WEST END PART CURRENTLY A COVERED PORCH. NEW WALLS WILL ENCLOSE THIS PORCH AND WILL BE CONCRETE WITH A STUCCO PARGE COAT TO PREVENT MOISTURE INTRUSION. FURTHEST SE WINDOW TO AN EGRESS WINDOW, WILL LIE WITHIN AN EXISTING WINDOW FRAME WIDTHS. THE THIRD MOST WEST WINDOW ON THE SOUTHSIDE OF THE EXISTING BASEMENT WILL BE LENGTHENED, AND REPLACED WITH A WOODEN WINDOW.

- 3. ALL WINDOWS AND DOORS IN THE NEWLY ENCLOSED PORCH WILL BE DOUBLE-PAN AND OF WOOD CONSTRUCTION.
- 4. EGRESS WINDOW WILL BE INSTALLED WITH RAILWAY TIE EGRESS WELL.
- 5. WOODEN STAIRS NOT SHOWN.

Montgomery County

Historic Preservation Commission

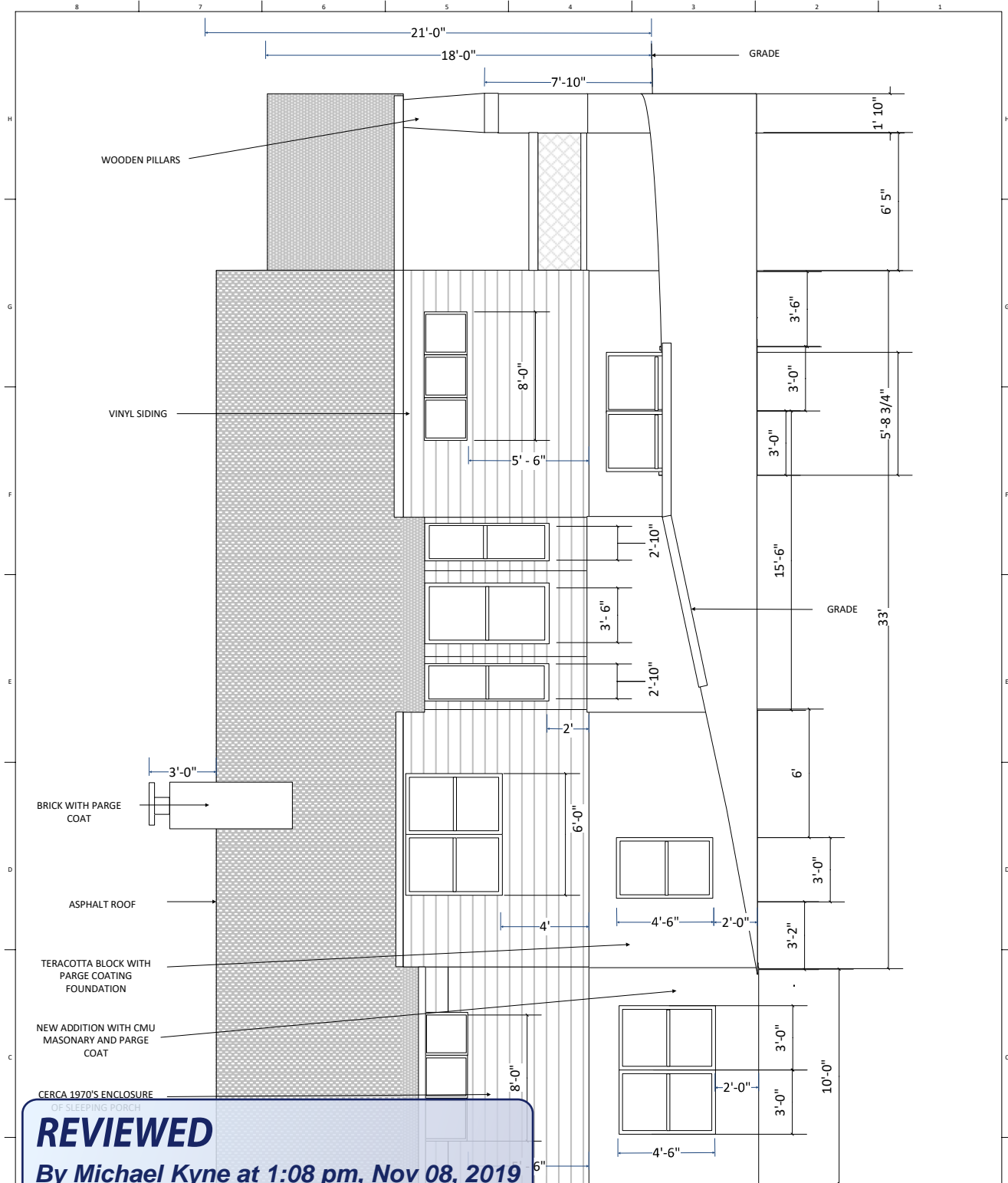
REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK

*Sandra Skiler*



244 PARK AVE  
BASEMENT RENOVATION  
SOUTHSIDE ELEVATION  
DRAWING- BEFORE

DOC. NUMBER			
244-2018-003			
Client	Page 1 of 1	Prepared by	Date
MARKLE-KENNEDY		ANDREW MARKLE	12/02/2018
Process		Approved by	Date
NA		MEGAN KENNEDY	12/02/2018




**REVIEWED**  
 By Michael Kyne at 1:08 pm, Nov 08, 2019

NOTES:

