



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: September 25, 2019

MEMORANDUM

TO: Hadi Mansouri
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #874011: Screened-in porch alterations and new construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 21, 2019 HPC meeting, with revisions approved at the September 11, 2019 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Katy and Bryan Anderson (Chris Snowber, Architect)
Address: 29 West Kirke Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



ABBREVIATIONS			
A.F.F.	Above finished floor	M.O.	Masonry Opening
act.	Actual	Mech.	Mechanical
A	Arc	mtl.	Metal
@	At	nat.	Natural
B.O.	Bottom of	nom.	Nominal
B.L.	Building line	N.I.C.	Not in contract
B.R.L.	Building Restriction Line	No.	Number
Cl.	Closet	O.C.	On Center
CL	Center line	Ptd	Painted
CMU	Concrete Masonry Unit	P.T.	Pressure Treated
C	Course-(s) (ing)	PL	Property Line
d	Diameter	qtr rnd	Quarter round
DW	Dishwasher	R	Radius
DN	Down	Ref. El.	Reference Elevation
DS	Downspout	Ref.	Refrigerator
Dwg.	Drawing	RX	Remove existing
Elec.	Electric	R	Riser
Elev.	Elevation	Rm	Room
Eq.	Equal	RR	Roof rafter(s)
ev	every	R.H.	Rough Head
Ext.	Existing	R.O.	Rough Opening
EX	Existing	s.h.	Sill height
Ext.	Exterior	sq.	square
ft.	feet	thru	Through
F.F.	Finished Floor	T.O.	Top of
FPHB	Frost Proof hose bib	T	Tread
Gyp. Bd.	Gypsum Board	Typ.	Typical
H	Height	U.N.O.	Unless noted otherwise
HVAC	Heating, Ventilation & Air Conditioning	V.I.F.	Verify in field
Int.	Interior	W	Width
Lvl.	Level	w/	with
LF	Linear feet	Wd.	Wood

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E102	Electrical Plans
E103	Electrical Plans
M100	Mechanical Specifications & Details
M101	Mechanical Plans
M102	Mechanical Plans
M103	Mechanical Plans
P100	Plumbing Specifications & Details
P101	Plumbing Plans
P102	Plumbing Plans
P103	Plumbing Plans
P104	Plumbing Plans

PROJECT TEAM
ARCHITECT:
Hamilton Snowber Architects
1711 Connecticut Avenue, NW
Suite #203
Washington, DC 20009
phone: 202-332-5416

ENGINEER:
Structural:
RESolutions Consulting Engineers
1001 Spring Street, Suite 227
Silver Spring, MD 20910
phone: 301-587-1777

GENERAL CONTRACTOR:
Zantinger, Inc.
5141 MacArthur Blvd, N.W.
Washington, D.C. 20016
phone: 202-363-8501

SCOPE
Existing 2-story + basement stucco residence with 2-story stucco rear addition to remain.

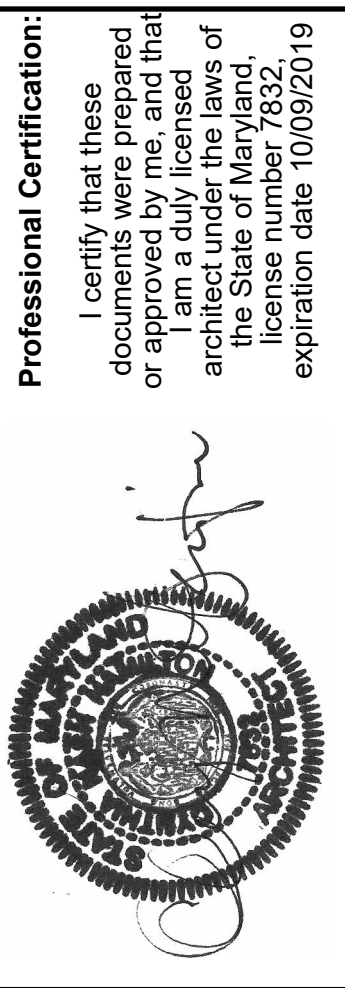
Renovation includes enclosure of existing west screened porch, removal of existing rear deck, construction of a new 1-story rear screened porch addition, rough-in for new bathroom at the attic level, and insulation of existing roof.

BUILDING CODE REVIEW
Residential Code: Montgomery County Code Chapter 8 - Buildings

- Building Code: 2015 International Residential Building Code
- Energy Code: 2015 International Energy Conservation Code
- Gas Code: 2015 International Fuel and Gas Code
- Mechanical Code: 2015 International Mechanical Code
- Electrical Code: NFPA 70 National Electrical Code
- Fire Code: 2013 NFPA 13D

GENERAL NOTES

- Occupancy During Construction:** The residence will be occupied during construction. Care shall be taken to keep the premises clean & safe at the close of each day's work. Close off hazardous areas when no workers are present. Keep the building & site free of accumulations of waste. Remove cartons, crates, wrappings, lunch trash & other trash daily. Smoking in residence is not permitted.
- Protection of Existing Conditions:** Protect and secure site, building, materials and equipment from theft, vandalism, and unauthorized entry. Protect work from damage during construction. Protect finished floors & stairs from dirt, wear & damage. Protect existing house from construction dust & debris & damage to the greatest extent possible.
- Verification of Existing Conditions:** It is the Contractor's responsibility to check, coordinate and verify all dimensions and construction details before starting work and report any discrepancies or omissions to the Architect. During construction the Contractor is responsible for properly laying out work and for lines, measurements and locations of work.
- Cleaning upon Completion of Work:** At the completion of work, the Contractor shall be responsible to clean areas of the house where work has been done thoroughly, including, but not limited to, the following items: all carpeted areas shall be vacuumed, all hard surfaced floors shall be mopped. All bathrooms & fixtures shall be cleaned. All windows shall be cleaned on the inside. All new windows shall be cleaned inside & out. All walls, inside & out, shall be dusted of construction dust. All new light fixtures shall be dusted.
- Demolition:** Carefully remove existing structures, materials, & items noted or required to be removed so as not to cause damage to adjacent surfaces or equipment. Take special care for items which are to be reused. All materials removed from the building or site shall become the property of the Contractor. All debris generated is to be removed from the building on a daily basis and either hauled away or stored in a dumpster. At completion of work, all damaged surfaces shall be restored to a first class condition. Repair areas damaged by demolition operations. All areas of renovation of existing conditions shall be finished to match existing, unless otherwise noted.
- Unforeseen Conditions:** Contractor shall promptly notify the Owner & Architect of any condition which requires the Contractor to perform work which could not have been reasonably ascertained from either the construction documents or inspection of existing conditions prior to commencement of work. If such condition is found to exist, the Contractor shall submit a Change Order for the remedying of the condition.
- Change Orders:** Before commencement of any work that makes changes to the contract sum or contract time, written authorization must be obtained from the architect. Work that proceeds without written authorization from the Architect is at the Contractor's own risk.
- Dimensions:** DO NOT SCALE SET DRAWINGS. Use figures given for dimensions. If necessary dimensions or items are missing, contact Architect for clarification & do not proceed on any work without correct & complete information. Work that is installed on the basis of incorrectly assumed dimensions may be subject to correction at Contractor's expense.
- Pre-Construction Meeting:** After the awarding of the contract, and prior to the start of construction, Contractor shall conduct a pre-construction meeting to review the drawings and notes in detail with the Architect and project Site Foreman.
- Shop Drawing/Order Review:** The following items will be required to be reviewed by the Architect prior to the ordering or fabrication of building elements:
Orders:
- Windows & Exterior Doors
- Interior Doors
Shop Drawings:
- Custom Cabinetry
- Custom run Mouldings
- Stairs & Associated Railings
- Screened Porch Railings
- Final HVAC Plans & Specifications from HVAC Subcontractor
The Architect will require up to two weeks of review time for each item. Contractor shall build review time into their schedule.
- Samples and Submittals:** Where required, the contractor shall submit samples for Architect and Owner's review and final approval. Contractor should allow for two weeks of review time on the Owner and Architect's part. Where required, the contractor shall submit samples for Architect and Owner's review and final approval. Contractor should allow for two weeks of review time on the Owner and Architect's part.
Samples:
- Exterior Stone
- Crown and Casing
- Paint
- V-Groove Plank Ceiling
- Stains



Anderson Residence
29 W. Kirke Street
Chevy Chase, MD 20815

DRAWING:	Cover Sheet
ISSUED:	12 August 2019
FOR PERMIT	
2019.08.26	HANP Revision

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Heiler

REVIEWED
By Michael Kyne at 1:19 pm, Sep 25, 2019

Anderson Residence

29 W. Kirke Street
Chevy Chase, MD 20815

Sheet C001

HAMILTON SNOWBER Architects
1711 Connecticut Ave NW
Washington, DC 20009
Telephone: 202.332.5416
info@hamiltonsnowber.com
www.hamiltonsnowber.com

Finish, Trim, Materials & Painting Schedule

Exterior Materials

Side Yard Stairs: Concrete stairs with 2" bluestone treads with flamed edges and parged risers.

Exterior Stairs: 5/4 x 6 lpe treads with painted risers.

Subfloor: 3/4" T&G Advantech subfloor glued and screwed.

5/4 x 6 lpe decking, open joint. Provide continuous mesh screen fabric directly below decking material. Fasten decking with hidden fasteners to P.T. lumber below. Location: First Floor Screened Porch.

Ipe Decking: Replace existing plank flooring and stair treads as needed at existing covered porch (front façade) with new mahogany sapele planks and treads to match existing. Ptd finish. Color: Match existing.

Sapele Flooring: Custom 2x4 cedar framing with WM-266 (1/4" x 1 1/2") lattice material under front porch. Location: Below screened porch addition and stairs. Refer to A200 and A400 Series elevations and details.

Lattice Panels: Random rectangular 1" thick flagstone on concrete. Match existing at west patio and walkway.

Flagstone: Stair treads to be 2" thick thermal edge. Locations: side yard stair treads. Review sample with Owner and Architect at least two weeks prior to installation.

Bluestone: Stone veneer with grapevine joint to match existing over CMU walls on concrete footings. Stone to be "Port Deposit" in color, grain, texture and sizes to match existing as closely as possible. See Structural Drawings.

Foundation walls: (1) wood-burning masonry firebox and chimney as detailed on floor plans and interior elevations.

Fireplace: Masonry chimney with 13" x 13" terra cotta clay flue liner. Exterior to be stucco. See details on sheet A404. Provide shop drawings for Architect to review.

Chimney: Match existing pebble dash stucco at locations indicated on drawings. For areas to receive stucco, provide adequate underlayment (masonry or self-furring lath for stud walls) for standard 3-coat stucco installation.

Stucco: Paneling: Painted PVC panels as shown on details. Locations: Office exterior wall.

Screened Porch: Custom painted wood or PVC frame and aluminum screen system. See A400 series for details.

Porch Columns: Custom PVC wrapped posts. See A400 series for enlarged plans and details.

Window Casing: 5/4 painted wood or PVC trim. See A400 series for wall section details.

Architectural Moldings: The term "wood" trim is used throughout to indicate places where wood, PVC, or Windsor One trim is to be used, at the discretion of the Contractor. See A400 series for wall section details of architectural moldings. Existing painted wood rake trim to remain. Contractor to replace rotted trim in-kind with wood or PVC material as required.

Soffit: Ptd. ceiling board to match existing. Locations: Existing 1st and 2nd floor eaves.

Eaves: Ptd. PVC crown molding. See A400 series for wall section details.

Roof Sheathing: Roof sheathing to be 5/8" Huber "Zip" roof system, or approved equivalent.

TPO Roofing: New TPO roofing to be installed on Office and Screened Porch roof. Architect and owner to select from manufacturer's full range of colors.

Copper: Copper to match existing at all window & door heads and sills, joints between TPO membrane & roof, roofing drip edges, valleys, all roof penetrations and as noted at locations shown on wall sections.

Flashings: Concealed copper gutters and 4" rectangular downspouts to match existing at Screened Porch, daylight to rear yard. See A400 series for wall sections. Roofing Contractor to confirm gutter and downspout sizing and locations and review with Architect prior to starting work.

Gutters & Downspouts: Custom painted mahogany sapele railing to match existing at new screened porch. Railings: Custom PVC wrapped posts and railing at new exterior stair. Refer to A200 and A400 series drawings for details.

Insulation Values and Door/Window Ratings

Insulation Values:

Location R-Value

Floor: R-30 min, 4.5-inches Icynene closed-cell sprayfoam insulation at First Floor Office. Floor insulation installed as per mnfr instructions, and substantial contact with underside of floor.

New Exterior Wall: R-21 min, 3-inches Icynene closed-cell sprayfoam insulation.

New Roof: R-49 min, 7-inches Icynene closed-cell sprayfoam insulation. Foam insulation to encapsulate bearing plates. Ceiling insulation installed per mnfr instructions.

All slab, wall and roof insulation to be installed per manufacturer's instructions. Air and thermal barrier are to be installed per manufacturer's instructions. Caulk and seal all wall/floor/ceiling framing connections at all new window jambs and framing for air infiltration.

Door and Window Ratings:

Location U-Value

Ext. Door U-factor: U-0.35 max.

Glazing U-factor: U-0.35 max.

Glazing SHGC Value: SHGC: 0.19 Low-E 366 insulated clear double glazing.

Fenestration U-factor: U-Value 0.55 max.

Fenestration is required to meet AAMA/WDMA/CSA 101/1.S.2/A440.

Acoustical Insulation

Bath 5: Where bathroom partition abuts an interior space, apply mass loaded vinyl barrier to the exterior face of the bathroom partition and full-height sound batt insulation between the studs.

Windows and Doors

See Door & Window Schedule on Sheet C003.

Interior Trim & Material

For pricing purposes, assume the following: Match Existing U.N.O.

Screened Porch Fireplace Mantel: Salvaged rough-hewn wood. Provide allowance.

Screen Porch Ceiling: 5 1/2" V-groove ceiling, stained wood. Color: TBD.

Miscellaneous Trim: See A500 for schedules and details for all interior trim. Contractor to mock up all trims for Owner and Architect to review. Assume 3'-0" corner for all trim. Match ex. where noted.

Door & Window New Door Casings: Match existing.

Casings: New window casings: Match existing.

Plinth Blocks: Match existing.

Stools & Skirt: All windows: 1 1/16" Stool with eased edge.

Baseboard: Location: Office. Match existing at East Mudroom.

Interior Paneling: Provide allowance for material and installation of custom paneling at Office and Screened Porch as indicated on interior elevations.

Gypsum Board: 1/2" gypsum board at all new walls and ceilings, unless otherwise indicated. Use 1/2" WP gyp. bd. at all bathrooms. Install using industry standard techniques and accessories. Storage areas to be taped and finished to Level 2 finish only. All other areas to be taped and finished to Level 4 finish.

Flooring

New Hardwood: 3 1/8" Tongue and groove vertical grain Douglas Fir flooring to match existing in main house. Location: Office. Provide 3 stain samples. Place stain samples on area encompassing both existing and new flooring, if applicable. Finish w/ 2 coats of polyurethane. Review finish coat options with Owner prior to beginning work. Use flush thresholds at joints between change in flooring direction.

