



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: August 1, 2019

MEMORANDUM

TO: Hadi Mansouri
Department of Permitting Services

FROM: Rebecca Ballo
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #881518: Window alteration and minor alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the July 24, 2019 Historic Preservation Commission meeting.

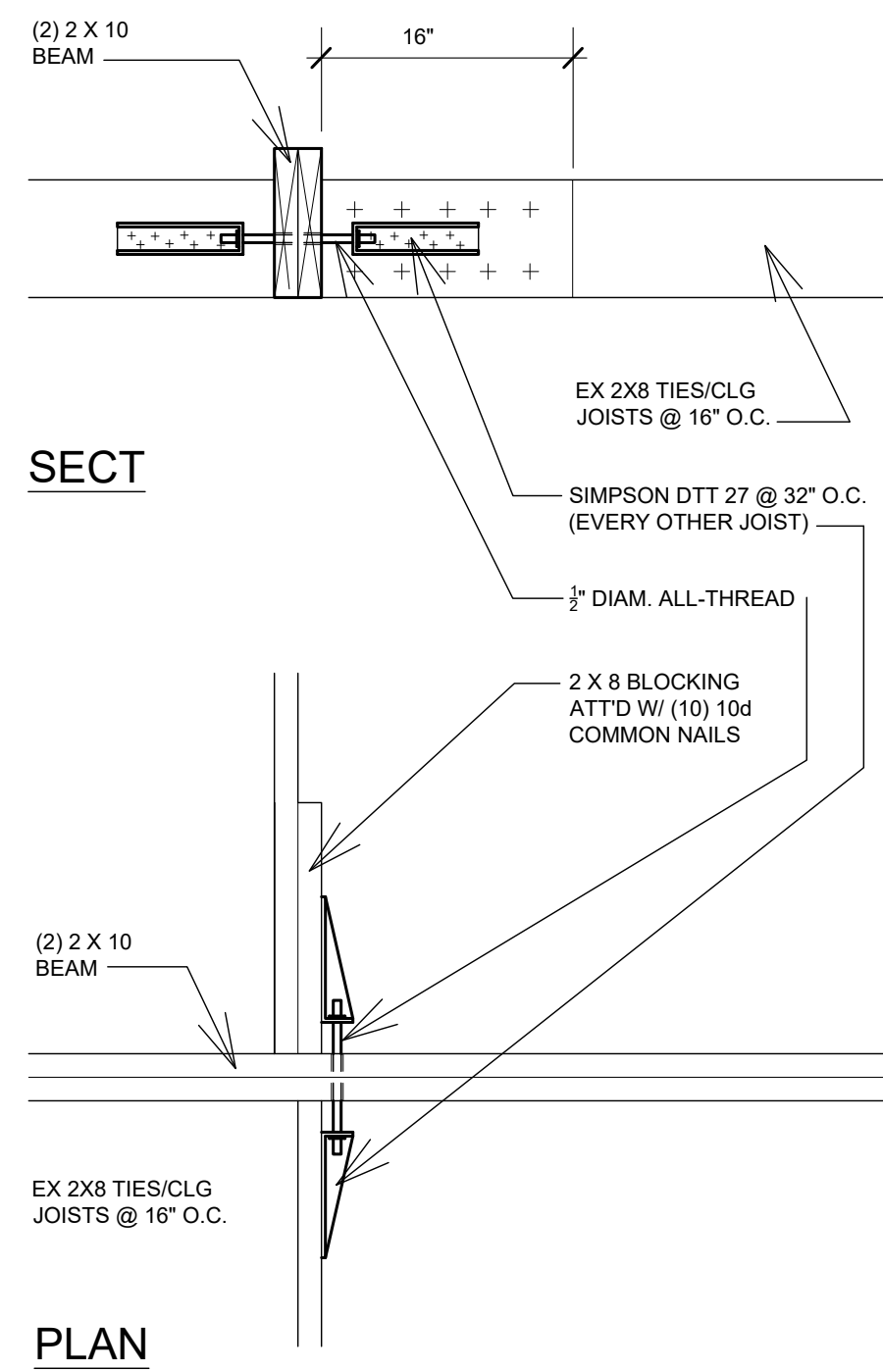
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

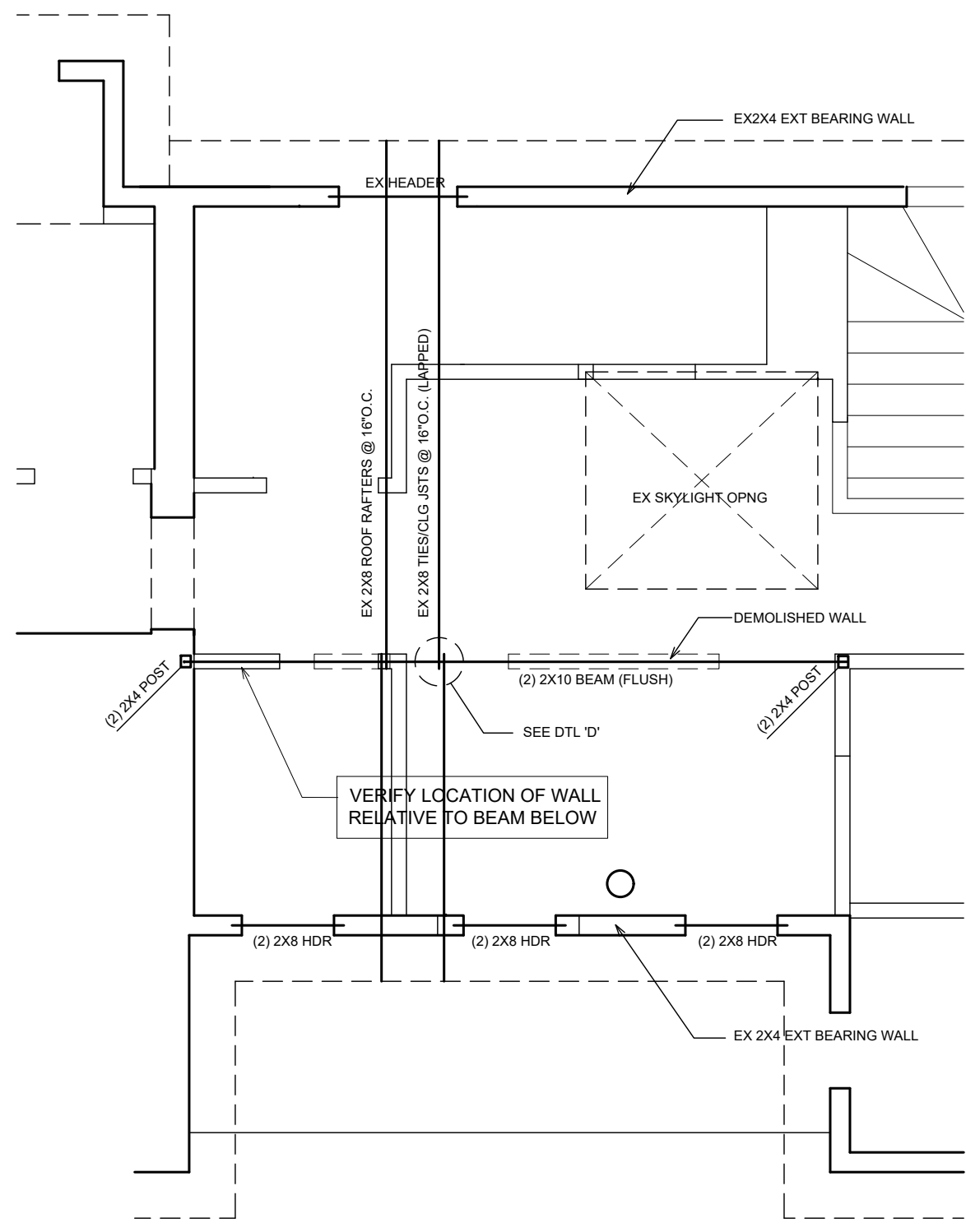
Applicant: David Debruin and Elizabeth Taylor (**Larysa Kurylas, Architect**)
Address: 4312 Leland Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Rebecca Ballo at 301.563.3404 or rebecca.ballo@montgomeryplanning.org to schedule a follow-up site visit.





