



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: August 19, 2019

MEMORANDUM

TO: Hadi Mansouri
Department of Permitting Services

FROM: Rebecca Ballo
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #880114: Roof replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the August 14, 2019 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Tobias Herman and Kristine Lui
Address: 26038 Frederick Road, Clarksburg

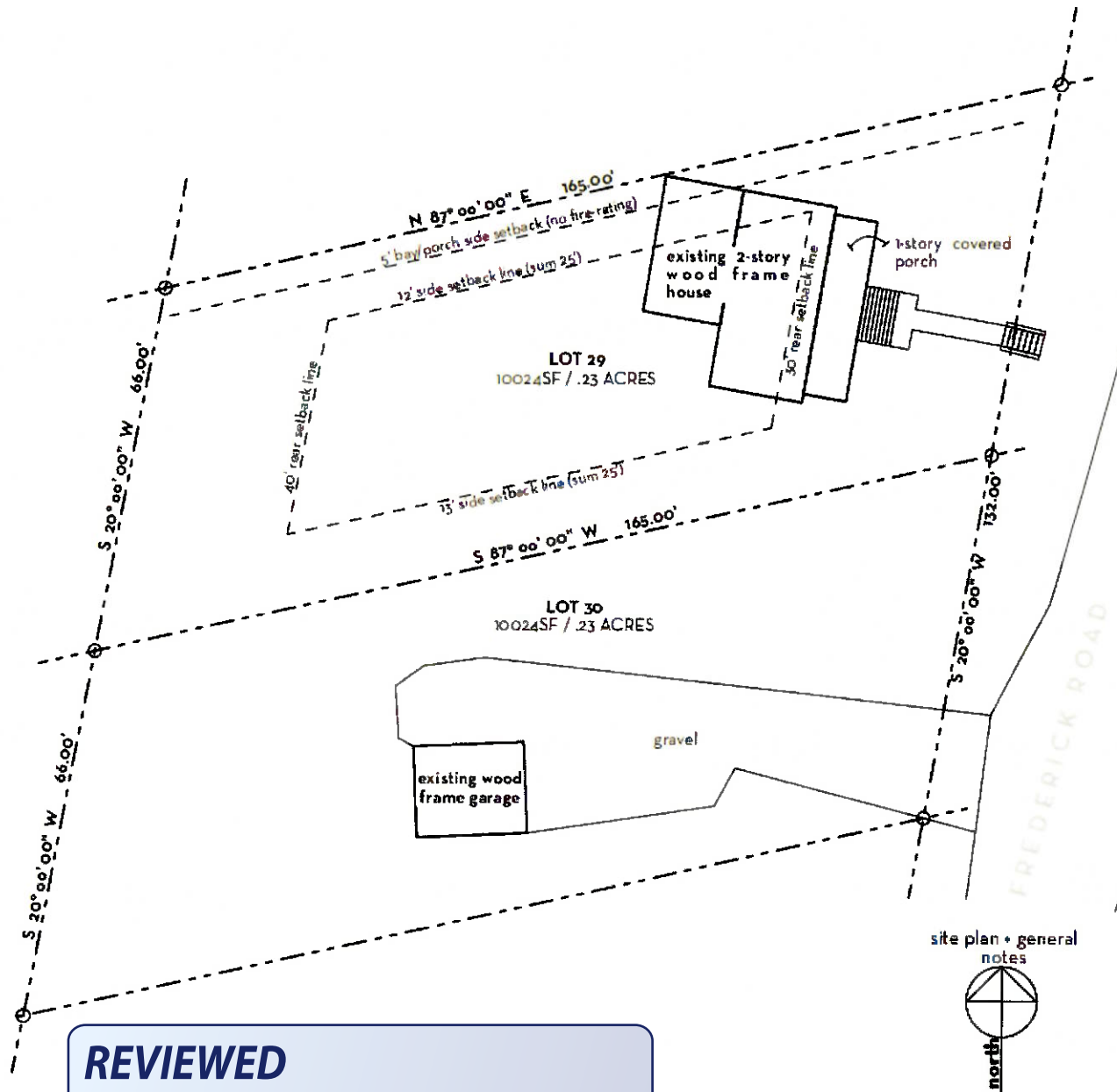
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



2. **SITE PLAN**

The site plan was created by Brennan + Company Architects, 20 March, 2019. This is also included as an attachment.

SITE PLAN scale: 1" = 20'

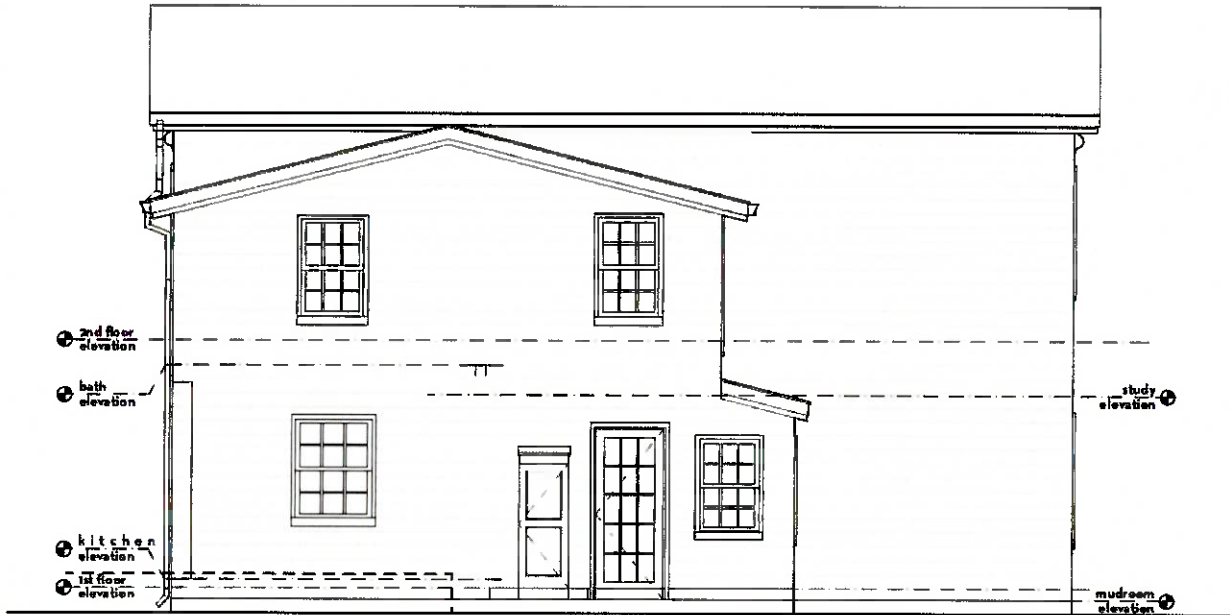


REVIEWED
By Michael Kyne at 12:38 pm, Aug 19, 2019

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Montgomery County
Historic Preservation Commission
Sandra J. Heiler

3. PLANS AND ELEVATIONS

The elevation drawings were created by Brennan + Company Architects, 20 March, 2019. These are also included as attachments.

