


19801 DARNESTOWN ROAD, BEALLSVILLE
CASE # 17/01-13A (DARBY STORE
BEALLSVILLE HISTORIC DISTRICT)

TO: HISTORIC PRESERVATION COMMISSION

FROM: MATT BOWLING, SENIOR PLANNER, HISTORIC PRESERVATION OFFICE  11/13/14

SUBJECT: STAFF ITEM – 19801 DARNESTOWN ROAD, BEALLSVILLE HISTORIC DISTRICT (DARBY STORE)

DATE: NOVEMBER 12, 2014

CC: SCOTT WHIPPLE, SUPERVISOR, HISTORIC PRESERVATION OFFICE

BACKGROUND: On April 10, 2013 the Historic Preservation Commission reviewed and approved the installation of a parking lot and other hardscape alterations at the Darby Store, Beallsville Historic District, 19801 Darnestown Road (HPC Case # 17/01-13A).

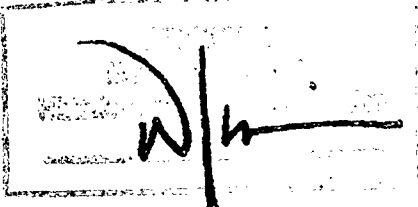
PROPOSAL: Applicant is proposing the following changes:

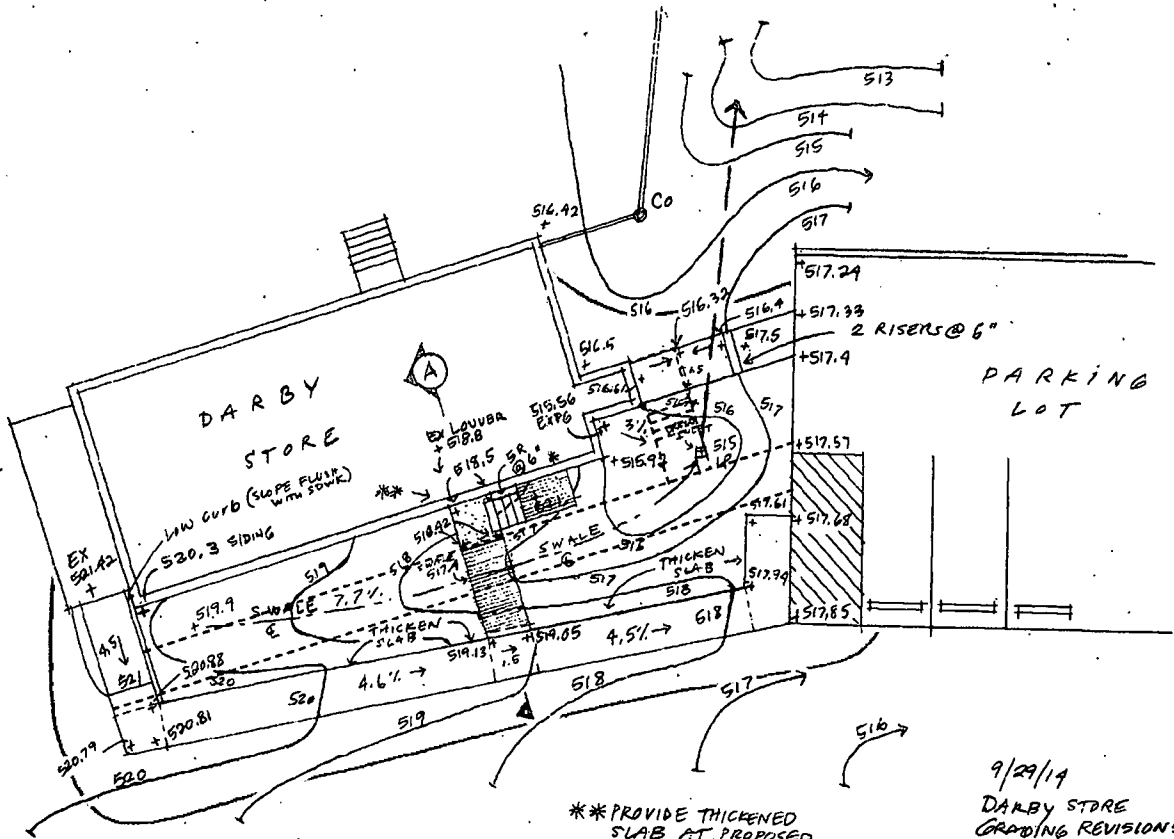
1. Construction of swale along east elevation to channel runoff –prevent water infiltration into foundation.
2. ADA accessible sidewalk shifted slightly to make for construction of swale.
3. Construction of path to main entrance on east elevation. Path will utilize an elevated wood section to bridge the proposed swale.
4. The east and west elevation stair-rails will receive vertical pickets, as the fall height exceeds 30" – material and design of vertical pickets to match what was approved previously (HAWP #627867).

RECOMMENDATION: Staff supports this change and, respectfully, recommends that the Historic Preservation Commission allow this change to be approved at the staff level. The installation of the swale, the sidewalk, and the path will provide a solution to the water infiltration issues and the installation of vertical pickets will alleviate code compliance issues. These alterations will not result in detriment to the Darby Store, the Darby Store's environmental setting, or the Beallsville Historic District as a whole.

HPC DECISION:

APPROVED 11/12/14



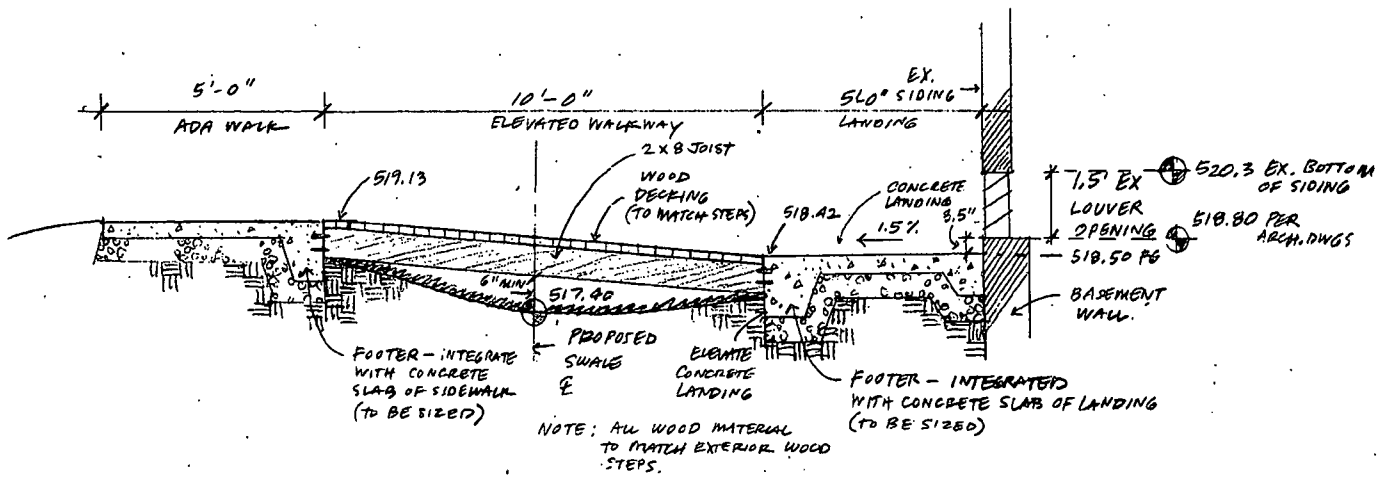


--- Previous pathway layout

- ** PROVIDE THICKENED SLAB AT PROPOSED CONCRETE LANDING
- * BOTTOM PERCO PIPE (CLAMP) AT 518.06 ELEV.

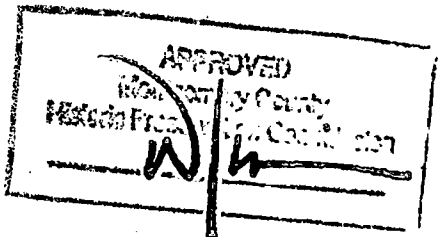
9/29/14
 DARBY STORE
 GRADING REVISIONS
 (M-NOPPC) 03' 5" 10'
 1"=10'-0"

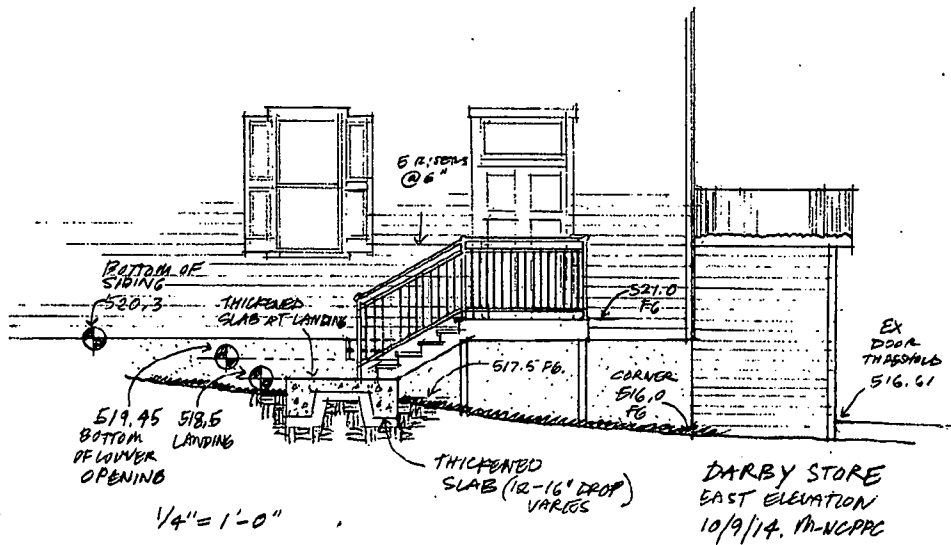
APPROVED
 Montgomery County
 Planning & Zoning Commission



(A) WALKWAY OVER SWALE
 1/2" = 1'-0" CROSS-SECTION

9/29/14
 DARBY STORE
 GRADING REVISIONS
 (M-NCPPC)





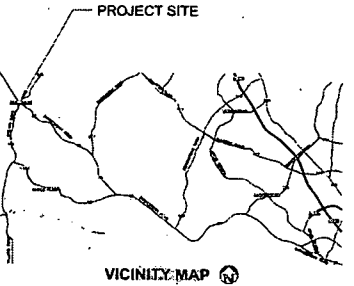
APPROVED
 [Signature]
 [Title]
 [Date]

The Maryland National Capital Park and Planning Commission

REHABILITATION OF DARBY STORE

19801 DARNESTOWN ROAD, BEALLSVILLE, MARYLAND, 20839

UNLESS OTHERWISE NOTED TO THESE PLANS ALL WORK SHALL BE IN ACCORDANCE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION.



MONTGOMERY COUNTY
DIVISION OF BUILDING CONSTRUCTION
This plan was submitted to the Division of Building Construction for review and approval. The Division of Building Construction is not responsible for the accuracy of the information provided on this plan. The Division of Building Construction is not responsible for the accuracy of the information provided on this plan. The Division of Building Construction is not responsible for the accuracy of the information provided on this plan.

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- GENERAL NOTES**
- CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO BE FAMILIAR WITH THE EXISTING CONDITIONS, DEPARTMENTS AND RESTRICTIONS ASSOCIATED BY THE PROPERTY OWNER UNDER THE CONTRACT.
 - UNLESS OTHERWISE NOTED, ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION.
 - ALL NOTES AND DETAILS SHOWN ON THE DRAWINGS AND TYPICAL UNLESS OTHERWISE NOTED.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION.
 - CONSTRUCTION MEETING WILL BE SCHEDULED AND CONDUCTED BY THE CONSTRUCTION MANAGER. PREPARED THIS MEETING THE CONTRACTOR SHALL PREPARE AN ACTION PLAN FOR THE PROJECT SITE. EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED. STAKEOUT AND FLAGGING OF LOGS SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND PERMITTED AGENCIES. CONSTRUCTION MANAGER MAY REQUIRE MINOR ADJUSTMENTS TO THE LOGS TO REDUCE IMPACTS ON EXISTING UTILITIES AND NATURAL RESOURCES THAT ARE TO REMAIN. THIS ADJUSTMENT SHALL BE APPROVED AND A FINAL COPY TO THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES. CONTRACTOR SHALL VERIFY BY THE FIELD ALL DIMENSIONS PROVIDED ON DRAWINGS AND SPECIFICATIONS FROM BEFORE BEATING CONSTRUCTION ACTIVITY. IF THEY ARE DIFFERENT, CONSTRUCTION MANAGER SHALL BE NOTIFIED IMMEDIATELY AND RESOLVED TO THE SATISFACTION OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
 - ALL EXISTING CONDITIONS TO REMAIN SHALL BE VERIFIED, PHOTOGRAPHED AND DOCUMENTED PRIOR TO CONSTRUCTION. IF THEY ARE DIFFERENT FROM THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY AND RESOLVED TO THE SATISFACTION OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES. CORRECTED AND RESTORATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION.
 - PRIOR TO START OF CONSTRUCTION, TREE PROTECTION MEASURES SHALL BE INSTALLED AND SHALL REMAIN THROUGHOUT CONSTRUCTION.
 - IF IT IS DETERMINED THAT THE TREES ARE DAMAGED DURING CONSTRUCTION, A CERTIFIED ARBORIST SHALL VISIT THE TREE AND SUBMIT A REPORT RECOMMENDING APPROPRIATE ACTION EITHER TO REPAIR OR REPLACE. IF APPROVED BY THE CONSTRUCTION MANAGER, CORRECTIVE WORK SHALL BE PERFORMED AT NO ADDITIONAL COST.
 - LOCATION FOR STABILIZED CONSTRUCTION ENTRANCES AND ACCESS ROUTES SHALL BE IDENTIFIED AND ADJUSTED AS NEEDED. CONSTRUCTION MANAGER SHALL PROVIDE THE APPROVAL.
 - STORAGE AND STORAGE AREA SHALL BE APPROVED BY CONSTRUCTION MANAGER AND SHALL BE SECURED BY THE CONTRACTOR AT NO ADDITIONAL COST TO MONTGOMERY COUNTY.
 - ALL EXISTING UTILITIES AT THE PROJECT MAY NOT BE SHOWN ON THE DRAWINGS. PRIOR TO START OF CONSTRUCTION, RELATED UTILITY LOCATIONS SHALL BE IDENTIFIED AND IDENTIFIED UTILITIES APPROPRIATE INSTRUMENTATION SHALL BE INSTALLED AND FLAGGED.
 - THE CONSTRUCTION MANAGER SHALL BE NOTIFIED IMMEDIATELY IF EXISTING UTILITIES ARE FOUND WITHIN THE WORK AREA AND ADJACENT UTILITY SERVICES THAT ARE NOT SHOWN ON THE DRAWINGS AND THEY IMPACT THE CONTRACT WORK.
 - DAMAGED TO EXISTING UTILITIES SHALL BE CORRECTED IMMEDIATELY IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFFECTED UTILITY. UPON COMPLETION OF THE CORRECTIVE ACTION, A COPY OF THE APPROVAL DOCUMENT FROM THE UTILITY SHALL BE SUBMITTED TO THE CONSTRUCTION MANAGER.
 - ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY IF EXISTING UTILITIES ARE FOUND WITHIN THE WORK AREA AND ADJACENT UTILITY SERVICES THAT ARE NOT SHOWN ON THE DRAWINGS AND THEY IMPACT THE CONTRACT WORK.
 - BEFORE START OF CONSTRUCTION, THE CONTRACTOR SHALL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF PUBLIC WORKS AND UTILITIES TRAINING PROGRAM FOR THE CONTROL OF EXISTING UTILITIES AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL HAVE ALL THE APPLICABLE REQUIREMENTS STATED ABOVE. CONSTRUCTION OF THE PROJECT SHALL BE APPROVED BY THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
 - NO WORK SHALL BE PERFORMED OUTSIDE OF THE LOGS. AREAS DISTURBED OUTSIDE APPROVED LOG SHALL BE RESTORED IMMEDIATELY TO THE SATISFACTION OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
 - BEFORE CONSTRUCTION, IF THE CONTRACTOR FINDS THAT CONDITIONS EXIST ABOVE VARIOUS CONTRACT DOCUMENTS, THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT OF THE REQUIREMENTS.
 - CONSTRUCTION WORK SHALL BE DONE TO PREVENT NEGATIVE DRAINAGE AND AWAY FROM THE BUILDING STRUCTURES UNLESS OTHERWISE NOTED.
 - ADJACENT ROADWAY AND PARKING AREAS SHALL BE MAINTAINED IN A CLEAN CONDITION. APPROPRIATE MEASURES SHALL BE PROVIDED TO CLEAN ROAD AND CURB FROM THESE AREAS. TRUCKS AND EQUIPMENT SHALL NOT TRUCK AND INTO NEARBY ROADWAYS.
 - ALL PLANTING SUBSTITUTIONS SHALL BE APPROVED BY THE CONSTRUCTION MANAGER. PLANT MATERIALS AND LOCATIONS CHANGED OR IMPROVED BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION, CONSTRUCTION MANAGER SHALL BE NOTIFIED IMMEDIATELY BY WORKING DAYS IN ADVANCE FOR INSPECTION.
 - PRIOR TO INSTALLATION OF MATERIALS, TOP SOIL SHALL BE APPLIED TO ALL DISTURBED AREAS. THIS SHALL BE IN ACCORDANCE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION. IF CHANGING MATERIALS DO NOT MEET REQUIREMENTS OF TOPSOIL, THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY AND RESOLVED TO THE SATISFACTION OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
 - TOPOGRAPHY INFORMATION IS TAKEN FROM A TOPOGRAPHICAL SURVEY PREPARED BY AN ENGINEER WITH THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
 - SURVEY IS IN STATE PLANE HORIZONTAL DATUM AND 2011 VERTICAL DATUM NAVD83.
 - SETBACK IS LOCATED IN THE LITTLE MONTGOMERY RIVER WATERSHED WITHIN MONTGOMERY COUNTY.
 - PLAN AND VERTICAL INFORMATION SHALL BE OBTAINED FROM ANY GRANITE OR GRANITE ACTIVITY AND CONSTRUCTION OF LARGE PLANTS, GRASSES, ETC. IF ARTIFACTS SURFACE WORK WILL BE HALTED WHILE THE MONITOR ASSESSES THE SITUATION.
 - PRIOR TO DEMOLISHING ANY BUILDING STRUCTURE ELEVATION WITHIN ADVANCE NOTIFICATION SHALL BE GIVEN TO THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES AND A REPRESENTATIVE OF CULTURAL RESOURCES (HISTORIC) MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
 - LEGAL OWNERSHIP AND JURISDICTION DEPENDS ON CONSTRUCTION AT GIVEN AREAS. THE GENERAL CONTRACTOR SHALL SUBMIT A LETTER TO THE UTILITY EQUIVALENT CONSTRUCTION METHODS IN ALL AREAS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ITEMS REQUIRED TO PROVIDE A BITE CLEAR OF CONSTRUCTION (ADJACENT AND BELONGING) AND ROUGH GRADE TO SPECIFIED ELEVATIONS.
 - ANY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES STANDARDS AND SPECIFICATIONS. THIS WORK INCLUDES, BUT NOT LIMITED TO, RESTORATION, RESTORATION AND OBTAINING FINAL INSPECTION APPROVAL. ALL HISTORIC FEATURES SHALL BE ALTERED (SUCH AS CUTTING BACK) WITHOUT APPROVAL FROM REPRESENTATIVE FROM CULTURAL RESOURCES.

MECHANICAL PLANS RELEASED
SUBJECT TO FIELD
INSPECTION AND APPROVAL

RESULTS OF FIELD INSPECTION REQUIRED

DATE OF FIELD INSPECTION

681 600

MONTGOMERY COUNTY
DIVISION OF BUILDING CONSTRUCTION

APPROVED FOR PROCUREMENT
Approved By: _____ Date: _____
Checked By: _____ Date: _____

631600 F

BELL architects
1228 01st Street, NW, Washington, DC 20001
Tel: 202.462.1770
www.bellarchitects.com

DESIGN
 WORKSHEET PROJECT: _____ Date: _____
 ARCHITECT: _____ Checked By: _____
 ENGINEER: _____ Checked By: _____
 DRAWN BY: _____ Date: _____
 DATE: _____
 EXPIRES: _____

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
Silver Spring, Maryland 20901
(301) 497-2535



REVIEW AND APPROVAL		ISSUED FOR PROCUREMENT ON	
Project Manager	Check	Date	Signature
Construction Manager			

COVER SHEET
REHABILITATION OF DARBY STORE
JOB: 134-013 SCALE: AS SHOWN
DWG. # 01 of 11
CS01
SHT. # 01 of 33

RECEIVED
APR 11 1973

Memorandum
Department of Building Services
Commercial Building Service
Building & Fire Code Review Submittal Department
Review Comments

Project: 10000 PEARSON ROAD
Address: 10000 PEARSON ROAD
City: WASHINGTON, DC
State: DC
Zip: 20037

Approved for submission. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations.

Approved for submission. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations.

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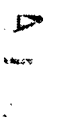
RECEIVED
APR 11 1973

Memorandum

To: Mr. [Name]
From: Mr. [Name]
Subject: [Subject]

Approved for submission. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations.

