



## HISTORIC PRESERVATION COMMISSION

Mark Elrich  
County Executive

William Kirwan  
Chairman

Date: September 23, 2019

### MEMORANDUM

TO: Diane Schwartz Jones  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit: 885574: Building Addition

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the September 11, 2019 HPC meeting.

The HPC staff has reviewed and stamped the attached revised construction drawings.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.**

Applicant: John and Mariam Montgomery  
Address: 24 W. Kirke St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



**SYMBOLS**

**02 SITE WORK**

- EARTH/UNDISTURBED
- EARTH/COMPACT FILL
- POROUS FILL/GRAVEL

**03 CONCRETE**

- CAST IN PLACE
- SAND/MORTAR

**04 MASONRY**

- BRICK
- CONCRETE MASONRY UNIT
- CONCRETE MASONRY UNIT, GROUDED SOLID STONE
- FLAG STONE
- 5" RANDOM ASHLAR

**05 METAL**

- ALUMINUM
- BRASS/BRONZE
- STEEL

**06 WOOD & PLASTIC**

- PLYWOOD
- FINISH
- ROUGH
- BLOCKING

**07 THERMAL & MOISTURE PROTECTION**

- BATT/LOOSE FILL INSULATION
- RIGID INSULATION
- STRUCTURAL LVL
- RIGID VENT (COR-A-VENT)

**08 DOOR & WINDOW**

- GLASS
- GLASS BLOCK

**09 FINISHES**

- ACOUSTICAL TILE
- STUCCO/PARGING
- CERAMIC TILE
- CARPET AND PAD
- HARD WOOD FLOOR
- TERRAZZO
- PLYWOOD

**GENERAL NOTES**

1. All construction shall be in accordance with I.R.C., One and Two Family Dwelling Code, 2015 edition, and all MONTGOMERY COUNTY additions and revisions thereto.
  2. Design Live Loads:
    - Sleeping room load 30 lbs./ sq. ft.
    - Floor load 40 lbs./ sq. ft.
    - Roof load 30 lbs./ sq. ft.
    - Deck load 40 lbs./ sq. ft.
    - Garage load 50 lbs./ sq. ft.
  3. Soil bearing to be 2000 lbs./ sq. ft. minimum, or unless otherwise specified.
  4. Design wind load shall be 20 lbs./ sq. ft., per IRC 90 mph.
  5. Maximum height of fill above basement slab shall be seven feet ( 7'-0" ).
  6. Bottom of all concrete footings shall be 24" minimum below finished grade.
  7. Foundation walls shall comply with I.R.C. Section R-401 through R-404.
  8. Foundation drainage shall comply with I.R.C. Section R-405.
  9. Foundation waterproofing shall comply with I.R.C. Section R-406.
  10. Top of Garage slab shall be four inches (4") below adjacent finished floors
  11. Attached Garages shall comply with I.R.C. Section R-309.
  12. Concrete floors shall comply with I.R.C. Section R-506.
  13. All concrete shall be 150 lbs./ cubic ft. and conform to A.C.I. 318 specifications.
    - Concrete at porches, garages, slabs, steps and all areas exposed to weather shall be 3500 p.s.i., air-entrained concrete.
    - Foundation walls, exterior walls and other vertical concrete work exposed to weather shall be 3000 p.s.i., air-entrained concrete.
    - All other concrete shall be 3000 p.s.i.
  14. All Concrete masonry units (CMU) used in basements and foundation walls shall be load-bearing units conforming to A.S.T.M. C 90-70 for hollow units. At all wood post and wood beam bearing locations on CMU walls, CMU cells shall be grouted solid with grout or mortar at top two courses (minimum).
  15. All CMU walls shall have standard truss-type 'DUR-O-WALL' or equiv. Bed joint reinforcing, at maximum 16" vertical spacing.
  16. All brick units used in construction exposed to weather, shall conform to A.S.T.M. C 62 or A.S.T.M. C 216.
  17. All mortar shall be Type 'S' and shall conform with A.S.T.M. C 270-82.
  18. Stone and masonry veneer shall comply with I.R.C. Section R-703.7.
  19. Backfilling against basement walls shall not be performed until floor framing at top of wall is in place, and top of reinforced CMU walls are braced against overturning.
  20. Maximum allowable lateral pressure on basement walls shall be 30 p.s.f.
  21. Reinforcing steel shall be Grade '40' and conform to A.S.T.M. Spec. A-615, unless otherwise noted.
  22. Steel post cap plates shall conform with A.S.T.M. Spec. A-36.
    - F(y) = 36,000 p.s.i.
    - Bolts shall comply with A.S.T.M. A-307 (minimum)
  23. Steel columns in basement shall be adjustable 3" (I.D.) , S-40 columns, unless otherwise noted.
  24. All structural wood framing, including roof and floor sheathing, shall be in accordance with the "National Design Specifications for Wood Construction", published by the National Forest Products Association.
  25. All headers shall be (3) 2x10 unless otherwise noted.
  26. Provide double jack studs at each end of all headers and beams of spans greater than 5'-0", unless otherwise noted.
  27. Splices at the top and bottom course of a double top plate shall be staggered a minimum of 4'-0", and shall not occur at any stud interval which provides bearing for joist and/or rafter above.
  28. All roof, floor and girder trusses shall be designed by the Manufacturer to carry required loads and to be installed by the Contractor / SubContractor according to the Manufacturers specifications.
  29. Contractor shall provide Architect with Shop Drawings of all floor and roof designs for approval prior to ordering.
  30. Provide solid blocking under all jack studs not bearing directly on joists or T.J.I. member.
  31. Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie of 18 gauge (min.), 45/1000" thickness and 1-1/2" width shall be fastened to the plate with 16d nails (min.)- across and to each side of the opening.
  32. Double beams, double hips and double valley rafters shall be joined securely, per manufacturers recommendations, to ensure the members act conjointly in resisting the applied load.
  33. Unless specified otherwise, provide the following lintels at masonry openings:
 

| Masonry Type | Span          | Lintel Size         |
|--------------|---------------|---------------------|
| Brick        | 3'-0" or less | 3.5" x 3.5" x 1/4"  |
| Brick        | 5'-0" or less | 3.5" x 4.0" x 1/4"  |
| Brick        | 8'-0" or less | 3.5" x 5.0" x 5/16" |
| Brick        | 9'-0" or less | 3.5" x 6.0" x 5/16" |
| Stone        | 3'-0" or less | 6.0" x 4.0" x 5/16" |
| Stone        | 5'-0" or less | 6.0" x 6.0" x 5/16" |
| Stone        | 8'-0" or less | 6.0" x 6.0" x 3/8"  |
| Stone        | 9'-0" or less | 6.0" x 8.0" x 7/16" |
  34. All untreated lumber shall be a minimum of 8" above finished exterior grade.
  35. All lumber in contact with concrete or CMU shall be pressure-treated lumber.
  36. All prefabricated fireplace construction shall comply with I.R.C. Chapter 10, and with Figure R-1003.1.
  37. Chimney / fireplace construction shall comply with I.R.C. Chapter 10 and R-1003.1.
  38. Fire-stopping shall comply with I.R.C. Section R-602.8.
  39. Draft-stopping shall comply with I.R.C. Section R-602.8.
  40. Radon mitigation shall comply with I.R.C. Appendix 'F'.
  41. Provide interconnected smoke detectors to protect all floors, bedrooms, and basements referenced in I.R.C. Section R-317.
  42. Stairways shall comply with I.R.C. Section R-314.
    - Minimum headroom shall be 6' -8" clear to all points.
    - Minimum tread depth from edge of nosing to face of riser shall be 9".
    - Maximum riser shall be 8-1/4" per Reg. 36-01 amendments.
  43. Handrails and guardrails shall comply with I.R.C. Section R-315.
  44. All exits shall comply with I.R.C. Section R-311.
  45. Sleeping rooms shall comply with I.R.C. Section R-310. Maximum sill height at sleeping rooms shall be 44" above finished floor.
  46. All glazing shall comply with I.R.C. Section R-308.
  47. All ceiling heights shall comply with I.R.C. Section R-305.
  48. All exterior wall coverings shall comply with I.R.C. Section R-703.
  49. All gas piping shall comply with N.F.P.A. 54.
  50. Electrical wiring shall comply with the latest National Electric Code and Montgomery County requirements.
- Note: Floor and Roof framing plans (including Shop Drawings as required), bearing the signature and seal of the Manufacturer, shall be furnished by the General Contractor at time of Inspection. Brace all members as recommended by Manufacturer.