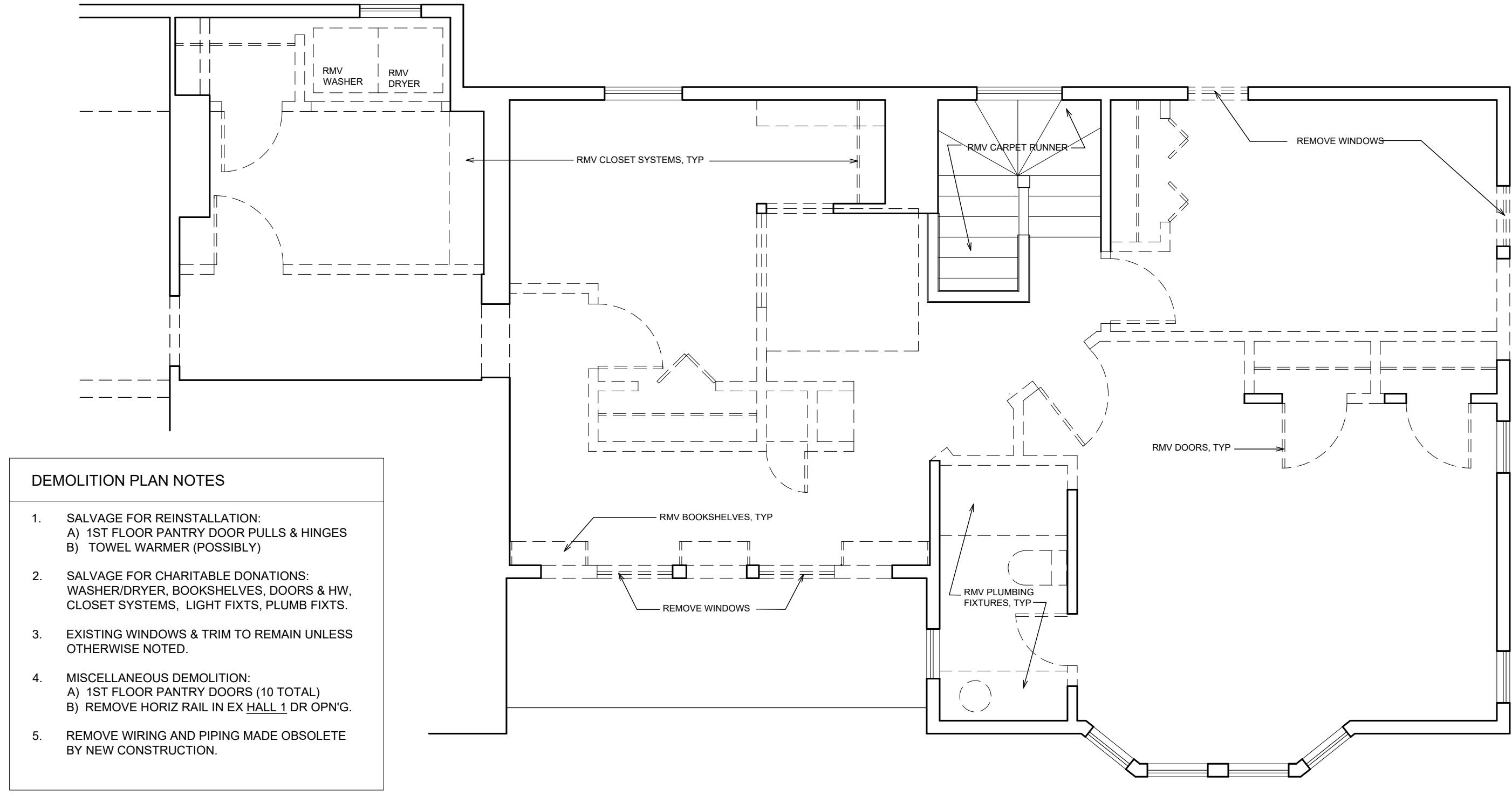
D PLAN/ SECTION DETAIL
1" = 1'-0"



STRUCTURAL PLAN NOTES

- DESIGN LOADS:
ROOF 30 PSF (SNOW)
DEAD 10 PSF
- LUMBER TO BE NO. 2 SPF
F_b 475 PSI
E 1,300,000 PSI
- WINDOW AND DOOR HEADERS TO BE MIN. (2) 2X6'S.
- POSTS SUPPORTING SAWN LUMBER BEAMS TO BE MIN (2) 2X4'S.
- VERIFY BEARING OF POINT LOADS ON 1ST FLOOR STRUCTURE BELOW.

C PARTIAL ROOF FRAMING PLAN



B PARTIAL SECOND FLOOR DEMOLITION PLAN

DEMOLITION PLAN NOTES

- SALVAGE FOR REINSTALLATION:
A) 1ST FLOOR PANTRY DOOR PULLS & HINGES
B) TOWEL WARMER (POSSIBLY)
- SALVAGE FOR CHARITABLE DONATIONS:
WASHER/DRYER, BOOKSHELVES, DOORS & HW, CLOSET SYSTEMS, LIGHT FIXTS, PLUMB FIXTS.
- EXISTING WINDOWS & TRIM TO REMAIN UNLESS OTHERWISE NOTED.
- MISCELLANEOUS DEMOLITION:
A) 1ST FLOOR PANTRY DOORS (10 TOTAL)
B) REMOVE HORIZ RAIL IN EX HALL 1 DR OPNG.
- REMOVE WIRING AND PIPING MADE OBSOLETE BY NEW CONSTRUCTION.

KEY TO WALL TYPES

- DEMOLITION
- EX WALLS TO REMAIN
- ▨ NEW 2X4 WALLS W/ 1/2" GWB EA. SIDE, TYP

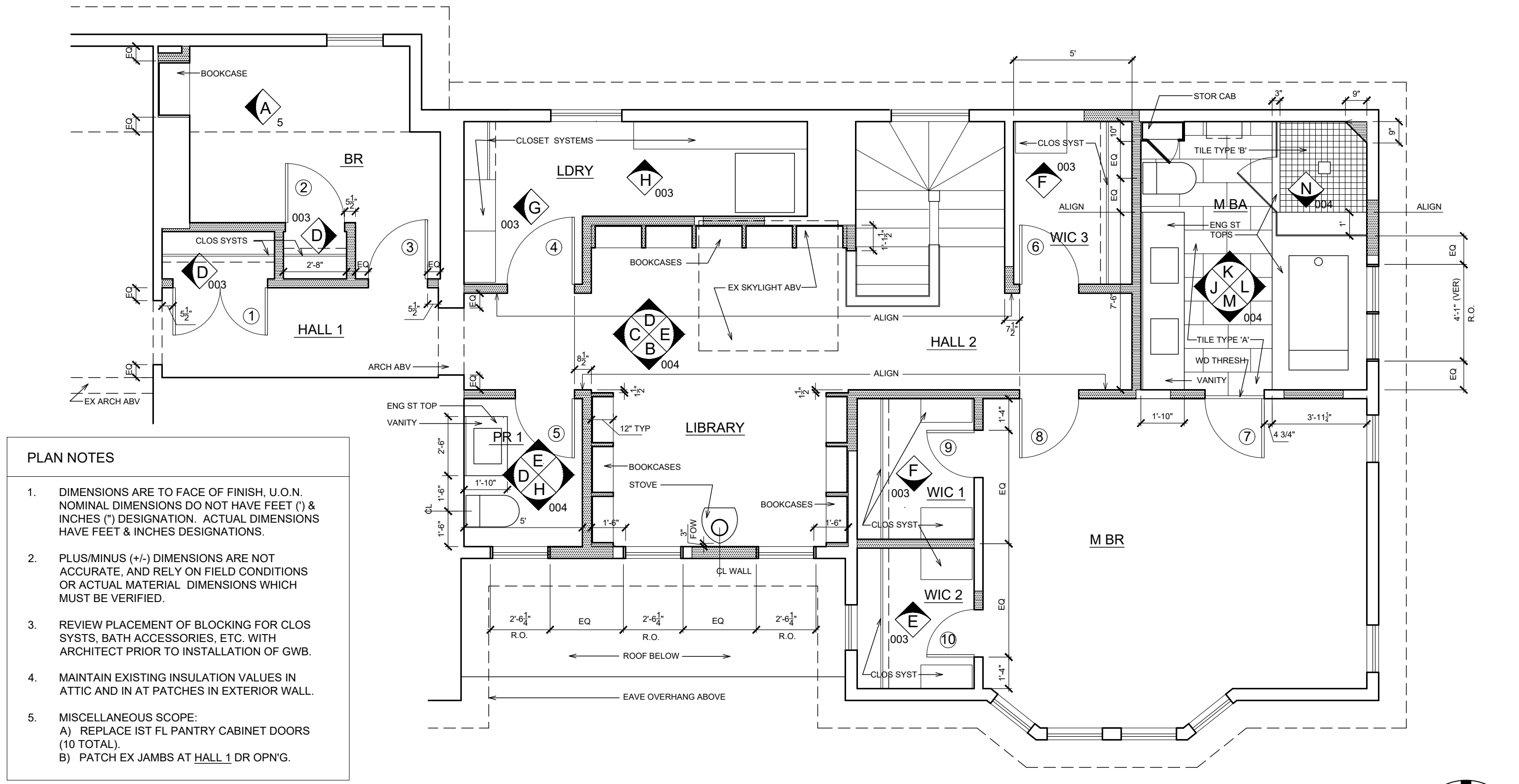
REVIEWED
By Michael Kyne at 4:06 pm, Aug 01, 2019

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler

DOOR SCHEDULE								
MARK	TYPE	HDWR SET	SIZE	THK	MAT'L/ FIN	FRAME/ FIN	MFR/ MODEL NO.	REMARKS
1	1-PANEL	DUMMY	4'-0" X 6'-8" PAIR	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG
2	1-PANEL	PASSAGE	2'-6" X 6'-8"	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG
3	1-PANEL	PRIVACY	2'-6" X 6'-8"	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG
4	1-PANEL	PASSAGE	2'-10" X 6'-8"	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG
5	1-PANEL	PRIVACY	2'-6" X 6'-8"	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG
6	1-PANEL	PASSAGE	2'-6" X 6'-8"	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG; ALT NO 2 - MIRROR ON CLOSET SIDE
7	1-PANEL	PRIVACY	2'-6" X 6'-8"	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG
8	1-PANEL	PRIVACY	2'-6" X 6'-8"	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG
9	1-PANEL	PASSAGE	2'-0" X 6'-8"	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG; ALT NO 2 - MIRROR ON CLOSET SIDE
10	1-PANEL	PASSAGE	2'-0" X 6'-8"	1 3/8"	WOOD/PT	WOOD/PT	JELD-WEN PRIMED WOOD	PREHUNG; ALT NO 2 - MIRROR ON CLOSET SIDE

NOTES:

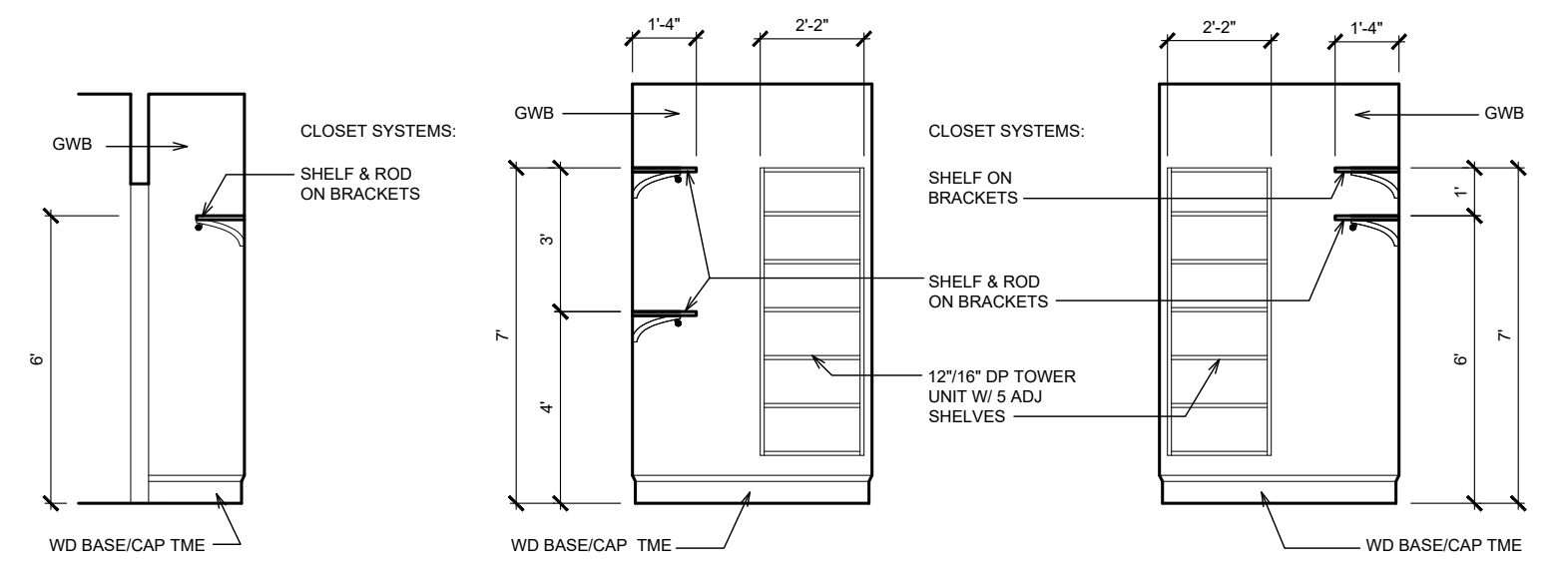
- HARDWARE TO BE BALDWIN TUBULAR ESTATE COLLECTION 5015 KNOBS W/ 5017 ROSETTES, 102 OIL-RUBBED BRONZE FINISH.
- PROVIDE (2) 3-1/2" HINGES PER DOOR LEAF, OIL-RUBBED BRONZE FINISH.
- PROVIDE BALL CATCHES INSTALLED AT DOOR HEAD FOR DUMMY HARDWARE DOORS, OIL-RUBBED BRONZE FINISH.
- ALT NO. 2:** MIRROR TO BE FULL SIZE OF RECESSED DOOR PANEL.



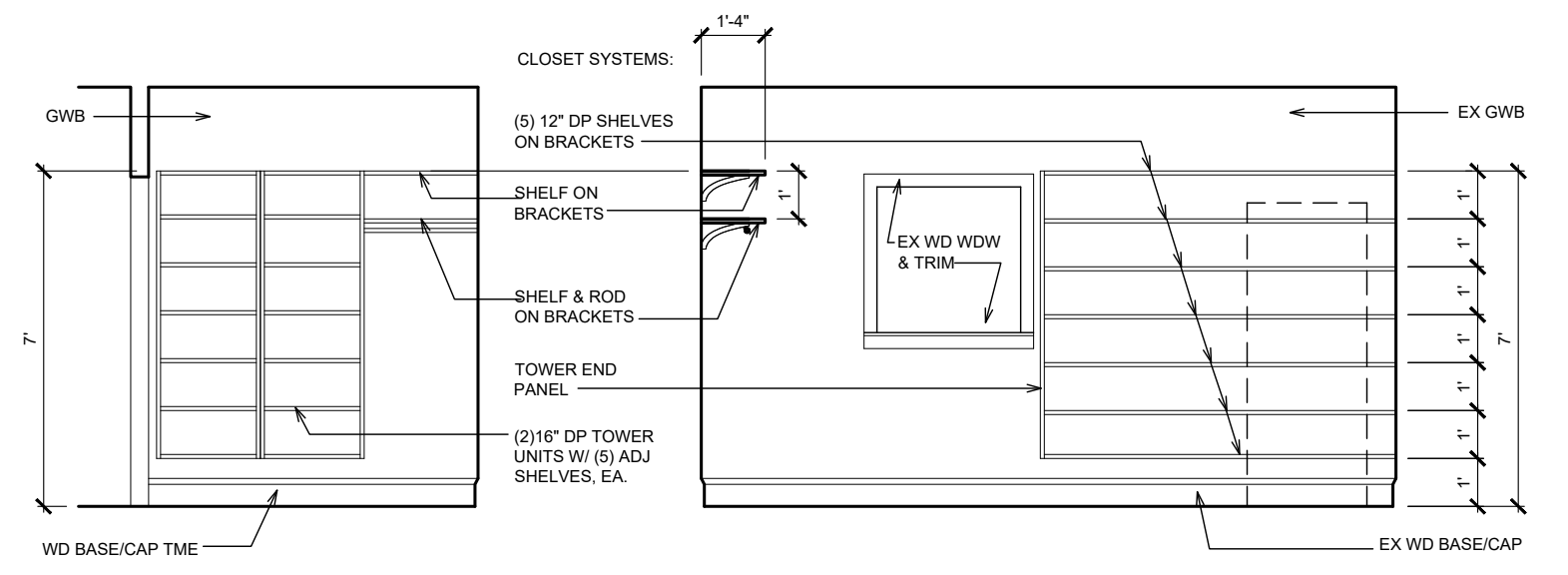
A PARTIAL SECOND FLOOR PLAN

PLAN NOTES

- DIMENSIONS ARE TO FACE OF FINISH, U.O.N. NOMINAL DIMENSIONS DO NOT HAVE FEET (') & INCHES (") DESIGNATION. ACTUAL DIMENSIONS HAVE FEET & INCHES DESIGNATIONS.
- PLUS/MINUS (+/-) DIMENSIONS ARE NOT ACCURATE, AND RELY ON FIELD CONDITIONS OR ACTUAL MATERIAL DIMENSIONS WHICH MUST BE VERIFIED.
- REVIEW PLACEMENT OF BLOCKING FOR CLOS SYSTS, BATH ACCESSORIES, ETC. WITH ARCHITECT PRIOR TO INSTALLATION OF GWB.
- MAINTAIN EXISTING INSULATION VALUES IN ATTIC AND IN AT PATCHES IN EXTERIOR WALL.
- MISCELLANEOUS SCOPE:
A) REPLACE 1ST FL PANTRY CABINET DOORS (10 TOTAL).
B) PATCH EX JAMBS AT HALL 1 DR OPNG.



D CL ELEV **E WIC ELEV** **F WIC ELEV**



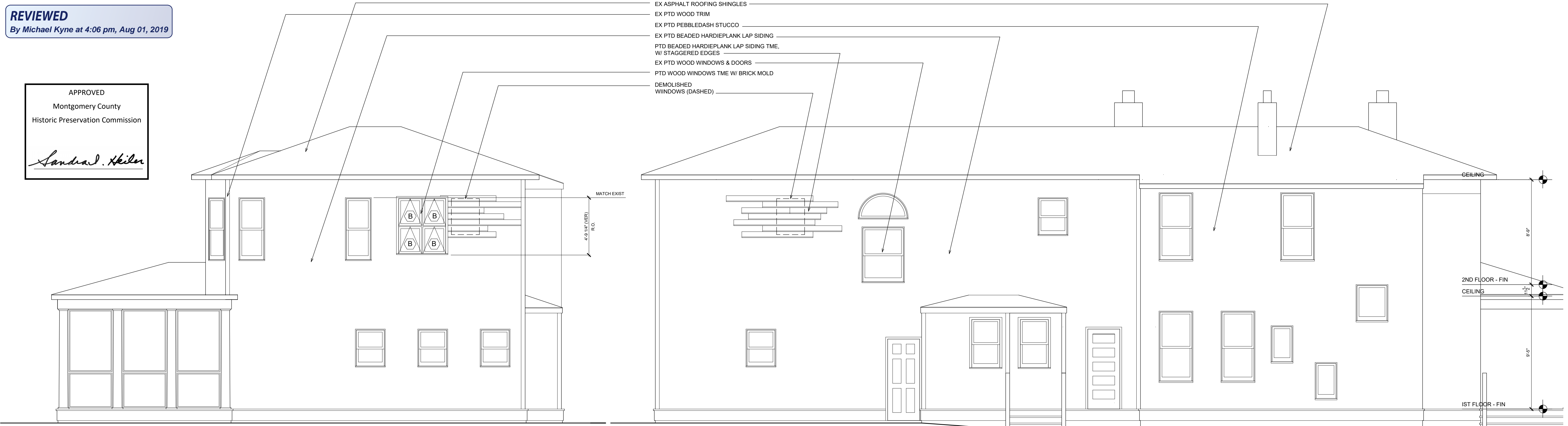
G LDRY ELEV **H LDRY ELEV**



A SOUTH ELEVATION

REVIEWED
By Michael Kyne at 4:06 pm, Aug 01, 2019

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra L. Heiler



C EAST ELEVATION

B NORTH ELEVATION

SHEET SCALE: 1/4" = 1' - 0"