Approved for submission. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations.



RECEIVED
APR 11 1973

Memorandum

To: Mr. [Name]
From: Mr. [Name]
Subject: [Subject]

Approved for submission. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations.

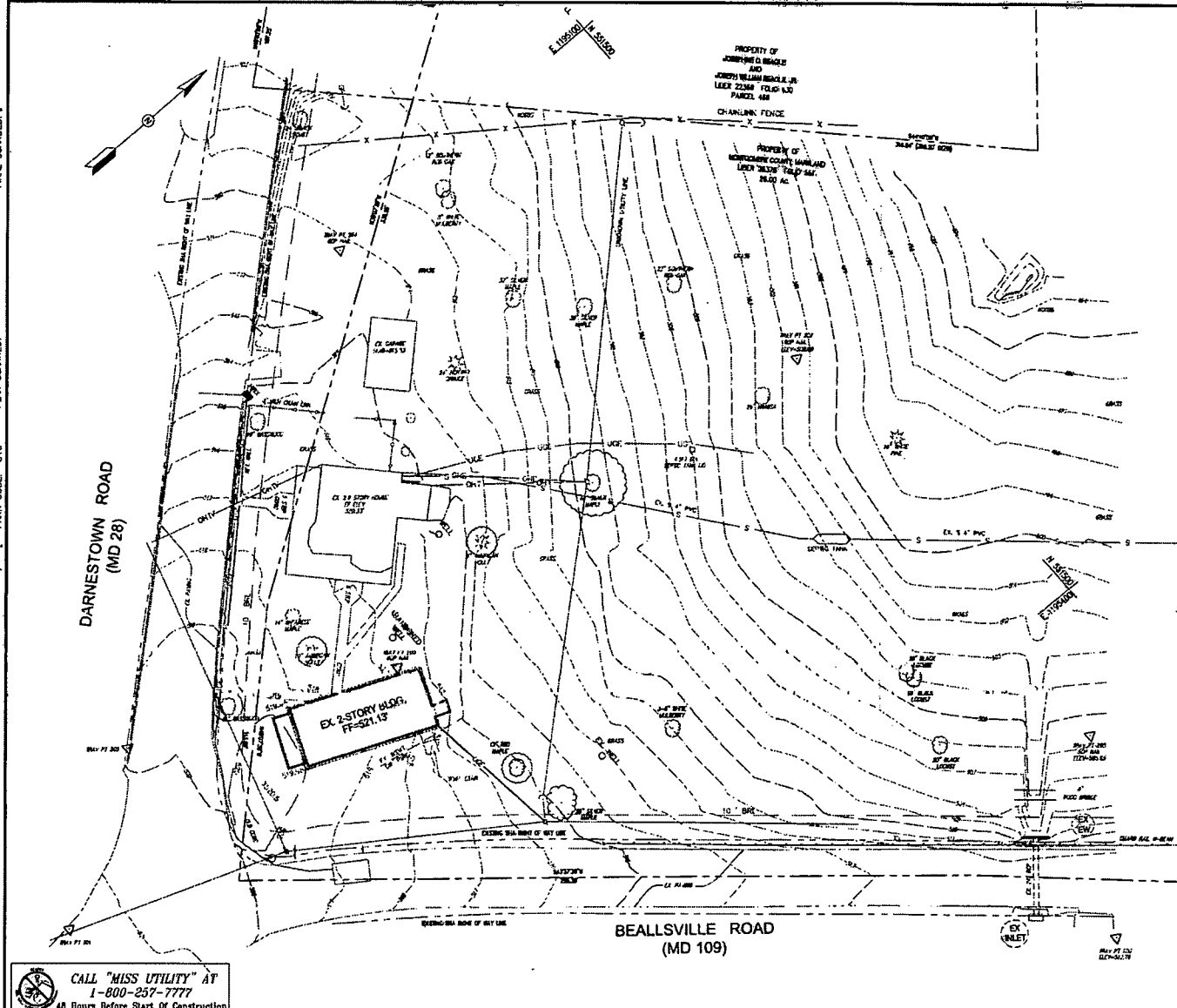
Approved for submission. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations. The project is in compliance with the applicable codes and regulations.

FINAL SCANNED

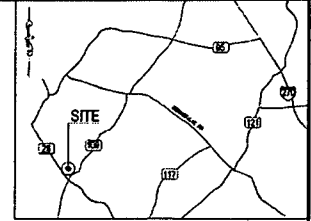
PLAN SCANNED

PARK CODE: C10

Plotting by: [unreadable] 1/10/04, and [unreadable] 1/10/04



TRAVERSE NO.	NORTHING	EASTING	ELEVATION
100.00	551422.4800	1195529.2000	512.46'
101.00	551430.4500	1195543.5400	511.53'
200.00	551473.5100	1195548.0000	509.25'
202.00	551478.1300	1195549.9100	507.06'
203.00	551487.5800	1195551.0000	505.66'
204.00	551507.2000	1195550.7000	514.60'
205.00	551508.6400	1195550.5800	520.14'



VICINITY MAP
SCALE: NTS

GENERAL NOTES:

1. LOCATION:
TAX 0014917 MAP CU22, PARCEL 300 & 407
11 ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND
ZONING: RDT & C-1
LAND USE: EXEMPT
2. OWNER/DEVELOPER:
MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
9500 BRUNETT AVENUE
SILVER SPRING, MD 20910
3. TOPOGRAPHIC SURVEY IS FIELD RUN TOPOGRAPHY BY AB CONSULTANTS, INC. ALL SPECIMEN TREES WERE MEASURED UTILIZING A DBH TAPE AND WERE FIELD SURVEYED
4. THERE ARE NO WETLANDS OR STREAMS LOCATED WITHIN THE STUDY AREA. THE DARBY HOUSE AND STORE ARE WITHIN THE LITTLE MONOCACY RIVER WATERSHED, WHICH DRAINS TO THE POTOMAC RIVER.
5. NO 100-YEAR FLOODPLAIN IS MAPPED ON THE PROPERTY. THE DARBY HOUSE AND STORE ARE NOT WITHIN A FEMA OR SPA. AN ARCHEOLOGICAL MONITOR WILL BE REQUIRED TO BE ON-SITE DURING ANY GROUND DISTURBING ACTIVITY, INCLUDING REMOVAL OF LARGE PLANTS, GRADING, ETC. IF ARTIFACTS SURFACE, WORK WILL BE HALTED WHILE THE MONITOR ASSESSES THE SITUATION.
- 6.

631600

MONTGOMERY COUNTY
APPROVED FOR THE
REHABILITATION OF
DARBY HOUSE AND STORE
BY: [Signature]
DATE: [Date]
DIV. OF BUILDING CONSTRUCTION

CALL "MISS UTILITY" AT
1-800-257-7777
48 Hours Before Start of Construction

AB CONSULTANTS, INC.
5435 ANNAPOLIS ROAD
LAPPAH, MARYLAND 20708
PHONE: (301) 306-3281
FAX: (301) 306-3292
CONTACT: SALLY B. PATEL

DESIGN	DATE	CHECKED BY
Landscaping/Arboreal		
Architect		
Engineer		
Drawn by		

Professional Certification: I hereby certify that these measurements were taken and approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21252
Expiration Date 02/28/15



The Maryland-National Capital
Park and Planning Commission
Montgomery County Department of Parks
9500 Brunnett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

REVIEW AND APPROVAL	DATE
Project Manager	
Construction Manager	
Park Manager	

ISSUED FOR PROCUREMENT OR REVISIONS	DATE	DESCRIPTION

MONTGOMERY COUNTY DEPT OF PERMITTING SERVICES APPROVED FOR:		NOTE: MDCPS APPROVAL DOES NOT INDICATE THE ACCURACY OF A RECORD ASSEMBLY DRAWING
Stormwater Management	Sediment Control Technical Requirements	Administrative Requirements
Reviewed _____ Date _____	Reviewed _____ Date _____	Reviewed _____ Date _____
Approved _____ Date _____	Approved _____ Date _____	Approved _____ Date _____

EXISTING CONDITION PLAN
Rehabilitation of Darby Store
19501 Darnestown Road, Beallsville, MD 20839
PARCELS 300 & 407
JOB: 134-013 SCALE: AS SHOWN

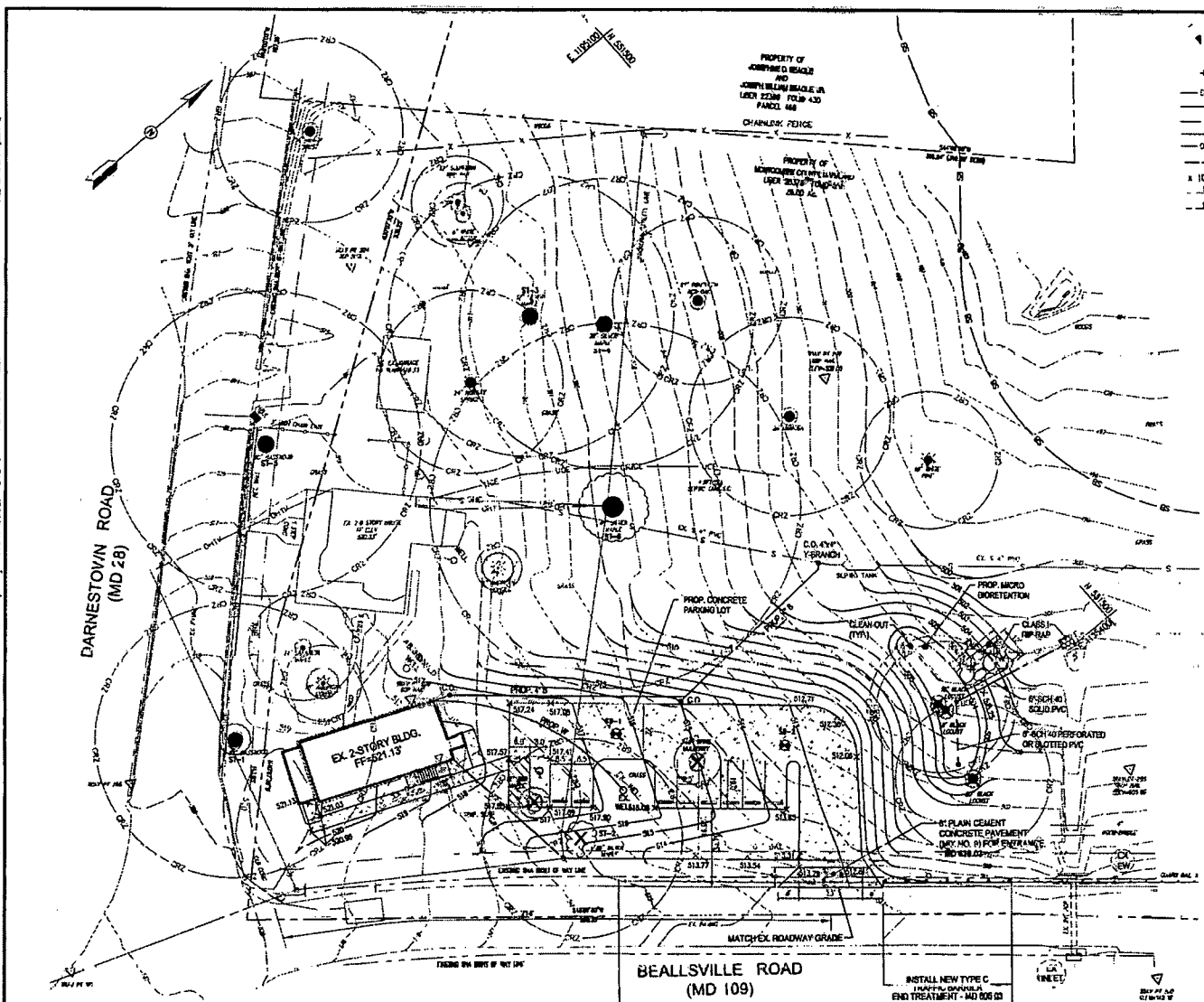
DWG. # **EX01**
SHT. # 3 of 33

FINAL SCANNED

PLAN CODE: C10

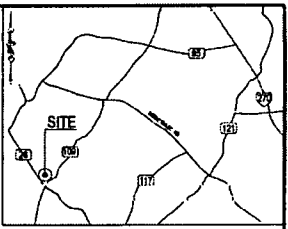
PLAN SCANNED

DATE: 02/15/15

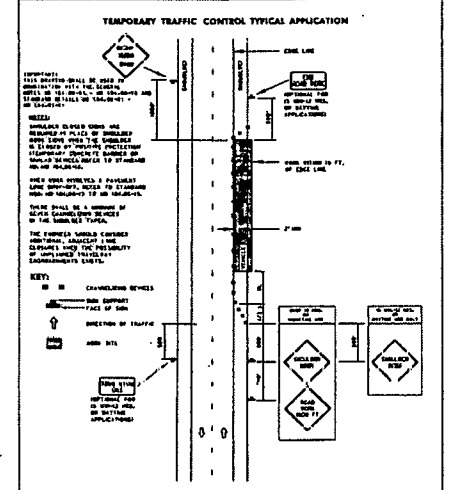


LEGEND

- EXISTING**
- UTILITY POLE
 - UNDER GROUND ELECTRIC LINE
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - OVERHEAD ELECTRIC LINE
 - PROPERTY LINE
 - x 100.25 SPOT ELEVATION
 - MINOR CONTOUR
 - MAJOR CONTOUR
- PROPOSED**
- SPOT ELEVATION
 - MINOR CONTOUR
 - MAJOR CONTOUR
 - CONCRETE PAVEMENT
 - EX. TREE TO BE REMOVED



NOTE: FOR MAINTENANCE OF TRAFFIC CONTRACTOR TO USE MD 104.02-02 STANDARD



PROPOSED: MONTGOMERY COUNTY DEPT OF PERMITTING SERVICES

Maryland Department of Transportation
STATE HIGHWAY ADMINISTRATION
STANDARD FOR HIGHWAY AND ACCESSORY STRUCTURES
SHOULDER WORK/3-LANE, 3-WAY
SQU/LESS THAN 40 MPH
STANDARD NO. MD 104.02-02

CALL "MISS UTILITY" AT
1-800-257-7777
48 Hours Before Start of Construction

BEALLSVILLE ROAD (MD 09)
INSTALL NEW TYPE C TRAFFIC BARRIER AND END TREATMENT
REMOVE EXISTING TRAFFIC BARRIER AND END TREATMENT

SCALE: 1"=20'

MONTGOMERY COUNTY DEPT OF PERMITTING SERVICES APPROVED FOR:		NOTE: MDCR APPROVAL DOES NOT NEGATE THE NEED OF A TRUCK ACCESS PERMIT
Stormwater Management:	Sediment Control Technical Requirements:	Administrative Requirements:
Reviewed: _____ Date: _____	Reviewed: _____ Date: _____	Reviewed: _____ Date: _____
Approved: _____ Date: _____	Approved: _____ Date: _____	Approved: _____ Date: _____

AS CONSULTANTS, INC.
400 ANAPLIS ROAD
LARKSPUR, MARYLAND 20756
PHONE: (301) 538-3001
FAX: (301) 535-3362
CONTACT: SANDY B. PARKS

DESIGN		Professional Certification: I hereby certify that these documents, and the work of approval by this, and that all in this regard and approval signed under this seal is the work of Maryland.
Landscape Architect:	Date: _____ Checked By: _____	
Architect:	Date: _____ Checked By: _____	
Engineer:	Date: _____ Checked By: _____	
Drawn by:	Date: _____ Checked By: _____	
Stamp No. 021613	Stamp No. 021613	Stamp No. 021613

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2500 Shiloh Avenue
Silver Spring, Maryland 20901
(301) 455-2335

REQUIREMENT APPROVAL		ISSUED FOR PROCUREMENT ON	
Project Manager:	Date: _____	Rev. No.:	Date: _____
Construction Manager:	Date: _____	Version:	Period Number:
Park Manager:	Date: _____		

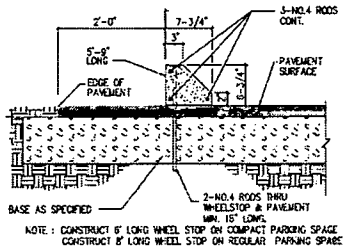
SITE PLAN
Rehabilitation of Darby Store
19801 Darnestown Road, Beallsville, MD 20839
PARCELS 300 & 407

DWG. #
PS01
SCALE: AS SHOWN
SHT. # 4 of 35

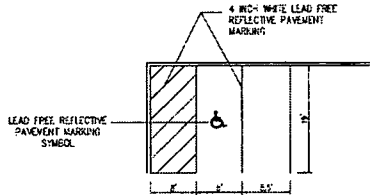
FINAL SCANNED

PLAN SCANNED

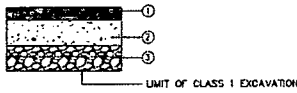
PARK CODE: CID



(A) PRECAST CONCRETE WHEEL STOP
Scale: N.T.S.



(R) PARKING LOT STRIPING
Scale: N.T.S.



- PAVEMENT LEGEND:**
- 1/2" HMA SUPERPAVE 9.5 MM FOR SURFACE, PG 70-22
 - 1/2" HMA SUPERPAVE 9.5 MM FOR BASE, PG 64-22
 - 6" GRADED AGGREGATE BASE COURSE (OR 09-4)

(C) PARKING LOT PAVEMENT
Scale: N.T.S.

NOTES:

1. SIGNS MAY BE REMOVED IF NECESSARY.
2. FOR THESE SIGNS REFER TO THE APPROVED SIGN SECTION FROM MDT'S STANDARD HIGHWAY SIGN MANUAL - URBAN SECTION.

SIGN	DIMENSIONS (INCHES)												
	A	B	C	D	E	F	G	H	J	K	L	M	
S1P	2	2	29	59	3-1/4	4	1	1	1	1	1	1	1

SIGN	DIMENSIONS (INCHES)											
	A	B	C	D	E	F	G	H	J	K	L	M
S1P	2	2	29	59	3-1/4	4	1	1	1	1	1	1

REFERENCES: MANDATED SECTION - 26.56, 26.56, 26.56, 26.56

LEGEND:
 BACKGROUND - WHITE
 HANDCAP MARK - WHITE ON BLUE

COLORS:
 GREEN - GREEN
 WHITE - WHITE
 BLUE - BLUE

APPROVED: [Signature]

Maryland Department of Transportation
 STATE HIGHWAY ADMINISTRATION
 MARYLAND STANDARD HIGHWAY SIGNS
 RESERVED PARKING (HANDICAP SYMBOL)
 MAXIMUM FINE SIZE

SIGN NUMBER: R7-403

NOTES:

1. SIGNS MAY BE REMOVED IF NECESSARY.
2. FOR THESE SIGNS REFER TO THE APPROVED SIGN SECTION FROM MDT'S STANDARD HIGHWAY SIGN MANUAL - URBAN SECTION.