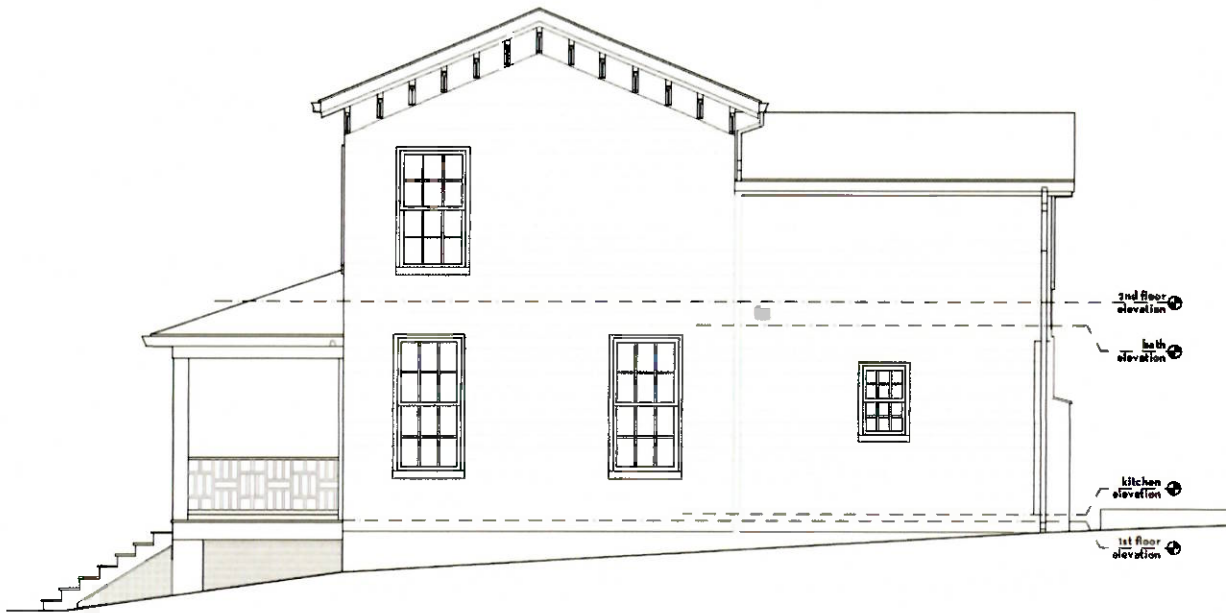


1 existing west elevation
scale: 1/4" = 1'-0"

REVIEWED

By Michael Kyne at 12:39 pm, Aug 19, 2019

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2 existing north elevation
scale: 1/4" = 1'-0"

REVIEWED

By Michael Kyne at 12:39 pm, Aug 19, 2019

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4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project.

We have a proposal from Modern Renovations (5100 Buckeystown Pike, Suite 250, Frederick MD) to remove the slate, replace any damaged sheeting, install a titanium synthetic underlayment, and install 26 gauge Englert standing seam metal roof panels. The installation will include drip and rake edge flashing, ridge caps, and pipe collars. Snow birds will be used on the back (lower pitched roof) while snow rails will be installed in the front (original) roof. Metal seamed roofing will be installed on the covered front porch as well (which is currently asphalt shingle).

5. PHOTOGRAPHS

Facades of existing resource and views from adjacent properties.

i. West Elevation



REVIEWED

By Michael Kyne at 12:39 pm, Aug 19, 2019

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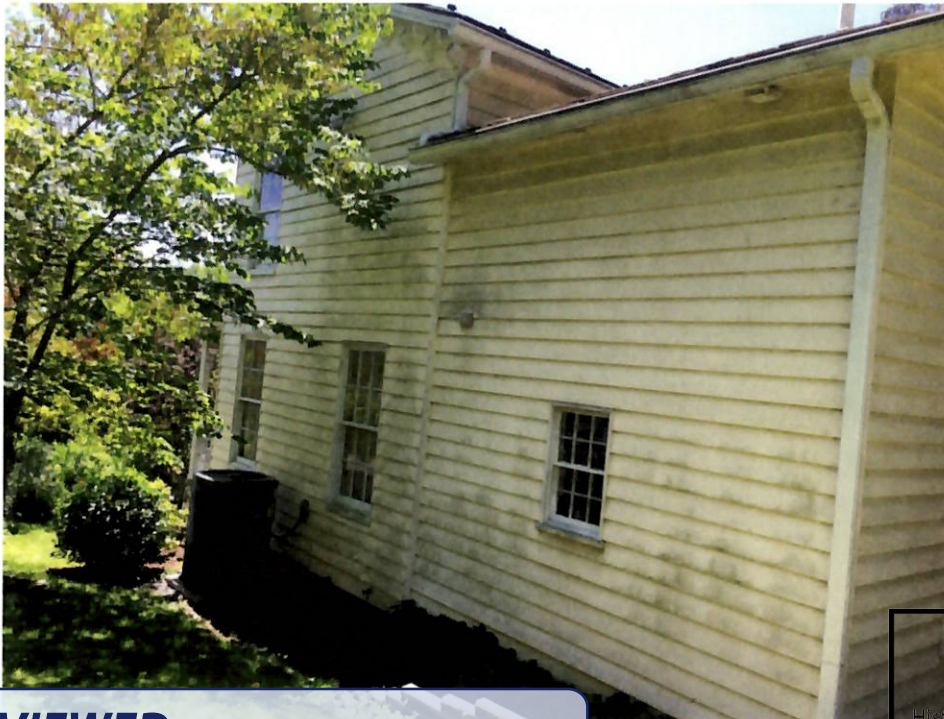
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- ii. North Elevation (and view from 26112 Frederick Road)
Photo 1



Photo 2



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iii. East Elevation (and view from 26101 and 26111 Frederick Road) *AND PUBLIC RIGHT OF WAY*



REVIEWED

By Michael Kyne at 12:39 pm, Aug 19, 2019

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Historic Preservation Commission

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iv. South Elevation (and view from 26034 Frederick Road)

AND PUBLIC RIGHT OF WAY



6. **TREE SURVEY**

Not required for roof changes.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

Please see attachment.