Tile and Stone

Stone Surround and Hearth: Provide allowance for stone hearth at Screened Porch fireplace. For allowance purposes, assume limestone. Final selection by Owner.

Painting

Paint all exterior trim, railings, doors and wood casings affected by new work and repairs.

Exterior Painting: Prime + (2) coats on all new work. All paints by Benjamin Moore, PPG or equal. Use premium quality acrylic paint on trim, and doors.

Paint all new walls, doors, trims and ceilings throughout. Use premium quality oil pain on trim.

Prime + (2) coats on new and existing work with premium quality paints (Benjamin Moore). Use low VOC or no VOC paints like Benjamin Moore's Aura and Natura paints (or equal).

Interior Painting: Colors to be reviewed with owner at least two weeks prior to starting of work to allow time for samples to be put up and reviewed by Owner. Provide minimum of two sample colors per room.

Stain and clear wood finish to be coordinated with Architect.

Custom Cabinetry

Cabinets: Provide allowance prices to supply, install and finish custom cabinetry as shown on drawings and listed on sheet A610. Allowance to include hardware (finish and hinge), accessories noted on the drawings and finishing (paint or stain). Architect to provide final drawings to cabinet maker for the use in preparing final cabinetry shop drawings.

Plumbing: See P100-Series sheets for further notes.

General Notes: Existing gas fired boiler and radiator system, located in basement, to remain.

Heating: Provide new cast iron baseboard radiators as shown at First Floor Office.

All Fixtures: Contractor to provide rough-in only, for future installation of plumbing fixtures.

Hot water piping: Insulate all hot water pipes with pre-formed foam sleeves. Min. R-3 insulation value.

HVAC: See M100-Series sheets for further notes.

General Notes: Existing high-velocity A/C system, located at attic, to remain. Existing forced air heating and A/C, located at basement, to remain.

New: Provide proposal for the following: First Floor Office, Attic Existing Basement and Attic AC systems to remain. Modify as required to serve reconfigured Attic spaces and First floor Office. Reuse existing ductwork where feasible. Ductwork to be augmented for new spaces.

Electrical: See E100-Series sheets for further notes.

General Notes: provide material allowance for all fixtures shown on plans and indicated in lighting schedule.

Audio & Visual: N.I.C. Coordinate with Owner's AV representative.

PRESCRIPTIVE Requirements WORKSHEET (R-Values) (Method 1, Option 1)

Applicant Name Katy and Bryan Anderson
 Date 08/12/2019
 Applicant Address 29 W. Kirke Street, Chevy Chase, MD 20815
 Phone Number 240-422-0536
 Building Address 29 W. Kirke Street, Chevy Chase, MD 20815 Permit (A/P) # 886100

Criteria	Required	Provided	Assembly Description
Windows/Doors - Maximum U-Factor	.35	0.28	Jeld-Wen Low-E 366 insulated glazing.
Max SHGC - glazed fenestration	0.40	0.19	
Skylights - Maximum U-Factor	.55	-	Existing to remain.
Max SHGC	0.40	-	
Ceilings	R-49	R-49	Closed-Cell sprayfoam insulation.
Walls (wood framing)	R-20 or 13+5	R-21	Closed-Cell sprayfoam insulation.
Mass Walls	*R-8/13	-	Existing to remain.
Basement Walls	*R-10/13	-	Existing to remain.
Floors	R-19	R-30	Closed-Cell sprayfoam insulation.
Slab perimeter- R-value and Depth	R-10, 2ft	-	Existing to remain.
Crawlspace	*R-10/13	-	Existing to remain.

Insulation material used in layers, such as framing cavity insulation and insulating sheathing, shall be summed to compute the component R-value.

***The first R-value** applies to continuous insulation, the second to framing cavity insulation. *10/13 means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall.

****The second R-value** applies when more than half the insulation is on the interior of the mass wall.

Thermally Isolated Sunroom. Check box if applicable.

Minimum Ceiling R-Value for Sunroom (R-19)
 Minimum Wall R-Value (R-13)

New wall(s) separating a sunroom from conditioned space shall meet the building thermal envelope requirements.

I hereby certify that the building design represented in the attached construction documents has been designed to meet or exceed the requirements of:

x 2015 Edition International Energy Conservation Code (IECC)

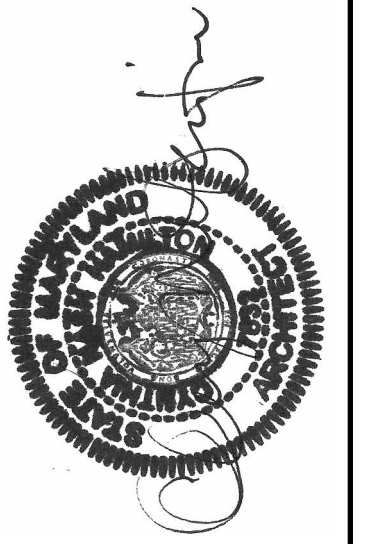
Christopher Snowber Hamilton Snowber Architects 08/12/2019
 Builder/Designer/Contractor Company Name Date

² Section R103.3.1 "Documents shall be endorsed and stamped "Reviewed for Code Compliance." Section R103.3.3 provides provision for *Phased Approval*. "The code official shall have the authority to issue a permit for the construction of part of an energy conservation system before the construction documents for the entire system have been submitted or approved, provided adequate information and detailed statements have been filed complying with all pertinent requirements of this code. The holders of such permit shall proceed at their own risk without assurance that the permit for the entire energy conservation system will be granted."

APPROVED
 Montgomery County
 Historic Preservation Commission


REVIEWED
 By Michael Kyne at 1:19 pm, Sep 25, 2019

Professional Certification:
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, expiration date 10/09/2019



Anderson
 Residence
 29 W. Kirke Street
 Chevy Chase, MD 20815

DRAWING: Project Info., Specifications, and Schedules
 ISSUED: 12 August 2019 FOR PERMIT

2019.08.26 HANP Revision

Sheet
C002

HAMILTON
 SNOWBER
 Architects
 1711 Connecticut Ave NW
 Washington, DC 20009
 Telephone: 202.332.5446
 info@hamiltonsnowber.com
 www.hamiltonsnowber.com

LINE OF EX. ROOF ABOVE.

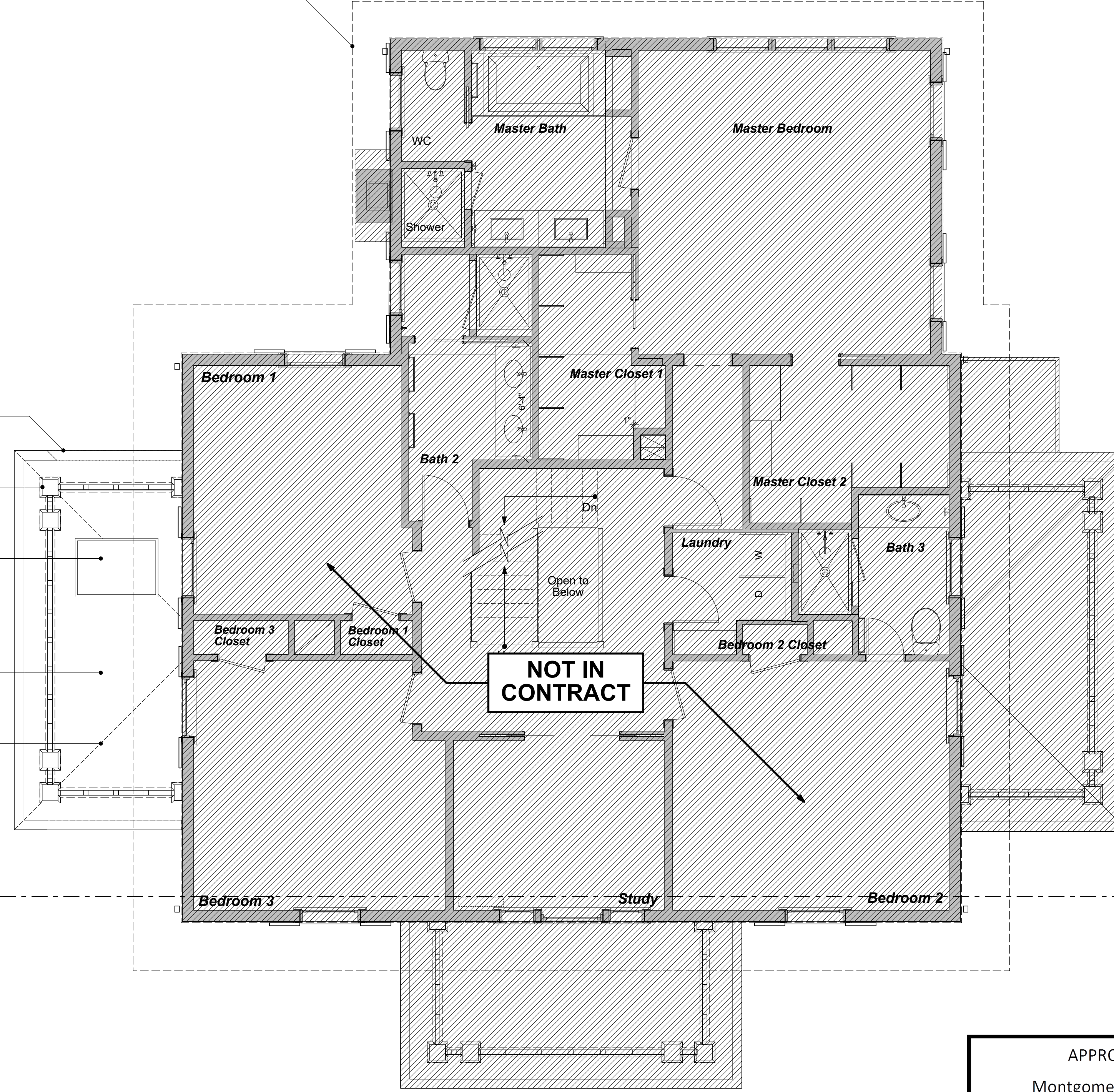
REMOVE EX. INTEGRAL GUTTER.

EX. POSTS AND RAILING TO REMAIN.

EX. FIXED SKYLIGHT TO REMAIN.

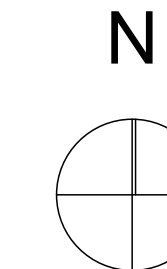
EX. ROOF FRAMING TO REMAIN.

REMOVE EX. FLAT SEAM COPPER ROOF. PREP TO RECEIVE NEW ROOFING. REFER TO SPECS ON SHEET C002.



NOT IN CONTRACT

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler



1 SECOND FLOOR Demolition Plan

SCALE: 1/4" = 1'-0"

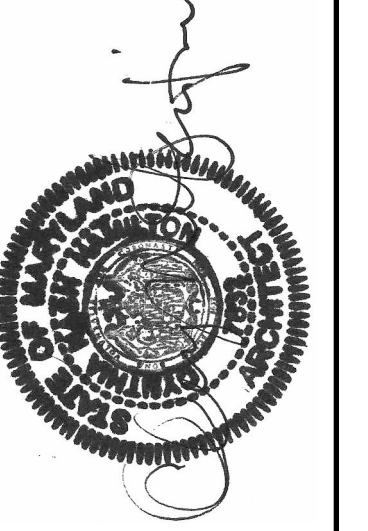
REVIEWED
By Michael Kyne at 1:20 pm, Sep 25, 2019

- GENERAL NOTES**
1. General Contractor is responsible for all construction means and methods, job safety, and conformance to codes.
 2. General Contractor shall bring to Architect's attention discrepancies between field conditions and drawing intent.
 3. Remove all unused electrical, telephone and data lines where accessible and properly terminate.
 4. Locate all water shut-off valves & cut off to all plumbing fixtures to be demolished.
 5. Contractor to remove and cap supply, vent, and waste lines in walls to be demolished.
 6. General Contractor to confirm with Owner prior to any shrubbery or plant removal.

- DEMOLITION LEGEND**
- EXISTING WALL TO REMAIN
 - //// WALL TO BE REMOVED
 - (R) DOOR TO BE REMOVED/REUSED
 - (R) WINDOW TO BE REMOVED

- DEMOLITION NOTES**
1. NOT USED.

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 1000000000, expiration date 10/09/2019



Anderson
Residence
29 W. Kirke Street
Chevy Chase, MD 20815

DRAWING: Demolition Plan
ISSUED: 12 August 2019
2019.08.26 | HANP Revision FOR PERMIT

Sheet
D103

HAMILTON
SNOWBER
Architects
1711 Connecticut Ave NW
Washington, DC 20009
Telephone: 202.332.5446
info@hamsnowber.com
www.hamsnowber.com

NOTE: All interior walls are wall type 4, U.N.O.

ID	Description
2.1	2x4 woods studs @ 16" o.c. laid flat with 1/2" GWB, one side only.
2.2	2x4 woods studs @ 16" o.c. laid flat with 1/2" GWB, one side only. Custom paneling.
4	2x4 wood studs @ 16" o.c. with 1/2" GWB, each side, typ.
4.1	2x4 wood studs @ 16" o.c. with 1/2" GWB, each side, typ. R-13 unfaced fiberglass batt insulation.
4.2	2x4 wood studs @ 16" o.c. with 1/2" GWB one side only.
E1	6" stone veneer over 8" CMU block wall.
E2	1/2" PVC panel over membrane air barrier over 1/2" plywood sheathing over 2x6 wood studs at 16" o.c. over 1/2" GWB at interior. Insulate cavity fully as specified on Cover Sheet. Reference wall details.
E3	1/2" PVC panels over 1/4" PVC board over membrane air barrier over 1/2" plywood sheathing over 2x6 wood studs at 16" o.c. with 1/2" GWB at interior. Insulate cavity fully as specified on Cover Sheet. Reference wall details.
E4	7/8" Stucco with EIFS over Tyvek Stucco wrap over 1/2" plywood sheathing over 2x4 wood studs @ 16" o.c., laid flat.
E5	7/8" Stucco with EIFS over Tyvek Stucco wrap over 1/2" plywood sheathing over 2x4 wood studs @ 16" o.c.

LINE OF NEW STAIRS ABOVE.

OPERABLE LATTICE DOORS FOR ACCESS TO STORAGE.

NEW GRAVEL BED BELOW DECK.

NEW CONC. STAIR WITH BLUESTONE TREADS AND PARGED RISERS.

NEW 6X6 PT. TIE RETAINING WALL.

PARGED CMU.

LINE OF EX. FOOTING BELOW.

NEW WD. LATTICE TO MATCH EX. TYP AT NEW SCREENED PORCH.

NEW STONE PIERS WITH STONE VENEER, TYP.

PARGED CMU.

