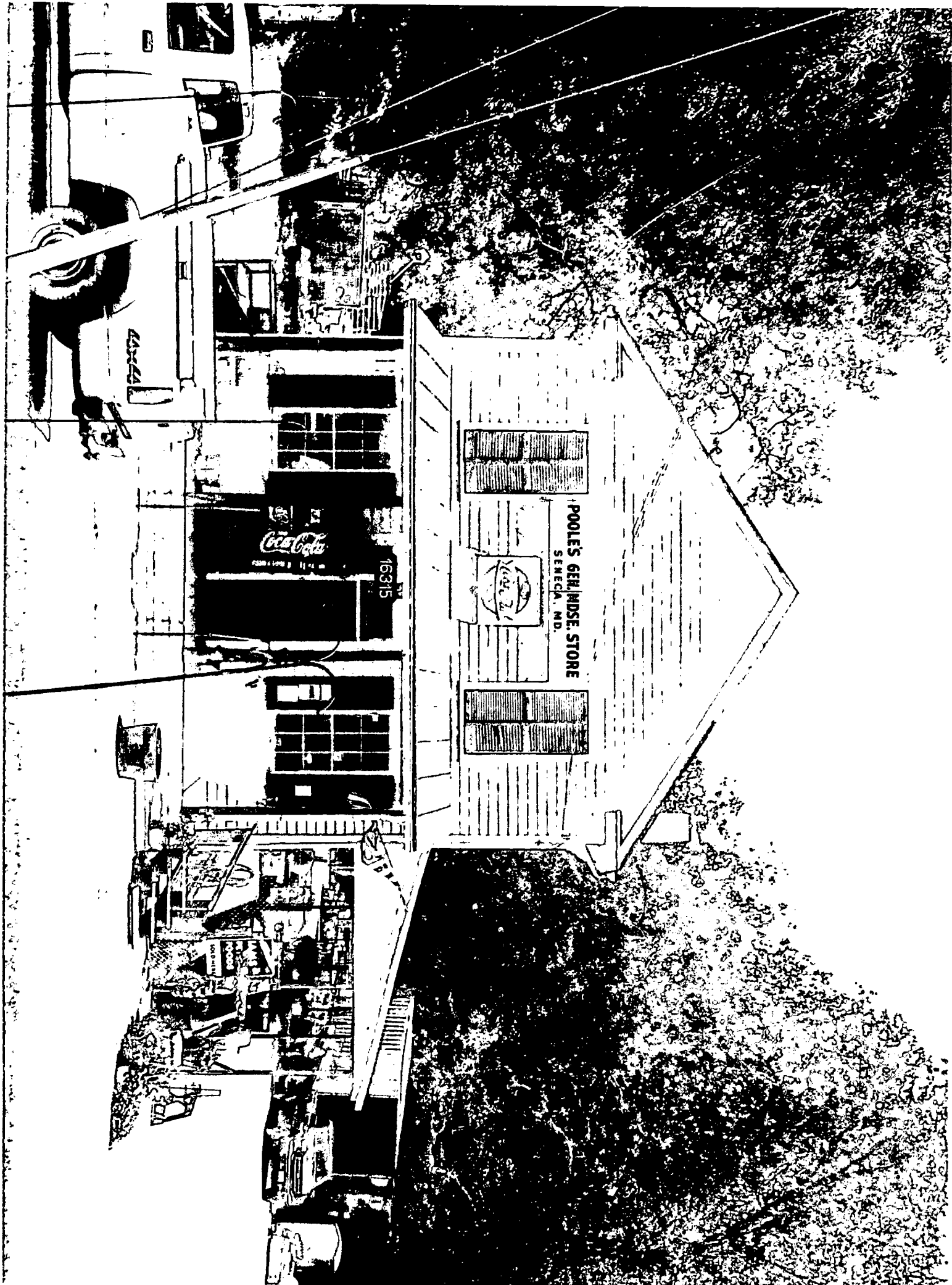


16401 Old River Road, Poolersville
[HPC Case No. 17/62-08A]
Master Plan Site # 17/62, Sassa Store

8
6

2 6



POOLE'S GENERAL STORE
SENECA, MD.

Coca-Cola

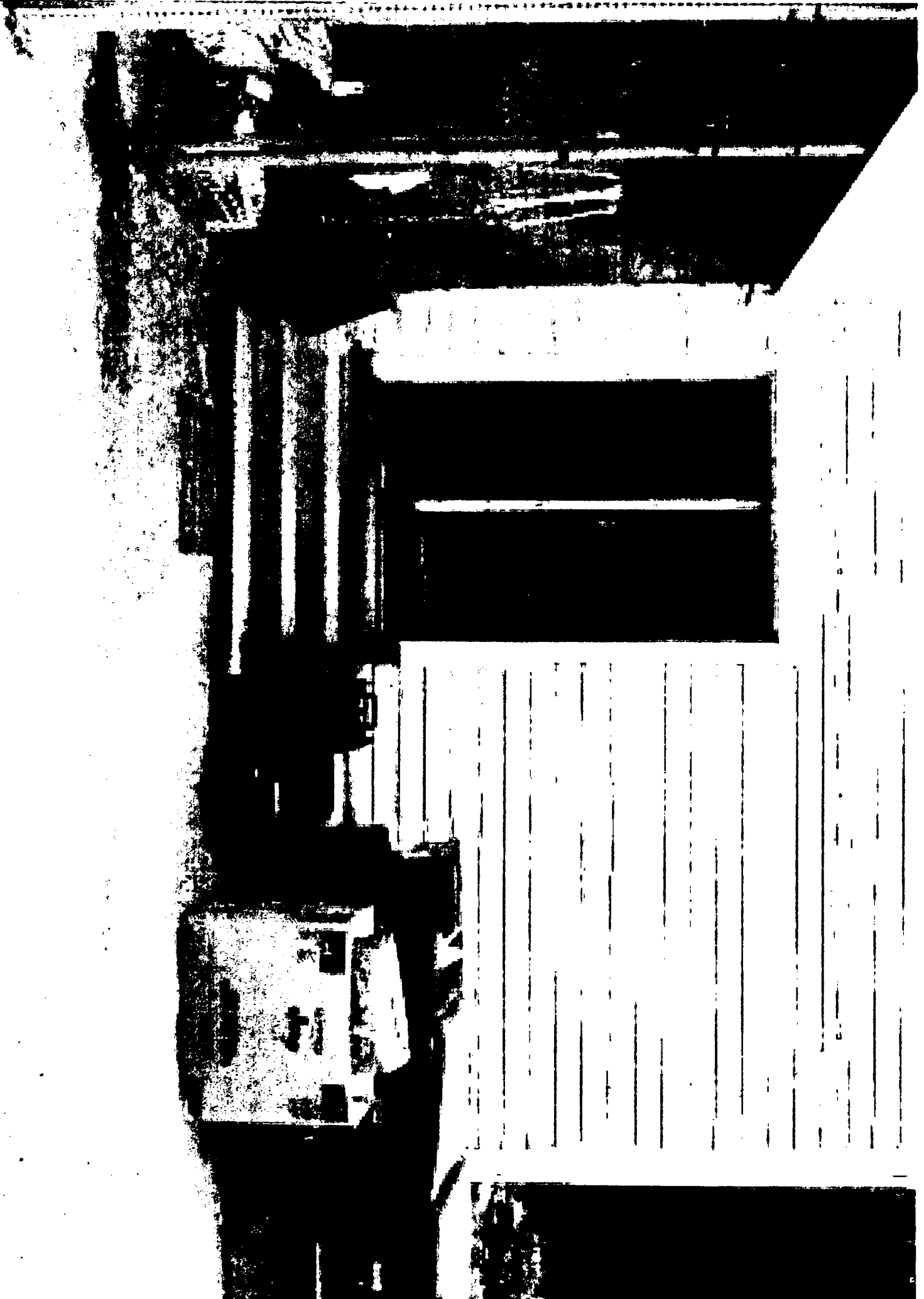
16315

42724

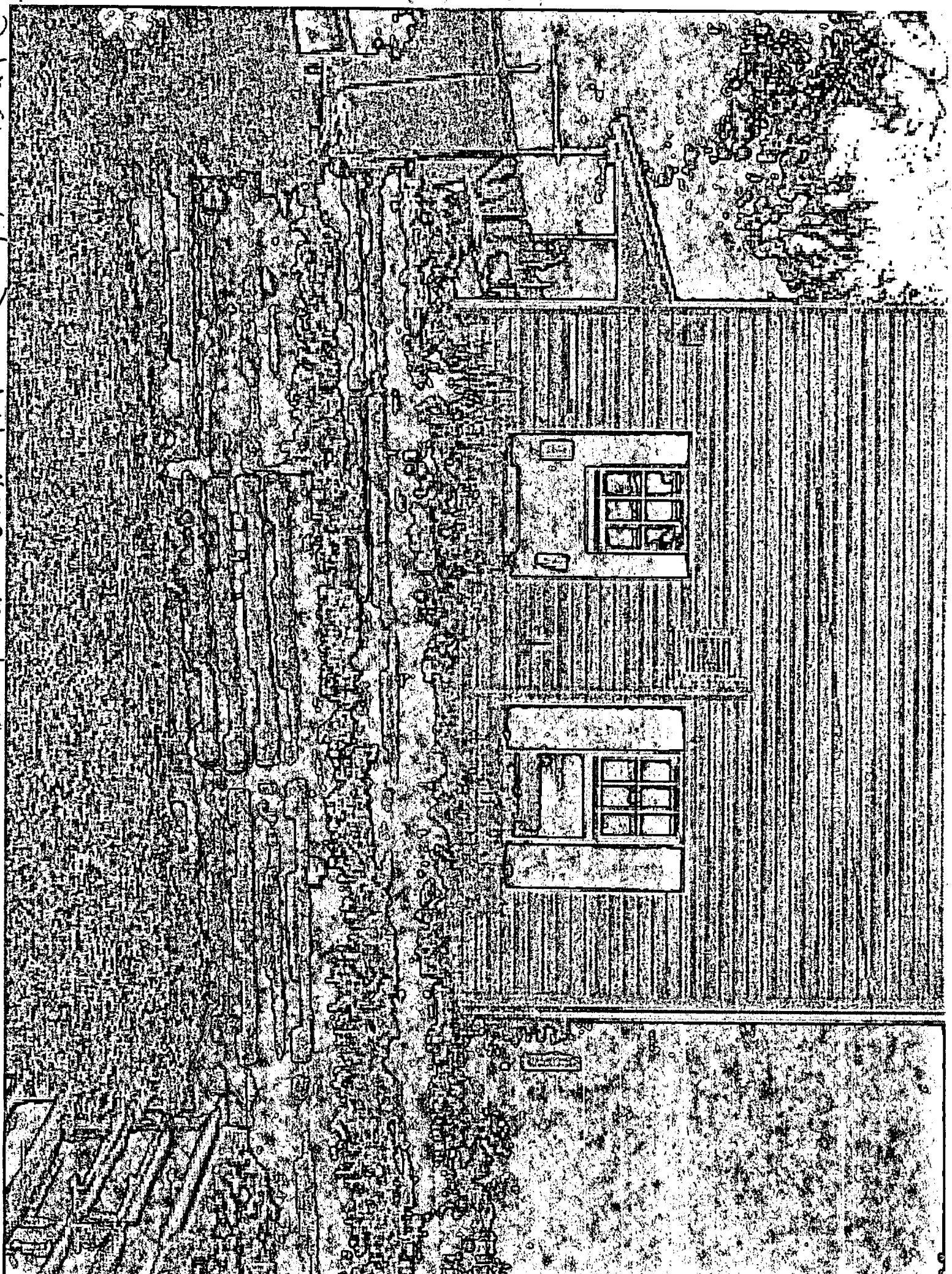
Dea Role store Shalob Proposed location of Handicapped Parking : 2nd

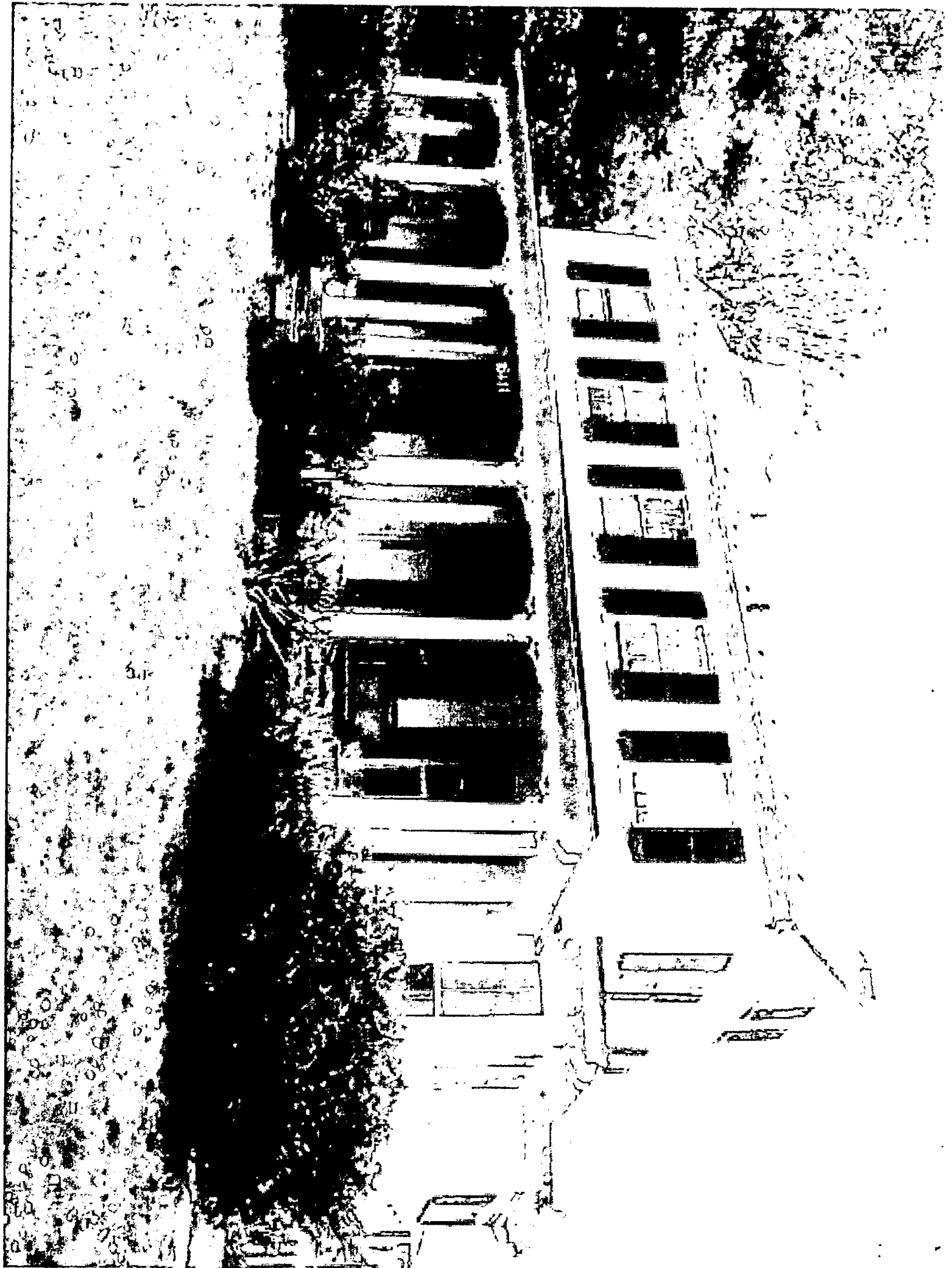


Dino's Store, Skidoo Proosed location 3-Blanki over FuelLine + Ramp



Palisades State Park, New York





Upton Dairy House photo
Institution in process Handicapped Dairy + Ram



Urban Dr. L. L. ...
alina ...
Process ...
Dr. V. ...
D...



Silver, Joshua

To: Grace, Michelle
Subject: Poole's Store handicap ramp

Hi Michelle,

Let me know if this works for the Director's report. Feel free to delete or decide not to use some or any of the bullet points below.

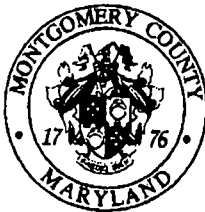
Josh

Elements of Sensitive ADA Handicap Ramp Installations on Historic Buildings [Poole's General Store]

Successful Project Elements and Outcomes of the Poole's General Store ADA handicap ramp installation:

- Location: Side elevation [mitigates the visual impact] and does not threaten/destroy significant architectural features
- Design: Sensitive to the historic building and setting and consistent with the Secretary of Interior Standards for the Treatment of Historic Properties
- Reversible: Type of installation allows for future removal if necessary without compromising the historic fabric and integrity of the building and environmental setting
- Compatibility: Appropriate use of materials [wood] and reuse of existing historic door openings
- Sustainability: Improves and maintains the use of the historic property as a general store
- Collaboration: Regular communication between Park's Department staff, Historic Preservation Commission staff and design team resulted in a well designed and executed project.

Joshua Silver, Senior Planner
Countywide Planning Division, Historic Preservation Section
The Maryland-National Capital Park and Planning Commission
(301) 563-3400 (phone)
(301) 563-3412 (fax)
1109 Spring Street, Suite 801
Silver Spring, MD 20910
www.MontgomeryPlanning.org



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: June 26, 2008

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Joshua Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #487686, installation of handicap ramps

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the June 25, 2008 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: M-NCPPC Parks Department

Address: 16315 & 16401 Old River Road, Poolesville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	16315 & 16401 Old River Road, Poolesville	Meeting Date:	6/25/2008
Resource:	<i>Master Plan</i> Sites #17/61 and 17/62 Upton Darby House and Seneca Store	Report Date:	6/18/2008
Applicant:	M-NCPPC Parks Department	Public Notice:	6/11/2008
Review:	HAWP	Tax Credit:	N/A
Case Number:	17/62-08A	Staff:	Josh Silver
PROPOSAL:	Installation of handicap ramps		

STAFF RECOMMENDATION:

Staff is recommending that the HPC **approve** this HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Designated *Master Plan* Site
STYLE: Vernacular
DATE: c1900

Upton Darby House #17/61 (c1855)

The house is a two story, frame structure with a five-bay, main (south) façade. The doorway is in the central bay; it has transom and side lights. At either end are internal chimneys for fireplaces; that have two story bases or brick stacks. A one story porch with bracketed posts extends across the entire façade. A rear el was built in two sections, each 1 ½ stories. The first section was integral with the house; the second part was added later. In plan, the house has a central hall and flanking parlors. The parlors have marble mantelpieces. The rear el is two rooms, the second one being added as a new kitchen.

Seneca Store #17/62 (c1900)

The store is a two and half story, three-bay by three-bay, building built on brick foundations and faces clad with white vinyl siding. The southwest (front) porch has four poured concrete steps which extend the full width of the elevation. Four thin stripped tree trunks, painted green, support a shed roof with a green raised standing seam metal covering. The southwest door is a double paneled door surmounted by a two light transom. On the southeast elevation a shed roof is supported by four metal poles. At the east corner there are double paneled wooden doors. There are 6/6 double hung windows flanked at the first level by green wooden paneled shutters, and at the second level by green wooden louvered shutters which have been closed. The store has gable roof with raised seam metal covering. An exterior stove chimney on the southeast exterior wall abuts an interior stove chimney on the same elevation.

HISTORIC CONTEXT

The following was excerpted from Places From the Past: The Tradition of Gardez Bien in Montgomery County, Maryland.

The store is National Register listed in the Seneca Historic District. Seneca was a thriving town supported by the stone-cutting industry, a gristmill, commercial canal traffic, and summering vacationers. The community had several warehouses and shops, a hotel, and several resort homes in the late 1800s and early 1900s. Frederick Allnutt, who had been running a store next to the canal for several years, built the frame store facing River Road in 1901. The Allnutt family operated the store for over 60 years. Since Raymond Poole began managing the business in 1965, it has been known as Poole's Store.

PROPOSAL:

The applicant is proposing to install two wooden handicap ramps on concrete footers at the subject property.

Historic House

The proposed ramp will be located at the rear of the house and attach to a later addition section. The proposed work includes the removal and replacement of one wooden door and installation of a new wooden door and modifications to the door threshold and casing to accommodate the proposed accessibility project.

Historic Store

The proposed ramp will be located on the northeast (right side) of the store and utilize the existing historic double-paneled wooden doors, casing and threshold to provide access to the store.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction to *Master Plan Sites* several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of Interior Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

Secretary of the Interior's Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finished, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff has worked closely with the applicant over the last year on developing a proposal that protects the historicity of both buildings and meets the accessibility needs of the owner. Staff supports the proposed ramp installation projects for both buildings at the property.

Historic House

The proposed ramp will be confined to a later addition section at the rear of the historic house. The use of all wood for the ramp, balustrade and hand railings are appropriate material treatments for an ADA compliant handicap ramp on a historic property. The proposed work will not be visible from the front of the subject property and will have no impact on the environmental setting of the site. Staff supports the removal of the door and threshold modification project. The door is located on a non-integral and later addition section of the house and will be replaced with an appropriate style all wood door. The proposed threshold modifications are only minor and will not impact any part of the historic massing. Staff encourages the applicant to consider reusing and/or retaining the door proposed for removal for a future use at the property.

Store

Although the ramp will be visible when approaching the store from the road staff supports the proposed project for several reasons: (1) installation of the proposed ramp will not impact the historic building fabric; (2) the proposed work includes reusing and rehabilitating the existing historic doors, casing and threshold; (3) the ramp, balustrade and hand railings are all wood; and (4) the required ADA parking space will be confined to the rear of the property and located in the existing gravel and macadam parking area. *Staff is recommending the HPC approve this HAWP application.*

STAFF RECOMMENDATION:

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b) (1), (2) & (3);

and with the *Secretary of the Interior's Standards for Rehabilitation;*

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850
240 777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Julianne Mueller

Daytime Phone No.: 301-650-4390

Tax Account No.: _____

Name of Property Owner: Maryland-National Capital Park and Planning Daytime Phone No.: _____

Address: 9500 Brunette Avenue, Silver Spring, MD 20901

Street Number City State Zip Code

Contractor: Department of Parks, Central Maintenance Phone No.: 301-670-8100

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 16401 (house) and 16315 (store) Street: Old River Road

Town/City: Poolesville Nearest Cross Street: Tschiffley Mill Road

Lot: _____ Block: _____ Subdivision: Election District 3, Map DR 32 P630, Subdivision 1

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: HANDICAP PARKING + RAMP

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Joey Lund
Signature of owner or authorized agent

5/21/08
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 487686 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The Poole's Store and Upton Darby House are located in the Seneca Historic District, which is listed in the National Register of Historic Places. Both buildings are individually listed on the Montgomery County Master Plan as Site 1.762. The properties are located within the Maryland Department of Natural Resources Seneca Creek State Park. From "Places From the Past:" The Poole's Store, also known as the Seneca Store, "is the oldest general store in continuous operation in Montgomery County and one of the few surviving turn-of-the-20th-century commercial buildings in the county. The store has a traditional front-gable form with cornice returns and 6/6 sash windows reminiscent of the pre-Civil War Greek Revival Era. The front porch posts are stripped whole tree trunks. On the interior, a closed string staircase in the rear east corner is enclosed with triple beaded paneling.... Frederick Allnutt... built the frame store facing River Road in 1901" (p. 179). Built in 1855 by John and Upton Darby of Franklin County, Pennsylvania, the Upton Darby House is one of the few mill-related structures still standing in the county. It is a center-hall, one-room deep structure with a Greek Revival style doorway transom. In addition to the house, the Darbys owned and operated the Seneca Mills, a complex dating to the late 18th century, located at the intersection of River and Tschiffley Mill roads. The house was purchased by Frederick Allnutt in 1900, the year before he constructed the general store next door (p. 173).

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

Separate ramps and associated parking areas to provide handicap accessibility are being proposed for both the house and store. The ramps will be constructed of wood and will be connected to the structures at existing doorways set at the back and rear so as to have the least visual impact from the road. At the house, the ramp will be added to the existing non-historic mudroom addition where a step and non-historic door will be removed to accommodate the ramp and a wider door. At the store, three existing concrete steps will be removed, but the historic doors will be retained in situ and will be operated by a push button. The handicapped parking space will be placed within the boundaries of the existing, gravel, store parking lot. Attached plans provide additional detailing for both structures. All work will comply with the Secretary of the Interior's Standards for Rehabilitation and will have no adverse effect on the integrity or historic significance of the structures or the historic district.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

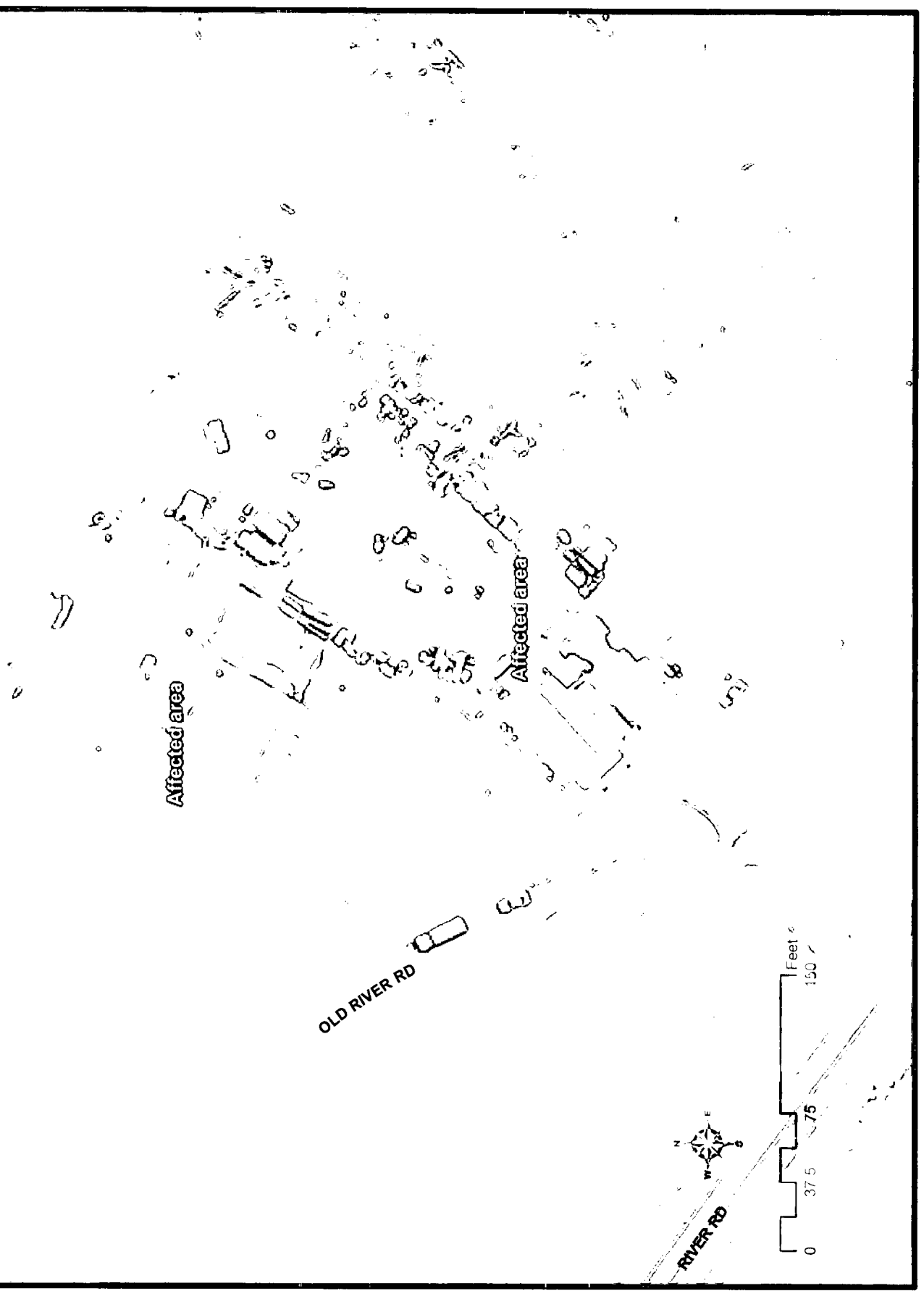
6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6' or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

Upton Darby House and Poole's Store



Affected area

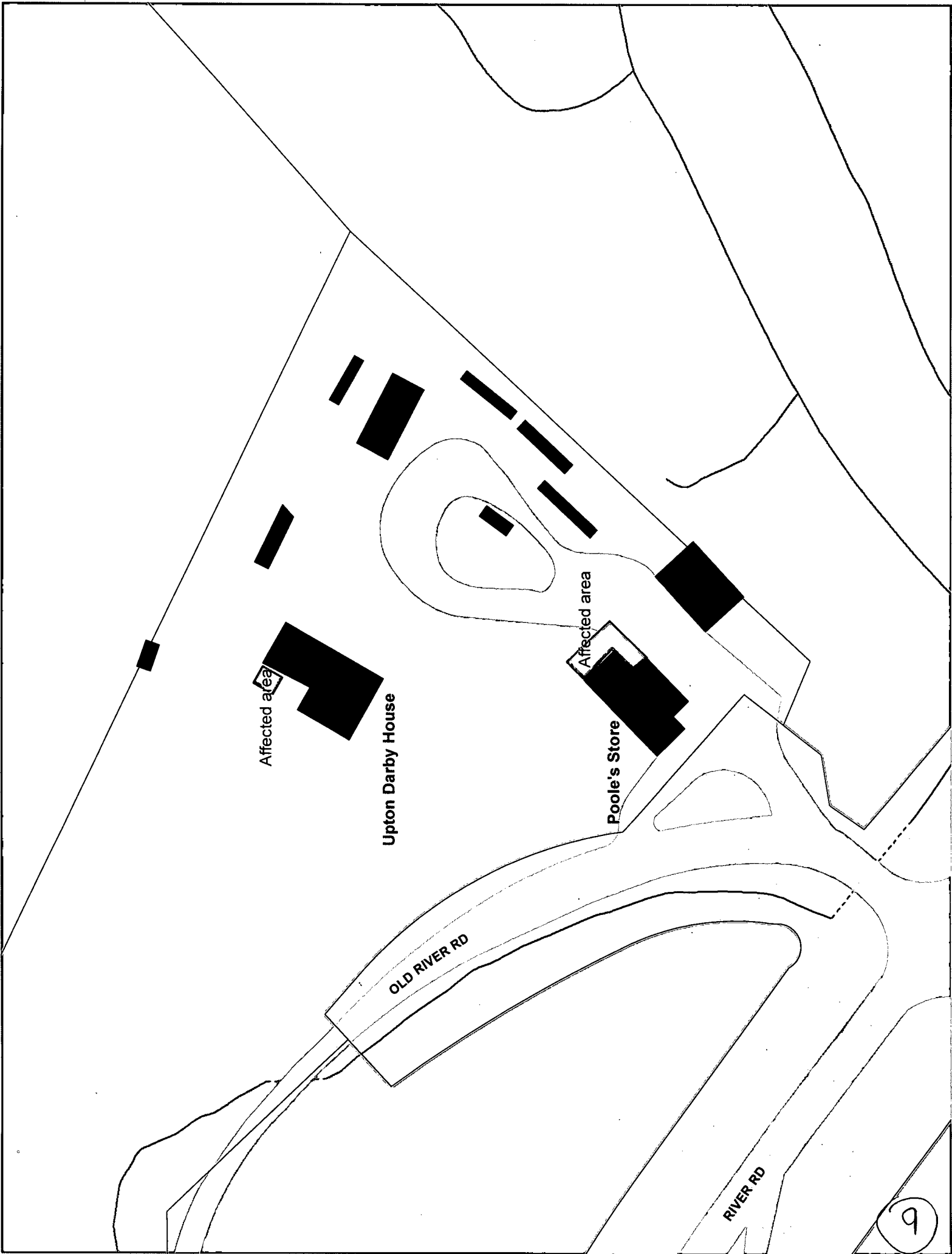
Upton Darby House

Affected area

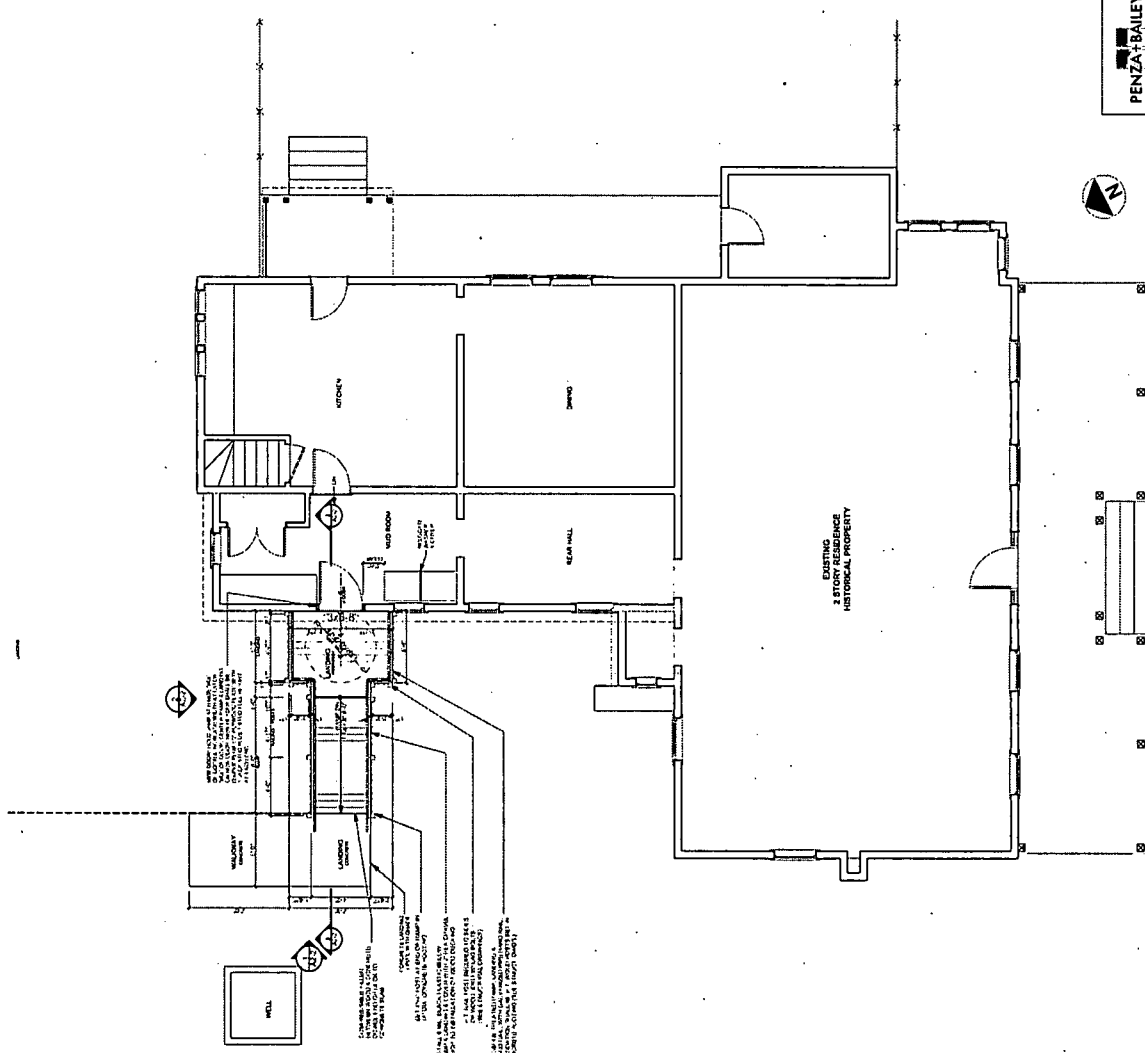
Poole's Store

OLD RIVER RD

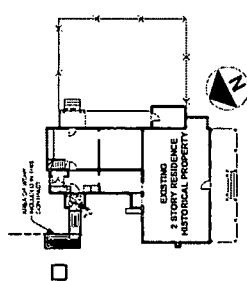
RIVER RD



NOT FOR CONSTRUCTION



1 FIRST FLOOR PLAN AT RESIDENCE
SCALE: 1/8" = 1'-0"



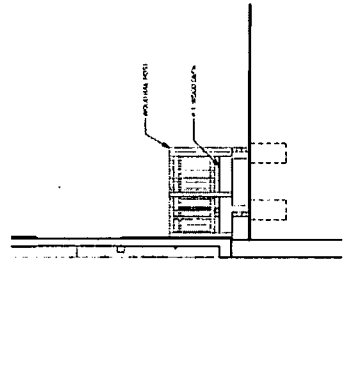
2 KEY PLAN
SCALE: 1/8" = 1'-0"

PENZA & BAILEY
ARCHITECTS
1011 WASHINGTON AVENUE
FLOOR 1000
BETHESDA, MARYLAND 20814
TEL: 301-279-1100
WWW.PENZAANDBAILEY.COM

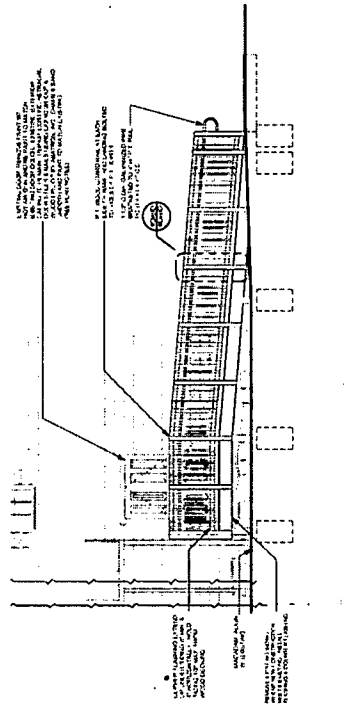
PARK DEVELOPMENT
DIVISION
1001 W. JENNIFER DRIVE
BETHESDA, MD 20814

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

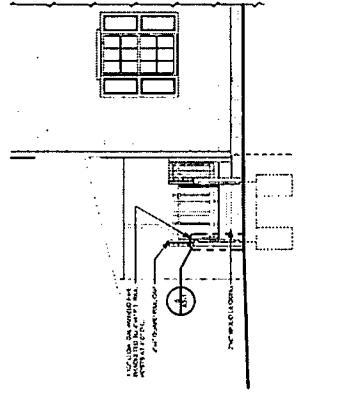
DATE APPROVED	DATE RECEIVED	DATE	STANDARD NO.
CHEF ENGINEER	REVIEWED	APPROVED	A1-2
PROJECT MANAGER	REVISIONS	APPROVED	



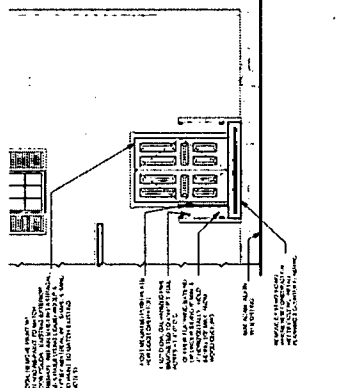
1 SOUTH ELEVATION AT GENERAL STORE
SCALE: 1/8" = 1'-0"



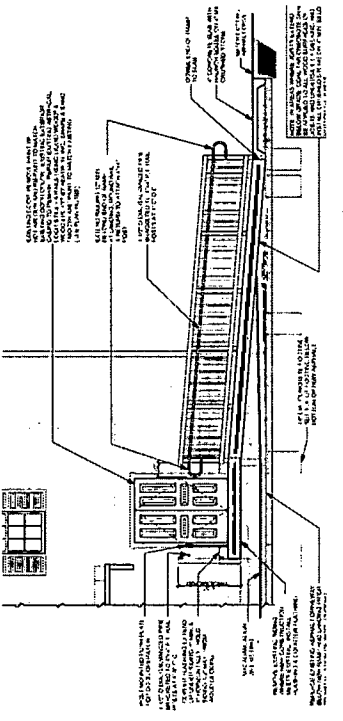
2 EAST ELEVATION AT GENERAL STORE
SCALE: 1/8" = 1'-0"



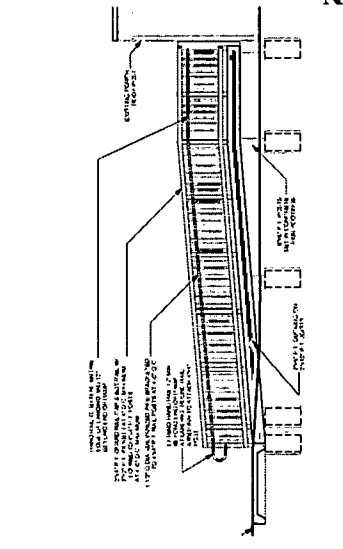
3 NORTH ELEVATION AT GENERAL STORE
SCALE: 1/8" = 1'-0"



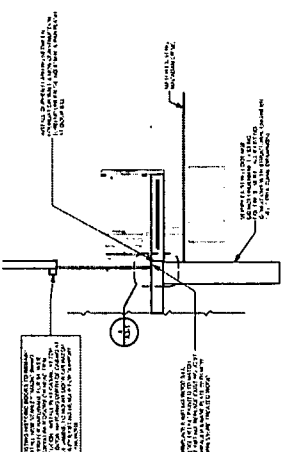
4 SECTION @ GENERAL STORE LANDING
SCALE: 1/8" = 1'-0"



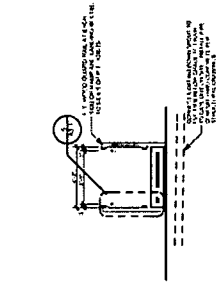
5 SECTION @ GENERAL STORE RAMP
SCALE: 1/8" = 1'-0"



6 SECTION @ GENERAL STORE RAMP EAST
SCALE: 1/8" = 1'-0"



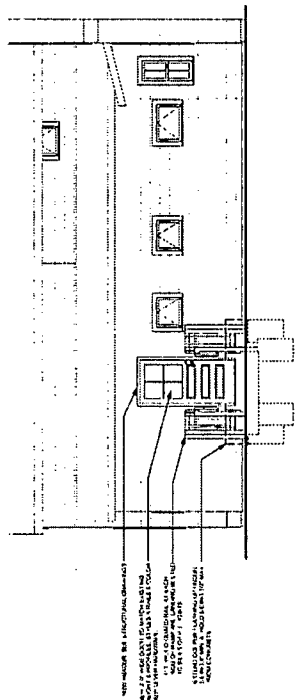
7 SECTION @ GENERAL STORE DOOR
SCALE: 1/8" = 1'-0"



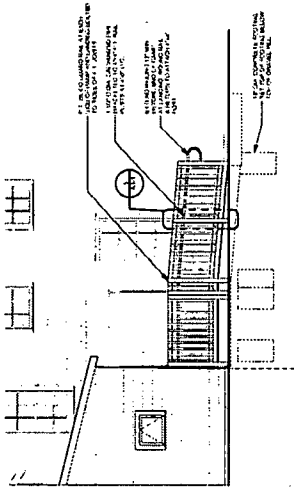
8 SECTION @ GENERAL STORE RAMP
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