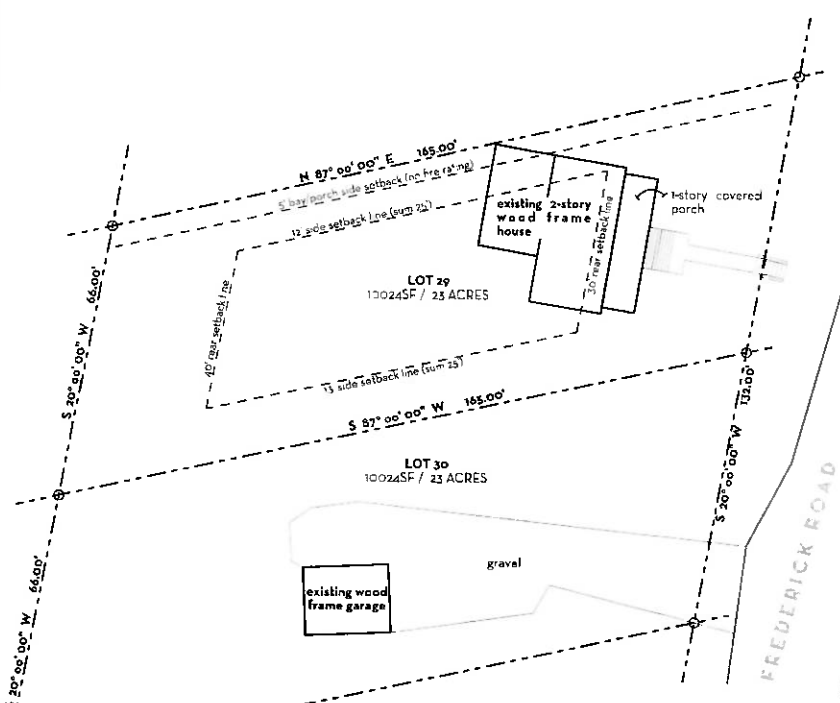
REVIEWED

By Michael Kyne at 12:40 pm, Aug 19, 2019

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SITE PLAN scale: 1" = 20'



REVIEWED

By Michael Kyne at 12:40 pm, Aug 19, 2019

SITE NOTES

- It is the owner's intention to preserve the natural vegetation and land features of the site to the greatest extent possible. Remove the minimum amount of existing vegetation possible for new construction.
- The Owner and Architect will approve the site layout prior to digging the footings.
- Topsoil and large boulders will be stockpiled for future use by the Owner. Stockpiling area to be determined by Owner.
- All trees designated for removal from the building site are to be marked for review by the Owner or Architect.
- All stumps will be removed and disposed of off site to prevent insect infestation.
- The Owner and Architect will determine which trees are to be transported or maintained during construction. The Contractor will provide the price for bus service which is not included in this contract.
- The construction area and access to the construction area will be as small an area as is reasonable to facilitate construction of the home. This area is to be clearly demarcated and roped off to prevent any destruction of natural terrain outside the area by construction vehicles.
- Water must have positive drainage away from the building at all points along its perimeter in a direction of least impact on site and surrounding buildings.
- All downspouts will have splash blocks or rain barrels and an adequate drainage path away from the building OR tied into a below grade drain tile that is piped to daylight and screened.
- Do not treat soil with manufactured chemical treatments.
- Treat sand surfaces under floors and brick or stone walkways with diatomaceous soil.
- Use a barrier cloth under exterior walkways to prevent weed overgrowth.

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
ADJ	ADJACENT
ARC-4	ARCHITECTURAL
BKG/BLK	BLOCKING
CL	CENTERLINE
CLG	CLEARING
CONJ	CONTINUOUS
CONST	CONSTRUCTION
DIM	DIMENSION
EACH	EACH
ELEC	ELECTRICAL
EQ	EQUAL
EXT	EXTERIOR
EXIST	EXISTING
FIN	FINISH
FINISH	FINISH
OSB	OSB SHEET WALL BOARD
INSUL	INSULATION
INST	INSTALLATION
MAX	MAXIMUM
MIN	MINIMUM
MFR	MANUFACTURER
MTD	MOUNTED
MTL	METAL
NEC	NECESSARY
NO	NO
NTS	NOT TO SCALE
OC	ON CENTER
OPCL	OWNER PROVIDED
CONTRACTOR INSTALL	CONTRACTOR INSTALL
PAIR	PAIR
SANIT	SANITIZED
STRESS TREATED	STRESS TREATED
REQUIRED	REQUIRED
ROOM	ROOM
SHEET METAL - AIR CONDITIONING	SHEET METAL - AIR CONDITIONING
NATIONAL ASSOCIATION	NATIONAL ASSOCIATION
SQUARE	SQUARE
STND	STANDARD
STRUCT	STRUCTURAL
TY	TYPE
UNLESS OTHERWISE NOTED	UNLESS OTHERWISE NOTED
VEGET	VEGETATION
W/F	WOOD
WD	WOOD

GENERAL NOTES

- Any inconsistencies found between drawings and existing conditions on the drawings themselves shall be reported to the Architect. Do not perform any work affected in any manner by the inconsistencies until the Architect has clarified the information. Any work done will be solely at the Contractor's risk and expense. The Architect will resolve the inconsistencies in a timely matter.
- All work shall be done in a workmanlike manner and in conformance with product manufacturer's installation instructions and guarantee requirements. Work shall be completed to the satisfaction of the owner.
- All work shall be done in accordance with applicable state and local codes and regulations.
- Do not scale drawings to determine dimensions.
- Provide minimum R-21 at exterior walls and R-49 at ceilings of greater or lesser dimensions.
- All new dimensions are to the rough face of framing and centerline dimensions are to finish unless otherwise specified.
- Dimensions and notes for a given condition are typical for all similar conditions unless otherwise noted.
- Drawings at smaller scale shall take precedence over drawings at larger scale, except for any dimensions that may be found in the drawings.
- Existing walls, columns, piers, etc. are shown shaded on the plans.
- Contractor to protect all landscaping, paving and other site conditions from damage.
- Contractor to provide specified copper flashing at all window heads. Horizontal window stops, window sills, the bottom of all cavity walls and at all other locations recommended by SMACNA.
- Contractor to provide proper flashing at all roof penetrations as recommended by SMACNA.
- Contractor to flash and insulate all through wall penetrations in order to meet air leakage results as required by IRC 2015.
- Contractor shall arrange for the proper disconnect and/or relocation of all public utilities when required, including sewer, water, gas, electric and telephone lines.
- All dimensions of existing construction shall be field verified before ordering material or beginning work.
- Contractor to complete all work in accordance with the drawings. At the end of the job, Contractor to clean all finished surfaces and leave job in an orderly and neat fashion, capable of being used for its intended purpose. One-year warranty shall begin at substantial completion of the work, as determined by the Architect. Provide all keys, equipment operating instructions, record drawings, etc. to Owner.
- Smoking on property only in areas designated by Owner.