SIGN	DIMENSIONS (INCHES)											
	A	B	C	D	E	F	G	H	J	K	L	M
S1P	2	2	29	59	3-1/4	4	1	1	1	1	1	1

REFERENCES: MANDATED SECTION - 26.56, 26.56, 26.56, 26.56

LEGEND:
 BACKGROUND - WHITE
 HANDCAP MARK - WHITE ON BLUE

COLORS:
 GREEN - GREEN
 WHITE - WHITE
 BLUE - BLUE

APPROVED: [Signature]

Maryland Department of Transportation
 STATE HIGHWAY ADMINISTRATION
 MARYLAND STANDARD HIGHWAY SIGNS
 RESERVED PARKING (HANDICAP SYMBOL)
 MAXIMUM FINE SIZE

SIGN NUMBER: R7-403

001000-11

MONTGOMERY COUNTY APPROVAL AS NOTED ON 06/14/2011

MONTGOMERY COUNTY DEPT OF PERMITTING SERVICES APPROVED FOR:		NOTE: MDCPS APPROVAL DOES NOT IMPLY THE NEED OF A RESERVE ACCESS PERMIT
Stormwater Management:	Sediment Control Technical Requirements:	Administrative Requirements:
Reviewed: _____ Date: _____	Reviewed: _____ Date: _____	Reviewed: _____ Date: _____
Approved: _____ Date: _____	Approved: _____ Date: _____	Approved: _____ Date: _____

DESIGN Landscape Architect: _____ Date: _____ Engineer: _____ Date: _____ Drawn by: _____ Date: _____ Checked by: _____ Date: _____	Professional Certification: I hereby certify that these drawings were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland.		REVIEW AND APPROVAL Project Manager: _____ Date: _____ Construction Manager: _____ Date: _____ Park Manager: _____ Date: _____	SERVED FOR PROCUREMENT ON: Item No. _____ Date: _____ Description: _____ Parcel Name: _____	TYPICAL DETAILS Rehabilitation of Darby Store 19801 Darrowsville Road, Beallville, MD 20839 PARCELS 300 & 407 JOB: 134-013 SCALE: AS SHOWN	DWG. # DE01 SHT. # 5 of 33

FINAL SCANNED

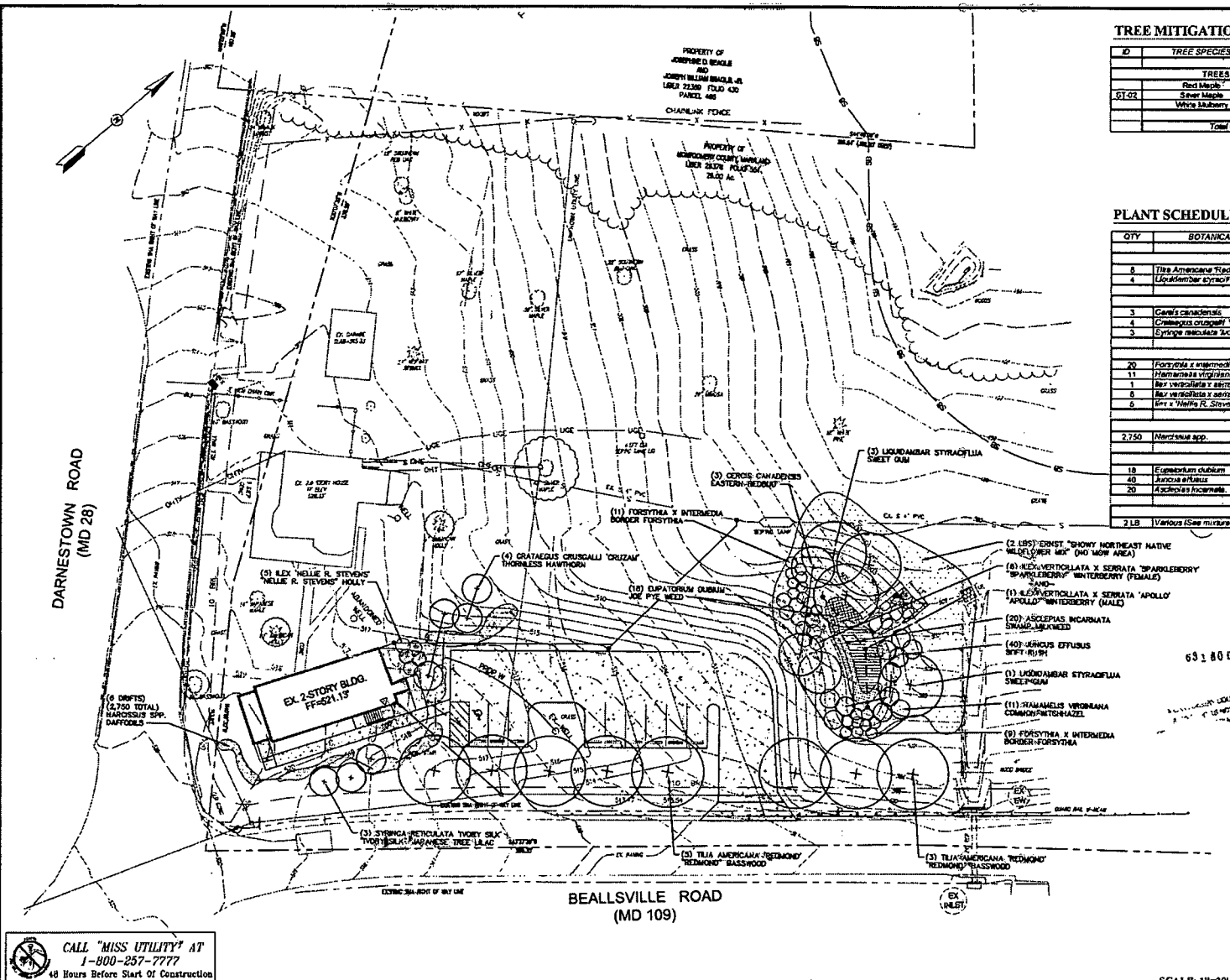
PLAN SCANNED

PARTY CODE: CID

PLANT CODE: CID

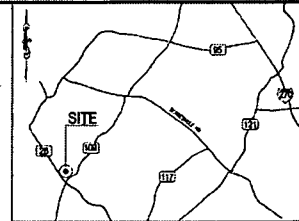
Project by: Darby Store, Inc. 1/13/2013 1:00 PM. All work to be done as per the attached drawings.

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start of Construction



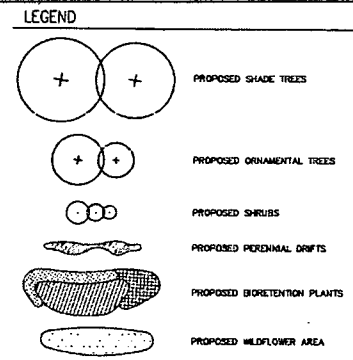
TREE MITIGATION SCHEDULE

ID	TREE SPECIES	CALIBER
TREES TO BE REMOVED:		
01-02	Red Maple	12"
	Sweet Maple	20"
	White Mulberry	8"
Total Caliber: 44"		



PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	TYPE
SHADE TREES					
8	<i>Tilia americana</i> 'Redmond'	'Redmond' Basswood	AS SHOWN	3" cal.	B&B
4	<i>Liquidambar styraciflua</i>	Sweet Gum	AS SHOWN	3" cal.	B&B
ORNAMENTAL TREES					
3	<i>Gaultheria canadensis</i>	Eastern Redstart	AS SHOWN	3" cal.	B&B
4	<i>Crataegus crusgalli</i> 'Crusgam'	Thomas's Hawthorn	AS SHOWN	3" cal.	B&B
3	<i>Cytisus reuteri</i> 'Easy Striz'	High Silb. Broomrape Tree Lilac	AS SHOWN	3" cal.	B&B
SHRUBS					
20	<i>Forsythia x intermedia</i>	Forsythia	AS SHOWN	2-3" H	B&B
11	<i>Hamamelis virginiana</i>	Common Witchhazel	AS SHOWN	3-4" H	B&B
1	<i>Berberis thunbergii</i> 'Aurea'	Wineberry (male) Spindle	AS SHOWN	3-4" H	B&B
6	<i>Ber. verticillata</i> x <i>astoria</i> 'Sparkleberry'	Wineberry (female) Sparkleberry	AS SHOWN	3-4" H	B&B
6	<i>Prun x 'Walter R. Stevens'</i>	'Walter R. Stevens' Holly	AS SHOWN	3-4" H	B&B
PERENNIALS					
2,350	<i>Veronica</i> spp.	Dafoone	6" O.C.	Bube	Bube
BIORETENTION					
18	<i>Eupatorium dubium</i>	'Joe Pye Weed'	2' O.C.	12" Min.	1 Galton Container
40	<i>Juncus effusus</i>	Soft Rush	2' O.C.	12" Min.	1 Galton Container
20	<i>Asclepias incarnata</i>	Swamp Milkweed	2' O.C.	12" Min.	1 Galton Container
WILDFLOWERS / GRASSES					
2 LB	<i>Various (See mixture specification)</i>	'Erat' Showy Northeast Native Wildflower Mix	15 LB/AC	N/A	Seeds



MONTOOMERY COUNTY DEPT OF PERMITTING SERVICES APPROVED FOR:

Stormwater Management:	Sediment Control Technical Requirements:	Administrative Requirements:
Reviewed: _____ Date: _____	Reviewed: _____ Date: _____	Reviewed: _____ Date: _____
Approved: _____ Date: _____	Approved: _____ Date: _____	Approved: _____ Date: _____

NOTE: SECTY APPROVAL DOES NOT IMPLY THE ISSUING OF A SECTY ASSISE PERMIS

AB CONSULTANTS, INC.
 8450 ANNEPOLES ROAD
 LANHAM, MARYLAND 20706
 PHONE: (301) 304-3001
 FAX: (301) 300-3363
 CONTACT: SARAH B. PATEL

DESIGN

Contractor Approved:	Date:	Checked By:
Architect:	Date:	Checked By:
Engineer:	Date:	Checked By:
Created by:	Date:	Checked By:
APP	02/21/13	APP

Professional Certification: I hereby certify that these drawings were prepared by me or by a duly licensed professional under my direct supervision and to the best of my knowledge and belief they conform to all applicable laws, regulations, and codes of the State of Maryland.

License No: 3608
 Expiration Date: 12-31-2014



The Maryland-Prince Georges Park and Planning Commission
 Montgomery County Department of Parks
 2550 Brunell Avenue
 Silver Spring, Maryland 20901
 (301) 485-2533

REVISIONS AND APPROVALS

Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON

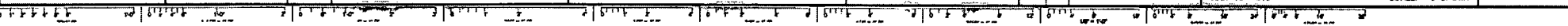
REVISED	REVISIONS
Rev. No.	Date
DATE	DESCRIPTION

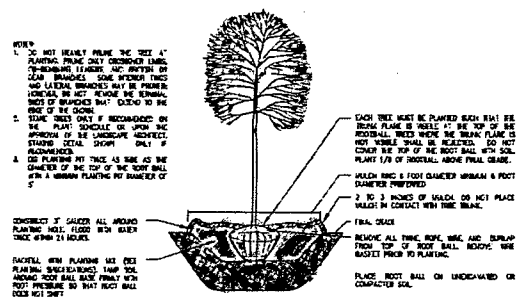
LANDSCAPE PLAN
 Rehabilitation of Durby Store
 19401 Darnestown Road, Beallsville, MD 20839
 PARCELS 300 & 401

LS01

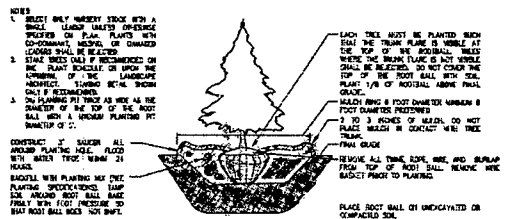
SCALE: AS SHOWN

DWG. # 1 of 2
 GHT. # 7 of 33

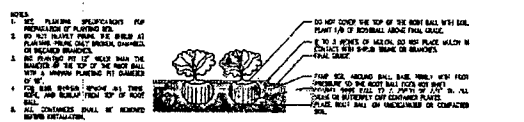




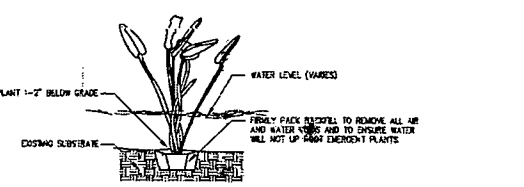
DECIDUOUS B&B TREE PLANTING DETAIL NOT TO SCALE



EVERGREEN B&B TREE PLANTING DETAIL NOT TO SCALE



SHRUB BED PLANTING DETAIL NOT TO SCALE



BIORETENTION PLANTING DETAIL NOT TO SCALE

LANDSCAPE NOTES

- PLANTS RELATED MATERIAL AND SPECIFICATIONS SHALL MEET THE "LATEST EDITION" AS SHOWN ON THE PLANS AND AS SPECIFIED HEREIN. UNLESS OTHERWISE SPECIFIED, SPECIFICATIONS SHALL BE THE "LATEST EDITION" OF THE AMERICAN ASSOCIATION OF PROFESSIONAL LANDSCAPE ARCHITECTS (AALA) STANDARDS. PLANTS SHALL BE NOT BEARING, NON-TOXIC, FREE FROM DISEASE, DEFOLIATION, BARK DAMAGE, AND ALL TYPES OF QUESTIONABLE DEFECTS. PLANTS SHALL BE REPLACED PLANT MATERIAL THAT IS DEAD OR WHICH HAS BEEN CUT BACK FROM LOWER PORTIONS TO NOT BE REPLACED. PLANTS SHALL BE REPLACED. PLANTS WITH FENCED LEAVES WILL BE SELECTED. ALL B & B PLANTS SHALL BE REPLACED. NO HEAVILY PRUNED PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL COMPLY TO THE MOST RECENT EDITION OF THE "LANDSCAPE INSTALLATION STANDARDS" BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MONTGOMERY COUNTY, A "NAT" (NATIONAL) LANDSCAPE CONTRACTORS ASSOCIATION APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MONTGOMERY COUNTY AND THE NATIONAL CHAPTER OF THE MONTGOMERY COUNTY OF LANDSCAPE CONTRACTORS.
- OWNER SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 18 MONTHS AFTER DATE OF ACCEPTANCE. IN ACCORDANCE WITH THE APPLICABLE SECTION OF THE LANDSCAPE SPECIFICATIONS, CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND IN THE YEAR OPERATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY AND APPROPRIATE UTILITY COMPANIES' UTILITY CONTRACTS, AND MUST NOTIFY A MINIMUM OF 48 HOURS PRIOR TO BE RECORDED BY ANY AGENCY. CONTRACTOR MUST MAKE NECESSARY ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONTRACTS WITH UTILITIES. MAJOR CHANGES WILL REQUIRE THE APPROVAL OF THE LANDSCAPE ARCHITECT. DAMAGE TO EXISTING STRUCTURE AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROGRAM PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN DRAINAGE BASIN OF COMPLETION OF THE CONSTRUCTION. DO NOT PLANT PLANTS SPECIFIED OR EQUIVALENTS UNLESS BELIEVED NECESSARY. 15 AND 18 MONTHS LANDSCAPE PLANTS ARE NOT TO BE INSTALLED BEFORE SITE IS GRADED TO FINAL GRADE.
- CONTRACTOR TO REGRADE THE GRADE, SOIL, HYDROLOGIC AND STRAIN HEALTH ALL AREAS DISTURBED BY THEIR WORK.
- NO SHALL BE BASED ON NORMAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM ACTUAL SITE CONDITIONS DIFFERING FROM WORK INDICATED ON DRAWINGS AND SPECIFICATIONS.
- PLANT MATERIALS ARE PROVIDED FOR THE CONVICTION OF THE CONTRACTOR ONLY. IF UNDESIRABLE CONDITIONS OCCUR WITHIN 18 MONTHS AFTER PLANTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE PLANT MATERIAL WITHIN THE SAME PERIOD. THESE SPECIFICATIONS ON THE PLAN LIST BETWEEN THE 2 CIRCLES AND THE CALL-OUT LEADER, THE NUMBER OF SPECIES THAT IS REQUIRED.
- ALL SPECIES AND UNDESIRABLE AREAS SHALL BE INSTALLED IN CONTINUOUS PLANTING BEDS, PREPARED AS SPECIFIED, UNLESS OTHERWISE INDICATED ON PLANS. (SEE SPECIFICATION 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100).
- BEFORE PLANTING SHALL BE MAINTAINED ON PLANTING BEDS (MINIMUM 2 FEET DEPTH).
- BEFORE PLANTING SHALL BE AS FOLLOWS: 1) 1" VARIETY OF COMPOST OR LEAFMULCH FOR 200 SF OF PLANTING BED, AND 1" VARIETY OF TOPSOIL FOR 100 SF OF BED. 2) 3" LBS OF STONEMORE 5-10-5 FERTILIZER PER 1000 SQ. YD. OF PLANTING BED. 3) 2" LBS OF STONEMORE 5-10-5 FERTILIZER PER 1000 SQ. YD. OF PLANTING BED. 4) 1" VARIETY OF PLANTING BED. 5) 1" VARIETY OF PLANTING BED. 6) 1" VARIETY OF PLANTING BED. 7) 1" VARIETY OF PLANTING BED. 8) 1" VARIETY OF PLANTING BED. 9) 1" VARIETY OF PLANTING BED. 10) 1" VARIETY OF PLANTING BED. 11) 1" VARIETY OF PLANTING BED. 12) 1" VARIETY OF PLANTING BED. 13) 1" VARIETY OF PLANTING BED. 14) 1" VARIETY OF PLANTING BED. 15) 1" VARIETY OF PLANTING BED. 16) 1" VARIETY OF PLANTING BED. 17) 1" VARIETY OF PLANTING BED. 18) 1" VARIETY OF PLANTING BED. 19) 1" VARIETY OF PLANTING BED. 20) 1" VARIETY OF PLANTING BED. 21) 1" VARIETY OF PLANTING BED. 22) 1" VARIETY OF PLANTING BED. 23) 1" VARIETY OF PLANTING BED. 24) 1" VARIETY OF PLANTING BED. 25) 1" VARIETY OF PLANTING BED. 26) 1" VARIETY OF PLANTING BED. 27) 1" VARIETY OF PLANTING BED. 28) 1" VARIETY OF PLANTING BED. 29) 1" VARIETY OF PLANTING BED. 30) 1" VARIETY OF PLANTING BED. 31) 1" VARIETY OF PLANTING BED. 32) 1" VARIETY OF PLANTING BED. 33) 1" VARIETY OF PLANTING BED. 34) 1" VARIETY OF PLANTING BED. 35) 1" VARIETY OF PLANTING BED. 36) 1" VARIETY OF PLANTING BED. 37) 1" VARIETY OF PLANTING BED. 38) 1" VARIETY OF PLANTING BED. 39) 1" VARIETY OF PLANTING BED. 40) 1" VARIETY OF PLANTING BED. 41) 1" VARIETY OF PLANTING BED. 42) 1" VARIETY OF PLANTING BED. 43) 1" VARIETY OF PLANTING BED. 44) 1" VARIETY OF PLANTING BED. 45) 1" VARIETY OF PLANTING BED. 46) 1" VARIETY OF PLANTING BED. 47) 1" VARIETY OF PLANTING BED. 48) 1" VARIETY OF PLANTING BED. 49) 1" VARIETY OF PLANTING BED. 50) 1" VARIETY OF PLANTING BED. 51) 1" VARIETY OF PLANTING BED. 52) 1" VARIETY OF PLANTING BED. 53) 1" VARIETY OF PLANTING BED. 54) 1" VARIETY OF PLANTING BED. 55) 1" VARIETY OF PLANTING BED. 56) 1" VARIETY OF PLANTING BED. 57) 1" VARIETY OF PLANTING BED. 58) 1" VARIETY OF PLANTING BED. 59) 1" VARIETY OF PLANTING BED. 60) 1" VARIETY OF PLANTING BED. 61) 1" VARIETY OF PLANTING BED. 62) 1" VARIETY OF PLANTING BED. 63) 1" VARIETY OF PLANTING BED. 64) 1" VARIETY OF PLANTING BED. 65) 1" VARIETY OF PLANTING BED. 66) 1" VARIETY OF PLANTING BED. 67) 1" VARIETY OF PLANTING BED. 68) 1" VARIETY OF PLANTING BED. 69) 1" VARIETY OF PLANTING BED. 70) 1" VARIETY OF PLANTING BED. 71) 1" VARIETY OF PLANTING BED. 72) 1" VARIETY OF PLANTING BED. 73) 1" VARIETY OF PLANTING BED. 74) 1" VARIETY OF PLANTING BED. 75) 1" VARIETY OF PLANTING BED. 76) 1" VARIETY OF PLANTING BED. 77) 1" VARIETY OF PLANTING BED. 78) 1" VARIETY OF PLANTING BED. 79) 1" VARIETY OF PLANTING BED. 80) 1" VARIETY OF PLANTING BED. 81) 1" VARIETY OF PLANTING BED. 82) 1" VARIETY OF PLANTING BED. 83) 1" VARIETY OF PLANTING BED. 84) 1" VARIETY OF PLANTING BED. 85) 1" VARIETY OF PLANTING BED. 86) 1" VARIETY OF PLANTING BED. 87) 1" VARIETY OF PLANTING BED. 88) 1" VARIETY OF PLANTING BED. 89) 1" VARIETY OF PLANTING BED. 90) 1" VARIETY OF PLANTING BED. 91) 1" VARIETY OF PLANTING BED. 92) 1" VARIETY OF PLANTING BED. 93) 1" VARIETY OF PLANTING BED. 94) 1" VARIETY OF PLANTING BED. 95) 1" VARIETY OF PLANTING BED. 96) 1" VARIETY OF PLANTING BED. 97) 1" VARIETY OF PLANTING BED. 98) 1" VARIETY OF PLANTING BED. 99) 1" VARIETY OF PLANTING BED. 100) 1" VARIETY OF PLANTING BED.
- PLANTING BED FOR TREES NOT IN A PLANTED BED, NO SOIL TO USE AS BACKFILL. SEE TREE PLANTING DETAIL.
- IN A PLANTING BED, INCORPORATE A PRE-EXISTENT NETWORK INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. FOR TREE PLANTING, APPLY A PRE-EXISTENT ON TOP OF SOIL AND ROOT BALL. BEFORE PLANTING, GROUND MUST BE PLANTED WITH A GRADED GRADE. BE SURE TO CHECK FOR ANY EXISTING NETWORKS. BEFORE PLANTING, GROUND MUST BE PLANTED WITH A GRADED GRADE. BE SURE TO CHECK FOR ANY EXISTING NETWORKS. BEFORE PLANTING, GROUND MUST BE PLANTED WITH A GRADED GRADE. BE SURE TO CHECK FOR ANY EXISTING NETWORKS.
- UNLESS ALL PLANT MATERIAL PLANTED SHALL BE WATERED THROUGHOUT THE DAY OF PLANTING. ALL PLANT MATERIAL NOT SET PLANTED SHALL BE PROTECTIVELY COVERED FROM DRYING UNTIL PLANTED. AT A MINIMUM, WATER UNPLANTED PLANT MATERIAL DAILY AND AS NECESSARY TO AVOID DETERIORATION.
- PRELIMINARY DO NOT HEAVILY PRUNE TREES AND SHRUBS AT PLANTING. PRUNE ONLY BRONCH DEAD OR DISEASED BRANCHES.
- ALL AREAS WITHIN CONTACT HAVES DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE THE GRADED, GRASS SEED PLANTED, AND COVERED WITH STRAW MULCH.
- THE TREES PROPOSED SHOULD BE MAINTAINED, FERTILIZED AND PRUNED, AS NECESSARY, FOR THE (5) YEARS. ANY TREES THAT ARE SHOULD BE REPLACED.