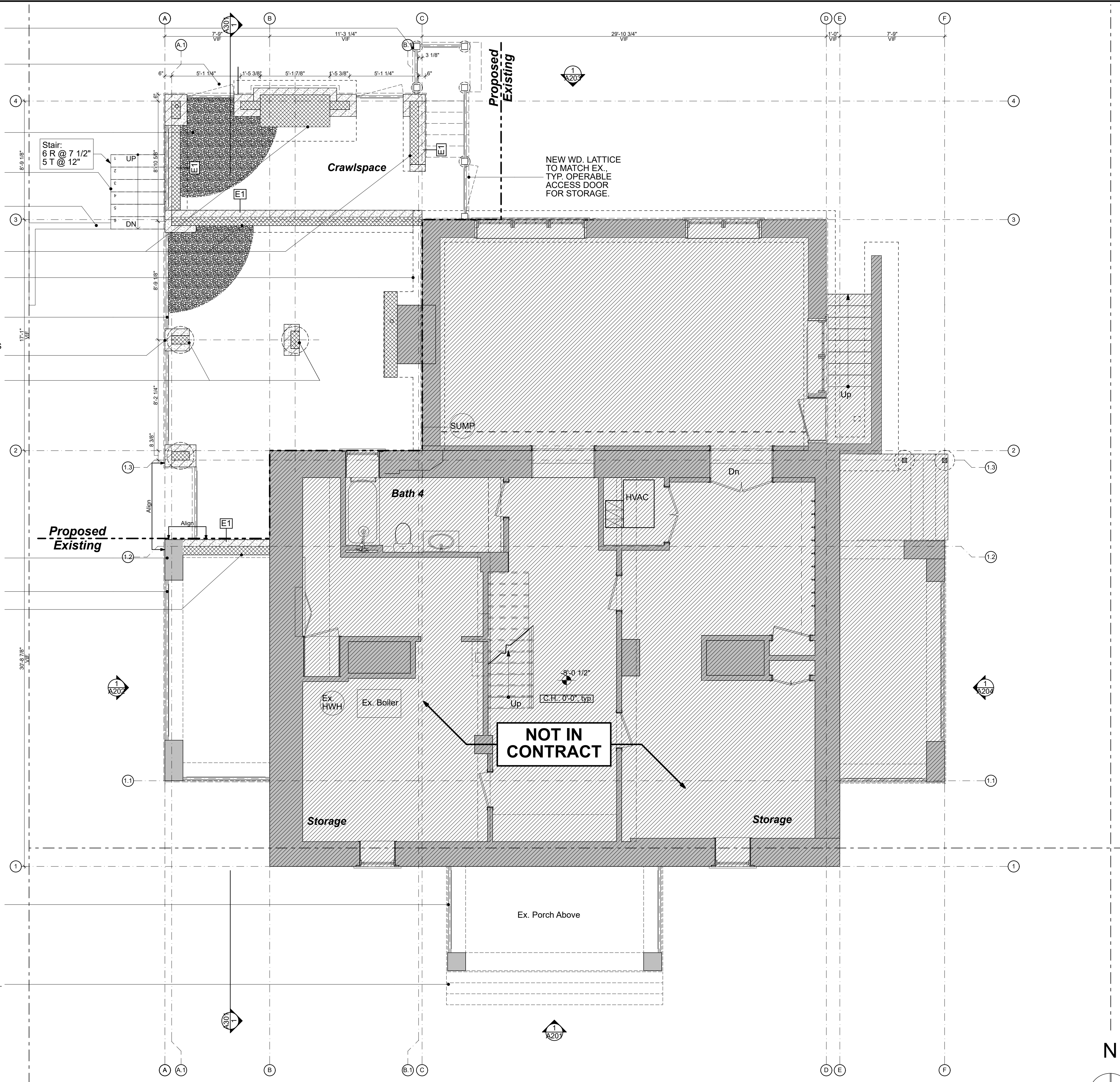
EX. STONE PIERS TO REMAIN.

EX. WD. LATTICE TO REMAIN.

PARGED CMU.

EX. WD. LATTICE TO REMAIN.

EX. STAIRS ABOVE.



REVIEWED
By Michael Kyne at 1:20 pm, Sep 25, 2019

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Heiler

1 BASEMENT FLOOR Construction Plan
SCALE: 1/4" = 1'-0"

DIMENSIONING CONVENTIONS

Plan:
 - Exterior dimensions are taken from exterior face of foundation.
 - Interior dimensions are from face of stud.
 - In ex conditions, dimensions are from face of finish.
 - Window and door dimensions are from face of stud to opening center lines, U.N.O.
 - Cased opening dimensions given are finished dimensions.

Elevations and Sections:
 - Floor elevations are rough floor (top of plywood subfloor).
 - Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
 - Window & door rough heads are from rough floor to top of rough opening. Rough sills are then determined from the window schedule.

NOTE: See wall sections for relationship between face of sheathing and face of masonry foundation. Relationship may not be consistent from wall to wall.

CONSTRUCTION LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW TO REMAIN
	NEW WINDOW
	DOWNSPOUT
	CENTER LINE
	DIMENSION REGULATING LINE
	ELEVATION MARKER
	SECTION MARKER
	DETAIL MARKER
	INTERIOR ELEVATION MARKER
	ROUGH FLOOR HEIGHT MARKER
	FINISH CEILING HEIGHT MARKER
	FINISHES ALIGNMENT INDICATOR
	CHANGE IN FLOOR/CLG LEVEL
	ROUGH DIMENSIONS
	FINISH DIMENSIONS
	NOTES
	STAIR TAG

CONSTRUCTION NOTES

1. Contractor to reference A600 series Finish Plans for interior elevation references, floor materials, material transitions, general finishes, and cabinetry locations.

Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 1000000000, expiration date 10/09/2019.

Anderson Residence
29 W. Kirke Street
Chevy Chase, MD 20815

DRAWING: Construction Plan
ISSUED: 12 August 2019
2019.08.26 HANP Revision

NO.	DESCRIPTION	DATE

Sheet A101

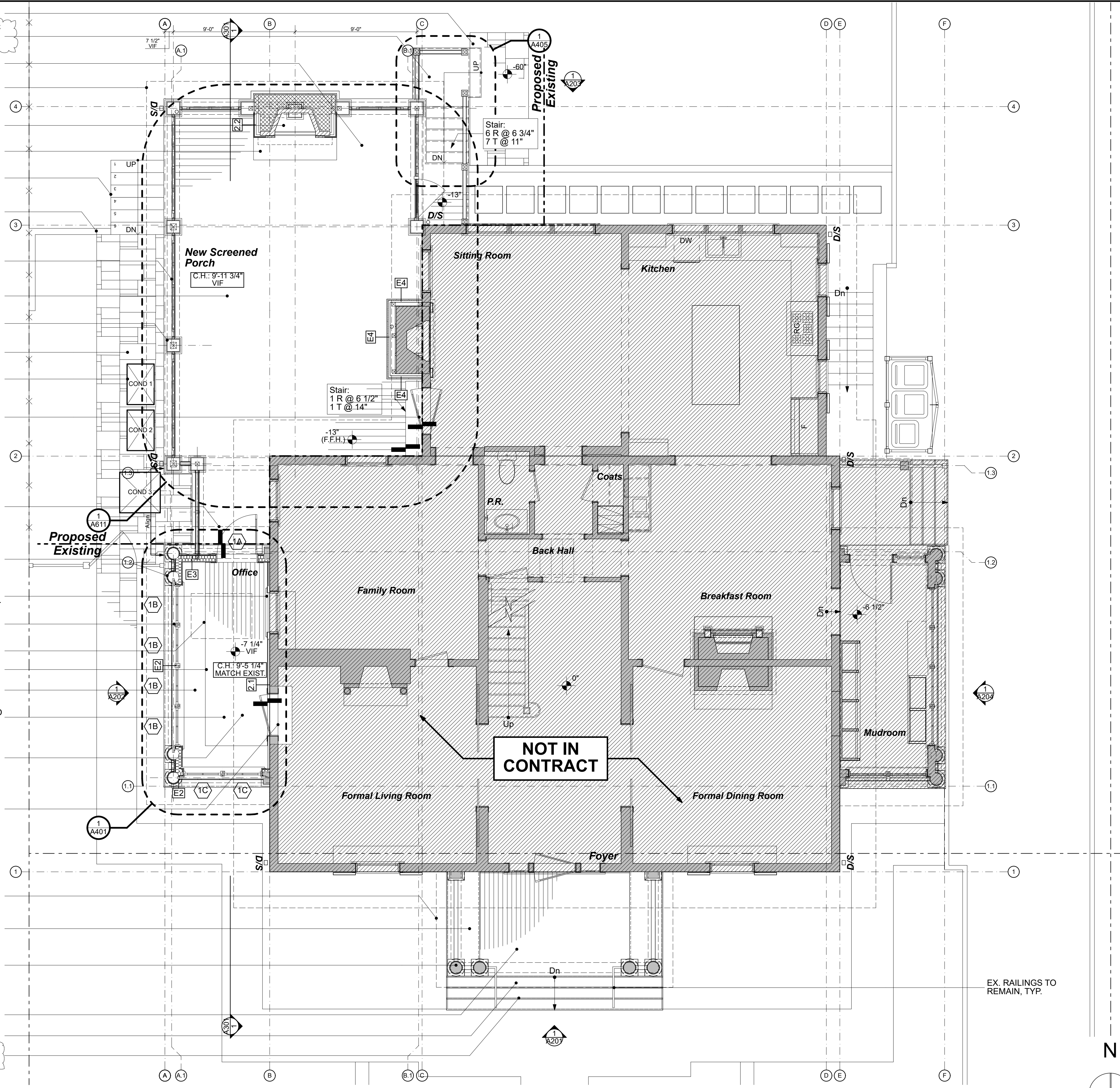
HAMILTON
SNOWBER
Architects

1711 Connecticut Ave NW
Washington, DC 20009
Telephone: 202.332.5446
info@hiltonsnowber.com
www.hiltonsnowber.com

NOTE: All interior walls are wall type 4, U.N.O.

ID	Description
2.1	2x4 woods studs @ 16" o.c. laid flat with 1/2" GWB, one side only.
2.2	2x4 woods studs @ 16" o.c. laid flat with 1/2" GWB, one side only. Custom paneling.
4	2x4 wood studs @ 16" o.c. with 1/2" GWB, each side, typ.
4.1	2x4 wood studs @ 16" o.c. with 1/2" GWB, each side, typ. R-13 unfaced fiberglass batt insulation.
4.2	2x4 wood studs @ 16" o.c. with 1/2" GWB one side only.
E1	6" stone veneer over 8" CMU block wall.
E2	1/2" PVC panel over membrane air barrier over 1/2" plywood sheathing over 2x6 wood studs at 16" o.c. over 1/2" GWB at interior. Insulate cavity fully as specified on Cover Sheet. Reference wall details.
E3	1/2" PVC panels over 1/4" PVC board over membrane air barrier over 1/2" plywood sheathing over 2x6 wood studs at 16" o.c. with 1/2" GWB at interior. Insulate cavity fully as specified on Cover Sheet. Reference wall details.
E4	7/8" Stucco with EIFS over Tyvek Stucco wrap over 1/2" plywood sheathing over 2x4 wood studs @ 16" o.c., laid flat.
E5	7/8" Stucco with EIFS over Tyvek Stucco wrap over 1/2" plywood sheathing over 2x4 wood studs @ 16" o.c.

STONE SLAB ON STONE DUST.
NEW WD. AND PVC STAIRS AND RAILING.
NEW SCREENED PORCH.
LINE OF ROOF ABOVE.
NEW MASONRY FIREPLACE.
STONE HEARTH.
NEW CONC. STAIR WITH BLUESTONE TREADS AND PARGED RISERS.
NEW 6X6 PT. TIE RETAINING WALL.
NEW WD. RAILINGS @ 36"; REFER TO ELEVATIONS.
WD. V-GROOVE CEILING.
NEW PVC WRAPPED COLUMNS.
REPAIR FLAGSTONE PATIO, MATCH EX.
EX. HVAC EQUIP. TO REMAIN.
PROVIDE NEW STORM DOOR.
LINE OF EX. ROOF ABOVE.
SPLIT AND REINSTALL EX. WD. COLUMNS.
NEW CASING AND SILL TO MATCH EX.
NEW WD. RAILING BELOW TO MATCH EX. REFER TO ELEVATIONS.
EX. SKYLIGHT TO REMAIN.
NEW PTD. GWB CEILING.
CUSTOM CABINETRY.
EX. SCREENED PORCH ENCLOSED WITH NEW WD. WINDOWS.
NEW WOOD FLOOR TO MATCH EX. OVER SUBFLOOR.
REINSTALL SALVAGED DOOR. REVERSE SWING.
LINE OF EX. ROOF ABOVE.
REPLACE EX. SUPPORT BRACKET AT EX. WD. BENCH.
EX. COLUMNS TO REMAIN.
NEW PTD. WD. FLOORING.
NEW PTD. WD. TREADS.
NEW PTD. PVC RISERS.



DIMENSIONING CONVENTIONS
Plan:
 - Exterior dimensions are taken from exterior face of foundation.
 - Interior dimensions are from face of stud.
 - In ex conditions, dimensions are from face of finish.
 - Window and door dimensions are from face of stud to opening center lines, U.N.O.
 - Cased opening dimensions given are finished dimensions.
Elevations and Sections:
 - Floor elevations are rough floor (top of plywood subfloor).
 - Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
 - Window & door rough heads are from rough floor to top of rough opening. Rough sills are then determined from the window schedule.
NOTE: See wall sections for relationship between face of sheathing and face of masonry foundation. Relationship may not be consistent from wall to wall.

CONSTRUCTION LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW TO REMAIN
	NEW WINDOW
	DOWNSPOUT
	CENTER LINE
	DIMENSION REGULATING LINE
	ELEVATION MARKER
	SECTION MARKER
	DETAIL MARKER
	INTERIOR ELEVATION MARKER
	ROUGH FLOOR HEIGHT MARKER
	FINISH CEILING HEIGHT MARKER
	FINISHES ALIGNMENT INDICATOR
	CHANGE IN FLOOR/CLG LEVEL
	ROUGH DIMENSIONS
	FINISH DIMENSIONS
	NOTES
	STAIR TAG

CONSTRUCTION NOTES
 1. Contractor to reference A600 series Finish Plans for interior elevation references, floor materials, material transitions, general finishes, and cabinetry locations.

Professional Certification:
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10092019, expiration date 10/09/2019.

Anderson Residence
 29 W. Kirke Street
 Chevy Chase, MD 20815

DRAWING: Construction Plan
ISSUED: 12 August 2019
 2019.08.26 | HANP Revision

NO.	DESCRIPTION	DATE

REVIEWED
 By Michael Kyne at 1:20 pm, Sep 25, 2019

APPROVED
 Montgomery County
 Historic Preservation Commission

1 FIRST FLOOR Construction Plan
 SCALE: 1/4" = 1'-0"

Sheet A102

HAMILTON SNOWBER Architects
 1711 Connecticut Ave NW
 Washington, DC 20009
 Telephone: 202.332.5446
 info@hiltonsnowber.com
 www.hiltonsnowber.com

NOTE: All interior walls are wall type 4, U.N.O.