ENERGY NOTES

- Permanent Certification shall be completed and posted on or in the electric distribution panel by the builder. It shall list the predominant R-values of insulation installed for ceiling/raft walls, foundation (slab, basement wall, crawlspace wall and/or floor) and ducts outside of conditioned spaces. U-factors for fenestration and the solar heat gain coefficient of fenestration and the results from any required duct system and building envelope air leakage testing done on the building. Certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. All gas-fired unvented room heaters, electric furnaces, or baseboard electric heaters shall be listed but the efficiency is not required to be listed.
- The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of sections R402.4.1 through R402.4.4 of the IRC 2015. The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 3 air changes per hour. Testing shall be conducted with a blower door at a pressure of 50 pascals. Testing shall be conducted by an approved third party testing agency (BPI Certification required) and the signed written report shall be submitted to the Code Official prior to the Building Final. Ordering the blower door test is the responsibility of the Contractor.
- At least one programmable thermostat shall be provided for each separate heating and cooling system.
- All ducts to be completely located inside the building thermal envelope or be insulated to R-8 (preservative).
- Unless located entirely within the building thermal envelope, ducts, air handlers, and filter boxes shall be sealed. Joints and seams shall comply with the IRC 2015.
- Building framing cavities shall not be used as ducts or plenums.
- Mechanical system piping capable of carrying fluids above 105 degrees or below 55 degree shall be insulated to a minimum of R-3.
- Insulation for hot water pipe must meet the requirements of R403.4.2 and Table R403.4.2 of the IRC 2015 (preservative).
- The building shall be provided with ventilation that meets the requirements of the IRC 2015, or with approved means of ventilation. Outdoor air intakes and exhaust shall have automatic or gravity dampers that close when the ventilation system is not operating. See R403.3 of IRC 2015 for fan efficacy and exception. The whole house mechanical ventilation system shall provide outdoor air at a constant rate of not less than that determined in accordance with Table M402.3.3(1).
- Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies.
- A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high efficacy lamps or a minimum of 75 percent of the permanently installed lighting fixtures shall contain only high efficacy lamps.

HYATTSTOWN HISTORIC DISTRICT

Historic Preservation Commission compliance and notes

The house is a contributing structure within the Hyattstown Historic District - National Register Historic District. **NO WORK CAN BEGIN UNTIL ALL WORK HAS BEEN SUBMITTED AND APPROVED BY THE REVIEWING AGENCIES: MONTGOMERY COUNTY PLANNING & MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION.**

Sandra L. Heiler

All proposed work including materials, windows, and doors shall be completed as indicated in the drawings and described in the notes and scheduled conforming to Montgomery County Historic Preservation Commission. Any alternates or changes shall first be reported to HPS for revision approval.

CODE INFO

Design Intent to meet International Residential Code, 2015 COMAR 05.02.07

ZONING INFO

HOUSE LOCATION
MAP DX62 LOT 29-30 LOT 83/84
26038 FREDERICK ROAD
HYATTSTOWN, MD 20871

ZONING INFO: Montgomery County

Zoned R-200
Front Setback 40' / 25' wide
Side Setback 12' / 25' sum
Rear Setback 30'
Building Height existing
Coverage existing

SYMBOLS

- ① DOOR #
- △ WINDOW #
- ◇ PLUMBING FIXTURE #
- APPLIANCE #
- ② INTERIOR ELEVATION #
- ③ BUILDING SECTION
- ▬ NEW WALL
- ▬ EXISTING WALL

DRAWING LIST

- A0 site plan + general notes
- A1 floor plans deconstruction
- A2 floor plans deconstruction
- A3 existing basement + roof plan
- A4 new floor plans + schedules
- A5 elevations
- A6 sections
- A7 detail plan + interior elevations
- A8 detail plan + interior elevations + notes
- A9 bath interior elevations
- E1 rcp + electrical plans + schedules
- S1 structural framing plans

BRENNAN COMPANY
ARCHITECTS

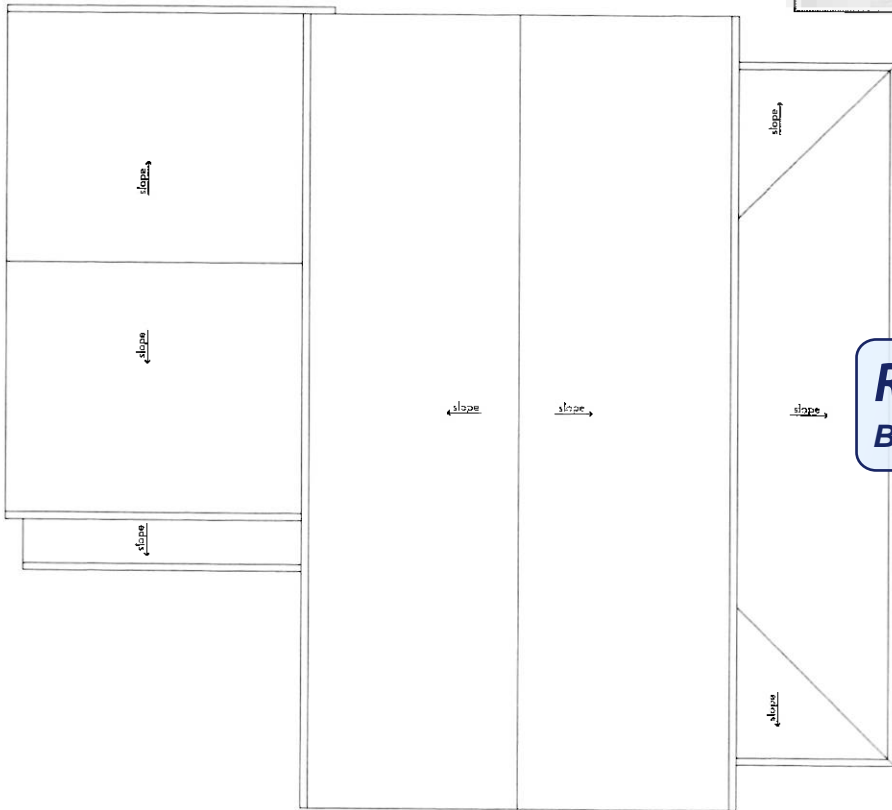
LUI - HERMAN RESIDENCE
26038 FREDERICK ROAD
HYATTSTOWN, MD 20871

phase	date
MD	08.21.2018
2D Rev	09.17.2018
Prelim. Pricing	10.10.2018
Permit	03.20.2019