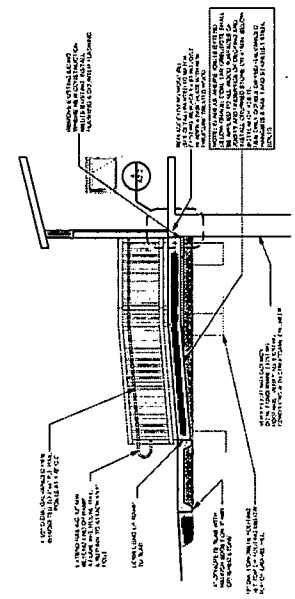
413 Woodbourne Street Frederick, Maryland 21704 301-771-1111		THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland		STANDARD NO. A2-1	
PROJECT: POOLE - GENERAL STORE & RESIDENCE		DATE: 11/11/11		REVISIONS:	
DRAWN BY: T. BAILEY		CHECKED BY: T. BAILEY		DATE: 11/11/11	
SCALE: 1/8" = 1'-0"		SCALE: 1/8" = 1'-0"		SCALE: 1/8" = 1'-0"	



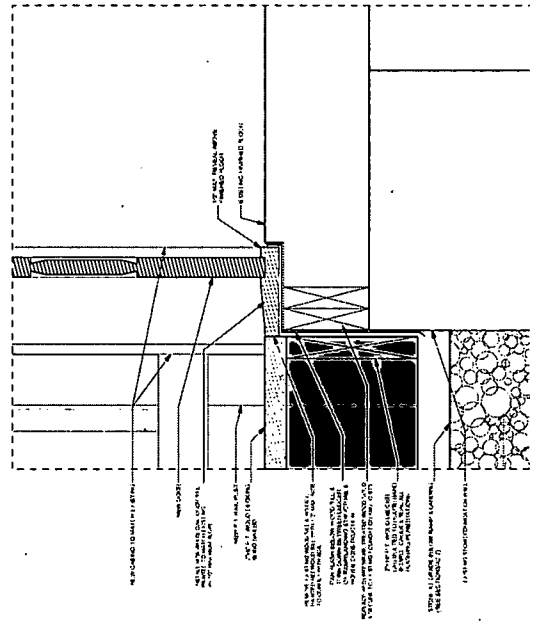
1 WEST ELEVATION AT RESIDENCE
SCALE 1/8" = 1'-0"



2 NORTH ELEVATION AT RESIDENCE
SCALE 1/8" = 1'-0"



3 SECTION @ RESIDENCE RAMP
SCALE 1/8" = 1'-0"



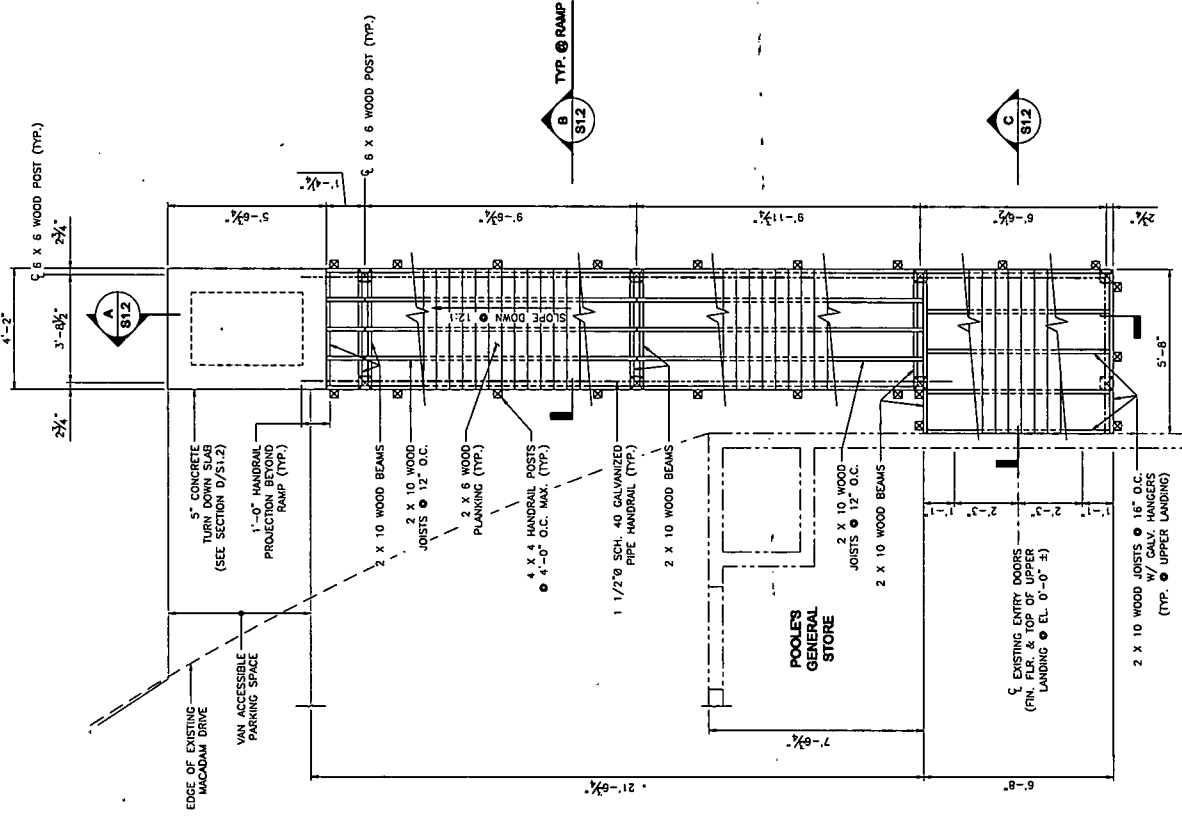
4 DETAIL - DOOR SILL @ RESIDENCE
SCALE 1/4" = 1'-0"

NOT FOR CONSTRUCTION

<p>PENZA-BAILEY ARCHITECTS 481 Westbourne Avenue Baltimore, Maryland 21201 Tel: 410-528-1100 www.penza-bailey.com</p>	<p>PARK DEVELOPMENT DIVISION 1000 EAST MOUNTAIN DRIVE Baltimore, Maryland 21201 Tel: 410-396-1000</p>	<p>THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland</p>		<p>REVISION DATE: STANDARD NO.</p>						
		<p>POOLE - GENERAL STORE & RESIDENCE</p>		<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	BY	REVISION		
NO.	DATE	BY	REVISION							

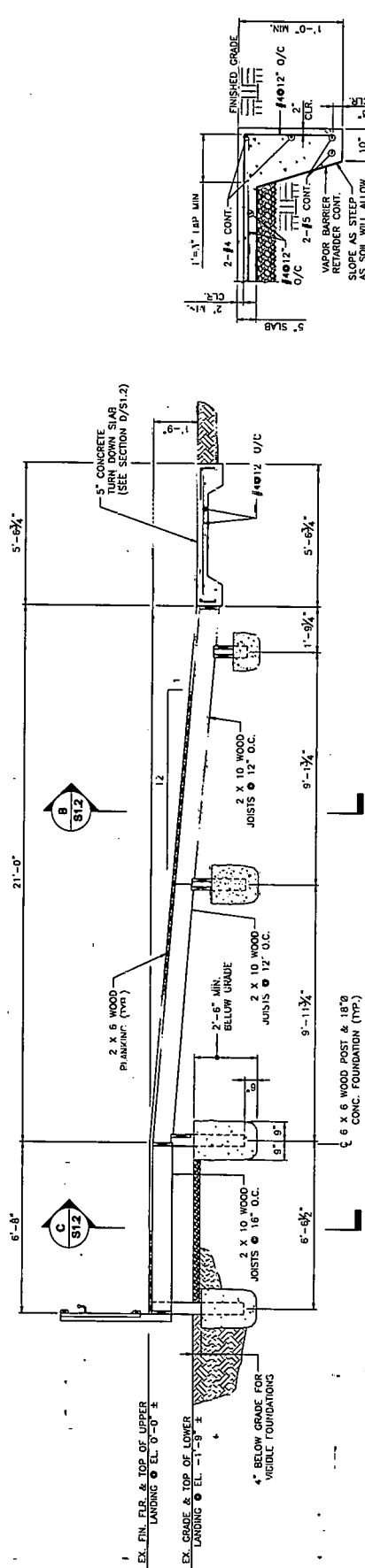
GENERAL STRUCTURAL NOTES:

1. BUILDING CODES:
 - A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2006 IBC BUILDING CODE.
 - B. IN ADDITION ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE.
2. DESIGN LOADS:
 - A. THE DESIGN DEAD LOADING FOR ALL RAMPS IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS.
 - B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW LIVE LOAD SHALL BE AS FOLLOWS:
 - 1. 100 PSF
 - 2. 150 PSF
 - C. THE CONTRACTOR SHALL NOT STORE ANY CONSTRUCTION MATERIALS OR UNDERTAKE ANY CONSTRUCTION OPERATION WHICH WILL EXCEED THE DESIGN LIVE LOADINGS NOTED.
3. MISCELLANEOUS:
 - A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION OF THE CONSTRUCTION. THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS FOR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE THAT THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION. ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. THE HANDRAIL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING POINTS: THE HANDRAIL SHALL BE DRILLED FROM ANY BURRS OR IRREGULARITIES.
 - B. EXISTING PLANS, DETAILS, DIMENSIONS, AND ELEVATIONS INDICATE EXISTING CONDITIONS AS KNOWN. THE EXISTING INFORMATION SHOWN IS NOT INTENDED TO BE "AS BUILT" AND THE ACTUAL CONSTRUCTION SHALL BE VERIFIED BY THE ENGINEER. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND FIELD ELEVATIONS PRIOR TO STARTING CONSTRUCTION. MINOR VARIATIONS CAN BE EXPECTED AND ANY REQUIRED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - C. THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM. THE CONTRACTOR SHALL REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER AT HIS OWN EXPENSE.
 - D. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING DURING CONSTRUCTION. THE DESIGN OF ALL TEMPORARY BRACING AND SHORING IS THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL MONITOR THE EXISTING STRUCTURE DURING CONSTRUCTION TO PREVENT COLLAPSE OR EXCESSIVE DEFLECTIONS OR EXHIBITING DISTRESS OR FAILURE.
 - E. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND CONDITION OF ALL EXISTING FOUNDATION ELEMENTS AND THE SUBGRADE. ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
4. FOUNDATIONS:
 - A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE FOR FROST PROTECTION.
 - B. ALL FOUNDATIONS SHALL BE BUILT ON A COMPACTED, UNDISTURBED SOIL BEARING PRESSURE OF 2000 PSF. THE ALLOWABLE SOIL BEARING PRESSURE SHALL BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACING THE FOUNDATION. THE ACTUAL SOIL BEARING PRESSURE SHALL BE LESS THAN 2000 PSF. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
 - C. ALL FILL PLACED UNDER SPREAD FOOTINGS SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 998.
 - D. ALL EXCAVATION AND BACKFILLING OPERATIONS WITHIN THE RAMP FOOTPRINT, INCLUDING ALL COMPACTION TESTS AND INSPECTIONS, SHALL BE UNDER THE CLOSE PERSONAL SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER.
 - E. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR SHOWN ON THE CONTRACT DOCUMENTS.
 - F. ALL EXISTING SOIL CONTAINING GRAVEL CONSTRUCTION OR DEMOLITION DEBRIS, ORGANIC SUBSTANCES, OR OTHER FOREIGN OBJECTS SHALL BE REMOVED FROM THE REGION WITHIN THE FOOTPRINT OF THE STRUCTURE.
5. CAST IN PLACE CONCRETE:
 - A. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)", AND TO THE "CONCRETE REPAIR AND RECONSTRUCTION MANUAL (ACI 308)". IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
 1. RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).
 2. RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).
 3. RECOMMENDED PRACTICE FOR CONCRETE WITH ADMIXTURES (ACI 307).
 4. REQUIREMENTS FOR ARCHITECTURAL CONCRETE CONTAINED IN ACI 301.
 5. ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5% ± 1%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1" FOR ALL CONCRETE EXCEPT FOR CONCRETE FOR CURBS AND PARAPETS WHICH SHALL BE 3/4". ALL CONCRETE SHALL BE PLACED AND FINISHED TO CONFORM TO ASTM C 150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C 33.
 6. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 618. ALL REINFORCING BARS SHALL BE A MINIMUM OF 30 BAR DIAMETERS UNLESS OTHERWISE INDICATED.
 7. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE CRS "MANUAL OF STANDARD PRACTICE, ACI 315" "DETAILING MANUAL".
 8. ALL CONCRETE MIX DESIGNS, INCLUDING CEMENT CONTENT, WATER CEMENT RATIO, FIN AND COARSE AGGREGATE CONTENT AND ALL ADMIXTURES, SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE PLACING OF ANY CONCRETE.
 9. THE CONTRACTOR SHALL NOTIFY THE TESTING AGENCY 48 HOURS PRIOR TO THE PLACING OF ANY CONCRETE TO SUPPORT THE DESIGN LIVE LOAD FOR A MINIMUM OF 28 DAYS AND ALL SHORING AND RESHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. SHOP DRAWINGS SHALL INDICATE THE TYPE, EXTENT, SIZE, AND LOCATION OF CONSTRUCTION AND RESHORING AS WELL AS THE SEQUENCE OF CONSTRUCTION.
 10. GROUND BLAST FURNACE SLAG MAY BE USED TO REPLACE UP TO 50 PERCENT OF THE PORTLAND CEMENT IN A CONCRETE MIX, AND FLY ASH MAY BE USED TO REPLACE UP TO 20 PERCENT OF THE PORTLAND CEMENT, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND SHALL CONFORM TO ASTM C 989.
 - B. ALL STRUCTURAL WOOD SHALL BE PRESSURE TREATED #2 SOUTHERN PINE OR BETTER.
 - C. ALL UNSPECIFIED WOOD-TO-WOOD CONNECTIONS SHALL BE WITH 2-1/4" NAILS MINIMUM.
6. GROUND PROTECTION:
 - A. COVER GROUND UNDER STRUCTURE WITH 10 MIL PLASTIC AND 3" OF GRAVEL TO PREVENT VEGETATION GROWTH.



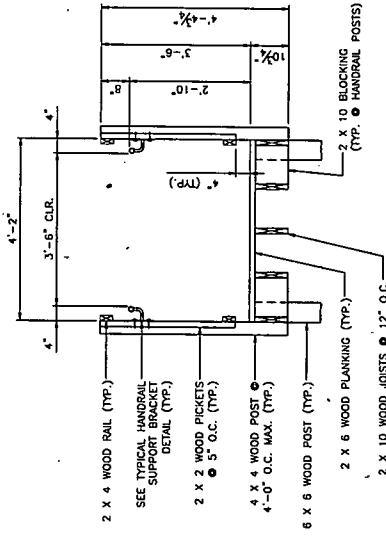
PLAN @ HANDICAP RAMP
SCALE: 1/4" = 1'-0"

<p>KCI TECHNOLOGIES</p>	<p>Project: Owner: Contractor:</p>	<p>DATE APPROVED: COMP. NUMBER: PROJECT NO. / DRAWING NO.:</p>	<p>REVISIONS:</p>	<p>STANDARD NO. S1.1</p>
	<p>THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland</p> <p>MANCPFC POOLEE - GENERAL STORE & RESIDENCE</p> <p>PLAN & NOTES</p>			

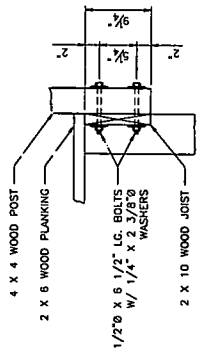


SECTION @ TURN DOWN SLAB
SCALE: 1/8" = 1'-0"
D S12

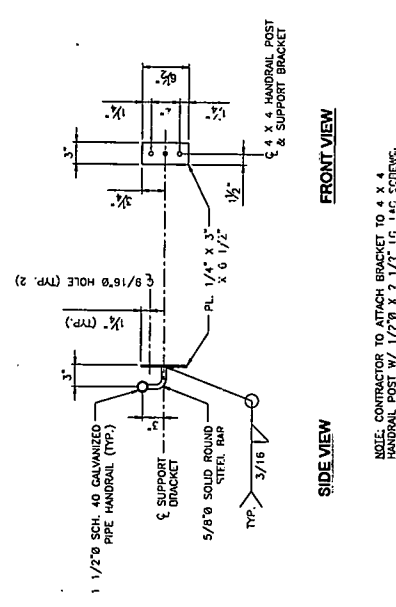
SECTION THRU RAMP
SCALE: 1/8" = 1'-0"
A S12



TYPICAL SECTION THRU RAMP
SCALE: 3/8" = 1'-0"
B S12

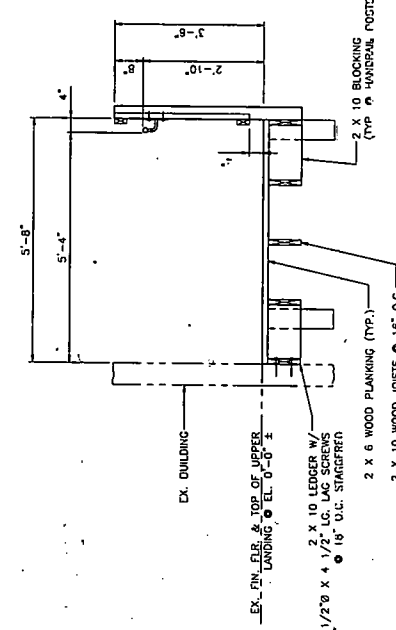


TYPICAL HANDRAIL POST CONNECTION DETAIL
SCALE: 1/8" = 1'-0"
S12



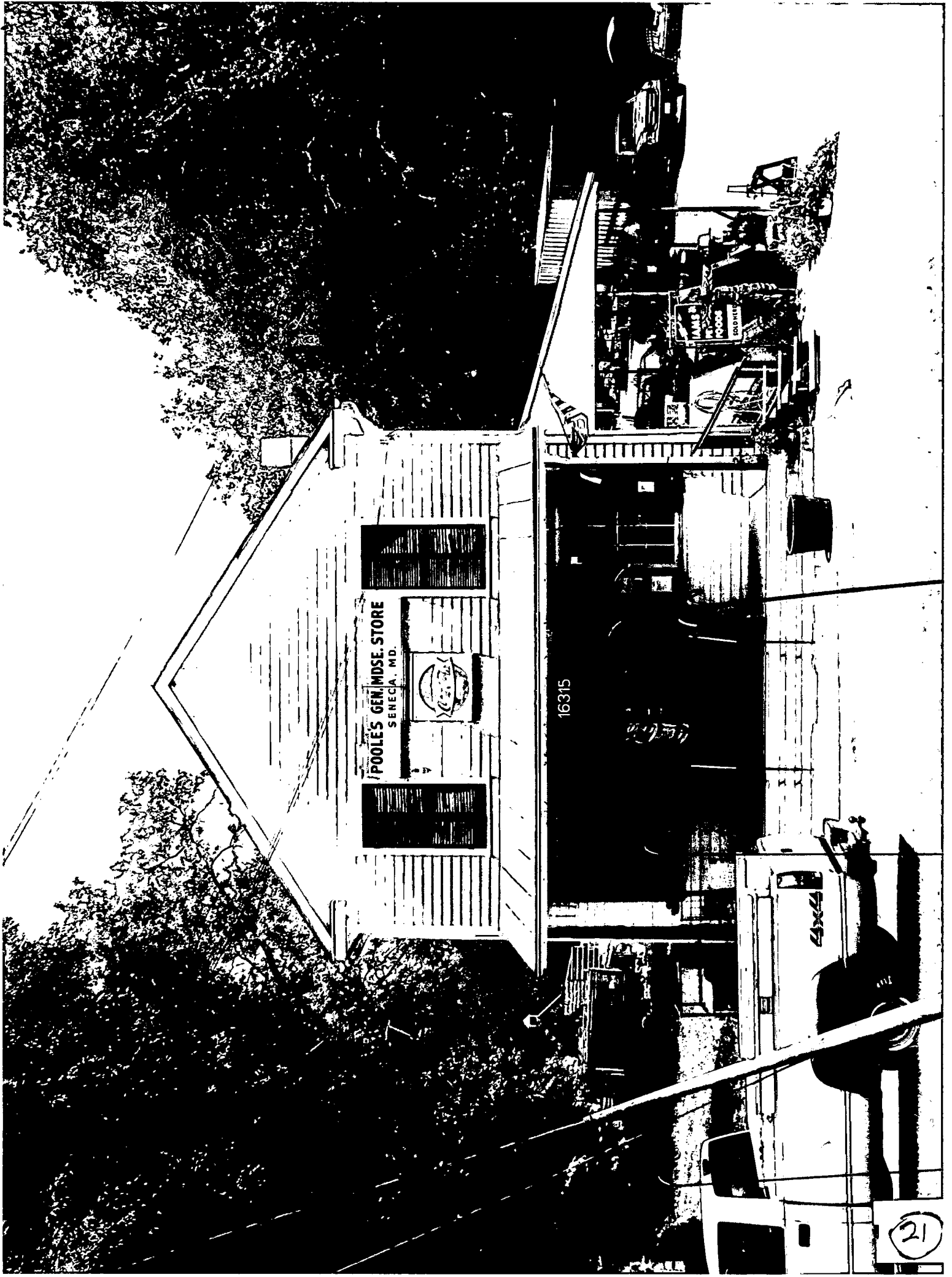
TYPICAL HANDRAIL SUPPORT BRACKET DETAIL
SCALE: 1/8" = 1'-0"
D S12

SECTION @ UPPER LANDING
SCALE: 3/8" = 1'-0"
C S12



NOTE: CONTRACTOR TO ATTACH BRACKET TO 4 X 4 HANDRAIL POST W/ 1/2" X 4 1/2" L.C. LAG SCREWS.

<p>KCI TECHNOLOGIES 10 New River Drive Parkville, MO 64150 Tel: (816) 315-7817 www.kci.com</p>	<p>ENGINEER PLANNER SCHEMATIC</p>	<p>CONTRACTOR MANAGER 10 New River Drive Parkville, MO 64150 Tel: (816) 315-7817 www.kci.com</p>	<p>FAIR DEVELOPMENT DIVISION DEPARTMENT OF PARKS MONTGOMERY COUNTY, MARYLAND</p>	<p>THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland</p>
	<p>GENERAL CONTRACTOR</p>	<p>GENERAL STORE & RESTORANCE</p>	<p>REVISION DATE</p>	<p>FRAMING NO.</p>
<p>SECTIONS & DETAILS</p>			<p>S12</p>	



POOLE'S GEN. MDSE. STORE
SENECA, MD.

16315

HANS
FOODS
OLD HILL

21



22

Dee Poole Stone Skates Proposed Location of Handicap Parking & Ramp



23

Fode's Store Skidoo Proposed location of handicaps Parking + Ramp



24

Pool's Store 5/21/00 Proposed Handicap parking location





Open to view view on 6/20/08
Location of Proposed Handicap parking + Ramp

26



(27)

Upton Darby House 6/21/08

Option Dandy House 5/14/08 location of Proposed Handicap Parking & Ramp



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S

4

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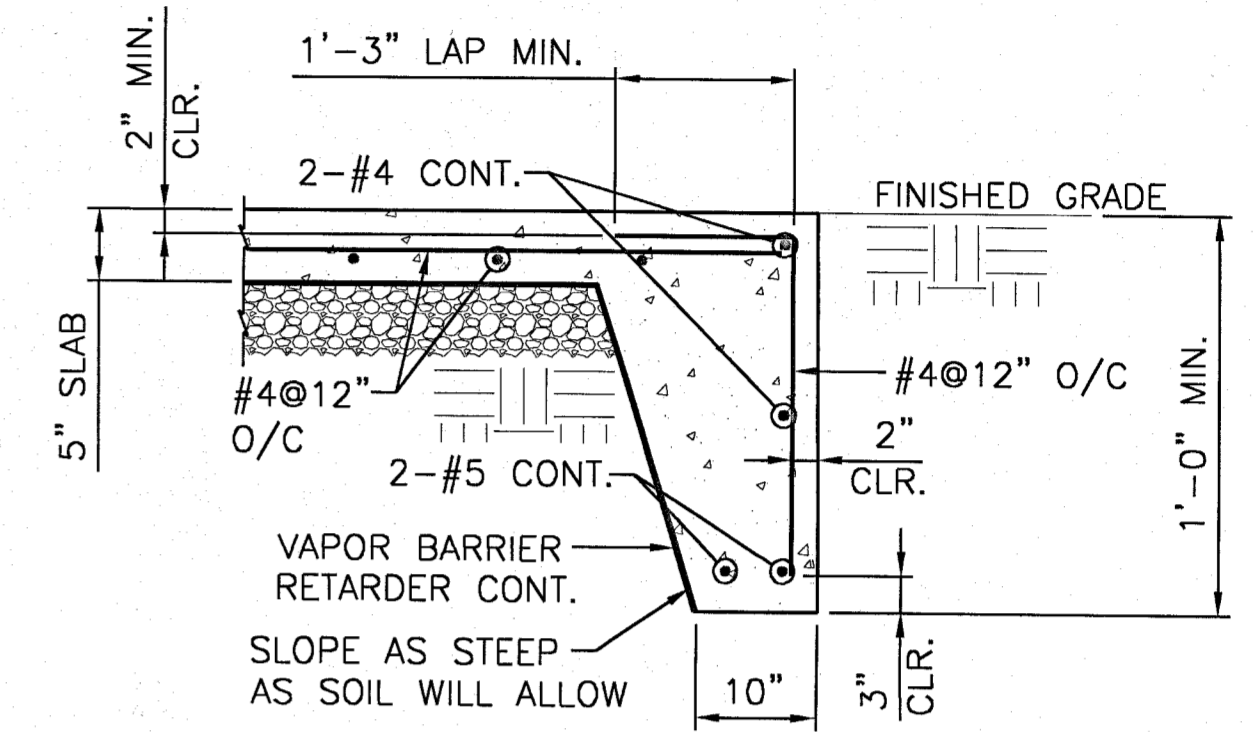
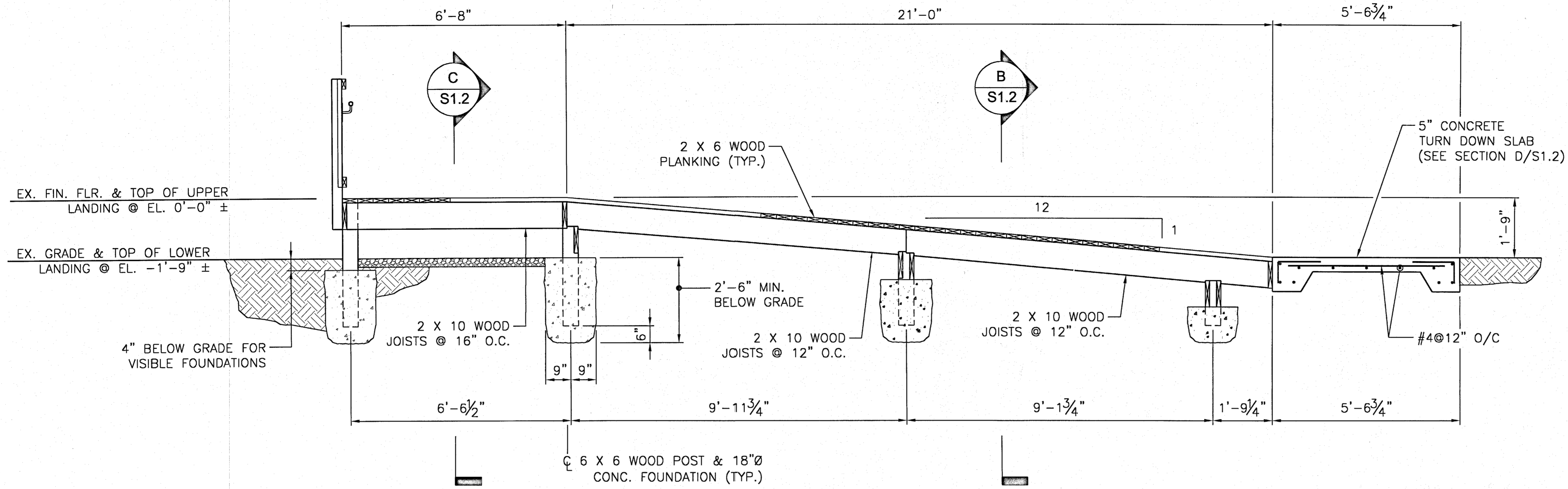
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SECTION THRU RAMP

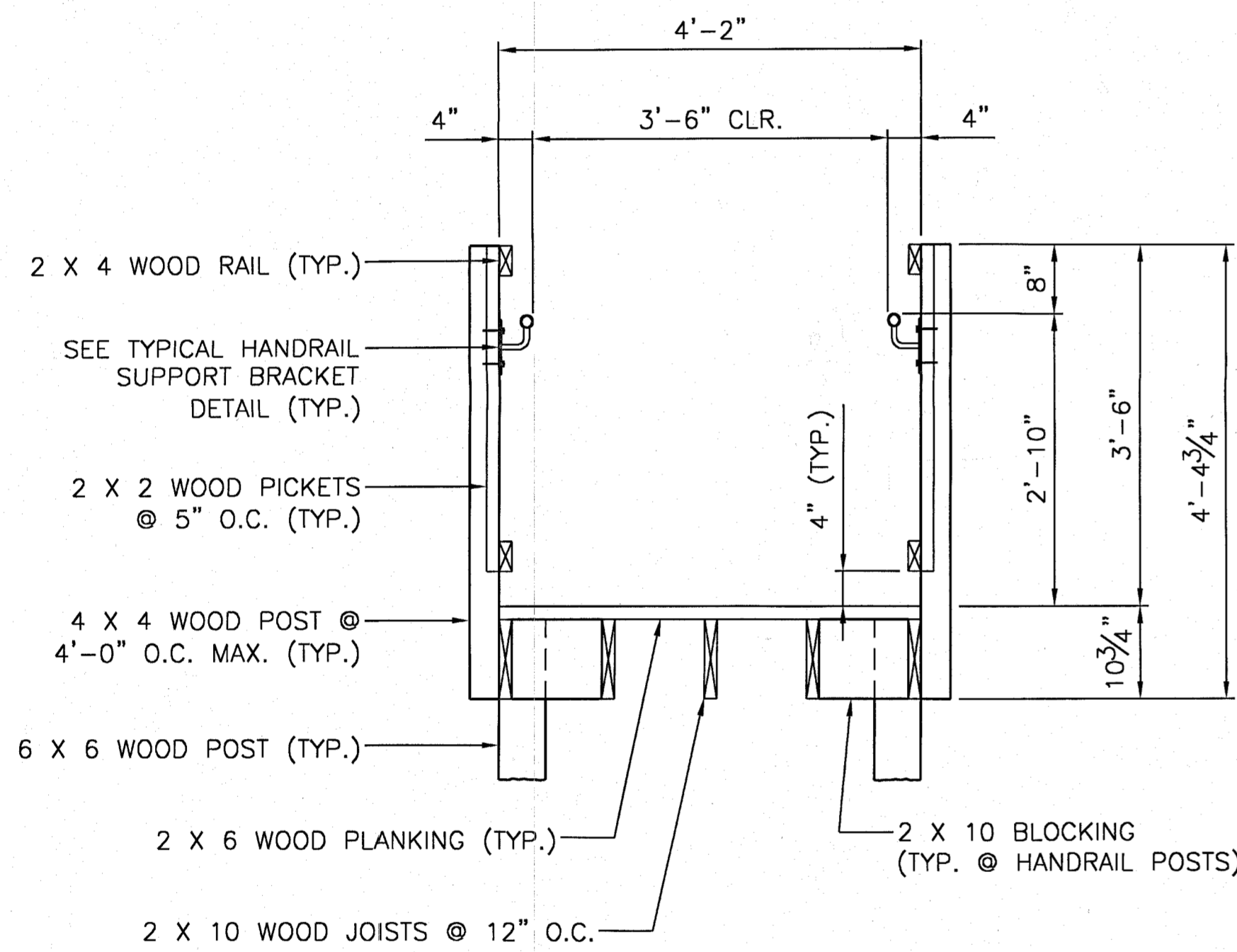
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S1.2

SECTION @ TURN DOWN SLAB

NOT TO SCALE

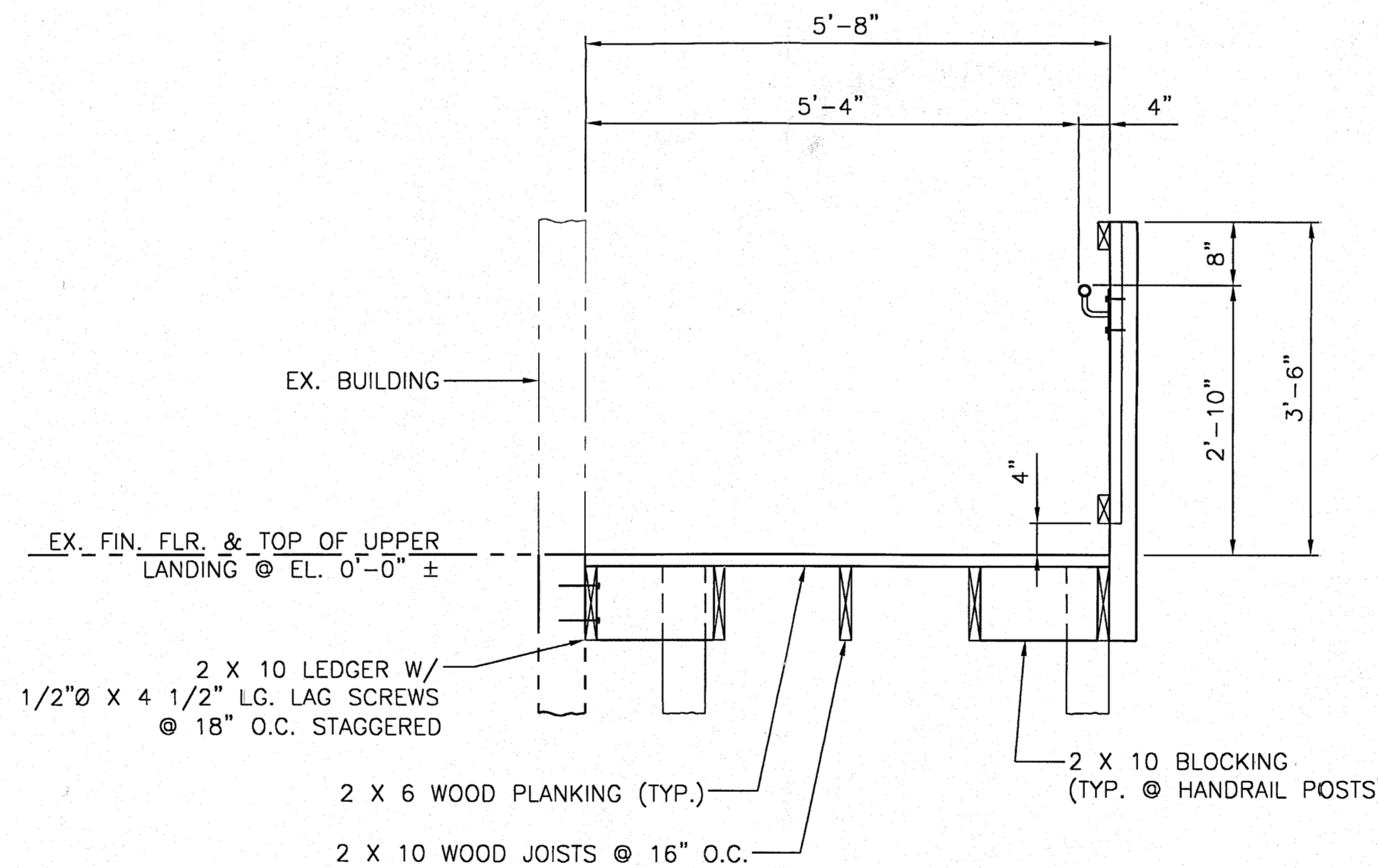
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S1.2



TYPICAL SECTION THRU RAMP

SCALE: 3/4" = 1'-0"

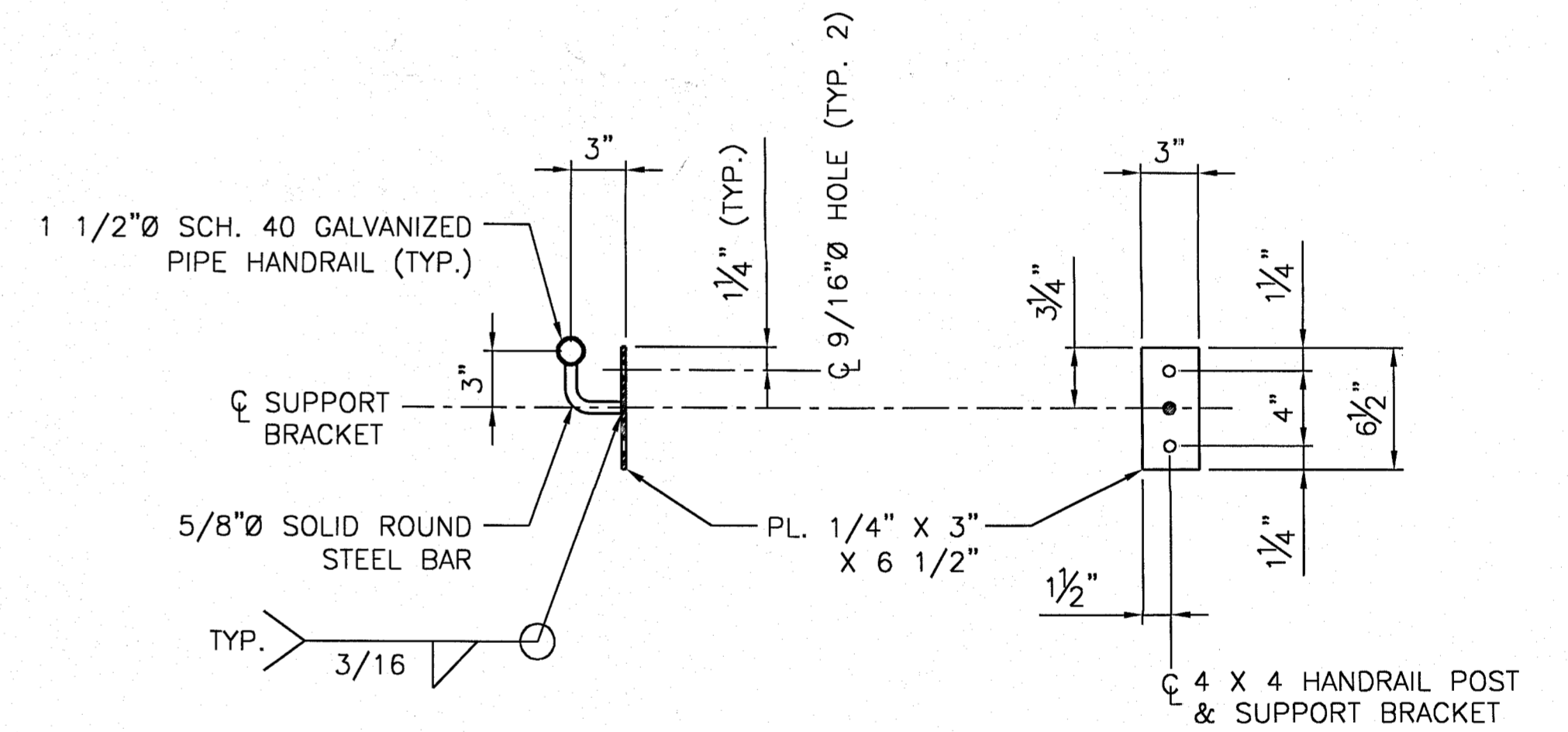
B
S1.2



SECTION @ UPPER LANDING

SCALE: 3/4" = 1'-0"

C
S1.2



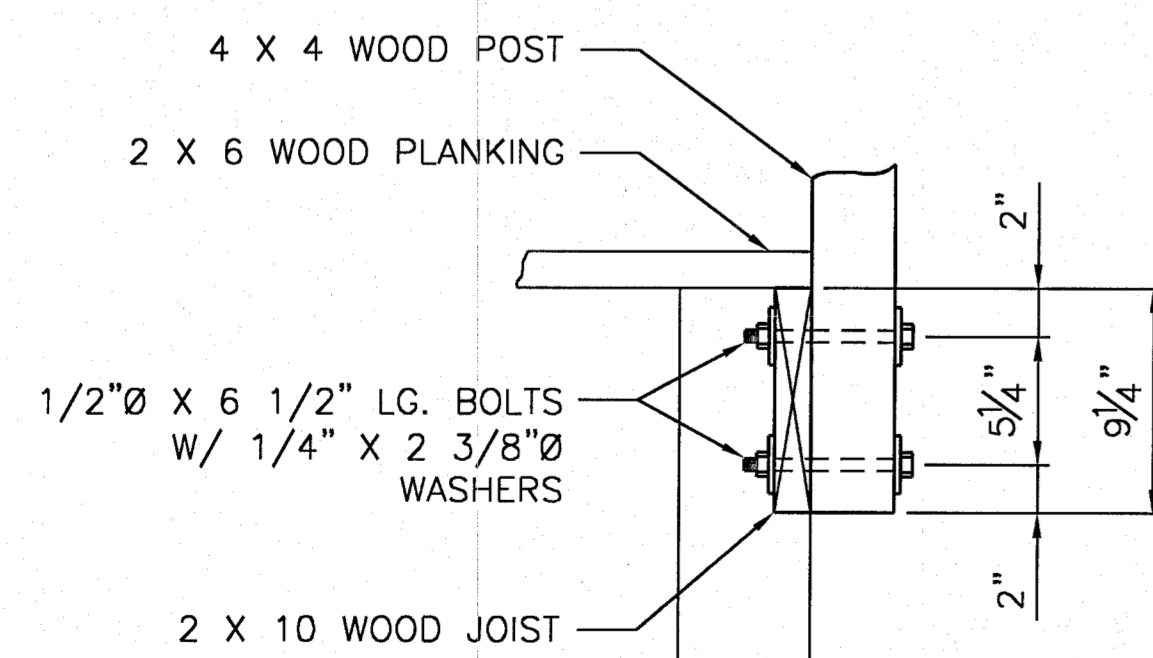
SIDE VIEW

FRONT VIEW

NOTE: CONTRACTOR TO ATTACH BRACKET TO 4 X 4 HANDRAIL POST W/ 1/2"Ø X 2 1/2" LG. LAG SCREWS.