SHEET TITLE: **EXTERIOR & INTERIOR ELEVATIONS**

DATES: 30 JUNE 2019 PERMIT / BID

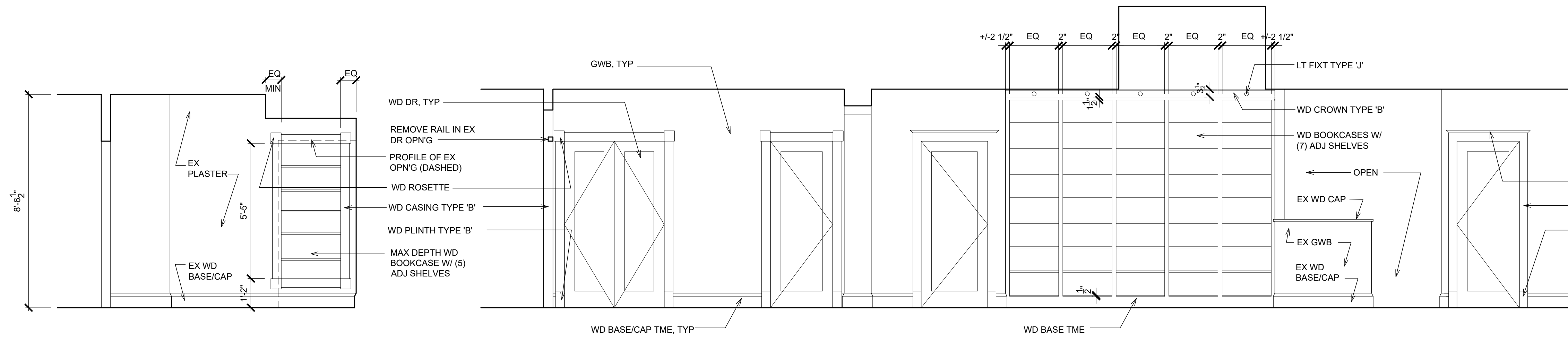
PROJECT: SECOND FLOOR RENOVATION
TAYLOR / DeBRUIN RESIDENCE
 4312 LELAND STREET
 CHEVY CHASE, MD 20815

NEUBAUER CONSULTING ENGINEERS
 4701 SANGAMORE ROAD, SUITE N200
 BETHESDA, MD 2816
 (301) 263-2727

STRUCTURAL ENGINEER:
 THE KURLYAS STUDIO

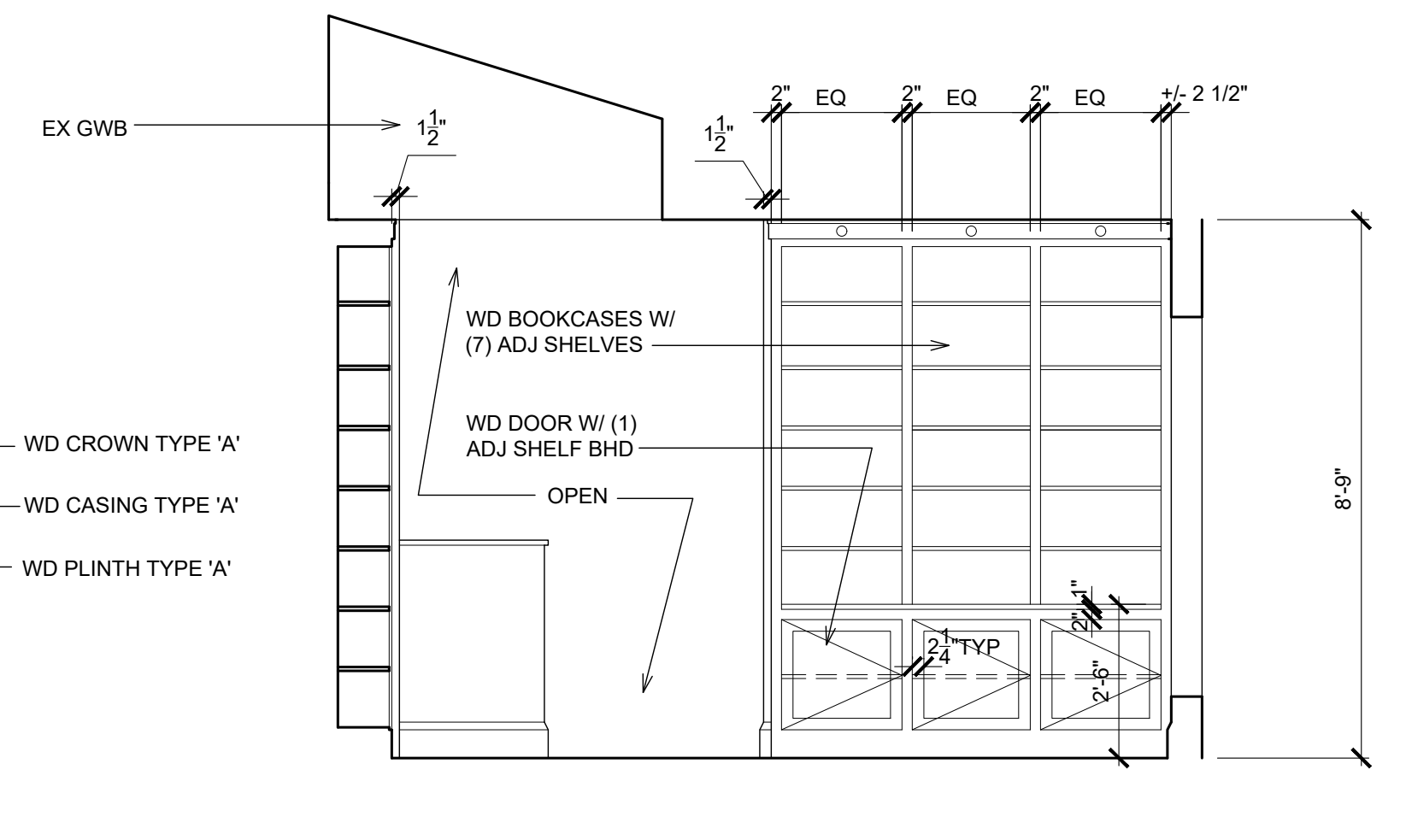
PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 7358. EXPIRATION DATE 11-12-2020.