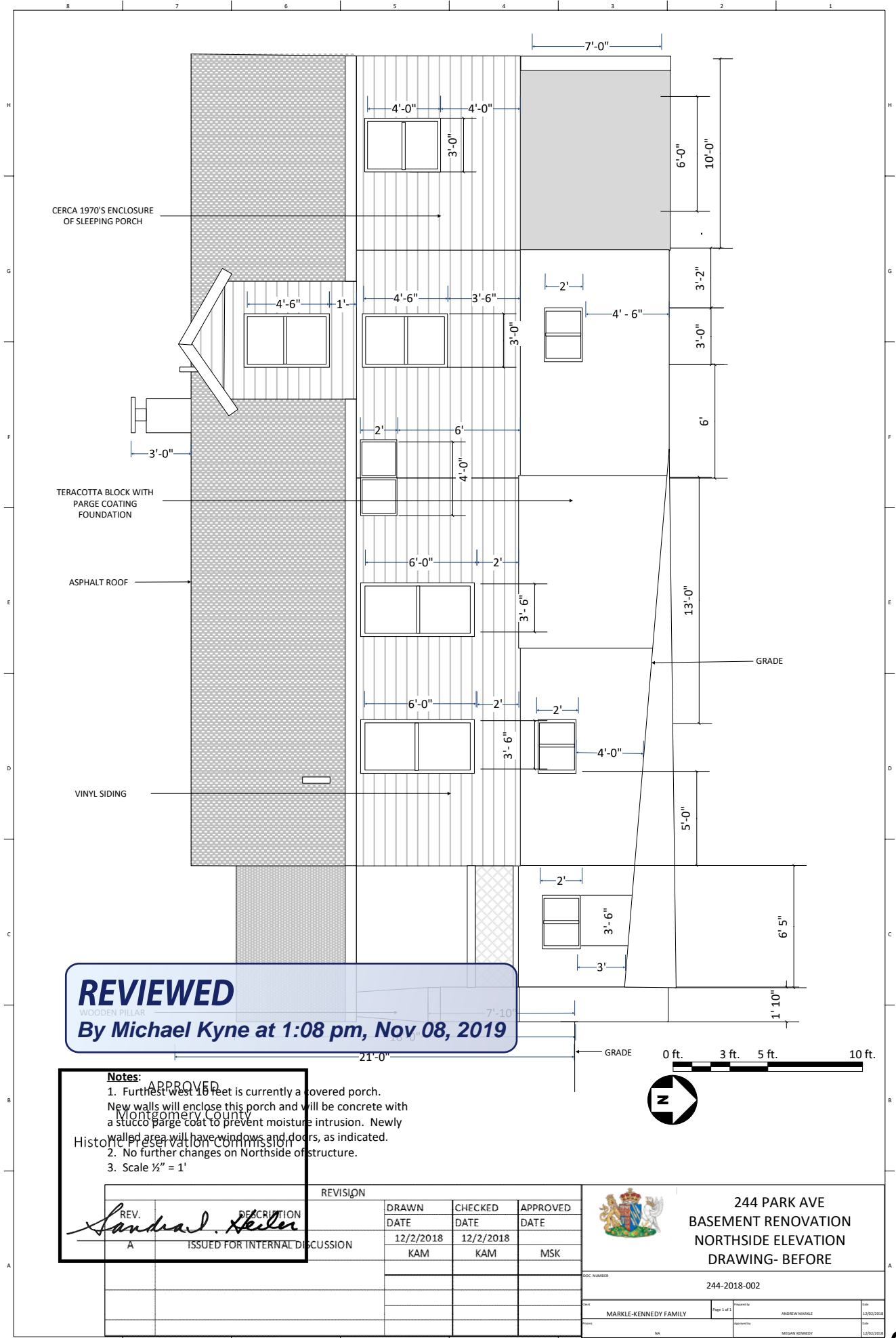
1. FURTHEST WEST 10 FEET IS CURRENTLY A COVERED PORCH. NEW WALLS WILL ENCLOSE THIS PORCH AND WILL BE CONCRETE WITH A GREY PARGE COAT TO PREVENT MOISTURE INTRUSION.
2. ALL WINDOWS AND DOORS OF THE NEWLY ENCLOSED PORCH AND THE EXPANSION OF THE FURTHEST SE WINDOW TO AN EGRESS WINDOW, WILL LIE WITHIN AN EXISTING WINDOW FRAME WIDTHS. THE THIRD MOST WEST WINDOW ON THE SOUTHSIDE OF THE EXISTING BASEMENT WILL BE A NEW WINDOW WITH A WOODEN WINDOW.
3. ALL WINDOWS AND DOORS IN THE NEWLY ENCLOSED PORCH WILL BE DOUBLE-PAIN AND OF WOOD CONSTRUCTION.
4. EGRESS WINDOW WILL BE INSTALLED WITH RAILWAY TIE EGRESS WELL.
5. ABANDON STAIRS NOT SHOWN.

Historic Preservation Commission  
 APPROVED  
*Sandra J. Heiler*  
 ISSUED FOR INTERNAL DISCUSSION

REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK


**244 PARK AVE  
 BASEMENT RENOVATION  
 SOUTHSIDE ELEVATION  
 DRAWING- AFTER**

DOC. NUMBER			
244-2018-003			
Client	Page 1 of 1	Prepared by	Date
MARKLE-KENNEDY		ANDREW MARKLE	12/02/2018
Process		Approved by	Date
NA		MEGAN KENNEDY	12/02/2018



**REVIEWED**  
 WOODEN PILLAR  
 By Michael Kyne at 1:08 pm, Nov 08, 2019

**Notes:**  
 1. Furthest west 10 feet is currently a covered porch. New walls will enclose this porch and will be concrete with a stucco parge coat to prevent moisture intrusion. Newly walled area will have windows and doors, as indicated.  
 2. No further changes on Northside of structure.  
 3. Scale 1/2" = 1'