681800

MONTGOMERY COUNTY APPROVED AS NOTED BY THE BOARD OF PLANNING AND ZONING

CALL "MISS UTILITY" AT 1-800-257-7777 48 hours Before Start of Construction

AB CONSULTANTS, INC. 8450 MANAPOLIS ROAD LARHALL MARYLAND 20706 PHONE: (301) 306-3000 FAX: (301) 306-3002 CONTACT: SARAH B. PATEL

DESIGN	Project/Client/Location/Therapy/Party/Date/Issue
Landscape Architect	Date
Architect	Date
Engineer	Date
Drawn by	Date
Checked by	Date



The Maryland-National Capital Park and Planning Commission Montgomery County Department of Parks 2500 Branch Avenue Silver Spring, Maryland 20901 (301) 428-2335

REVISION AND APPROVAL	ISSUED FOR PROCUREMENT OR REVISIONS
Project Manager	Date
Construction Manager	Date
Permit Manager	Date

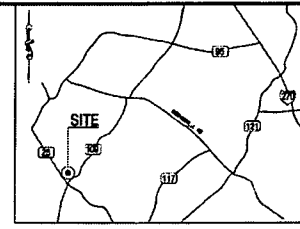
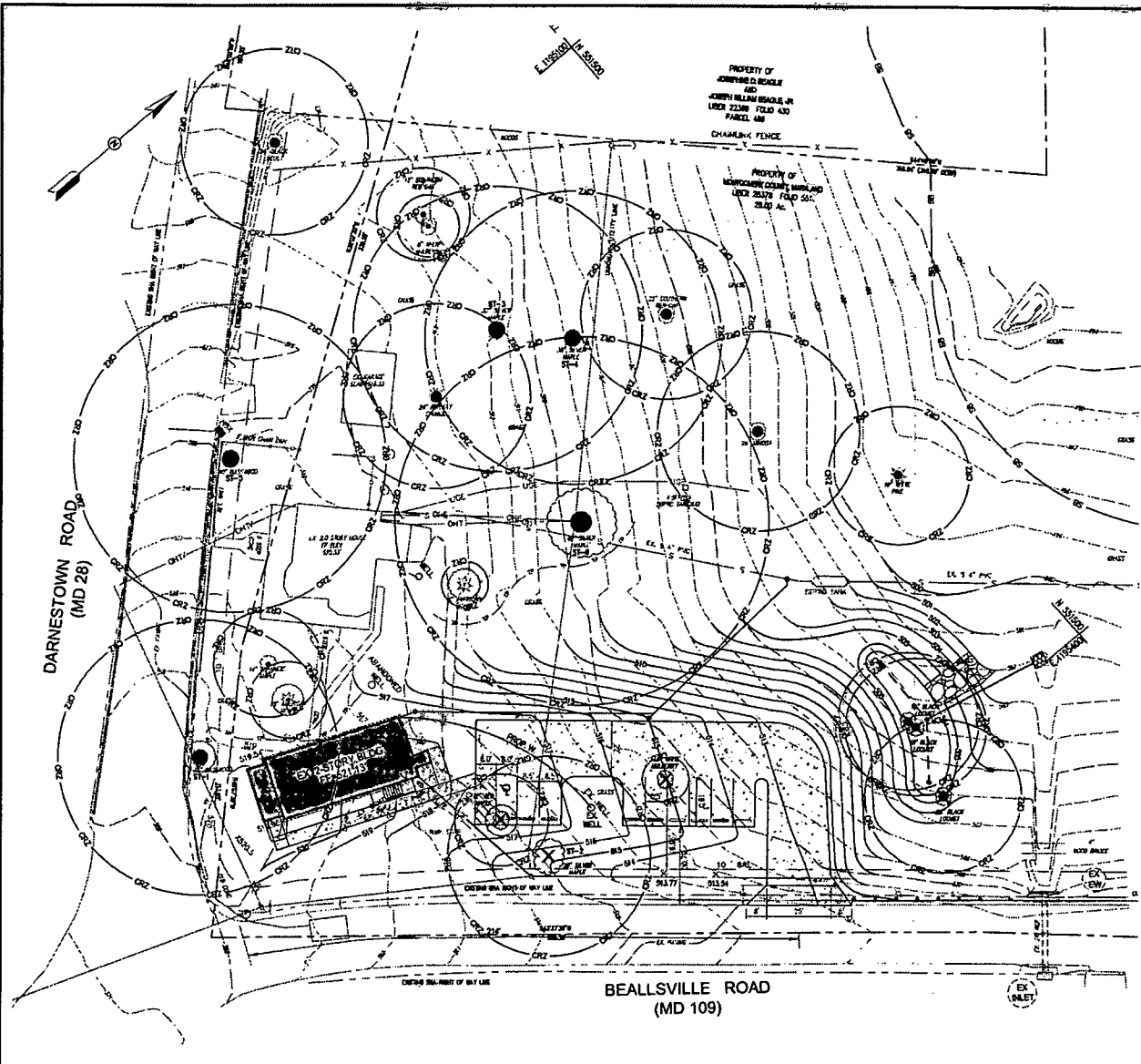
MONTGOMERY COUNTY DEPT OF PERMITTING SERVICES APPROVED FOR:		NOTE: AGENCY APPROVAL DOES NOT NEGATE THE NEED FOR A PERMIT ACTION PERMIT.
Stormwater Management:	Sediment Control Technical Requirements:	Administrative Requirements:
Reviewed	Reviewed	Reviewed
Date	Date	Date
Approved	Approved	Approved
Date	Date	Date

SCALE: 1"=20' LANDSCAPE DETAILS Rehabilitation of Darby Store 19601 Danmarwood Road, Bethesda, MD 20839 PARCELS 300 & 407 JOB: 134-013 SCALE: AS SHOWN DWG. # 2 of 2 LS02 BHT. # 2 of 33

FINAL SCANNED:

PLAN CODE: C10

PLAN SCANNED: 01/20/2014 10:52 AM, Plotter: 01/20/2014 10:52 AM, Plotter: 01/20/2014 10:52 AM, Plotter: 01/20/2014 10:52 AM



GENERAL NOTES:

- Location:
Tax 0014917 Map CU22, Parcel 300 & 407
11 Election District
Montgomery County, Maryland
Zoning: RDT & C-1
Land Use: Exempt
Owner/Developer:
Maryland National Capital Park & Planning Commission
5500 Brunel Avenue
Silver Spring, MD 20910
- Topographic survey is field run topography by AB consultants, inc. all specimen trees were measured utilizing a DBH tape and were field surveyed.
- Wetland & Streams:
There are no wetlands or streams located within the study area. The Darby House and Store are within the Little Monocacy River watershed, which drains to the Potomac River. Two intermittent tributaries are associated with the property. One intermittent tributary begins due north of the Darby Store just inside the existing tree line, originating from two on-site springheads and associated wetlands area. The beginning of an intermittent stream also occurs along the northern park boundary within existing forest. No 100-year floodplain is mapped on the property. The Darby House and Store are not within a PMA or SPA.
- Forest Stand Delineation:
Forest Stand Delineation was performed by Justin K. Frye, P.L.A., AB Consultants, Inc. August 28, 2010.
- Floodplain:
There are no floodplain building restriction lines within the study area.
- Soils:
Soils information is taken from the most recent USDA-SCS soil survey of Montgomery County per website: survey.nrc.usda.gov.
- No threatened, rare, or endangered species were observed during the site investigation.
- A letter dated October 5, 2010, from the Maryland Department of Natural Resources Wildlife and Heritage Service states that their analysis suggests that the forested area on the site contains Forest Interior Dwelling Bird species (FIDS) habitat.
- The historic Darby House and Store are located within the study area.
- Specimen trees are located within the study area. See specimen tree list.
- There are no special protection or primary management areas within the study area.

631600-221

MONTGOMERY COUNTY
APPROVED AS NOTED
ON 01/20/2014

LEGEND

- CRITICAL ROOT ZONE
- ST-1 SPECIMEN TREE
- TREE PROTECTION FENCE & ROOT PRUNING
- TREE TO BE REMOVED

SCALE: 1"=20'

AB CONSULTANTS, INC.
8450 ANNEAPOLIS ROAD
LANSAN, MARYLAND 20706
PHONE: (301) 305-3091
FAX: (301) 305-3072
CONTACT: SAHAY & PATIL

DESIGN		Checked By	
Landscape Architect	Date	Checked By	Date
Architect	Date	Checked By	Date
Engineer	Date	Checked By	Date
Survey	Date	Checked By	Date

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional landscape architect, acting in the name of the State of Maryland.
License No. 3608
Expiration Date: 12-21-2014



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
5500 Brunel Avenue
Silver Spring, Maryland 20901
(301) 435-2525

REVISION AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON		
REVISED		
Rev. No.	Date	Description

FOREST CONSERVATION PLAN
Rehabilitation of Darby Store
1901 Darnestown Road, Beallsville, MD 20839
PARCELS 300 & 407

DWG. # 1 of 2

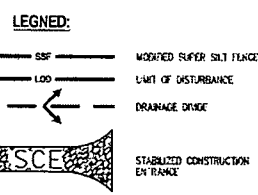
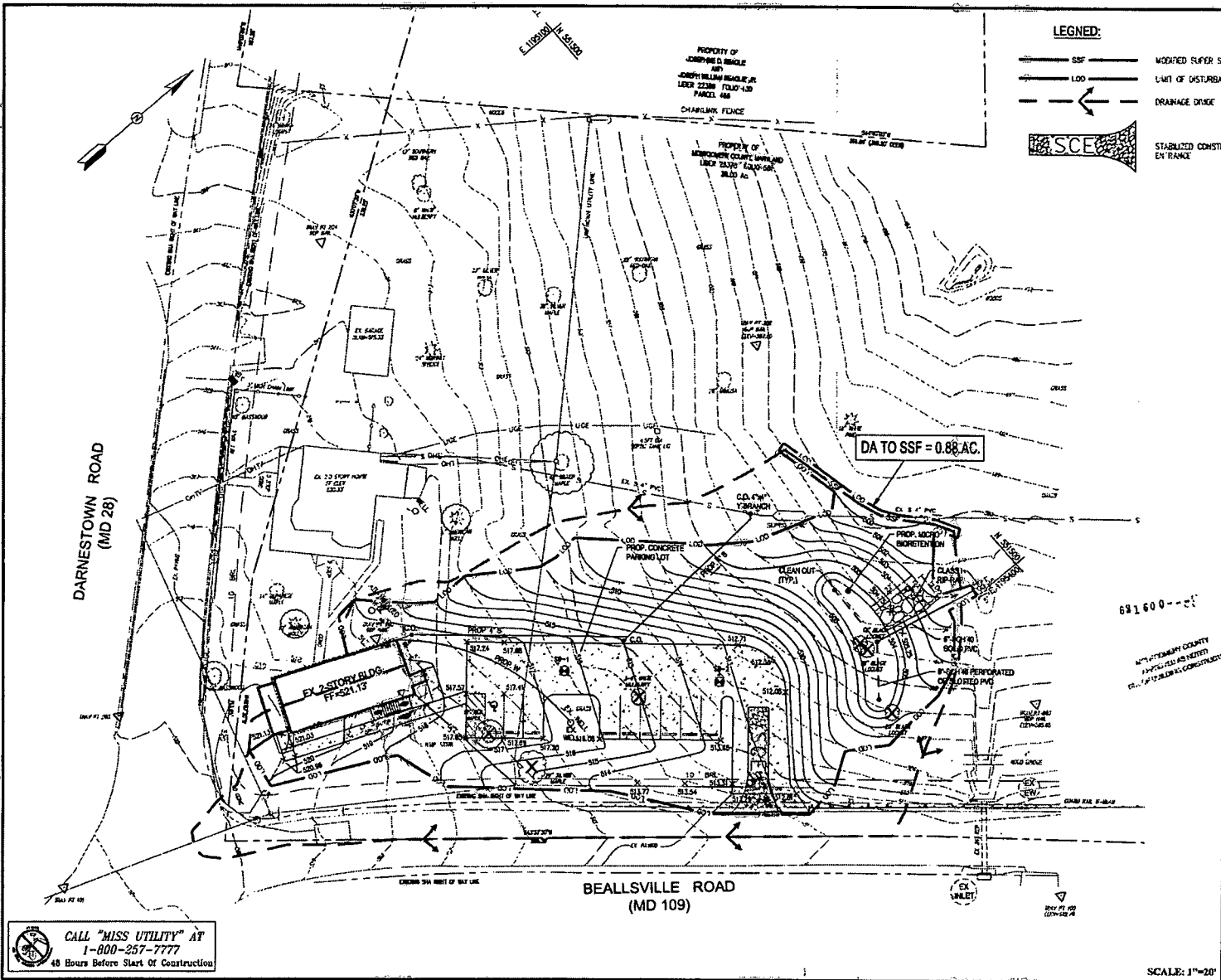
FCP01

JOB: 134-013

SCALE: AS SHOWN

SHT. # 9 of 33

FINAL SCANNED: PLAN: SCANNED: PAK: CODE: C10 PLAN: SCANNED: PAK: CODE: C10



OWNER'S/DEVELOPER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

SIGNATURE _____ DATE _____
 PRINTED NAME AND TITLE _____ DEPARTMENT OF PARKS

MAINTENANCE CERTIFICATION

I/WE HEREBY CERTIFY THAT I/WE ASSUME MAINTENANCE RESPONSIBILITIES FOR ALL STORMWATER MANAGEMENT STRUCTURES SHOWN HEREON IF MAINTENANCE RESPONSIBILITY IS LEGALLY TRANSFERRED. I/WE AGREE TO SUPPLY THE MONTGOMERY COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION WITH A COPY OF THE DOCUMENT (SIGNED BY BOTH PARTIES) TRANSFERRING SAID MAINTENANCE RESPONSIBILITY AT THAT TIME.

OWNER/DEVELOPER SIGNATURE _____ DATE _____
 PRINTED NAME AND TITLE _____ DEPARTMENT OF PARKS

DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE "2011 HAITLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL" MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES EXECUTIVE REGULATIONS 5-90 AND 7-02AM AND 36-90, AND MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION "STORM DRAIN DESIGN CRITERIA" DATED AUGUST 1988.

DESIGN ENGINEER SIGNATURE *Joseph Poles* DATE March 15, 2013
 SANJAY PATEL 31042
 PRINTED NAME REGISTRATION NUMBER

CERTIFICATION OF QUANTITIES

I HEREBY CERTIFY THAT THE ESTIMATED TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO 300 CUBIC YARDS OF EXCAVATION, 1922 CUBIC YARDS OF FILL AND THE TOTAL AREA TO BE DISTURBED AS SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE 10646 SQUARE FEET.

SIGNATURE *Joseph Poles* DATE March 15, 2013
 SANJAY PATEL 31042
 PRINTED NAME REGISTRATION NUMBER

NOTE:

- ENTIRE SITE IS CLASSIFIED AS TYPE "B" SOIL.
- ALL DISTURBED AREAS MUST BE TOPSOILED PER THE MONTGOMERY COUNTY "STANDARDS AND SPECIFICATION FOR TOPSOIL", PRIOR TO FINAL VEGETATIVE STABILIZATION.

STOCKPILE:
 CONTRACTOR TO PROVIDE STOCKPILE / STAGING WITHIN LIMIT OF DISTURBANCE AREA.

MONTGOMERY COUNTY DEPT OF PERMITTING SERVICES APPROVED FOR:		NOTE: MICRO APPROVAL DOES NOT NEGATE THE NEED OF A MICRO APPROVAL PERMIT
Stormwater Management:	Sediment Control Technical Requirements:	Administrative Requirements:
Reviewed: _____ Date: _____	Reviewed: _____ Date: _____	Reviewed: _____ Date: _____
Approved: _____ Date: _____	Approved: _____ Date: _____	Approved: _____ Date: _____

SCALE: 1"=20'

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start of Construction

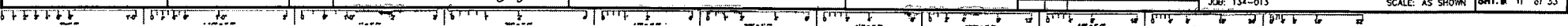
AB CONSULTANTS, INC.
 8432 ANNAPOLIS ROAD
 LANHAM, MARYLAND 20708
 PHONE: (301) 306-3301
 FAX: (301) 308-3082
 CONTACT: SEANANT B. PATEL

DESIGN		Professional Certification: I hereby certify that these documents were prepared or supervised by me, and that I am duly licensed professional engineer under the laws of the State of Maryland.
Designer	Date	
Checked By	Date	
Engineer	Date	
Drawn by	Date	
Checked by	Date	
Exp. Date	Exp. Date	

The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Parks
 2528 Strickland Avenue
 Silver Spring, Maryland 20901
 (301) 495-2533

REVIEW AND APPROVAL		REVISION FOR PROCUREMENT OR REVISIONS	
Project Manager	Date	Rev. No.	Description
Construction Manager	Date	Rev. No.	Description
Permit Manager	Date	Rev. No.	Description

EROSION AND SEDIMENT CONTROL PLAN
 Rehabilitation of Darby Store
 1980 Darnestown Road, Beallsville, MD 20839
 PAKCELLS 300 & 407
 JOB: 134-013 SCALE: AS SHOWN SHT. # 11 of 33



TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRAIN DISTRIBUTION.

CONDITIONS WHERE PRACTICE APPLIES

- 1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE SOIL SURVEY PUBLISHED BY THE USDA-SOIS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

2. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CONCRETE, STONE, BRICK, CERAMIC FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

3. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, WET SPONGE, POISON Ivy, HEMLOCK, OR OTHERS AS SPECIFIED.
4. WHERE THE SUBSOIL IS EITHER HEAVILY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-6 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

5. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

6. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
A. ON SITES HAVING DISTURBED AREAS, OBTAIN TEST RESULTS INDICATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
2. ORGANIC CONTENT OF TOPSOIL SHALL NOT BE LESS THAN 1.5 PERCENT BY WEIGHT.
3. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
4. NO SOIL OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILIZANTS OR CHEMICALS USED FOR WEED CONTROL. IF SUCH TREATMENT HAS ELAPSED (14 DAYS MAY) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
7. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

8. TOPSOIL APPLICATION:
A. WHEN TOP SOILING, MAINTAIN HEADED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS INVERTED, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SALT FENCE AND SEDIMENT TRAPS AND BARRIERS.
B. GRASSES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALIGHT 8" HIGH IN ELEVATION.

9. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND TIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 1/2". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SOODING CAN PROCEED WITHIN A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TRAFFIC. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOP SOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POOLS.

10. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRASSING AND SEEDING PREPARATION.

11. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERICAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
1. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE IDENTIFIED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER CONSENT 26A-09.
2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOROUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQ. FT.
4. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

MATERIALS SPECIFICATIONS

TABLE 27 - GEOTEXTILE FABRICS

Table with 5 columns: CLASS, APPARENT OPENING SIZE (IN. MAX.), STRAB TENSILE LB. MIN., BURST STRENGTH PSI. MIN., and PERCENT OPENING (TYP. FENCE). Rows include A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z.