THE KURLYAS STUDIO
 1909 O STREET NW, SUITE 200
 WASHINGTON, DC 20009
 (202) 797-8236



A BR ELEV

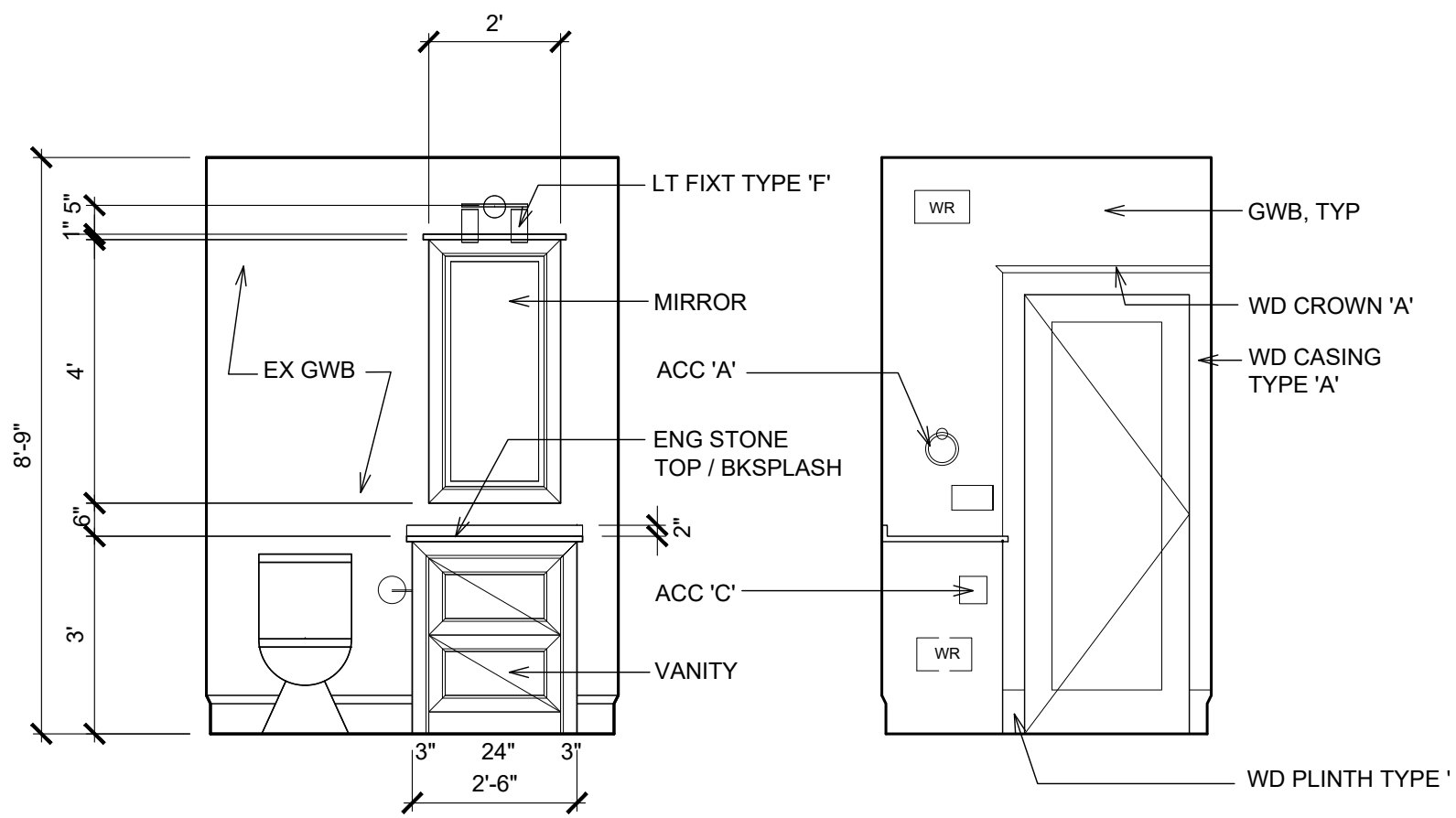
B HALL 1 / LIBRARY / HALL 2 ELEV



C LIBRARY ELEV

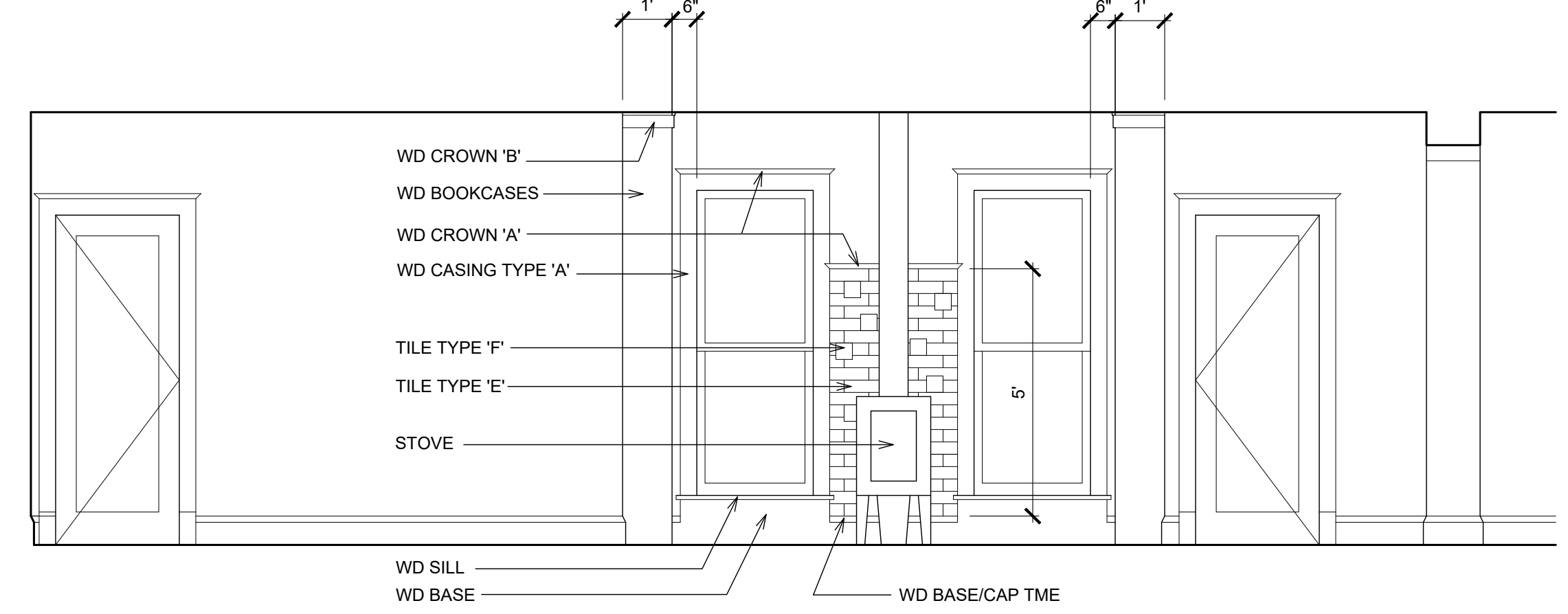
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APPROVED
Montgomery County
Historic Preservation Commission
Sandra J. Keller