TYPICAL HANDRAIL SUPPORT BRACKET DETAIL

SCALE: 1 1/2" = 1'-0"



TYPICAL HANDRAIL POST CONNECTION DETAIL

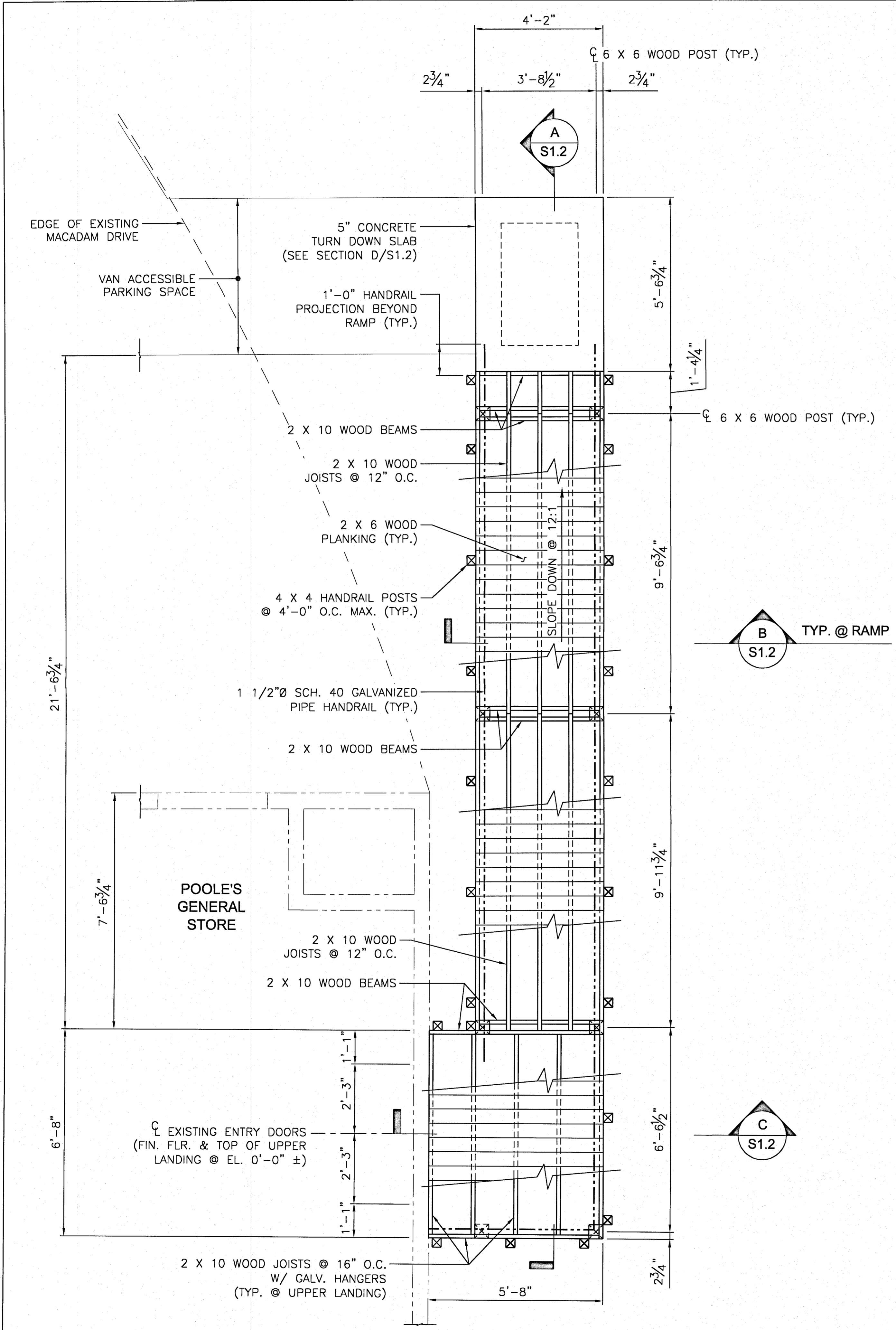
SCALE: 1 1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 7/2/08

 ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS 10 NORTH PARK DRIVE HUNT VALLEY, MD 21030 PHONE: (410) 316-7800 FAX: (410) 316-7817 www.kci.com	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland		M-NCPPC POOLE - GENERAL STORE & RESIDENCE		REVISION DD-REVIEW DATE 09/12/2008	STANDARD NO. S1.2
	PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED CHIEF ENGINEER DIRECTOR OF PARKS	SECTIONS & DETAILS			

GENERAL STRUCTURAL NOTES:

1. BUILDING CODES:
 - A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2006 IBC BUILDING CODE AND ALL SUBSEQUENT SUPPLEMENTS.
 - B. IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE.
2. DESIGN LOADS:
 - A. THE DESIGN DEAD LOADING FOR ALL RAMPS IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS.
 - B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW RAMPS SHALL BE AS FOLLOWS:
LIVE LOAD 100 PSF
 - C. THE CONTRACTOR SHALL NOT STORE ANY CONSTRUCTION MATERIALS OR UNDERTAKE ANY CONSTRUCTION OPERATION WHICH WILL EXCEED THE DESIGN LIVE LOADINGS NOTED.
3. MISCELLANEOUS:
 - A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
 - B. SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
 - C. END CAPS SHALL BE PLACED AT ALL LOCATIONS WHERE THE HANDRAIL SYSTEM IS TERMINATED. A 1/4" DIA. WEEP HOLE SHALL BE DRILLED INTO THE UNDERSIDE OF THE HANDRAIL NEAR ALL TERMINATION POINTS. FINISHED HANDRAIL SYSTEM SHALL BE SMOOTH AND FREE FROM ANY BURRS OR IRREGULARITIES.
4. EXISTING STRUCTURE:
 - A. ALL EXISTING PLANS, DETAILS, DIMENSIONS, AND ELEVATIONS INDICATE EXISTING CONDITIONS AS KNOWN. THE EXISTING INFORMATION SHOWN IS NOT INTENDED TO BE "AS BUILT" AND THE ACTUAL CONSTRUCTION MAY DIFFER FROM THAT SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION. MINOR VARIATIONS CAN BE EXPECTED AND ANY REQUIRED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - B. THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM. SHOULD DAMAGE OCCUR TO ANY UTILITIES, THE CONTRACTOR IS REQUIRED TO REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER AT HIS OWN EXPENSE.
 - C. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION. THE DESIGN OF ALL TEMPORARY BRACING AND SHORING IS THE CONTRACTOR'S RESPONSIBILITY.
 - D. THE CONTRACTOR SHALL MONITOR THE EXISTING STRUCTURE DURING CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF AREAS EXHIBITING DISTRESS OR FAILURE.
 - E. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND CONDITION OF ALL EXISTING FRAMING. SHOULD THE SIZE OR CONDITION OF THE EXISTING FRAMING DIFFER FROM THAT SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
5. FOUNDATIONS:
 - A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE FOR FROST PROTECTION.
 - B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THE ALLOWABLE SOIL BEARING PRESSURE SHALL BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACING FOUNDATIONS. SHOULD THE ACTUAL SOIL BEARING PRESSURE BE LESS THAN 2000 PSF, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
 - C. ALL FILL PLACED UNDER SPREAD FOOTINGS SHALL BE COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698.
 - D. ALL EXCAVATION AND BACKFILLING OPERATIONS WITHIN THE RAMP FOOTPRINT, INCLUDING ALL COMPACTION TESTS AND INSPECTIONS, SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER.
 - E. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.
 - F. ALL EXISTING SOIL CONTAINING GRAVEL, CONSTRUCTION OR DEMOLITION DEBRIS, ORGANIC SUBSTANCES, OR OTHER FOREIGN OBJECTS SHALL BE REMOVED FROM THE REGION WITHIN THE FOOTPRINT OF THE STRUCTURE.
6. CAST IN PLACE CONCRETE:
 - A. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)"; AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)". IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
 1. RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).
 2. RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).
 3. RECOMMENDED PRACTICE FOR CONCRETE FORMWORK (ACI 347).
 - B. ALL CONCRETE EXPOSED TO PUBLIC VIEW SHALL CONFORM TO THE REQUIREMENTS FOR ARCHITECTURAL CONCRETE CONTAINED IN ACI 301.
 - C. ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5% ±1%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1", AND MAXIMUM SLUMP SHALL BE 4". PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C 33.
 - E. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 615 GRADE 60. LAP ALL REINFORCING BARS A MINIMUM OF 30 BAR DIAMETERS, UNLESS OTHERWISE INDICATED.
 - F. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE CRSI "MANUAL OF STANDARD PRACTICE", ACI 315" DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI SP 66 "DETAILING MANUAL".
 - G. ALL CONCRETE MIX DESIGNS, INCLUDING CEMENT CONTENT, WATER CEMENT RATIO, FINE AND COARSE AGGREGATE CONTENT AND ALL ADMIXTURES, SHALL BE REVIEWED BY ENGINEER PRIOR TO PLACING FIRST CONCRETE.
 - H. ALL CONCRETE SHALL BE SAMPLED AND TESTED BY THE TESTING AGENCY. THE CONTRACTOR SHALL NOTIFY THE TESTING AGENCY 48 HOURS PRIOR TO THE PLACING OF ANY CONCRETE.
 - I. THE CONCRETE STRUCTURE SHALL NOT SUPPORT THE DESIGN LIVE LOAD FOR A MINIMUM OF 28 DAYS AND ALL SHORING AND RESHORING REQUIRED TO SUPPORT THE CONCRETE STRUCTURE DURING CONSTRUCTION SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR. SHOP DRAWINGS, SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF MARYLAND, SHALL BE SUBMITTED FOR REVIEW. SHOP DRAWINGS SHALL INDICATE THE TYPE, EXTENT, SIZE, AND LOCATION OF ALL SHORING AND RESHORING AS WELL AS THE SEQUENCE OF CONSTRUCTION.
 - J. GROUND BLAST FURNACE SLAG MAY BE USED TO REPLACE UP TO 50 PERCENT OF THE PORTLAND CEMENT IN A CONCRETE MIX, AND FLY ASH OR POZZOLAN MAY BE USED TO REPLACE UP TO 25 PERCENT OF PORTLAND CEMENT, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND SHALL CONFORM TO ASTM C 989.
7. WOOD:
 - A. ALL STRUCTURAL WOOD SHALL BE PRESSURE TREATED #2 SOUTHERN PINE OR BETTER.
 - B. ALL UNSPECIFIED WOOD-TO-WOOD CONNECTIONS SHALL BE WITH 2-16d NAILS MINIMUM.
8. GROUND PROTECTION:
 - A. COVER GROUND UNDER STRUCTURE WITH 10 MIL. PLASTIC AND 3" OF GRAVEL TO PREVENT VEGETATION GROWTH.



PLAN @ HANDICAP RAMP

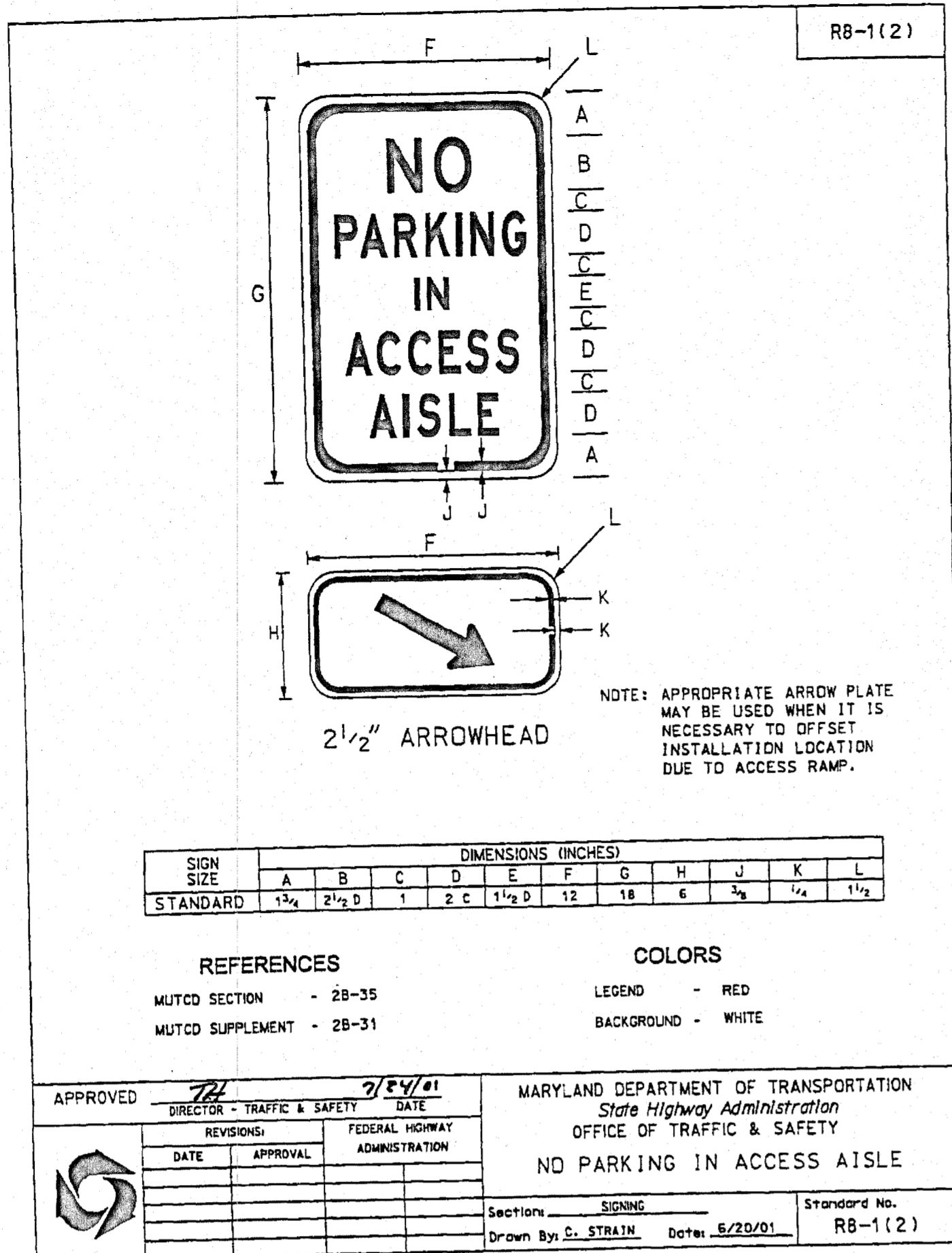
SCALE: 1/2" = 1'-0"

KCI TECHNOLOGIES
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 10 NORTH PARK DRIVE
 HUNT VALLEY, MD 21030
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 WWW.KCI.COM

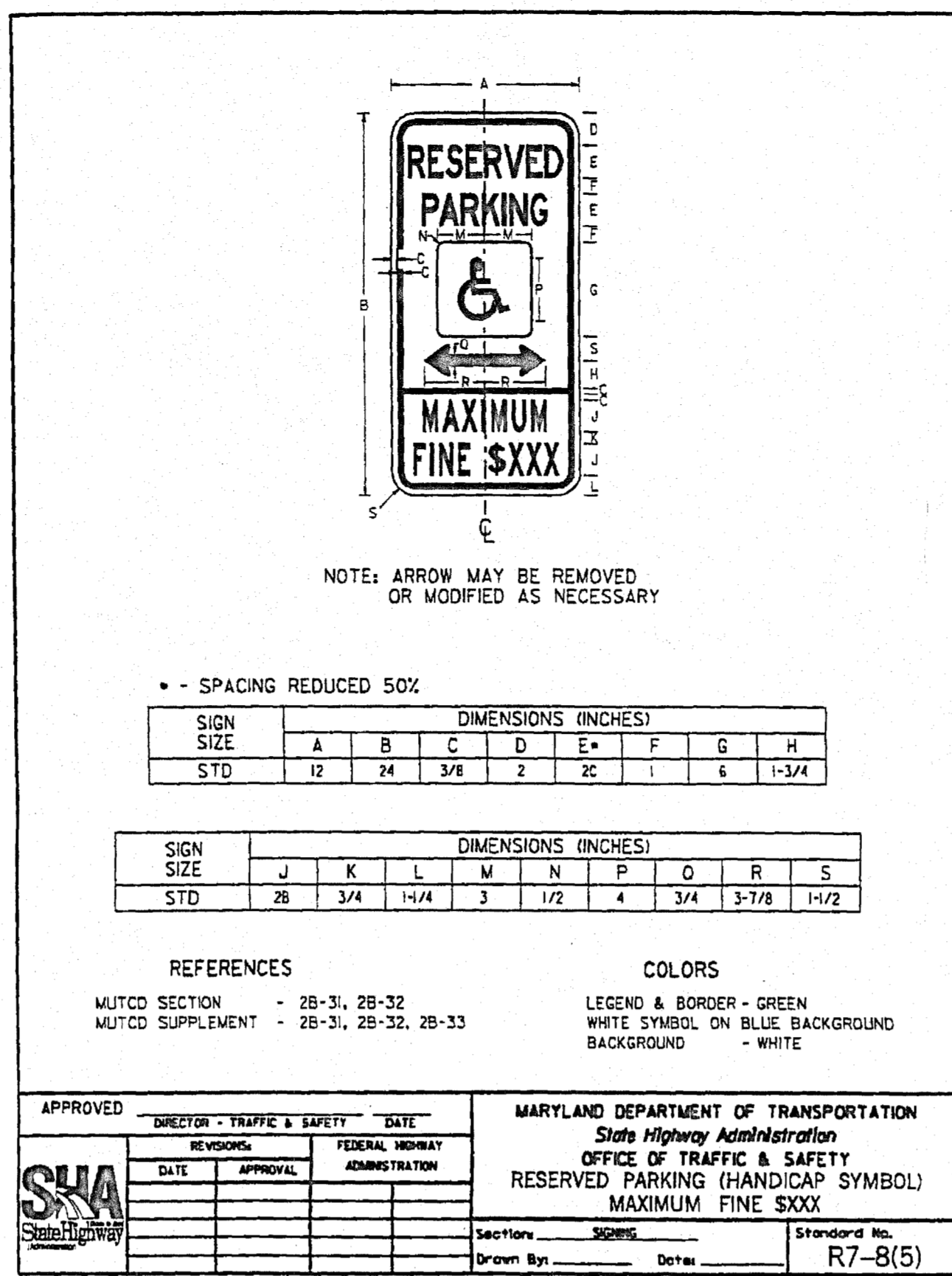
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT DIVISION	DATE APPROVED	M-NCPPC POOLE - GENERAL STORE & RESIDENCE	REVISED	DATE	STANDARD NO.
	CHIEF ENGINEER		CD-REVIEW	05/12/2008	
9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DIRECTOR OF PARKS	PLAN & NOTES			S1.1

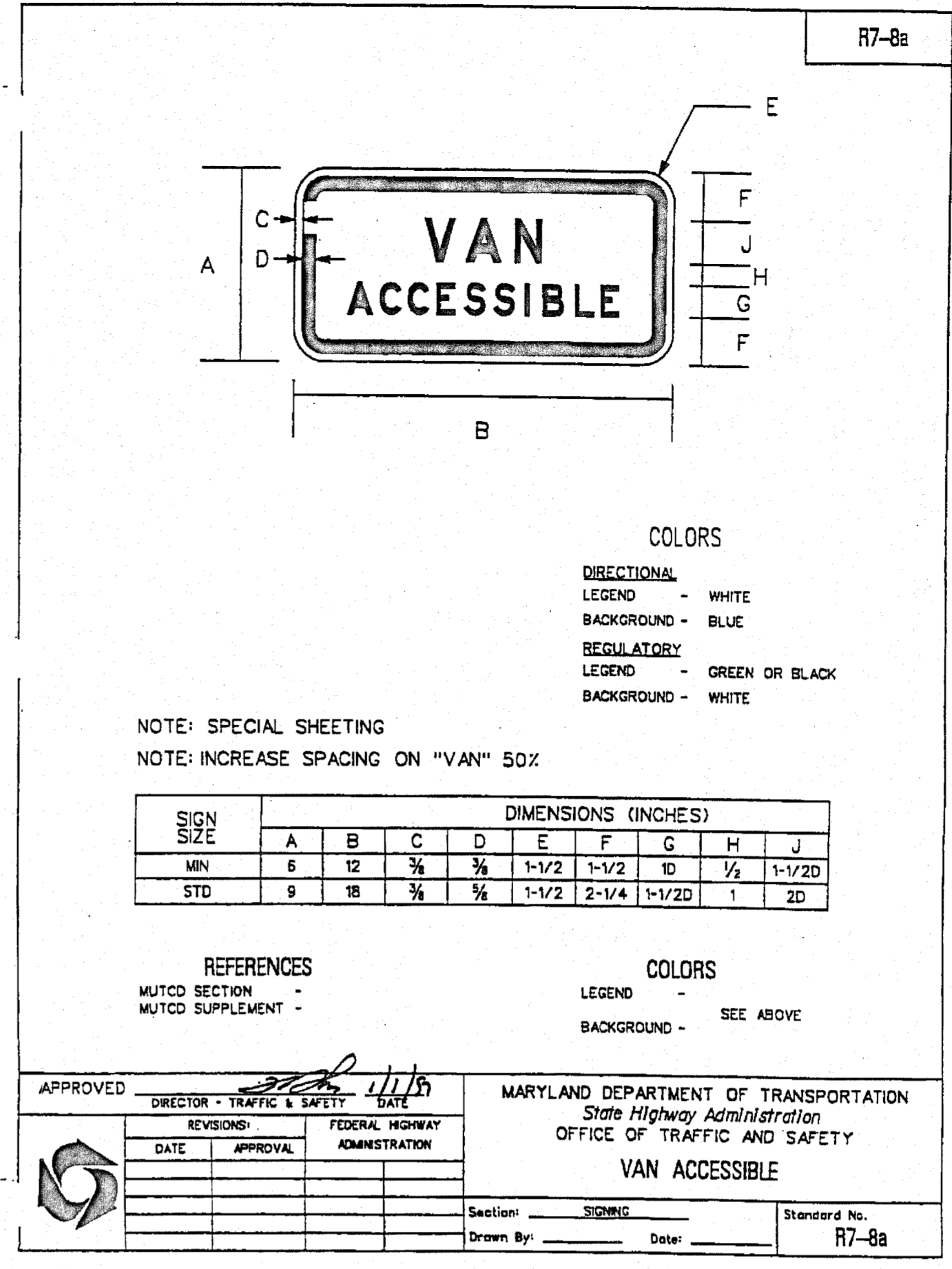
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 7/7/08



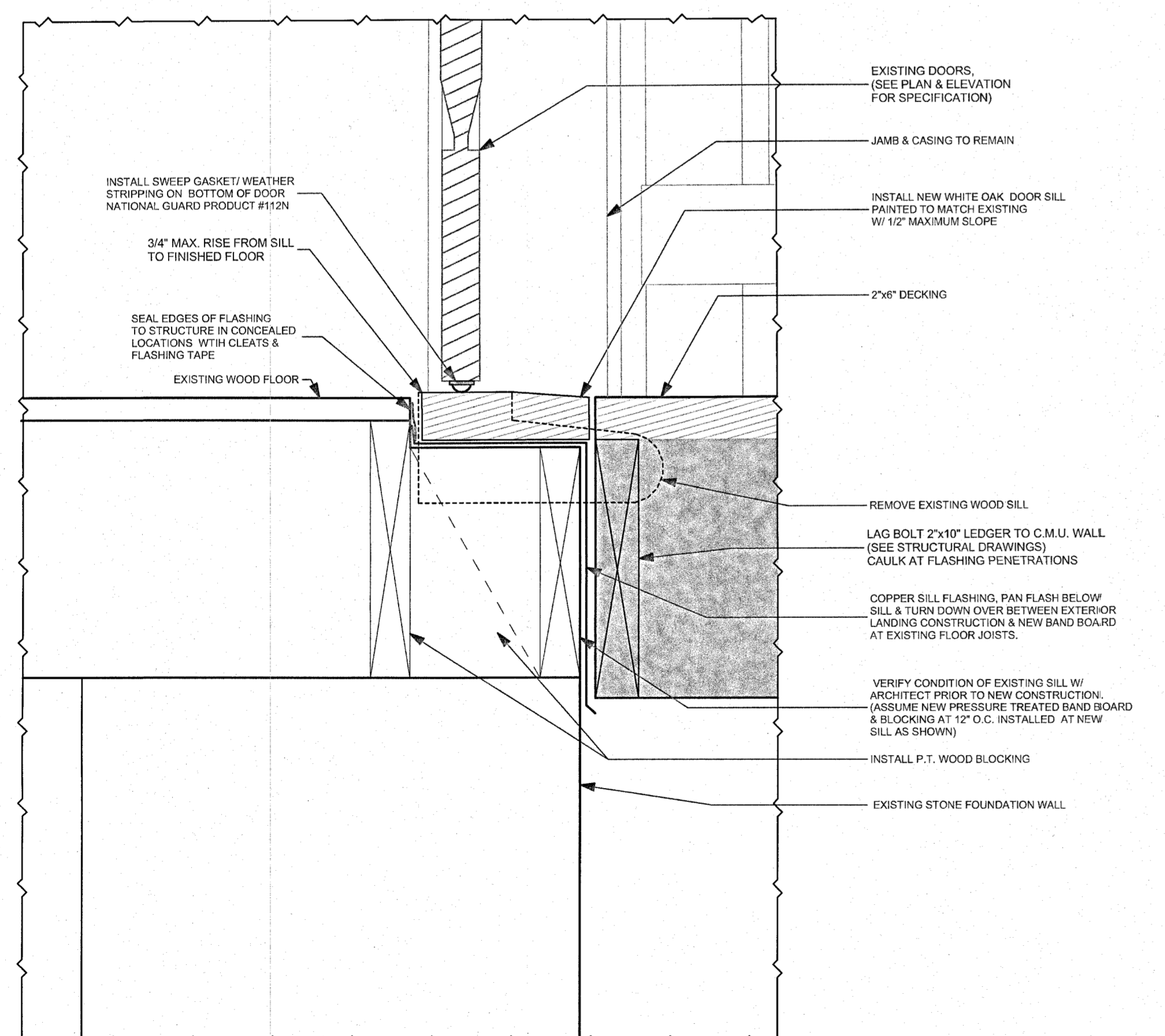
1 ADA Parking Signs



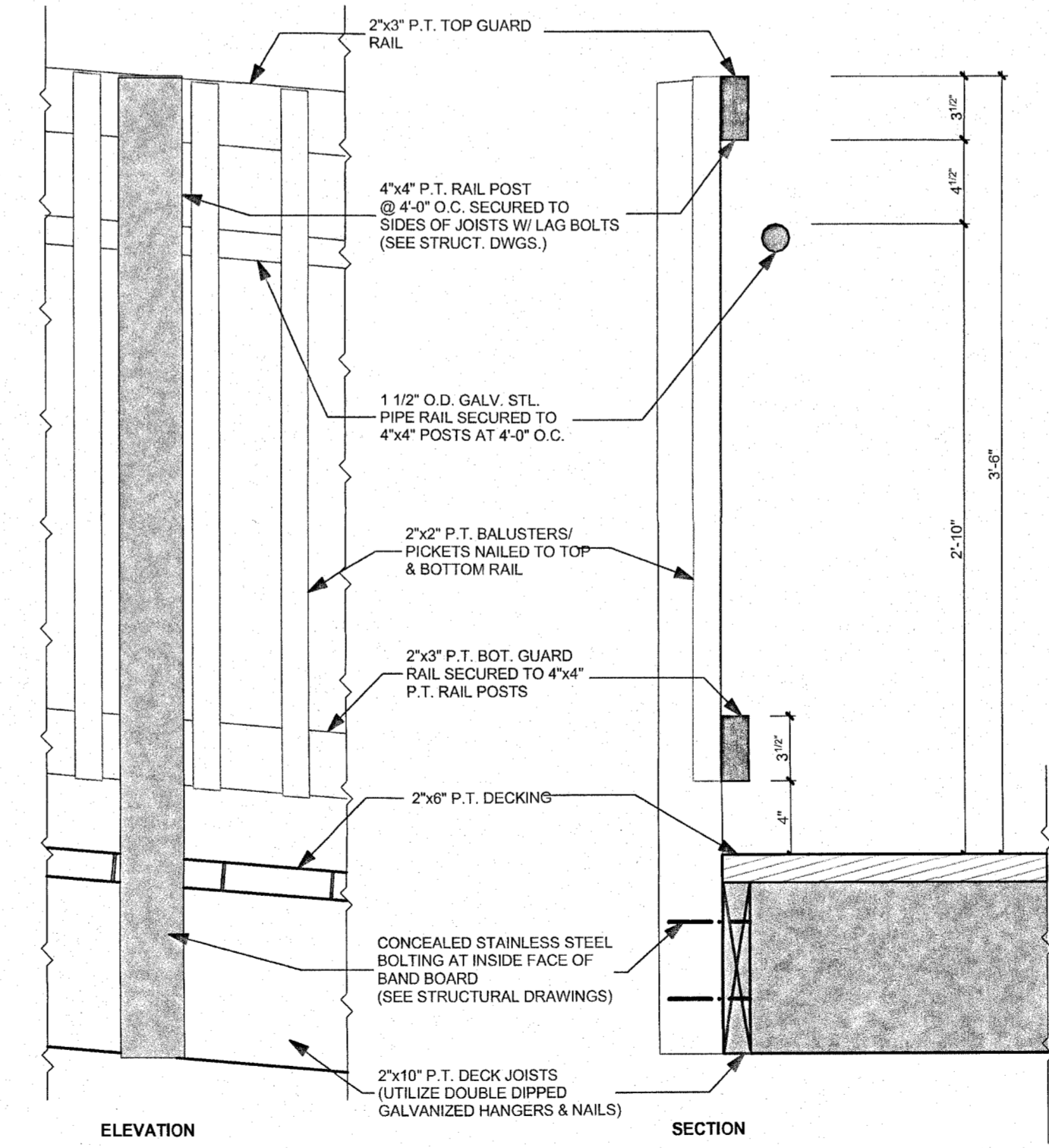
2 ADA Parking Signs



3 ADA Parking Signs



4 DETAIL-DOOR SILL @ STORE



5 DETAIL-RAILING

PENZA + BAILEY ARCHITECTS
401 Woodbourne Avenue
Baltimore, Maryland 21212
T 410-435-6677 | F 410-435-6868
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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT DIVISION

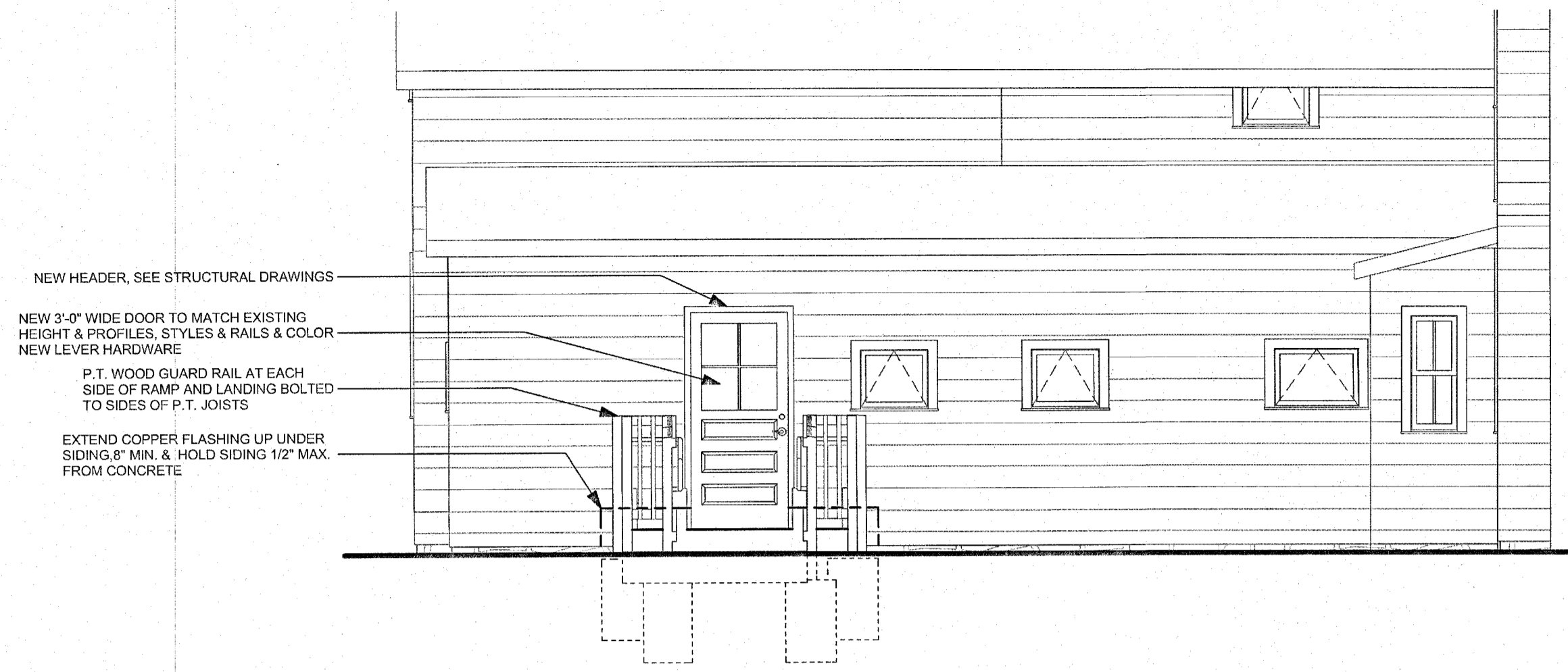
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DIRECTOR OF PARKS: []

POOLE - GENERAL STORE & RESIDENCE

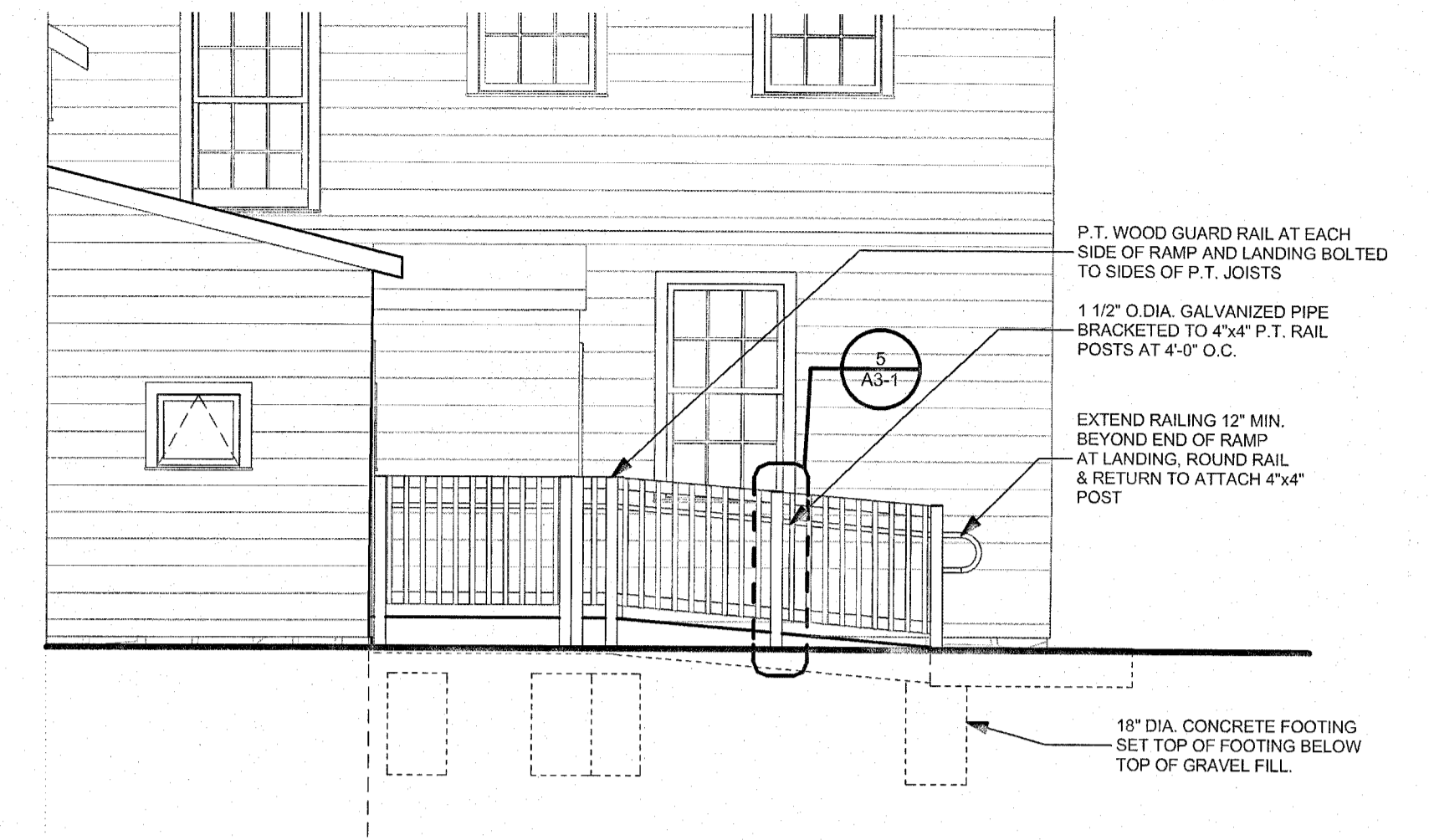
REVISED	DATE	STANDARD NO.
CD's	12/04/2007	A3-1
REVISED	12/06/2007	
REVISED	01/09/2008	
REVISION	05/09/2008	

APPROVED: [Signature] DATE: 7/7/08

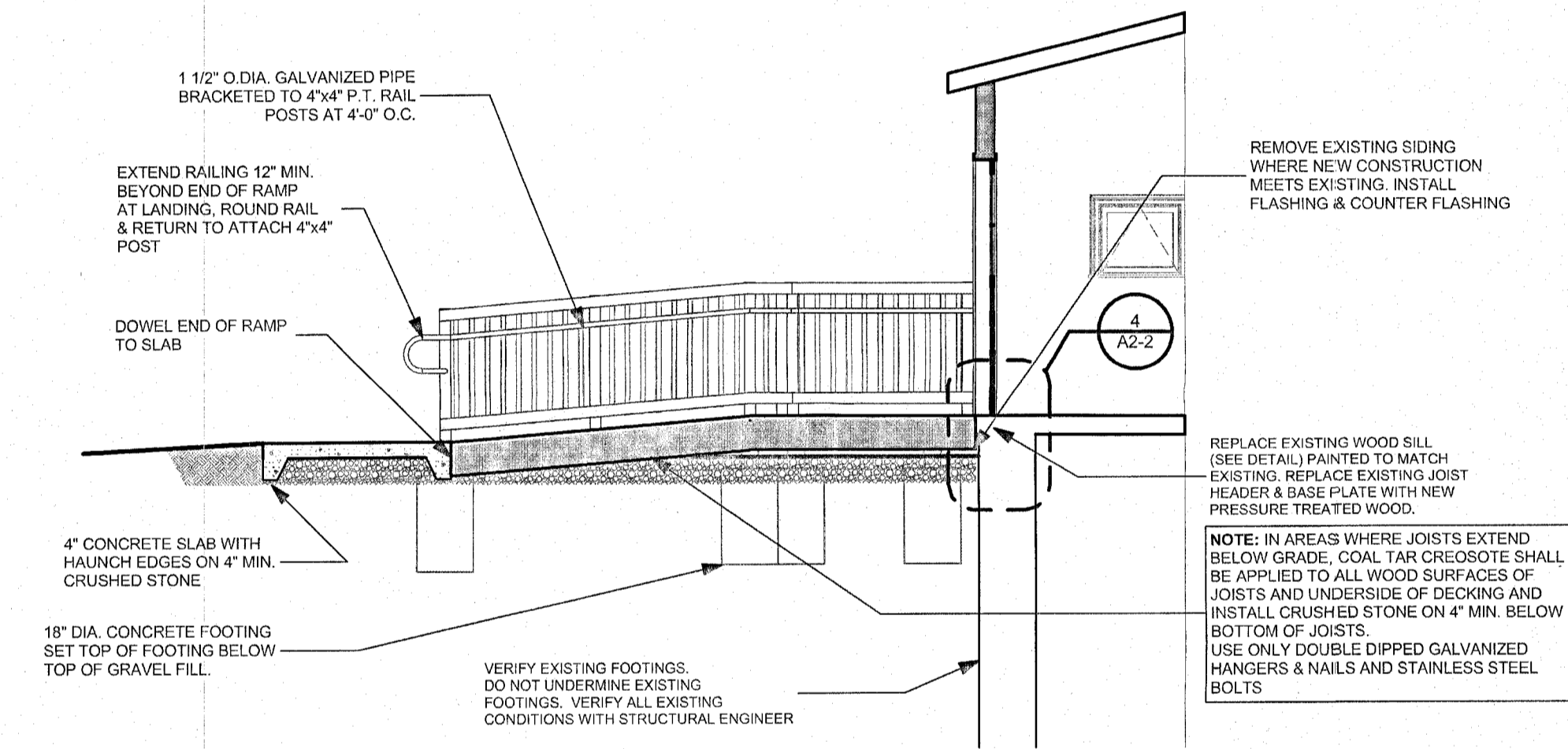
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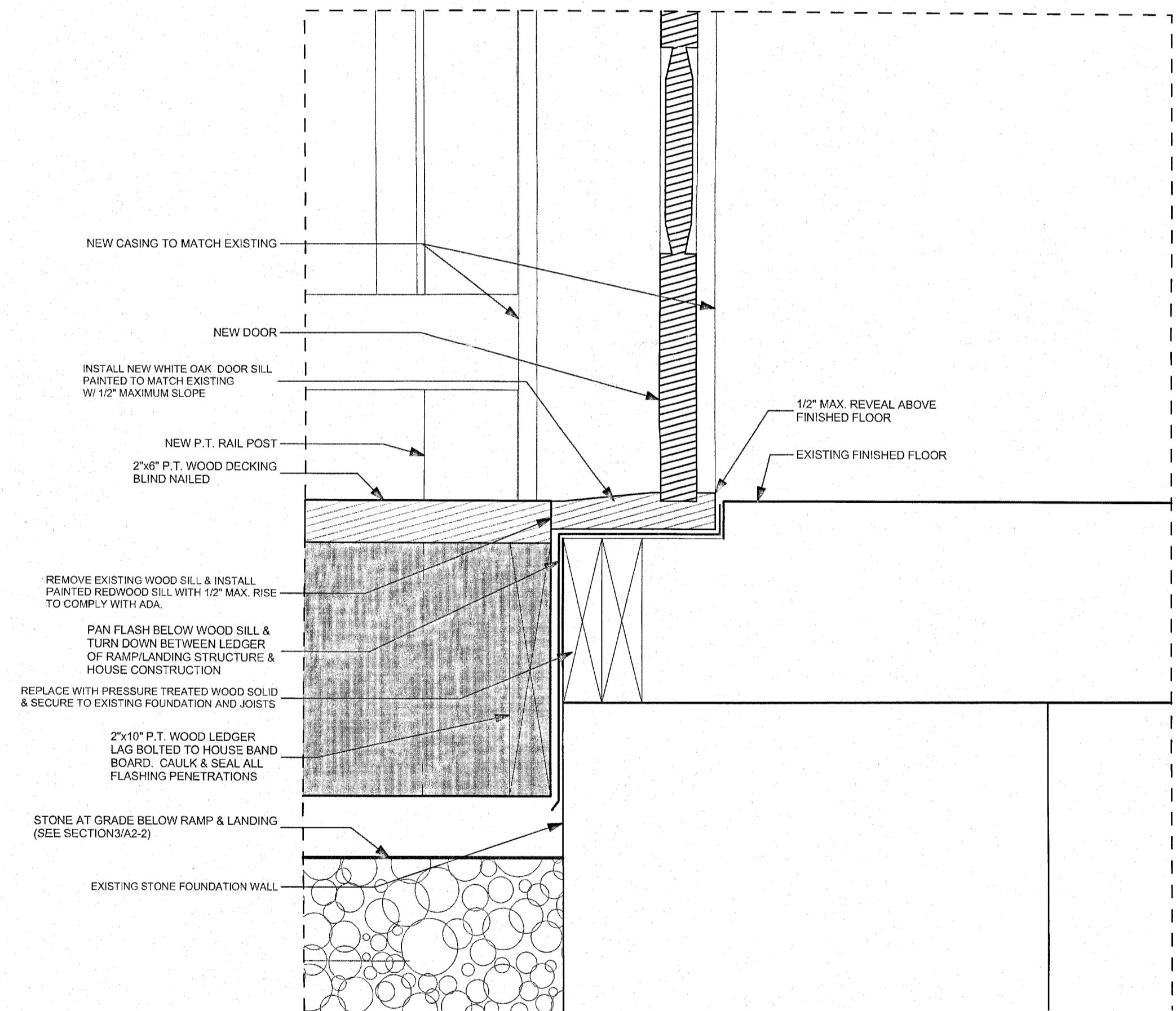
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SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION AT RESIDENCE
SCALE: 1/4" = 1'-0"