TABLE 28 - STONE SIZE

Table with 5 columns: NUMBER OF, SIZE RANGE, 3/8", 1/2", 3/4", 1", 1 1/2", 2", 3", 4", 6", 8", 12", 18", 24", 30", 36", 48", 60", 72", 90", 108", 120", 144", 180", 216", 240", 300", 360", 480", 600", 720", 900", 1080", 1200", 1440", 1800", 2160", 2400", 3000", 3600", 4800", 6000", 7200", 9000", 10800", 12000, 14400, 18000, 21600, 24000, 30000, 36000, 48000, 60000, 72000, 90000, 108000, 120000, 144000, 180000, 216000, 240000, 300000, 360000, 480000, 600000, 720000, 900000, 1080000, 1200000, 1440000, 1800000, 2160000, 2400000, 3000000, 3600000, 4800000, 6000000, 7200000, 9000000, 10800000, 12000000, 14400000, 18000000, 21600000, 24000000, 30000000, 36000000, 48000000, 60000000, 72000000, 90000000, 108000000, 120000000, 144000000, 180000000, 216000000, 240000000, 300000000, 360000000, 480000000, 600000000, 720000000, 900000000, 1080000000, 1200000000, 1440000000, 1800000000, 2160000000, 2400000000, 3000000000, 3600000000, 4800000000, 6000000000, 7200000000, 9000000000, 10800000000, 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FINAL DRAWING

PLAN DRAWING

PHASE CODE: C-1

DATE: 08/28/2013

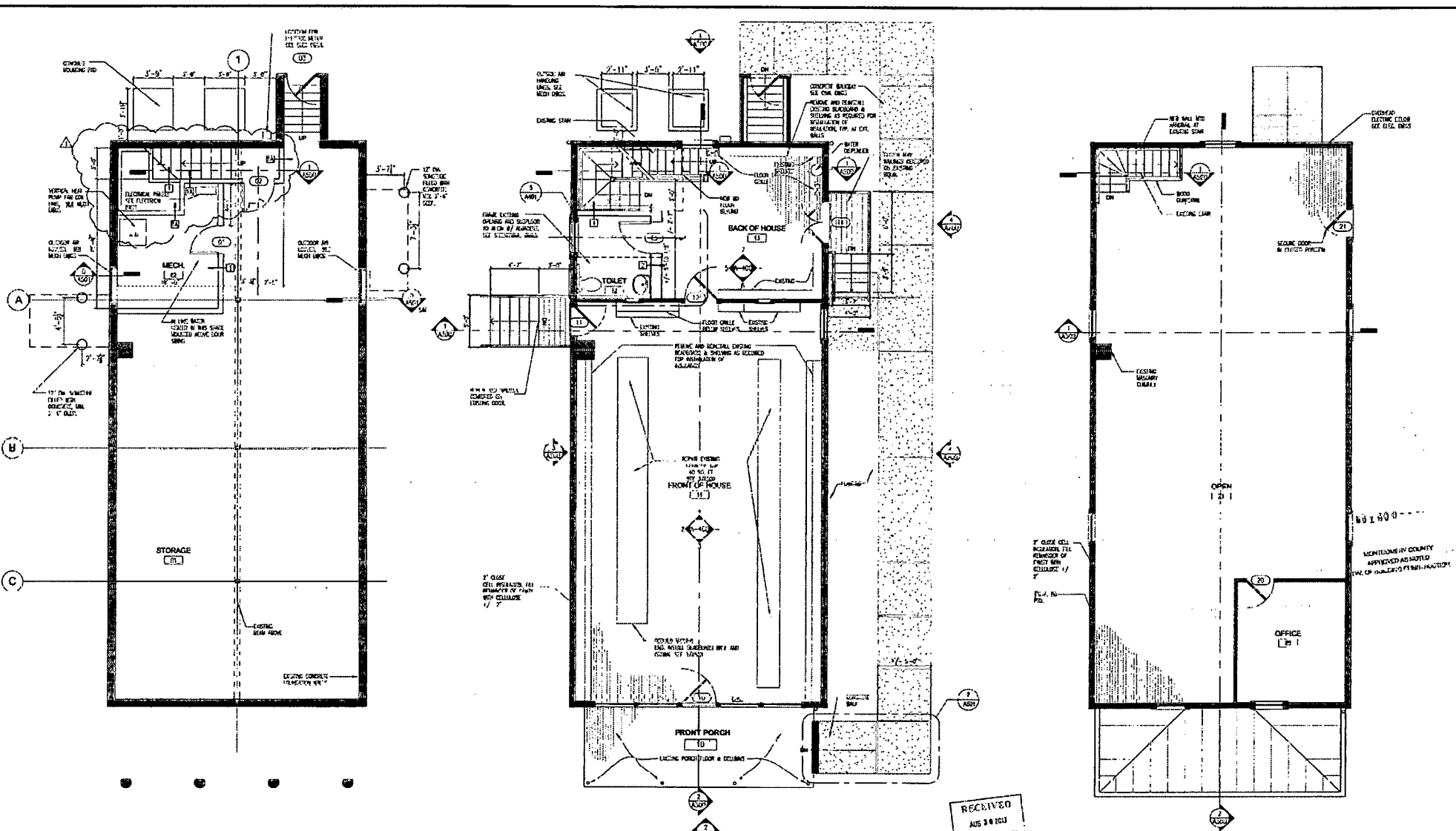
SCALE: AS SHOWN

PROJECT: REHABILITATION OF DARBY STORE

NO. 134-013

DATE: 08/28/2013

SCALE: AS SHOWN



3 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

RECEIVED
AUG 28 2013
MONTGOMERY COUNTY DEPARTMENT OF PERKS

BELL architects
1228 9th Street, NW Washington DC 20001
Tel: 202.646.7870
www.bellarchitects.com

DESIGN		Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.	
Lead Architect	Date	Checked By	License No. 19915
Architect	Date	Checked By	Expiration Date: March 29, 2014
Engineer	Date	Checked By	
Drawn by	Date	Checked By	



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Perks
2530 Shopp's Avenue
Silver Spring, Maryland 20901
(301) 493-2535

REVIEW AND APPROVAL		ISSUED FOR PROCUREMENT ON	
Project Manager	Date	REV. NO.	DATE
Consultation Manager	Date	001	PERMIT REVIEW
Perk Manager	Date	002	PERMIT COMMENTS
		003	PERMIT COMMENTS

FLOOR PLANS
REHABILITATION OF DARBY STORE
JOB: 134-013
SCALE: AS SHOWN

DWG. # 03 of 11
A-100
SHT. # 14 of 34

FINAL EXAMINED.

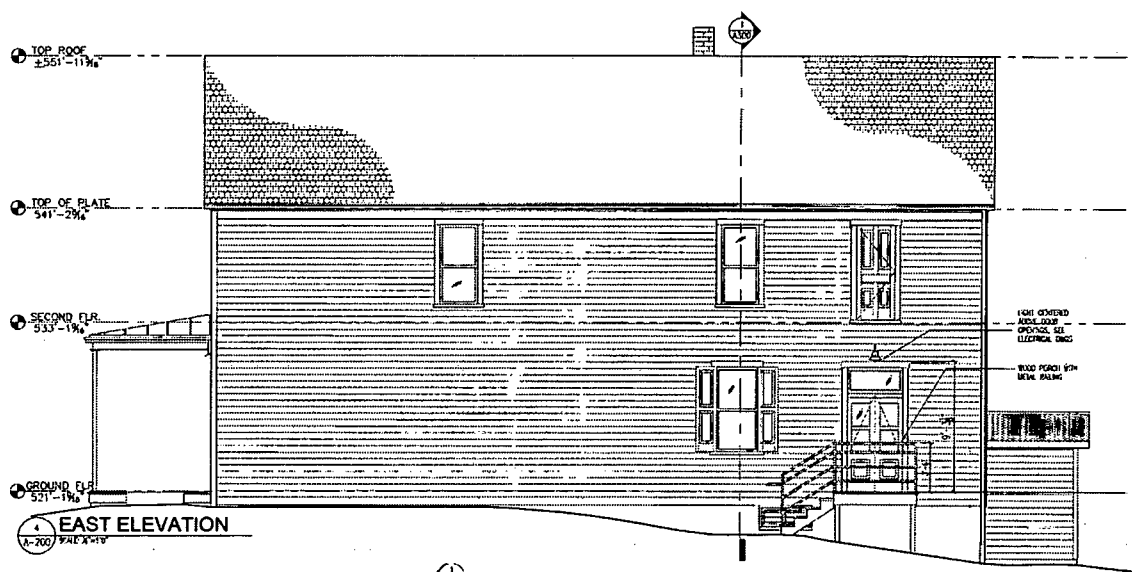
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PARK CODE: E10

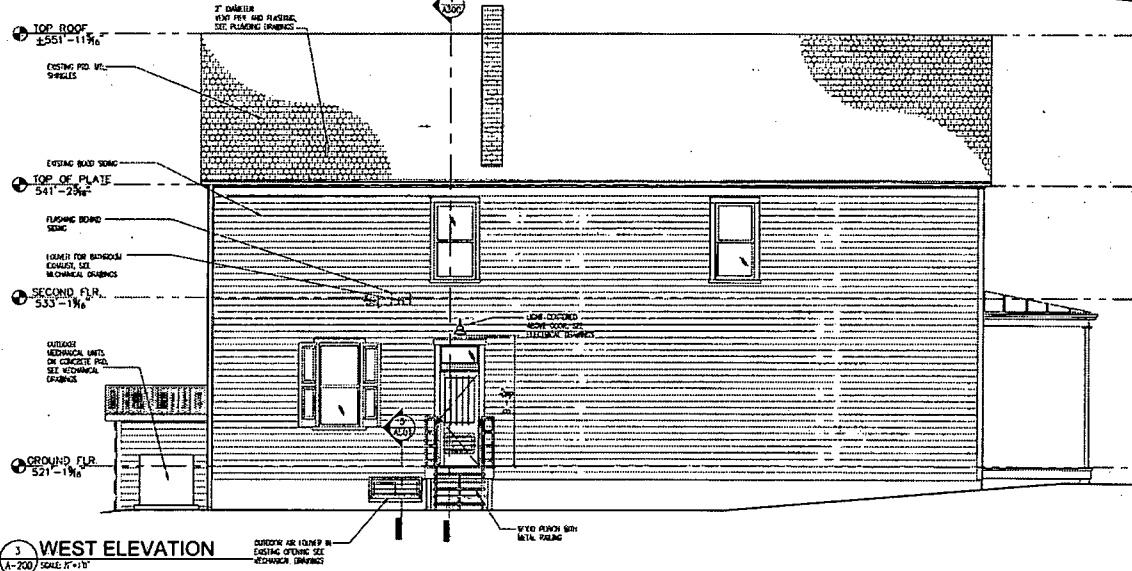
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DATE

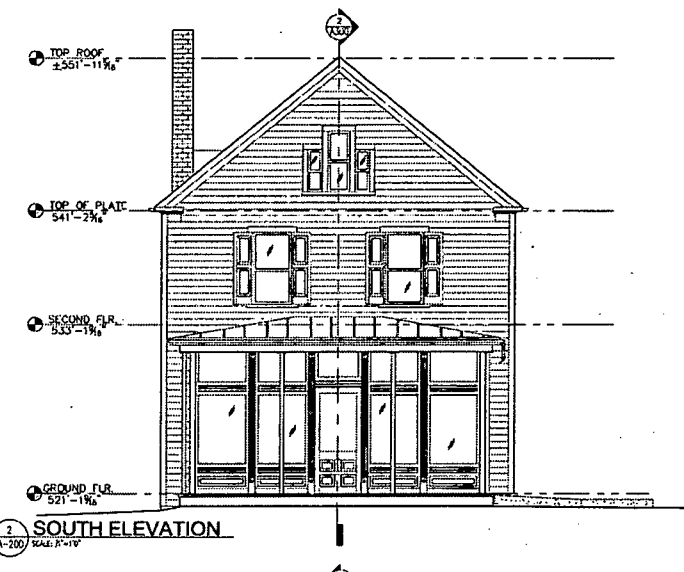
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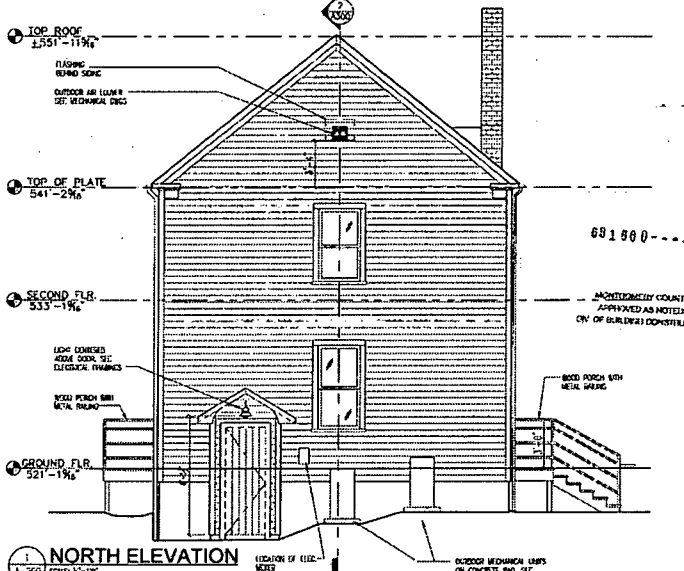
1 EAST ELEVATION
A-200 SCALE: 1/4"=1'-0"



3 WEST ELEVATION
A-200 SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION
A-200 SCALE: 1/4"=1'-0"



4 NORTH ELEVATION
A-200 SCALE: 1/4"=1'-0"



DESIGN			
Landscape Architect	Date	Checked By	
Architect	Date	Checked By	
Engineer	Date	Checked By	
Drawn by	Date	Checked By	
OR			

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 13213
Expiration Date: March 28, 2014



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
5500 Brandywine Avenue
Silver Spring, Maryland 20961
(301) 450-2530

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Post Manager	Date

ISSUED FOR PROCUREMENT OR REVISIONS		
Rev. No.	Date	Description

EXTERIOR ELEVATIONS
REHABILITATION OF DARBY STORE

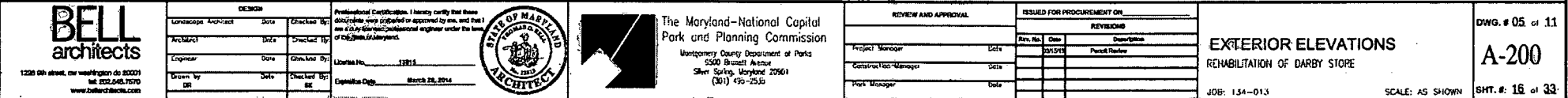
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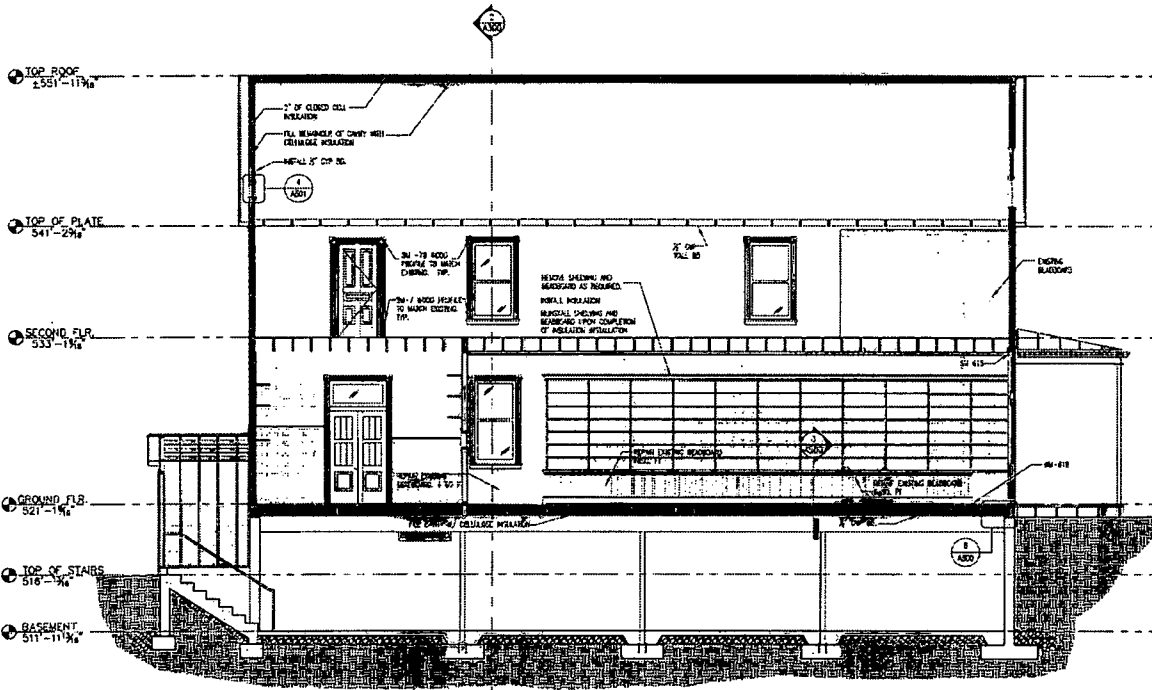
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A-200

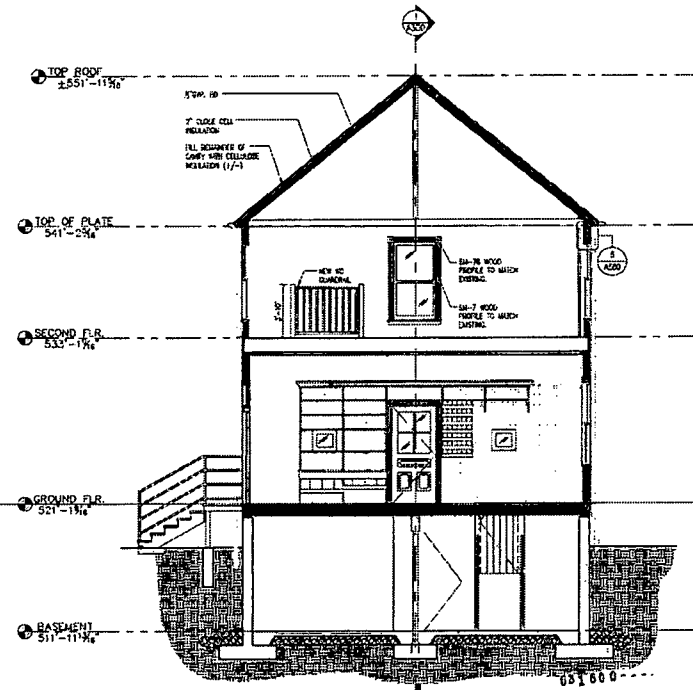
SHT. # 16 of 33

1/2" = 1'-0"





SECTION LOOKING EAST
SCALE: 3/8"=1'-0"



SECTION LOOKING NORTH
SCALE: 3/8"=1'-0"

MONTGOMERY COUNTY
APPROVED AS NOTED
ON: OF OUR Ongoing CONSTRUCTION



DESIGN		
Landscape Architect	Date	Checked By
Architect	Date	Checked By
Engineer	Date	Checked By
Drawn by	Date	Checked By

Professional Seal: I hereby certify that these drawings were prepared by me or under my direct supervision and approval. I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 12881

Expiry Date: March 25, 2014



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9900 Shuman Avenue
9th Floor, Silver Spring, Maryland 20921
(301) 485-7635

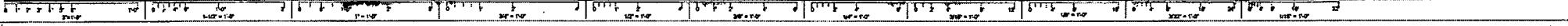
REVIEW AND APPROVAL		
Project Manager	Date	Signature
Construction Manager	Date	Signature
Park Manager	Date	Signature

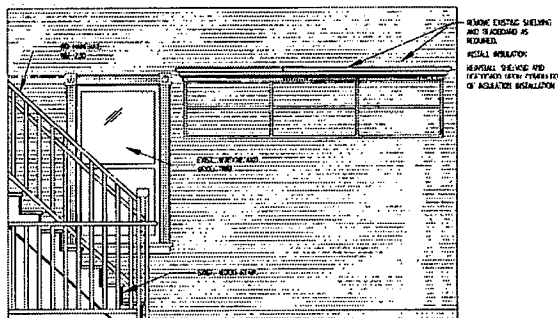
ISSUED FOR PROCUREMENT ON		
Revised	Date	Description
01		
02		
03		

BUILDING SECTIONS
REHABILITATION OF DARBY STORE

JOB: 134-013 SCALE: AS SHOWN

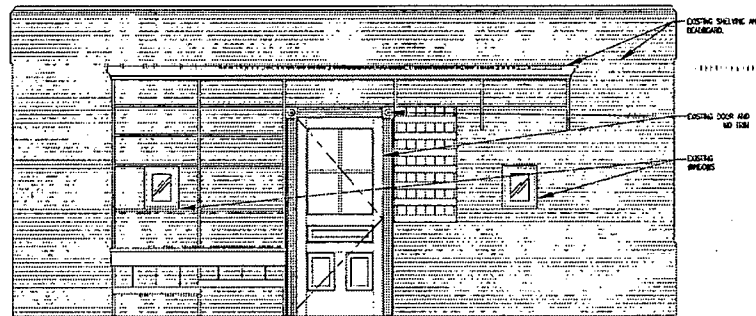
DWG. # 06 of 11
A-300
SHT. # 17 of 33





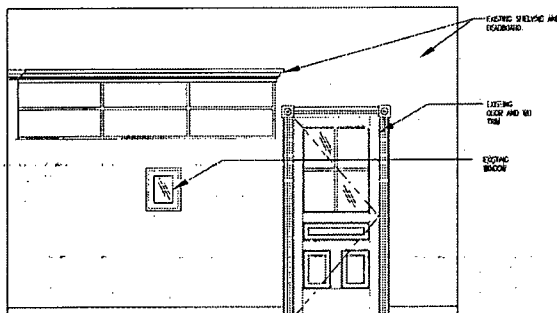
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A-400 SCALE: 1/8"=1'-0"



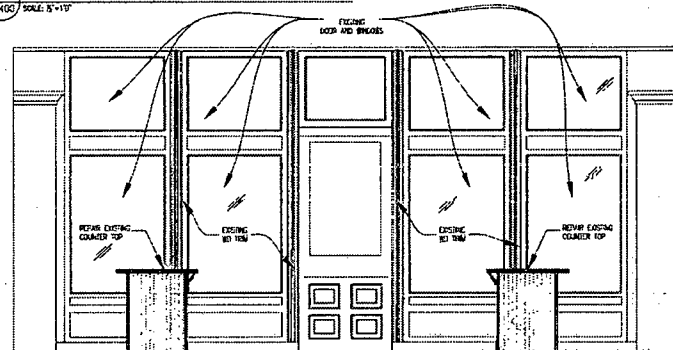
4 FRONT OF HOUSE N. ELEVATION

A-400 SCALE: 1/8"=1'-0"



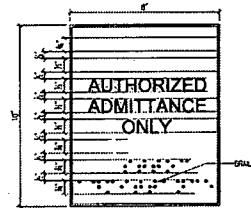
6 BACK OF HOUSE S. ELEVATION

A-400 SCALE: 1/8"=1'-0"