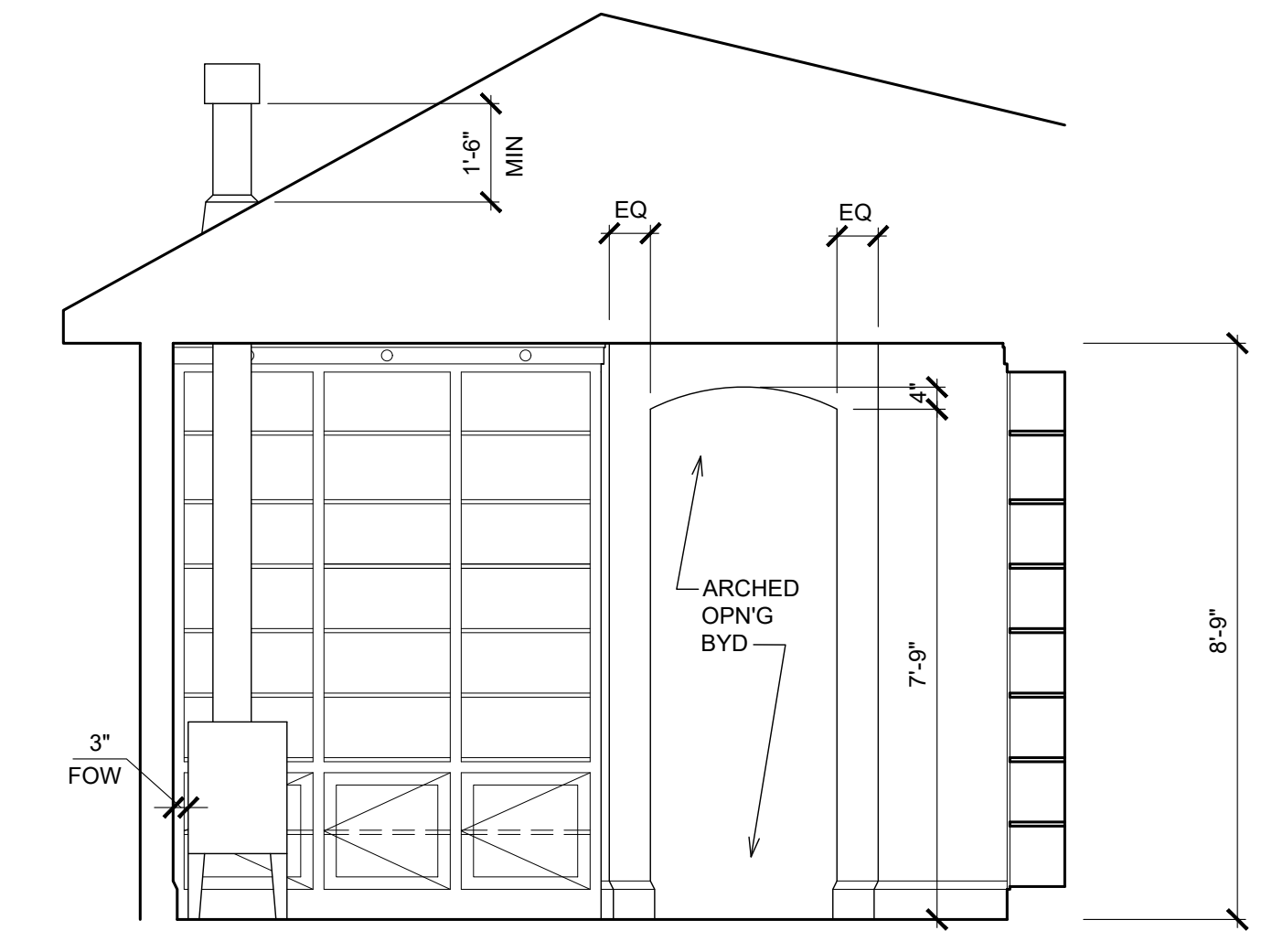


D PR ELEV

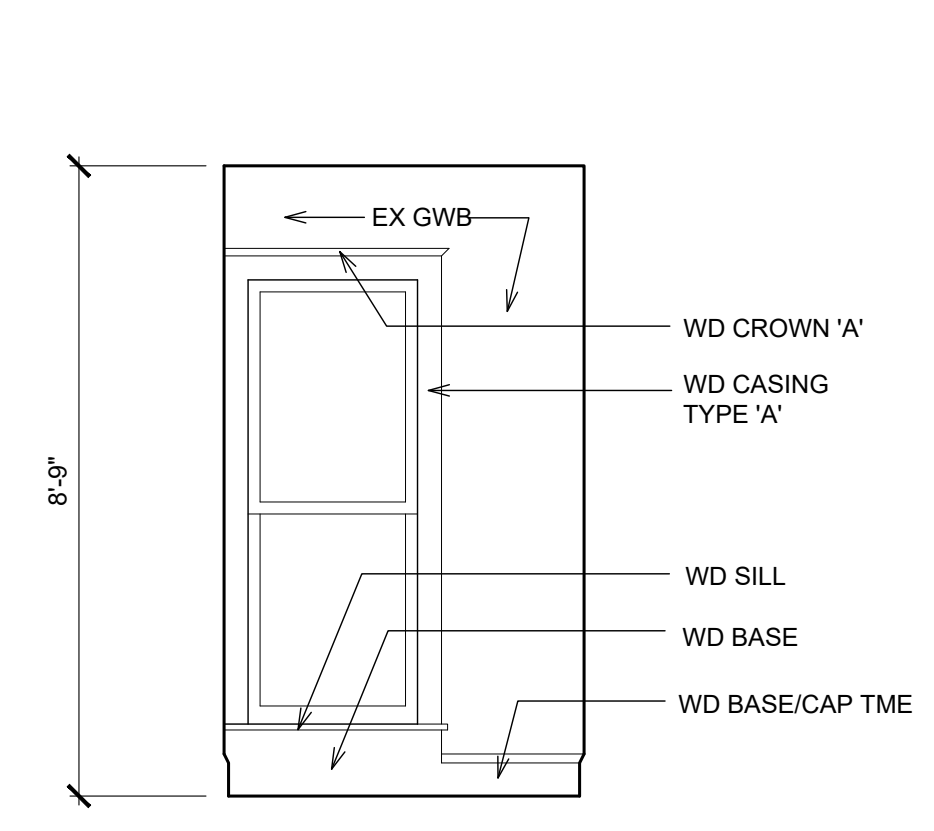
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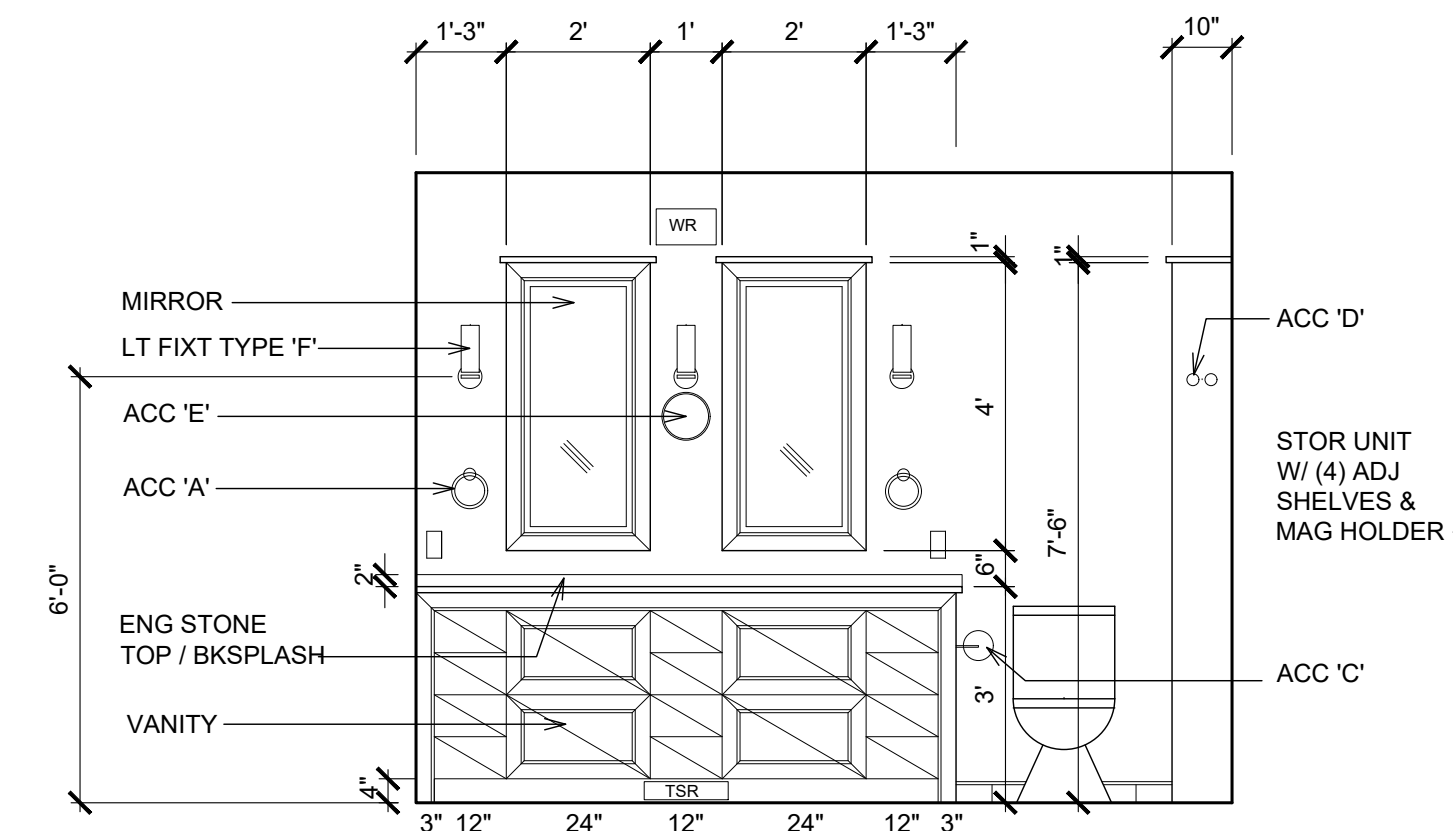
F HALL 2 / LIBRARY / HALL 1 ELEV