ID	Description
2.1	2x4 woods studs @ 16" o.c. laid flat with 1/2" GWB, one side only.
2.2	2x4 woods studs @ 16" o.c. laid flat with 1/2" GWB, one side only. Custom paneling.
4	2x4 wood studs @ 16" o.c. with 1/2" GWB, each side, typ.
4.1	2x4 wood studs @ 16" o.c. with 1/2" GWB, each side, typ. R-13 unfaced fiberglass batt insulation.
4.2	2x4 wood studs @ 16" o.c. with 1/2" GWB one side only.
E1	6" stone veneer over 8" CMU block wall.
E2	1/2" PVC panel over membrane air barrier over 1/2" plywood sheathing over 2x6 wood studs at 16" o.c. over 1/2" GWB at interior. Insulate cavity fully as specified on Cover Sheet. Reference wall details.
E3	1/2" PVC panels over 1/4" PVC board over membrane air barrier over 1/2" plywood sheathing over 2x6 wood studs at 16" o.c. with 1/2" GWB at interior. Insulate cavity fully as specified on Cover Sheet. Reference wall details.
E4	7/8" Stucco with EIFS over Tyvek Stucco wrap over 1/2" plywood sheathing over 2x4 wood studs @ 16" o.c., laid flat.
E5	7/8" Stucco with EIFS over Tyvek Stucco wrap over 1/2" plywood sheathing over 2x4 wood studs @ 16" o.c.

LINE OF NEW ROOF BELOW. NEW MASONRY FIREPLACE, CHIMNEY, AND FLUE.

LINE OF EX. ROOF ABOVE. MODIFY EX. DOWNSPOUT TO TERMINATE ABOVE NEW PORCH ROOF.

NEW INTERNAL GUTTER AND DOWNSPOUTS. REFER TO A400 SERIES DETAILS.

NEW TPO MEMBRANE. REF. TO SPECS ON SHEET C002 AND DETAILS ON A400 SERIES.

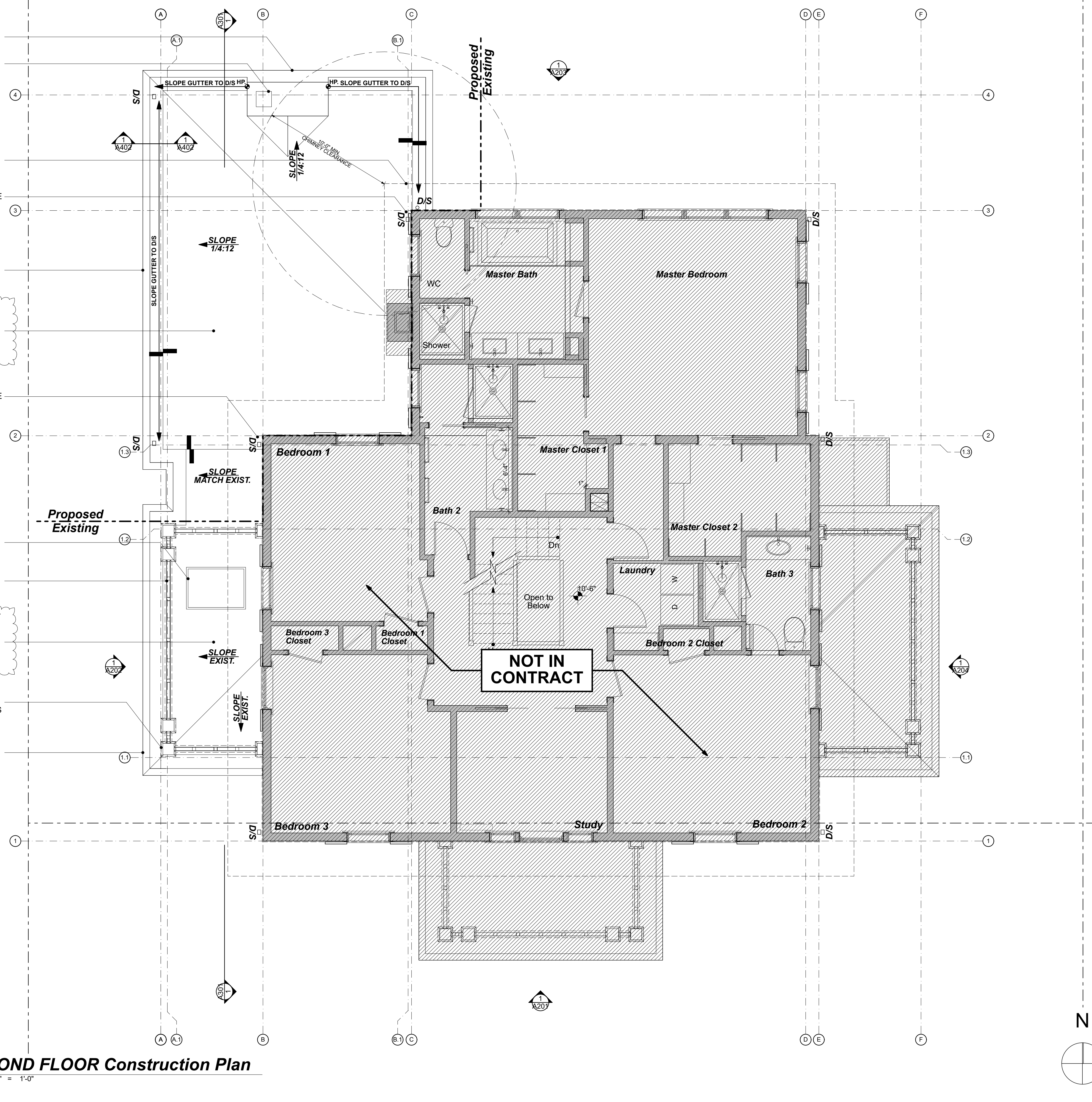
MODIFY EX. DOWNSPOUT TO TERMINATE ABOVE NEW PORCH ROOF.

EX. SKYLIGHT TO REMAIN. EX. PTD. WD. RAILING TO REMAIN; REPLACE ROTTEN HANDRAILS NECESSARY.

REPLACE EX. FLAT SEAM COPPER ROOFING WITH NEW TPO MEMBRANE. REF. TO SPECS ON SHEET C002.

EX. PTD. WD. POSTS TO REMAIN; REPLACE ROTTEN POSTS AS NECESSARY.

REPAIR AND PAINT EX. EAVE AS NECESSARY. REPLACE ROTTEN WOOD IN KIND.



NOT IN CONTRACT

REVIEWED
By Michael Kyne at 1:20 pm, Sep 25, 2019

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler

1 SECOND FLOOR Construction Plan
SCALE: 1/4" = 1'-0"

DIMENSIONING CONVENTIONS

Plan:
- Exterior dimensions are taken from exterior face of foundation.
- Interior dimensions are from face of stud.
- In ex conditions, dimensions are from face of finish.
- Window and door dimensions are from face of stud to opening center lines, U.N.O.
- Cased opening dimensions given are finished dimensions.

Elevations and Sections:
- Floor elevations are rough floor (top of plywood subfloor).
- Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
- Window & door rough heads are from rough floor to top of rough opening. Rough sills are then determined from the window schedule.

NOTE: See wall sections for relationship between face of sheathing and face of masonry foundation. Relationship may not be consistent from wall to wall.

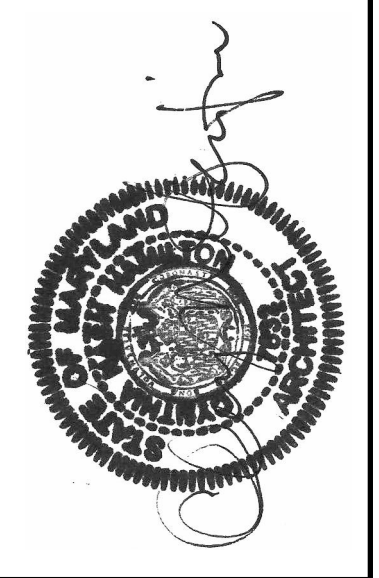
CONSTRUCTION LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- DOWNSPOUT
- CENTER LINE
- DIMENSION REGULATING LINE
- ELEVATION MARKER
- SECTION MARKER
- DETAIL MARKER
- INTERIOR ELEVATION MARKER
- ROUGH FLOOR HEIGHT MARKER
- FINISH CEILING HEIGHT MARKER
- FINISHES ALIGNMENT INDICATOR
- CHANGE IN FLOOR/CLG LEVEL
- ROUGH DIMENSIONS
- FINISH DIMENSIONS
- NOTES
- STAIR TAG

CONSTRUCTION NOTES

1. Contractor to reference A600 series Finish Plans for interior elevation references, floor materials, material transitions, general finishes, and cabinetry locations.

Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, expiration date 10/09/2019

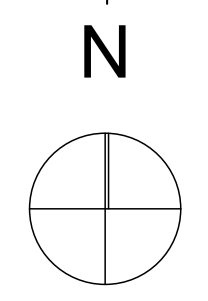


Anderson Residence
29 W. Kirke Street
Chevy Chase, MD 20815

DRAWING: Construction Plan
ISSUED: 12 August 2019
2019.08.26 HANP Revision FOR PERMIT

Sheet A103

HAMILTON SNOWBER Architects
1711 Connecticut Ave NW
Washington, DC 20009
Telephone: 202.332.5446
info@hamsnowber.com
www.hamsnowber.com



NOTE: All interior walls are wall type 4, U.N.O.

ID	Description
2.1	2x4 woods studs @ 16" o.c. laid flat with 1/2" GWB, one side only.
2.2	2x4 woods studs @ 16" o.c. laid flat with 1/2" GWB, one side only. Custom paneling.
4	2x4 wood studs @ 16" o.c. with 1/2" GWB, each side, typ.
4.1	2x4 wood studs @ 16" o.c. with 1/2" GWB, each side, typ. R-13 unfaced fiberglass batt insulation.
4.2	2x4 wood studs @ 16" o.c. with 1/2" GWB one side only.
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E2	1/2" PVC panel over membrane air barrier over 1/2" plywood sheathing over 2x6 wood studs at 16" o.c. over 1/2" GWB at interior. Insulate cavity fully as specified on Cover Sheet. Reference wall details.
E3	1/2" PVC panels over 1/4" PVC board over membrane air barrier over 1/2" plywood sheathing over 2x6 wood studs at 16" o.c. with 1/2" GWB at interior. Insulate cavity fully as specified on Cover Sheet. Reference wall details.
E4	7/8" Stucco with EIFS over Tyvek Stucco wrap over 1/2" plywood sheathing over 2x4 wood studs @ 16" o.c., laid flat.
E5	7/8" Stucco with EIFS over Tyvek Stucco wrap over 1/2" plywood sheathing over 2x4 wood studs @ 16" o.c.

LINE OF NEW ROOF BELOW.

NEW OPEN-CELL SPRAY FOAM INSULATION AT ROOF. TYP. REFER TO SPECIFICATIONS ON SHEET C002.

EX ROOF. GUTTERS, AND DOWNSPOUTS TO REMAIN.

LINE OF ROOF BELOW.

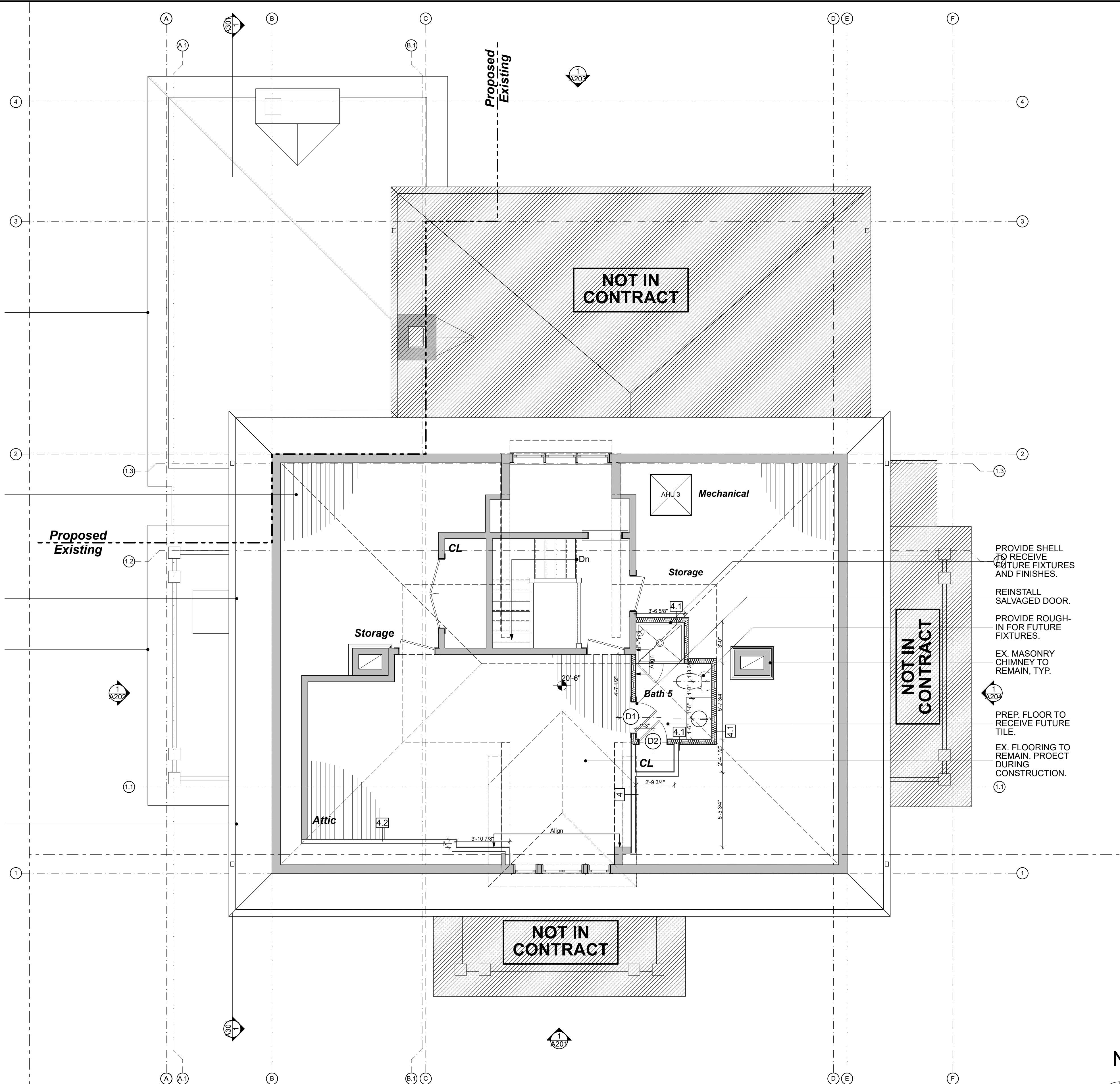
REPAIR AND PAINT EX. EAVE. REPLACE ROTTEN WOOD IN KIND.

REVIEWED
By Michael Kyne at 1:20 pm, Sep 25, 2019

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Skiles

1 ATTIC FLOOR Construction Plan
SCALE: 1/4" = 1'-0"



DIMENSIONING CONVENTIONS

Plan:
- Exterior dimensions are taken from exterior face of foundation.
- Interior dimensions are from face of stud.
- In ex conditions, dimensions are from face of finish.
- Window and door dimensions are from face of stud to opening center lines, U.N.O.
- Cased opening dimensions given are finished dimensions.