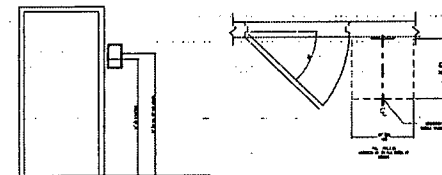
3 FRONT OF HOUSE S. ELEVATION

A-400 SCALE: 1/8"=1'-0"



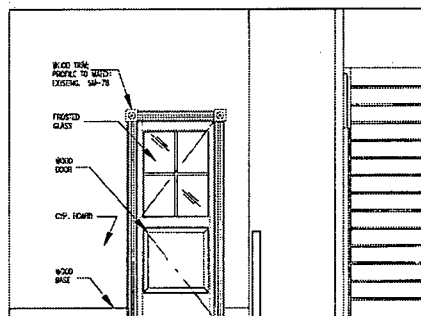
NOTE: SIGNAGE LOCATED ON EAST/WEST EXTERIOR PORTICOES BY ADDITION TO NORTH BASEMENT ENTRANCE

MONTGOMERY COUNTY APPROVED AS NOTED DIV. OF BUILDINGS CONSTRUCTION



1 EXTERIOR SIGNAGE PLACEMENT

A-400

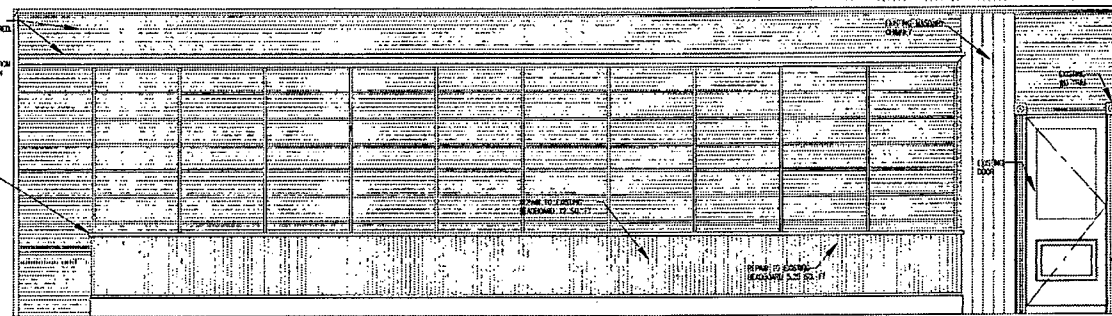


5 BACK OF HOUSE W. ELEVATION

A-400 SCALE: 1/8"=1'-0"

REMOVE EXISTING SIDING AND REORDER AS REQUIRED
INSTALL INSULATION
REPAIR EXISTING AND REORDER WITH FINISHES OF EXISTING INSULATION

REORDER BRICK END OF COURSER 3 TO 4 FT



2 FRONT OF HOUSE W. ELEVATION

A-400 SCALE: 1/8"=1'-0"

BELL
architects

1228 Old Street, NW Washington DC 20004
Tel: 202.638.7070
www.bellarchitects.com

DESIGN			
Landscape Architect	Date	Checked By:	
Architect	Date	Checked By:	
Engineer	Date	Checked By:	
Drawn by	Date	Checked By:	
DR		SK	

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 13913
Expiration Date: March 28, 2014



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunet Avenue
Silver Spring, Maryland 20901
(301) 495-2255

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Port Manager	Date

ISSUED FOR PROCUREMENT ON:			
Rev. No.	Date	Revisions	
001/12	03/14	Permit Review	

INTERIOR ELEVATIONS & SIGNAGE PLACEMENT
REHABILITATION OF DARBY STORE

JOB: 134-013

SCALE: AS SHOWN

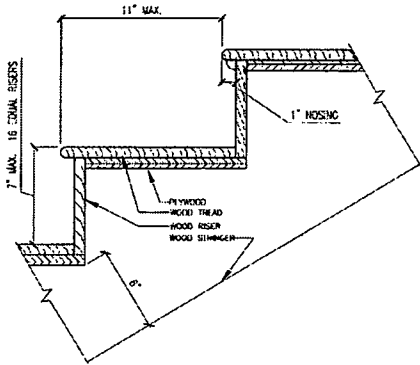
DWG. # 07 of 11
A-400

SHT. # 18 of 33

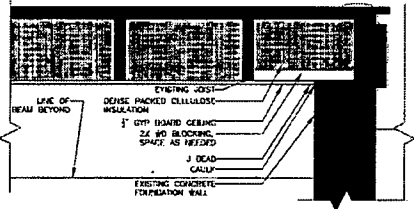
FINAL SCANNED

PLAN SCANNED

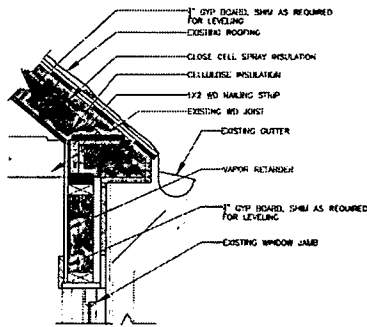
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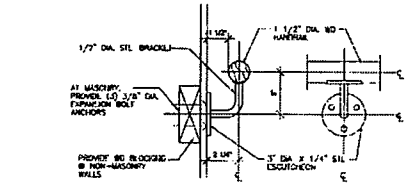
7 STAIR TREAD DETAIL
A-500 SCALE: 3/4"=1'-0"



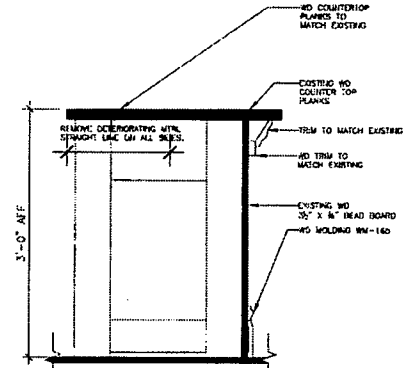
6 DETAIL AT BASEMENT GYP. BOARD CEILING
A-500 SCALE: 1/2"=1'-0"



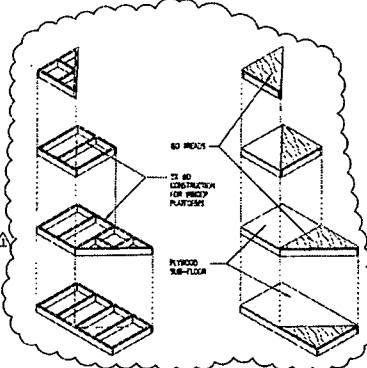
5 DETAIL @ SECOND FLOOR CEILING/WALL CONNECTION
A-500 SCALE: 1/2"=1'-0"



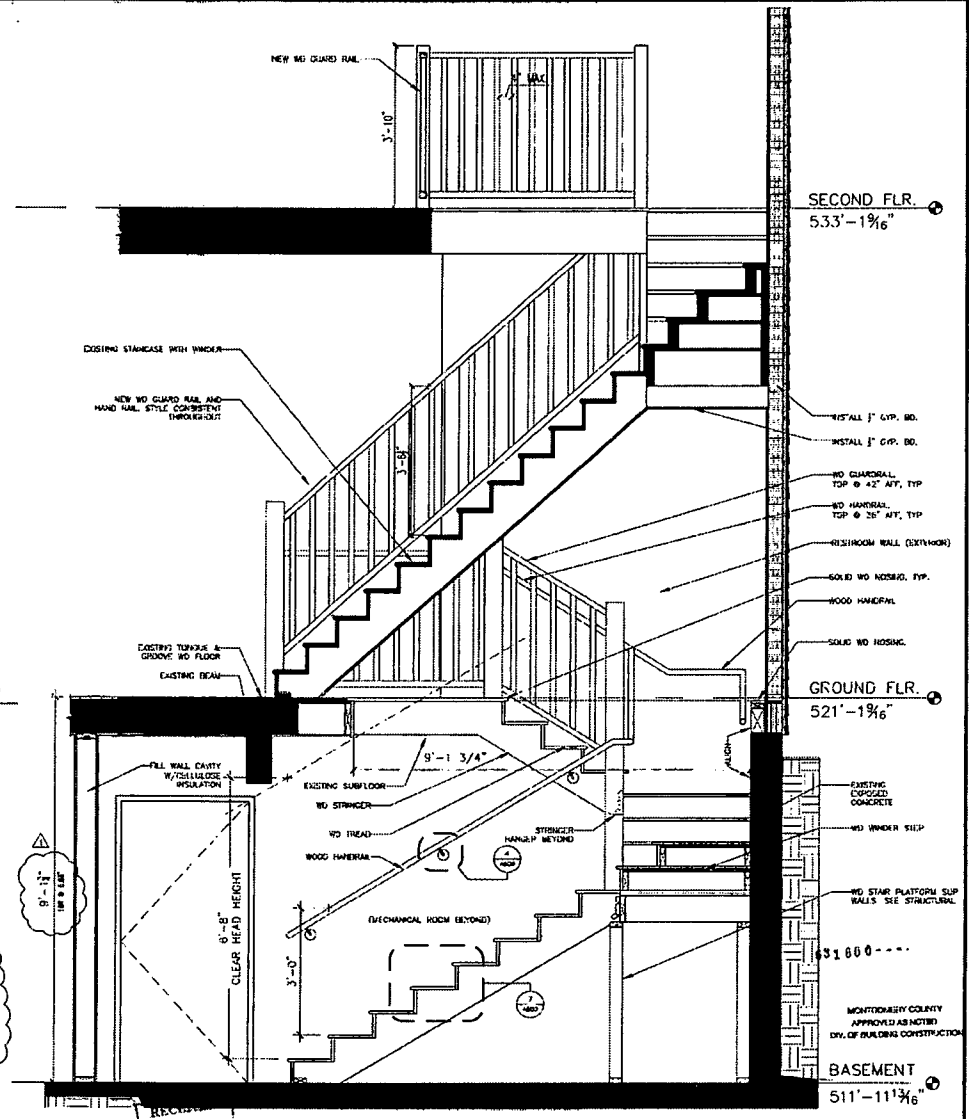
4 HANDRAIL BRACKET DETAIL
A-500 SCALE: 3/4"=1'-0"



3 SECTION DETAIL AT EXISTING COUNTERTOP
A-500 SCALE: 1/2"=1'-0"



2 TYPICAL WINDER STAIR PLATFORMS
A-500 SCALE: 1/2"=1'-0"



1 DETAIL AT INTERIOR STAIRS
A-500 SCALE: 1/2"=1'-0"



DESIGN	DATE	CHECKED BY
Landscape Architect		
Architect		
Engineer		
Drawn by		

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12913
Expiration Date: March 23, 2014



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9550 Brandt Avenue
Silver Spring, Maryland 20901
(301) 482-2335

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON		
REV. NO.	DATE	DESCRIPTION
01		PERMIT REVIEW
02		PERMIT COMMENTS
03		PERMIT COMMENTS

REHABILITATION OF DARRY STORE
JOB: 134-013
SCALE: AS SHOWN

DWG. # 09 of 11
A-500
SHT. # 21 of 24

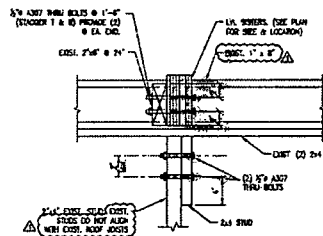
REPRODUCTION OF THIS DRAWING FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF BELL ARCHITECTS IS STRICTLY PROHIBITED.

TAB	DESCRIPTION	MANUFACTURER	MODEL
001	DOUBLE ROLL TOP UP FABRIC DISPENSER	WERNER	8 888
002	WALL MOUNTED	WERNER	8 888
003	WOOD GRAIN DISPENSER	WERNER	8 888
004	WOOD GRAIN DISPENSER	WERNER	8 888
005	TOWEL BAR	WERNER	8 888

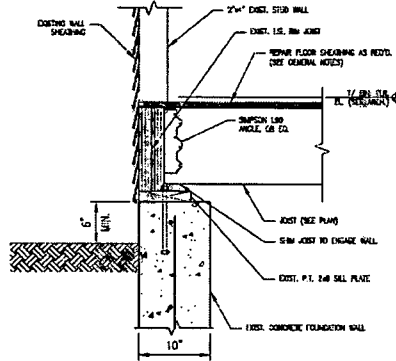
DOOR SCHEDULE											
DOOR NUMBER	LOCATION	TO	FROM	W	H	DOOR THICKNESS	TYPE	MATL	FIN	ADA	
001	MECH ROOM	STORAGE	2'-0" x 7'-0"	2'-0"	7'-0"	1 1/2"	GLASS	PTD	1	1	1
002	STORAGE	STORAGE	2'-0" x 7'-0"	2'-0"	7'-0"	1 1/2"	GLASS	PTD	1	1	
003	MECH ROOM	STORAGE	2'-0" x 7'-0"	2'-0"	7'-0"	1 1/2"	GLASS	PTD	1	1	
004	MECH ROOM	STORAGE	2'-0" x 7'-0"	2'-0"	7'-0"	1 1/2"	GLASS	PTD	1	1	
005	MECH ROOM	STORAGE	2'-0" x 7'-0"	2'-0"	7'-0"	1 1/2"	GLASS	PTD	1	1	

ITEM NO.	MATERIAL	MANUFACTURER	STYLE NAME / NO.	COLOR/FINISH	SIZE	REMARKS
001	YOUNG & RUBICAM CARPETING					
002	TRUSLOW'S BRICKS AND PAVING					
003	TRUSLOW'S BRICKS AND PAVING					
004	TRUSLOW'S BRICKS AND PAVING					
005	TRUSLOW'S BRICKS AND PAVING					
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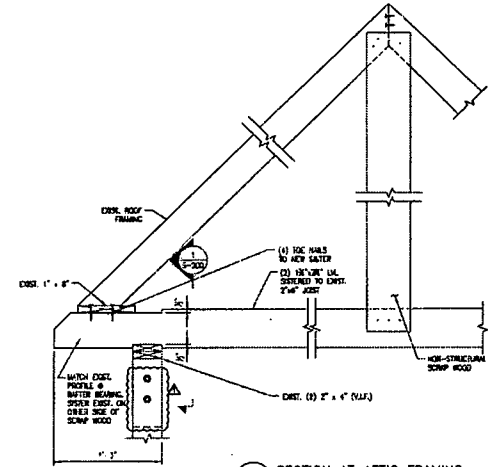
ROOM NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	DOOR	FINISH	REMARKS
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002	STORAGE	SC						
003	MECH ROOM	SC						
004	MECH ROOM	SC						
005	MECH ROOM	SC						
006	MECH ROOM	SC						
007	MECH ROOM	SC						
008	MECH ROOM	SC						
009	MECH ROOM	SC						
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011	MECH ROOM	SC						
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077	MECH ROOM	SC						
078	MECH ROOM	SC						
079	MECH ROOM	SC						
080	MECH ROOM	SC						
081	MECH ROOM	SC						
082	MECH ROOM	SC						
083	MECH ROOM	SC						



1 TYPICAL FULL-LENGTH SISTER DETAIL
SCALE: 1/2" = 1'-0"



2 JOIST BEARING ON CONCRETE WALL
SCALE: 1/2" = 1'-0"



3 SECTION AT ATTIC FRAMING
SCALE: 1/2" = 1'-0"

691600-1-1

RECEIVED
AUG 30 2013
MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

DETAILS

ROBERT SILMAN ASSOCIATES
STRUCTURAL ENGINEERS
100 First Avenue
Pikesville, MD 21110
P 410.426.7200 F 410.426.7201

DESIGN		CHECKED BY	
Landscaper Architect	Date	Checked By	Date
Architect	Date	Checked By	Date
Engineer	Date	Checked By	Date
LC	Date	Checked By	Date
Drawn by	Date	Checked By	Date
SPB		SPB	

Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22318
Expiration Date: 10-10-2014



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
3000 Shinnel Avenue
Silver Spring, Maryland 20901
(301) 455-2535

REVIEW AND APPROVAL		ISSUED FOR PROCUREMENT ON	
Project Manager	Date	Rev. No.	Date
Construction Supervisor	Date	1	2/27/13
Park Manager	Date		

REVISIONS		
Rev. No.	Date	Description
1	2/27/13	Panel Review
		Panel Comments

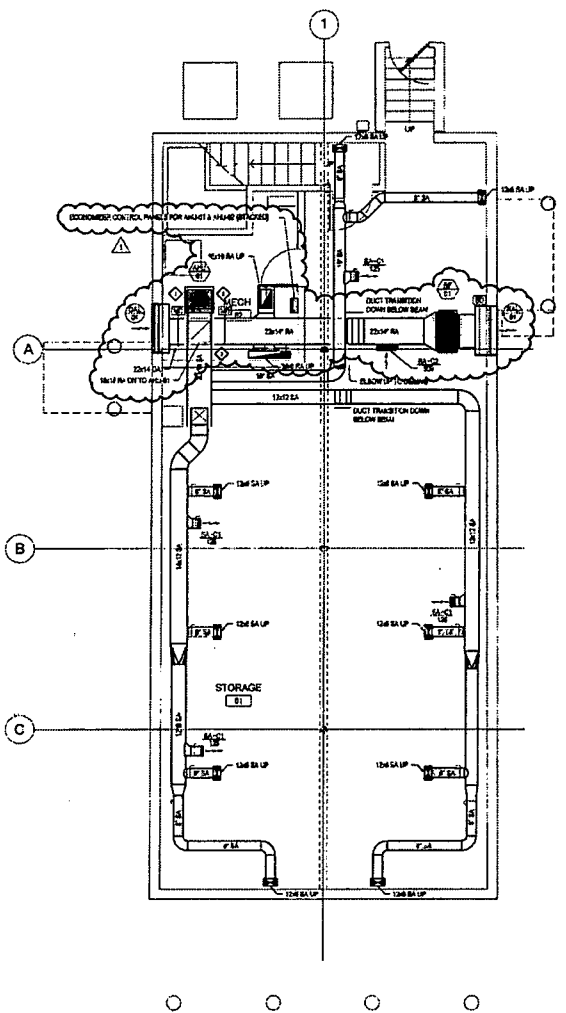
REHABILITATION OF DARBY STORE

JOB: 134-013

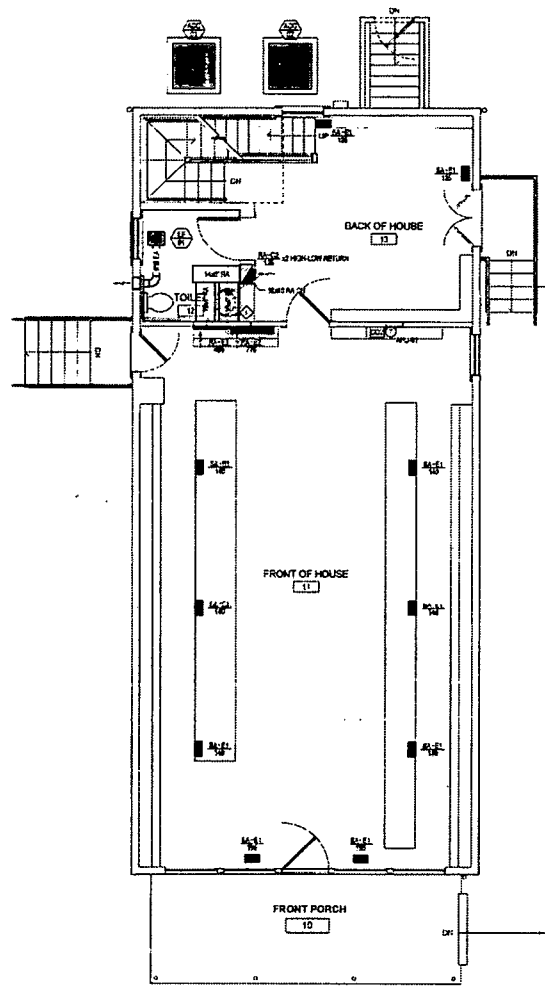
SCALE: AS SHOWN

DWG. # 3 of 3
S-200
SHT. # 23 of 33

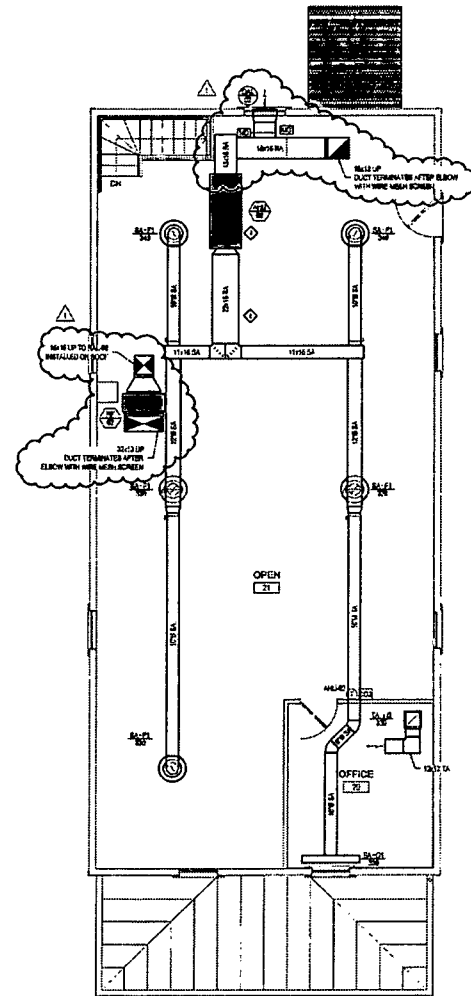
MARK DIMS: LTV PLUMB CONTRACTOR



1 BASEMENT MECHANICAL PLAN
1/4" = 1'-0"



2 1ST FLOOR MECHANICAL PLAN
1/4" = 1'-0"



3 2ND FLOOR MECHANICAL PLAN
1/4" = 1'-0"

SHEET NOTES

- PERMANENT PIPING UNDER THE ACCT & HUBS ARE NOT BEING IN THE CHANGES. LOCATION OF PIPING IS TO BE COORDINATED OTHER. IT IS RECOMMENDED TO REINFORCE PIPING ABOVE COLLECT & CHASING TO AVOID EXPOSED PIPING INSTALLATIONS. PERMANENT PIPING TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- WHERE ELBOW SYSTEMS WILL BE VISIBLE, CONTRACTOR TO COORDINATE WITH DUCT CONTRACTOR, ETC. WITH ARCHITECT AND FINISHES FROM TO MECHANICAL CONTRACTOR TO BEHOLD OCCURRENCE RELATING TO DRAINAGE BEFORE INSTALLATION OF EXPANDED METAL SYSTEM. SEE SPECIFICATIONS FOR COORDINATION AND SUBMITTAL REQUIREMENTS.