**MONTGOMERY RESIDENCE**



885574

APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra Heiler*

**RICHARD LEGGIN ARCHITECTS**

301-320-0107

**REVIEWED**  
By Dan.Bruechert at 12:30 pm, Sep 23, 2019

Meeting Room, 1000 Seven Locks Road  
Cabin John, MD 20818

**PROJECT TEAM**

- BUILDING OWNER:**
- JOHN & MARILYN MONTGOMERY  
24 WEST KIRKE STREET  
CHEVY CHASE, MD, 20815
- ARCHITECT:**
- RICHARD LEGGIN ARCHITECTS  
6500 SEVEN LOCKS RD.  
CABIN JOHN, MD 20818  
301.320.0107  
RLEGGIN@RLARCHS.COM

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**SCOPE OF WORK**

- ENCLOSE EXISTING SCREENED PORCH, ADD DOOR/WINDOWS
- ADD CASSED OPENING BETWEEN EXISTING KITCHEN AND RENOVATED ROOM

**PROFESSIONAL CERTIFICATION**

I hereby certify that these documents were prepared or approved by me, and that I am duly licensed architect under laws of the State of Maryland.

License No. 7023  
Expiration Date: 04/05/2020

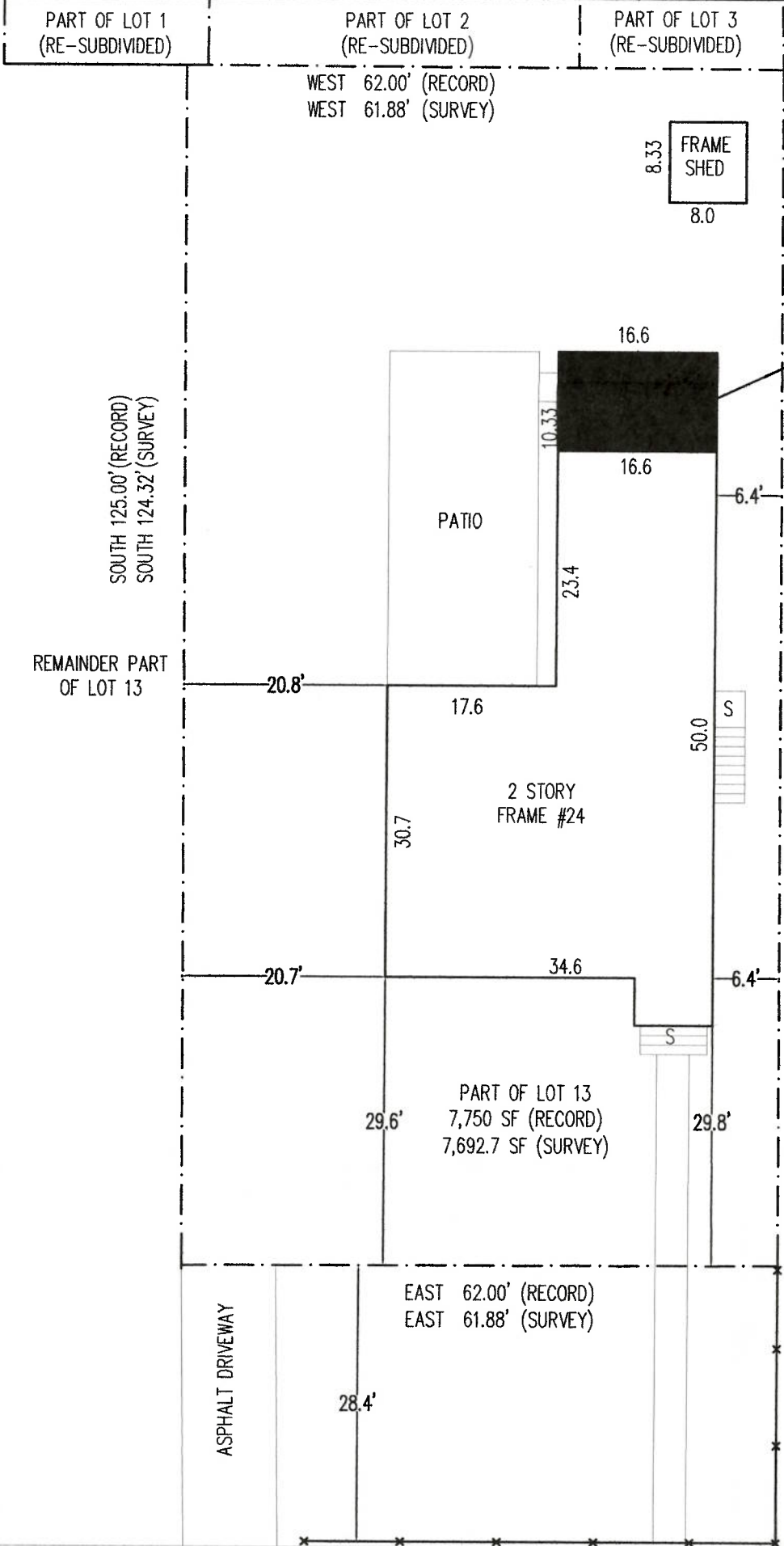


Montgomery Residence  
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

COVER PAGE

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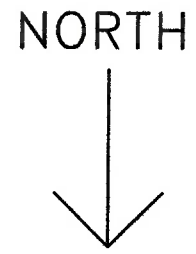
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**A000**



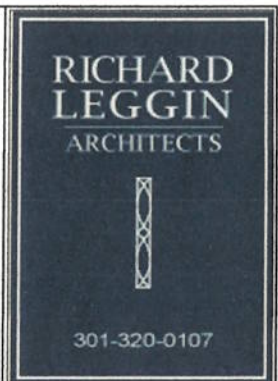
ENCLOSE EXG. SCREENED PORCH

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra L. Heiler*

**REVIEWED**  
 By Dan.Bruechert at 12:30 pm, Sep 23, 2019



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 Expiration Date: 04/05/2020



MacArthur Plaza II, Suite #210  
 6500 Seven Locks Road  
 Cabin John, MD 20818

**Montgomery Residence**  
 24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815  
**SITE PLAN**

| No. | Description | Date |
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SITE PLAN 1/16"=1'-0"  
 SCALE

Sheet Number:  
**A001**



SOUTH FACADE



WEST FACADE



EAST FACADE



NORTH FACADE, FROM PUBLIC ROW

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Historic Preservation Commission