Elevations and Sections:
- Floor elevations are rough floor (top of plywood subfloor).
- Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
- Window & door rough heads are from rough floor to top of rough opening. Rough sills are then determined from the window schedule.

NOTE: See wall sections for relationship between face of sheathing and face of masonry foundation. Relationship may not be consistent from wall to wall.

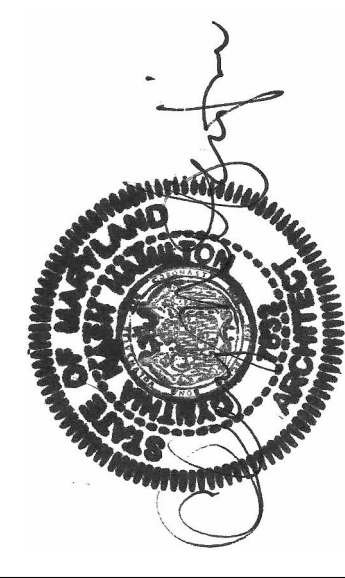
CONSTRUCTION LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- DOWNSPOUT
- CENTER LINE
- DIMENSION REGULATING LINE
- ELEVATION MARKER
- SECTION MARKER
- DETAIL MARKER
- INTERIOR ELEVATION MARKER
- ROUGH FLOOR HEIGHT MARKER
- FINISH CEILING HEIGHT MARKER
- FINISHES ALIGNMENT INDICATOR
- CHANGE IN FLOOR/CLG LEVEL
- ROUGH DIMENSIONS
- FINISH DIMENSIONS
- NOTES
- STAIR TAG

CONSTRUCTION NOTES

1. Contractor to reference A600 series Finish Plans for interior elevation references, floor materials, material transitions, general finishes, and cabinetry locations.

Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, registration number 1000000000, expiration date 10/09/2019.



Anderson Residence
29 W. Kirke Street
Chevy Chase, MD 20815

NO.	DATE	DESCRIPTION
1	12 AUGUST 2019	ISSUED FOR PERMIT
2	2019.08.26	HWFP Revision

Sheet A104

HAMILTON SNOWEBER Architects
1711 Connecticut Ave NW
Washington, DC 20009
Telephone: 202.332.5416
info@hiltonsnoWEBER.com
www.hiltonsnoWEBER.com



1 South (FRONT) Elevation, Proposed
SCALE: 1/4" = 1'-0"

REVIEWED
By Michael Kyne at 1:20 pm, Sep 25, 2019

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Heiler

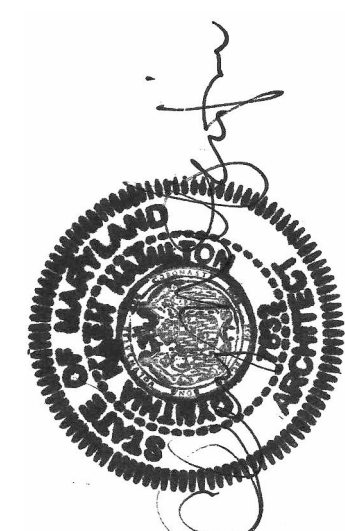
DIMENSIONING CONVENTIONS
Plan:
- Exterior dimensions are taken from exterior face of foundation.
- Interior dimensions are from face of stud.
- In ex conditions, dimensions are from face of finish.
- Window and door dimensions are from face of stud to opening center lines, U.N.O.
- Casework opening dimensions given are finished dimensions.
Elevations and Sections:
- Floor elevations are rough floor (top of plywood subfloor).
- Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
- Window & door rough heads are from rough floor to top of rough opening. Rough sills are then determined from the window schedule.
NOTE: See wall sections for relationship between face of sheathing and face of masonry foundation. Relationship may not be consistent from wall to wall.

CONSTRUCTION LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- DOWNSPOUT
- CENTER LINE
- DIMENSION REGULATING LINE
- ELEVATION MARKER
- SECTION MARKER
- DETAIL MARKER
- INTERIOR ELEVATION MARKER
- ROUGH FLOOR HEIGHT MARKER
- FINISH CEILING HEIGHT MARKER
- FINISHES ALIGNMENT INDICATOR
- CHANGE IN FLOOR/CLG LEVEL
- ROUGH DIMENSIONS
- FINISH DIMENSIONS
- NOTES
- ANNOTATION TAG
- STAIR TAG

CONSTRUCTION NOTES
1. N/A

Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, expiration date 10/09/2019



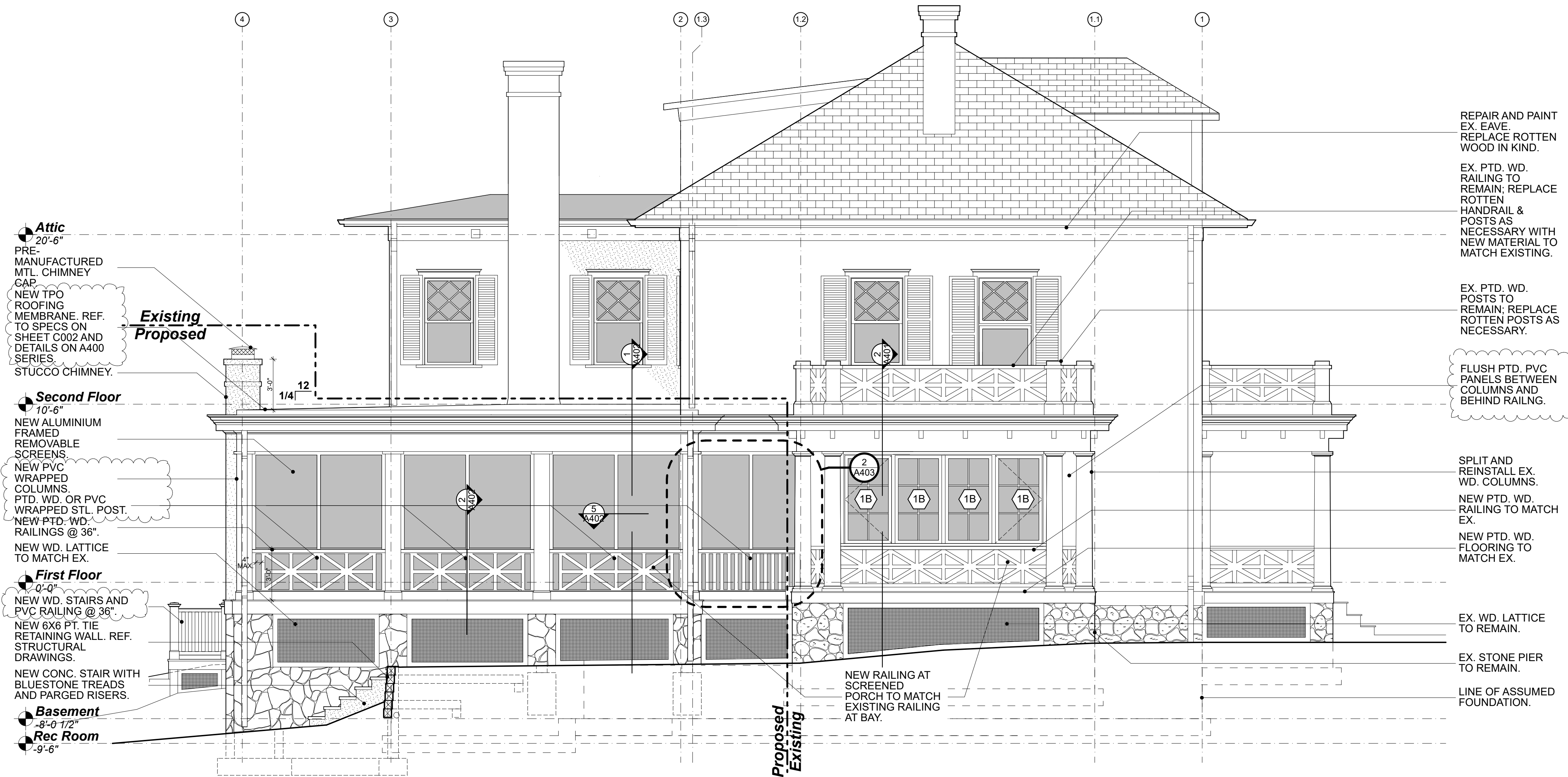
Anderson Residence
29 W. Kirke Street
Chevy Chase, MD 20815

DRAWING: Exterior Elevations
ISSUED: 12 August 2019
2019.08.26 HANP Revision

NO.	DESCRIPTION	DATE

Sheet
A201

HAMILTON
SNOWBER
Architects
1711 Connecticut Ave NW
Washington, DC 20009
Telephone: 202.332.5446
info@hiltonsnowber.com
www.hiltonsnowber.com



1 West (SIDE) Elevation, Proposed
SCALE: 1/4" = 1'-0"

DIMENSIONING CONVENTIONS

Plan:

- Exterior dimensions are taken from exterior face of foundation.
- Interior dimensions are from face of stud.
- In ex conditions, dimensions are from face of finish.
- Window and door dimensions are from face of stud to opening center lines, U.N.O.
- Casework opening dimensions given are finished dimensions.

Elevations and Sections:

- Floor elevations are rough floor (top of plywood subfloor).
- Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
- Window & door rough heads are from rough floor to top of rough opening. Rough sills are then determined from the window schedule.

NOTE: See wall sections for relationship between face of sheathing and face of masonry foundation. Relationship may not be consistent from wall to wall.

- CONSTRUCTION LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WALL
 - EXISTING DOOR TO REMAIN
 - NEW DOOR
 - EXISTING WINDOW TO REMAIN
 - NEW WINDOW
 - DOWNSPOUT
 - CENTER LINE
 - DIMENSION REGULATING LINE
 - ELEVATION MARKER
 - SECTION MARKER
 - DETAIL MARKER
 - INTERIOR ELEVATION MARKER
 - ROUGH FLOOR HEIGHT MARKER
 - FINISH CEILING HEIGHT MARKER
 - FINISHES ALIGNMENT INDICATOR
 - CHANGE IN FLOOR/CLG LEVEL
 - ROUGH DIMENSIONS
 - FINISH DIMENSIONS
 - NOTES
 - ANNOTATION TAG
 - STAIR TAG

CONSTRUCTION NOTES

1. N/A

REPAIR AND PAINT EX. EAVE. REPLACE ROTTEN WOOD IN KIND.

EX. PTD. WD. RAILING TO REMAIN; REPLACE ROTTEN HANDRAIL & POSTS AS NECESSARY WITH NEW MATERIAL TO MATCH EXISTING.

EX. PTD. WD. POSTS TO REMAIN; REPLACE ROTTEN POSTS AS NECESSARY.

FLUSH PTD. PVC PANELS BETWEEN COLUMNS AND BEHIND RAILING.

SPLIT AND REINSTALL EX. WD. COLUMNS.

NEW PTD. WD. RAILING TO MATCH EX.

NEW PTD. WD. FLOORING TO MATCH EX.

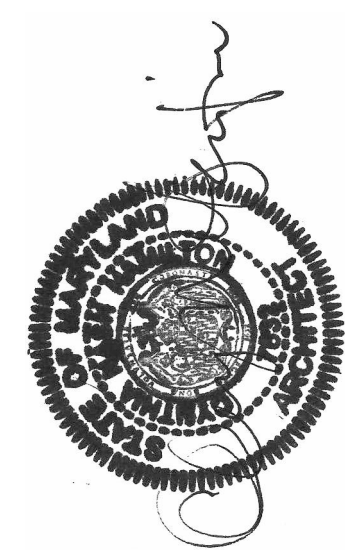
EX. WD. LATTICE TO REMAIN.

EX. STONE PIER TO REMAIN.

LINE OF ASSUMED FOUNDATION.

Professional Certification:

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, expiration date 10/09/2019



Anderson Residence
29 W. Kirke Street
Chevy Chase, MD 20815

DRAWING: Exterior Elevations
ISSUED: 12 August 2019
2019.08.26 HANP Revision

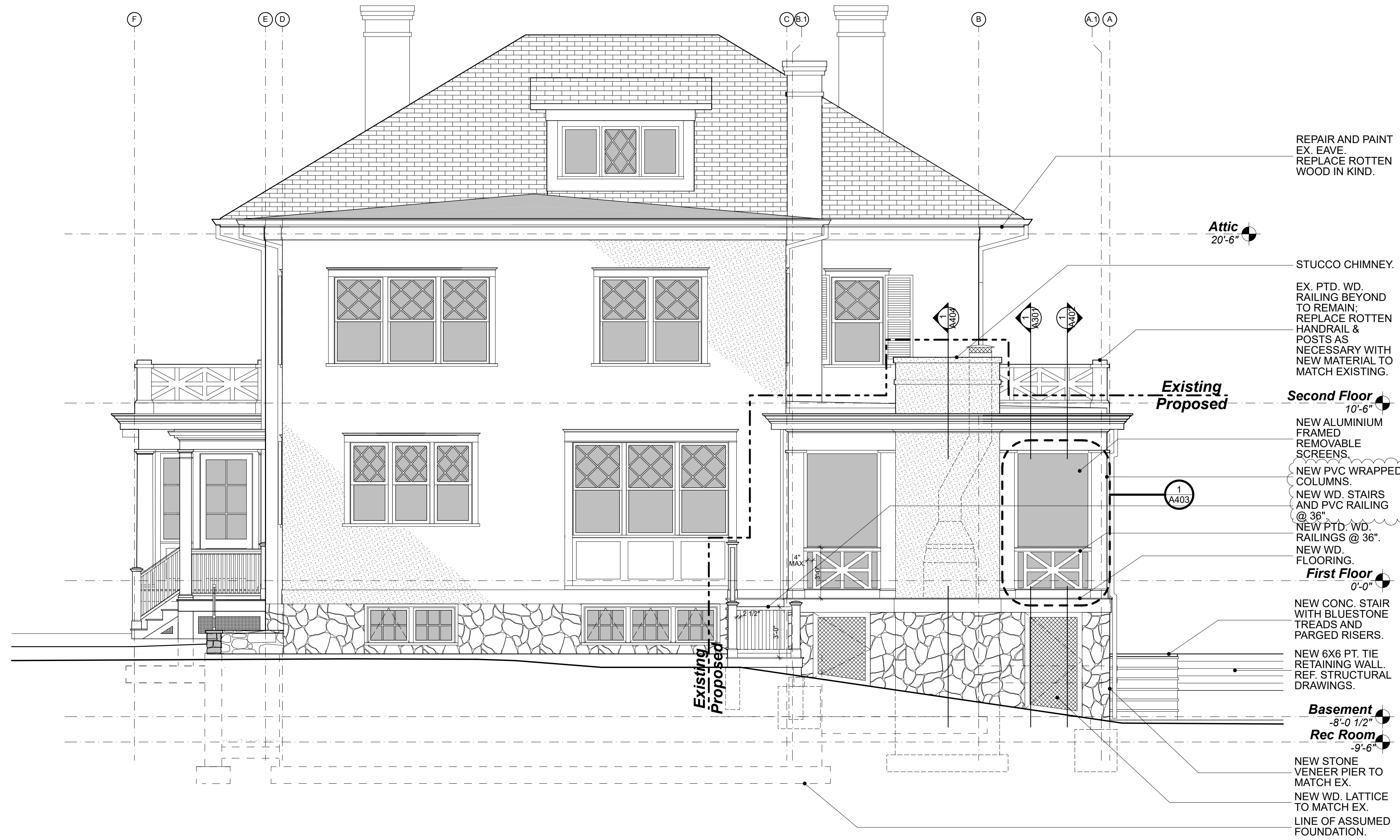
APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Heiler

REVIEWED
By Michael Kyne at 1:20 pm, Sep 25, 2019

Sheet A202

HAMILTON SNOWBER Architects
1711 Connecticut Ave NW
Washington, DC 20009
Telephone: 202.332.5446
info@hiltonsnowber.com
www.hiltonsnowber.com



1 North (REAR) Elevation, Proposed
SCALE: 1/4" = 1'-0"

DIMENSIONING CONVENTIONS

Plan:

- Exterior dimensions are taken from exterior face of foundation.
- Interior dimensions are from face of stud.
- In ex conditions, dimensions are from face of finish.
- Window and door dimensions are from face of stud to opening center lines, U.N.O.
- Casework opening dimensions given are finished dimensions.