KEY NOTES

- METAL SPREAD FROM DISCHARGE OF CONDENSATE PUMP TO NEAREST HUB OR DRAIN TO PLUMBING PLANS.
- INSTALL SUPPLY AIR DUCTWORK BELOW PLUMBING TRAP. REFER TO PLUMBING PLANS.
- NO A/C DUCTS COUPLER BETWEEN UNFROSTED CHASING BELOW SLICE. NO A/C DUCTS OFF TOP OF BACK DUCT AND DUCTWORK TO CONNECT TO HUBS USE RETURN.
- METAL GRANTY DRAIN (DRAIN) TO NEAREST HUB OR DRAIN. REFER TO PLUMBING PLANS.
- BUILD WALL AT EACH BACK OF ANY AROUND RETURN AIR PIPING.
- ALL CONNECTED EXHAUST, DUCTWORK, & DIFFUSERS INSTALLED ABOVE JOINTS.

681600-111

MECHANICAL PLANS RELEASED
SUBJECT TO FIELD
INSPECTION AND APPROVAL

RECEIVED
AUG 8 2013
BELL ARCHITECTS



DESIGN			
Landscape Architect	Date	Checked By	
Architect	Date	Checked By	
Engineer	Date	Checked By	
Drawn by	Date	Checked By	
DR		DR	

I hereby certify that these documents have prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 28128
Expiration Date: March 14, 2014



The Maryland-National Capital
Park and Planning Commission
Maryland's State Department of Parks
255 Bond Street
Silver Spring, Maryland 20910
(301) 65-2331

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT OR REVISIONS		
Rev. No.	Rev. Date	Description
1	08/08/13	Permit Comments

MECHANICAL PLANS
REHABILITATION OF DARBY STORE

JOB: 134-013
SCALE: AS SHOWN

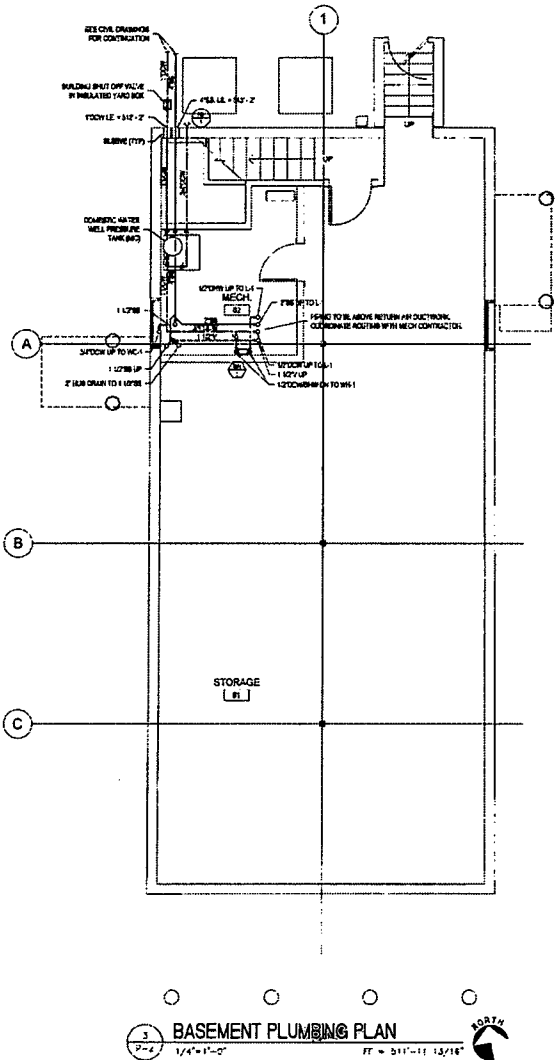
DWG. # 02 of 08

M-200

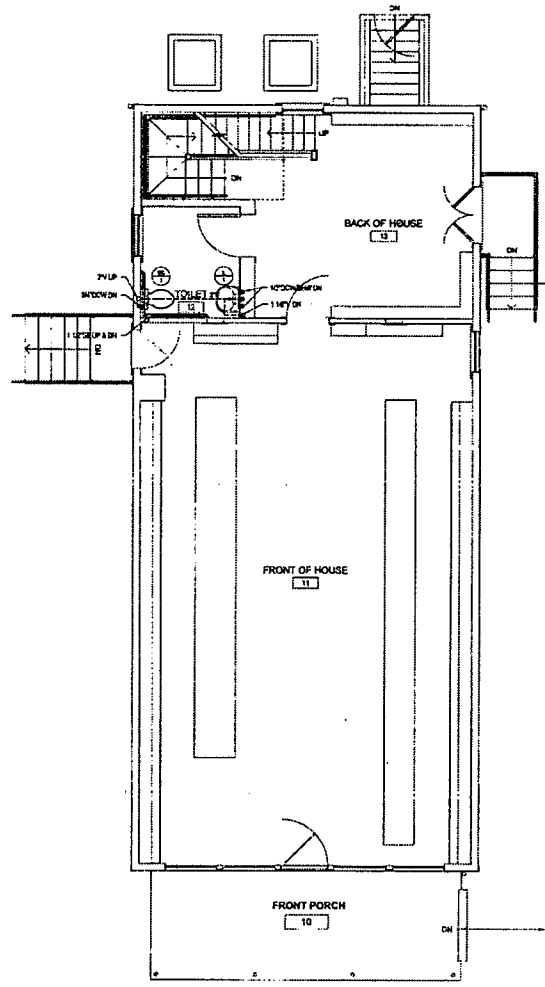
SHT. # 27 of 33

FINAL SCANNED
PLAN SCANNED
PARK CODEL CTD

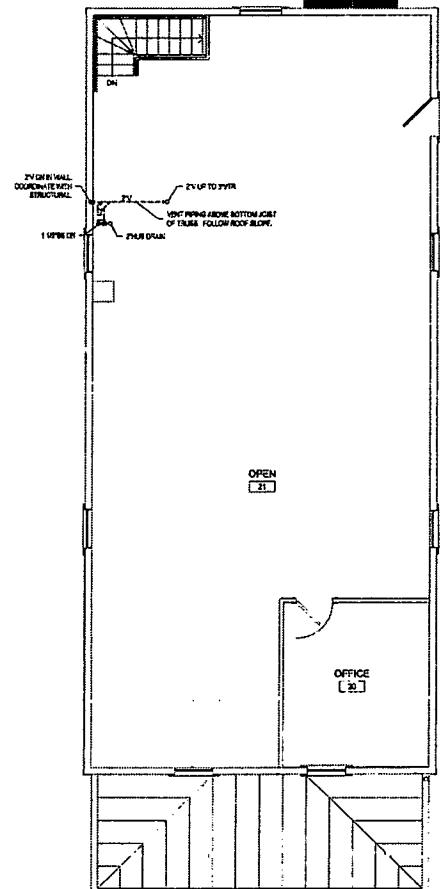
SHEET NOTES
 1. WHERE BALDING SYSTEMS WILL BE VISIBLE, CONTRACTOR TO CONFIRM LOCATION OF EXIST. CONCRETE, ETC. WITH ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. CONTRACTOR TO BRACKET DOWN TO HOLDING DIMENSIONS BEFORE INSTALLATION OF EXPOSED BALDING SYSTEM. SEE SPECIFICATIONS FOR COORDINATION AND SUBMITTAL REQUIREMENTS.



3 BASEMENT PLUMBING PLAN
 1/4"=1'-0"
 FF = 511'-11 1/2" 12/16"



2 FIRST FLOOR PLUMBING PLAN
 1/4"=1'-0"
 FF = 521'-1 1/2" 12/16"



1 SECOND FLOOR PLUMBING PLAN
 1/4"=1'-0"
 FF = 532'-6 1/2" 12/16"

RECEIVED
 AUG 20 2013
 PLUMBING
 DIV.

451600----



DESIGN		
Landscape Architect	Date	Checked By
Architect	Date	Checked By
Engineer	Date	Checked By
Drawn by	Date	Checked By
DR		BC

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 20128
 Expiration Date: March 14, 2014



The Maryland-National Capital Park and Planning Commission
 Managing Board, Department of Parks
 529 Broad Avenue
 Blue Spring, Maryland 21058
 206-466-2326

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON			
Rev. No.	Date	Description	Prepared
1	8/20/13	Permit Comments	

PLUMBING FLOOR PLANS
 REHABILITATION OF DARBY STORE

JOB: 134-013 SCALE: AS SHOWN

DWG. # 04 of 08
P-200
 SHT. # 29 of 33

PLAN SCANNED

PLAN SCANNED

PLAN SCANNED

SPECIAL PURPOSE OUTLET SCHEDULE

MARK	TO FEED	LOCATION	KW	VOLT	PH	FEED FROM	BREAKER	TYPE	NOTE
1	100V	REAR	1.5	120	1	1	1	1	
2	100V	REAR	1.5	120	1	1	1	1	

MOTOR WIRING SCHEDULE

NO.	DRIVING	LOC.	HP	FLA	KW	VOLT	PH	FEED FROM	BREAKER	STARTER	DISCONNECT	REMARKS
1	100V	REAR	1.5	120	1.5	120	1	1	1	1	1	
2	100V	REAR	1.5	120	1.5	120	1	1	1	1	1	

PANEL P

CIRCUIT NO.	BREAKER	SPACES	LOCATION	VOLTAGE	PH	WIRE	MAIN BUS RATING			M CB	MLO	WIRE	CONDUIT
							VA	INCHES	AMPS				
1	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
2	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
3	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
4	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
5	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
6	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
7	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
8	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
9	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
10	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
11	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
12	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
13	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
14	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
15	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
16	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
17	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
18	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
19	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
20	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
21	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
22	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
23	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
24	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
25	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
26	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
27	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
28	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
29	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
30	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
31	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
32	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
33	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
34	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
35	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
36	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
37	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
38	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
39	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
40	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
41	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
42	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
43	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
44	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
45	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
46	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
47	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
48	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
49	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
50	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
51	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
52	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
53	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
54	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
55	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
56	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
57	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
58	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
59	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
60	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
61	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
62	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
63	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
64	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
65	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
66	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
67	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
68	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
69	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
70	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
71	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	
72	100V	1	REAR	120	1	1	100	1.5	1	1	1	1	

LIGHTING SCHEDULE

FIXT.	DESCRIPTION	LAMP	VOLT	WATT	MANUFACTURER	CATALOG NUMBER	MOUNTING	SEE NOTE
A	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
B	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
C	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
D	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
E	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
F	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
G	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
H	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
I	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
J	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
K	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
L	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
M	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
N	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
O	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
P	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
Q	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
R	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
S	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
T	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
U	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
V	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
W	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
X	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
Y	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	
Z	4 W/40W FLUORESCENT	4	120V	40W	WESTLUM	WFL40-120	RECESSED	

NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND TYPES OF FIXTURES TO THE RELEASE OF THE ORIGINAL CONTRACT DOCUMENTS TO PROVIDE GUARANTEE AND NEW WORK WARRANTY.
 NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND TYPES OF FIXTURES TO THE RELEASE OF THE ORIGINAL CONTRACT DOCUMENTS TO PROVIDE GUARANTEE AND NEW WORK WARRANTY.
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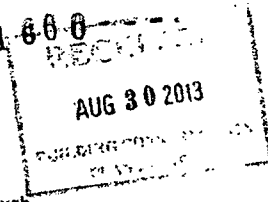
ELECTRICAL SERVICE LOAD CALCULATION

Panel No.	Load	Panel No.	Load	Panel No.	Load
Panel 1	2,500	Panel 2	2,500	Panel 3	2,500
Panel 4	2,500	Panel 5	2,500	Panel 6	2,500
Panel 7	2,500	Panel 8	2,500	Panel 9	2,500
Panel 10	2,500	Panel 11	2,500	Panel 12	2,500
Panel 13	2,500	Panel 14	2,500	Panel 15	2,500
Panel 16	2,500	Panel 17	2,500	Panel 18	2,500
Panel 19	2,500	Panel 20	2,500	Panel 21	2,500
Panel 22	2,500	Panel 23	2,500	Panel	



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631-600-XXXX



Memorandum

To: Melvin Stanbrough Project No: 134-013
 From: David Bell, AIA Date: August 30, 2013
 Re: AP#631600 Pages: 2
 CC:

Urgent For Review Please Comment Please Reply Please Recycle

We have received comments in an email from Melvin Stanbrough on August 9th 2013. Below you will find those comments and our responses to them in red italics.

What code is the building being designed under?

IBC 2012 Chapter 34 or IEBC 2012 – *Building was designed based on IEBC 2012.*

Also NFPA 101 Chapter 43 and occupancy chapter must be selected – *The work is classified under 43.10 Historic Buildings. A report of contributing historic features is attached. The letter from the HAWP review is attached.*

Vertical opening as per IBC/NFPA 101 must be addressed Rear Stair – *In IEBC 803.2.1 exception 3.9.1 provides an exception in Group M occupancies allowing for openings connecting two levels. At the basement level of the stair a wall creates a separation between the upper floors, so only the first and second floors are connected.*

Fire Dept Access and on site water supply requirements as per NFPA 1142 and MC Fire Safety Code Chapter 22 – *This is an existing building with no change in hazard level. The only water available on site is from a well which will not provide the capacity required. The Upper Montgomery County Volunteer Fire Department is located 500 feet from the building.*

Guard rails does not comply with NFPA 101 and IBC for outside hand rails on stairs - *The guards have been modified to ensure that a 4" sphere will not pass through. The grade near the stairs was adjusted to ensure that there is less than 30" in height difference between them, allowing for only a handrail.*

Formal Code Analysis must be presented See Plan Submittal Requirements – *Code Analysis CS02 was updated to include more information, including a life safety plan.*

ADA signage must be per MD Accessibility Code and not MD State Highway regs – *Signage shown on DE01 complies with the MD Accessibility Code.*

Stairs shall comply with IBC and NFPA 101 for riser tread requirements – *The winder stair to the basement is a convenience stair and meets all requirements for tread and riser dimensions. Stair from first to second floors is existing. IEBC 805.2 Provides an exception, leaving it to the code official's opinion that it meets the code at the time of construction.*

Is the building Historic registered – *Building is a contributing element to the Beallsville Historic District, as identified on CS02.*

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What is the use/occupancy of the building – *Building has been vacant for a number of years, before than it was Mercantile/Business use, which is what it is intended to remain, see CS02 for Building Data.*

Is the building consider occupied as per the IBC and NFPA 101 – *Currently building is unoccupied, with no Certificate of Occupancy. The tenant improvements of the second floor would be subject to a permit review and may required utilizing exterior door #21 for egress to an exterior stair or fire escape seeking C of O for entire building.*

Is the building considered a museum/ place of assembly – *No MNCPPC will lease out the space as a Mercantile/Business. It is not intended to be a place of assembly.*

I should suggest to look at the historic building section of the IEBC 2013 and NFPA 101 Chapter 43 – *Building was designed per IEBC Alteration Level 3 and NFPA 101 Chapter 43.10 Historic Buildings.*

681600- - -!



Memorandum

681 600 - - -

To: Melvin Stanbrough Project No: 134-013
From: David Bell, AIA Date: September 26, 2013
Re: AP#631600 Pages: 2
CC:

Urgent For Review Please Comment Please Reply Please Recycle

We have received comments from you on August 30, 2013 that reference address 20660 Seneca Meadows Parkway Germantown and A/P# 644755 dated August 29, 2013. The address and permit number do not match our project information. We provided response to the comments received on August 8th and submitted revised drawings to address the comments on August 30. Below you will find our responses to comments in red italics in response to the comments dated August 29, 2013.

1. This permit suspension does not alleviate any responsibility to rectify issues identified in violation notices or repair orders issued by the Department of Department of Permitting Services. – *Understand and all comments were addressed with revised drawings submitted on August 30.*
2. Plan submittal does not comply with requirements for submittal for permit as per DPS requirements. (see web link)
<http://permittingservices.montgomerycountymd.gov/DPS/building/CommercialInteriorAlteration.aspx> - Completed form "Minimum Data for Submittal of Commercial Plans" is attached.
3. A complete new resubmittal is required that has addressed all submittal requirements per DPS. – *Revised drawings addressing provided comments were re-submitted on 8/30/13.*
4. Site plan required that shows existing building and the location of the addition to the building. – *PS01 shows the site plan with existing building, no addition is proposed. No change has been made to the permit submission from 4/15/13.*
5. Vertical Opening of the open stair needs to be addressed as the second floor is required to have a code complying exit enclosure as per IBC and NFPA 101. – *In IEBC 803.2.1 exception 3.9.1 provides an exception in Group M occupancies allowing for openings connecting two levels. At the basement level of the stair a wall creates a separation between the upper floors, so only the first and second floors are connected. No change has been made to the permit submission from 4/15/13.*
6. It is suggested that the use of the Maryland Rehab Code be used on this project that adopts the IEBC 2012. – *Building was designed based on IEBC 2012.*
7. Code Analysis needs to be applied to this project. – *Code Analysis CS02 was updated to include more information, including a life safety plan. Revised drawings addressing provided comments were re-submitted on 8/30/13.*
8. Site plan that shows all property lines is required to be submitted with corrective response. – *PS01 shows the site plan with property lines. Note that only part of the 25.5 acre property is affected by this work. No change has been made to the permit submission from 4/15/13.*

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9. All suspension issues must be addressed in writing by the design team noting what the corrective action was taken. – A response similar to this was issued to address comments by each reviewing discipline, include the email comments received on August 9th. Drawing revisions and responses were provided on 8/30/13.
10. Use of the ADA 20% form is required to be submitted for all Commercial Permits. – The "Maryland Accessibility Compliance Form" was signed and included with the initial permit application on 4/15/13.
11. Use of the tree save form is required for all building permit submittals. – The "Affidavit For Residential/Commercial Building Permit" which covers the roadside was signed by the owner and included with the initial permit application on 4/15/13.
12. Letter of Authorization by the landlord required for all commercial building permits. – The work proposed is by the building owner in preparation for seeking a tenant.
13. On site water supply for as per NFPA 1142 is required. FD access must be approved by the DFRS. – This is an existing building with no change in hazard level. The only water available on site is from a well which will not provide the capacity required. The Upper Montgomery County Volunteer Fire Department is located 500 feet from the building. This response was provided on 8/30/13.
14. Scope of work needs to be defined for all work to be covered under this permit. All work under this permit shall be described. Classification of work as per the IEBC 2012 or IBC 2012 Chapter 34 must be addressed. – The work is classified under 43.10 Historic Buildings. A report of contributing historic features has included with the revisions submitted on 8/30/13, as was the letter from the HAWP review.
15. Provide occupant load calculations for building. – Calculations can be found on CS02, were include with original permit submission on 4/15/13.
16. There is a maximum resubmittal time of two weeks at which time the plan will be rejected if no action on this suspension is not acted upon and DPS is notified in writing by the design team. – Revisions were submitted on 8/30/13.
17. Valuation of the permit fees will be based on the description of the work for being done under this permit and a signed and dated cost of construction document. – A cost estimate based on the drawings was generated and was indicated on the "Application for Commercial Building Permit" form submitted at the time of initial application on 4/15/13.
18. Is there a current U&O for the building. If there is not then the building would have to comply with IBC 2012 and NFPA 101 2012 and treated as new construction. – Currently building is unoccupied, with no Certificate of Occupancy. This project is not looking for a Certificate of Occupancy, once a tenants selected they will need to apply.