REVISION		DRAWN	CHECKED	APPROVED
REV.	DESCRIPTION	DATE	DATE	DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK

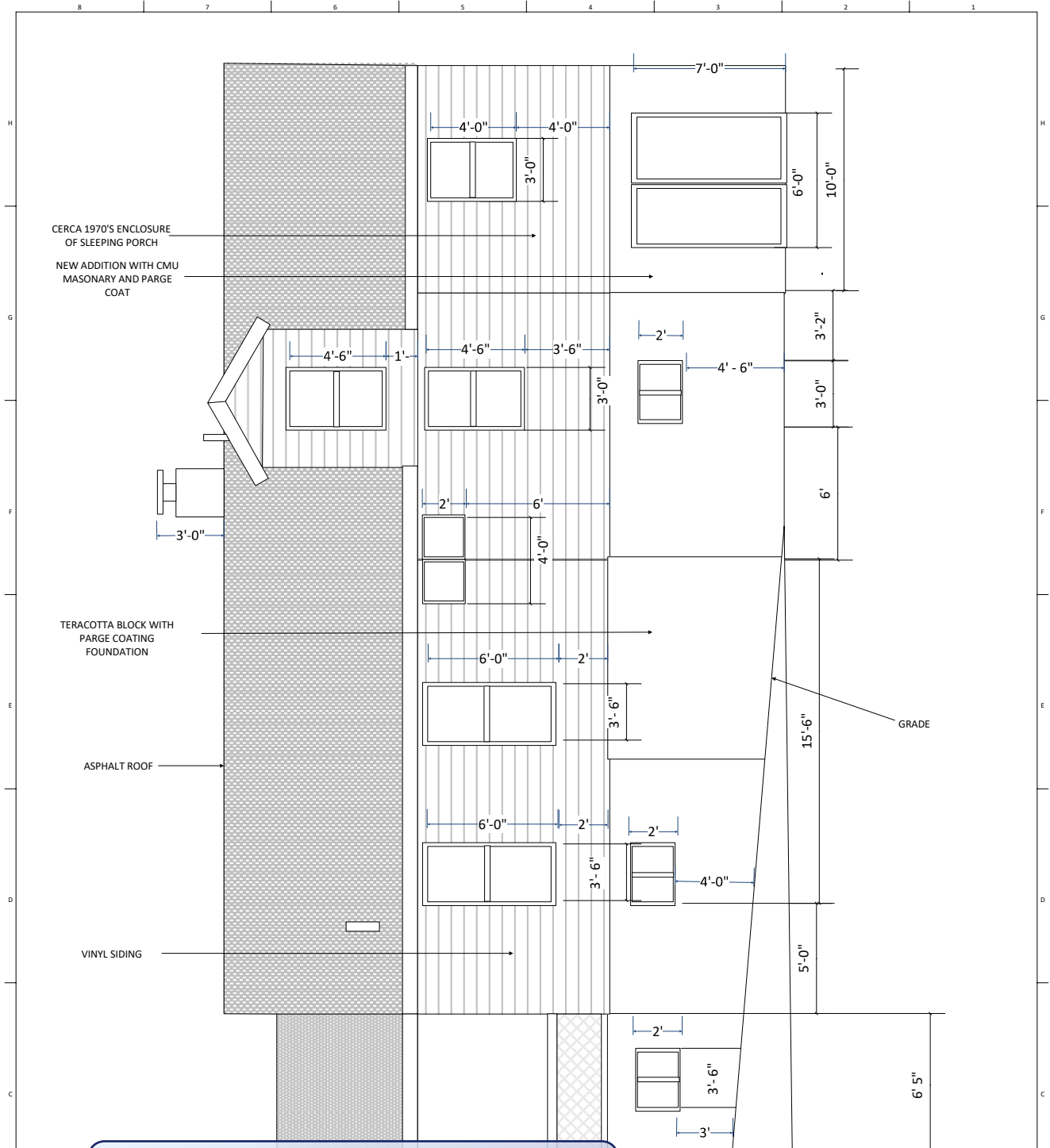
244 PARK AVE  
 BASEMENT RENOVATION  
 NORTHSIDE ELEVATION  
 DRAWING- BEFORE

244-2018-002

MARKLE-KENNEDY FAMILY

ANDREW MARKLE

MEGAN KENNEDY



**REVIEWED**  
 By Michael Kyne at 1:08 pm, Nov 08, 2019

NOTES:

1. FURTHESTAP... CURRENTLY A COVERED PORCH. NEW WALLS WILL ENCLOSE THIS PORCH AND WILL BE CONCRETE WITH A STUCCO PARGE COAT TO PREVENT MOISTURE INTRUSION. NEWLY WALLED AREA WILL HAVE WINDOWS AND DOORS, AS INDICATED.