3 SECTION @ RESIDENCE RAMP
SCALE: 1/4" = 1'-0"

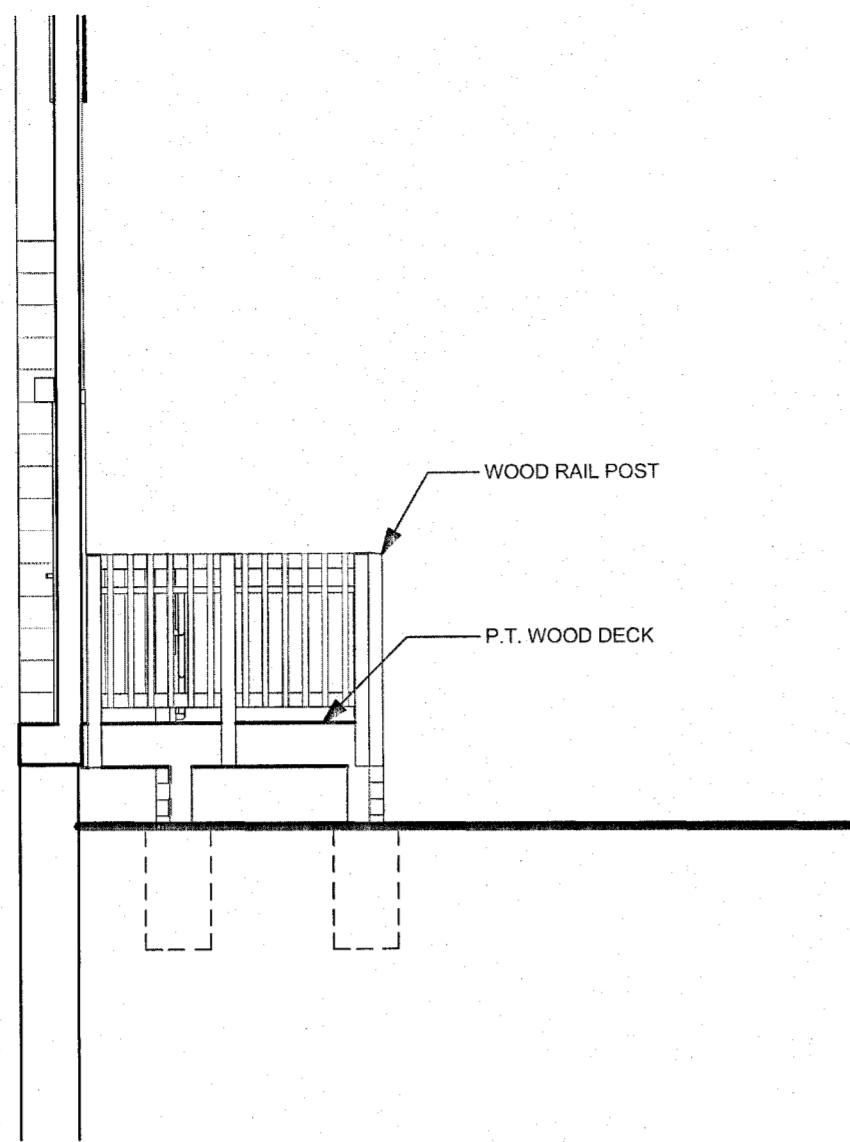


4 DETAIL-DOOR SILL @ RESIDENCE
SCALE: 3" = 1'-0"

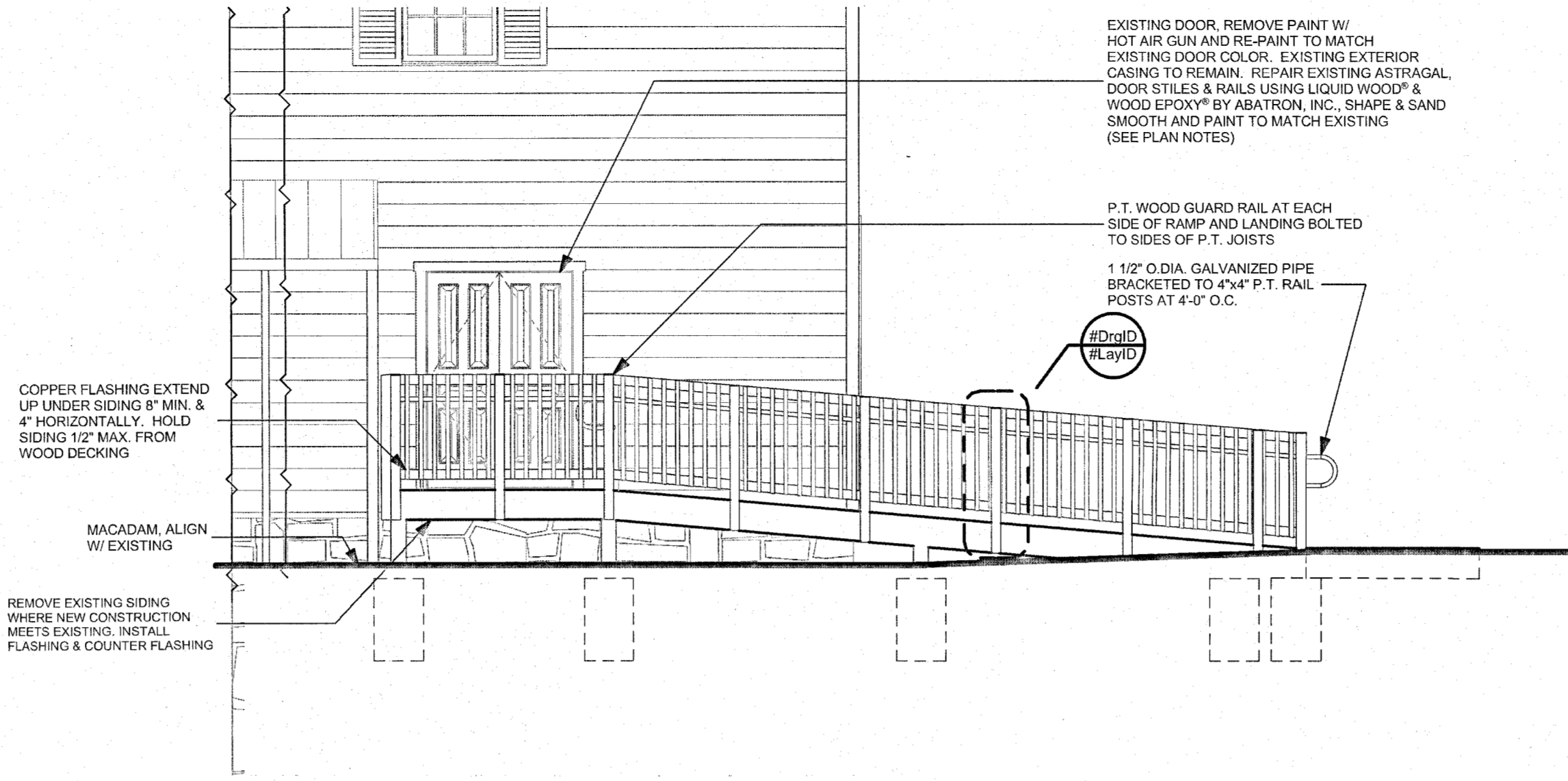
NOT FOR CONSTRUCTION

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Montgomery County
Historic Preservation Commission
Carol Ann 7/7/09

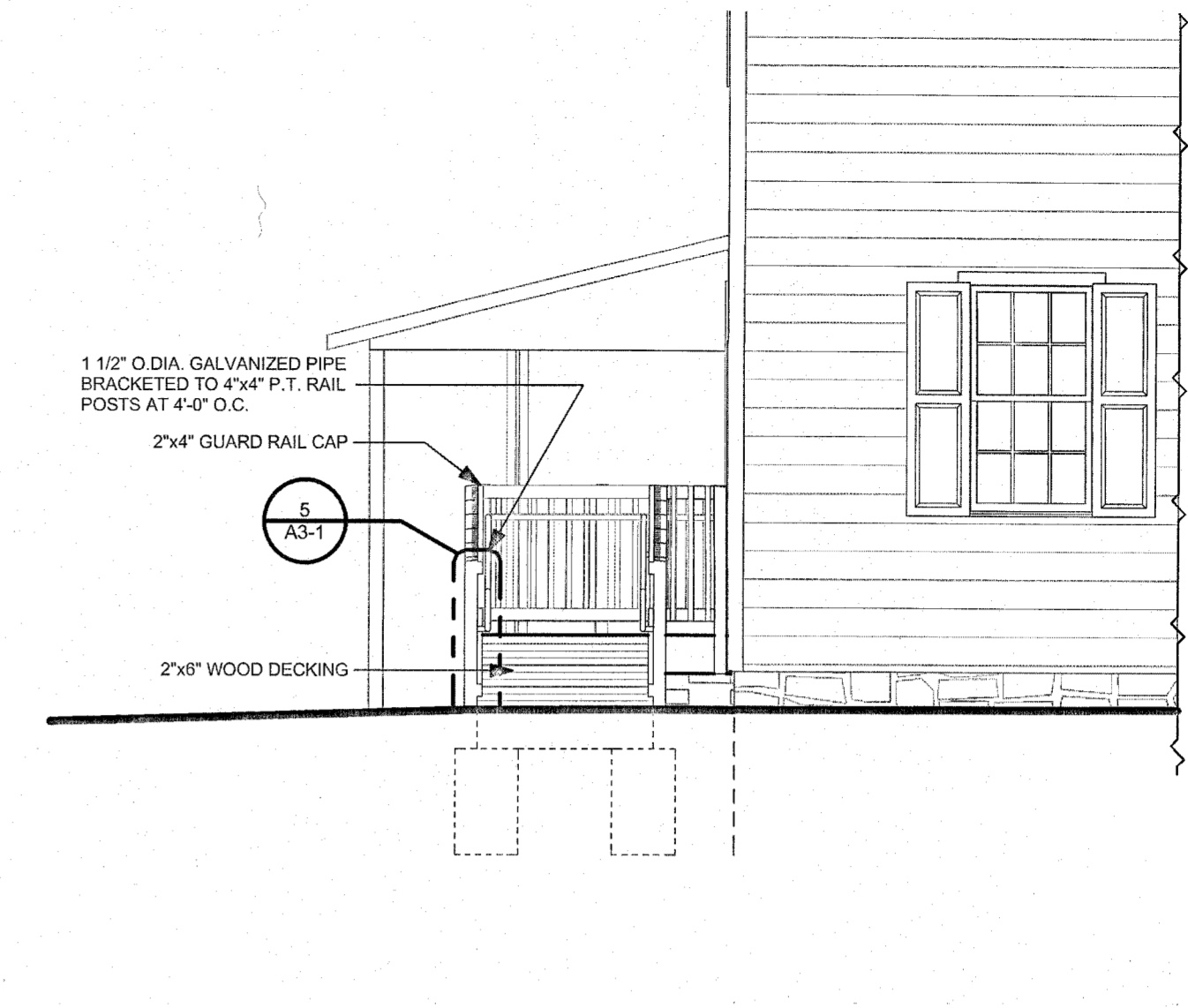
PENZA + BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677 F 410-435-6868 www.PenzaBailey.com	PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED	POOLE - GENERAL STORE & RESIDENCE	REVISED	DATE	STANDARD NO.
		CHIEF ENGINEER		CD's	12/04/2007	A2-2
DIRECTOR OF PARKS	REVISED	12/06/2007				
	REVISION	05/09/2008				



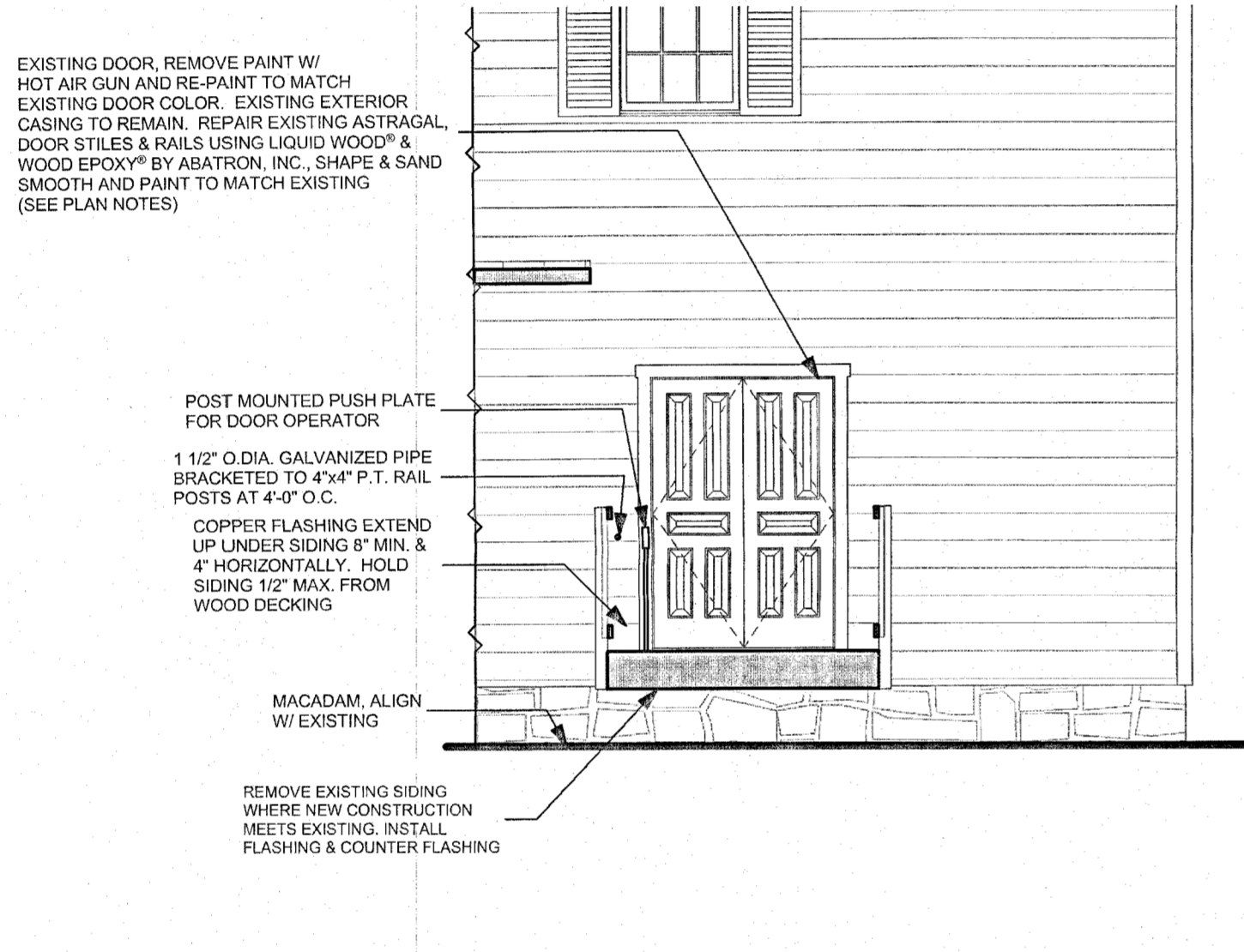
1 SOUTH ELEVATION AT GENERAL STORE
SCALE: 1/4" = 1'-0"



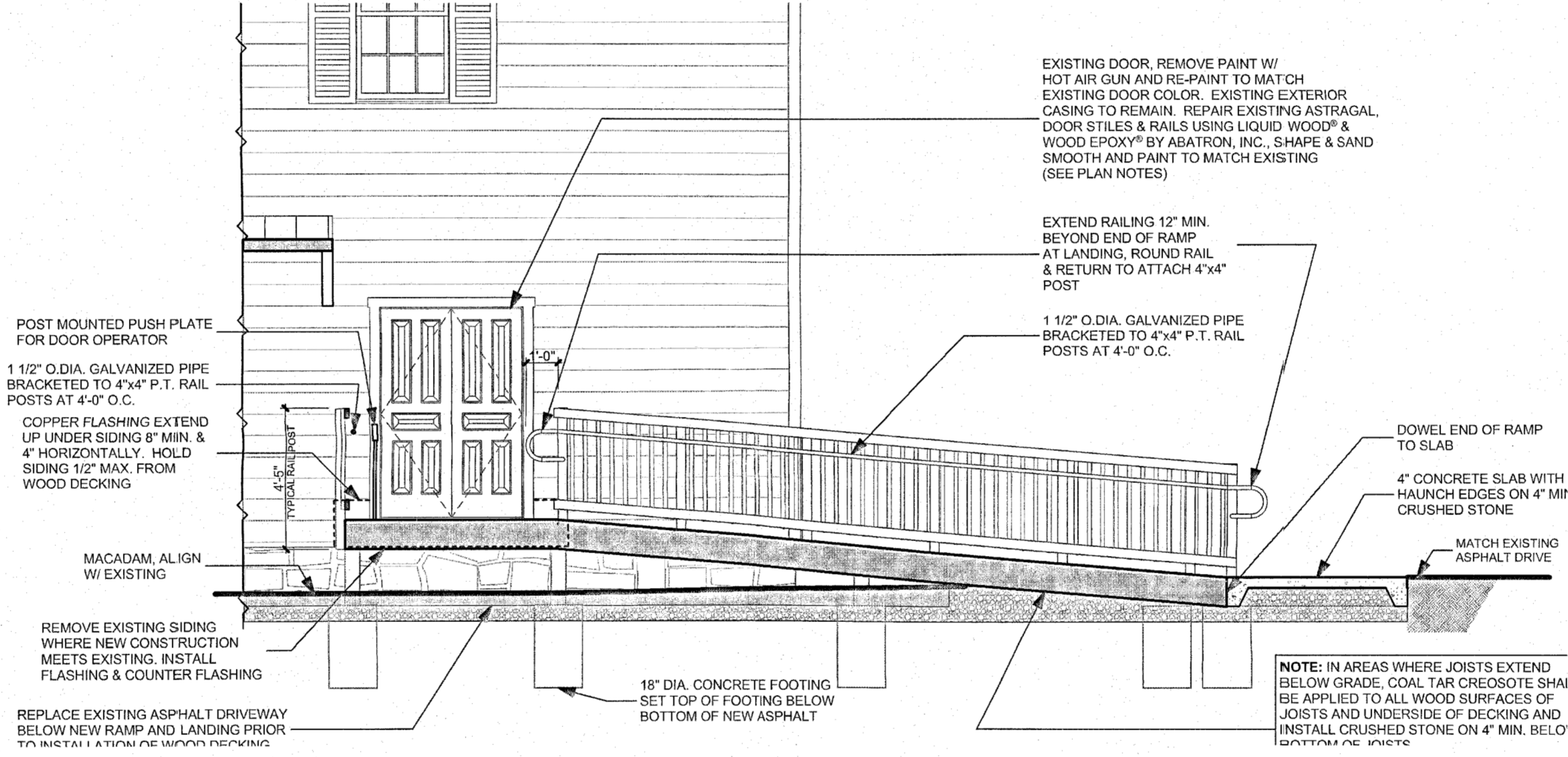
2 EAST ELEVATION AT GENERAL STORE
SCALE: 1/4" = 1'-0"



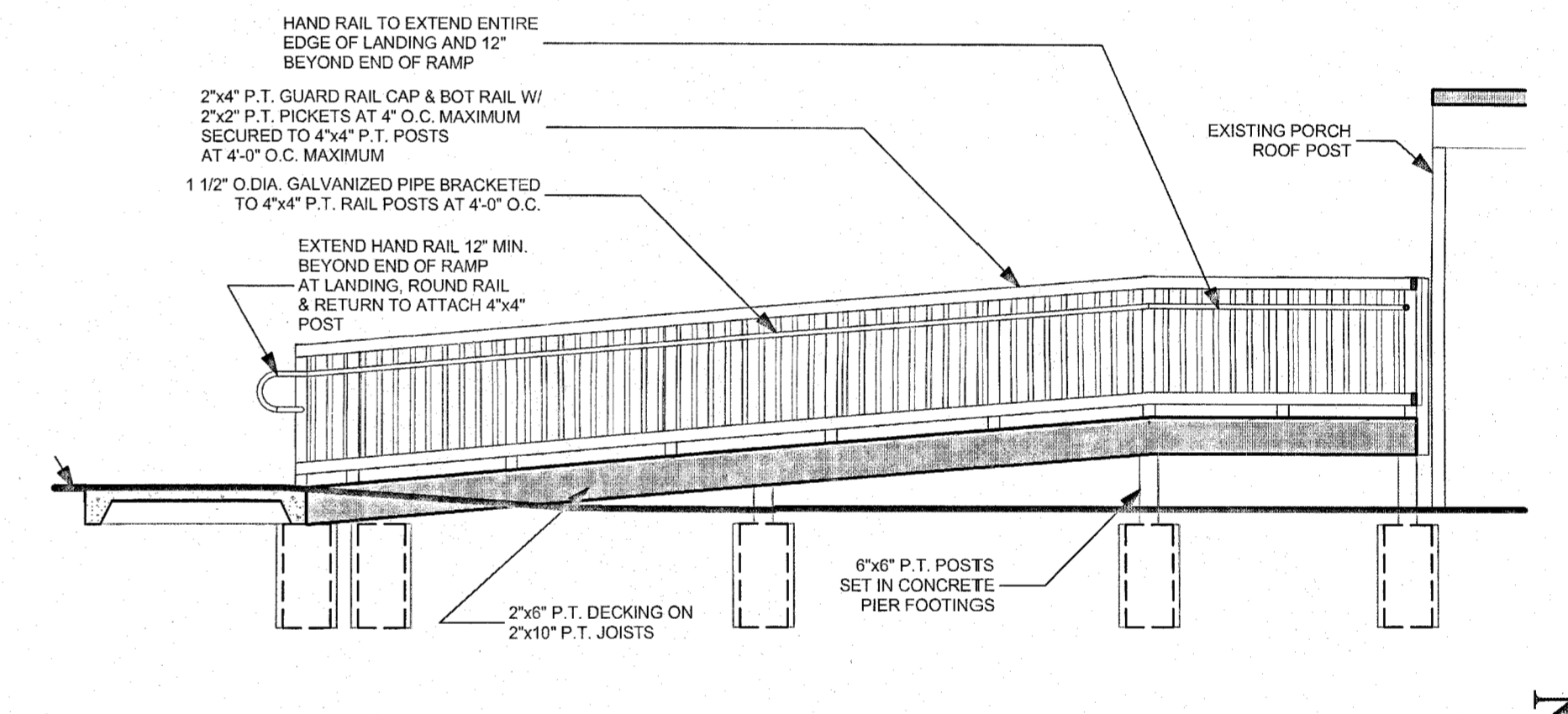
3 NORTH ELEVATION AT GENERAL STORE
SCALE: 1/4" = 1'-0"



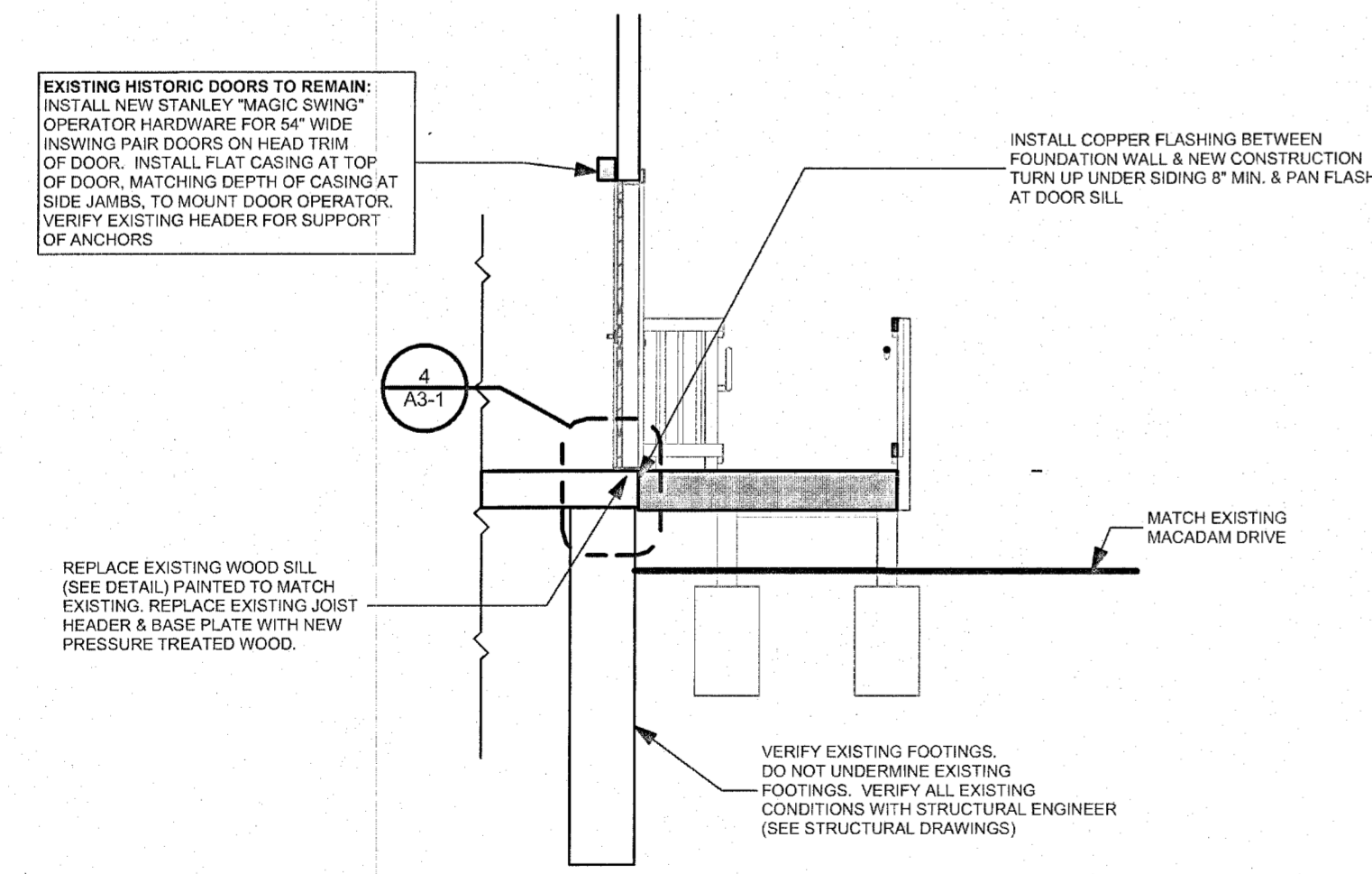
4 SECTION @ GENERAL STORE LANDING
SCALE: 1/4" = 1'-0"



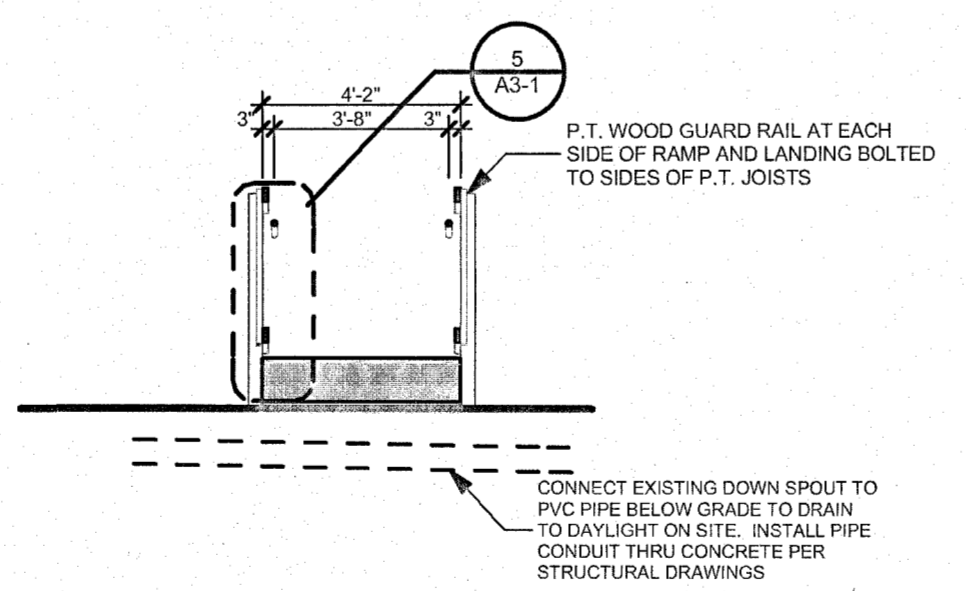
5 SECTION @ GENERAL STORE RAMP
SCALE: 1/4" = 1'-0"



6 SECTION @ GENERAL STORE RAMP EAST
SCALE: 1/4" = 1'-0"



7 SECTION @ GENERAL STORE DOOR
SCALE: 1/4" = 1'-0"



8 SECTION @ GENERAL STORE RAMP
SCALE: 1/4" = 1'-0"

PENZA + BAILEY
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PARK DEVELOPMENT DIVISION
9500 BRUNETT AVENUE
SILVER SPRING, MD 20901

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

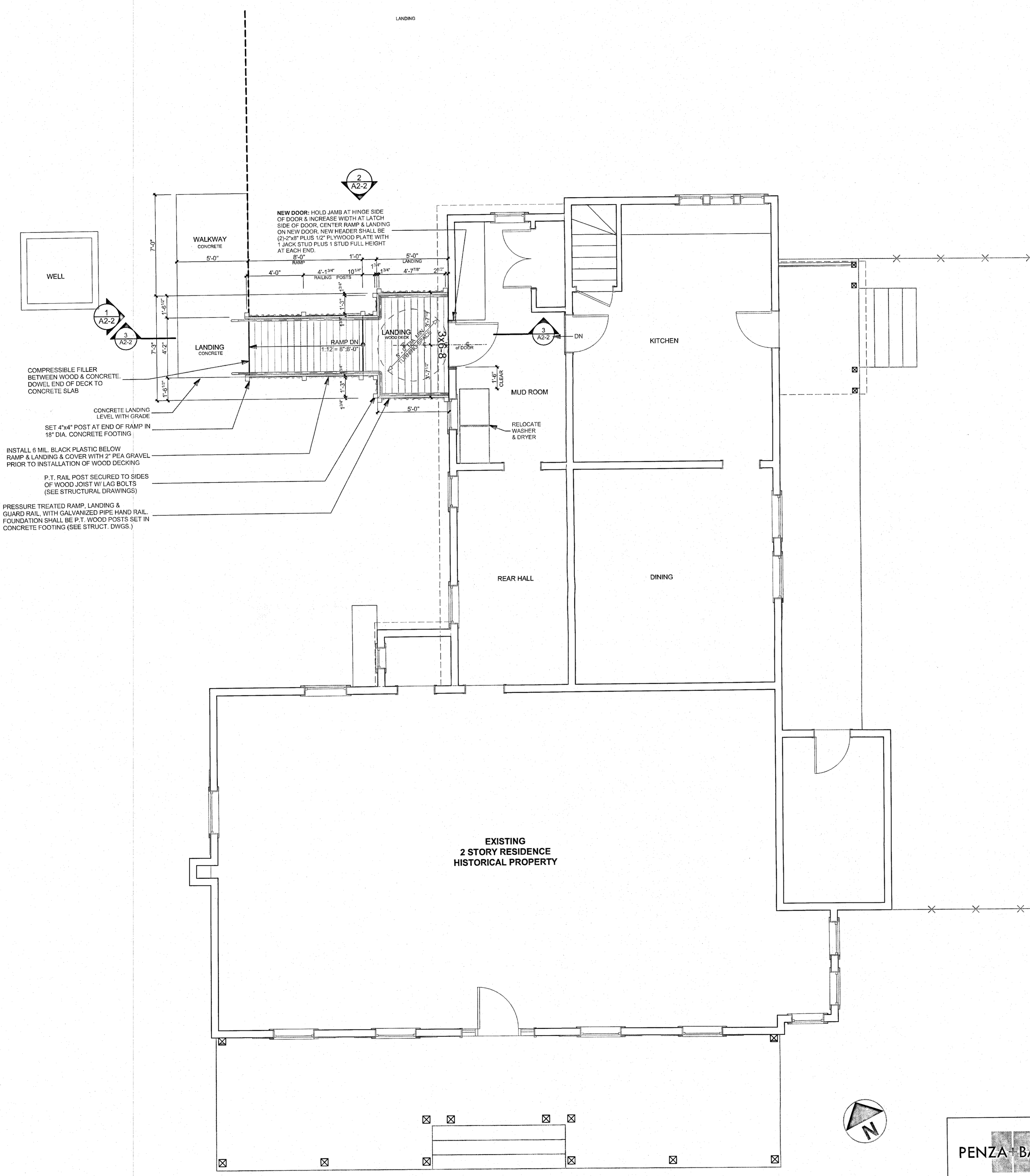
DATE APPROVED
CHIEF ENGINEER
DIRECTOR OF PARKS

POOLE - GENERAL STORE & RESIDENCE

REVISED	DATE	STANDARD NO.
CD's	12/04/2007	A2-1
REVISED	12/06/2007 01/09/2008	
REVISION	05/09/2008	

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Montgomery County
Historic Preservation Commission
C. Powell
7/7/08

NOT FOR CONSTRUCTION



1 FIRST FLOOR PLAN AT RESIDENCE
SCALE: 1/4" = 1'-0"

WELL

1
A2-2

3
A2-2

COMPRESSIBLE FILLER BETWEEN WOOD & CONCRETE. DOWEL END OF DECK TO CONCRETE SLAB

CONCRETE LANDING LEVEL WITH GRADE

SET 4"x4" POST AT END OF RAMP IN 18" DIA. CONCRETE FOOTING

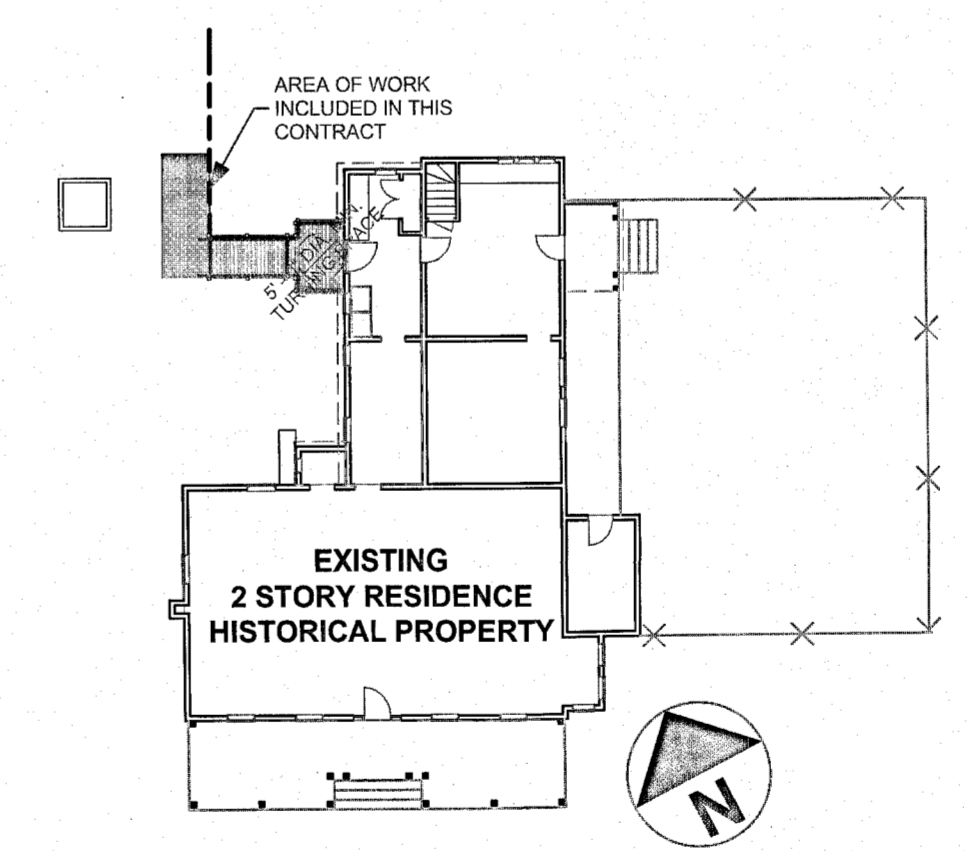
INSTALL 6 MIL. BLACK PLASTIC BELOW RAMP & LANDING & COVER WITH 2" PEA GRAVEL PRIOR TO INSTALLATION OF WOOD DECKING

P.T. RAIL POST SECURED TO SIDES OF WOOD JOIST W/ LAG BOLTS (SEE STRUCTURAL DRAWINGS)

PRESSURE TREATED RAMP, LANDING & GUARD RAIL, WITH GALVANIZED PIPE HAND RAIL. FOUNDATION SHALL BE P.T. WOOD POSTS SET IN CONCRETE FOOTING (SEE STRUCT. DWGS.)

NEW DOOR: HOLD JAMB AT HINGE SIDE OF DOOR & INCREASE WIDTH AT LATCH SIDE OF DOOR. CENTER RAMP & LANDING ON NEW DOOR. NEW HEADER SHALL BE 6"-2"x8" PLUS 1/2" PLYWOOD PLATE WITH 1 JACK STUD PLUS 1 STUD FULL HEIGHT AT EACH END.