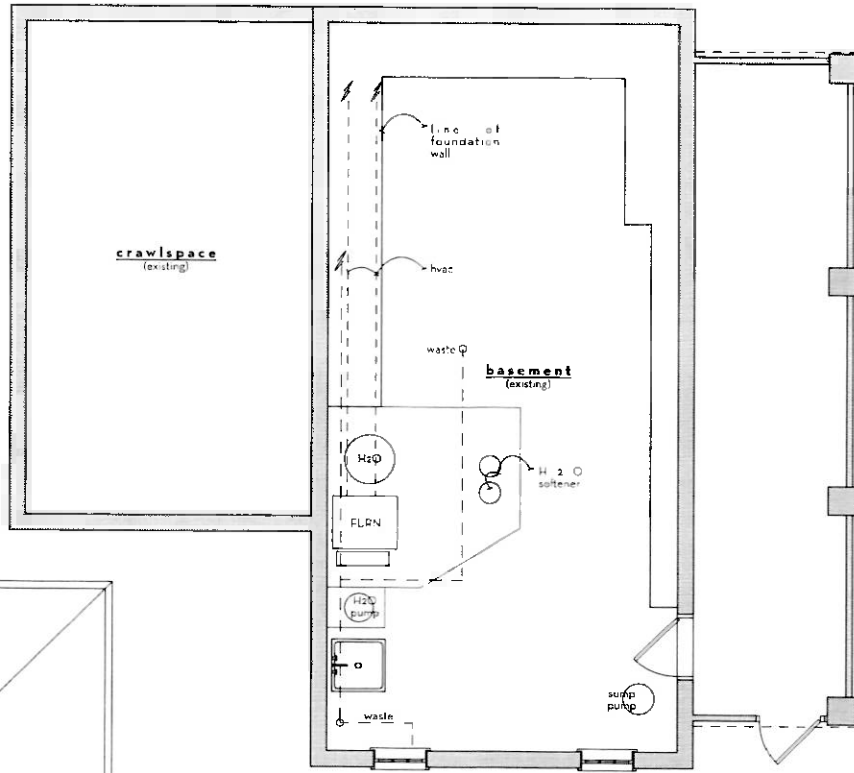


A0

Volume 6 (Data) - Project 601 PROJ ECT 2019 resident all burman v2 project drawing drawing burman.dwg pld 3/20/19 9:00 PM a Brennan-Company Arch Inc.



2 existing roof plan
scale 1/4" = 1'-0"




1 existing basement plan
scale: 1/4" = 1'-0"

REVIEWED
 By Michael Kyne at 12:40 pm, Aug 19, 2019

APPROVED
 Montgomery County
 Historic Preservation Commission


project
 LUI-HERMAN RESIDENCE
 26038 FREDERICK ROAD
 HYATTSTOWN, MD 20871

phase date
 MD 08 25 2018
 SD Rev 09 12 2018
 Prelim Pricing 10 10 2018
 Permit 03 20 2019

drawing
 existing basement -
 roof plan


sheet no
A3

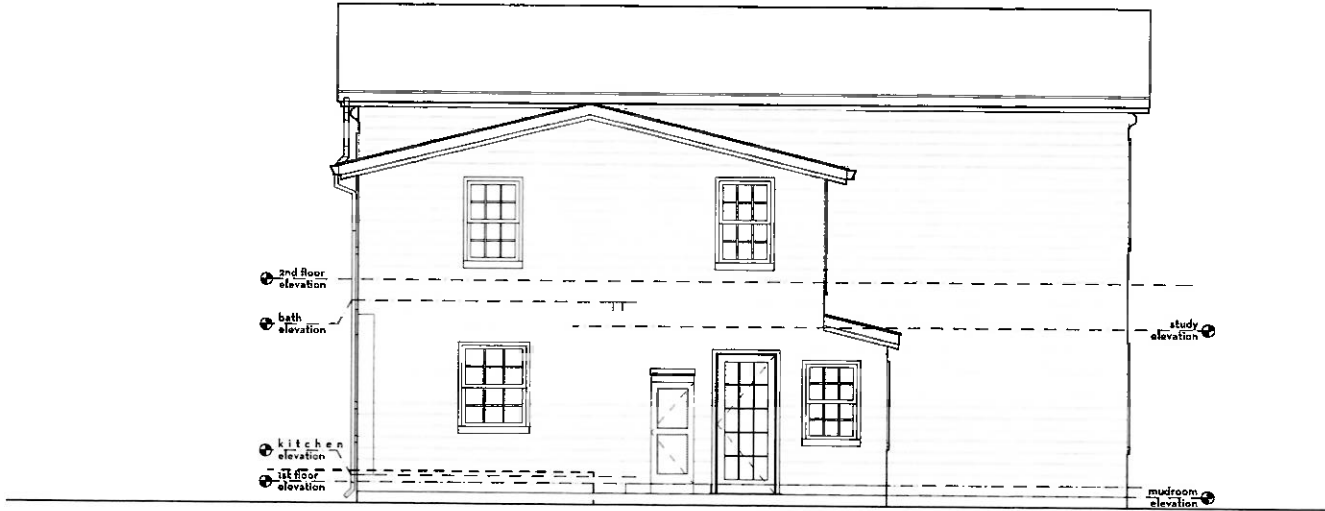
I:\Projects\190219\190219.dwg (PLOT) C:\Users\michael.kyne\OneDrive\Documents\190219\190219.dwg (PLOT) C:\Users\michael.kyne\OneDrive\Documents\190219\190219.dwg (PLOT) C:\Users\michael.kyne\OneDrive\Documents\190219\190219.dwg (PLOT)