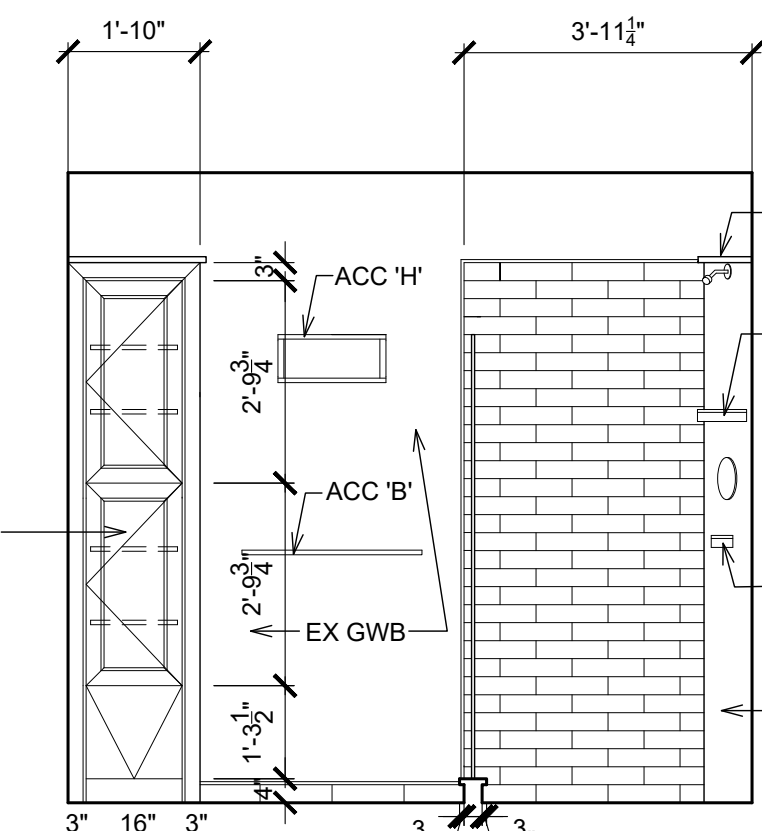
G LIBRARY ELEV



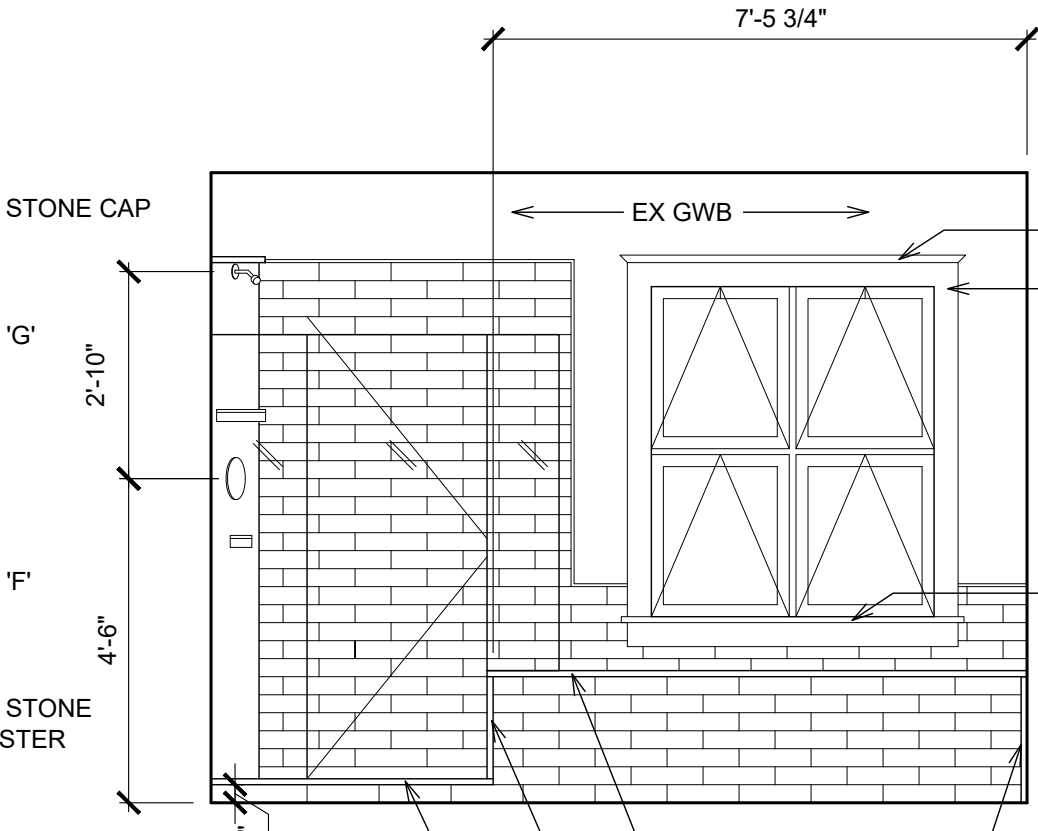
H PR ELEV



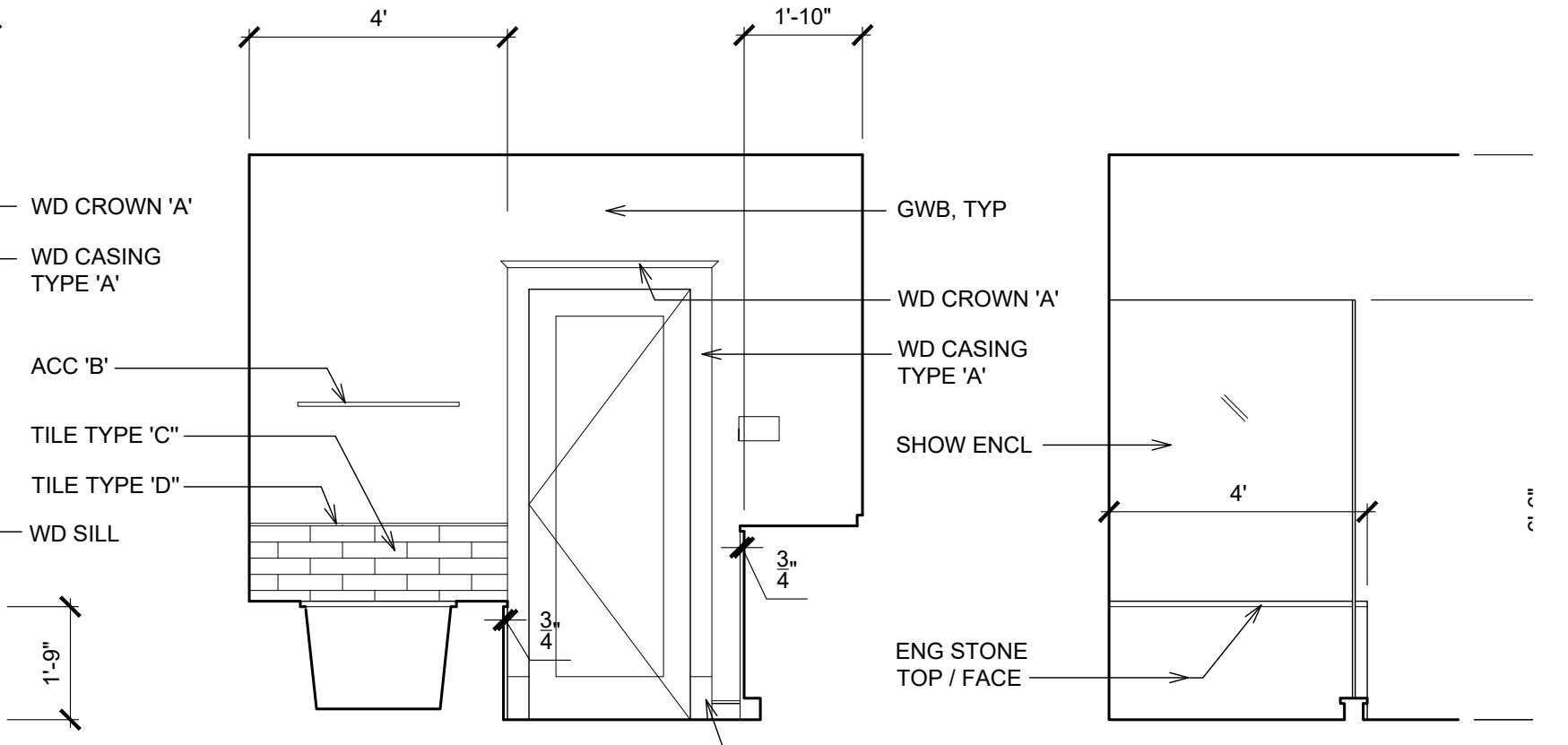
J MBA ELEV



K MBA ELEV



L MBA ELEV



M MBA ELEV

N MBA ELEV

SHEET SCALE: 3/8" = 1' - 0"
SHEET TITLE: INTERIOR ELEVATIONS

DATES: 30 JUNE 2019 PERMIT / BID

PROJECT: SECOND FLOOR RENOVATION
TAYLOR / DeBRUIN RESIDENCE
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CHEVY CHASE, MD 20815

NEUBAUER CONSULTING ENGINEERS
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ARCHITECT: **THE KURLYAS STUDIO**
1909 O STREET NW, SUITE 200
WASHINGTON, DC 20009
(202) 797-8236

A
004

PLUMBING FIXTURE & FITING SCHEDULE

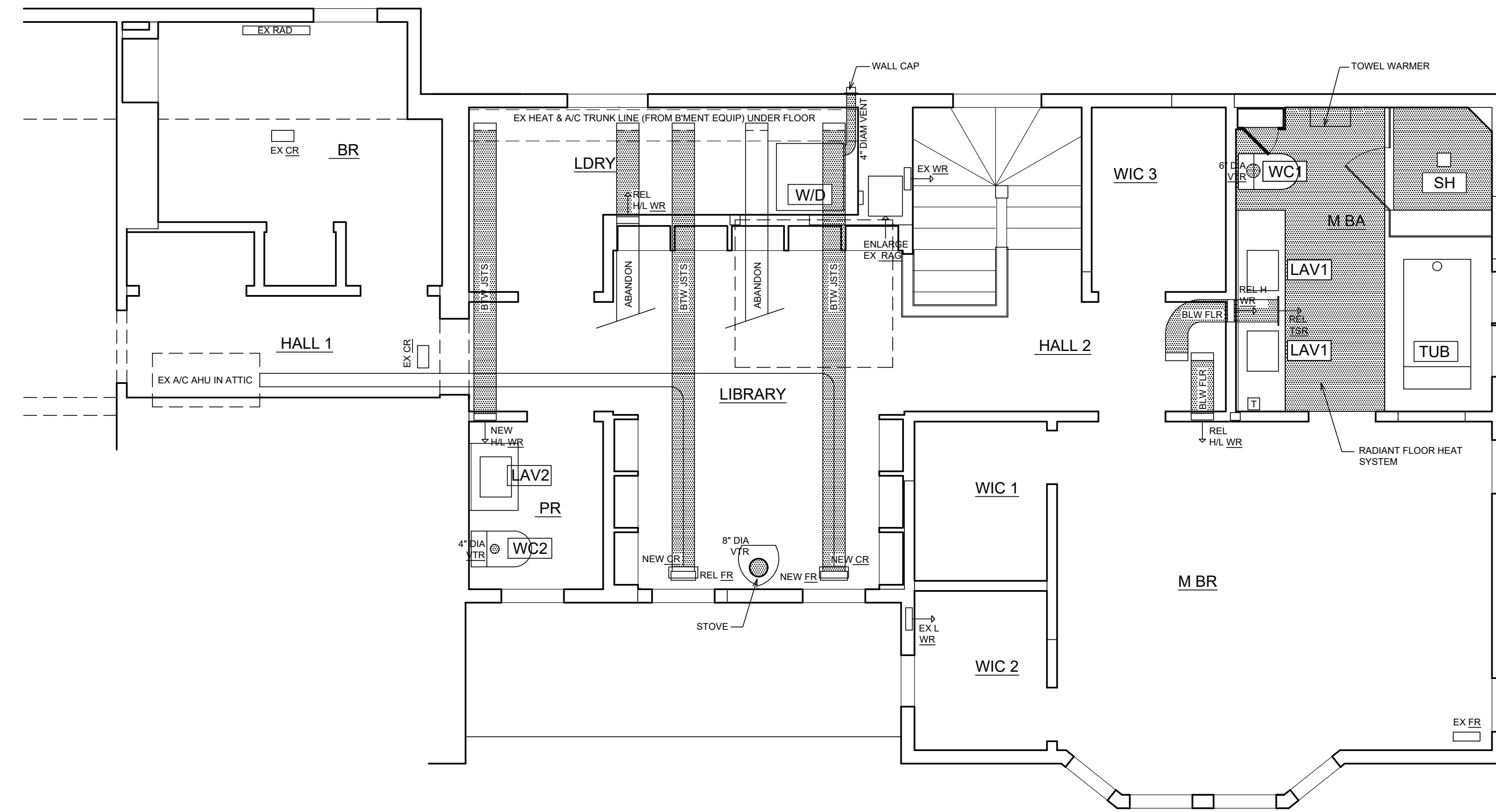
FIXT	DESCRIPTION	MFR & STYLE	MOD NO.	MAT'L & COLOR	REMARKS
LAV 1	LAVATORY	TOTO ATHERTON	LT221	VITROUS CHINA, COTTON	UNDERMOUNT
	FAUCET	NEWPORT 365 FAIRLYNN	8000-09	OLD WORLD BRONZE	8" WIDESPREAD
LAV 2	LAVATORY	TOTO ATHERTON	LT221	VITROUS CHINA, COTTON	UNDERMOUNT
	FAUCET	NEWPORT 365 FAIRLYNN	8000-09	OLD WORLD BRONZE	8" WIDESPREAD
WC 1	WATER CLOSET	TOTO CONNELLY	MS494234CEMFG#01	CERAMIC GLAZED, COTTON	12" RGH; UNIVERSAL HT; ELONG FRONT; W/ SEAT
	TRIP LEVER	TOTO	THU416#01	WHITE	
WC 2	WATER CLOSET	TOTO CONNELLY	MS494234CEMFG#01	CERAMIC GLAZED, COTTON	RIGHT-HAND TRIP LEVER; 12" RGH; UNIVERSAL HT; ELONG FRONT; W/ SEAT
	TRIP LEVER	TOTO	THU416#01	WHITE	
TUB	SOAKING TUB	MIRABELLA SITKA SOAKER	MIRSKS6636WH	ACRYLIC, WHITE	UNDERMOUNT
	FAUCET W/ HAND SHOWER	NEWPORT 365 FAIRLYNN	3-8007-09	OLD WORLD BRONZE	1-659 3/4" VALVE KIT W/QUICK-CONNECT
SH	THERMOSTATIC TRIM	NEWPORT BRASS AYLESBURY	3-2413TR-ORB	OIL-RUBBED BRONZE, HAND-RELIEVED	1-741 1/2" SINGLE FLOW CONTROL VALVE
	ARM	NEWPORT BRASS	FBO	OIL-RUBBED BRONZE, HAND-RELIEVED	
	FLANGE	NEWPORT BRASS	FBO	OIL-RUBBED BRONZE, HAND-RELIEVED	1/2" INLET
	HEAD	NEWPORT BRASS	FBO	OIL-RUBBED BRONZE, HAND-RELIEVED	1/2" INLET
	DRAIN	SCHLUTER	TBD	OIL-RUBBED BRONZE	SQUARE