2
A2-2

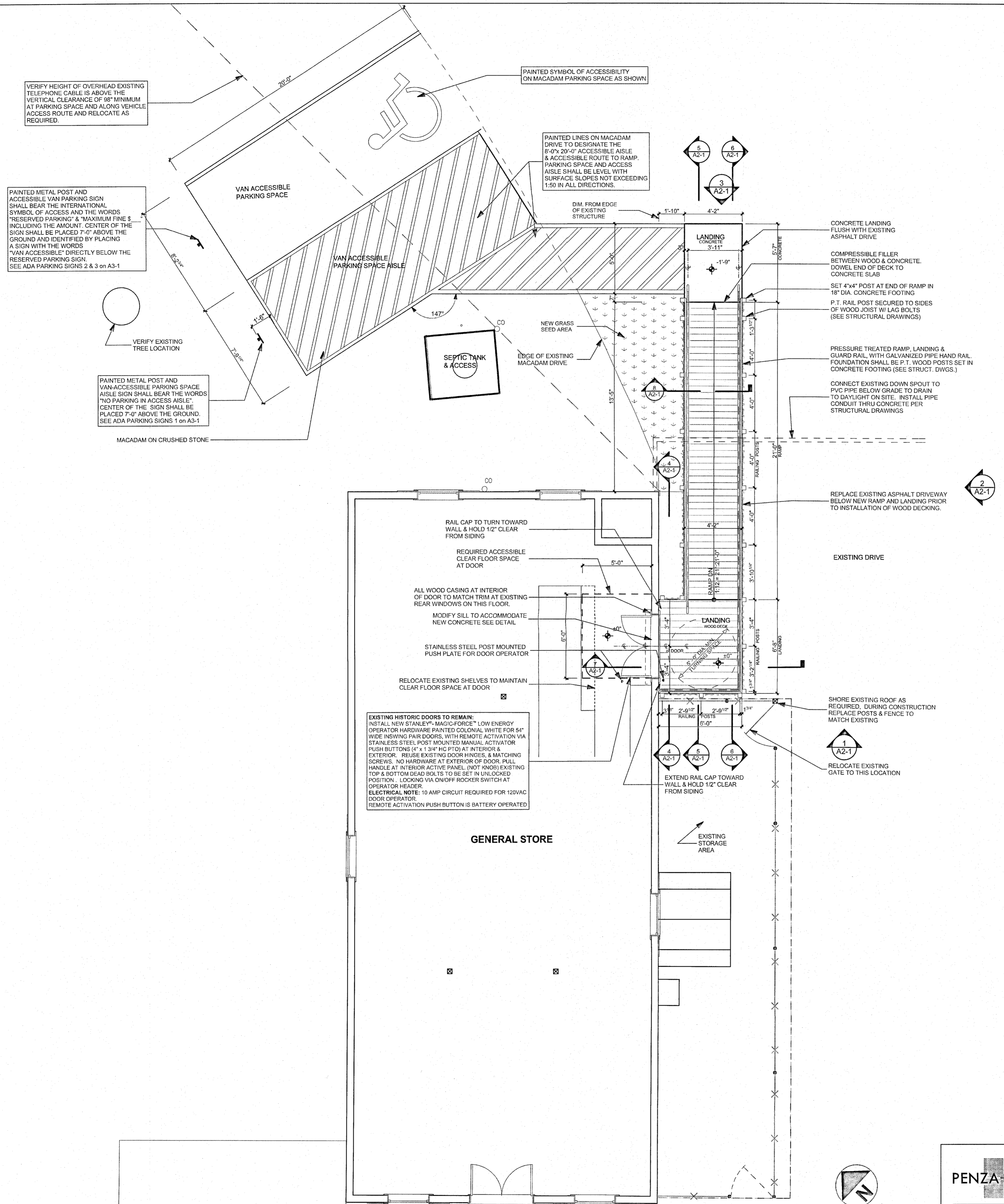


2 KEY PLAN
SCALE: 1" = 20'

APPROVED
Montgomery County
Historic Preservation Commission
John Silver 7/7/09

PENZA BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677 F 410-435-6868 www.PenzaBailey.com	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland	POOLE - GENERAL STORE & RESIDENCE		REVISED DATE STANDARD NO. CD's 12/04/2007 REVISED 12/08/2007 REVISION 01/09/2008 REVISION 05/09/2008	A1-2
		PARK DEVELOPMENT DIVISION	DATE APPROVED CHIEF ENGINEER DIRECTOR OF PARKS		

NOT FOR CONSTRUCTION

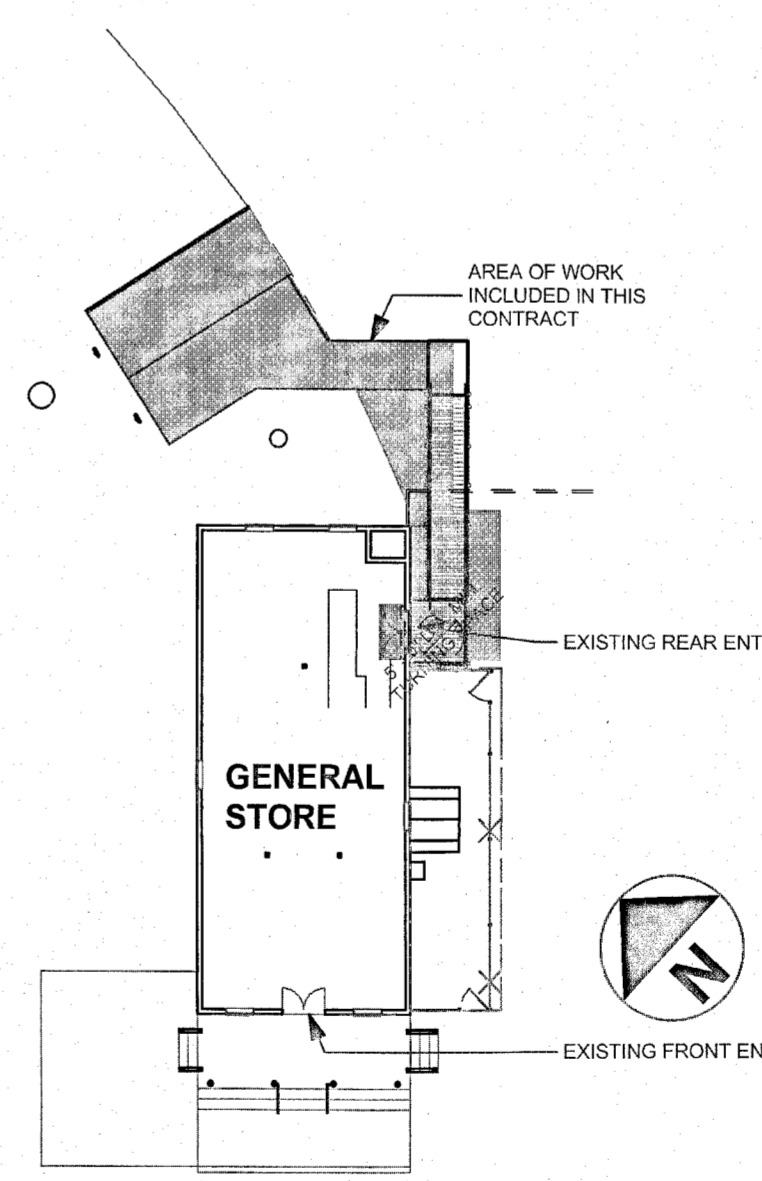


GENERAL PROJECT NOTES

- COMPLY WITH INTERNATIONAL BUILDING CODE AND ALL LOCAL REGULATIONS PERTAINING TO THE WORK. ALL WORK SHALL BE ACCESSIBLE PER FEDERAL "AMERICANS WITH DISABILITIES ACT" (aka: ADA) (ADAAG GUIDELINES).
- PROPERTY IS A HISTORICAL PROPERTY AND SHALL COMPLY WITH MONTGOMERY COUNTY CODE - CHAPTER 24A - HISTORIC RESOURCES PRESERVATION AND REQUIRES A HISTORIC AREA WORK PERMIT.
- HISTORIC PROPERTY IS TO COMPLY WITH ADA - AMERICANS WITH DISABILITIES ACT. IT IS THE INTENT OF THE OWNER TO PRESERVE HISTORIC CHARACTER OF THE GENERAL STORE AND THE PAIR OF HISTORIC DOORS AT THE NEW RAMP AND COMPLY WITH ADA. AND BY DOING SO, THIS DESIGN WITH REGARD TO THIS PAIR OF DOORS WILL MEET THE INTENT OF THE LAW, BY INSTALLING A PUSH BUTTON DOOR OPERATOR THAT WILL OPEN AND CLOSE BOTH DOOR LEAFS IN ORDER TO PROVIDE AN ACCESSIBLE ROUTE.
- COORDINATE WORK OF ALL TRADES UNDER THIS CONTRACT, INCLUDING ALL WORK BY OWNER AND OWNER'S SEPARATE CONTRACTORS / VENDORS.
- SAFEGUARD ALL WORK AREAS AGAINST PERSONAL INJURY OR DAMAGE; PROTECT ALL EXISTING FINISHES TO REMAIN, FURNITURE, EQUIPMENT, AND PERSONAL ITEMS.
- OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THE WORK. SCHEDULE AND ATTEND ALL REQUIRED INSPECTIONS.
- VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE WORK. REQUEST CLARIFICATION OF ALL CONFLICTS PRIOR TO PROCEEDING. THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY REGARDING ANY DIMENSIONAL DISCREPANCIES NOTED ON THE DRAWINGS OR INCURRED DURING THE CONSTRUCTION PROCESS.
- EXTERIOR DIMENSIONS ARE INDICATED FROM EXTERIOR FACE OF SHEATHING OR CMU WALL, OR CONCRETE OR FACE OF EXISTING WALL, UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE INDICATED FROM FACE OF EXTERIOR SHEATHING OR CMU, UNLESS OTHERWISE NOTED.
- ALL CASING AND TRIM TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
- CASED DOOR OPENING SHALL BE LOCATED MINIMUM 4" FROM ADJACENT INTERSECTING WALLS, OR CENTERED BETWEEN WALLS (SUCH AS IN HALLS) TO ALLOW FOR CASING, UNLESS OTHERWISE NOTED. ADAAG REQUIREMENTS TAKE PRIORITY FOR APPROACH TO DOORS.
- CONTRACTOR IS RESPONSIBLE FOR ALL SUBMITTALS AND SHALL PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT, PROFILE, RAILINGS, CONCRETE, REINFORCING AND COLORS REVIEW AND APPROVAL BY OWNER AND ARCHITECT. A MINIMUM OF (4) FOUR COPIES EACH OF SHOP DRAWINGS & SUBMISSIONS OF ALL MATERIALS & PRODUCT SELECTIONS SHALL BE SUBMITTED FOR REVIEW / APPROVAL TO ARCHITECT. ARCHITECT WILL REVIEW AND SIGN ALL SUBMITTALS AND RETURN TO CONTRACTOR WITH A COPY SUBMITTED TO OWNER.
- COMPLETE ALL WORK, READY IN ALL RESPECTS FOR ITS INTENDED USE, ACCEPTABLE TO OWNER.
- VERIFY CONSTRUCTION SCHEDULE AND HOURS OF WORK WITH TENANT AND LANDLORD, PRIOR TO BID SUBMISSION AND SET UP A MEETING WITH THE OWNER AND ARCHITECT FOR REVIEW AND COORDINATION.
- UPGRADE ELECTRIC AS REQUIRED TO MAKE NEW INSTALLATIONS MEET LOCAL CODE AND RELOCATE ALL SERVICE CONNECTIONS NECESSITATED BY NEW CONSTRUCTION.
- COMPLETE ALL WORK, READY IN ALL RESPECTS FOR ITS INTENDED USE, ACCEPTABLE TO OWNER.
- COORDINATE RELOCATING OF EXISTING SHELVES WITH TENANT & OWNER.
- PRESSURE TREATED WOOD SHALL BE WOLMANIZED® PRESSURE TREATED WOOD WITH THE PROPER RETENTION (CA-B) FOR ITS INTENDED APPLICATION.
- ALL HANGERS, NAILS AND BOLTS SHALL BE DOUBLE DIPPED GALVANIZED, OR STAINLESS STEEL. DECKING SHALL BE BLIND NAILED/ANCHORED USING STAINLESS STEEL SCREWS.
- OWNER'S DECISION TO USE PRESSURE TREATED WOOD FOR RAMPS, LANDINGS AND RAILS SHALL BE DEEMED THE OWNER'S RESPONSIBILITY, AND HOLD PENZA BAILEY ARCHITECTS AND KCI TECHNOLOGIES HARMLESS, FOR MAINTENANCE, DEGRADATION OF THE MATERIALS, INJURY DUE TO SPLINTERS AND CAUSTIC SUBSTANCES USED IN THE PRESSURE TREATING AND PRESERVATION OF THE MATERIALS.

ELECTRICAL NOTES

- ALL ELECTRICAL WORK TO CONFORM TO N.E.C. AND LOCAL CODE REQUIREMENTS. RECESSED LIGHT FIXTURES SHALL HAVE INSULATED HOUSINGS AS REQUIRED TO MEET CODE.
- CONTRACTOR SHALL EXAMINE THE DRAWINGS AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS PRIOR TO BID SUBMISSION. ALL ELECTRICAL CONNECTIONS TO EXISTING ELECTRICAL PANELS SHALL BE VERIFIED FOR CONNECTION OF FIXTURES, SWITCHES, OUTLETS AND CONDUITS AND BE COORDINATED WITH ALL EXISTING AND PROPOSED, ELECTRICAL, PLUMBING, MECHANICAL, FIRE SUPPRESSION, & STRUCTURAL CONDITIONS, PRIOR TO CONSTRUCTION.



2 KEY PLAN
SCALE: 1" = 20'

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Montgomery County
Historic Preservation Commission
[Signature]

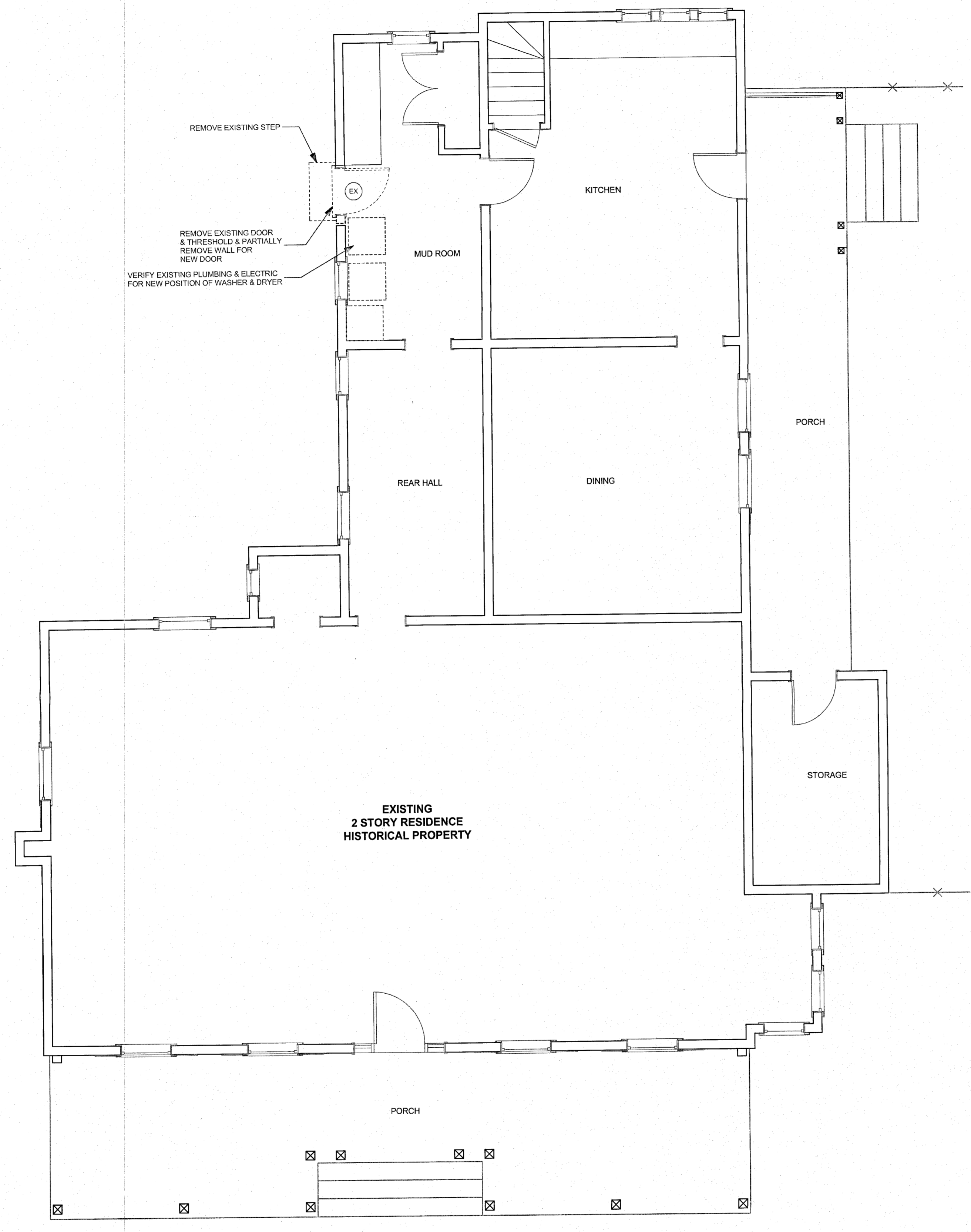
NOT FOR CONSTRUCTION

1 FIRST FLOOR AT GENERAL STORE
SCALE: 1/4" = 1'-0"

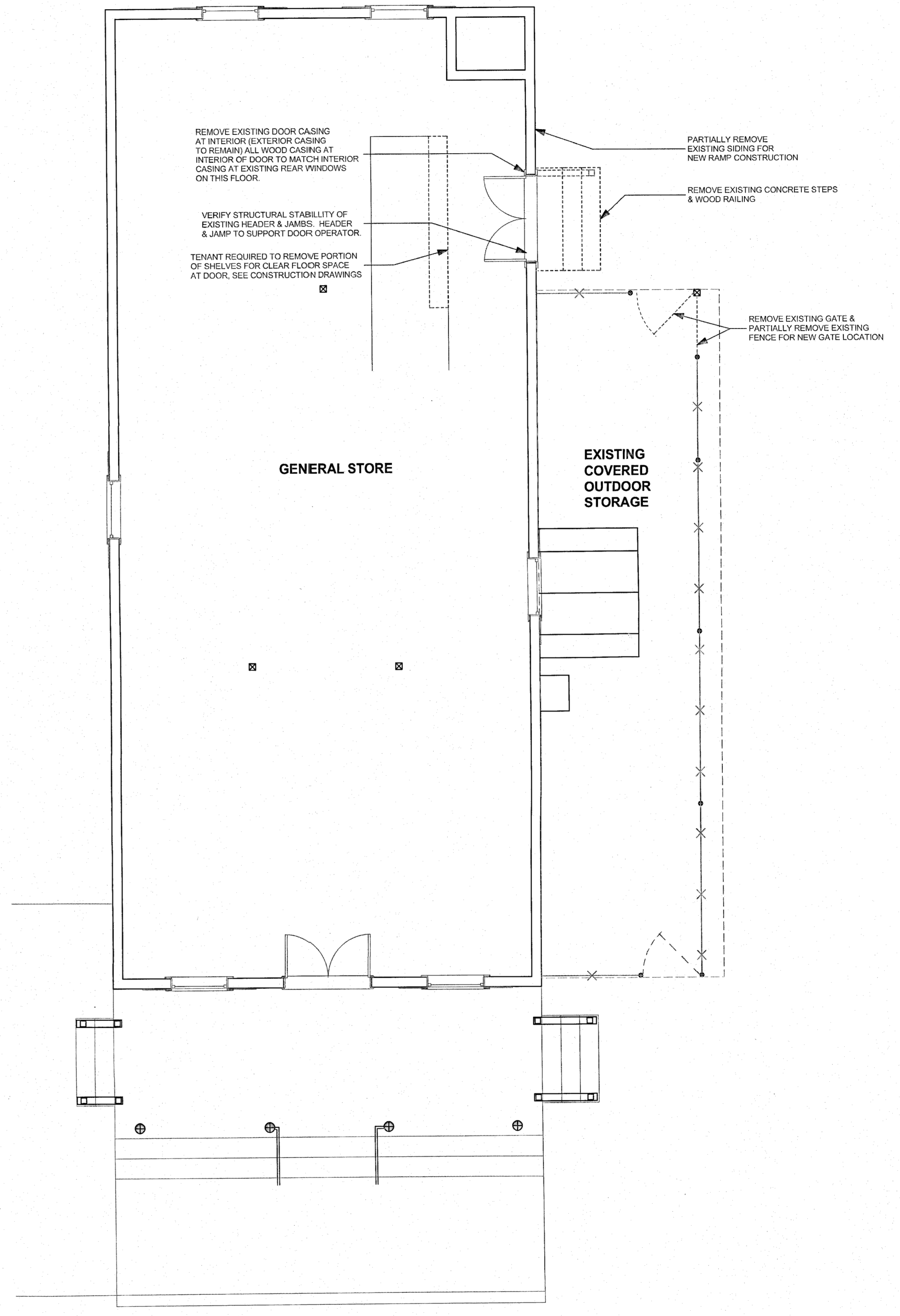
PENZA BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677 F 410-435-6868 www.PenzaBailey.com	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED _____ CHIEF ENGINEER _____ DIRECTOR OF PARKS _____	POOLE - GENERAL STORE & RESIDENCE	REVISED CD's 12/04/2007 REVISED 12/06/2007 REVISION 01/09/2008 REVISION 05/09/2008	STANDARD NO. A1-1
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DEMOLITION NOTES

1. REMOVE EXISTING CONSTRUCTION AS INDICATED FOR NEW WORK. MOVE SALVAGED ITEMS TO OWNER'S STORAGE, OR DISPOSE OFF-SITE, AS DIRECTED BY OWNER. ACCUMULATION OF TRASH ON-SITE MUST BE COORDINATED WITH THE OWNER.
2. REMOVE ENTIRELY CONSTRUCTION TO BE REMOVED. REPAIR EXISTING SUBSTRATES TO RECEIVE NEW WORK. MINIMIZE DAMAGE TO EXISTING CONSTRUCTION THAT WILL REMAIN.
3. ALL EXISTING CONSTRUCTION TO REMAIN THAT HAS BEEN AFFECTED OR EXPOSED BY DEMOLITION, SHALL BE REPAIRED AND REFINISHED TO MATCH ORIGINAL FINISH.
4. FURNITURE AND EQUIPMENT: MOVE AS NEEDED, SALVAGE OR DISPOSE OF, AS DIRECTED BY OWNER. PROTECT ALL ITEMS TO BE RE-USED OR SALVAGED.
5. SECURITY, TELEPHONE, DEVICES AND WIRING: DISCONNECT AS REQUIRED. RELOCATE, SALVAGE FOR OWNER, OR DISPOSE, AS DIRECTED BY OWNER. MAINTAIN ALL SERVICES TO REMAIN IN FULLY OPERATIONAL CONDITION. REMOVE ALL ABANDONED WIRING.
6. PROVIDE TEMPORARY SHORING AS REQUIRED TO SUPPORT FLOORS, WALLS, ROOFS & GIRDERS.
7. SAVE ALL TRIM & HARDWARE FOR RE-USE IN NEW CONSTRUCTION. REMOVE SURROUNDING CASINGS AND PREPARE FOR REPLACEMENT AS SPECIFIED ON CONSTRUCTION DOCUMENTS.
8. RE-USE EXISTING DOORS AS REQUIRED AND REMOVE ALL PAINT TO BARE WOOD WITH HOT AIR GUN. READY FOR NEW PAINT AND HARDWARE. CHEMICAL PAINT STRIPPING IS NOT PERMITTED, AND SHALL ONLY BE APPROVED BY OWNER & ARCHITECT.
9. VERIFY ALL EXISTING FOOTING LOCATIONS AND COORDINATE WITH STRUCTURAL & ARCHITECTURAL DRAWINGS. VERIFY UNUSUAL CONDITIONS WITH ARCHITECT AND ENGINEER FOR COORDINATION.



2 FIRST FLOOR DEMOLITION AT RESIDENCE
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR DEMOLITION AT GENERAL STORE
SCALE: 1/4" = 1'-0"

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Montgomery County
Historic Preservation Commission
Shirley Miller

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ARCHITECTS
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Baltimore, Maryland 21212
T 410-435-6677 | F 410-435-6668
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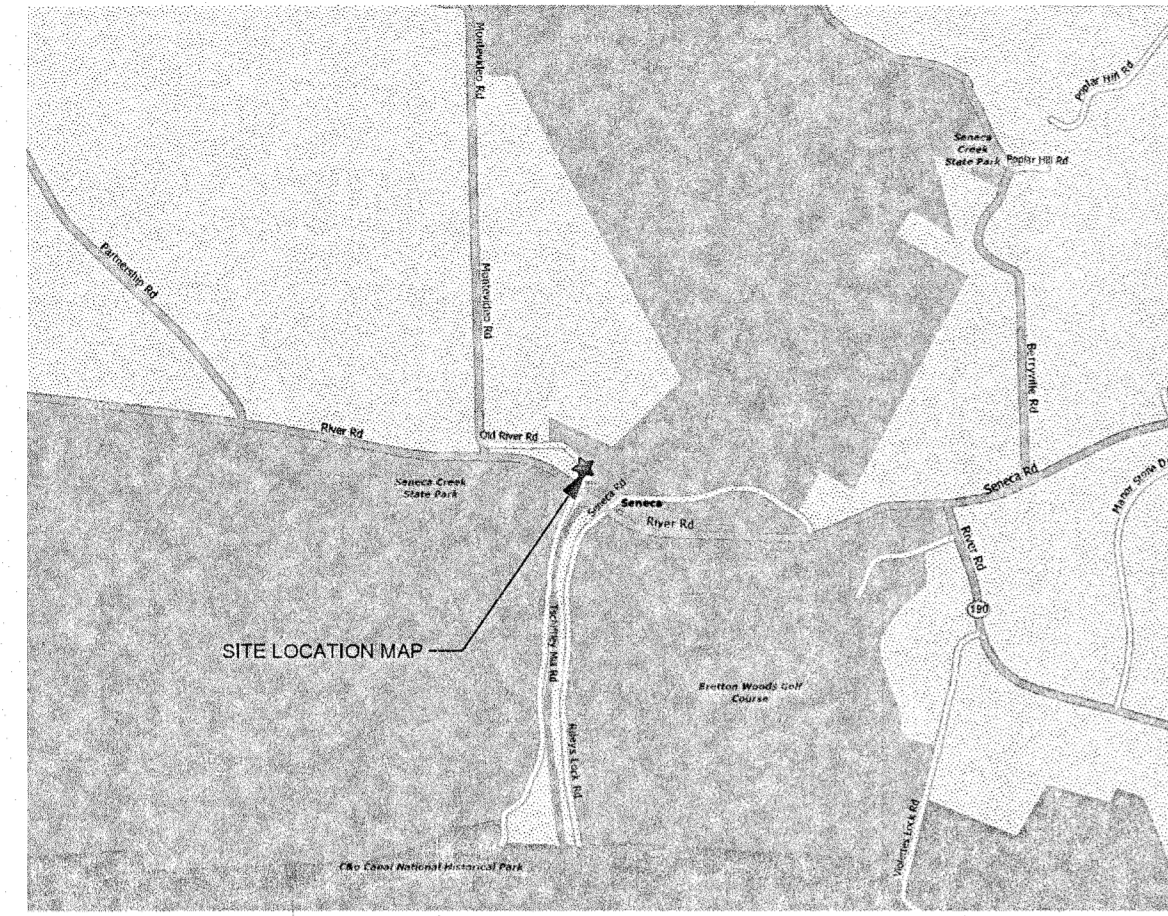
PARK DEVELOPMENT DIVISION
9500 BRUNETT AVENUE
SILVER SPRING, MD 20901

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

DATE APPROVED _____
CHIEF ENGINEER _____
DIRECTOR OF PARKS _____

POOLE - GENERAL STORE & RESIDENCE	REVISED	DATE	STANDARD NO.
	CD's	12/04/2007	D1-1
	REVISED	12/06/2007	
	REVISED	01/09/2008	
REVISION	05/09/2008		

SITE LOCATION MAP NOT TO SCALE



BUILDING DATA

OWNER: MARYLAND-CAPITAL PARKS & PLANNING COMMISSION
PROJECT ADDRESS: 16401 OLD RIVER ROAD DRIVE, POOLESVILLE, MARYLAND 20837
Jurisdiction: MONTGOMERY COUNTY DEPARTMENT OF PARKS & PLANNING
Applicable Codes: 2003 IBC, 2003 IRC, NFPA-101 2003
Use Group: HISTORIC PROPERTIES
ELECTION DISTRICT: 3, Map: DR32 P630 SUBDIVISION 1
LOT SIZE: 3.53 ACRES +/- (153766 SQ. FT. +/-)
Existing General Store Foot Print: 1,8800 SQ.FT. +/- GROUND LEVEL
Existing Residence Floor Foot Print: 1,120 Sq. Ft. +/- GROUND LEVEL
EXISTING UTILITIES: WELL, SEPTIC

ABBREVIATIONS ARCHITECTURAL DRAWINGS ONLY

Table of abbreviations used in architectural drawings, including categories like AT (Number, Pound), FIX (Fixtures), and PLAM (Plastic Laminate).

RENOVATIONS TO

POOLE PROPERTY

GENERAL STORE & RESIDENCE

16401 OLD RIVER ROAD

POOLESVILLE, MARYLAND 20837

OWNER: MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
ARCHITECT: PENZA BAILEY ARCHITECTS
STRUCTURAL & CIVIL: KCI TECHNOLOGIES

SYMBOLS ARCHITECTURAL DRAWINGS ONLY

Table of architectural symbols including Room Name, Space Title, North Arrow, Elevation, Section, and Detail symbols.

MATERIALS ARCHITECTURAL DRAWINGS ONLY

Table of materials used in architectural drawings, including Timber Wood Framing, Finish Wood, Plywood, Hardboard Particle Board, Spray Foam Insulation, Flexible Insulation, Accoustical Tile or Panels, Glass Large Scale, Glass or Metal Small Scale, Screening, CMU, Brick, Stone Masonry, Marble, Facing Tile, Rigid Insulation, Precast Stone or Concrete, Gravel Fill, Earth, Porous Fill, Standard Concrete, Lightweight Concrete, Reinforcing Bars, Steel, Aluminum, GWB, Plaster, Mortar, Sand, Stucco, Flagstone Slate, Ceramic Quarry Tile, Resilient Flooring.

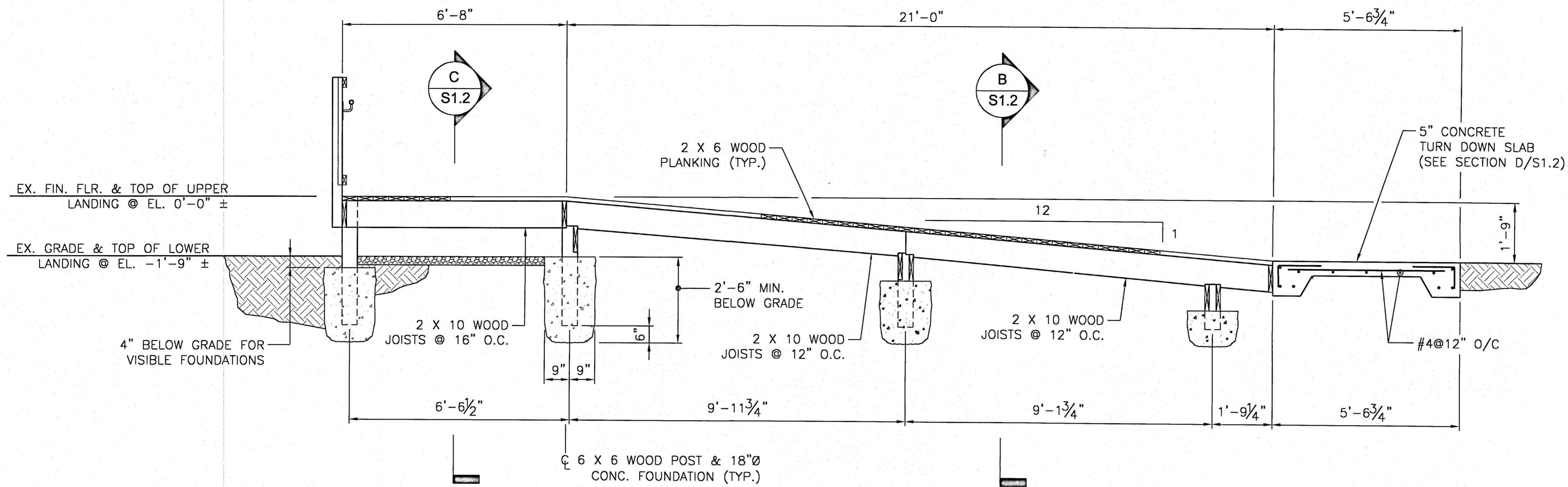
DRAWING INDEX

Table listing architectural drawings (G1-1 Index & General Notes, D1-1 Demolition Plans, A1-1 First Floor at General Store, etc.) and structural drawings (S1-1 Partial Foundation Plans, S1-2 Sections, S1-3 Details & Notes).

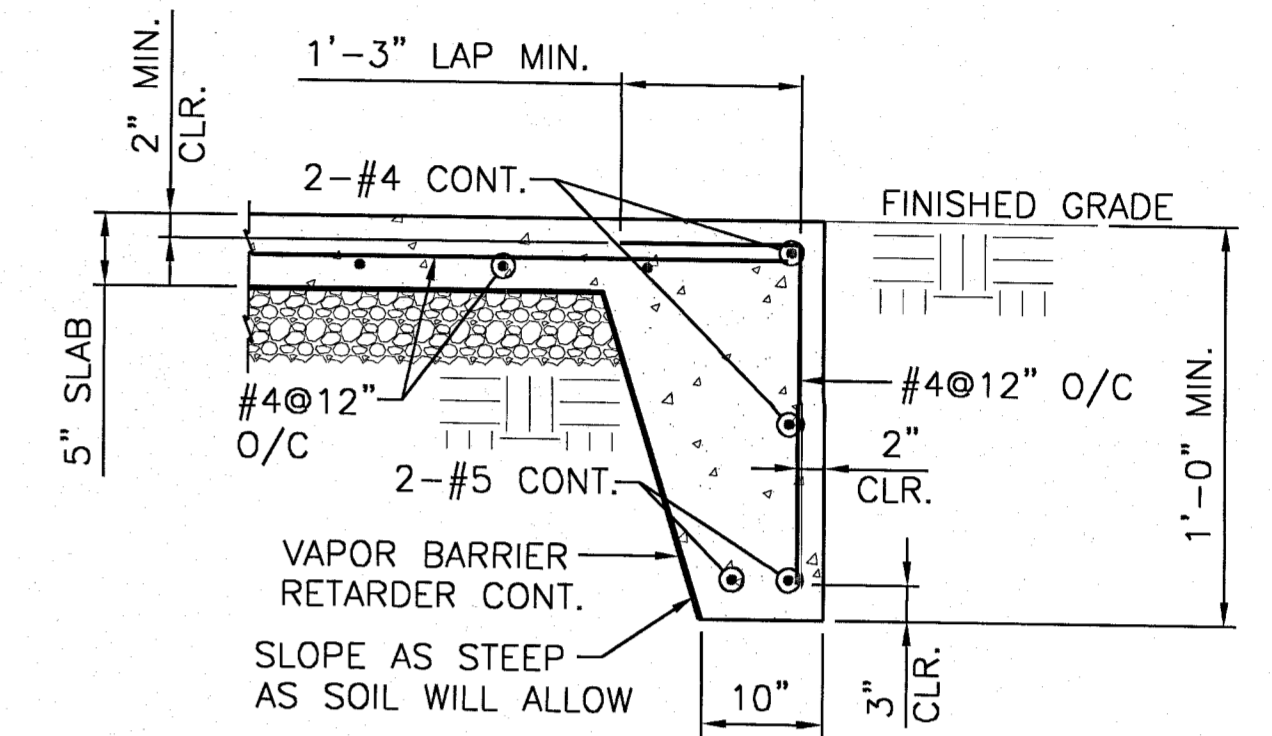
APPROVED Montgomery County Historic Preservation Commission L. Howell, Mayor 7/7/09

Penza Bailey Architects logo and project information for The Maryland-National Capital Park and Planning Commission, including address, contact info, and approval table with dates and signatures.

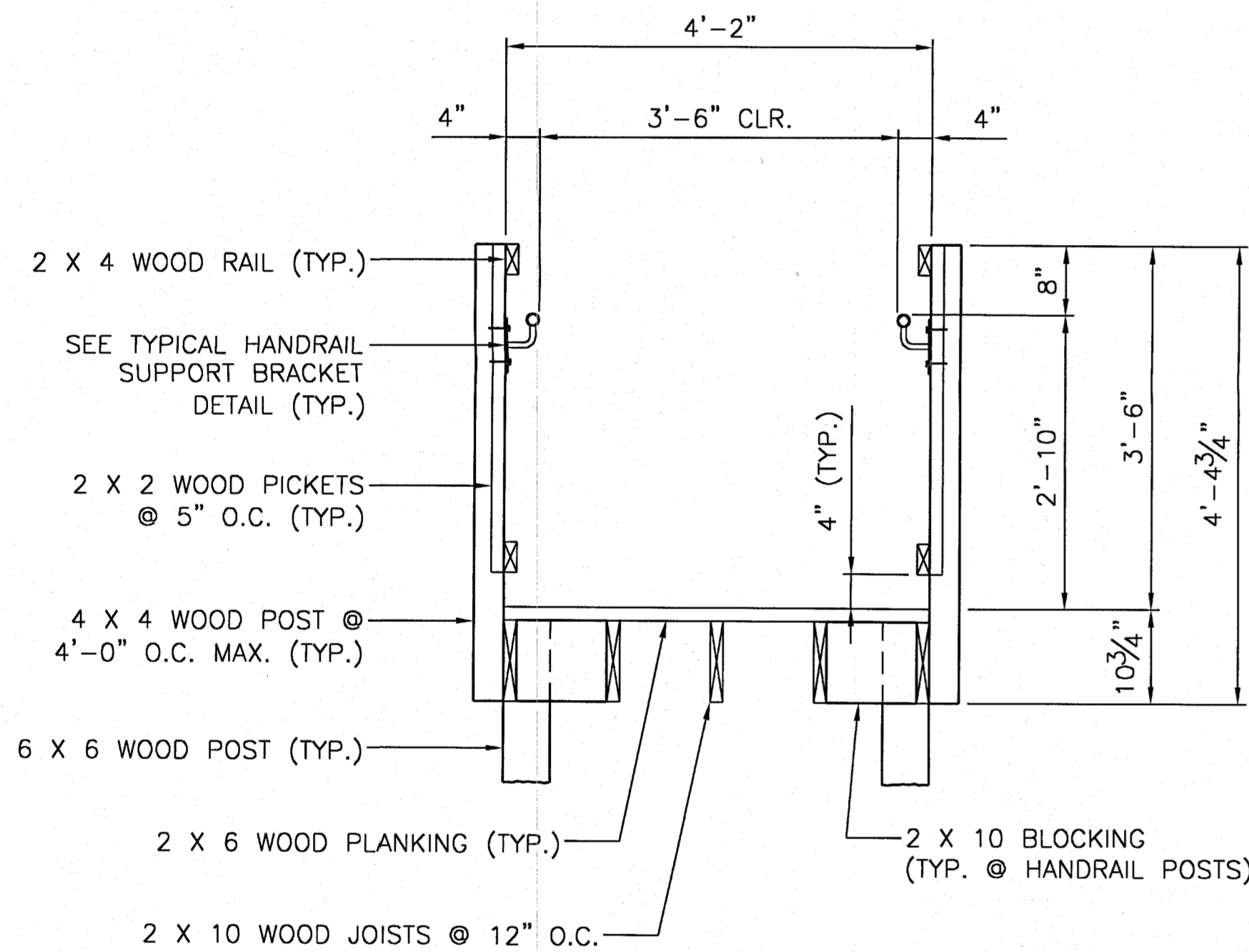
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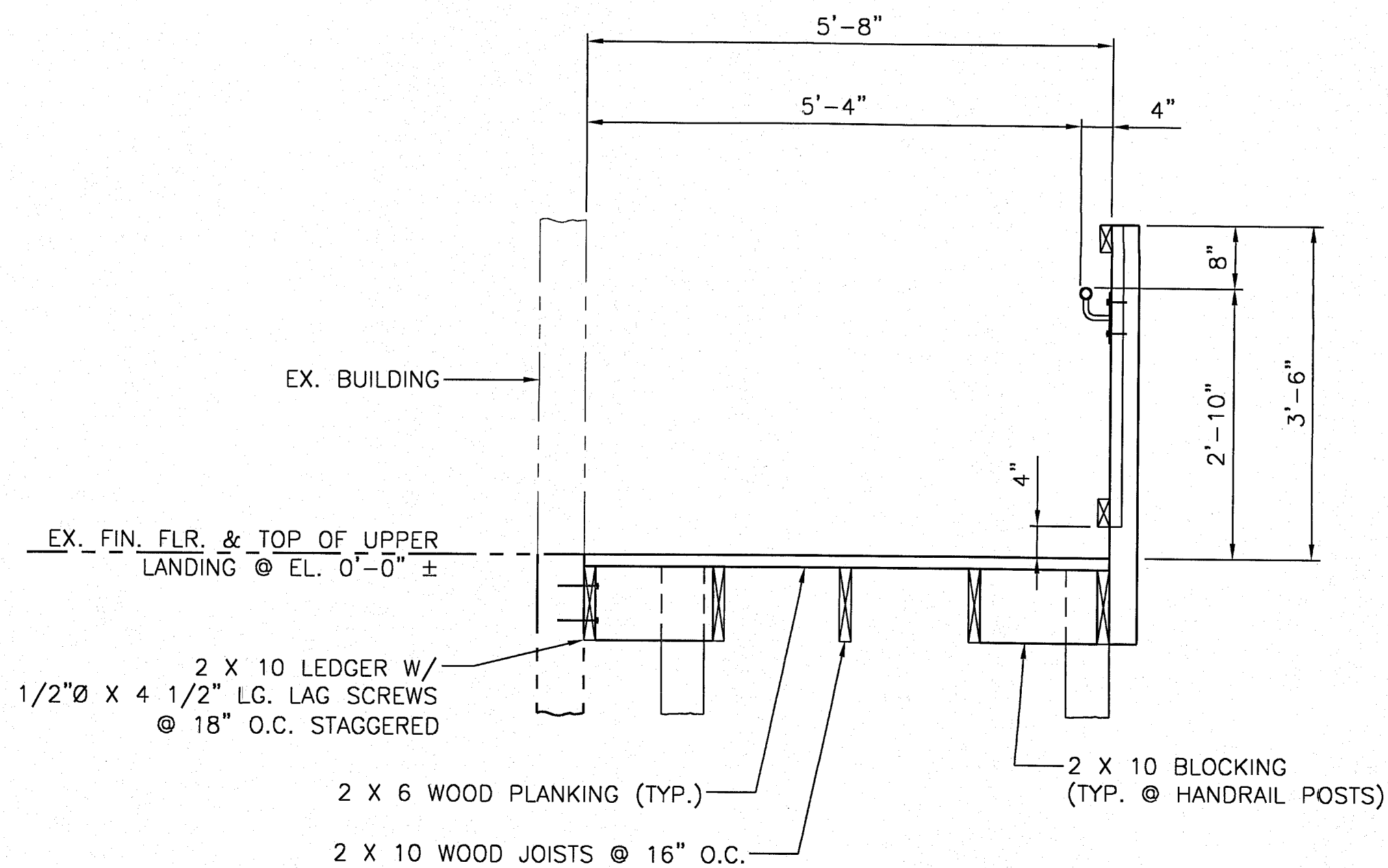
SECTION THRU RAMP
SCALE: 1/2" = 1'-0"
S1.2



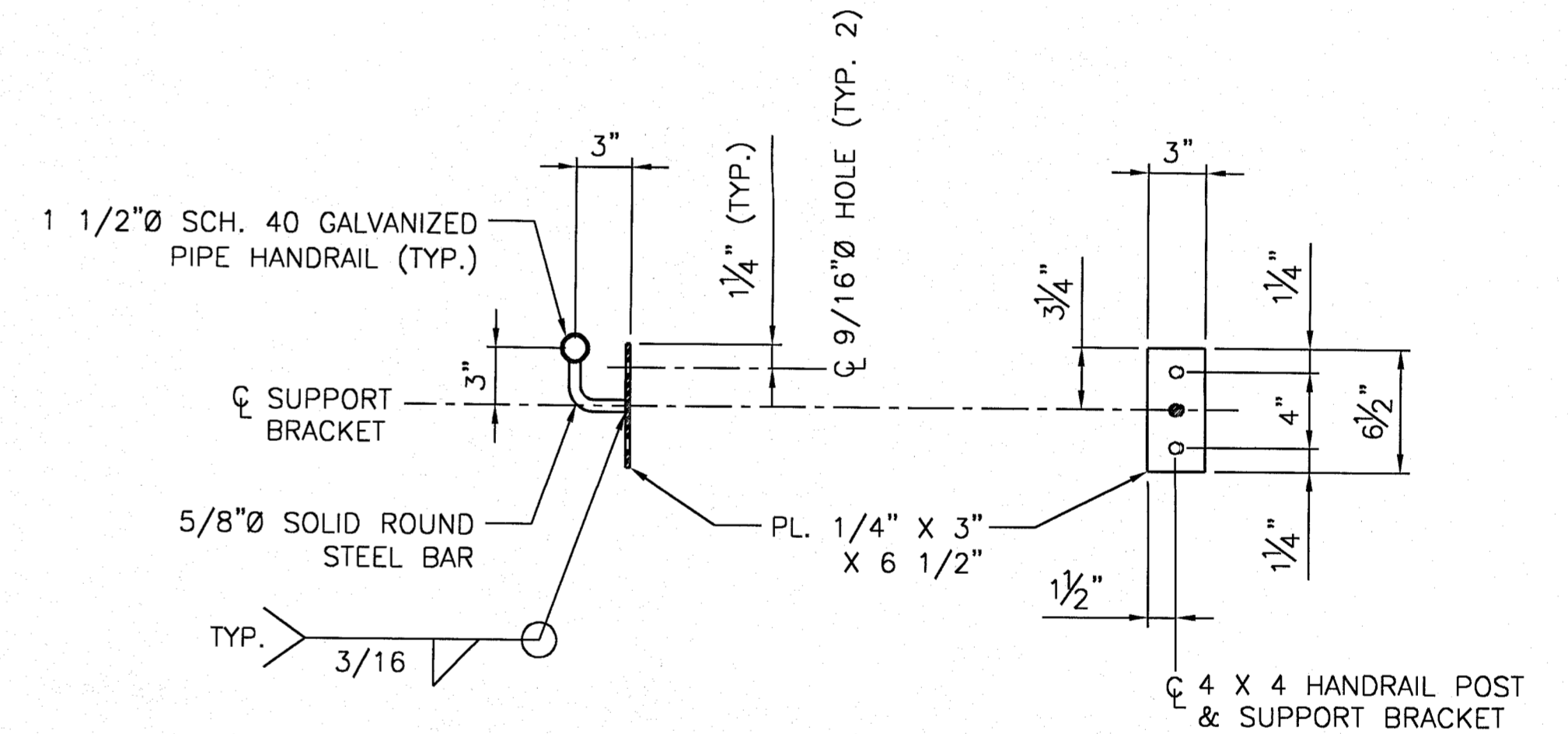
SECTION @ TURN DOWN SLAB
NOT TO SCALE
S1.2



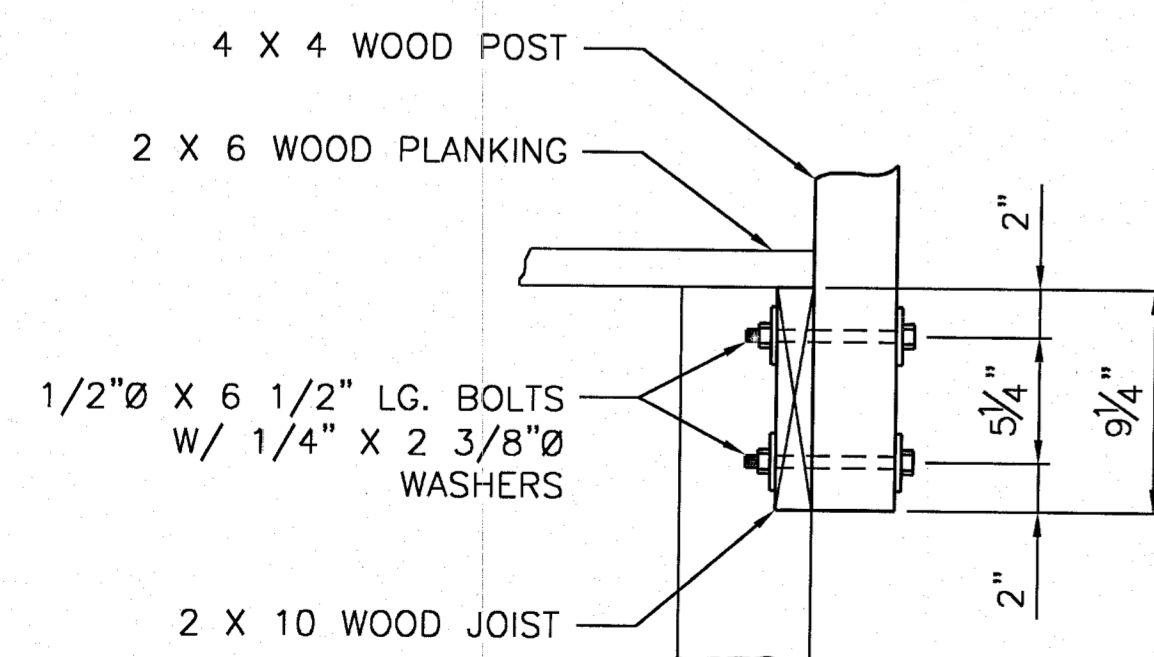
TYPICAL SECTION THRU RAMP
SCALE: 3/4" = 1'-0"
S1.2



SECTION @ UPPER LANDING
SCALE: 3/4" = 1'-0"
S1.2



TYPICAL HANDRAIL SUPPORT BRACKET DETAIL
SCALE: 1 1/2" = 1'-0"
NOTE: CONTRACTOR TO ATTACH BRACKET TO 4 X 4 HANDRAIL POST W/ 1/2"Ø X 2 1/2" LG. LAG SCREWS.