Historic Preservation Commission

3. SCALE 1/8" = 1'

APPROVED

*Sandra Heiler*

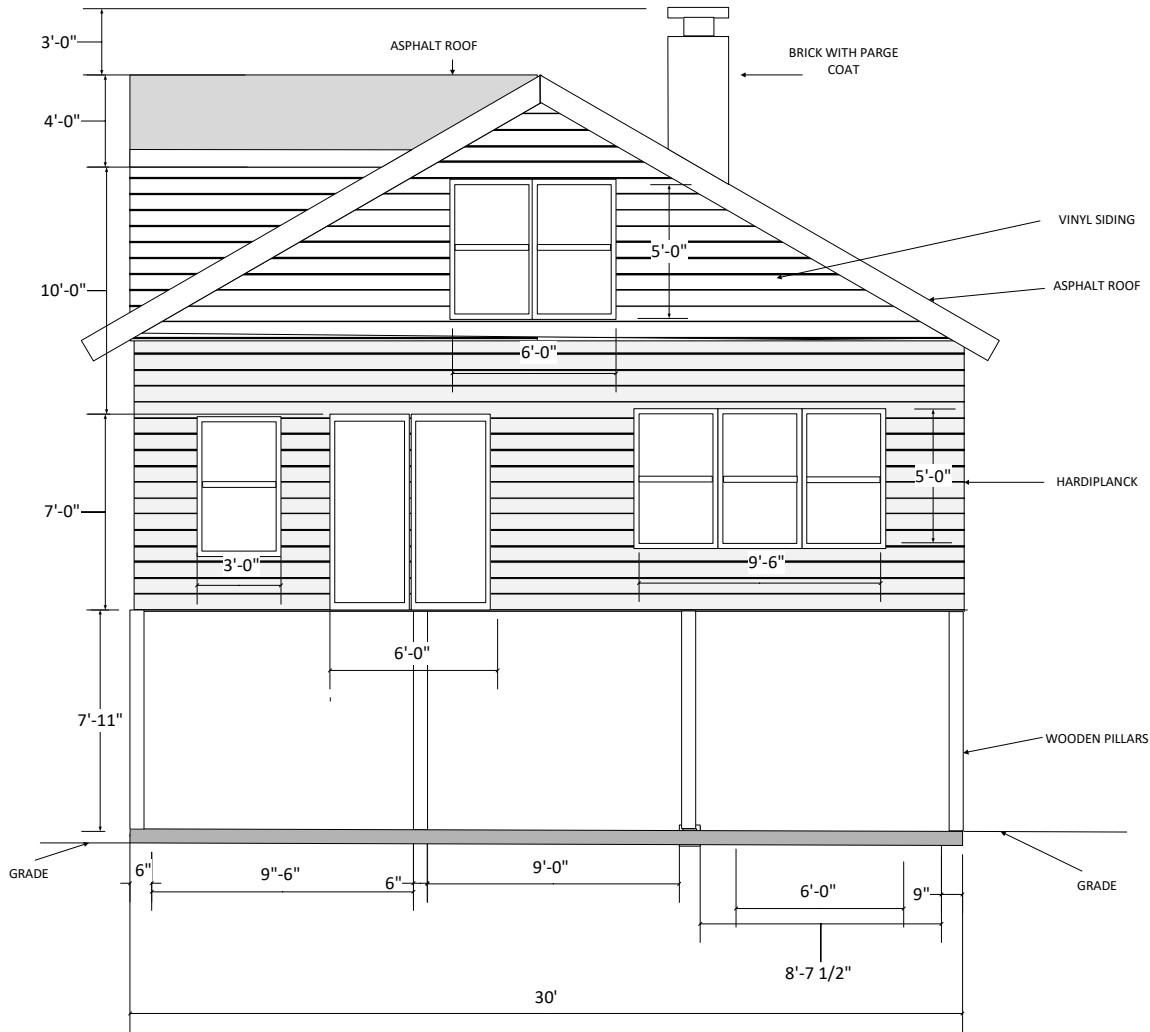
ISSUED FOR INTERNAL DISCUSSION

REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 KAM	12/2/2018 KAM	MSK



244 PARK AVE  
 BASEMENT RENOVATION  
 NORTHSIDE ELEVATION  
 DRAWING- AFTER

244-2018-001			
MARKLE-KENNEDY FAMILY	Page 1 of 1	Prepared by ANDREW MARKLE	Date 12/02/2018
Process NA		Approved by MEGAN KENNEDY	Date 12/02/2018



**REVIEWED**

1. FIRST FLOOR HARDIPLANK BEIGE.

By Michael Kyne at 1:08 pm, Nov 08, 2019

2. BASEMENT PARGING COAT WITH YELLOW PAINT.

4. FIRST FLOOR DOORS SERVICE BACK DECK, NOT

SHOWN. SEE PHOTOS FOR FURTHER DETAILS

5. SOUTHERN HALF OF FIRST FLOOR PREVIOUSLY A

THREE-SEASON ROOM. ENCLOSED CIRCA 2008.

6. FIRST FLOOR WINDOWS AND DOORS ADDED CIRCA

2008.

Historic Preservation Commission

7. SCALE 1/2" = 1'

0 ft. 3 ft. 5 ft. 10 ft.



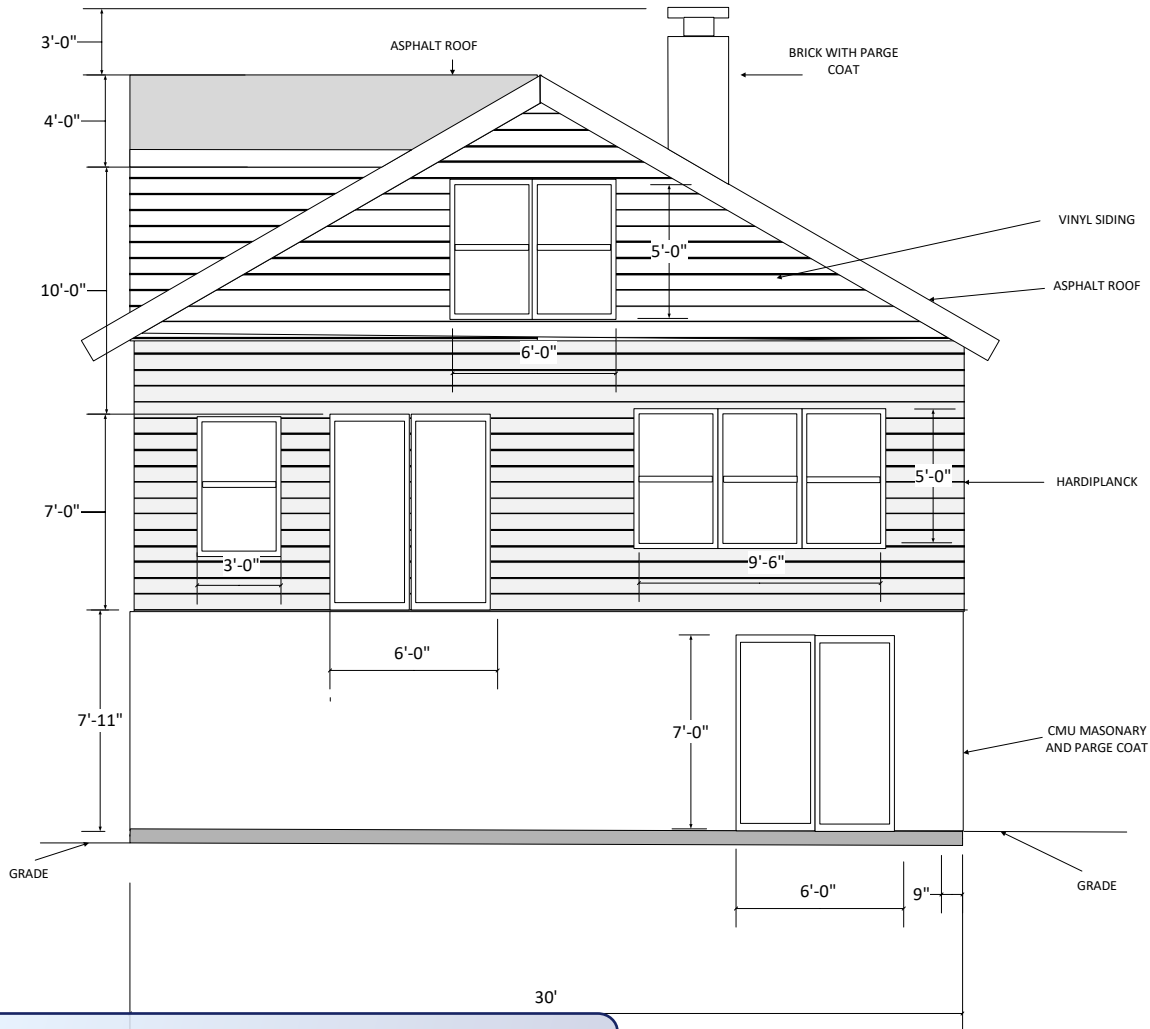
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		KAM	KAM	MSK



244 PARK AVE  
BASEMENT RENOVATION  
ELEVATION DRAWING  
REAR- BEFORE

Client			244-2018-006		
MARKLE-KENNEDY FAMILY			244-2018-006		
Page 1 of 1	Prepared by	Date			
Process	ANDREW MARKLE	12/02/2018			
NA	Approved by	Date			
	MEGAN KENNEDY	12/02/2018			





**REVIEWED**  
 By Michael Kyne at 1:08 pm, Nov 08, 2019

1. FIRST FLOOR HARDIPLANK BEIGE
2. ATTIC VINYL SIDING OFF-WHITE.
3. BASEMENT PARING COAT.
4. FIRST FLOOR SERVICE BACK DECK, NOT SHOWN. SEE PHOTOS FOR FURTHER DETAILS.
5. MODERN CLUTTER FIRST FLOOR. PREVIOUSLY A THREE-SEASON ROOM. ENCLOSED CIRCA 2008.
6. FIRST FLOOR WINDOWS AND DOORS ADDED CIRCA 2008.
7. SCALE 1/2" = 1'

0 ft. 3 ft. 5 ft. 10 ft.