REVIEWED

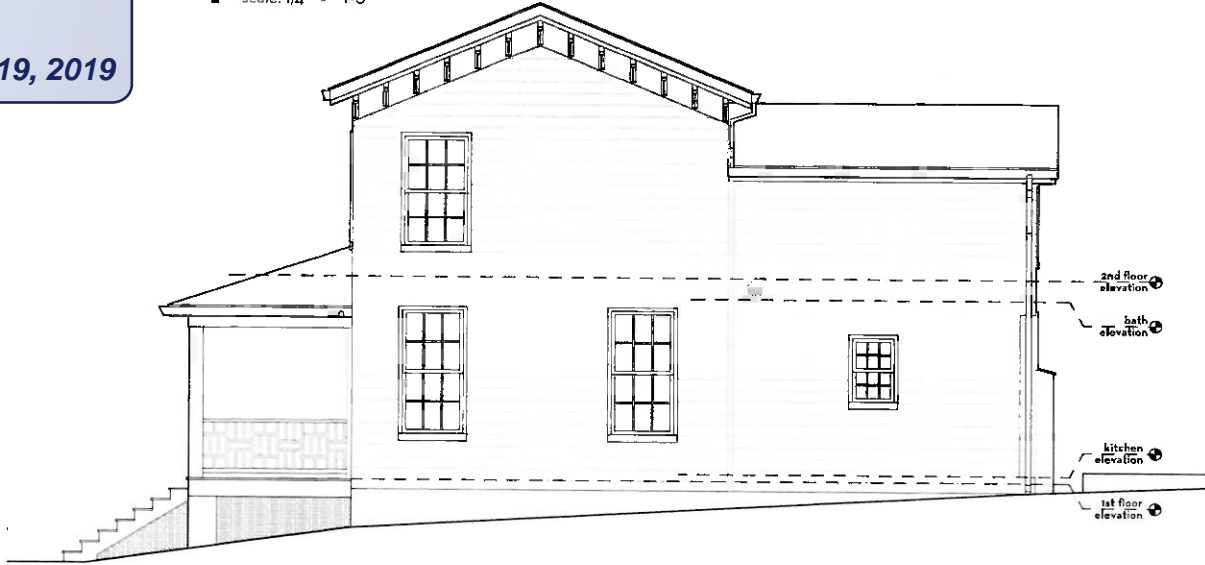
By Michael Kyne at 12:40 pm, Aug 19, 2019

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Sandra L. Heiler



1 existing west elevation
 scale. 1/4" = 1'-0"



2 existing north elevation
 scale. 1/4" = 1'-0"

BRUNNEN COMPANY
 ARCHITECTS
 1035 North 2nd Street
 Hyattsville, MD 20884
 Tel: 301-278-1100
 Fax: 301-278-1101
 www.brunnen.com

PROJECT
LUI-HERMAN RESIDENCE
 2603B FREDERICK ROAD
 HYATTSTOWN, MD 20871

phase	date
MD	08.23.2018
SD Rev	09.17.2018
Prelim. Pricing	10.10.2018
Permit	03.22.2019

drawing
 elevations


 North

sheet no.

A5



Invoice

<p>Invoice No: 746 Date: 05/23/2019</p> <hr/> <p>Bill To: Kris & Toby Lui blumaroo@hotmail.com 26038 Frederick Rd Clarksburg, MD, 20871 646-596-0442</p> <p>(JD18)</p>	<p>5100 Buckeystown Pike Suite 250 Frederick, MD, 21704 ModernRenovationsMD@gmail.com Mymodernrenovations.com 240-520-9488 Modern Renovations LLC MHIC# 136269 Shawn Wolford MHIC# 116795</p>
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Description	Quantity	Rate	Amount
STANDING SEAM FOR ENTIRE HOUSE AND FRONT PORCH -remove all slate from the roof -inspect all sheeting -installed titanium synthetic underlayment over the entire roof -install custom fabricated drip edge and rake edge flashing -install 26 gauge pre- englert standing seam metal roof panels -install ridge cap along peak of roof -installed new pipe collars around plumbing vents -clean up around dwellings thoroughly -haul all trash away COLOR IS PATINA GREEN	1	\$19,800.00	\$19,800.00
Snow Rail System for main house only.	1	\$3,040.00	\$3,040.00

REVIEWED
 By Michael Kyne at 12:41 pm, Aug 19, 2019

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 Montgomery County
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Subtotal	\$22,840.00
Total	\$22,840.00
Paid	\$5,710.00

BALANCE DUE **\$17,130.00**

Comments

Each contractor must hold a current MHIC license and anyone can ask about the contractor using the following information:

MHIC: 500 North Calvert Street, Baltimore, MD 21202
Phone: 410-230-6309, 1-888-218-5925

--The Maryland Home Improvement Commission administers the Guaranty Fund, which may compensate homeowners for certain actual losses caused by acts or omissions of licensed contractors.

--A homeowner has the right to purchase a performance bond for additional protection against losses not covered by the Guaranty fund.

--The estimated Start date for Project will be 4 WEEKS

--The estimated completion date for the project will be 3 DAYS

--You may cancel the transaction at any time prior to midnight of the fifth business day, or midnight of the seventh business day if buyer is at least 65 years old after the date of the transaction



Modern Renovations LLC



Client's signature

REVIEWED
By Michael Kyne at 12:41 pm, Aug 19, 2019

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Montgomery County
Historic Preservation Commission



Kyne, Michael

From: Kris Lui <krispuihinlui@gmail.com>
Sent: Tuesday, August 6, 2019 12:32 PM
To: Kyne, Michael
Cc: Ballo, Rebecca; T Herman
Subject: Re: HAWP Application for 26038 Frederick Road, Hyattstown

Hi Michael,

Here is the contractor's response:

"We are proposing to install an Englert 26 gauge steel coated with Permacolor 3500 coating. (70% Kynar 500/Hylar 5000 baked on color coating) The seams are a double locked mechanical one inch standing seam. The ridge will be "turned" (seamed) to form a ridge seam that will correlate with vertical seams. Hidden fasteners I, clips attached to sheathing with screws will secure metal panels to structure. Clips and fasteners are then seamed inside of seams."

-Kris

On Mon, Aug 5, 2019 at 12:16 PM Kyne, Michael <michael.kyne@montgomeryplanning.org> wrote:

Hi Kris,

Can you please provide additional information regarding the proposed new roofing materials? Your contractor should be able to provide full material specs from the manufacturer. Specifically, we need information regarding the seams (type of seam and height) and the ridge cap, as these are the major components regarding compatibility. Staff is comfortable with a standing seam metal roof, as these are quite prevalent in the historic district; however, if you look at the other standing seam metal roofs in the district, you will note that they are mostly traditional field-turned roofs with turned ridges or minimal ridge caps.

I have to complete the staff report and send recommendations to the Commission by end of day tomorrow, so please get this information to me ASAP.

Thank you,

Michael Kyne

Planner Coordinator | Historic Preservation Section

Montgomery County Planning Department | M-NCPPC

8787 Georgia Avenue, Silver Spring, MD 20910 | 301-563-3403

REVIEWED

By Michael Kyne at 12:41 pm, Aug 19, 2019



Kyne, Michael

From: Kris Lui <krispuihinlui@gmail.com>
Sent: Sunday, July 28, 2019 3:15 PM
To: Kyne, Michael
Cc: Ballo, Rebecca; T Herman
Subject: Re: HAWP Application for 26038 Frederick Road, Hyattstown

Follow Up Flag: Follow up
Flag Status: Completed

Dear Mr. Kyne:

Thank you for letting us know that we are on the August 14th agenda.
To answer your questions:

1. Both slate tiles and nails are failing.
2. After conducting some research, we are skeptical about synthetic slate tiles.
 - a. According to the ICC-2018 International Building Code (<https://codes.iccsafe.org/content/IBC2018P2/chapter-15-roof-assemblies-and-rooftop-structures>) Chapter 15, Section 7, the only TILED material recommended for a 2/12 roof pitch is asphalt shingle, and that is with special underlayment procedures. Synthetic slate tiles (rubber, polymer, or cement) do not appear in this Code document, possibly due to its newness to the market. Other tile materials, including concrete, clay, metal and wood, all require higher-pitched roofs.
 - b. With a low-pitched roof (2/12 or lower), ANY tiled roof system (asphalt, metal, slate, wood) is susceptible to freeze-thaw-cycle damage. As ice or snow melts during the day, water can pool between the tiles, and when it freezes overnight, can cause tile failure.
 - c. Synthetic slate tiles are relatively new, and thus have not had the field-testing for longevity that metal roofs have. While accelerated environmental tests have been conducted, we would prefer to use a time-tested material such as metal.
 - d. Synthetic slate tiles can warp or curl, requiring sooner repair and replacement.
 - e. Synthetic slate tiles can discolor quickly.