TYPICAL HANDRAIL POST CONNECTION DETAIL
SCALE: 1 1/2" = 1'-0"

KCI TECHNOLOGIES
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
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FAX: (410) 316-7817
www.kci.com

PARK DEVELOPMENT DIVISION
9500 BRUNETT AVENUE
SILVER SPRING, MD 20901

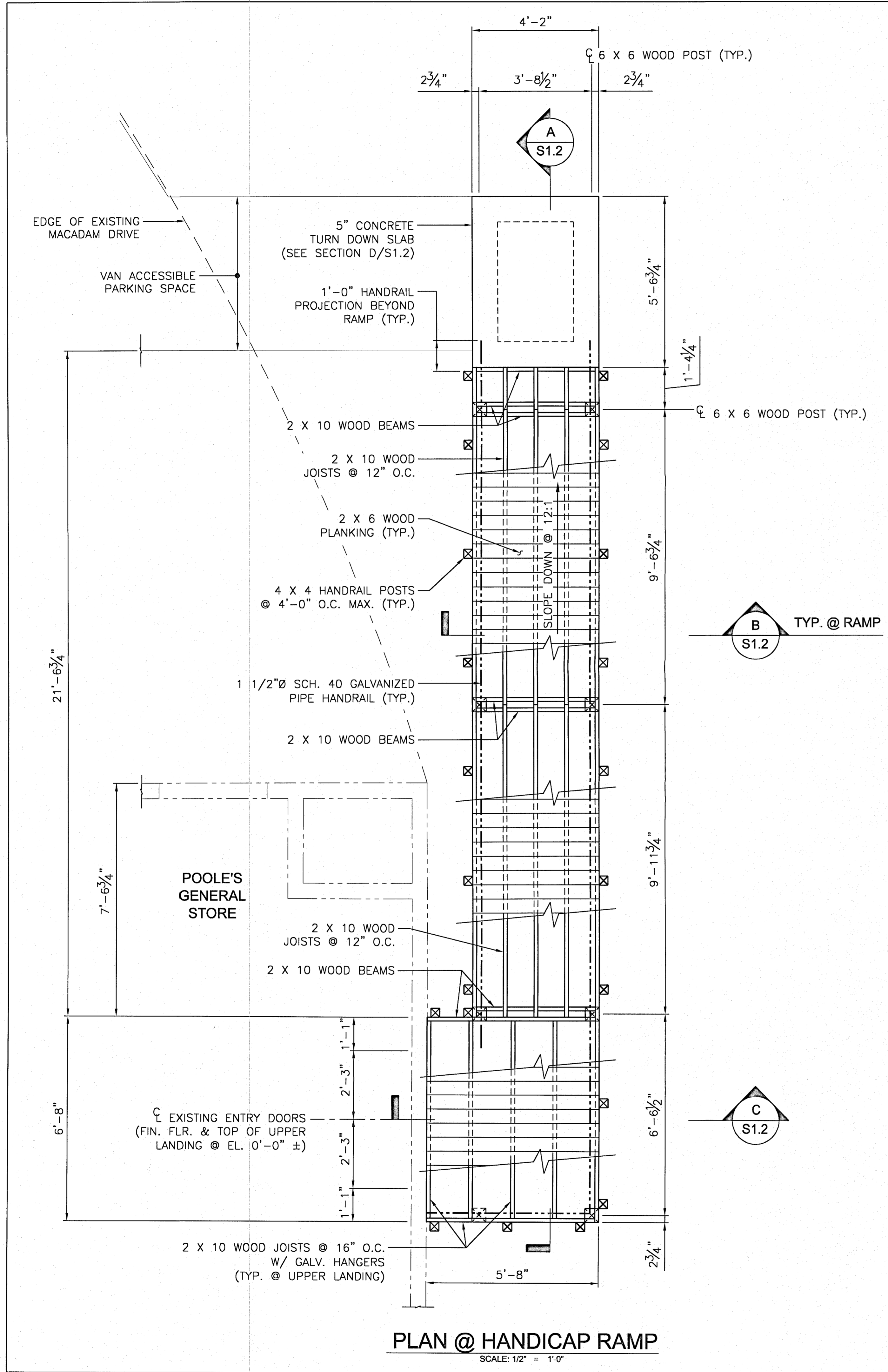
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

DATE APPROVED	
CHIEF ENGINEER	
DIRECTOR OF PARKS	

M-NCPPC POOLE - GENERAL STORE & RESIDENCE	
SECTIONS & DETAILS	

REVISED	DATE	STANDARD NO.
DD-REVIEW	05/12/2008	S1.2

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Montgomery County
Historic Preservation Commission
Michael J. ...



PLAN @ HANDICAP RAMP
SCALE: 1/2" = 1'-0"

GENERAL STRUCTURAL NOTES:

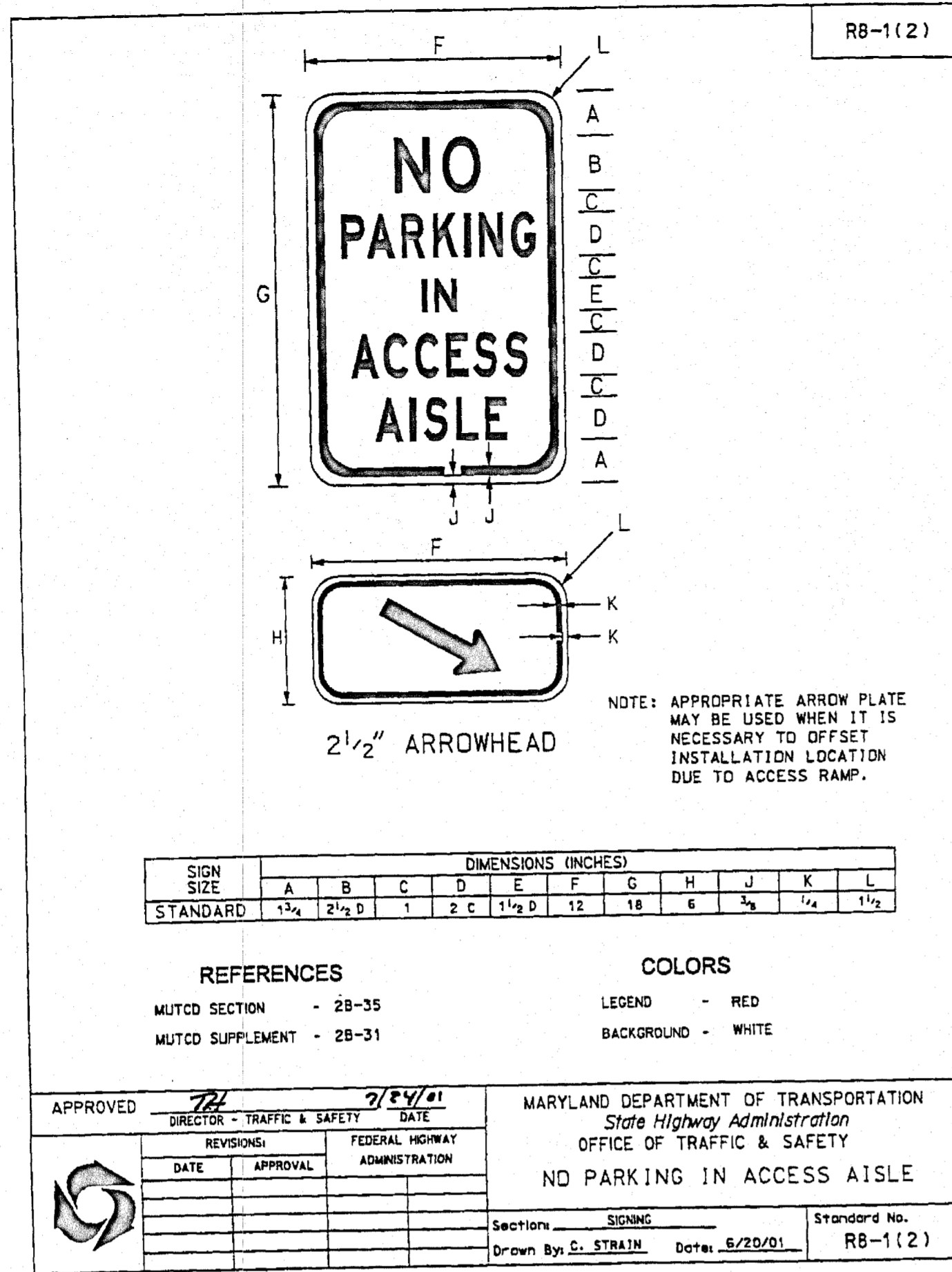
1. BUILDING CODES:
 - A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2006 IBC BUILDING CODE AND ALL SUBSEQUENT SUPPLEMENTS.
 - B. IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE.
2. DESIGN LOADS:
 - A. THE DESIGN DEAD LOADING FOR ALL RAMPS IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS.
 - B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW RAMPS SHALL BE AS FOLLOWS:
LIVE LOAD 100 PSF
 - C. THE CONTRACTOR SHALL NOT STORE ANY CONSTRUCTION MATERIALS OR UNDERTAKE ANY CONSTRUCTION OPERATION WHICH WILL EXCEED THE DESIGN LIVE LOADINGS NOTED.
3. MISCELLANEOUS:
 - A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.
 - B. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
 - C. SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
 - D. END CAPS SHALL BE PLACED AT ALL LOCATIONS WHERE THE HANDRAIL SYSTEM IS TERMINATED. A 1/4" DIA. WEEP HOLE SHALL BE DRILLED INTO THE UNDERSIDE OF THE HANDRAIL NEAR ALL TERMINATION POINTS. FINISHED HANDRAIL SYSTEM SHALL BE SMOOTH AND FREE FROM ANY BURRS OR IRREGULARITIES.
4. EXISTING STRUCTURE:
 - A. ALL EXISTING PLANS, DETAILS, DIMENSIONS, AND ELEVATIONS INDICATE EXISTING CONDITIONS AS KNOWN. THE EXISTING INFORMATION SHOWN IS NOT INTENDED TO BE "AS BUILT" AND THE ACTUAL CONSTRUCTION MAY DIFFER FROM THAT SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION. MINOR VARIATIONS CAN BE EXPECTED AND ANY REQUIRED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - B. THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM. SHOULD DAMAGE OCCUR TO ANY UTILITIES, THE CONTRACTOR IS REQUIRED TO REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER AT HIS OWN EXPENSE.
 - C. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION. THE DESIGN OF ALL TEMPORARY BRACING AND SHORING IS THE CONTRACTOR'S RESPONSIBILITY.
 - D. THE CONTRACTOR SHALL MONITOR THE EXISTING STRUCTURE DURING CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF AREAS EXHIBITING DISTRESS OR FAILURE.
 - E. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND CONDITION OF ALL EXISTING FRAMING. SHOULD THE SIZE OR CONDITION OF THE EXISTING FRAMING DIFFER FROM THAT SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
5. FOUNDATIONS:
 - A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE FOR FROST PROTECTION.
 - B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THE ALLOWABLE SOIL BEARING PRESSURE SHALL BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACING FOUNDATIONS. SHOULD THE ACTUAL SOIL BEARING PRESSURE BE LESS THAN 2000 PSF, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
 - C. ALL FILL PLACED UNDER SPREAD FOOTINGS SHALL BE COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698.
 - D. ALL EXCAVATION AND BACKFILLING OPERATIONS WITHIN THE RAMP FOOTPRINT, INCLUDING ALL COMPACTION TESTS AND INSPECTIONS, SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER.
 - E. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.
 - F. ALL EXISTING SOIL CONTAINING GRAVEL, CONSTRUCTION OR DEMOLITION DEBRIS, ORGANIC SUBSTANCES, OR OTHER FOREIGN OBJECTS SHALL BE REMOVED FROM THE REGION WITHIN THE FOOTPRINT OF THE STRUCTURE.
6. CAST IN PLACE CONCRETE:
 - A. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)"; AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)". IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
 1. RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).
 2. RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).
 3. RECOMMENDED PRACTICE FOR CONCRETE FORMWORK (ACI 347).
 - B. ALL CONCRETE EXPOSED TO PUBLIC VIEW SHALL CONFORM TO THE REQUIREMENTS FOR ARCHITECTURAL CONCRETE CONTAINED IN ACI 301.
 - C. ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5% ± 1%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1", AND MAXIMUM SLUMP SHALL BE 4". PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C 33.
 - E. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 615 GRADE 60. LAP ALL REINFORCING BARS A MINIMUM OF 30 BAR DIAMETERS, UNLESS OTHERWISE INDICATED.
 - F. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE CRSI "MANUAL OF STANDARD PRACTICE", ACI 315" DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI SP 66 "DETAILING MANUAL".
 - G. ALL CONCRETE MIX DESIGNS, INCLUDING CEMENT CONTENT, WATER CEMENT RATIO, FINE AND COARSE AGGREGATE CONTENT AND ALL ADMIXTURES, SHALL BE REVIEWED BY ENGINEER PRIOR TO PLACING FIRST CONCRETE.
 - H. ALL CONCRETE SHALL BE SAMPLED AND TESTED BY THE TESTING AGENCY. THE CONTRACTOR SHALL NOTIFY THE TESTING AGENCY 48 HOURS PRIOR TO THE PLACING OF ANY CONCRETE.
 - I. THE CONCRETE STRUCTURE SHALL NOT SUPPORT THE DESIGN LIVE LOAD FOR A MINIMUM OF 28 DAYS AND ALL SHORING AND RESHORING REQUIRED TO SUPPORT THE CONCRETE STRUCTURE DURING CONSTRUCTION SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR. SHOP DRAWINGS, SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF MARYLAND, SHALL BE SUBMITTED FOR REVIEW. SHOP DRAWINGS SHALL INDICATE THE TYPE, EXTENT, SIZE, AND LOCATION OF ALL SHORING AND RESHORING AS WELL AS THE SEQUENCE OF CONSTRUCTION.
 - J. GROUND BLAST FURNACE SLAG MAY BE USED TO REPLACE UP TO 50 PERCENT OF THE PORTLAND CEMENT IN A CONCRETE MIX, AND FLY ASH OR POZZOLAN MAY BE USED TO REPLACE UP TO 25 PERCENT OF PORTLAND CEMENT, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND SHALL CONFORM TO ASTM C 989.
7. WOOD:
 - A. ALL STRUCTURAL WOOD SHALL BE PRESSURE TREATED #2 SOUTHERN PINE OR BETTER.
 - B. ALL UNSPECIFIED WOOD-TO-WOOD CONNECTIONS SHALL BE WITH 2-16d NAILS MINIMUM.
8. GROUND PROTECTION:
 - A. COVER GROUND UNDER STRUCTURE WITH 10 MIL. PLASTIC AND 3" OF GRAVEL TO PREVENT VEGETATION GROWTH.

KCI TECHNOLOGIES
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
10 NORTH PARK DRIVE
HUNT VALLEY, MD 21030
PHONE (410) 316-7800
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WWW.KCI.COM

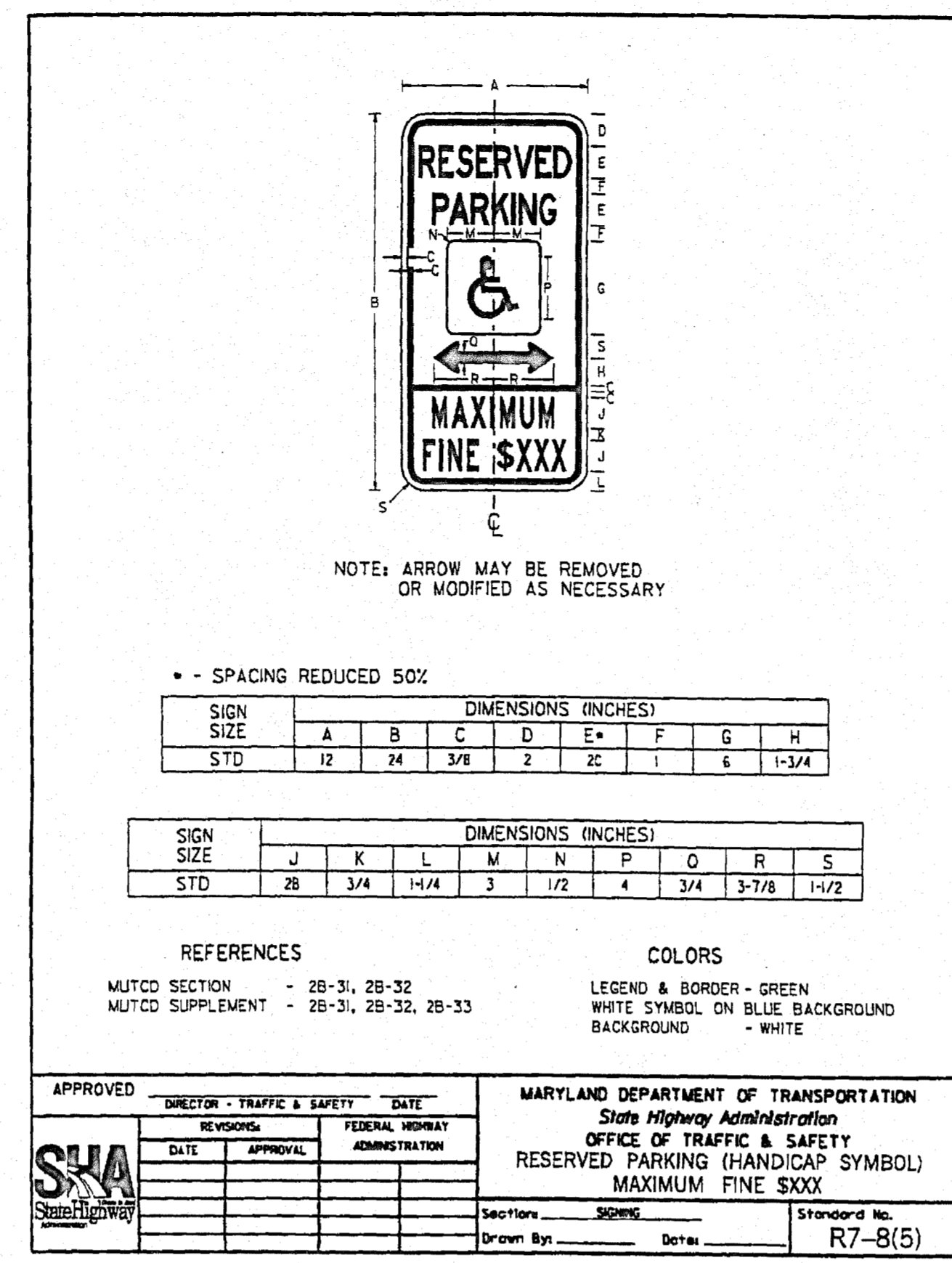
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT DIVISION	DATE APPROVED	M-NCPPC POOLE - GENERAL STORE & RESIDENCE	REVISED	DATE	STANDARD NO.
	CHIEF ENGINEER		DD-REVIEW	05/12/2008	
9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DIRECTOR OF PARKS	PLAN & NOTES			S1.1

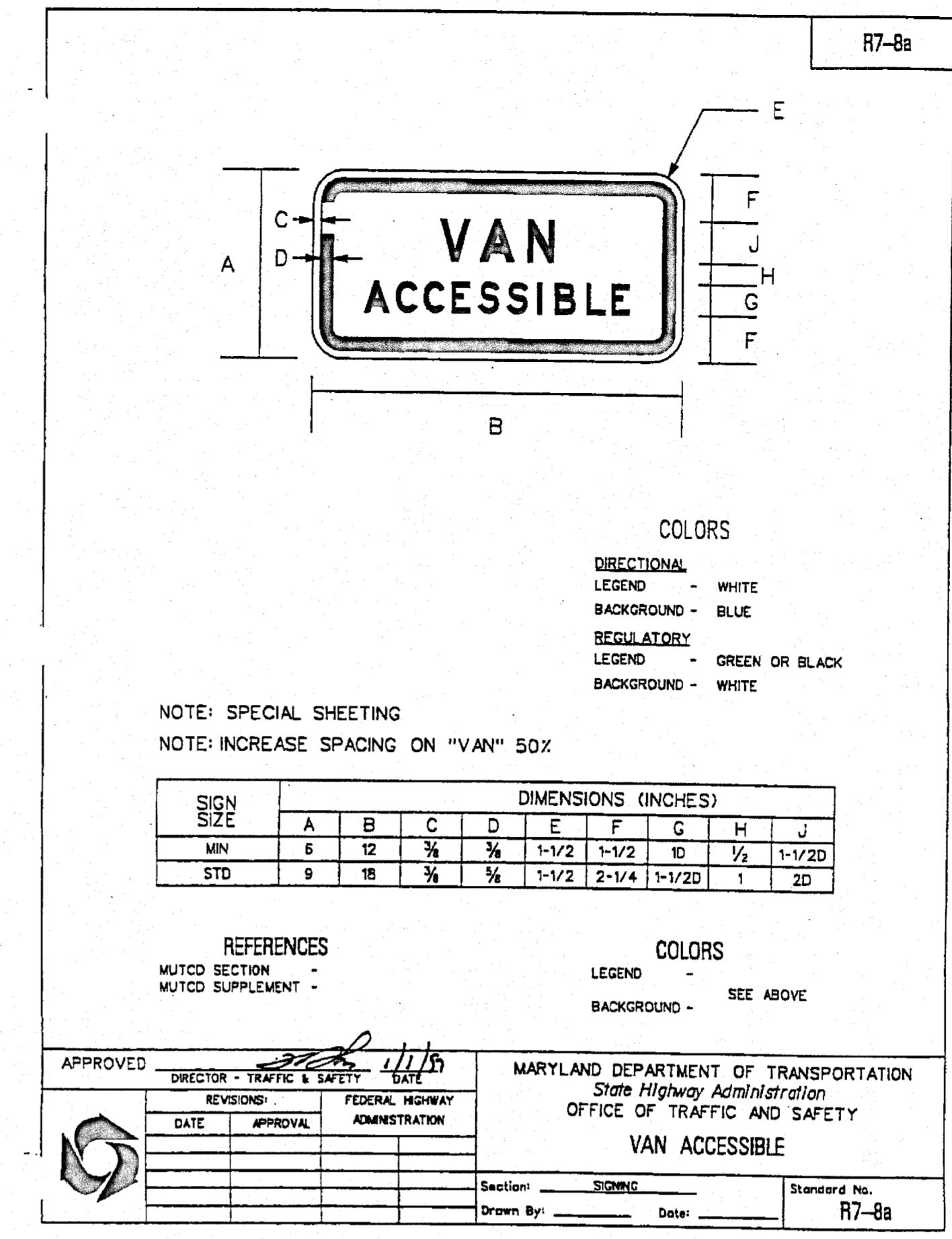
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Montgomery County
Historic Preservation Commission
S. M. M. 7/7/00



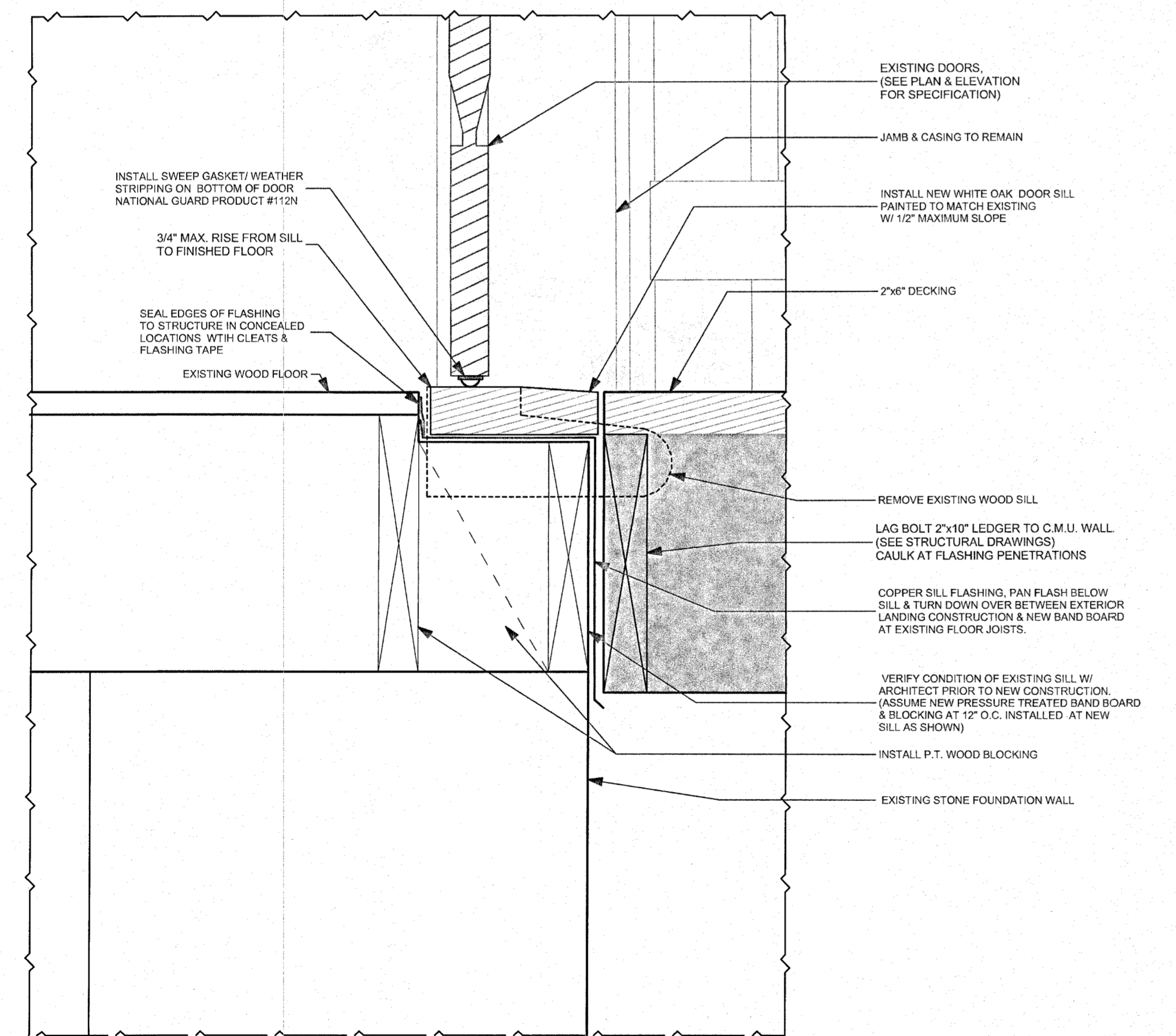
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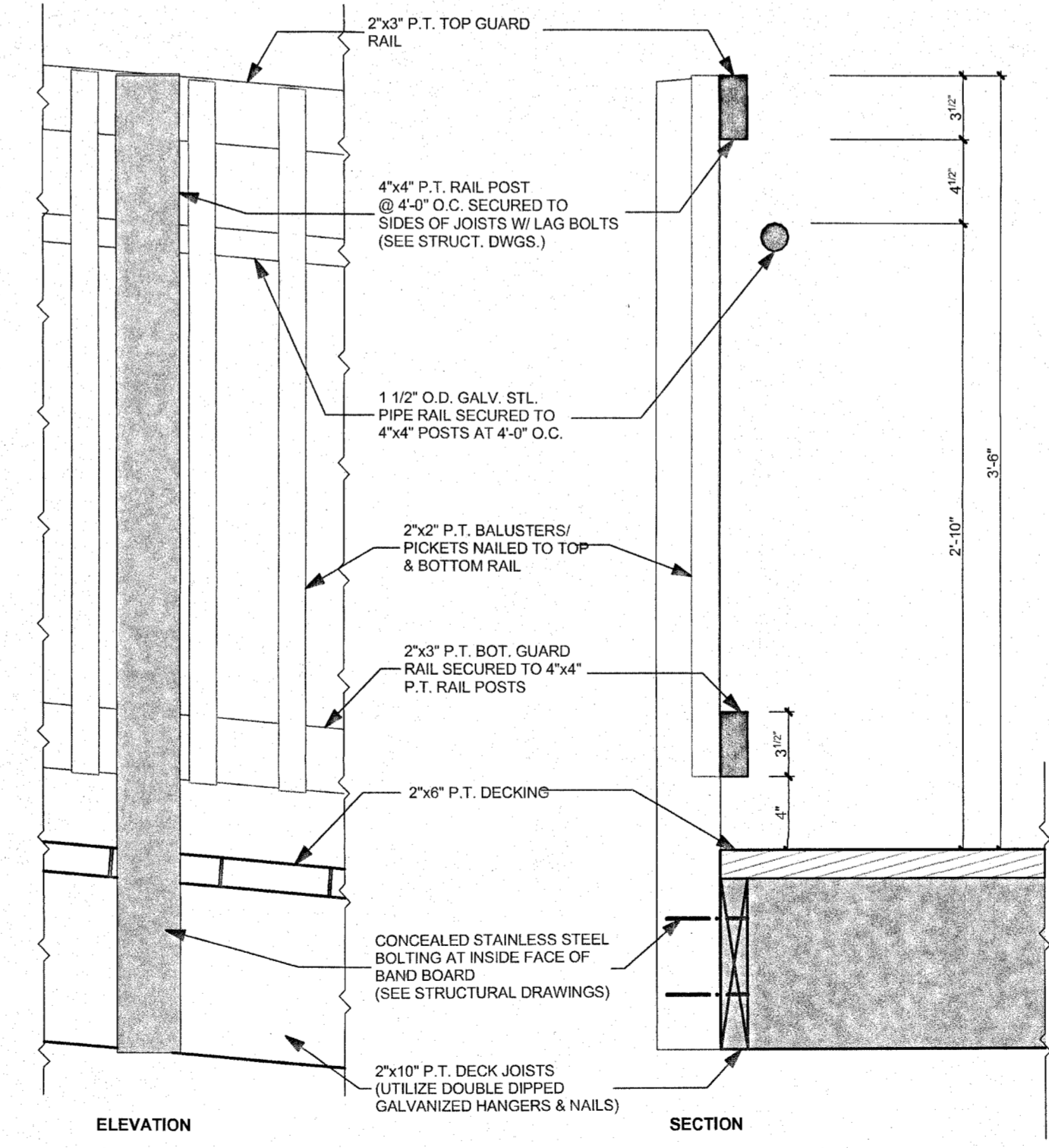
2 ADA Parking Signs



3 ADA Parking Signs



4 DETAIL-DOOR SILL @ STORE SCALE: 3" = 1'-0"

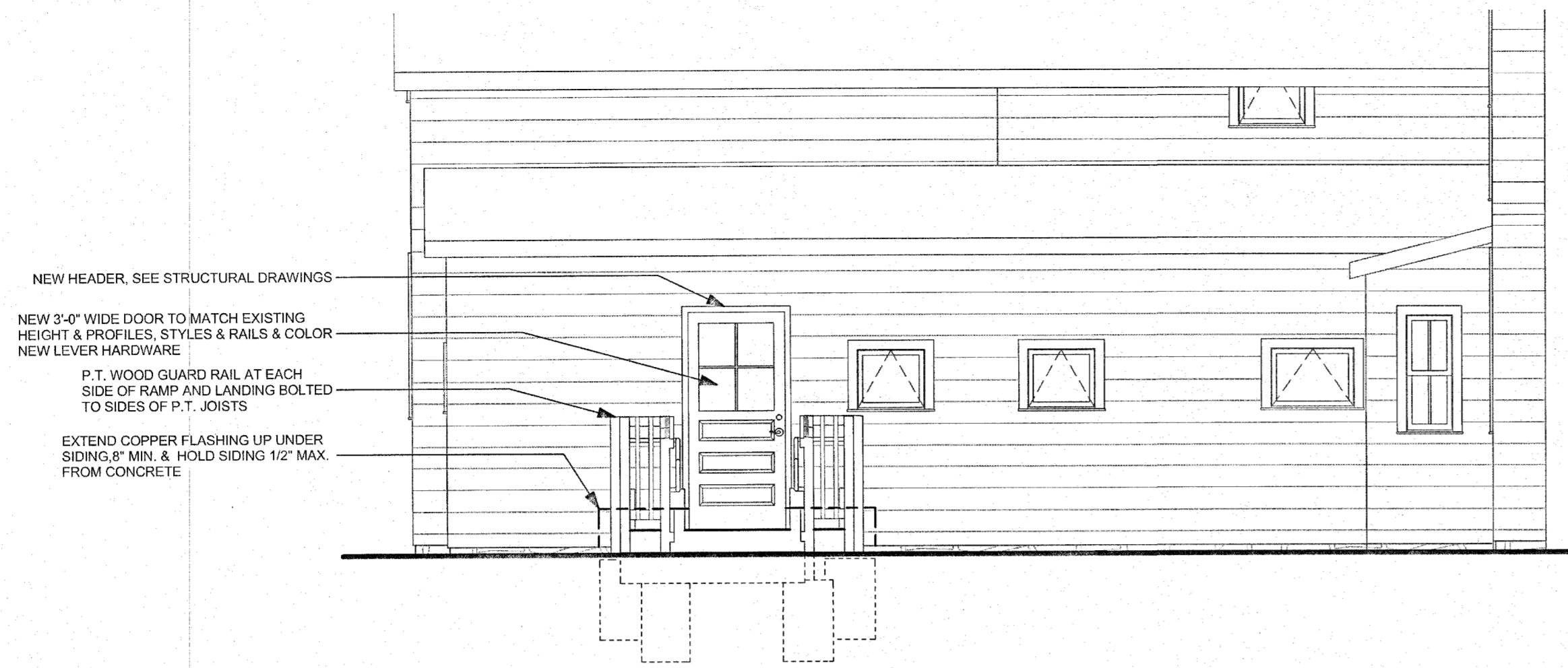


5 DETAIL-RAILING SCALE: 1 1/2" = 1'-0"

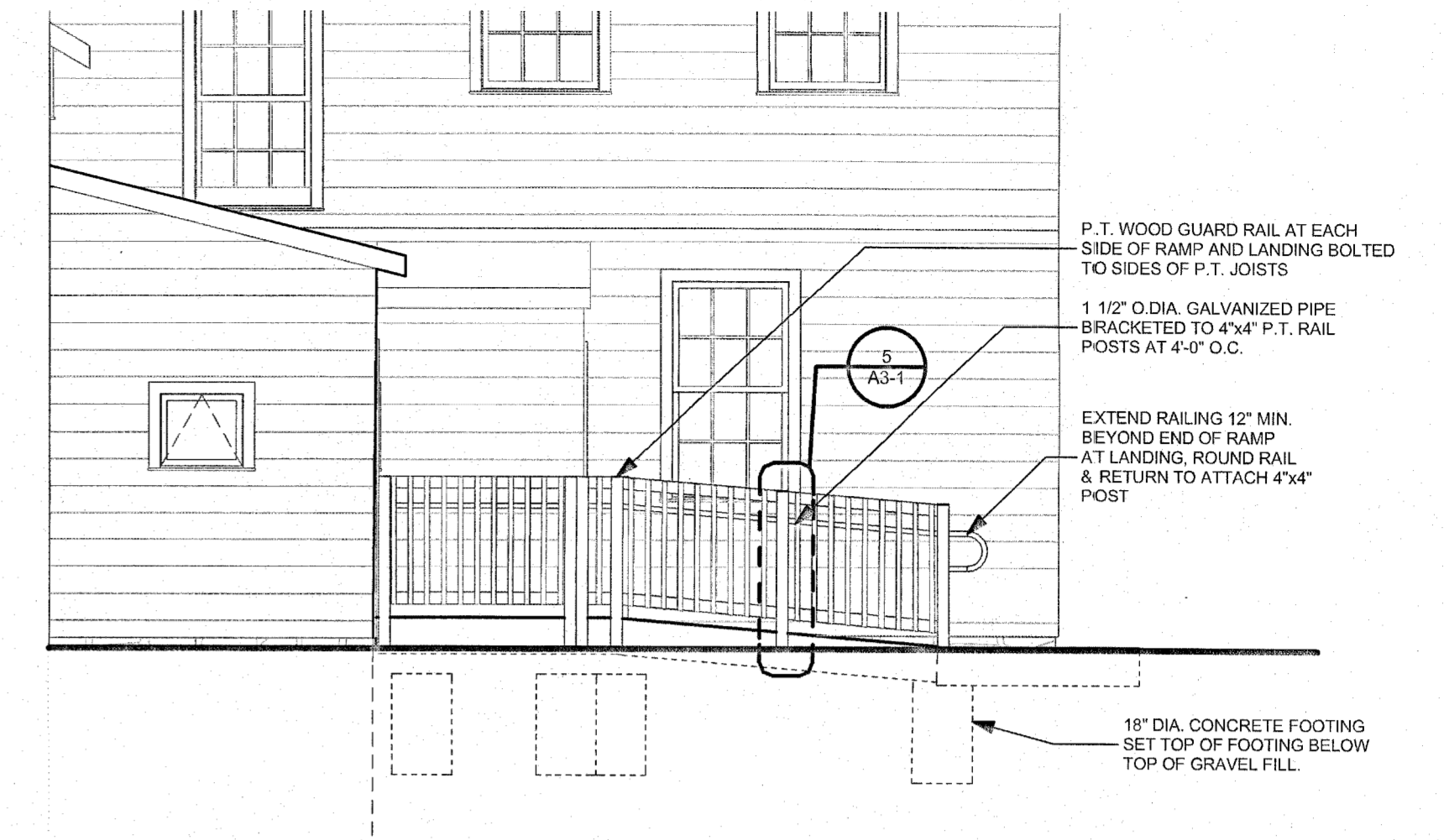
APPROVED
Montgomery County
Historic Preservation Commission
Sylvia A. Allen 7/7/02