Elevations and Sections:

- Floor elevations are rough floor (top of plywood subfloor).
- Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
- Window & door rough heads are from rough floor to top of rough opening. Rough sills are then determined from the window schedule.

NOTE: See wall sections for relationship between face of sheathing and face of masonry foundation. Relationship may not be consistent from wall to wall.

CONSTRUCTION LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- DOWNSPOUT
- CENTER LINE
- DIMENSION REGULATING LINE
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- ROUGH FLOOR HEIGHT MARKER
- FINISH CEILING HEIGHT MARKER
- FINISHES ALIGNMENT INDICATOR
- CHANGE IN FLOOR/CLG LEVEL
- ROUGH DIMENSIONS
- FINISH DIMENSIONS
- NOTES
- ANNOTATION TAG
- STAIR TAG

CONSTRUCTION NOTES

1. N/A

Professional Certification:

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, expiration date 10/09/2019

Anderson Residence
29 W. Kirke Street
Chevy Chase, MD 20815

DRAWING: Exterior Elevations	
ISSUED: 12 August 2019	FOR PERMIT
2019.08.26 HWP Revision	

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Heiler

REVIEWED
By Michael Kyne at 1:20 pm, Sep 25, 2019

Sheet A203

HAMILTON SNOWBER Architects
1711 Connecticut Ave NW
Washington, DC 20009
Telephone: 202.332.5446
info@hiltonsnowber.com
www.hiltonsnowber.com



1 East (SIDE) Elevation, Proposed
SCALE: 1/4" = 1'-0"

DIMENSIONING CONVENTIONS

Plan:
 - Exterior dimensions are taken from exterior face of foundation.
 - Interior dimensions are from face of stud.
 - In ex conditions, dimensions are from face of finish.
 - Window and door dimensions are from face of stud to opening center lines, U.N.O.
 - Casework opening dimensions given are finished dimensions.

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 - Floor elevations are rough floor (top of plywood subfloor).
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NOTE: See wall sections for relationship between face of sheathing and face of masonry foundation. Relationship may not be consistent from wall to wall.

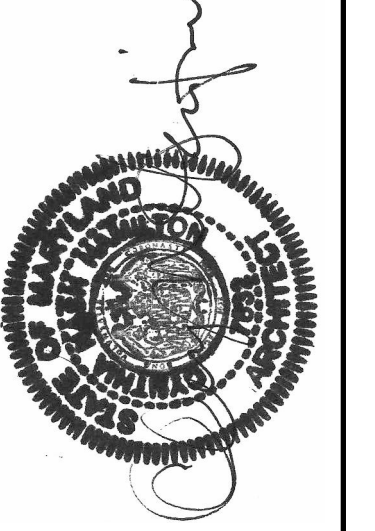
CONSTRUCTION LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- DOWNSPOUT
- CENTER LINE
- DIMENSION REGULATING LINE
- ELEVATION MARKER
- SECTION MARKER
- DETAIL MARKER
- INTERIOR ELEVATION MARKER
- ROUGH FLOOR HEIGHT MARKER
- FINISH CEILING HEIGHT MARKER
- FINISHES ALIGNMENT INDICATOR
- CHANGE IN FLOOR/CLG LEVEL
- ROUGH DIMENSIONS
- FINISH DIMENSIONS
- NOTES
- ANNOTATION TAG
- STAIR TAG

CONSTRUCTION NOTES

1. N/A

Professional Certification:
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, expiration date 10/09/2019



**Anderson
Residence**
 29 W. Kirke Street
 Chevy Chase, MD 20815

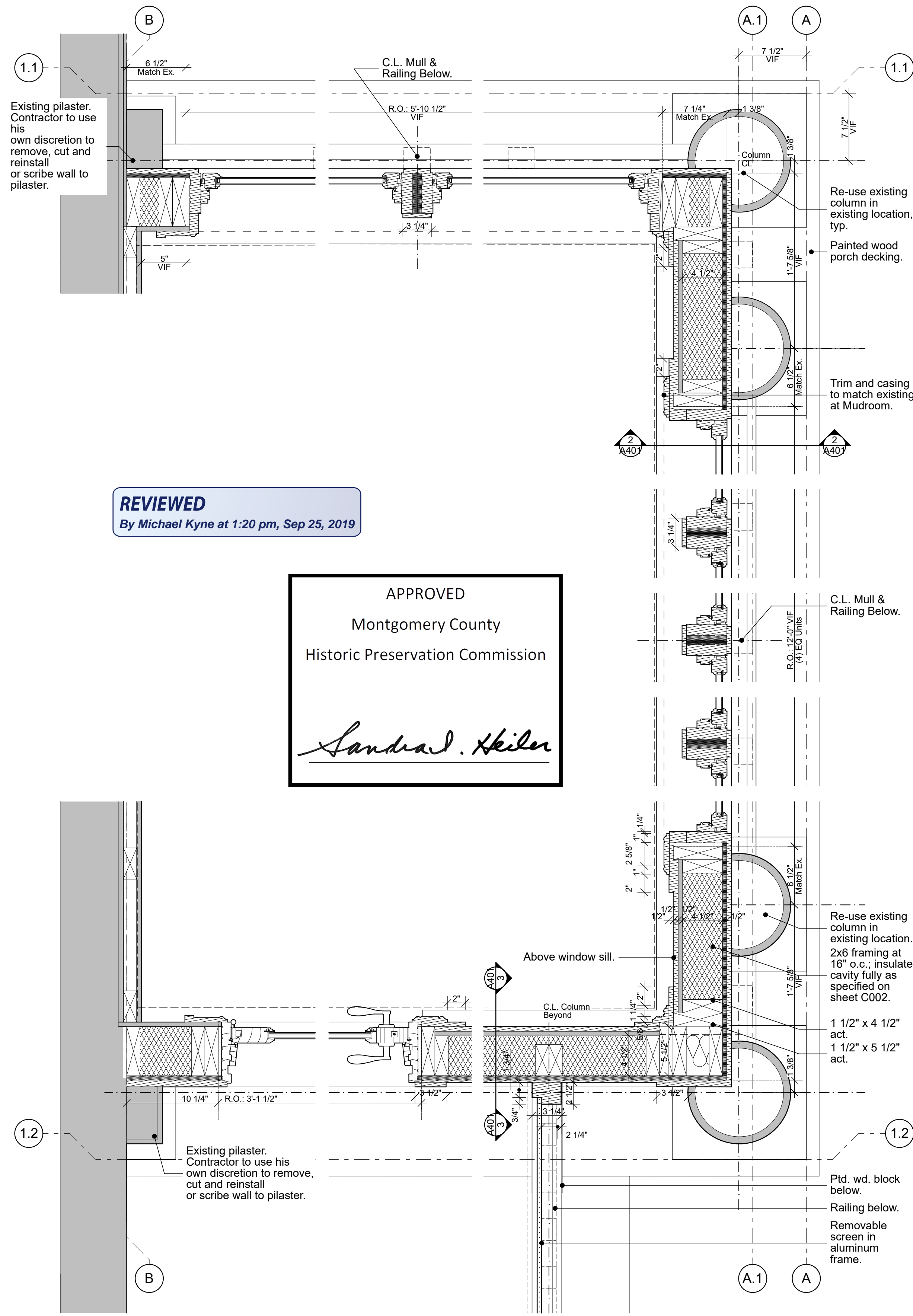
DRAWING: Exterior Elevations
 ISSUED: 12 August 2019
 2019.08.26 HWF Revision FOR PERMIT

**Sheet
A204**

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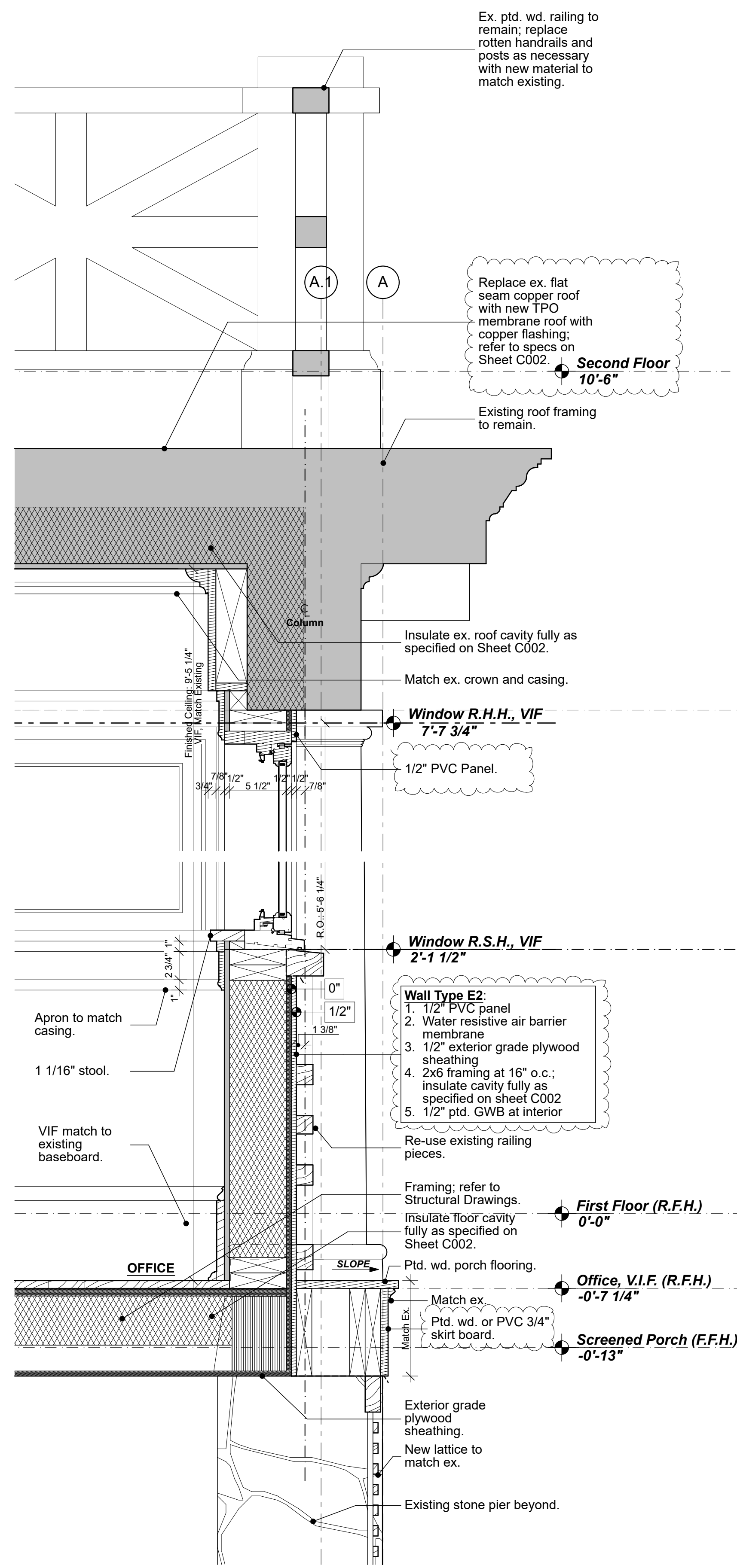
REVIEWED
 By Michael Kyne at 1:20 pm, Sep 25, 2019



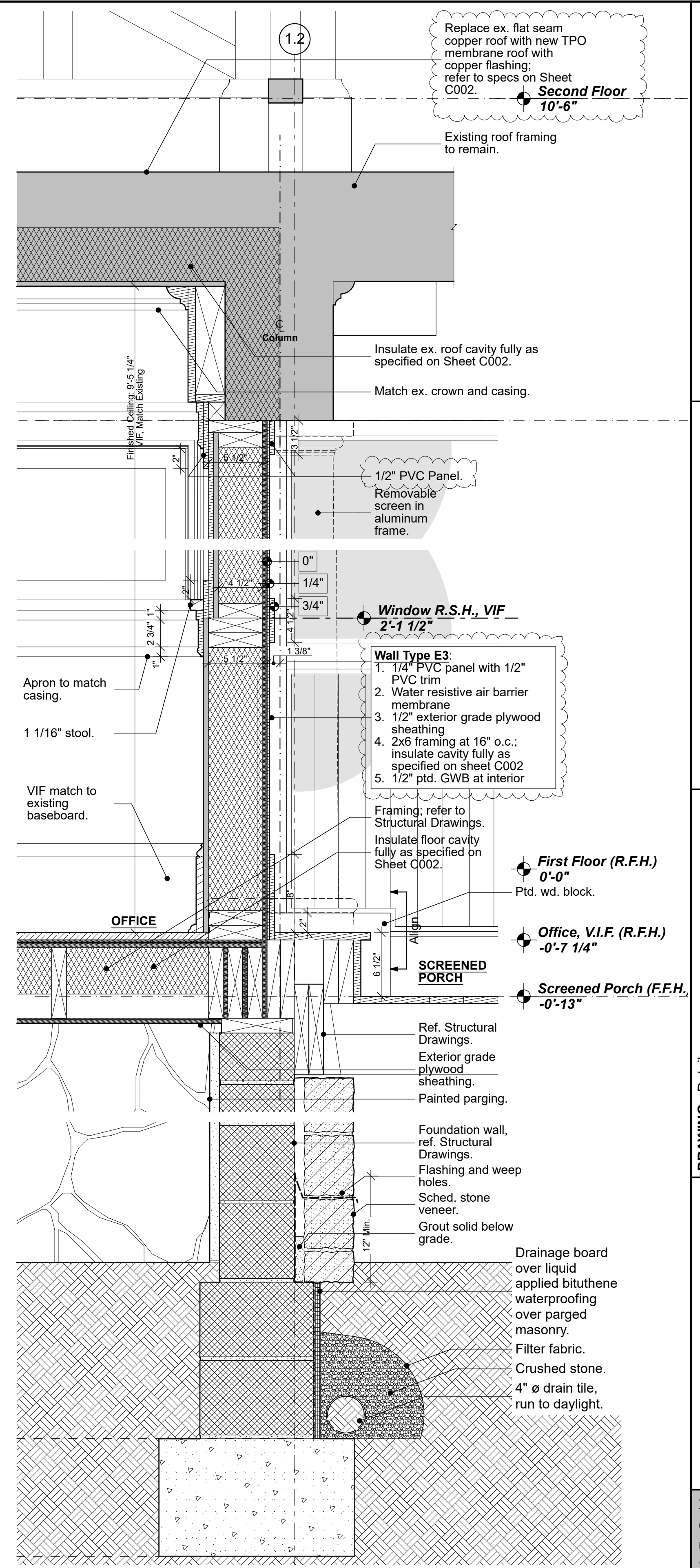
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By Michael Kyne at 1:20 pm, Sep 25, 2019