*Sandra J. Heiler*  
 KEY

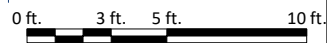
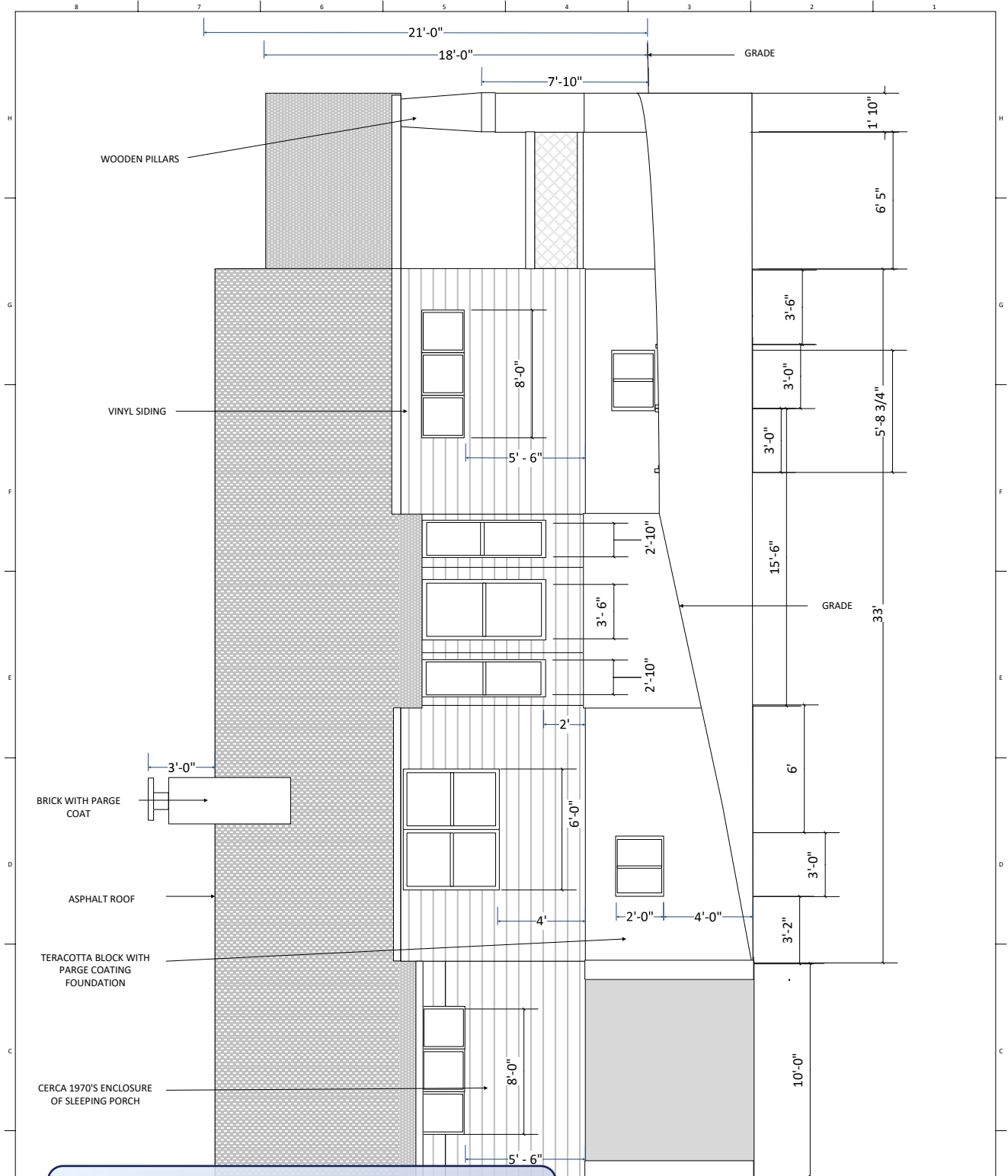
REVISION	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
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244 PARK AVE  
 BASEMENT RENOVATION  
 ELEVATION DRAWING  
 REAR- AFTER

244-2018-006

Client	MARKLE-KENNEDY FAMILY	Page 1 of 1	Prepared by	ANDREW MARKLE	Date	12/02/2018
Process	NA		Approved by	MEGAN KENNEDY	Date	12/02/2018



**REVIEWED**  
 APPROVED FOR THE EXPANSION OF THE NEWLY ENCLOSED PORCH. NEW WALLS WILL ENCLOSE THIS PORCH AND BE FINISHED WITH A STUCCO PARGE COAT TO PREVENT MOISTURE INTRUSION.  
 2. ALL WINDOWS, OUTSIDE OF THE NEWLY ENCLOSED PORCH AND THE EXPANSION OF THE PORCH, WILL BE FINISHED WITH VINYL SIDING. THE EXISTING BASEMENT WINDOW WILL BE LENGTHENED AND REPLACED WITH A WOODEN WINDOW.  
 3. ALL WINDOWS AND DOORS IN THE NEWLY ENCLOSED PORCH WILL BE DOUBLE-PAIN AND OF WOOD CONSTRUCTION.  
 4. EGRESS WINDOW IS INSTALLED WITH RAILWAY TIE EGRESS WELL.  
 5. ABANDON STAIRS NOT SHOWN.