HVAC & PLUMBING PLAN NOTES

- WORK SHALL BE IN ACCORDANCE WITH BEST TRADE PRACTICES, MANUFACTURER'S INSTRUCTIONS, AND ALL APPLICABLE ORDINANCES AND CODES.
- TEST ALL SYSTEMS PRIOR TO INSTALLATION OF FINISHES.
- UTILITIES: EXISTING TO REMAIN.
- HVAC SYSTEMS: EXISTING HEATING & AC EQUIPMENT TO REMAIN. MODIFY SUPPLY DUCTWORK. ENLARGE RETURN AIR GRILLE OPENING. PROVIDE VENTILATION DUCTWORK. MATCH STYLE/COLOR OF EXISTING REGISTERS AND GRILLES.
- PLUMBING PIPING: COPPER SUPPLY, CAST IRON WC WASTE, PVC TYP WASTE, PVC VENTING, BLACK IRON GAS. VERIFY COMPATIBILITY W/ EXISTING SYSTEMS.
- WATER SUPPLY SYSTEM: CUT-OFF VALVES @ ALL FIXTURES, ACCESS DOORS @ ALL CONCEALED VALVES, ETC., R-3 THERM INSUL @ ALL HOT/COLD SUPPLY PIPING.
- SANITARY WASTE SYSTEM: INDIVIDUAL TRAPS @ ALL FIXTS, PITCH VENT PIPING (UNTRAPPED) BACK TO DRAIN LINES, CLEANOUTS @ ALL TRAPS/ STACKS/CHANGES IN DIRECTION, MIN 1/4" PITCH FOR GRAVITY DRAIN LINES.
- MISCELLANEOUS SCOPE:
 - A) GAS-FIRED DIRECT VENTING STOVE. SEE SPECIALTIES IN P&M LIST, SH 001.
 - B) ELEC RADIANT FLOOR HEAT IN MBATH. SEE TILE SCHEDULE, SH 001.

HVAC ABBREVIATIONS

ER	FLOOR REGISTER	EX	EXISTING TO REMAIN
CR	CEILING REGISTER	REL	RELOCATED
WR	WALL REGISTER	H	HIGH ON WALL
TSR	TOE SPACE REGISTER	L	LOW ON WALL
RAG	RETURN AIR GRILLE	T	THERMOSTAT
VTR	VENT THRU ROOF		



(A) PARTIAL SECOND FLOOR MECHANICAL & PLUMBING PLAN

REVIEWED
By Michael Kyne at 4:07 pm, Aug 01, 2019

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler

ELECTRICAL FIXTURE SCHEDULE

FIXT	DESCRIPTION	MFR & STYLE	MOD NO.	LAMP	FINISH	REMARKS
A	ADJ RECESSED DOWNLIGHT	WAC OCULUS ROUND	R4BRA-S927-WH & R3BBRT-10	2700 K, INCL	WHITE	HALL 2; IC-RATED
B	RECESSED DOWNLIGHT	WAC OCULUS ROUND	R3BRDP-N927-WT & RSBRRT-10	2700 K, INCL	WHITE	MBATH; IC-RATED
C	CEILING	WAC GEOS	FM-4610-27	2700 K, INCL	WHITE	CLOSETS
D	CEILING	FBO				HALL 1
E	CEILING	FBO				BR
F	SCONCE	FBO				MBATH
G	SCONCE	FBO				PR
H	SCONCE	BRUCK MINI PIRA LED SPOT	137-345-WH	3000 K, INCL	WHITE; WHITE SHADE	SKYLIGHT
		BRUCK CANOPY RO FIT OVER JUNCTION BOX	240-000-WH	N/A	WHITE	REMOTE (OR IN JBOX) DRIVER AS REQ'D
		BRUCK MINI PIRA LED SPOT	137-346-BZ	3000 K, INCL	BRONZE; BLUE SHADE	LIBRARY
J	SCONCE	BRUCK FLUSH MTD CANOPY W/ PLATE	156000-BZ	N/A	BRONZE	REMOTE DRIVER AS REQ'D
		PANASONIC	FV-30VQ3	N/A	WHITE	MBATH; 290 CFM; 6" DUCT
Y	EXHAUST FAN	PANASONIC	FV-0511VQ1	N/A	WHITE	PR; 110 CFM; 4" DUCT
EX	EXISTING TO REMAIN					

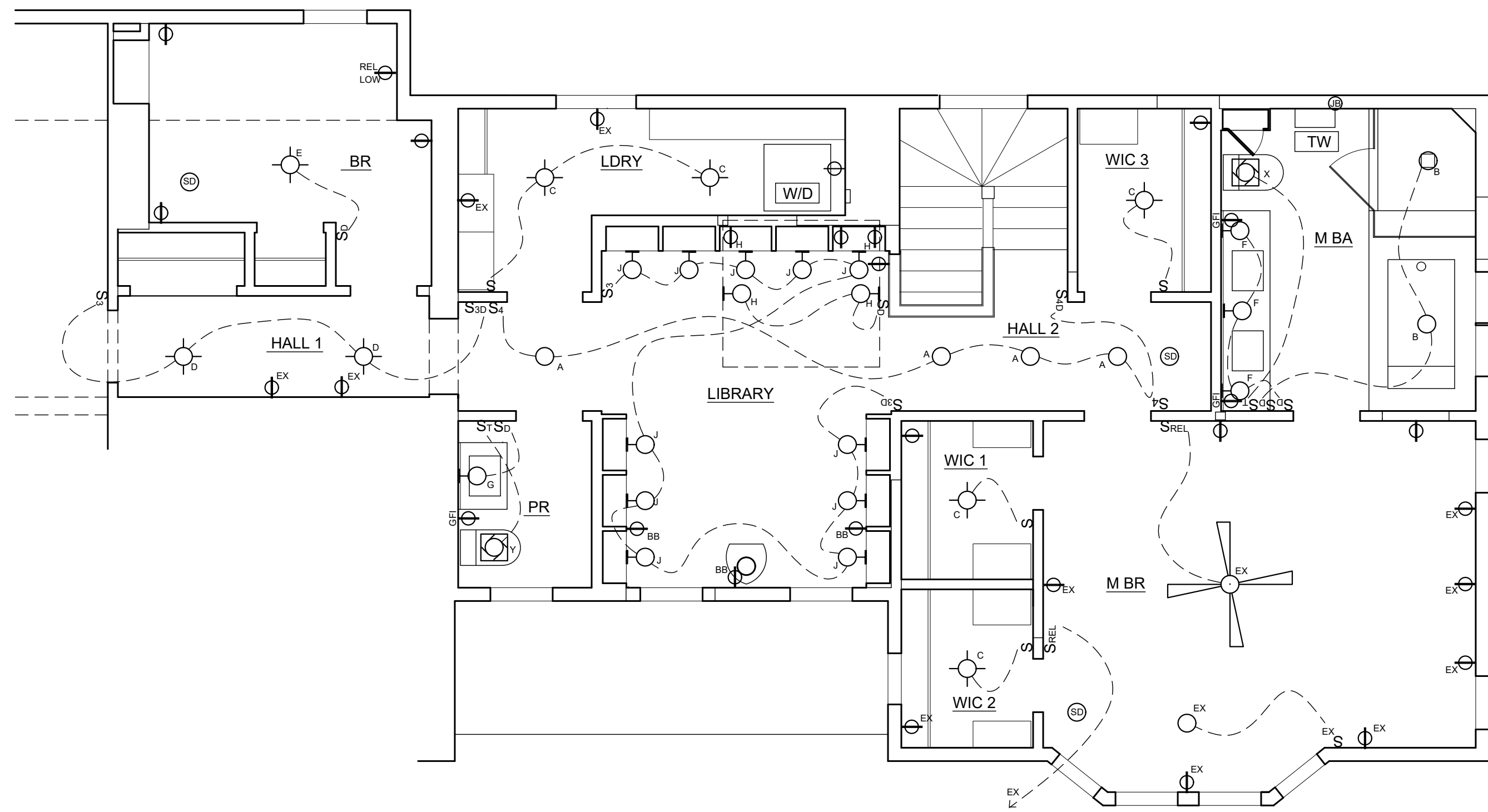
- NOTES:**
1. SEE ELEVATIONS, SH. 4 FOR MOUNTING HEIGHTS.

ELECTRICAL PLAN NOTES

- WORK SHALL BE IN ACCORDANCE WITH BEST TRADE PRACTICES, MANUFACTURER'S INSTRUCTIONS, AND ALL APPLICABLE ORDINANCES AND CODES.
- TEST ALL SYSTEMS PRIOR TO INSTALLATION OF FINISHES.
- SERVICE: EXISTING TO REMAIN.
- PROVIDE SMOKE DETECTORS AS REQ'D BY CODE.
- GANG SWITCHES AND SWITCHES/RECEPTACLES IN SAME LOCATION.
- SWITCH AND RECEPTACLE HEIGHTS TO MATCH EXISTING.
- ACCESSORIES: WHITE TOGGLE SWITCHES, WHITE DIMMER SWITCHES W/ SLIDE ALONGSIDE TOGGLE, WHITE TRADITIONAL DUPLEX RECEPTACLES, WHITE PLASTIC FACEPLATES.
- MISCELLANEOUS SCOPE:
 - A) RADIANT FLOOR HEAT IN MBATH. SEE TILE SCHEDULE ON SH 001.
 - B) HARD-WIRED CONNECTION FOR TOWEL WARMER. SEE ACCESSORIES SCHED, SH 001.

ELECTRICAL SYMBOLS & ABBREVIATIONS

○	RECESSED DOWNLIGHT	S	SWITCH
○	SURFACE CEILING	SD	DIMMER SWITCH
○	SCONCE	S3	3-WAY SWITCH
○	EXHAUST FAN	S4	4-WAY SWITCH
○	JUNCTION BOX	S1	TIMER SWITCH
○	EXHAUST FAN	EX	EXISTING TO REMAIN
○	DUPLEX RECEPTACLE	REL	RELOCATED
○	SINGLE-POLE RECEPTACLE	GF1	GROUND FAULT INTERRUPTED
○		BB	IN BASE BOARD



(B) PARTIAL SECOND FLOOR ELECTRICAL PLAN