We appreciate the efforts to retain the current look of the house! However, we are more focused on a long-lasting roof design that maintains some historical element. We believe that the standing-seam metal roof helps preserve historical flavor, and at the same time, provides functionality and longevity.

Please let us know if there is any further information we can provide.
Thank you!

Sincerely,
- Kris Lui and Toby Herman



On Fri, Jul 26, 2019 at 3:00 PM Kyne, Michael <michael.kyne@montgomeryplanning.org> wrote:

Hi Kris,

REVIEWED
By Michael Kyne at 12:41 pm, Aug 19, 2019

We are in receipt of the additional information, and your case has been added to the August 14 meeting agenda.

Can you please answer the following questions:

- Are the existing slate tiles failing, or are the nails failing?
- Have you considered artificial slate roofing as a replacement material? There are some high quality products on the market, which may be more in keeping with the house's current appearance.

Thank you,

Michael Kyne

Planner Coordinator | Historic Preservation Section

Montgomery County Planning Department | M-NCPPC

8787 Georgia Avenue, Silver Spring, MD 20910 | 301-563-3403

Michael.Kyne@montgomeryplanning.org

www.montgomeryplanning.org/historic

REVIEWED

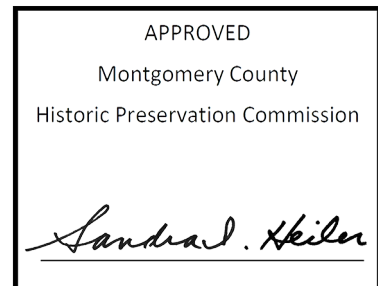
By Michael Kyne at 12:42 pm, Aug 19, 2019

From: Kris Lui <krispuihinlui@gmail.com>

Sent: Monday, July 15, 2019 11:48 AM

To: Kyne, Michael <michael.kyne@montgomeryplanning.org>

Subject: Re: HAWP Application for 26038 Frederick Road, Hyattstown



Dear Mr. Kyne:

I am inquiring as to whether you have received the added information regarding a new roof for 26038 Frederick Road, in Hyattstown.

Do you think it is possible to be on the Agenda for the August 14th meeting?

RE: Historic Area Work Permit Application
FOR: 26038 Frederick Road, Hyattstown, MD 20871

8 July 2019

Dear Mr. Kyne:

We have attempted to answer your questions regarding our application to replace the leaking roof of our home. Please find enclosed:

- FILE 1: Additional photos of the existing roof, as well as documentation of damage.
- FILE 2: Contract with roofing company Modern Renovations, including specifications and scope.
- FILE 3: What information we have about the roof *prior* to our ownership.
 - Page 1: The issued building permit to repair the roof, dated 03/20/2000.
 - Page 2: The HAWP approval, dated 02/24/2000.
Permit #210412, #210413
HPC #10-59-00B
 - Page 3: Drawing showing existing structure (including roof information) at the time of the HAWP of 02/24/2000. This shows corrugated tin on the back roof, and slate on the front roof.
 - Page 4: Drawing showing approved plan to replace all roof materials with standing seam copper.

Unfortunately we do not have any further information regarding the recent history of our roof. For unknown reasons, the previous owners repaired/replaced the roof with slate.

We feel it is prudent to replace the roofing of the entire structure with standing seam metal. To reiterate our application justification:

- The back roof is less than 20 years old and is already leaking into the interior. The pitch is too shallow for any tiled roofing systems, according to professional roofing associations.
- The front roof is shedding slate pieces, possibly already causing leaks. The pitch is at the minimum of recommended slate roof tiles.
- The front porch is currently asphalt shingle, which is not in keeping with the historic character of the home.

We hope these details complete our application for a Historic Area Work Permit.

Note that we will be unavailable for the July 24th meeting; we hope to be on the agenda for the August 10th meeting instead.

Sincerely,
Kris Lui and Toby Herman

REVIEWED

By Michael Kyne at 12:42 pm, Aug 19, 2019



26038 Frederick Road
Hyattstown, 20871

All pictures taken on the morning of 7 July
2019, following about one inch of rain the
previous evening.

REVIEWED

By Michael Kyne at 12:42 pm, Aug 19, 2019





PHOTO 1: North gable

REVIEWED
By Michael Kyne at 12:42 pm, Aug 19, 2019

The exact age of our roof is unknown. However, the attic was obviously reframed recently, meaning that the roof is probably about 20 years old.

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Historic Preservation Commission
Sandra L. Heiler

New framing can be seen paralleling older beams. Oriented strand board is visible as the roof decking. At gable ends the original support timbers are visible.



PHOTO 2: South gable

REVIEWED

By Michael Kyne at 12:43 pm, Aug 19, 2019



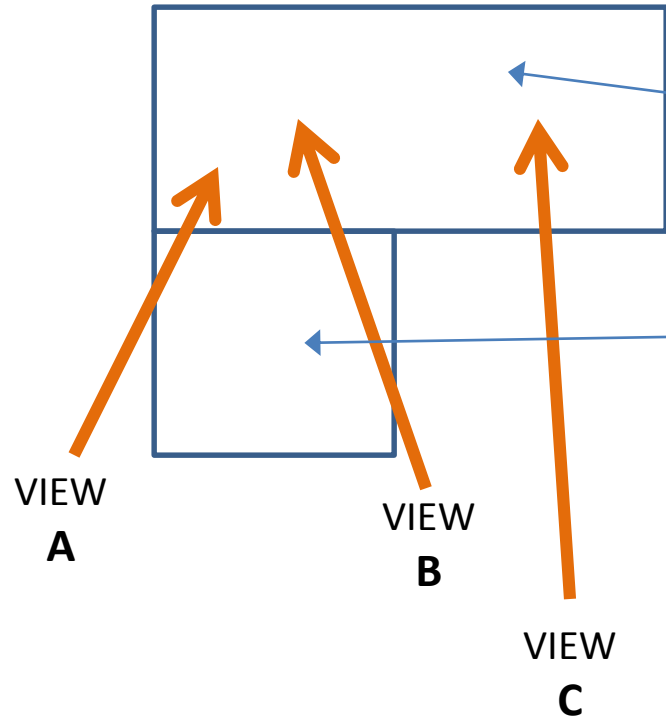
PHOTO 3

However, evidence of damaged and broken slate can be seen on the porch roof below the slate roof (picture taken from interior of second floor room). (The front porch is currently asphalt shingle.)