*Sandra L. Heiler*

**REVIEWED**

By Dan.Bruechert at 12:30 pm, Sep 23, 2019

**RICHARD  
LEGGIN**  
ARCHITECTS



301-320-0107

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Montgomery Residence  
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

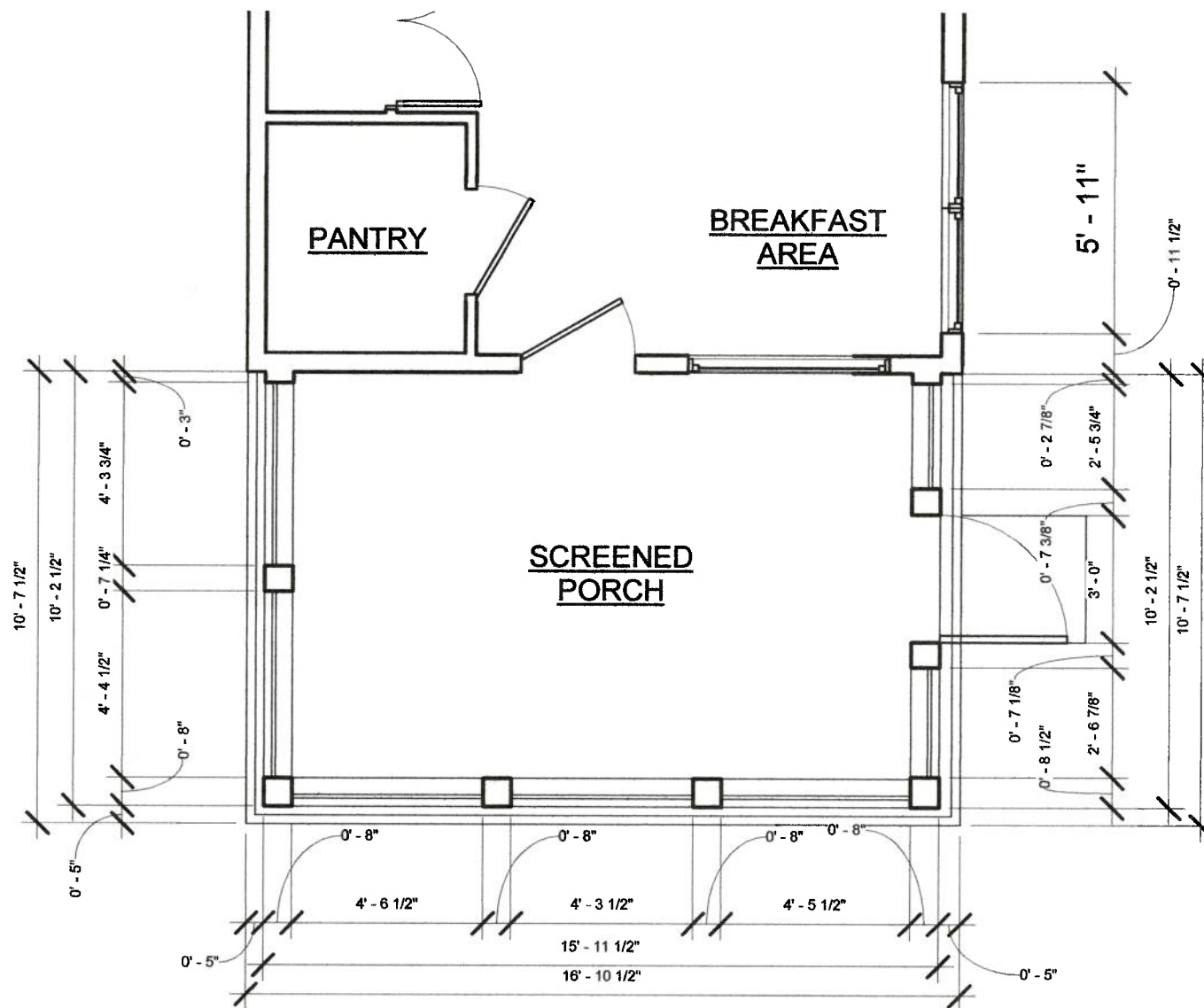
SITE PHOTOS

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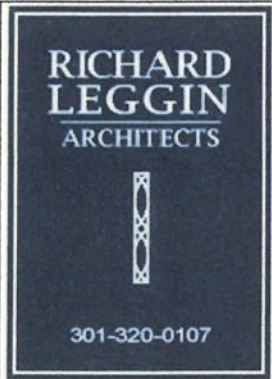
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 Montgomery County  
 Historic Preservation Commission

*Sandra Heiler*

**REVIEWED**  
 By Dan.Bruechert at 12:29 pm, Sep 23, 2019



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Montgomery Residence  
 24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815  
 FIRST FLOOR EXISTING



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**A100**

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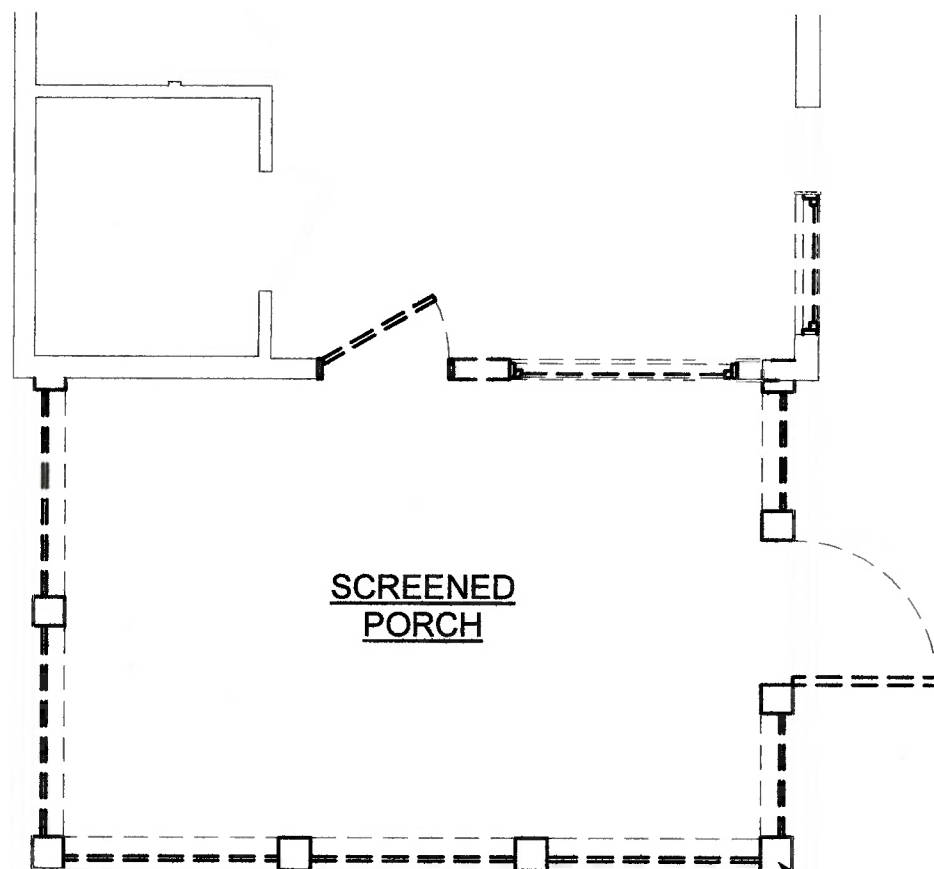
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Montgomery County  
Historic Preservation Commission  
*Sandra L. Heiler*