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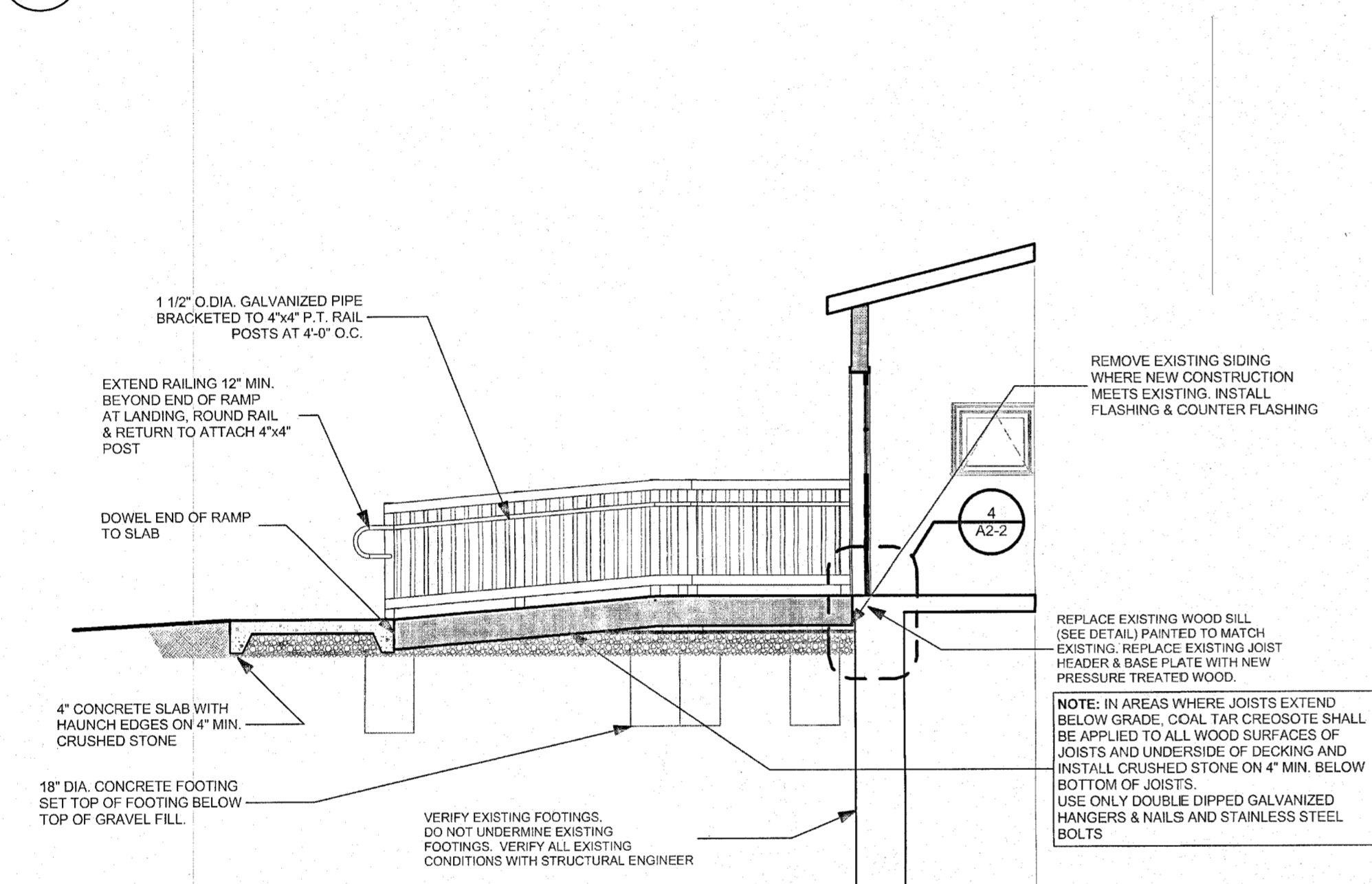
PENZA + BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 1 410-435-6677 F 410-435-6868 www.PenzaBailey.com	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland	DATE APPROVED: 12/04/2007 CHIEF ENGINEER: _____ DIRECTOR OF PARKS: _____	POOLE - GENERAL STORE & RESIDENCE	REVISED: 12/04/2007 REVISED: 01/09/2008 REVISION: 05/09/2008	STANDARD NO. A3-1
		PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	POOLE - GENERAL STORE & RESIDENCE	STANDARD NO. A3-1	



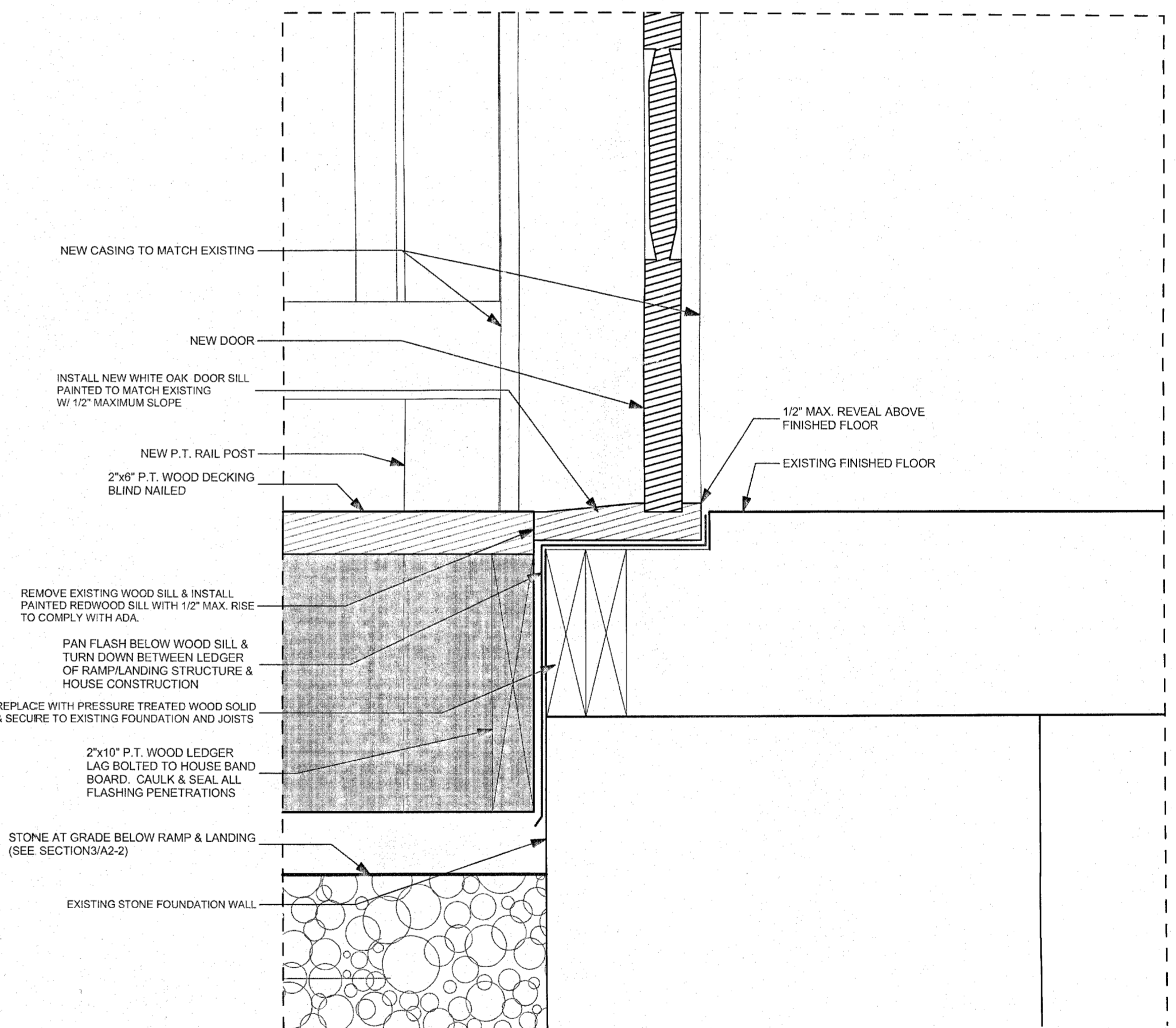
1 WEST ELEVATION AT RESIDENCE
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION AT RESIDENCE
SCALE: 1/4" = 1'-0"



3 SECTION @ RESIDENCE RAMP
SCALE: 1/4" = 1'-0"

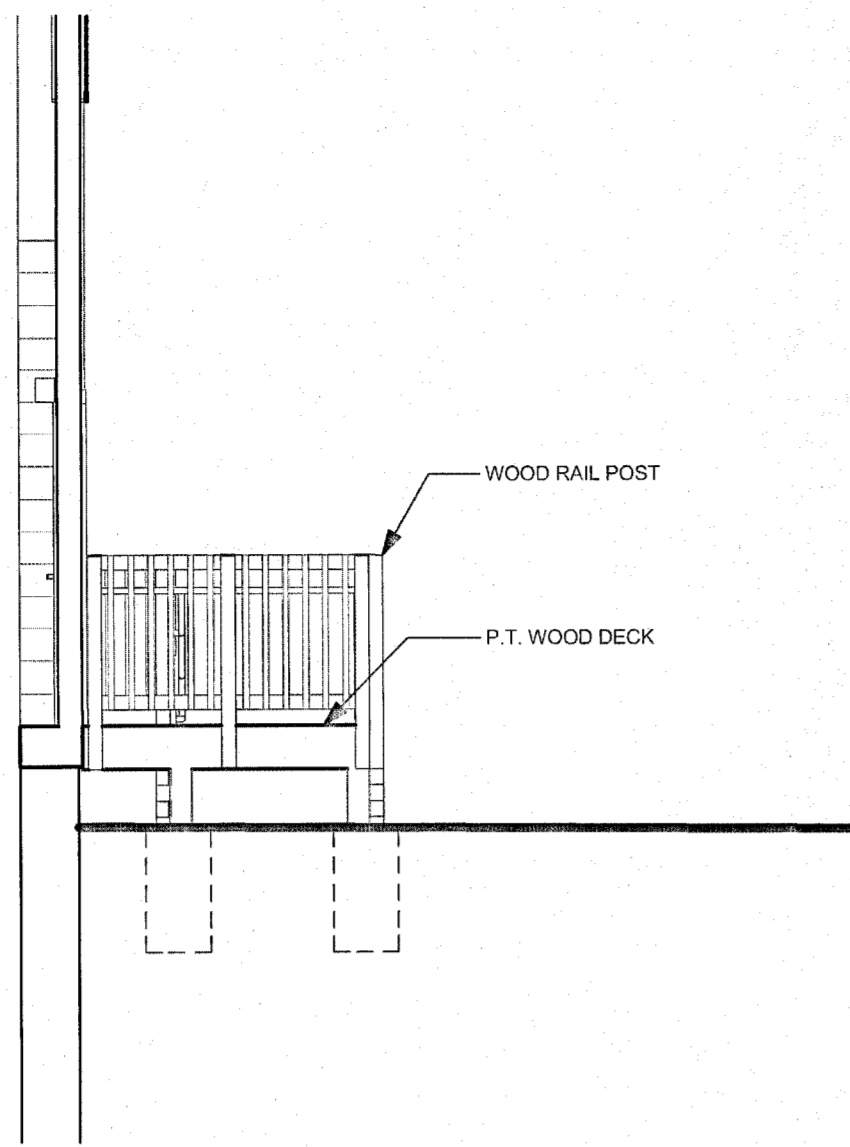


4 DETAIL-DOOR SILL @ RESIDENCE
SCALE: 3" = 1'-0"

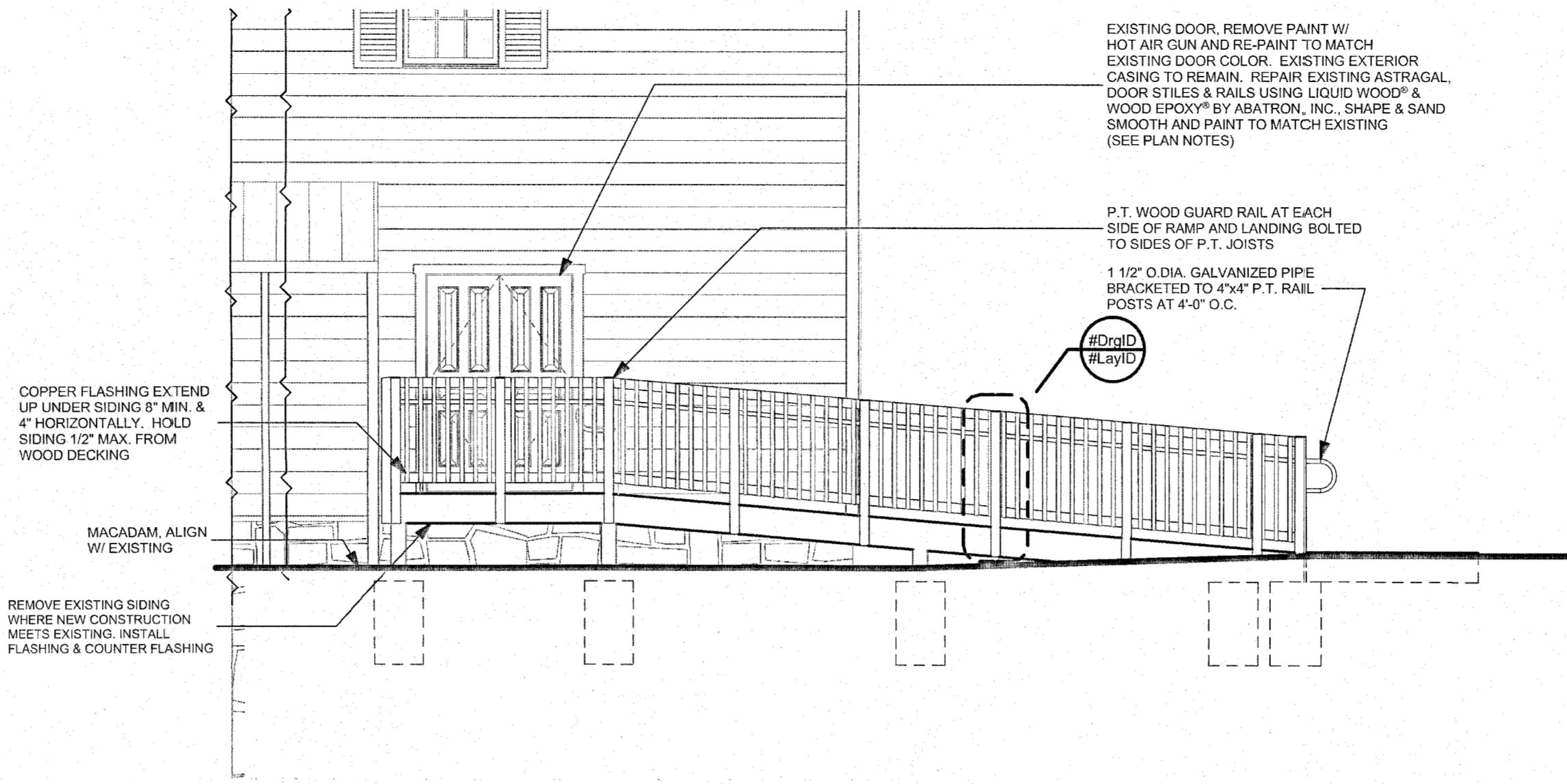
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Historic Preservation Commission
[Signature]

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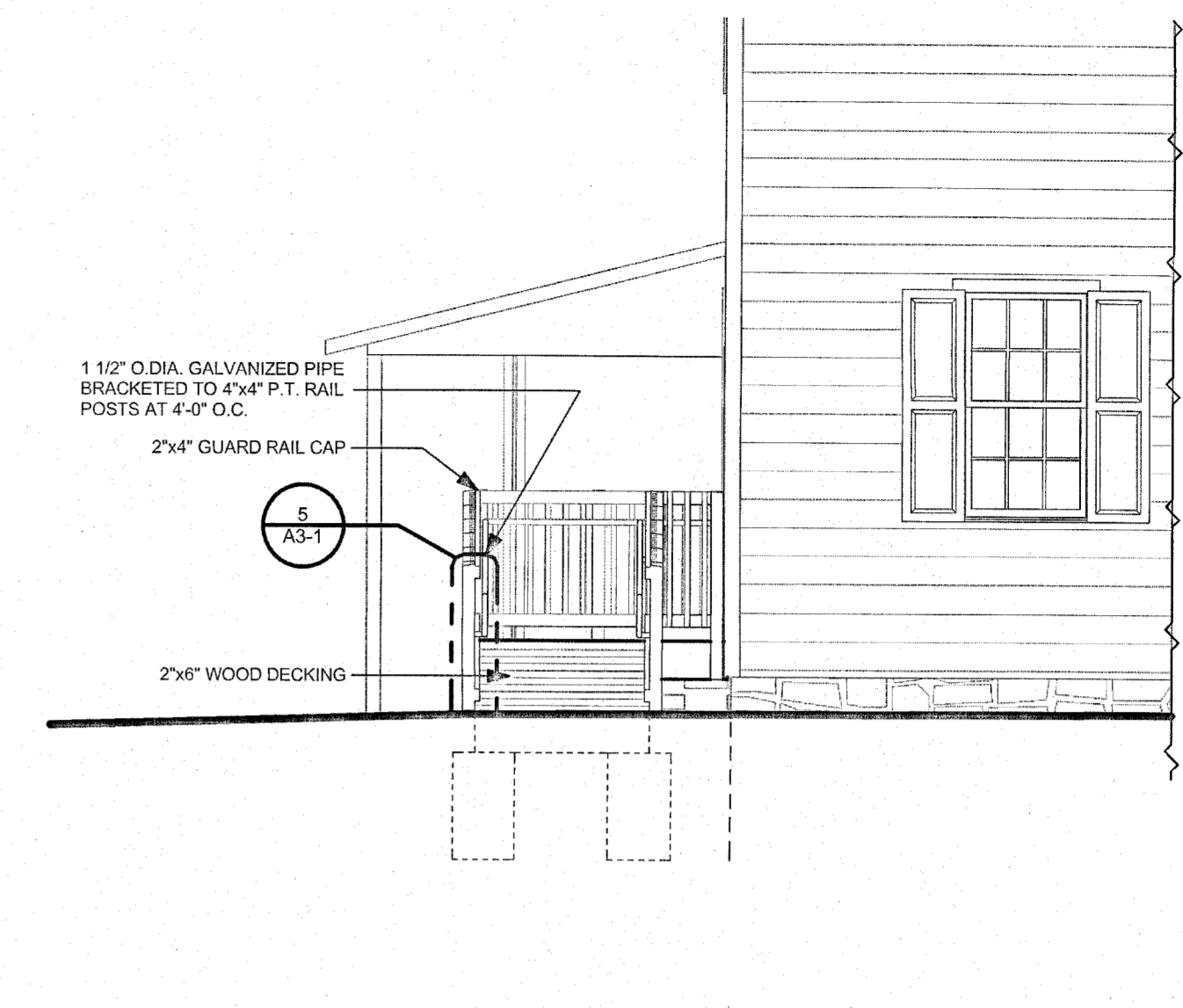
 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677 F 410-435-6868 www.PenzaBailey.com	 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland	DATE APPROVED	POOLE - GENERAL STORE & RESIDENCE	REVISED	DATE	STANDARD NO.
		PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901		CHIEF ENGINEER DIRECTOR OF PARKS	CD's	12/04/2007
		REVISION	01/09/2008			
			05/09/2008			



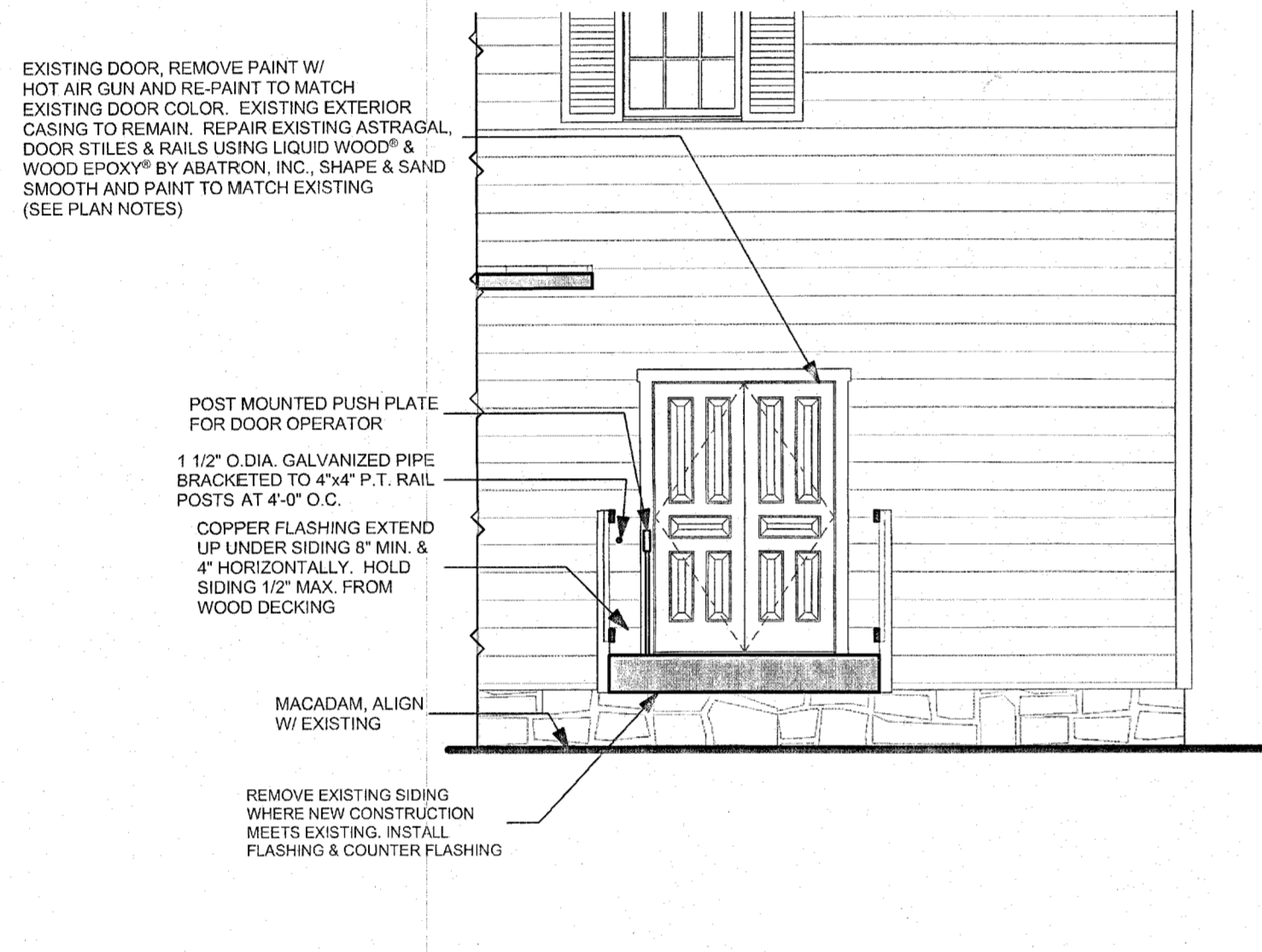
1 SOUTH ELEVATION AT GENERAL STORE
SCALE: 1/4" = 1'-0"



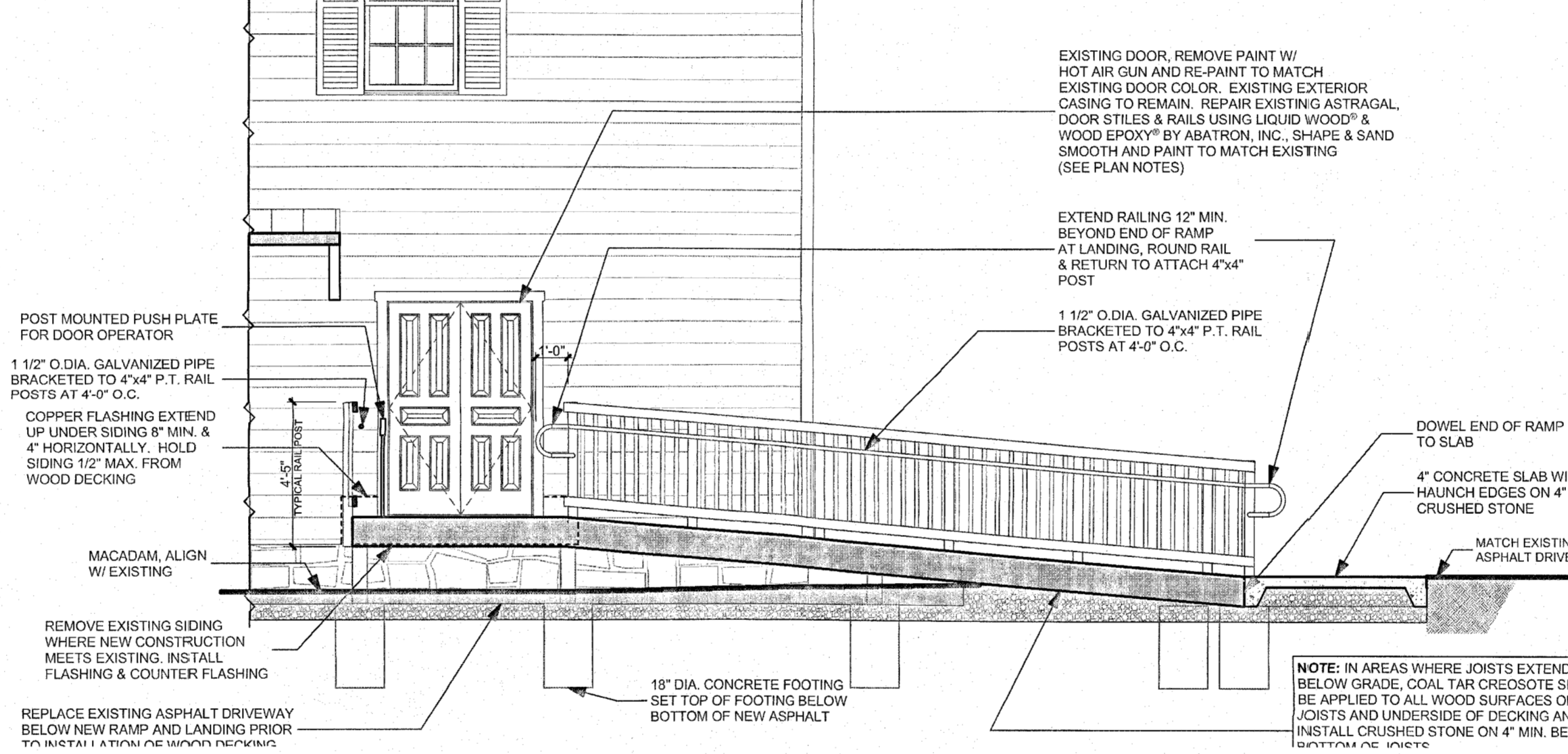
2 EAST ELEVATION AT GENERAL STORE
SCALE: 1/4" = 1'-0"



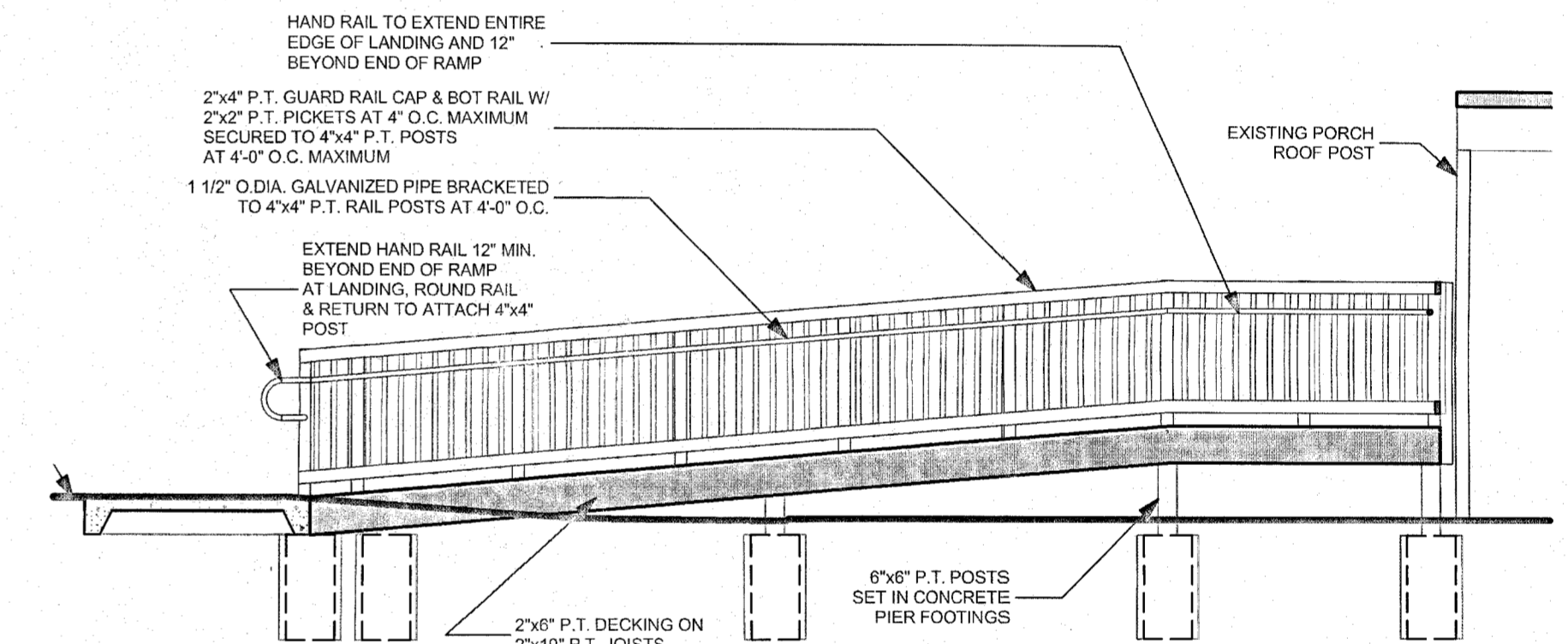
3 NORTH ELEVATION AT GENERAL STORE
SCALE: 1/4" = 1'-0"



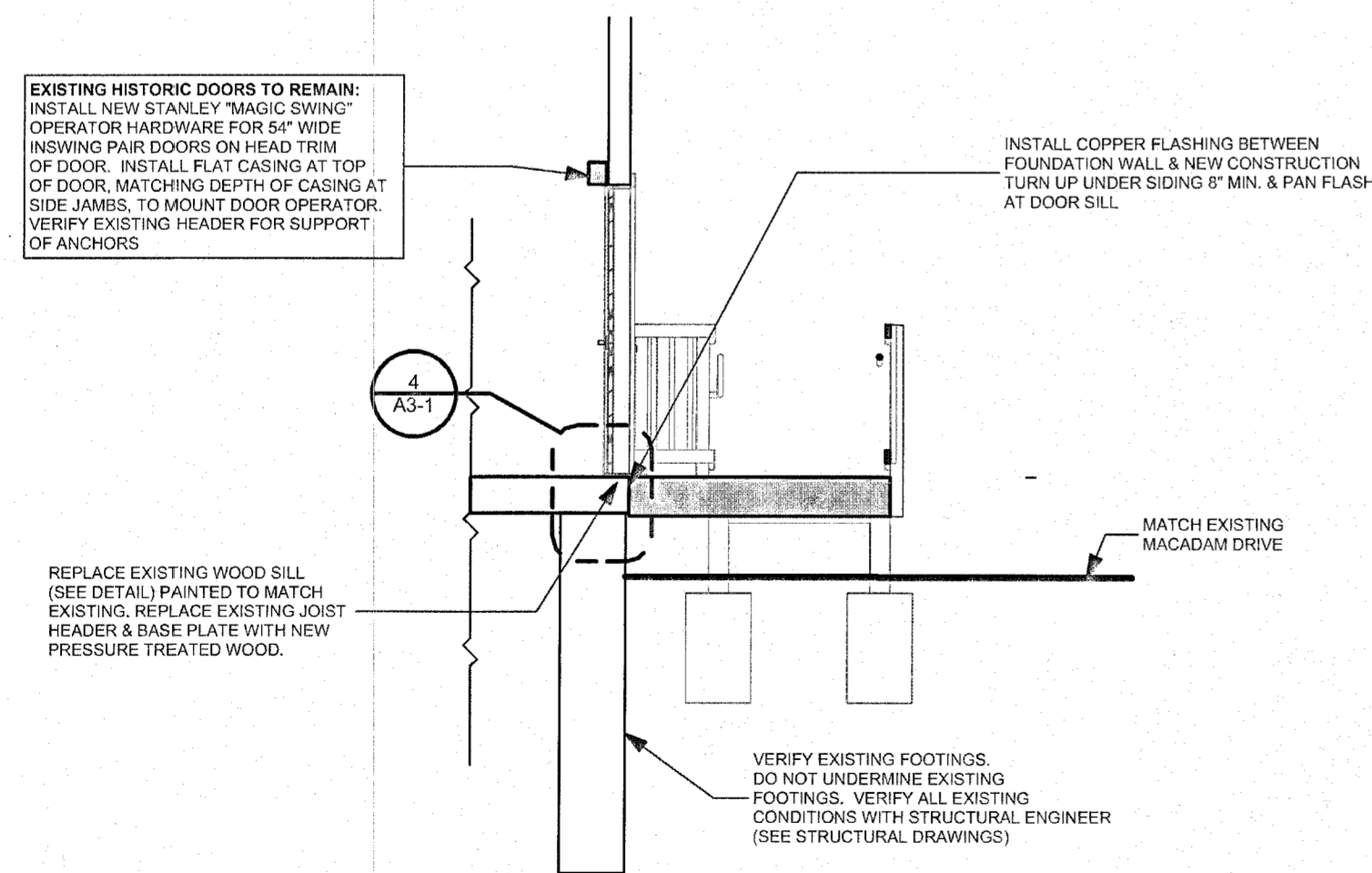
4 SECTION @ GENERAL STORE LANDING
SCALE: 1/4" = 1'-0"



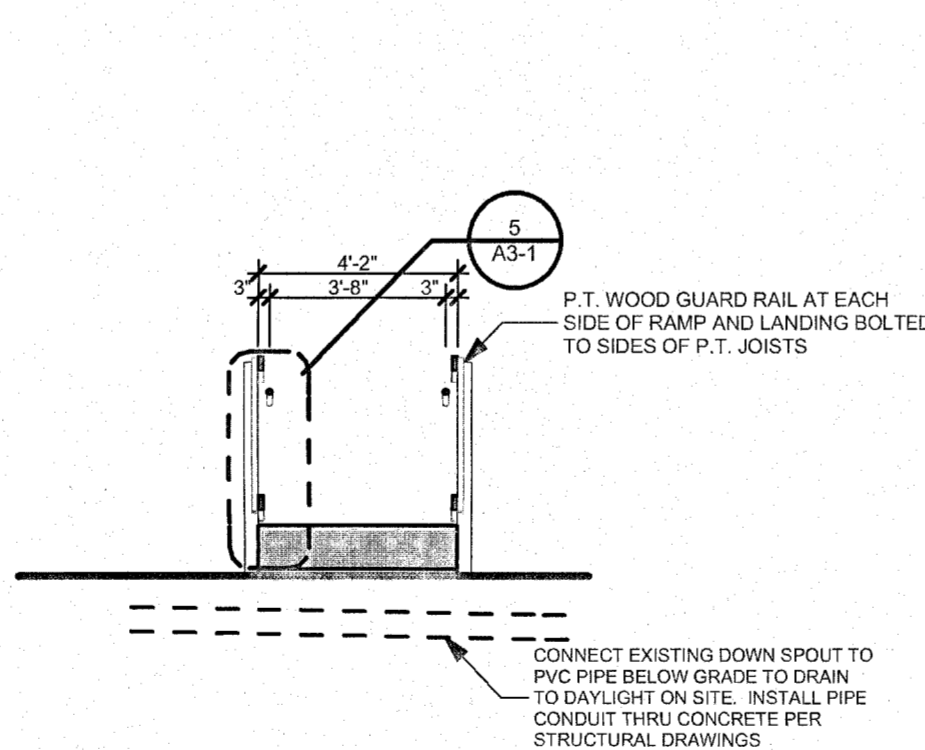
5 SECTION @ GENERAL STORE RAMP
SCALE: 1/4" = 1'-0"



6 SECTION @ GENERAL STORE RAMP EAST
SCALE: 1/4" = 1'-0"



7 SECTION @ GENERAL STORE DOOR
SCALE: 1/4" = 1'-0"

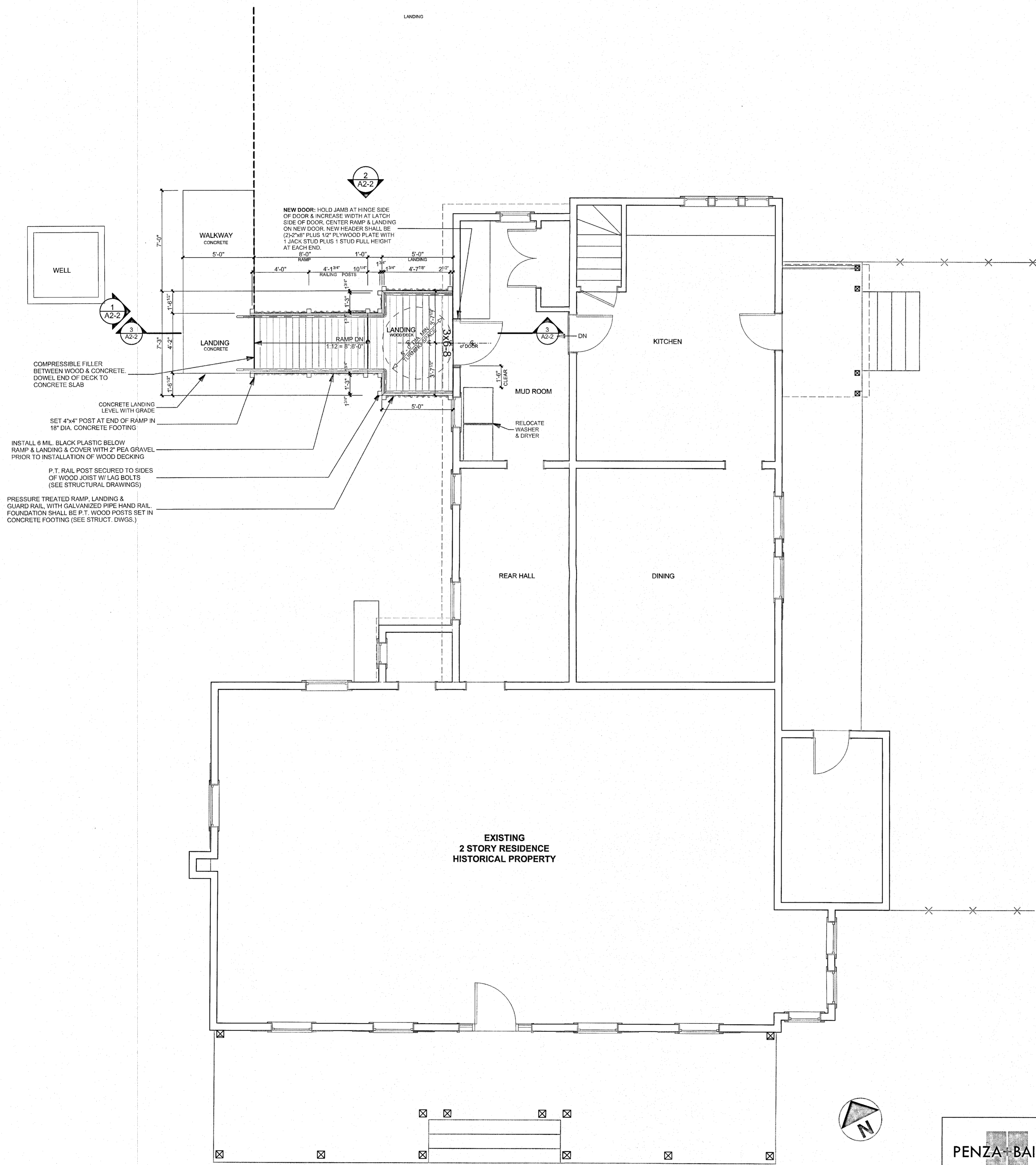


8 SECTION @ GENERAL STORE RAMP
SCALE: 1/4" = 1'-0"

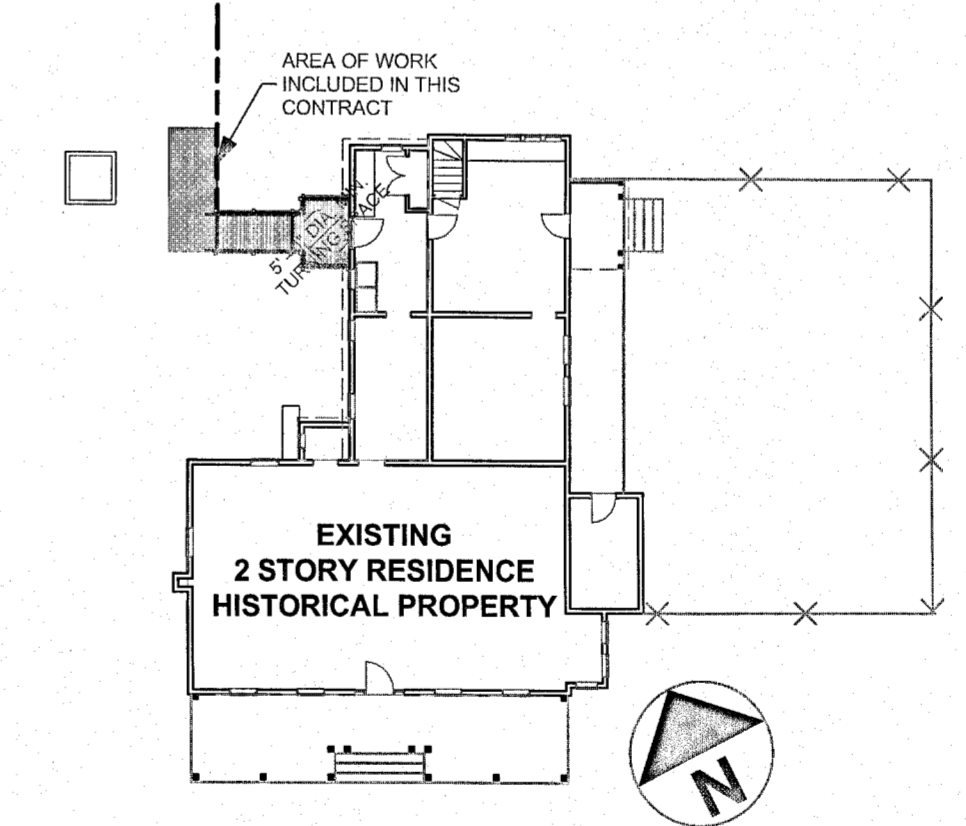
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Montgomery County
Historic Preservation Commission
Calvin Adams 7/7/08