Safe access to the roof for clear pictures of damage *in situ* is difficult as we do not own a tall enough ladder. Four different roof contractors inspected the roof in order to provide a quote and all expressed degradation of the slates.



Plan view of lines-of-sight for photos on following pages.



Slate roof of unknown age; repaired circa year 2000. Photos 5-7 are of this roof.

Slate roof installed circa year 2000. Photos 8-10 show interior damage in a room under this roof.

REVIEWED

By Michael Kyne at 12:43 pm, Aug 19, 2019

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Historic Preservation Commission

Sandra L. Heiler

VIEW
A



PHOTO 5:
Cracked and broken slates:
some examples indicated by
red circles.
Also note unevenness in
ridgeline on the left.

REVIEWED
By Michael Kyne at 12:43 pm, Aug 19, 2019

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Montgomery County
Historic Preservation Commission
Sandra L. Skiles

VIEW
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REVIEWED
By Michael Kyne at 12:43 pm, Aug 19, 2019

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PHOTO 6: Area in this picture overlaps previous

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Tile sliding out

PHOTO 7



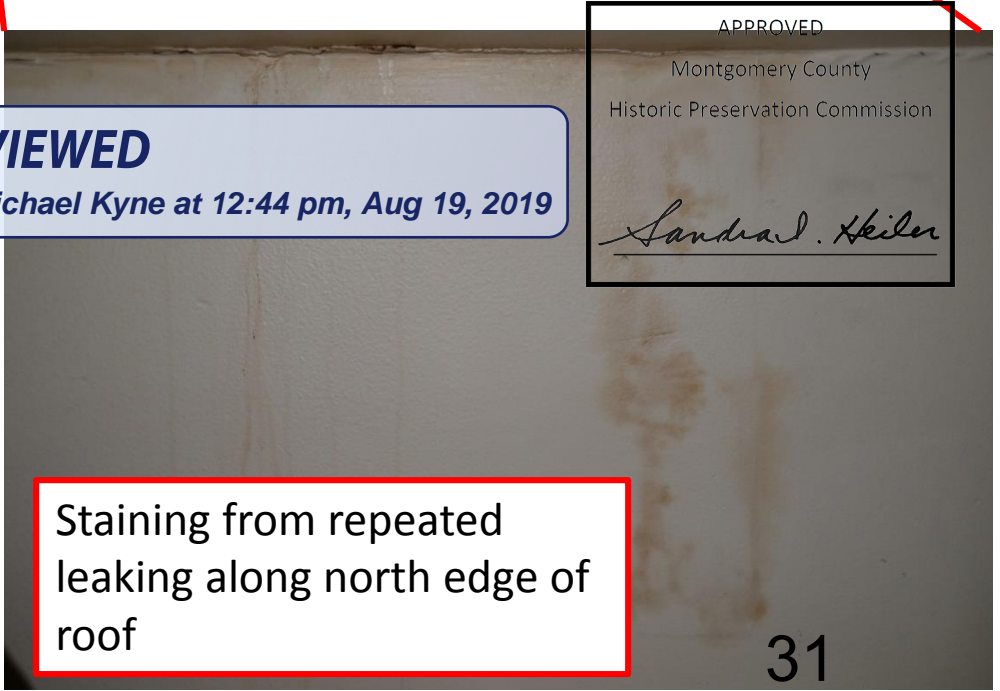
PHOTO 8:

Leaks in roof have allowed water to flow under the slate, causing bulging of ceiling and intrusion where roof meets wall. Water is no doubt flowing down through the wall as well.



Leak emanating from electrical receptacle

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By Michael Kyne at 12:44 pm, Aug 19, 2019



Staining from repeated leaking along north edge of roof

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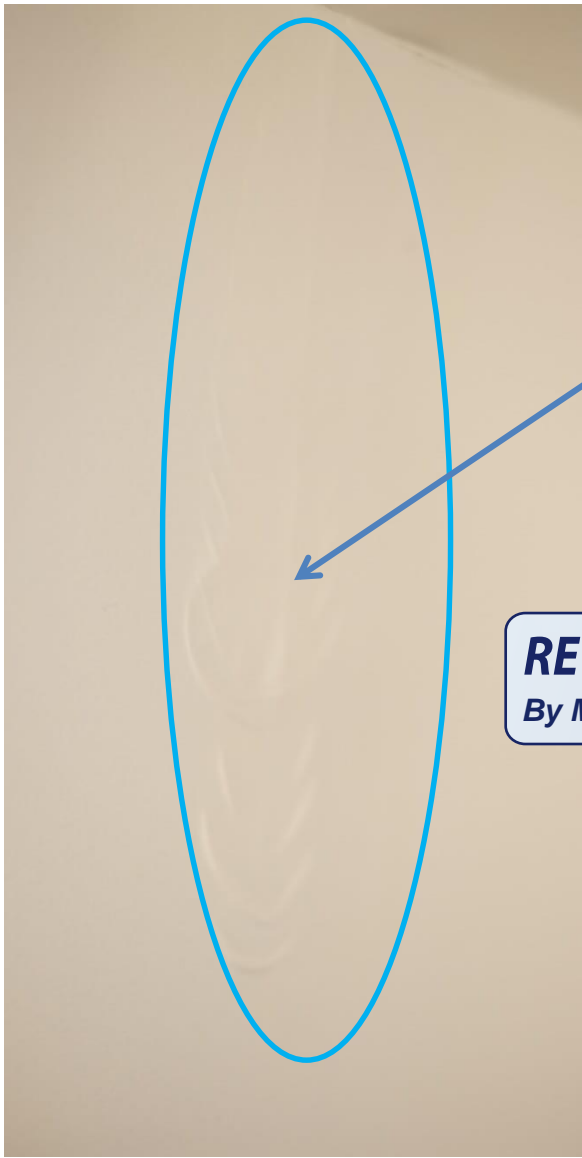


PHOTO 9:

More damage caused along the same wall as the previous pictures.

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PHOTO 10:

Bulging of ceiling
(the rod in the picture is level)