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**Interior Lighting Compliance
 Certificate**

2012 IECC

Section 1: Project Information

Project Type: Alteration
 Project Title: Darby Store

631600

Construction Site:
 18801 Darnestown Road
 Beallsville, MD 20839

Owner/Agent:
 The Maryland-National Capital Park and
 Planning Commission
 9500 Brunell Avenue
 Silver Spring, MD 20901
 301-495-2635

Designer/Contractor:
 IBC Engineering Services, Inc.
 N8 W22195 Johnson Drive
 Waukesha, WI 53186
 262-549-1190

Section 2: Interior Lighting and Power Calculation

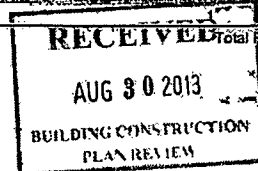
A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B x C)
Retail/Sales area	925	1.6	1480
Common Space Types: Office - enclosed	128	1.1	139
Common Space Types: Storage	2464	0.8	1971
Common Space Types: Electrical/mechanical	78	1.1	86
Common Space Types: Stairway	200	0.7	140
Common Space Types: Restroom	63	1	63
Total Allowed Watts =			3879

Section 3: Interior Lighting Fixture Schedule

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Retail/Sales area (925 sq ft) Incandescent: C: LANTERN PENDANT / Incandescent 100W	1	8	100	800
Common Space Types: Office - enclosed (128 sq ft) Linear Fluorescent: A: WRAPAROUND / 48" T8 32W / Electronic	2	1	61	61
Common Space Types: Storage (2464 sq ft) Linear Fluorescent: A: WRAPAROUND / 48" T8 32W / Electronic	2	15	61	915
Common Space Types: Electrical/mechanical (78 sq ft) Incandescent: D: CEILING MOUNT / Incandescent 100W	1	2	100	200
Common Space Types: Stairway (200 sq ft) Linear Fluorescent: A: WRAPAROUND / 48" T8 32W / Electronic	2	1	61	61
Common Space Types: Restroom (63 sq ft) Incandescent: D: CEILING MOUNT / Incandescent 100W	1	2	100	200
Incandescent: G: WP CEILING MOUNT / Incandescent 100W	1	1	100	100
Linear Fluorescent: A: WRAPAROUND / 48" T8 32W / Electronic	2	1	61	61
Common Space Types: Restroom (63 sq ft) Incandescent: D: CEILING MOUNT / Incandescent 100W	1	1	100	100
Total Proposed Watts =				2498

Section 4: Requirements Checklist

Lighting Wattage:



1. Total proposed watts must be less than or equal to total allowed watts.
Allowed Wattage: 3879 Proposed Wattage: 2498
Complies: YES

Mandatory Requirements:

2. Dwelling units (complete independent living facilities) within commercial buildings are not required to comply with interior lighting requirements of this code provided that ≥ 75 percent of the permanently installed fixtures other than low voltage lighting contain only high efficacy lamps.
3. Manual Controls: Each enclosed space has manual lighting control. Remotely located manual controls are labeled for area of service and indicate on/off status.
Exception(s):
- Security/emergency areas with 24-hour operation.
 - Stairways/corridors that are means of egress.
4. Light Reduction Controls: Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, dual switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire or each lamp.
Exception(s):
- Only one luminaire (lamp < 100 W) in space.
 - An occupant-sensing device controls the area.
 - The area is a corridor, equipment/storage rooms, restrooms, public lobby, elec/mech. room, or sleeping unit.
 - Areas that use < 0.6 Watts/sq.ft.
 - Daylight spaces having automatic daylighting controls.
5. Automatic time switching controls are installed and have an override switching device. The override switching device allows for ≤ 2 hour operation cycle within spaces ≤ 6000 sq.ft., manual operation, and is readily accessible and located where the operation of the connected lights are visible or communicated to the switch.
Exception(s):
- Sleeping units, patient care areas, and spaces where automatic shutoff would endanger safety or security or where lighting is intended for 24-hour operation.
 - Emergency egress lighting.
 - Spaces where lighting is controlled with occupancy sensors.
 - Malls, arcades, auditoriums, single tenant retail spaces, industrial facilities and arenas that are $\leq 20,000$ sq.ft. are permitted exceed the 2-hour operation cycle limit when a captive key device override switch is installed.
6. Occupant sensors are installed in the following spaces and automatically turn lighting off within 30 minutes of all occupants leaving the space: Classrooms, conference/meeting/training rooms, employee lunch and break rooms, private offices, storage/junk/attic rooms, restrooms, and other spaces ≤ 300 sq.ft. Automatic-on sensors set power on < 50 percent power.
Exception(s):
- Full power automatic-on controls are permitted where manual-on operation would endanger the safety or security of the room or building occupants.
7. Daylight zones have either individual lighting controls independent from that of the general area lighting that are either manual or automatic and serve zones $\leq 2,500$ sq.ft. Zones under skylights more than 16 feet from the perimeter have lighting controls separate from daylight zones adjacent to vertical fenestration.
Exception(s):
- Contiguous daylight zones spanning no more than two orientations are allowed to be controlled by a single controlling device.
 - Daylight spaces enclosed by walls or ceiling height partitions and containing two or fewer light fixtures are not required to have a separate switch for general area lighting.
8. Automatic daylight zone controls are capable of reducing power to < 35 percent using continuous dimming ballasts and daylight-sensing controls OR, are capable of automatic power reduction using step-dimming multi-level switching and daylight-sensing controls having at least two control channels per zone and at least one control step in the 60 - 70 percent range and another ≤ 35 percent of design power.
9. Medical task lighting or art/history display lighting claimed to be exempt from compliance has a control device independent of the control of the nonexempt lighting.
10. Separate control device for display/accent lighting, case lighting, task lighting, nonvisual lighting, under-shelf/cabinet lighting, lighting for sale, and demonstration lighting.
11. Hotel/motel sleeping units and guest suites have control device(s) at the entry door that control all permanent luminaires and switched receptacles.
12. Exit signs 5 Watts or less per sign.
13. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).
Exception(s):
- Electronic high-frequency ballasts.
 - Luminaires not on same switch.
 - Recessed luminaires 10 ft. apart or surface/pendant not continuous.



COMcheck Software Version 3.9.1

Exterior Lighting Compliance Certificate

2012 IECC

Section 1: Project Information

Project Type: Alteration
 Project Title: Darby Store
 Exterior Lighting Zone: 2 (Residential mixed use area)

Construction Site:
 19801 Darnestown Road
 Beesville, MD 20839

Owner/Agent: The Maryland-National Capital Park and Planning Commission
 9500 Brunnet Avenue
 Silver Spring, MD 20901
 301-485-2535

Designer/Contractor: IBC Engineering Services, Inc.
 N8 W22195 Johnson Drive
 Waukesha, WI 53186
 262-549-1190

Section 2: Exterior Lighting Area/Surface Power Calculation

A Exterior Area/Surface	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B x C)	F Proposed Watts
Main entry	6 ft of door width	20	Yes	120	100
Other door (not main entry)	7 ft of door width	20	Yes	140	0
Stairway	76 ft ²	1	Yes	76	200
Walkway < 10 feet wide	96 ft of walkway length	0.7	Yes	67	0
Entry canopy	167 ft ²	0.25	Yes	42	200
Total Tradable Watts* =				445	500
Total Allowed Watts =				445	
Total Allowed Supplemental Watts** =				600	

* Wattage tradeoffs are only allowed between tradable areas/surfaces.
 ** A supplemental allowance equal to 600 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Section 3: Exterior Lighting Fixture Schedule

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt	E (C x D)
Main entry (6 ft of door width) Tradable Wattage				
Incandescent: H: WALL MOUNT / Incandescent: 100W	1	1	100	100
Other door (not main entry) (7 ft of door width) Tradable Wattage				
Incandescent: H: Incandescent: 100W	1	2	100	200
Walkway < 10 feet wide (96 ft of walkway length) Tradable Wattage				
Entry canopy (167 ft ²) Tradable Wattage	1	2	100	200
Incandescent: G: CEILING MOUNT / Incandescent: 100W				
Total Tradable Proposed Watts =				600

Section 4: Requirements Checklist

Lighting Wattage:

1. Within each non-tradable area/surface, total proposed watts must be less than or equal to total allowed watts. Across all tradable areas/surfaces, total proposed watts must be less than or equal to total allowed watts.

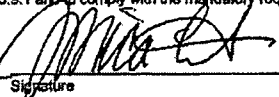
Luminaires on emergency circuits.

Interior Lighting PASSES

Section 5: Compliance Statement

Compliance Statement: The proposed lighting alteration project represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting alteration project has been designed to meet the 2012 IECC, Chapter 8, requirements in COMcheck Version 3.9.1 and to comply with the mandatory requirements in the Requirements Checklist.

JESSICA LEEDER, SR. ELECTRICAL
Name - Title DESIGNER



Signature

04/24/13
Date

631600-...

Compliance: Passes using supplemental allowance watts.

Controls, Switching, and Wiring:

- 2. All exemption claims are associated with fixtures that have a control device independent of the control of the nonexempt lighting.
- 3. Lighting not designated for dusk-to-dawn operation is controlled by either a photosensor (with time switch), or an astronomical time switch.
- 4. Lighting designated for dusk-to-dawn operation is controlled by an astronomical time switch or photosensor.
- 5. All time switches are capable of retaining programming and the time setting during loss of power for a period of at least 10 hours.

Exterior Lighting Efficacy:

- 6. All exterior building grounds luminaires that operate at greater than 100W have minimum efficacy of 60 lumen/watt.

Exceptions:

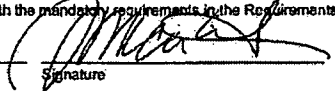
- Lighting that has been claimed as exempt and is identified as such in Section 3 table above.
- Lighting that is specifically designated as required by a health or life safety statute, ordinance, or regulation.
- Emergency lighting that is automatically off during normal building operation.
- Lighting that is controlled by motion sensor.

Exterior Lighting PASSES: Design 52: better than code

Section 5: Compliance Statement

Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2012 IECC requirements in COMcheck Version 3.9.1 and to comply with the mandatory requirements in the Requirements Checklist.

JESSICA LEIDER, SR. ELECTRICAL
Name - Title DESIGNER


Signature

04/24/13
Date

681 600 - 27



Department of Permitting Services
 Division of Building Construction
 255 Rockville Pike, 2nd Floor
 Rockville, MD 20850-4166
 Phone: 311 in Montgomery County or (240) 777-0311
 Fax: (240)-777-8262
 http://www.montgomerycountymd.gov/permitting-services

691600

DPS

DPS

Application for Commercial Building Permit

Sediment Control # 257687 Building AP#(s) 691600
 U & O # _____ Demolition # _____

B. Purpose: (check all that apply)

DESCRIPTION OF WORK:		USE OF BUILDING OR SPACE:
<input type="checkbox"/> ADDITION	Gross Sq. Ft. of Area Created or Affected by this Action: <u>3,888 sqft.</u> Disturbed Land Area: <u>28,314 sqft.</u> Estimated Project Cost: <u>\$ 450,000.00</u>	<input type="checkbox"/> ASSEMBLY
<input checked="" type="checkbox"/> ALTERATION		<input type="checkbox"/> BANK
<input checked="" type="checkbox"/> CONSTRUCT		<input type="checkbox"/> BIOSCIENCE
<input checked="" type="checkbox"/> DEMOLISH		<input type="checkbox"/> BOARDING HOUSE
<input type="checkbox"/> MOVE		<input type="checkbox"/> EDUCATIONAL
<input type="checkbox"/> FOUNDATION ONLY		<input type="checkbox"/> GARAGE
<input type="checkbox"/> RESTORE and/or REPAIR		<input type="checkbox"/> HOTEL
<input type="checkbox"/> CHANGE OF USE		<input type="checkbox"/> INSTITUTION
<input type="checkbox"/> DAMAGE REPORT		<input type="checkbox"/> MULTI-FAMILY SENIOR
<input type="checkbox"/> GREEN BUILDING RATING		<input type="checkbox"/> MULTI-FAMILY
<input type="checkbox"/> Certified 26-32 points	**Note # OF UNITS _____	
<input type="checkbox"/> Silver 33-38 points	<input type="checkbox"/> PLACE OF WORSHIP	<input type="checkbox"/> POOL ABOVE GROUND
<input type="checkbox"/> Gold 39-51 points	<input type="checkbox"/> RESTAURANT	<input type="checkbox"/> RETAINING WALL
<input type="checkbox"/> Platinum 52-69 points	<input type="checkbox"/> POOL IN GROUND	<input type="checkbox"/> POST OFFICE
<input type="checkbox"/> Other (please specify) _____	<input type="checkbox"/> STORAGE	<input type="checkbox"/> THEATER
	<input type="checkbox"/> TRAILER**	<input type="checkbox"/> MODULAR BUILDING***
	<input checked="" type="checkbox"/> OTHER USE:	

* IF BUILDING A FENCE OR RETAINING WALL (A signed approval letter from the adjacent lot owner's is required)
 HEIGHT _____ ft _____ ins
 Located entirely on the land of the owner
 Public Right of Way/Easement
 Located on the lot line.

MNCPPC Site Plan No. _____
 Preliminary Plan No. _____
 Record Plat No. _____
 Yes No Forest Conservation Easement?

*** Manufacture's Name & Model # for all Trailers & Modular Buildings: _____

C. Revision to Original Permit

REVISION TO ORIGINAL PERMIT # _____
 (Original permit has been issued and is active)
 STRUCTURAL ELECTRICAL MECHANICAL SITE ARCHITECTUAL OTHER: _____

D. Building Address

Street Number 19801 Street Damestown Road City Beallsville Road Zip 20839
 Lot(s) _____ Block _____ Subdivision parcels 300 + 407
 Floor/Suite # _____ Nearest Cross Street Beallsville

E. Applicant Information

Contact ID# _____ Fax # _____ Email: william.payton@montgomeryperks.org
 Name of Applicant MNCPPC/ William L. Payton Daytime Phone #: 301-495-3597
 (Permit will be issued to applicant)
 Address 9500 Brunett Avenue City Silver Spring State MD Zip 20901

F. Point of Contact

Contact ID# _____ Fax # _____ Email: scott.knight@bellarc.com
 (If other than applicant)
 Contact Person Scott Knight - BELL Architects Daytime Phone #: 202-548-7570x209
 Address 1228 9th Street NW City Washington State DC Zip 20001

G. Expedited Plan Review:

I request an Expedited Plan Review, when available, which is subjected to additional fees.

(Applicant's Signature) _____ Date _____ (Print Name) _____

H. Additional Approvals:

Properties located within historic districts, municipalities and special taxing districts may require additional approvals beyond the required Department of Permitting Services (DPS) building permit. For projects located in the City of Takoma Park's Commercial Revitalization Overlay, certain permits must be approved by the City prior to commencing construction. Please refer to "Permit Procedures for Properties within a Montgomery County Municipality".

I. Impervious Areas:

Existing Building 1,518 Sq. Ft. New Building 0 Sq. Ft. Site 7,841 Sq. Ft.

J. Water and Sewage Information:

TYPE OF WATER SUPPLY WSSC WELL OTHER
SEWAGE DISPOSAL WSSC SEPTIC OTHER

K. Moderately Priced Dwelling Units:

20% of this development will be built as Moderately Priced Dwelling Units No Yes

L. Impact Tax:

New Buildings and Additions will be assessed an Impact Tax based on the area where built (see Impact Tax guide). I will exercise an approved Impact Tax Credit, a copy of which is attached.

M. DAP & EDAET Agreements:

Agreement must be attached for new buildings when applicable.

N. Special Exception:

Is this lot subject to a Special Exception? Yes, Case # _____ No

O. Historic Area in Atlas or Master Plan:

Is the property a Historic resource? Yes No

P. Use:

Has this space been occupied before? Yes No
Currently vacant
If yes, Previous Use: Merchandise/general store. Intended Use: Vacant

Q. Demolition: (Answer required for demolition of entire building only)

Is this building over 25 years old? Yes No

R. Authorized Agent Affidavit:

I hereby declare and affirm, under the penalty of perjury, that:

- I am duly authorized to make this permit application on behalf of: MNCPPC / William L. Payton (please print property owner's name)
 - The work proposed by this building permit application is authorized by the property owner, and
 - All matters and facts set forth in this Affidavit are true and correct to the best of my knowledge, information and belief.
- (Agent's Signature) _____ Date 4/15/2013 (Print Name) BELL Architects

S. To be Read by the Applicant:

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of the application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies. I hereby declare and affirm, under the penalty of perjury, that all matters and facts set forth in the building permit application are true and correct to the best of my knowledge, information and belief.

(Applicant's Signature) _____ Date 05/27/2013 (Print Name) William L. Payton

Revised 4/10/2013

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
301-563-3400

WEDNESDAY
April 10, 2013

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
MRO AUDITORIUM
8787 GEORGIA AVENUE
SILVER SPRING, MARYLAND 20910

PLEASE NOTE: The HPC agenda is subject to change any time after printing or during the commission meeting. Please contact the Historic Preservation Commission staff at the number above to obtain current information. If your application is included on this agenda, you or your representative is expected to attend. Please arrive at the meeting at 7:30pm.

HPC WORKSESSION – 7:00 p.m. in Third Floor Conference Room

HPC MEETING – 7:30 p.m. in MRO Auditorium

I. HISTORIC AREA WORK PERMITS

- A. Montgomery County Department of Parks (Julie Mueller, Agent) for installation of parking lot and other hardscape and alterations to building at 19801 Darnestown Road, Beallsville (HPC Case No. 17/01-13A) (Beallsville Historic District) **Approved with Conditions**
- B. Montgomery County Department of Parks (Julie Mueller, Agent) for roof replacement at 16501 Norwood Road, Sandy Spring (HPC Case No. 28/14-13A) (Master Plan Site #28/14, Woodlawn) **Approved**
- C. Steadfast Investments LLC (Gregory Wilson, Agent) for alterations to house at 9519 Woodstock Court, Silver Spring (HPC Case No. 36/01-13A) (National Park Seminary Historic District) **Approved with Conditions**
- D. Mark Verschell and Elizabeth Leff for installation of retaining wall at 7300 Baltimore Avenue, Takoma Park (HPC Case No. 37/03-13M) (Takoma Park Historic District) **Approved**
- E. Kathleen and Ashk Adamiyatt for fencing and driveway replacement at 5 West Irving Street, Chevy Chase (HPC Case No. 35/13-13L) (Chevy Chase Village Historic District) **Approved with Conditions**
- F. **POSTPONED** Larry Ahalt and Gary Gise for fencing installation at 19925 White Ground Road, Boyds (RETROACTIVE HPC Case No. 18/08-13A) (Boyds Historic District)
- G. Mei Oncu and Ross Weiner (Neal Thomson, Architect) for rear addition at 21 Hesketh Street, Chevy Chase (HPC Case No. 35/13-13M) (Chevy Chase Village Historic District) **Approved**

H. Alan and Jan Stevens (Tom Egan, Agent) for rehabilitation of fire-damaged house and alterations to house and construction of garage at 29 Holt Place, Takoma Park (HPC Case No. 37/03-13K) (Takoma Park Historic District) Approved

I. Gerald Ellsbury Jr. for demolition and new house construction at 2109 Salisbury Road, Silver Spring (HPC Case No. 36/02-13A) (Linden Historic District) Approved with Conditions

J. Paul and Deborah Eckert (Luke Olson, Agent) for construction of addition, demolition of garage and new garage construction at 3923 Washington Street, Kensington (HPC Case No. 36/02-13E) (Kensington Historic District) Approved with Conditions

II. PRELIMINARY CONSULTATIONS

A. **POSTPONED** Mr. and Mrs. Kirsch (Anne Decker, Architect) for side addition at 6400 Brookville Road, Chevy Chase (Chevy Chase Village Historic District)

III. MINUTES

- A. March 13, 2013 (if available)
- B. March 27, 2013 (if available)

IV. OTHER BUSINESS

- A. Commission Items
- B. Staff Items

V. ADJOURNMENT



Department of Permitting Services
 Division of Building Construction
 255 Rockville Pike, 2nd Floor
 Rockville, MD 20850-4168
 Phone: 311 in Montgomery County or (240) 777-0311
 Fax (240)-777-6262
<http://www.montgomerycountymd.gov/permitting-services>

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DPS

MARYLAND ACCESSIBILITY COMPLIANCE FORM. 8
For Alteration and Addition to Existing Commercial Buildings

To be completed by Architect

Project Name: Rehabilitation of Darby Store

Project Address: 19801 Darnestown Road, Beallsville MD 20839

AP Number: _____

This is to certify that (check all that apply):

The "path of travel", which includes bathrooms and drinking fountains serving the altered area, conforms with the ADAAG.

The cost of providing an accessible "path of travel" (including bathrooms and drinking fountains serving the altered area) exceeds 20% of the alteration cost as listed below:

A = Cost of alterations to the "primary function" areas = \$ _____

B = 20% x cost of alteration to the "primary function" area = 0.2 x A = \$ _____

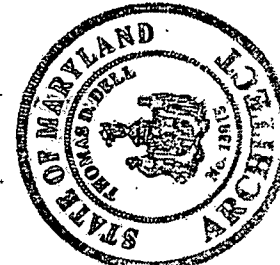
List elements that will be made accessible up to 20% of the alteration cost "B" (See "Excerpts From ADA, Title III" for the priority of elements that provide the greatest degree of access):

The tenant only is making the alteration. The "path of travel" outside the tenant area is under the landlord's authority and is not being altered.

I, T. David Bell as the licensed Architect for the project do hereby certify that the alteration/addition complies with the provisions of the Maryland Accessibility Code.

T. David Bell
 Signature

4/12/2013
 Date



Maryland Registration 5411