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By Dan.Bruechert at 12:29 pm, Sep 23, 2019



DEMOLISH ALL POSTS, SCREENS, ETC.  
EXISTING ROOF STRUCTURE TO REMAIN

Montgomery Residence

24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

FIRST FLOOR DEMOLITION

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Sheet Number:

**A101**



FIRST FLOOR DEMOLITION

1/4"=1'-0"  
SCALE

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Expiration Date: 04/05/2020

**RICHARD LEGGIN ARCHITECTS**

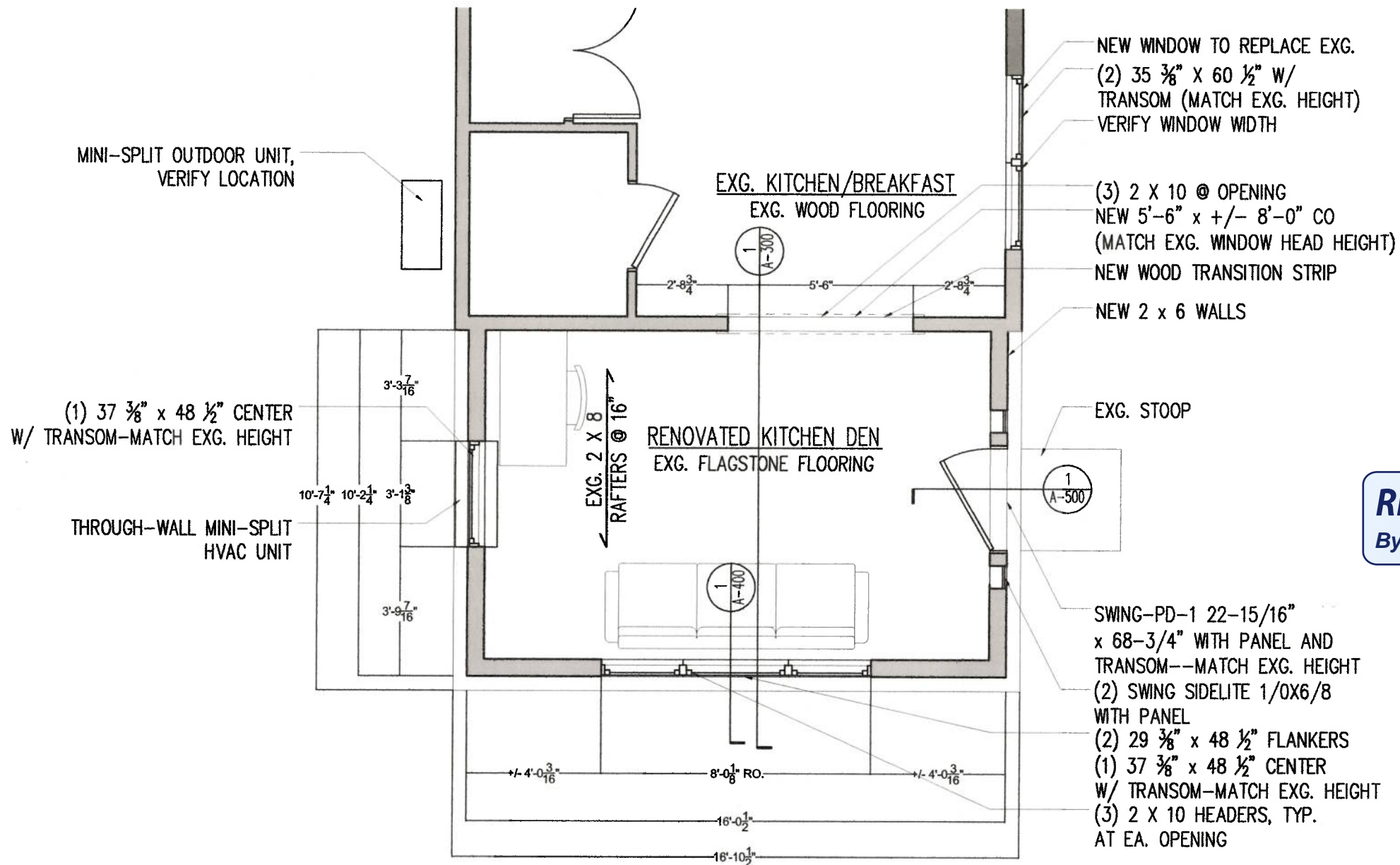


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**Montgomery Residence**  
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

**FLOOR PLAN**



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Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*

**REVIEWED**  
By Dan.Bruechert at 12:29 pm, Sep 23, 2019



NOTE: SUBMIT WINDOW ORDER TO ARCHITECT BEFORE PLACING ORDER

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Sheet Number:

**A102**

FLOOR PLAN PROPOSED 1/4"=1'-0" SCALE

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Expiration Date: 04/05/2020

**RICHARD  
LEGGIN  
ARCHITECTS**



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**REVIEWED**  
By Dan.Bruechert at 12:29 pm, Sep 23, 2019



**Montgomery Residence**  
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

**ELEVATION**

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**A200**

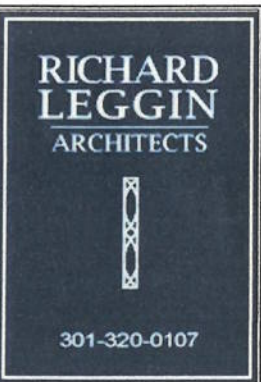
WEST ELEVATION EXISTING

1/4"=1'-0"  
SCALE



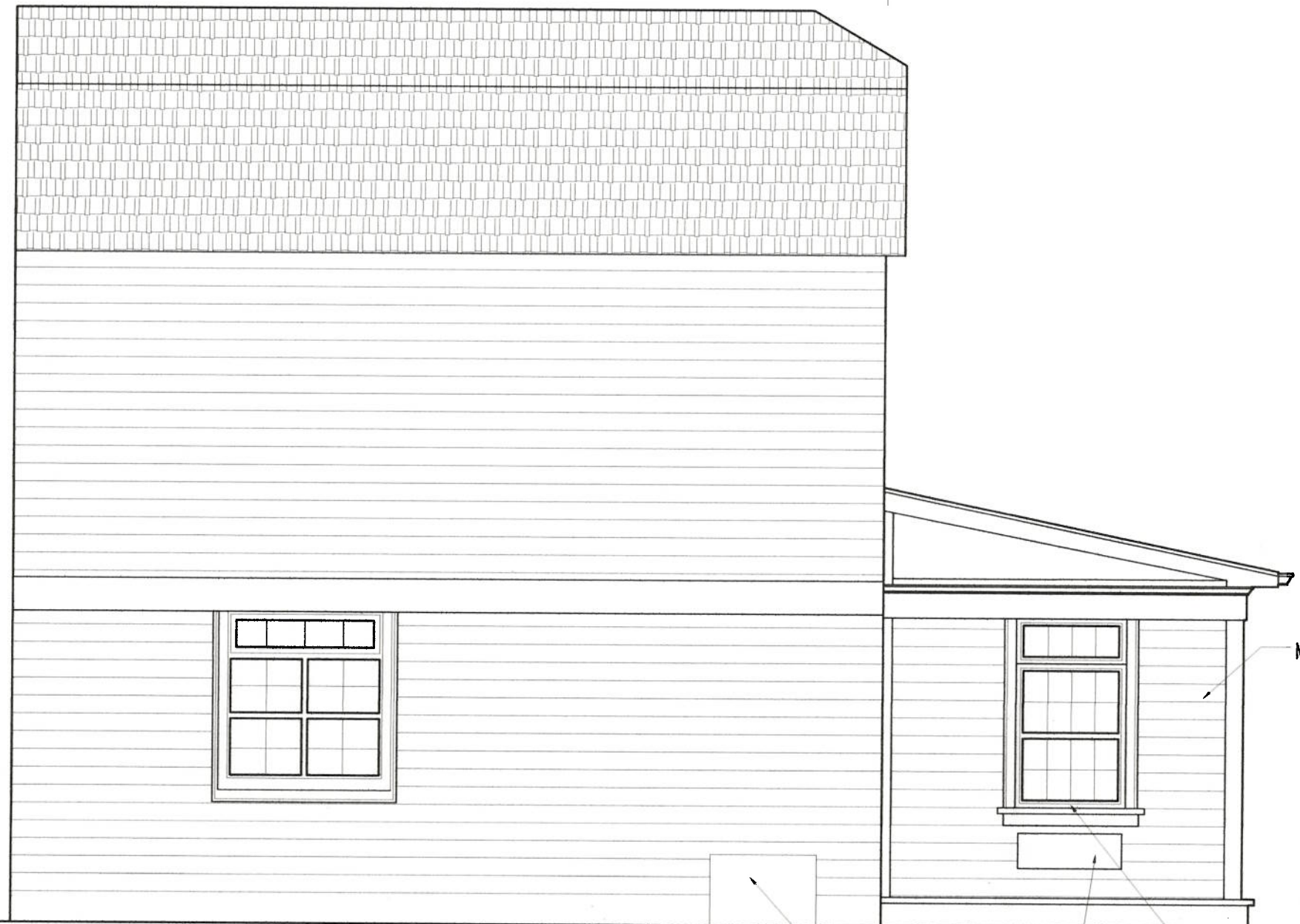
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Expiration Date: 04/05/2020