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1 Plan Detail at Office
SCALE: 1 1/2" = 1'-0"

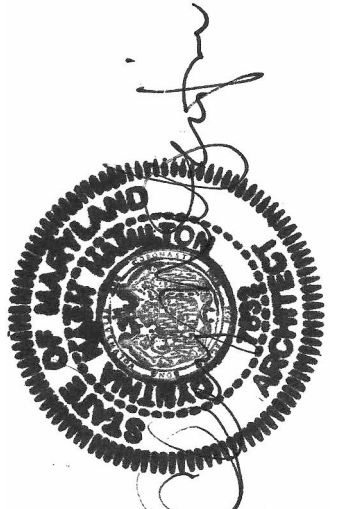


2 Wall Section at Office
SCALE: 1 1/2" = 1'-0"



3 Wall Section at Office
SCALE: 1 1/2" = 1'-0"

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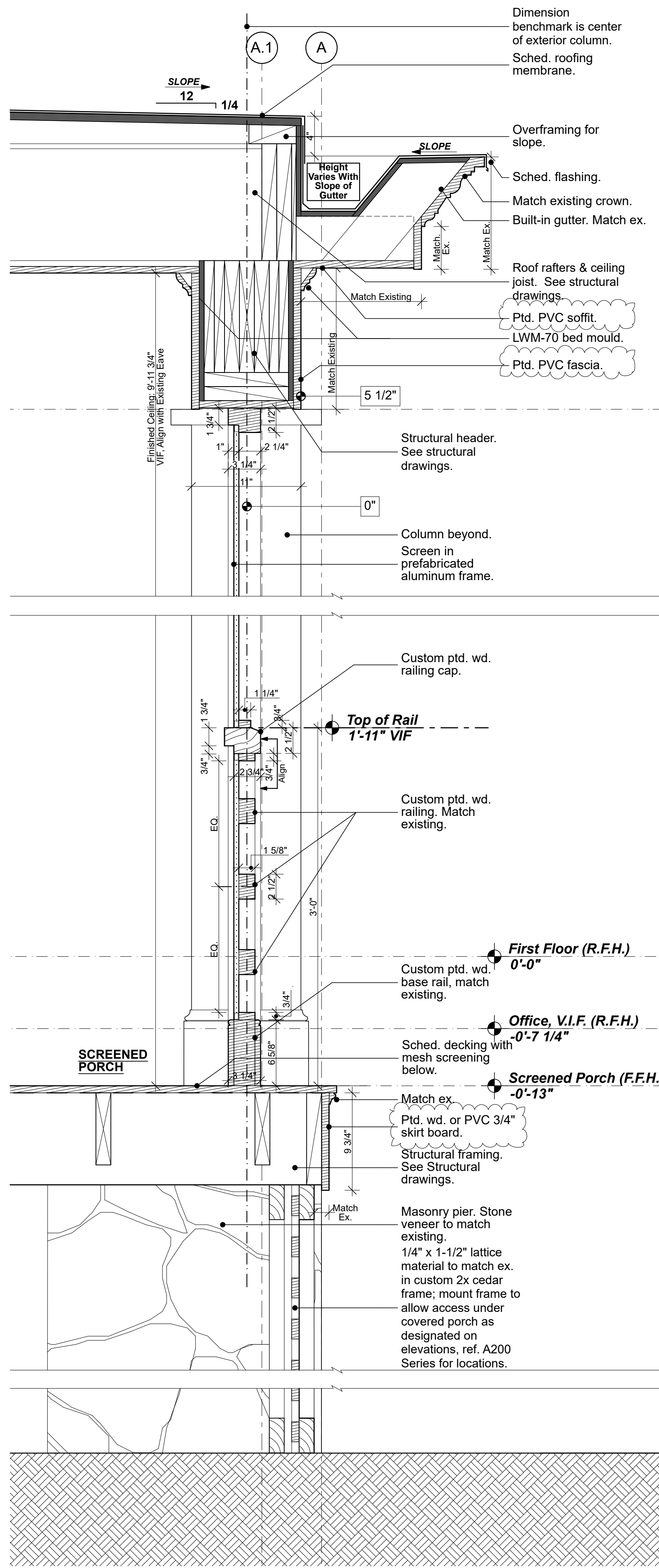


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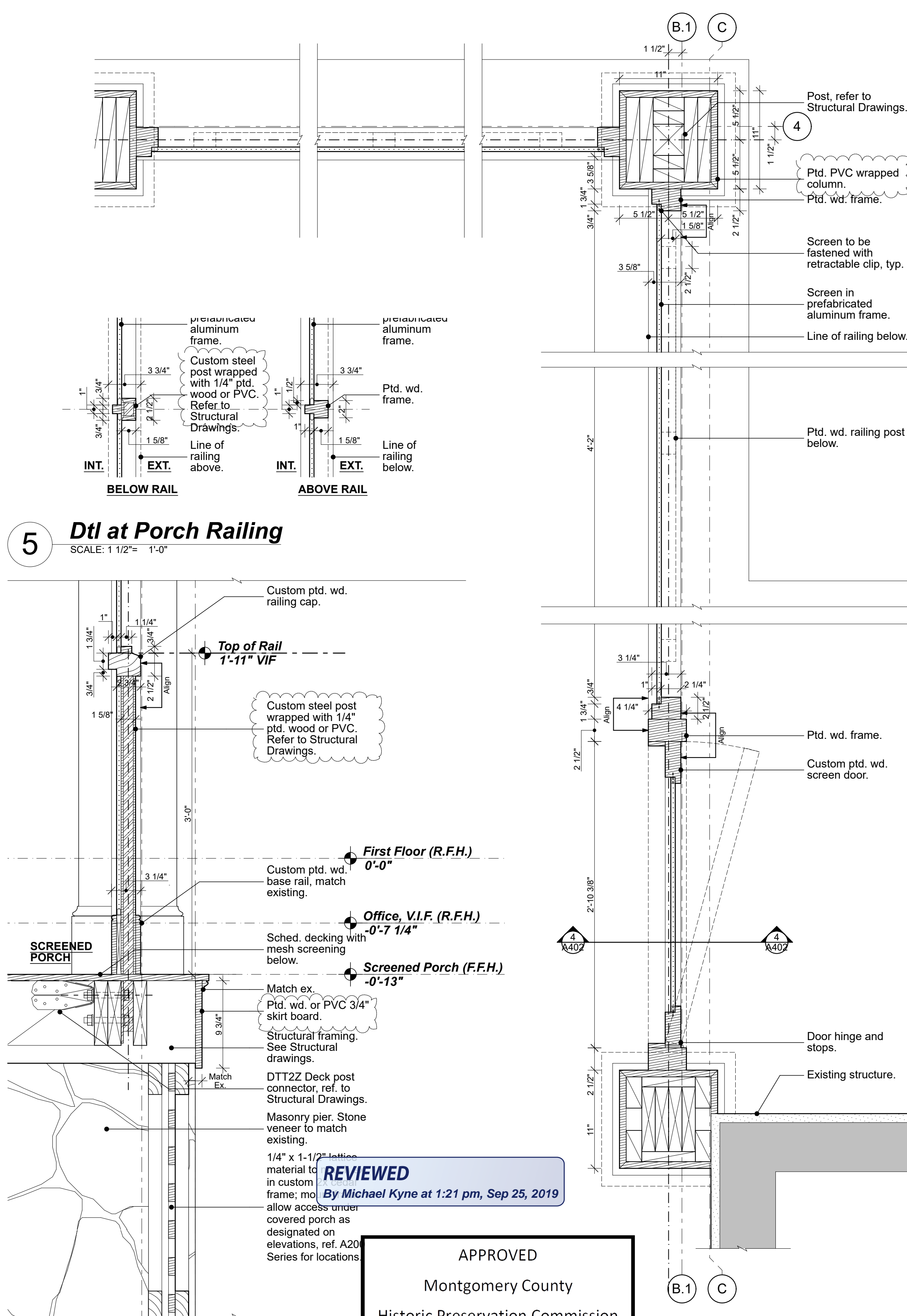
DRAWING: Details
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Sheet A401

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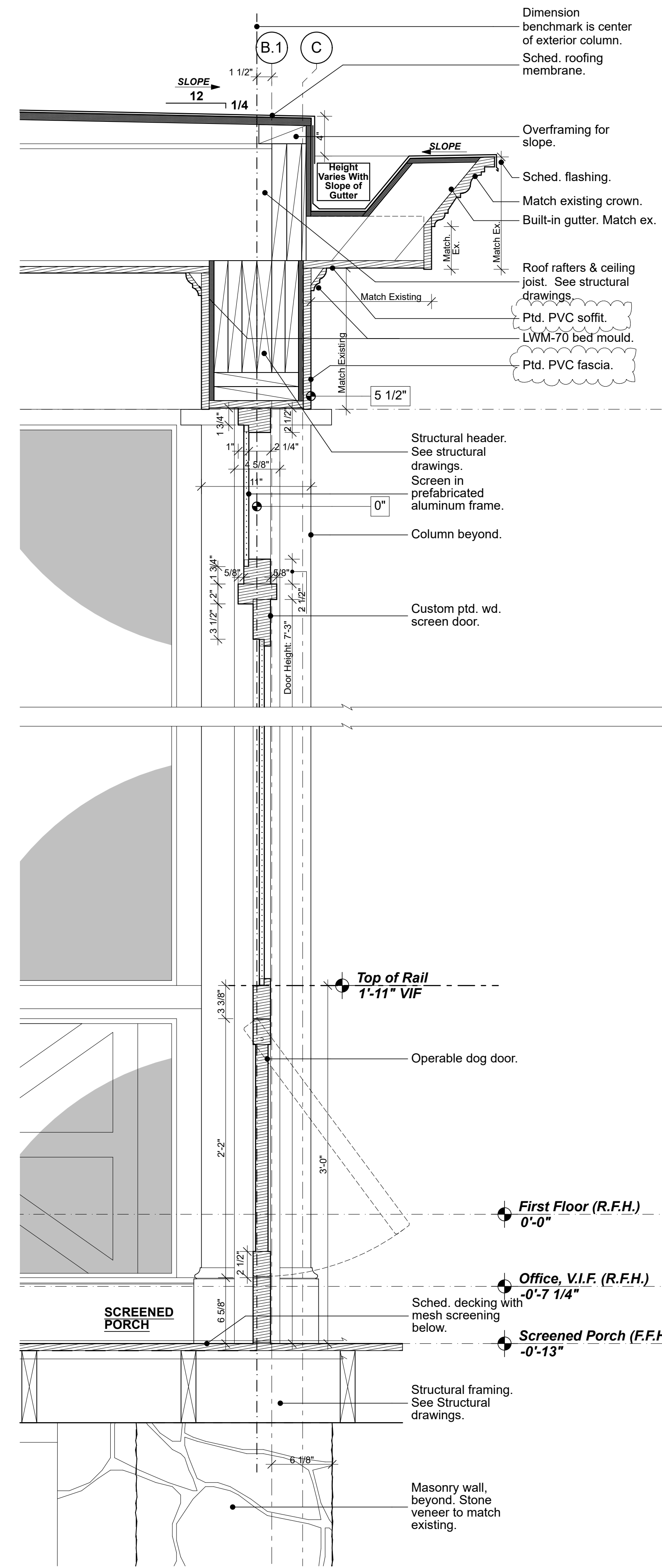


1 Wall Section at Porch
SCALE: 1 1/2" = 1'-0"



2 Detail at Porch Railing
SCALE: 1 1/2" = 1'-0"

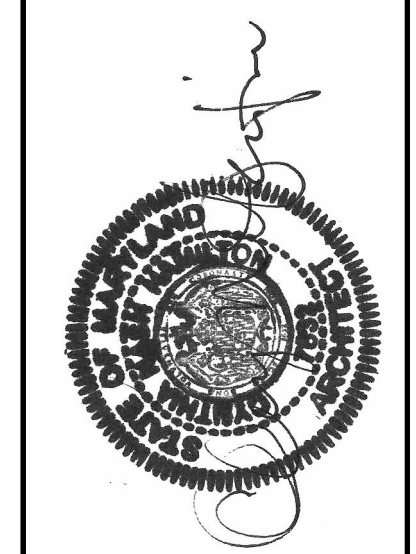
3 Enlarged Plan at Porch
SCALE: 1 1/2" = 1'-0"



4 Wall Section at Porch
SCALE: 1 1/2" = 1'-0"

5 Dtl at Porch Railing
SCALE: 1 1/2" = 1'-0"

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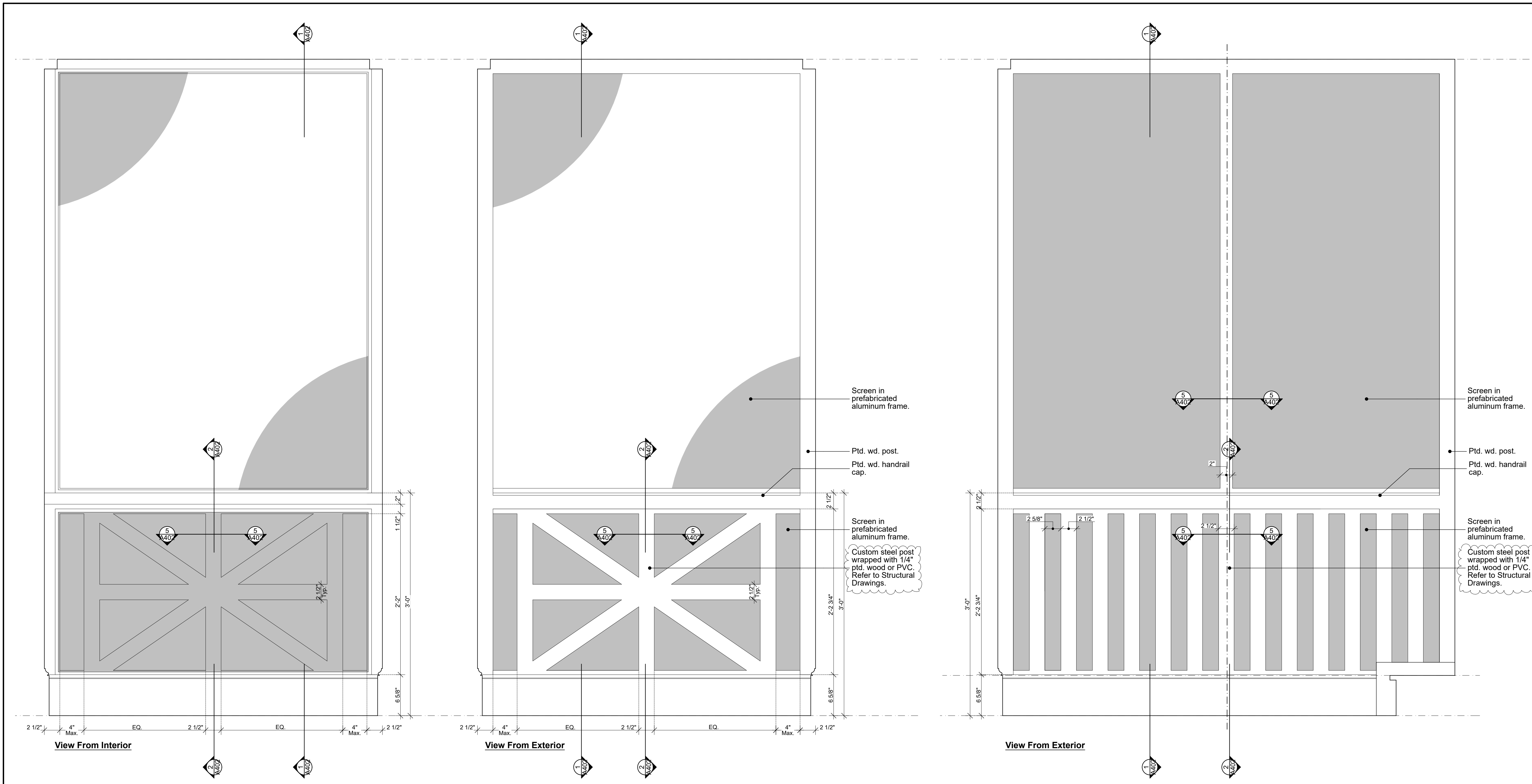
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1 Porch Railing Detail
SCALE: 1 1/2" = 1'-0"