**By Michael Kyne at 1:08 pm, Nov 08, 2019**

APPROVED  
 Sandra L. Heiler

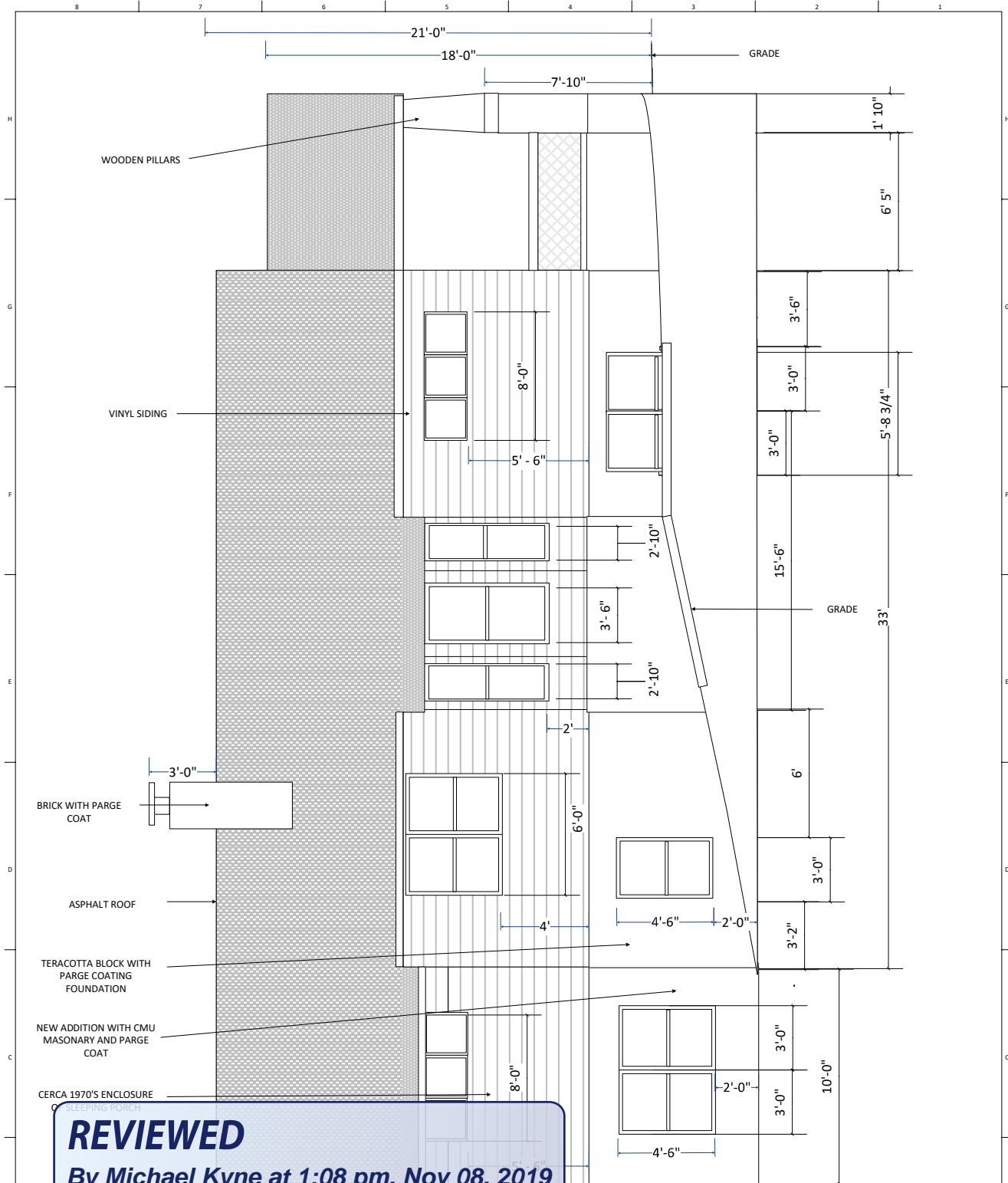
REVISION		DRAWN DATE	CHECKED DATE	APPROVED DATE
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244 PARK AVE  
 BASEMENT RENOVATION  
 SOUTHSIDE ELEVATION  
 DRAWING- BEFORE

DOC. NUMBER 244-2018-003

Client MARKLE-KENNEDY Page 1 of 1  
 Process NA

Prepared by ANDREW MARKLE Date 12/02/2018  
 Approved by MEGAN KENNEDY Date 12/02/2018



**REVIEWED**  
 By Michael Kyne at 1:08 pm, Nov 08, 2019

- NOTES:
1. FURTHEST WEST 10 FEET IS CURRENTLY A COVERED PORCH. NEW WALLS WILL ENCLOSE THIS PORCH AND WILL BE CONCRETE WITH A GREY PARGE COAT TO PREVENT MOISTURE INTRUSION.
  2. ALL WINDOWS, OUTSIDE OF THE NEWLY ENCLOSED PORCH AND THE EXPANSION OF THE FURTHEST SE WINDOW TO AN EGRESS WINDOW, WILL LIE WITHIN AN EXISTING WINDOW FRAME WIDTHS. THE THIRD MOST WEST WINDOW ON THE SOUTH SIDE OF THE EXISTING BASEMENT WILL BE LENGTHENED TO MATCH THE OTHER WOODEN WINDOW.
  3. ALL WINDOWS AND DOORS IN THE NEWLY ENCLOSED PORCH WILL BE DOUBLE-PAIN AND OF WOOD CONSTRUCTION.
  4. EGRESS WINDOW WILL BE INSTALLED WITH RAILWAY TIE EGRESS WELL.
  5. ABANDON STAIRS NOT SHOWN.

APPROVED  
 Historical Preservation Commission  
 Issued for Internal Discussion

*Sandra Heiler*

REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
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244 PARK AVE  
 BASEMENT RENOVATION  
 SOUTHSIDE ELEVATION  
 DRAWING- AFTER

DOC. NUMBER: 244-2018-003

Client: MARKLE-KENNEDY  
 Process: NA

Page 1 of 1

Prepared by: ANDREW MARKLE  
 Approved by: MEGAN KENNEDY

Date: 12/02/2018  
 Date: 12/02/2018



Enclosure 5 to  
Letter Dated  
May 15, 2019  
2019-022-01

## Material Specifications

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Herein are the material specifications completed to the best of our abilities.

The specifications are a general description of material and manufactured items proposed for incorporation in the work of the project. This information is also provided on the design drawings. This page is the only page of this enclosure.

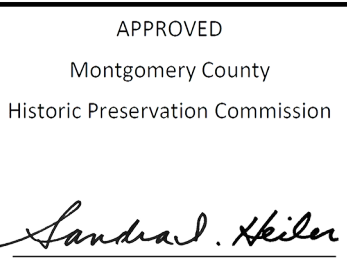
New Walls - The new walls that will enclose the porch shall be CMU masonry, covered in a parge coat. The parge coat will be stone grey in color.