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EXG. ADDITION | RENOVATED



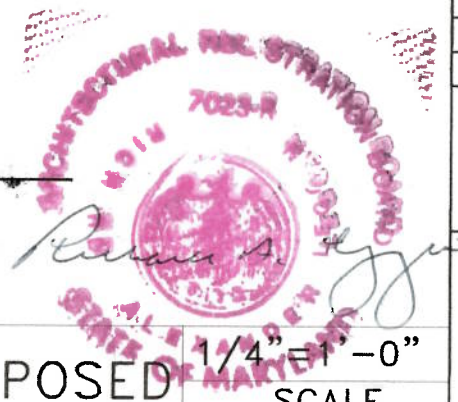
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*Sandra L. Heiler*

**REVIEWED**  
By Dan.Bruechert at 12:29 pm, Sep 23, 2019

MATCH EXG. SIDING

MINI-SPLIT HVAC UNIT

(1) 37 3/8" x 48 1/2" CENTER  
W/ TRANSOM-MATCH EXG. HEIGHT



Montgomery Residence  
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

ELEVATION

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Sheet Number:

**A201**

WEST ELEVATION PROPOSED

1/4" = 1'-0"  
SCALE

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Expiration Date: 04/05/2020

**RICHARD  
LEGGIN  
ARCHITECTS**



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APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*

**REVIEWED**  
By Dan.Bruechert at 12:29 pm, Sep 23, 2019



**Montgomery Residence**

24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

**ELEVATION**

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Sheet Number:

**A202**

SOUTH ELEVATION EXISTING

1/4"=1'-0"  
SCALE

**PROFESSIONAL CERTIFICATION:**

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Expiration Date: 04/05/2020

**RICHARD  
LEGGIN  
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Historic Preservation Commission

*Sandra L. Heiler*

**REVIEWED**  
By Dan.Bruechert at 12:29 pm, Sep 23, 2019



Montgomery Residence  
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

ELEVATION

| No. | Description | Date |
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Sheet Number:

**A203**

(2) 29 3/8" x 48 1/2" FLANKERS  
(1) 37 3/8" x 48 1/2" CENTER  
W/ TRANSOM-MATCH EXG. HEIGHT

SOUTH ELEVATION PROPOSED

1/4"=1'-0"  
SCALE

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**Montgomery Residence**  
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**ELEVATION**

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Sheet Number:

**A204**



APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Heiler*

**REVIEWED**  
By Dan.Bruechert at 12:29 pm, Sep 23, 2019



EAST ELEVATION EXISTING

1/4"=1'-0"  
SCALE

**PROFESSIONAL CERTIFICATION:**

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Expiration Date: 04/05/2020

**RICHARD  
LEGGIN  
ARCHITECTS**



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Cabin John, MD 20818

RENOVATED | EXG. ADDITION



MATCH EXG. SIDING

11'-2 1/4"  
10'-2"

SWING-PD-1 22-15/16"  
x 68-3/4" WITH PANEL AND  
TRANSOM--MATCH EXG. HEIGHT  
(2) SWING SIDELITE 1/0X6/8  
WITH PANEL

(2) 35 3/8" X 60 1/2" W/  
TRANSOM (MATCH EXG. HEIGHT)

NOTE: SUBMIT WINDOW ORDER  
TO ARCHITECT BEFORE PLACING ORDER

APPROVED

Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*

**REVIEWED**

By Dan.Bruechert at 12:29 pm, Sep 23, 2019

Montgomery Residence

24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

ELEVATION

| No. | Description | Date |
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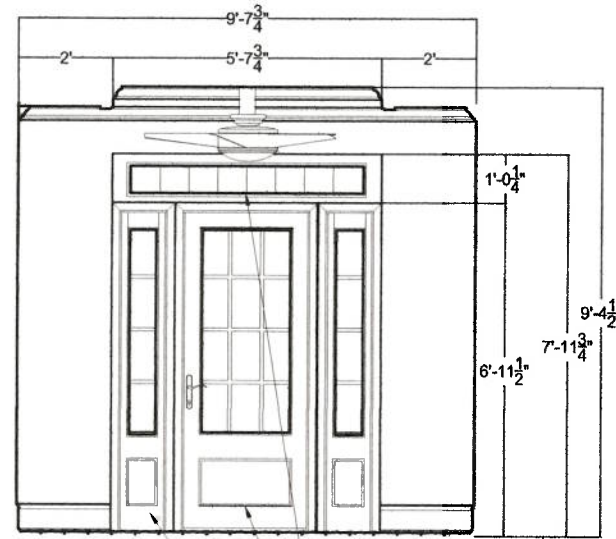


Sheet Number:

**A205**

EAST ELEVATION PROPOSED

1/4"=1'-0"  
SCALE



TRANSOM--MATCH EXG. HEIGHT  
 SWING-PD-1 22-15/16" x 68-3/4" WITH PANEL  
 (2) SWING SIDELITE 1/0X6/8 WITH PANEL

INTERIOR ELEVATION PROPOSED

1/4"=1'-0"  
SCALE

PROFESSIONAL CERTIFICATION:

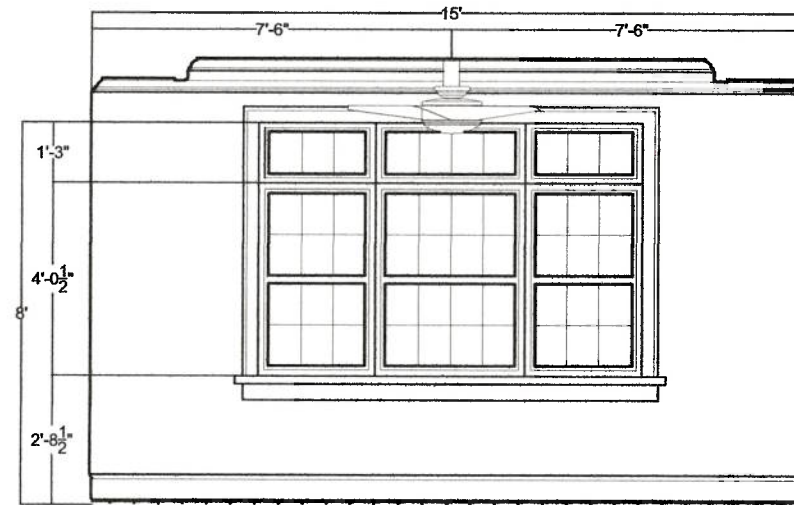
I hereby certify that these documents were prepared or approved by me, and that I am duly licensed architect under laws of the State of Maryland, License No. 7023  
 Expiration Date: 04/05/2020

RICHARD LEGGIN ARCHITECTS



301-320-0107

MacArthur Plaza II, Suite #210  
 6500 Seven Locks Road  
 Cabin John, MD 20818



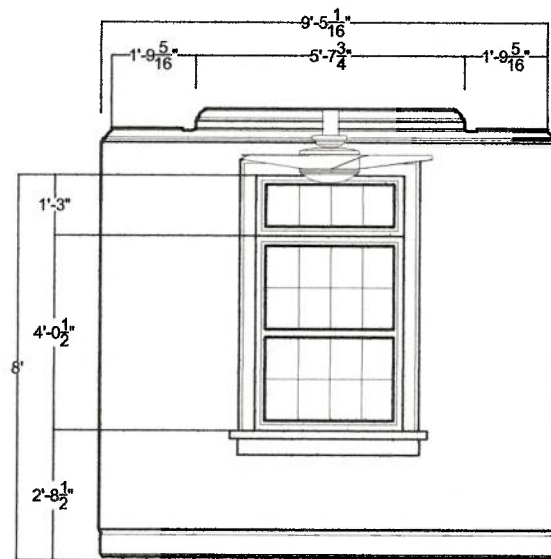
INTERIOR ELEVATION PROPOSED

1/4"=1'-0"  
SCALE

Montgomery Residence

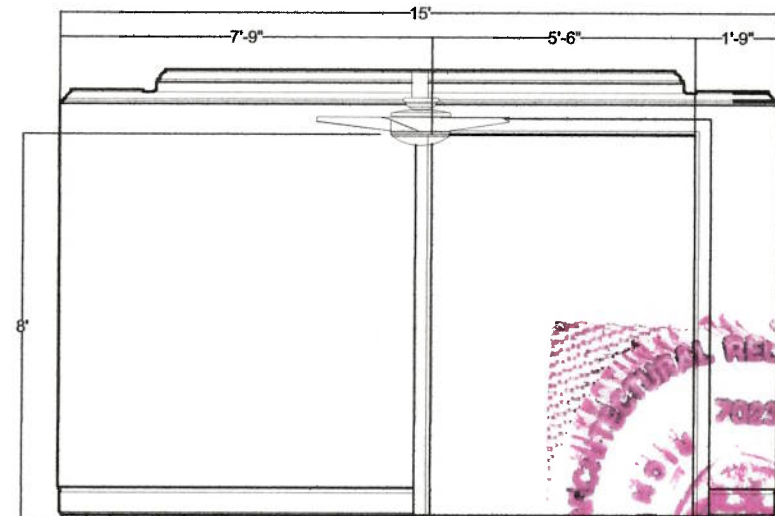
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

ELEVATION



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra L. Heiler*

**REVIEWED**  
 By Dan.Bruechert at 12:29 pm, Sep 23, 2019



INTERIOR ELEVATION PROPOSED

1/4"=1'-0"  
SCALE

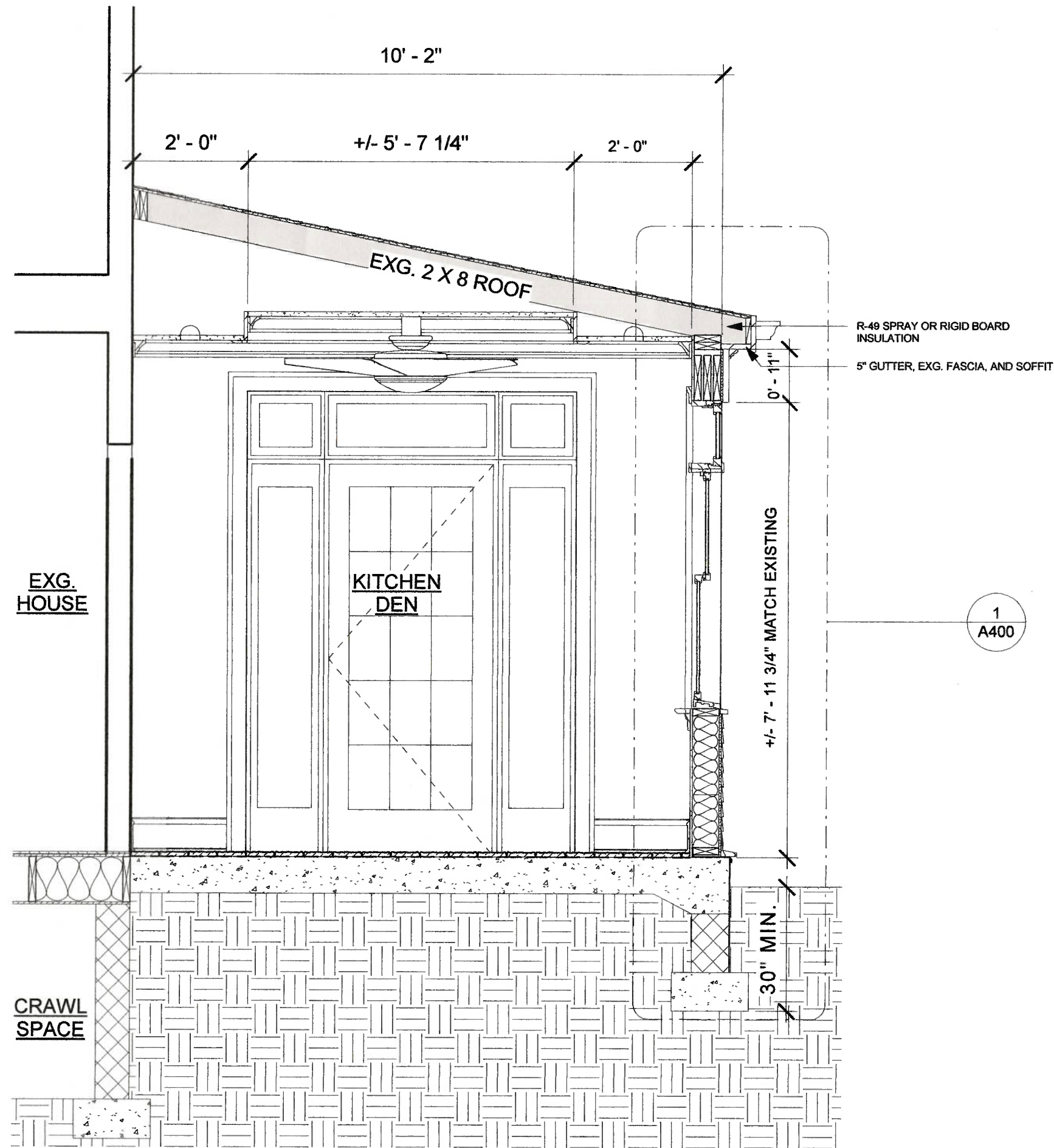
INTERIOR ELEVATION PROPOSED

1/4"=1'-0"  
SCALE

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Sheet Number:

**A206**

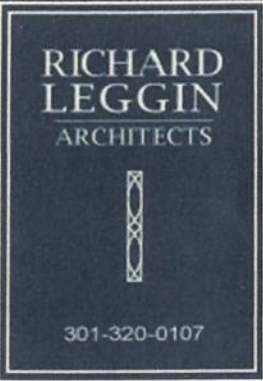


APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Sandra Heiler*

**REVIEWED**  
 By Dan.Bruechert at 12:28 pm, Sep 23, 2019

1  
 A400



MacArthur Plaza II, Suite #210  
 6500 Seven Locks Road  
 Cabin John, MD 20818

Montgomery Residence  
 24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

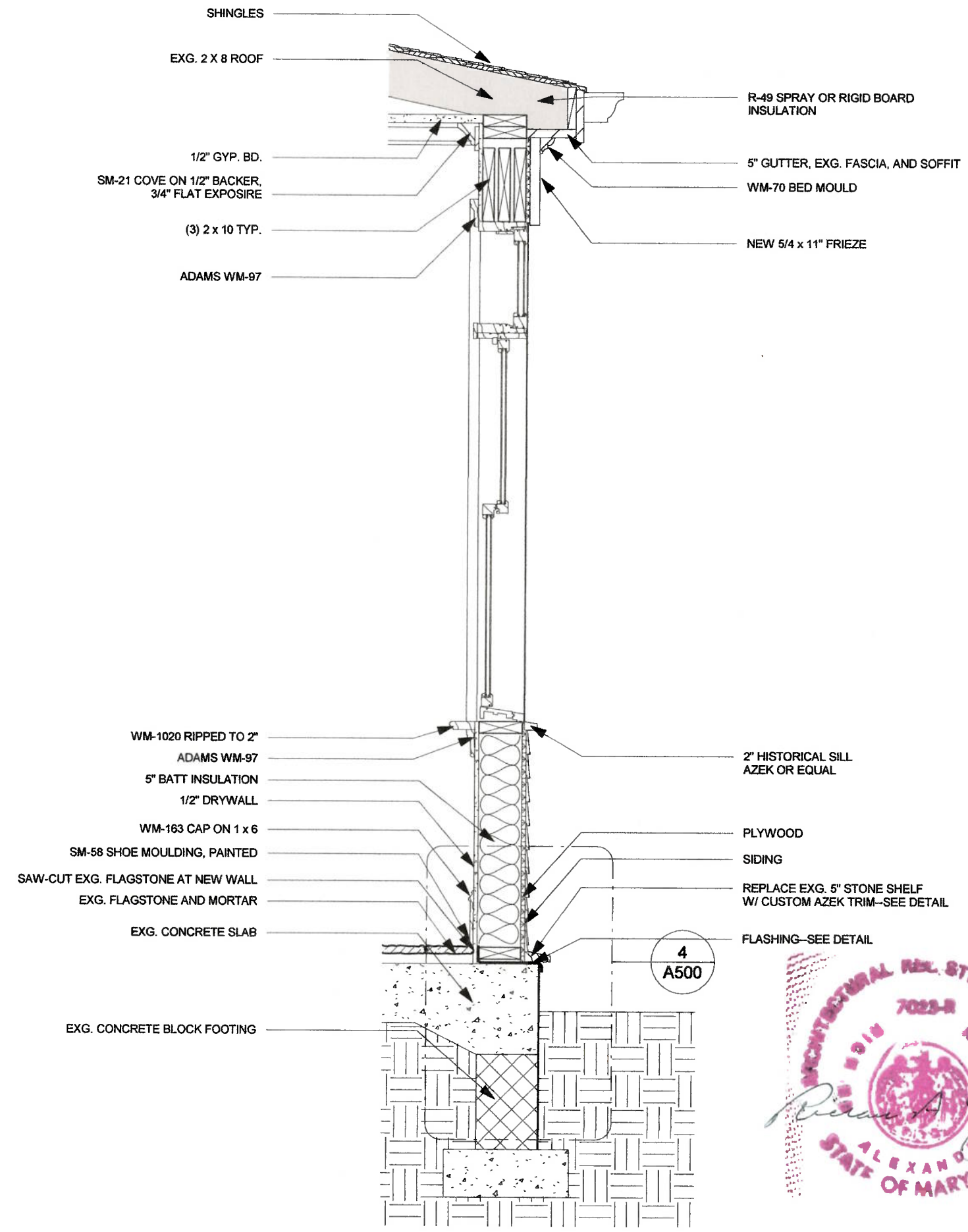
ROOM SECTION

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Sheet Number:

A300

**Montgomery Residence**  
 24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815  
**WALL SECTION**



4  
 A500



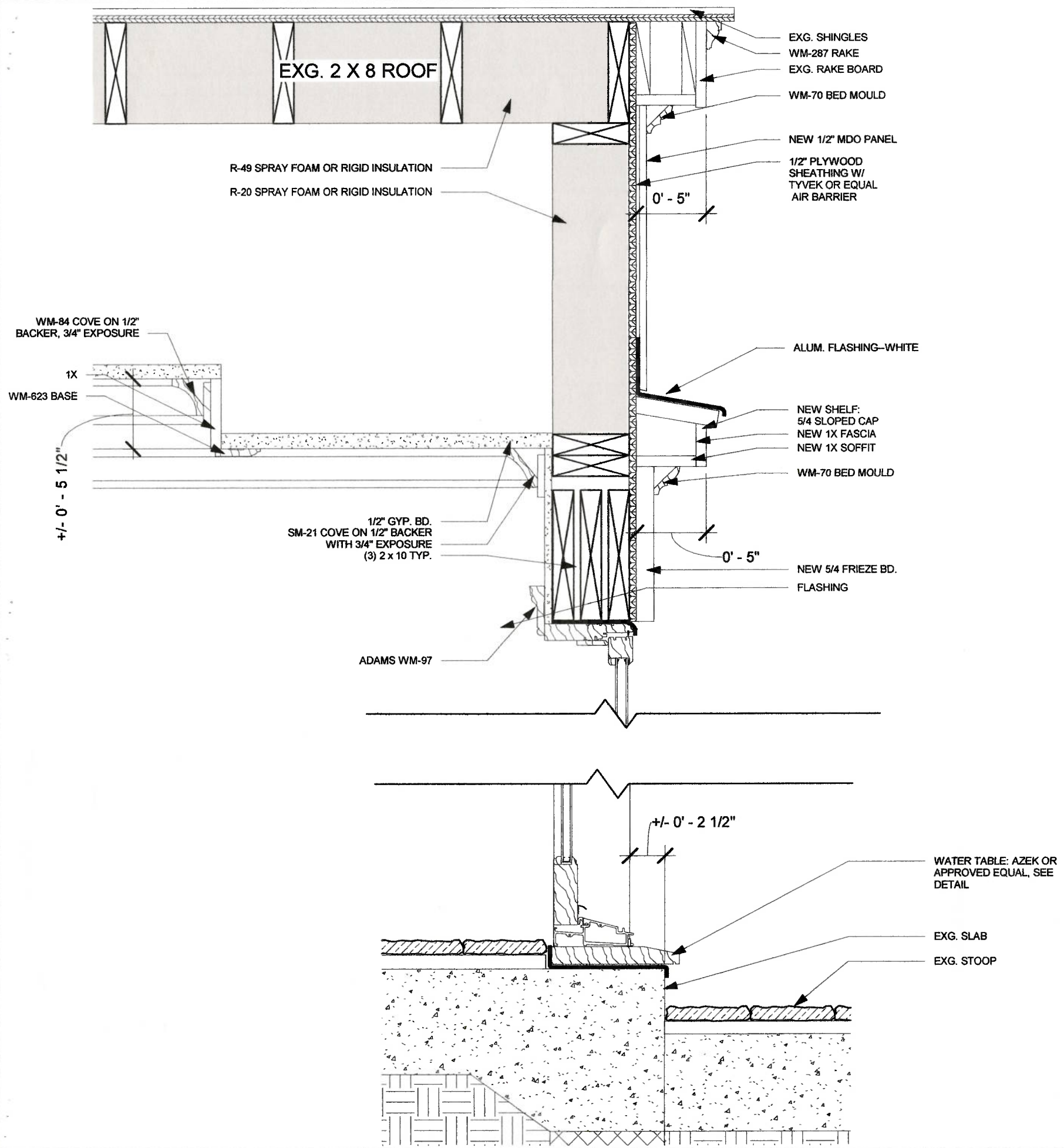
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra Heiler*