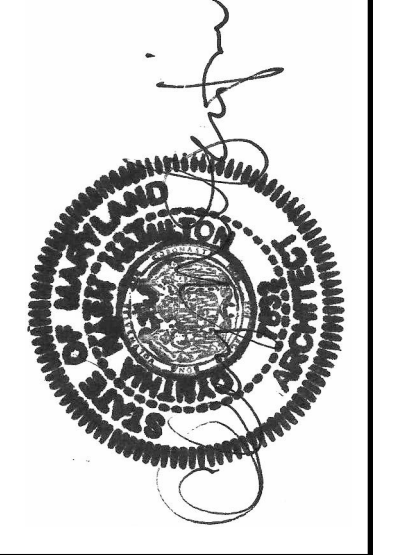
2 Porch Railing Detail
SCALE: 1 1/2" = 1'-0"

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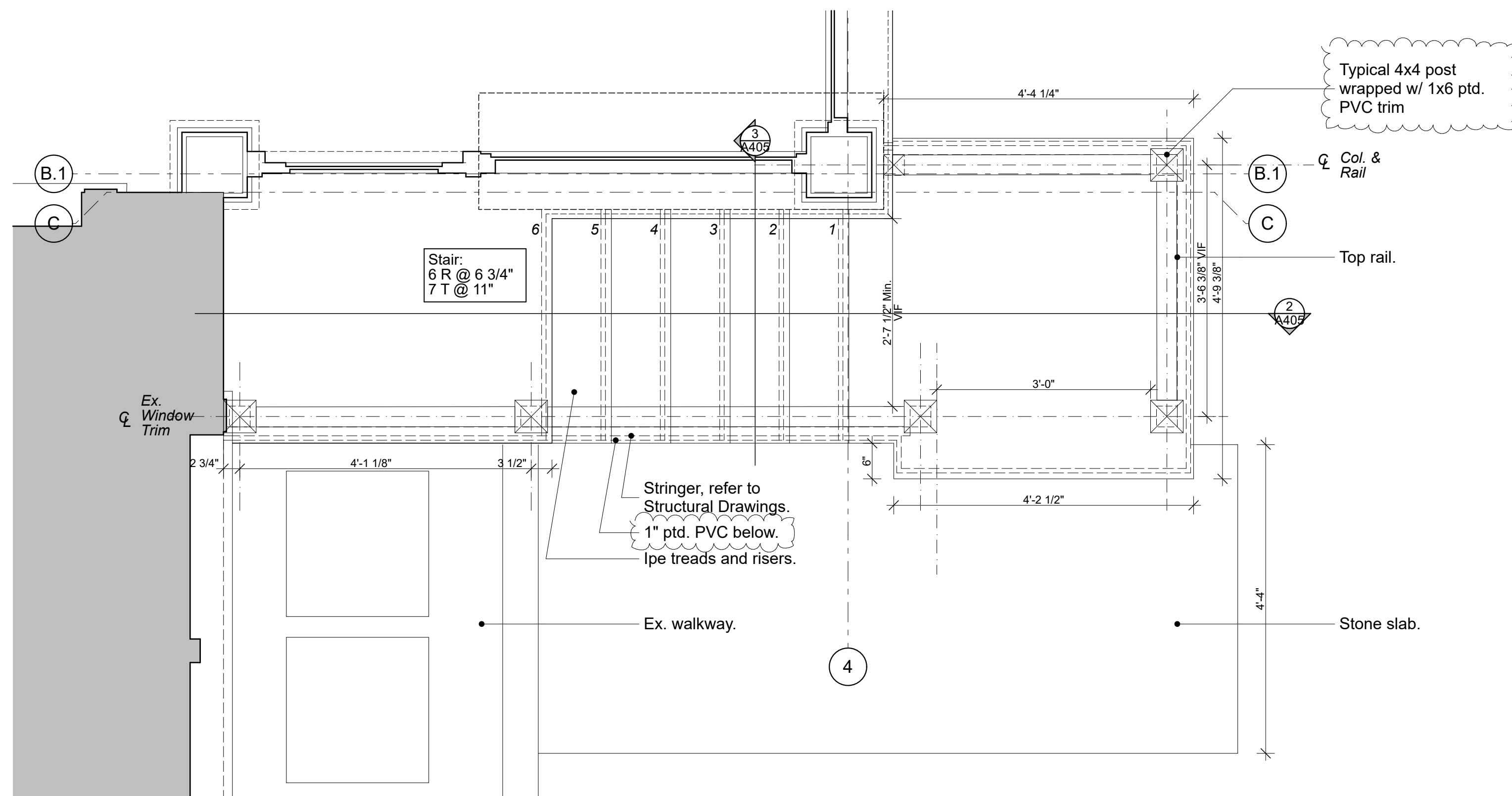
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NO.	DATE	DESCRIPTION

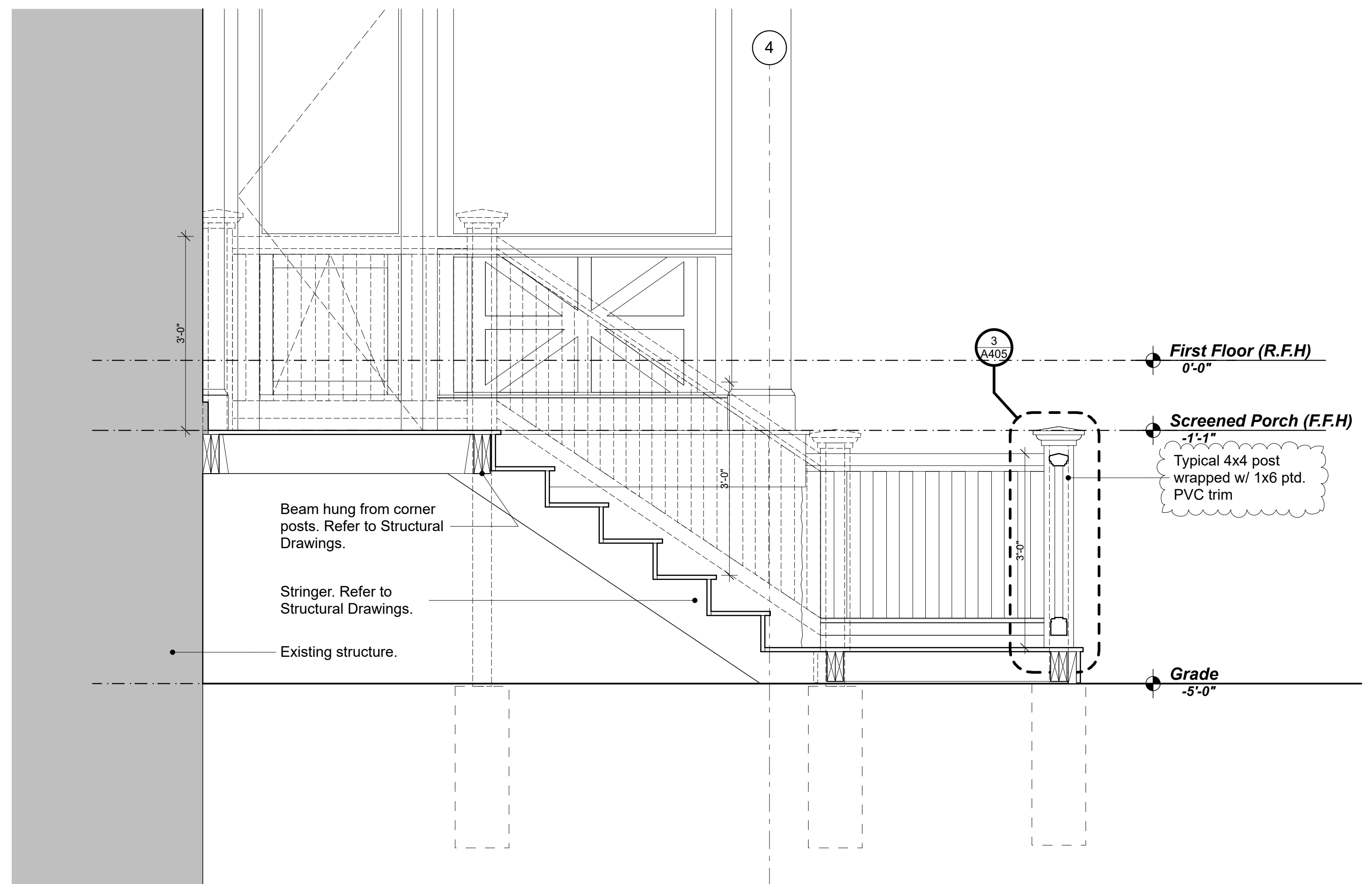
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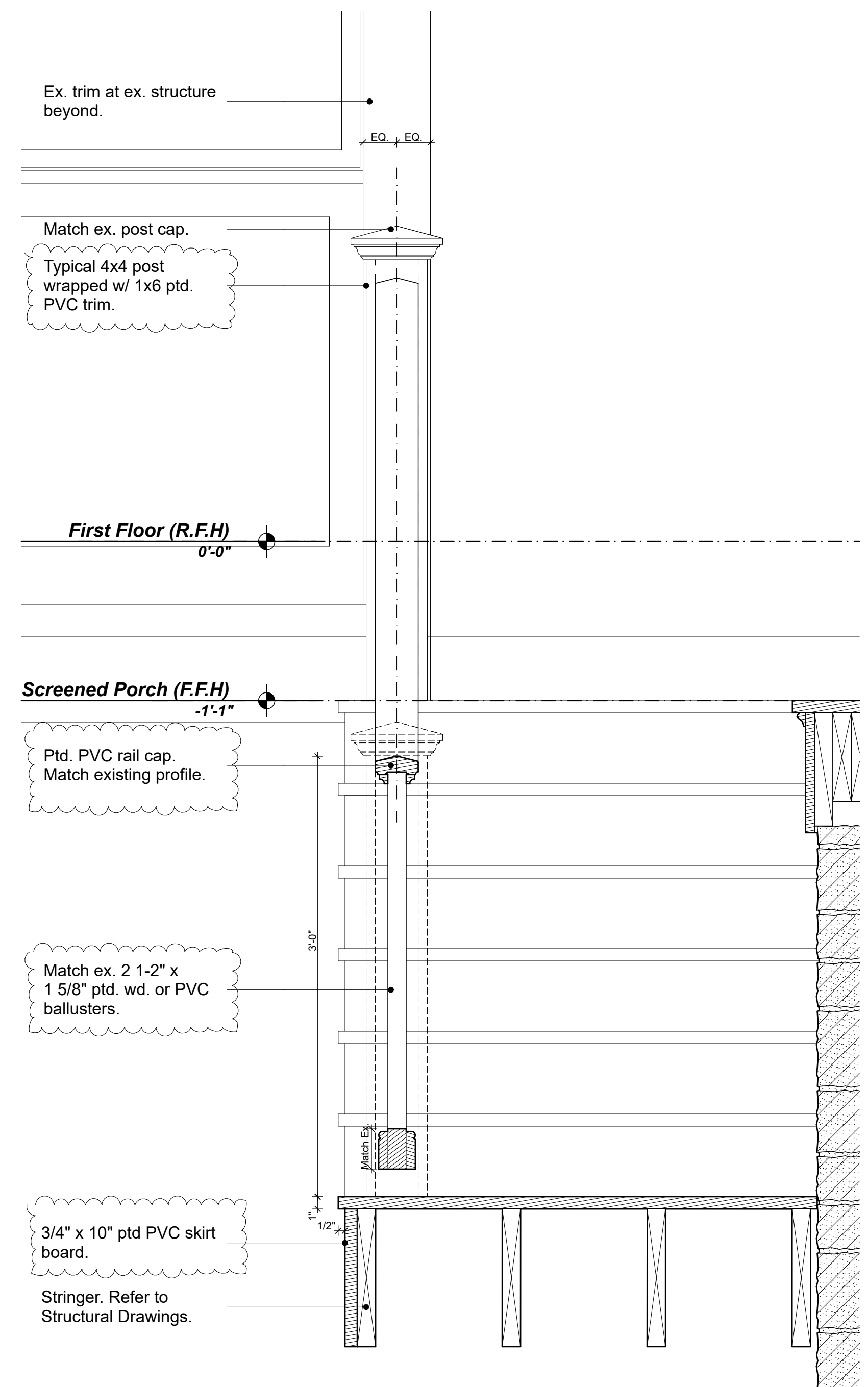
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1 Enlarged Plan at Porch Stairs
SCALE: 3/4" = 1'-0"



2 Enlarged Elev. at Porch Stairs
SCALE: 3/4" = 1'-0"



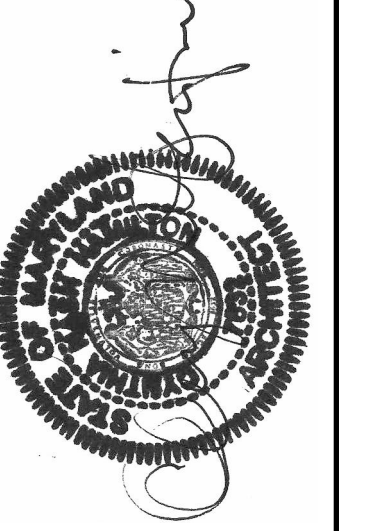
3 Porch Stair Detail
SCALE: 1 1/2" = 1'-0"

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