New and Replacement Window and Doors - Windows and doors shall be of wooden frame, double-pane construction. Specification sheets for both windows and door are included.

Egress Well- Shall be constructed of 8” railway ties reinforced with #4 rebar. The well walls will serve as retaining walls. The wall will be mounted on an appropriately sized gravel foundation and provided with drainage. A schematic of the egress window well is provided herein.

**REVIEWED**

*By Michael Kyne at 1:08 pm, Nov 08, 2019*



# Product Summary- Wood Carmel Double Hung

**FRAME** All frame components are manufactured from kiln-dried Ponderosa Pine and preservative-treated in accordance with WDMA I.S.4. Douglas Fir is available upon request and can be ordered in an optional distressed finish. The basic jamb width is 4 9/16". Factory-applied clear extension jambs are available for thicker walls. All exterior surfaces are coated with a factory-applied latex Primer. Clear exteriors are available in Ponderosa Pine and Douglas Fir. Glass-filled nylon sill boots at bottom corners afford excellent moisture protection for side jambs. Interior surfaces are suitable for staining or painting. Radius components will consist of laminated veneers. An optional factory-applied interior prime coat is available. An extruded aluminum nail fin is mechanically bonded to the exterior frame at the head and side jambs for nail fin attachment. Exterior trim is shipped loose and attached over the nail fin after installation.

**SASH** The sash is a full 1 1/2" thickness, manufactured from kiln-dried Ponderosa Pine and preservative-treated in accordance with WDMA I.S.4. Douglas Fir is available upon request and can be ordered in optional distressed finish. All sash corners have mortise and tenon joints that are sealed and screwed. All exterior surfaces are coated with a factory-applied latex primer. Clear exteriors are available in Ponderosa Pine or Douglas Fir. Interior surfaces are suitable for staining or painting. An optional factory-applied interior prime coat is available.

**WEATHERSTRIP** The Carmel Double Hung features a fixed, aesthetically-pleasing, concealed jamb liner with flex hinge weatherstrip that securely holds the sash in place as it seals against the elements. Additional protection is provided by slip-coated flexible PVC bulb weatherstrips - two at the head, as well as one each at the checkrail and bottom rail. The stiles are lined with a ribbed PVC bulb weatherstrip that seals with the jamb liner.

**HARDWARE** The balance system is composed of a dual block and tackle mechanism with nylon roller pulleys and high tension coil springs. Cam-style sash locks at the checkrail are factory-applied for security and positive closure. Units 42" and wider have two sash locks. Jamb jacks are provided for precise positioning of side jambs for proper sash and balance operation. Sash locks and sash lifts are high-pressure, die-cast zinc. Tilt latches are powder coated cast zinc and thermoplastic.

**GLAZING** Units are available with single or dual pane insulated glass with one lite, simulated divided lites, grilles or airspace grilles. Standard glass is 3/4" overall, separated by warm edge spacer technology from Quanex. All standard tints and types of glass are available, as is the capillary breather tube system for high altitude. The glass is dual bedded with a structural sealant and secured in the sash with a glazing bead; see Glazing in the Technical Section for more information.

**SIMULITE** Simulite bars are 3/8", 7/8" and 1" wide Putty profile: 5/8", 7/8", 1", 1 1/4" or 2" wide Traditional or Contemporary profile and are available in Ponderosa Pine or Douglas Fir. Interior simulite bars are suitable for staining or painting. Exterior simulite bars are coated with a factory-applied latex primer. Clear exteriors are available in Ponderosa Pine and Douglas Fir. Multiple simulite bar widths in Traditional or Contemporary profile can be used in the same unit to create unique lite patterns. Bars are permanently adhered to the glass surface with a very high bond adhesive tape. Insulated glass features an internal shadow bar to give the appearance of authentic divided lites.

**AIRSPACE** Airspace grilles between the glass are available in 5/8" or 1" wide, champagne or white aluminum.

**SCREENS** Screens are constructed with an aluminum frame and charcoal fiberglass cloth (18 x 16 mesh) or optional BetterVue or UltraVue screen mesh fabrics. Screens will be field applied to the exterior trim with provided hardware.

**REVIEWED**  
By Michael Kyne at 1:08 pm, Nov 08, 2019

APPROVED  
Montgomery County  
Historical Preservation Commission

*Sandra Heiler*



# Product Summary- Wood Inswing Door

**FRAME** All frame components are manufactured from kiln-dried Ponderosa Pine and preservative-treated in accordance with WDMA I.S.4. Douglas Fir interior is available as an option. The basic jamb widths are 4 9/16" and 6 9/16". Other jamb widths are available upon request. All exterior surfaces are coated with a factory-applied latex primer. Clear exteriors are available upon request. An optional distressed finish is available in Douglas Fir. All units with exterior trim come with factory-applied flexible flashing on sides and head; see drawing in Installation Section. Interior surfaces are suitable for staining or painting. An optional factory-applied interior prime coat is available.

**PANELS** The panels are a full 1 3/4" thickness manufactured from kiln-dried Ponderosa Pine and preservative-treated in accordance with WDMA I.S.4. Douglas Fir interior is available as an option. All exterior surfaces are coated with a factory-applied latex primer. Clear exteriors are available upon request. An optional distressed finish is available in Douglas Fir. The panel rails are edge-glued and are attached to the laminated, engineered stiles with 5/8" x 4" straight fluted dowels and sealed with exterior glue. Stiles and top rails are 4 5/8" wide. Bottom rails are 6 13/16" wide. Narrow stile sidelights have a 2 5/16" stile. Interior surfaces are suitable for staining or painting. An optional factory-applied interior prime coat is available.

**WEATHERSTRIP** Vinyl-covered foam weatherstrip is used on the head and side jambs, as well as on the astragal on multiple panel units for a full perimeter compression seal. An integral, vinyl-covered foam weatherstrip is incorporated at the sill to provide a continuous seal against air and water infiltration. An aluminum sweep is applied to the bottom of both the active and inactive door panels.

**HARDWARE** (Please note: doors purchased without hardware are not covered by the Sierra Pacific Warranty.) The standard hardware set features a corrosion resistant 300 series stainless steel, multi-point locking system with a 3-point lock on the active panel and a 2-point lock on the inactive panel. The handle levers on both panels engage and release the shoot bolts at the head and sill, as well as the deadbolt and latch. Both interior and exterior handle sets are forged brass and are available in a variety of finishes. A keyed lock is available as an option. Three hinges are utilized on the 78", 80" and 84" height doors with four hinges on the 96" height doors. Adjustable hinges are available as an option.