**REVIEWED**  
 By Dan.Bruechert at 12:28 pm, Sep 23, 2019

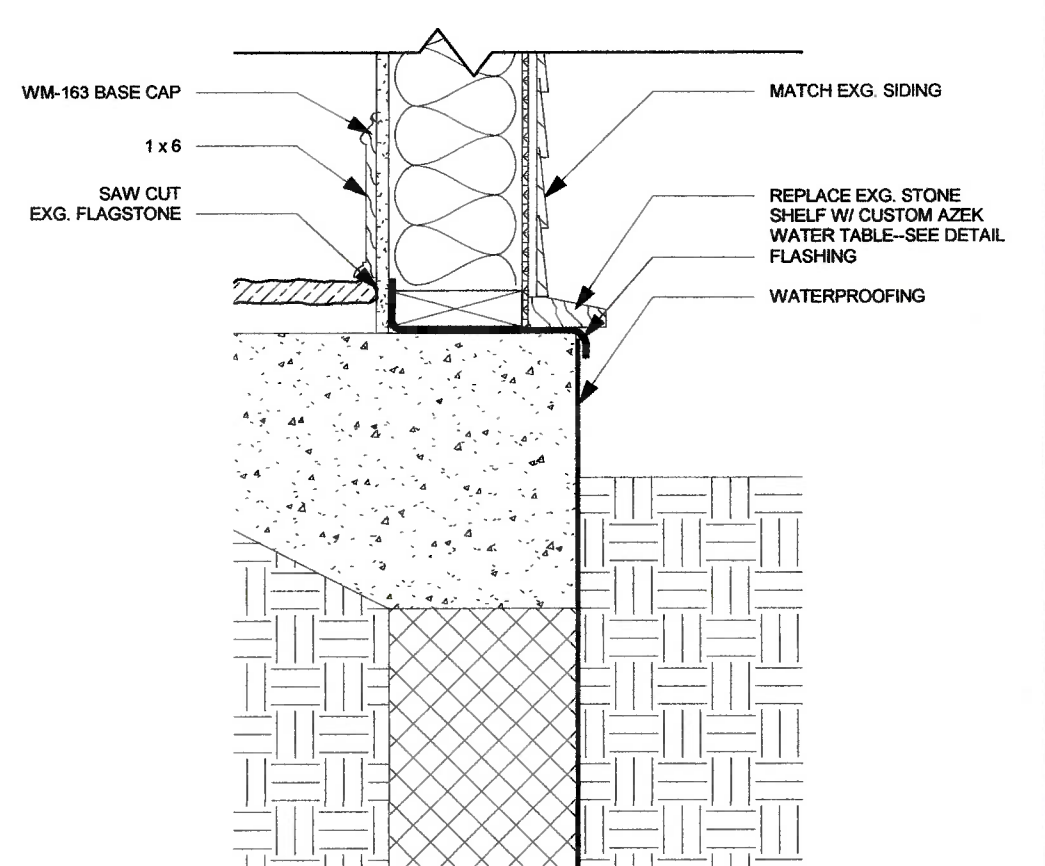
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**A400**

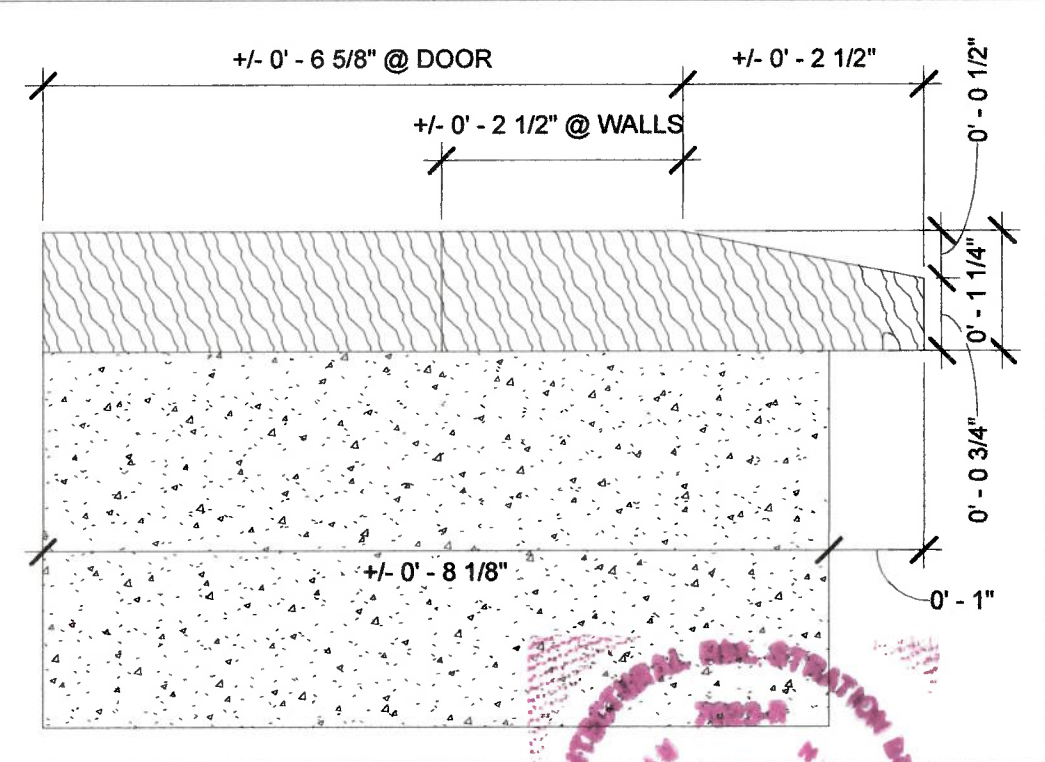




DOOR AND RAKE DETAIL 1 1/2"=1'-0" SCALE



FLASHING DETAIL 1 1/2"=1'-0" SCALE



CUSTOM WATER TABLE 6"=1'-0" SCALE

**RICHARD LEGGIN ARCHITECTS**  
 301-320-0107

MacArthur Plaza II, Suite #210  
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**Montgomery Residence**  
 24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

**DETAILS**

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**A500**