**SILL** All models have an extruded bronze-tone sill on the exterior with an interior oak threshold.

**GLAZING** Units are available with single or dual pane insulated tempered glass with one lite, simulated divided lites, or airspace grilles. Standard glass is 3/4" overall, separated by warm edge spacer technology from Quanex. All standard tints and types of glass are available, as is the capillary breather tube system for high altitude. The glass is dual bedded with a structural sealant and secured in the panel with a removable interior glazing bead; see Glazing in the Technical Section for more information.

**SIMULITE** Simulite bars are 5/8", 7/8" and 1" wide Putty profile; 5/8", 7/8", 1", 1 1/4" or 2" wide Traditional or Contemporary profile and are available in Ponderosa Pine or Douglas Fir. Interior simulite bars are suitable for staining or painting. Exterior simulite bars are coated with a factory-applied latex primer. Clear exteriors are available in Ponderosa Pine and Douglas Fir. Multiple simulite bar widths in Traditional or Contemporary profile can be used in the same unit to create unique lite patterns. Bars are permanently adhered to the glass surface with a very high bond adhesive tape. Insulated glass features an internal shadow bar to give the appearance of authentic divided lites.

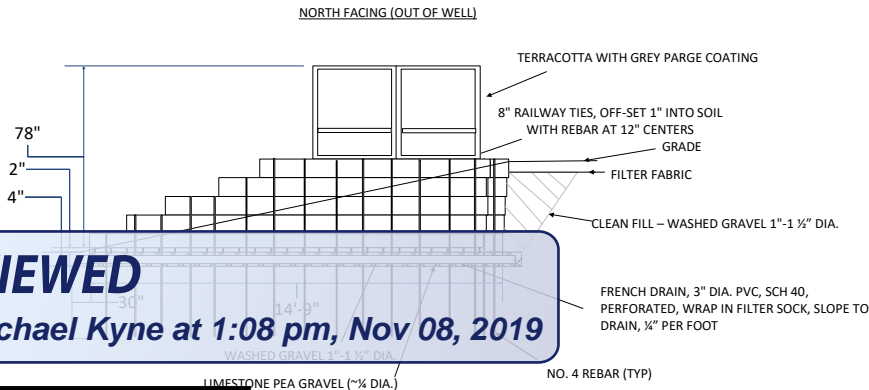
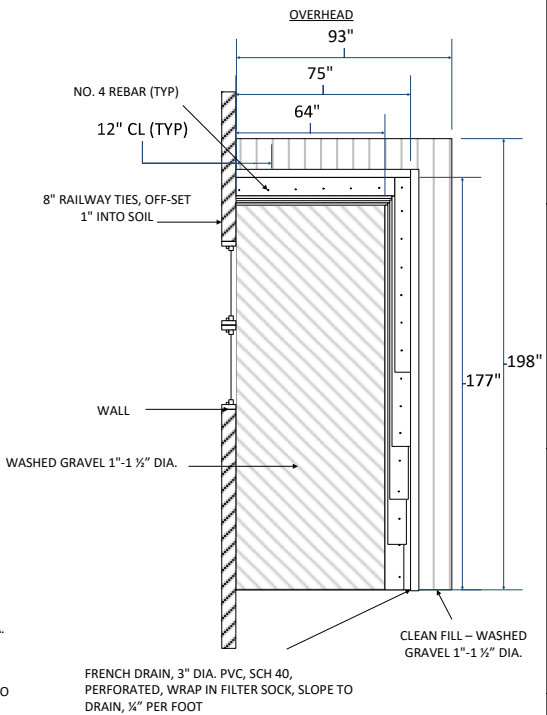
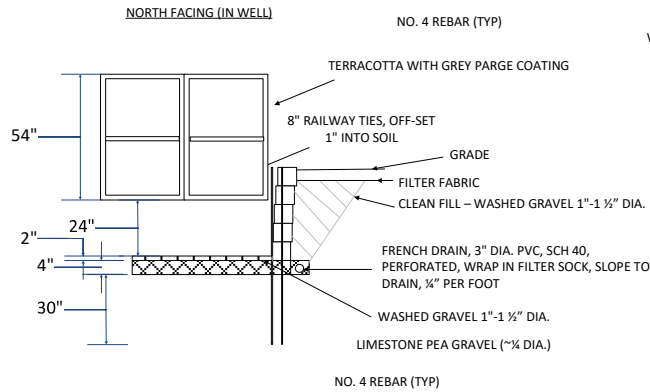
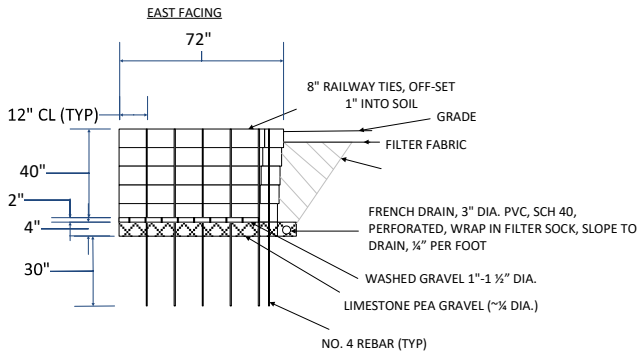
**AIRSPACE GRILLES** Airspace grilles between the glass are available in 5/8" or 1" wide, champagne or white aluminum.

**SCREENS** Optional exterior screens are constructed with an aluminum frame and charcoal fiberglass cloth 18 x 16 mesh or optional BetterVue or UltraVue screen mesh fabrics.

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APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Heiler*

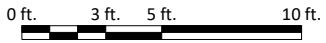




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NOTES:  
 1. RETAINING WALL WILL SLOPE WITH GRADE  
 2. WASHED GRAVEL WILL BE SLOPED TOWARD EXIT OF WELL  
 3. SCALE 1/2" = 1'



REVISION				
REV.	DESCRIPTION	DRAWN DATE	CHECKED DATE	APPROVED DATE
A	ISSUED FOR INTERNAL DISCUSSION	12/2/2018 MKK	12/2/2018 MKK	12/2/2018 MKK

244 PARK AVE  
 BASEMENT RENOVATION  
 EGRESS WINDOW WELL

DOC NUMBER: 244-2018-001

Prepared by: ANDREW MARKLE  
 Date: 12/02/2018

Approved by: MEGAN KENNEDY  
 Date: 12/02/2018

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