PENZA BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677 F 410-435-6668 www.PenzaBailey.com	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland		POOLE - GENERAL STORE & RESIDENCE		REVISED CD's	DATE 12/04/2007	STANDARD NO. A2-1
	PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED CHIEF ENGINEER DIRECTOR OF PARKS	REVISED 12/06/2007 01/09/2008	REVISION 05/09/2008			



1 FIRST FLOOR PLAN AT RESIDENCE
SCALE: 1/4" = 1'-0"

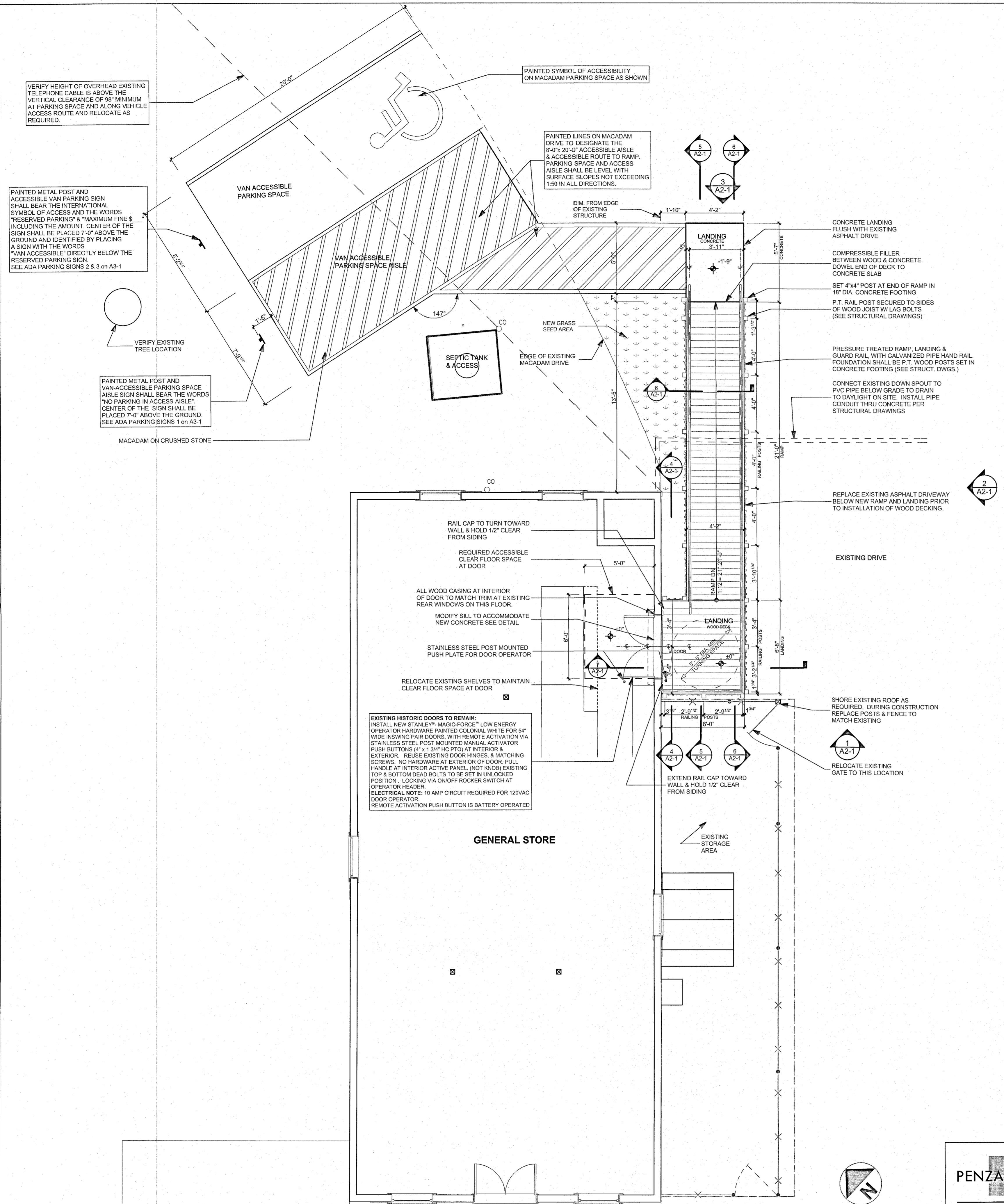


2 KEY PLAN
SCALE: 1" = 20'

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[Signature] 7/7/08

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	PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED CHIEF ENGINEER DIRECTOR OF PARKS	POOLE - GENERAL STORE & RESIDENCE		



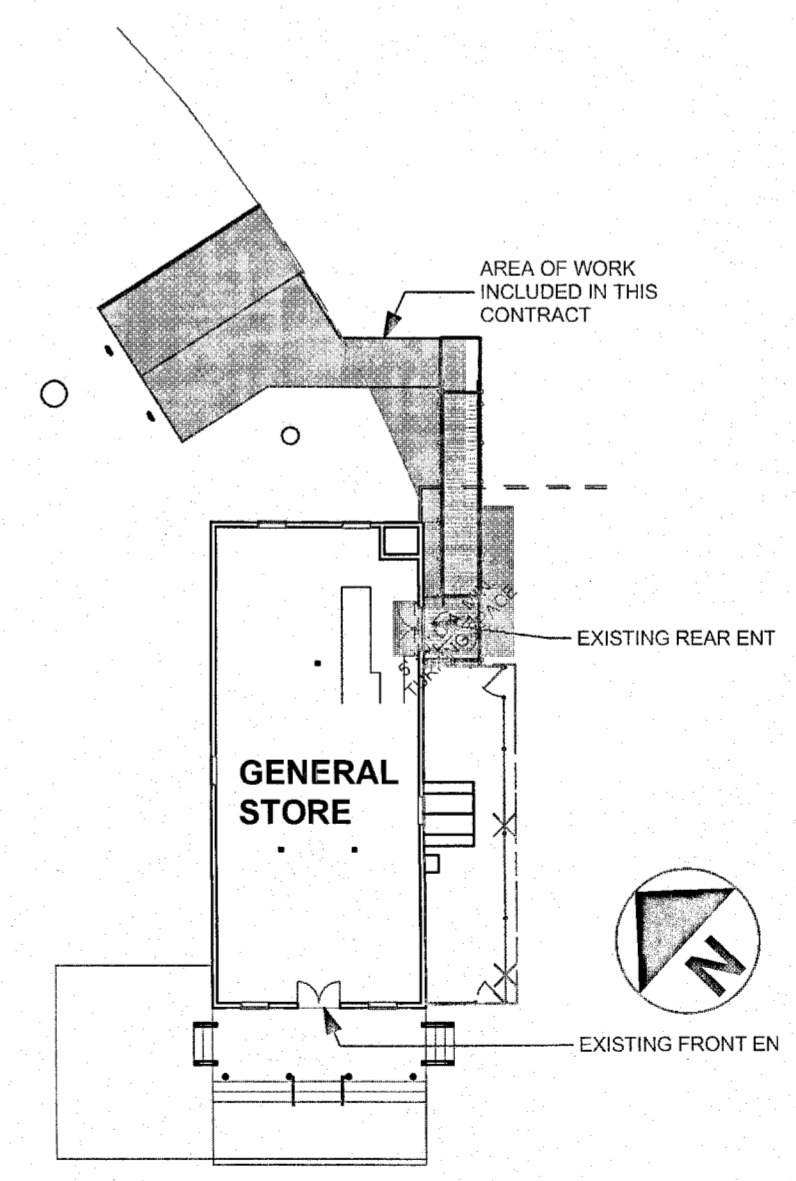
1 FIRST FLOOR AT GENERAL STORE
SCALE: 1/4" = 1'-0"

GENERAL PROJECT NOTES

- COMPLY WITH INTERNATIONAL BUILDING CODE AND ALL LOCAL REGULATIONS PERTAINING TO THE WORK. ALL WORK SHALL BE ACCESSIBLE PER FEDERAL "AMERICANS WITH DISABILITIES ACT" (ADA) (ADAAG GUIDELINES).
- PROPERTY IS A HISTORICAL PROPERTY AND SHALL COMPLY WITH MONTGOMERY COUNTY CODE - CHAPTER 24A - HISTORIC RESOURCES PRESERVATION AND REQUIRES A HISTORIC AREA WORK PERMIT.
- HISTORIC PROPERTY IS TO COMPLY WITH ADA - AMERICANS WITH DISABILITIES ACT. IT IS THE INTENT OF THE OWNER TO PRESERVE HISTORIC CHARACTER OF THE GENERAL STORE AND THE PAIR OF HISTORIC DOORS AT THE NEW RAMP AND COMPLY WITH ADA AND BY DOING SO, THIS DESIGN WITH REGARD TO THIS PAIR OF DOORS WILL MEET THE INTENT OF THE LAW BY INSTALLING A PUSH BUTTON DOOR OPERATOR THAT WILL OPEN AND CLOSE BOTH DOOR LEAFS IN ORDER TO PROVIDE AN ACCESSIBLE ROUTE.
- COORDINATE WORK OF ALL TRADES UNDER THIS CONTRACT, INCLUDING ALL WORK BY OWNER AND OWNER'S SEPARATE CONTRACTORS / VENDORS.
- SAFEGUARD ALL WORK AREAS AGAINST PERSONAL INJURY OR DAMAGE; PROTECT ALL EXISTING FINISHES TO REMAIN, FURNITURE, FIXTURES, EQUIPMENT, AND PERSONAL ITEMS.
- OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THE WORK. SCHEDULE AND ATTEND ALL REQUIRED INSPECTIONS.
- VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE WORK. REQUEST CLARIFICATION OF ALL CONFLICTS PRIOR TO PROCEEDING. THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY REGARDING ANY DIMENSIONAL DISCREPANCIES NOTED ON THE DRAWINGS OR INCURRED DURING THE CONSTRUCTION PROCESS.
- EXTERIOR DIMENSIONS ARE INDICATED FROM EXTERIOR FACE OF SHEATHING OR CMU WALL, OR CONCRETE OR FACE OF EXISTING WALL, UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE INDICATED FROM FACE OF EXTERIOR SHEATHING OR CMU, UNLESS OTHERWISE NOTED.
- ALL CASING AND TRIM TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
- CASED DOOR OPENING SHALL BE LOCATED MINIMUM 4" FROM ADJACENT INTERSECTING WALLS, OR CENTERED BETWEEN WALLS (SUCH AS IN HALLS) TO ALLOW FOR CASING, UNLESS OTHERWISE NOTED. ADAAG REQUIREMENTS TAKE PRIORITY FOR APPROACH TO DOORS.
- CONTRACTOR IS RESPONSIBLE FOR ALL SUBMITTALS AND SHALL PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT, PROFILE, RAILINGS, CONCRETE, REINFORCING AND COLORS REVIEW AND APPROVAL BY OWNER AND ARCHITECT. A MINIMUM OF (4) FOUR COPIES EACH OF SHOP DRAWINGS & SUBMISSIONS OF ALL MATERIALS & PRODUCT SELECTIONS SHALL BE SUBMITTED FOR REVIEW / APPROVAL TO ARCHITECT. ARCHITECT WILL REVIEW AND SIGN ALL SUBMITTALS AND RETURN TO CONTRACTOR WITH A COPY SUBMITTED TO OWNER.
- COMPLETE ALL WORK, READY IN ALL RESPECTS FOR ITS INTENDED USE, ACCEPTABLE TO OWNER.
- VERIFY CONSTRUCTION SCHEDULE AND HOURS OF WORK WITH TENANT AND LANDLORD, PRIOR TO BID SUBMISSION AND SET UP A MEETING WITH THE OWNER AND ARCHITECT FOR REVIEW AND COORDINATION.
- UPGRADE ELECTRIC AS REQUIRED TO MAKE NEW INSTALLATIONS MEET LOCAL CODE AND RELOCATE ALL SERVICE CONNECTIONS NECESSITATED BY NEW CONSTRUCTION.
- COMPLETE ALL WORK, READY IN ALL RESPECTS FOR ITS INTENDED USE, ACCEPTABLE TO OWNER.
- COORDINATE RELOCATING OF EXISTING SHELVES WITH TENANT & OWNER.
- PRESSURE TREATED WOOD SHALL BE WOLMANIZED® PRESSURE TREATED WOOD WITH THE PROPER RETENTION (CA-B) FOR ITS INTENDED APPLICATION.
- ALL HANGERS, NAILS AND BOLTS SHALL BE DOUBLE DIPPED GALVANIZED, OR STAINLESS STEEL. DECKING SHALL BE BLIND NAILED/ANCHORED USING STAINLESS STEEL SCREWS.
- OWNER'S DECISION TO USE PRESSURE TREATED WOOD FOR RAMPS, LANDINGS AND RAILS SHALL BE DEEMED THE OWNER'S RESPONSIBILITY, AND HOLD PENZA BAILEY ARCHITECTS AND KCI TECHNOLOGIES HARMLESS, FOR MAINTENANCE, DEGRADATION OF THE MATERIALS, INJURY DUE TO SPLINTERS AND CAUSTIC SUBSTANCES USED IN THE PRESSURE TREATING AND PRESERVATION OF THE MATERIALS.

ELECTRICAL NOTES

- ALL ELECTRICAL WORK TO CONFORM TO N.E.C. AND LOCAL CODE REQUIREMENTS. RECESSED LIGHT FIXTURES SHALL HAVE INSULATED HOUSINGS AS REQUIRED TO MEET CODE.
- CONTRACTOR SHALL EXAMINE THE DRAWINGS AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS PRIOR TO BID SUBMISSION. ALL ELECTRICAL CONNECTIONS TO EXISTING ELECTRICAL PANELS SHALL BE VERIFIED FOR CONNECTION OF FIXTURES, SWITCHES, OUTLETS AND CONDUITS AND BE COORDINATED WITH ALL EXISTING AND PROPOSED, ELECTRICAL, PLUMBING, MECHANICAL, FIRE SUPPRESSION, & STRUCTURAL CONDITIONS, PRIOR TO CONSTRUCTION.



2 KEY PLAN
SCALE: 1" = 20'

APPROVED
Montgomery County
Historic Preservation Commission
S. M. Miller 7/7/09

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

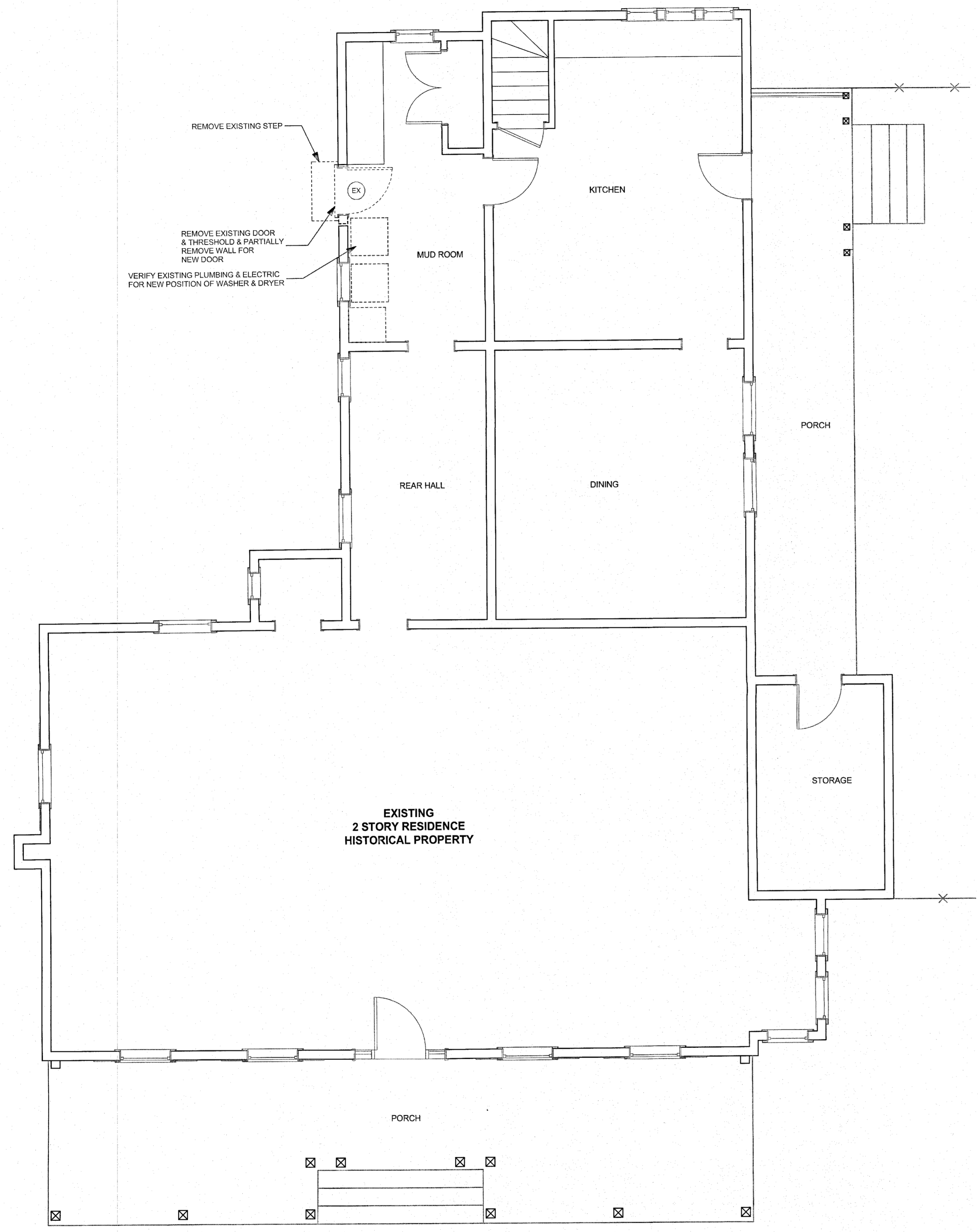
PARK DEVELOPMENT DIVISION

DATE APPROVED _____
CHIEF ENGINEER _____
DIRECTOR OF PARKS _____

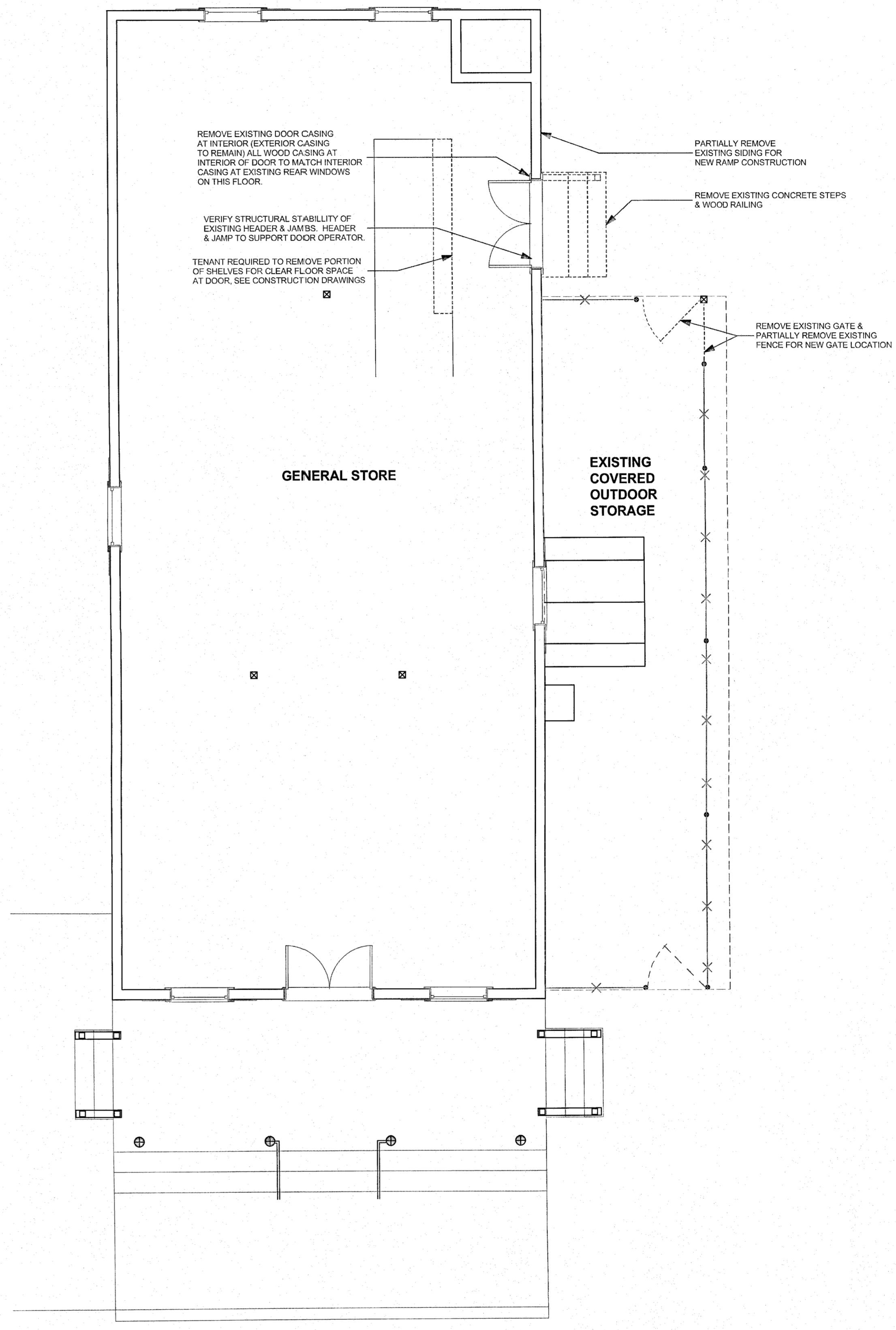
POOLE - GENERAL STORE & RESIDENCE		REVISED	DATE	STANDARD NO.
CD's	12/04/2007			A1-1
REVISED	12/08/2007			
REVISION	05/09/2008			

DEMOLITION NOTES

1. REMOVE EXISTING CONSTRUCTION AS INDICATED FOR NEW WORK. MOVE SALVAGED ITEMS TO OWNER'S STORAGE, OR DISPOSE OFF-SITE, AS DIRECTED BY OWNER. ACCUMULATION OF TRASH ON-SITE MUST BE COORDINATED WITH THE OWNER.
2. REMOVE ENTIRELY CONSTRUCTION TO BE REMOVED. REPAIR EXISTING SUBSTRATES TO RECEIVE NEW WORK. MINIMIZE DAMAGE TO EXISTING CONSTRUCTION THAT WILL REMAIN.
3. ALL EXISTING CONSTRUCTION TO REMAIN THAT HAS BEEN AFFECTED OR EXPOSED BY DEMOLITION, SHALL BE REPAIRED AND REFINISHED TO MATCH ORIGINAL FINISH.
4. FURNITURE AND EQUIPMENT: MOVE AS NEEDED, SALVAGE OR DISPOSE OF, AS DIRECTED BY OWNER. PROTECT ALL ITEMS TO BE RE-USED OR SALVAGED.
5. SECURITY, TELEPHONE, DEVICES AND WIRING: DISCONNECT AS REQUIRED. RELOCATE, SALVAGE FOR OWNER, OR DISPOSE, AS DIRECTED BY OWNER. MAINTAIN ALL SERVICES TO REMAIN IN FULLY OPERATIONAL CONDITION. REMOVE ALL ABANDONED WIRING.
6. PROVIDE TEMPORARY SHORING AS REQUIRED TO SUPPORT FLOORS, WALLS, ROOFS & GIRDERS.
7. SAVE ALL TRIM & HARDWARE FOR RE-USE IN NEW CONSTRUCTION. REMOVE SURROUNDING CASINGS AND PREPARE FOR REPLACEMENT AS SPECIFIED ON CONSTRUCTION DOCUMENTS.
8. RE-USE EXISTING DOORS AS REQUIRED AND REMOVE ALL PAINT TO BARE WOOD WITH HOT AIR GUN. READY FOR NEW PAINT AND HARDWARE. CHEMICAL PAINT STRIPPING IS NOT PERMITTED, AND SHALL ONLY BE APPROVED BY OWNER & ARCHITECT.
9. VERIFY ALL EXISTING FOOTING LOCATIONS AND COORDINATE WITH STRUCTURAL & ARCHITECTURAL DRAWINGS. VERIFY UNUSUAL CONDITIONS WITH ARCHITECT AND ENGINEER FOR COORDINATION.



2 FIRST FLOOR DEMOLITION AT RESIDENCE
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR DEMOLITION AT GENERAL STORE
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Carol M. ... 7/7/06

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PARK DEVELOPMENT DIVISION
9500 BRUNETT AVENUE
SILVER SPRING, MD 20901

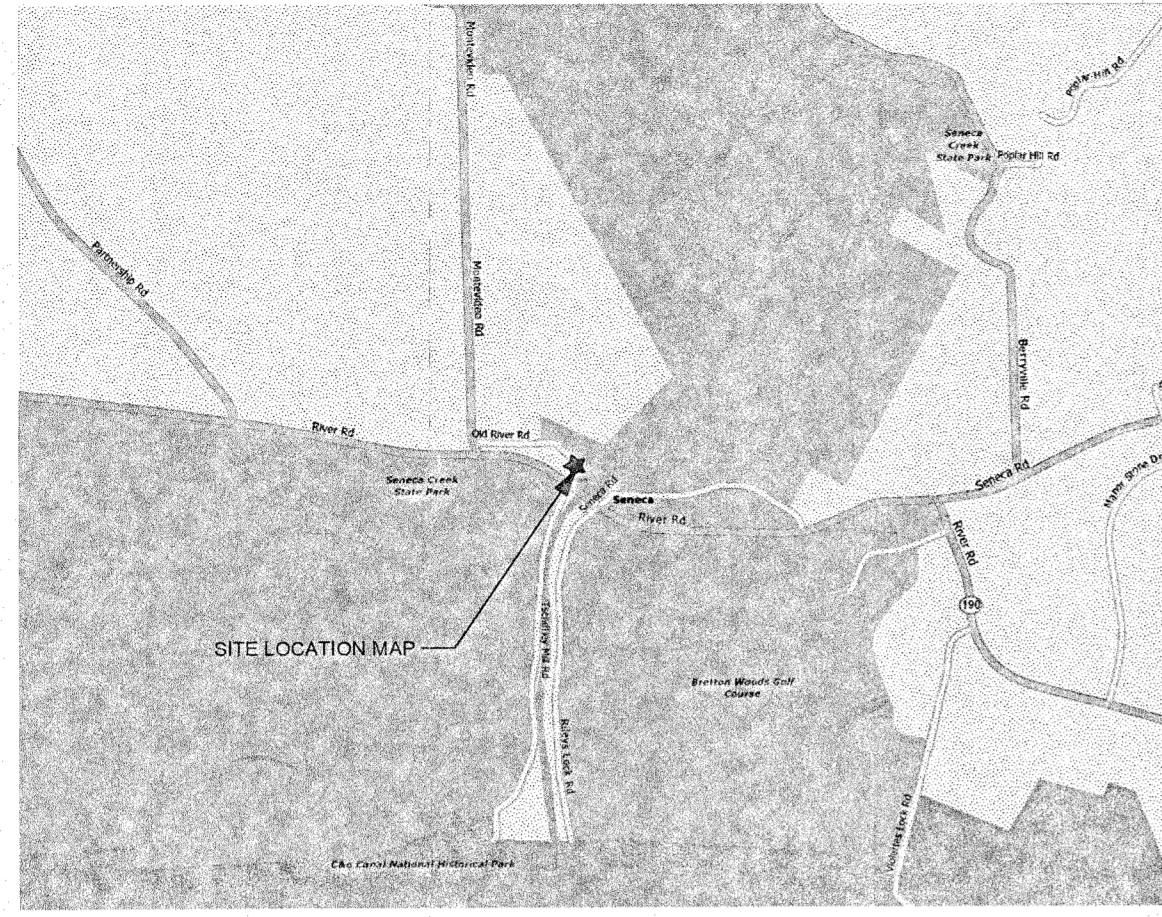
DATE APPROVED _____
CHIEF ENGINEER _____
DIRECTOR OF PARKS _____

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

POOLE - GENERAL STORE & RESIDENCE

REVISION	DATE	STANDARD NO.
CD's	12/04/2007	D1-1
REVISED	12/08/2007	
REVISION	01/09/2008	

SITE LOCATION MAP NOT TO SCALE



BUILDING DATA

OWNER: MARYLAND-CAPITAL PARKS & PLANNING COMMISSION
PROJECT ADDRESS: 16401 OLD RIVER ROAD DRIVE POOLESVILLE, MARYLAND 20837
Jurisdiction: MONTGOMERY COUNTY DEPARTMENT OF PARKS & PLANNING
Applicable Codes: 2003 IBC, 2003 IRC, NFPA-101 2003
Use Group: HISTORIC PROPERTIES GENERAL STORE = EXEMPT COMMERCIAL RESIDENCE - RESIDENTIAL

ABBREVIATIONS ARCHITECTURAL DRAWINGS ONLY

Table of architectural abbreviations with columns for symbol, name, and description. Includes terms like AT NUMBER, POOL, AREA, ANCHOR BOLT, etc.

RENOVATIONS TO POOLE PROPERTY GENERAL STORE & RESIDENCE 16401 OLD RIVER ROAD POOLESVILLE, MARYLAND 20837

OWNER: MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
ARCHITECT: PENZA BAILEY ARCHITECTS
STRUCTURAL & CIVIL: KCI TECHNOLOGIES

SYMBOLS ARCHITECTURAL DRAWINGS ONLY

Table of architectural symbols including room names, door numbers, window types, and elevation markers.

MATERIALS ARCHITECTURAL DRAWINGS ONLY

Table of material symbols for timber, brick, stone, insulation, and other building materials.

DRAWING INDEX

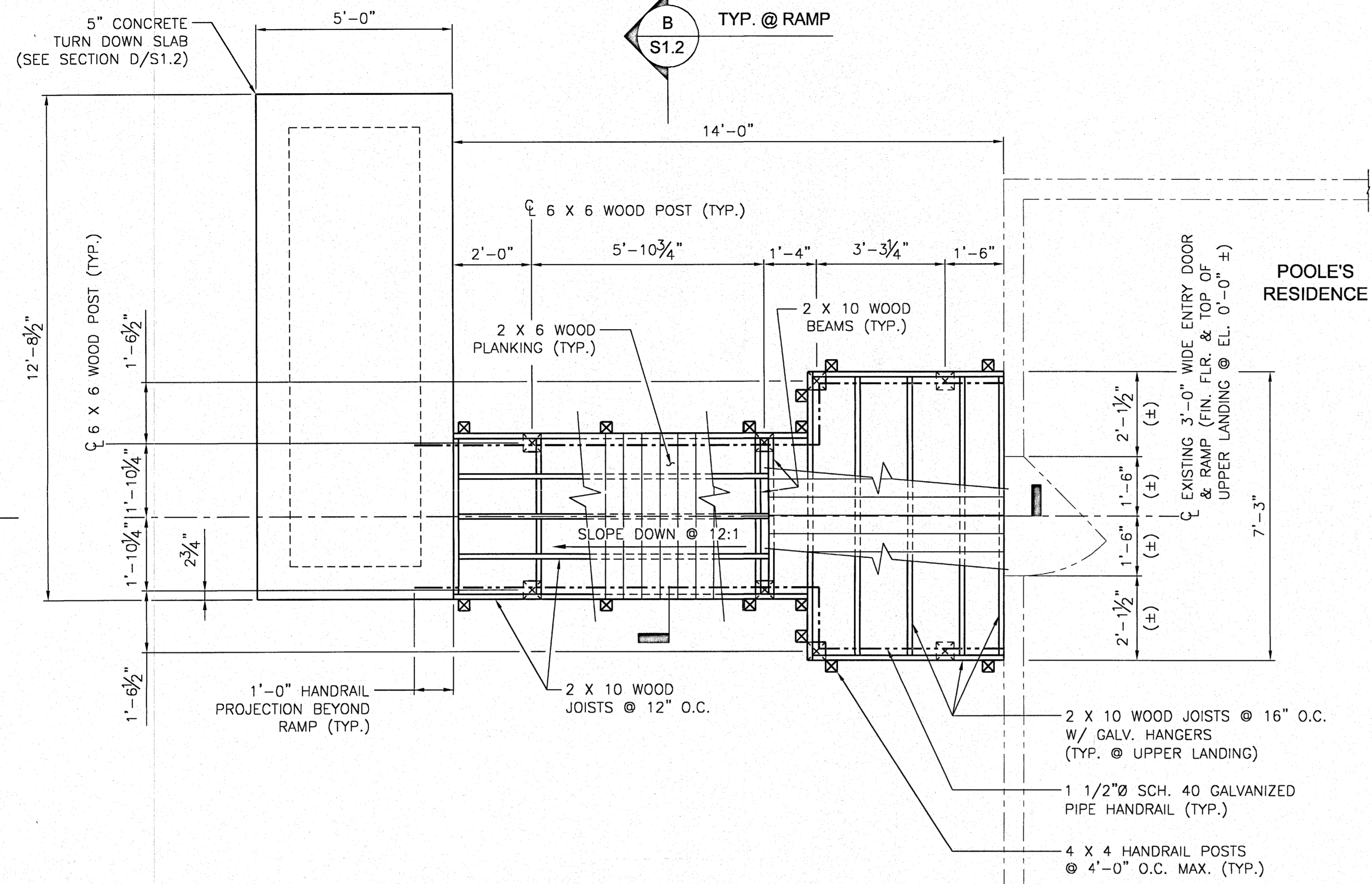
Index table listing architectural drawings (G1-1, D1-1, A1-1, etc.) and structural drawings (S1-1, S1-2, etc.) by KCI Technologies.

Project note: This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

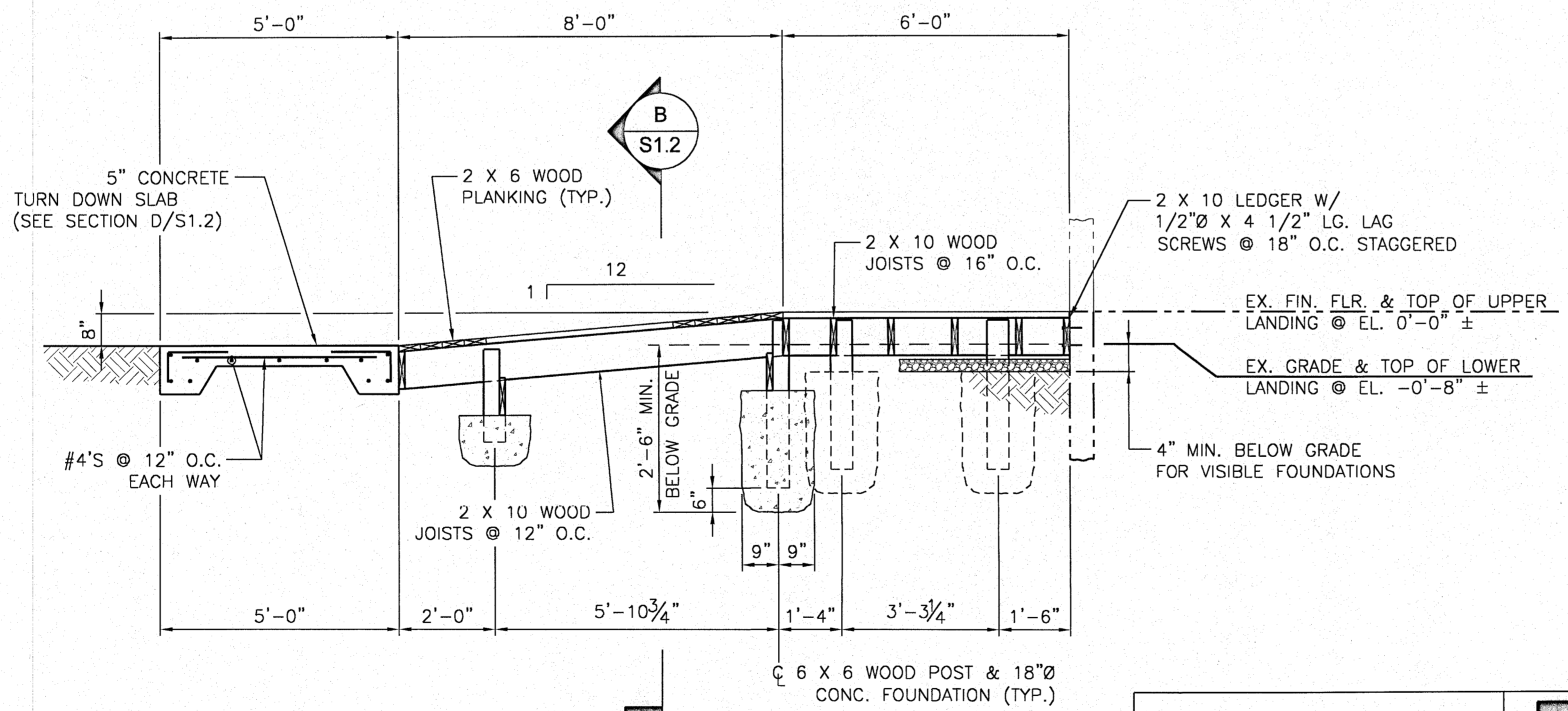
APPROVED Montgomery County Historic Preservation Commission stamp dated 7/7/09.

Professional stamps for Penza Bailey Architects and The Maryland-National Capital Park and Planning Commission, including approval dates and revision records.

Vertical text: NOT FOR CONSTRUCTION



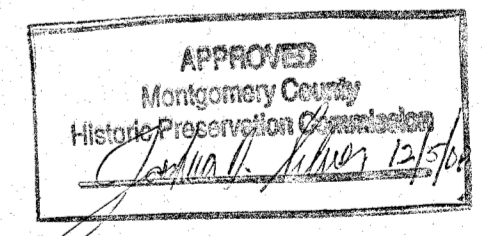
PLAN @ HANDICAP RAMP
SCALE: 1/2" = 1'-0"



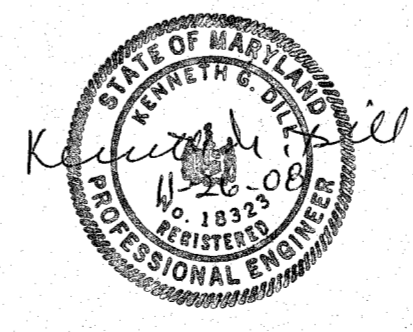
SECTION THRU RAMP
SCALE: 1/2" = 1'-0"

CODE ANALYSIS			
IBC-2006 and NFPA 101-2006	Existing Bldg.	Existing Space	Proposed Space Changes & Alter.
IBC Use group Classification(s)	M, R-3	M, R-3	M, R-3
NFPA101 Occupancy Classification(s)	MERCHANT, RESIDENTIAL & MISCELLANEOUS	MERCHANT, RESIDENTIAL & MISCELLANEOUS	MERCHANT, RESIDENTIAL & MISCELLANEOUS
Separated Mixed Use per IBC/NFPA	Y	Y	Y
Construction Type per IBC-2006	IV	IV	IV
Number of Stories above grade:	2	1ST FLOOR	1ST FLOOR
High Rise (Y/N)	N	N	N
Fire Alarm System (Y/N)	N	N	N
Fully Sprinkled & Monitored (Y/N)	N	N	N
Total Building Area (SF)	3,000	N/A	364
Floor Area of Renovation/Tenant Space (SF)	N/A	N/A	N/A

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

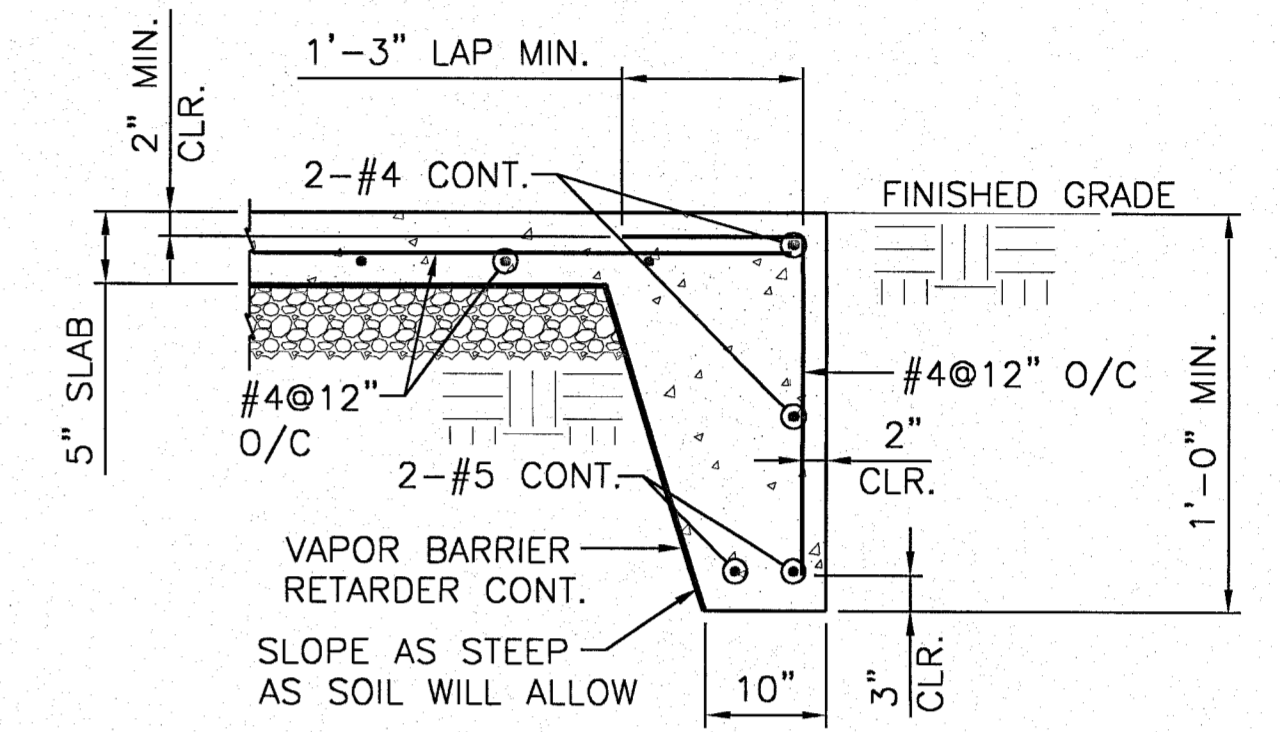
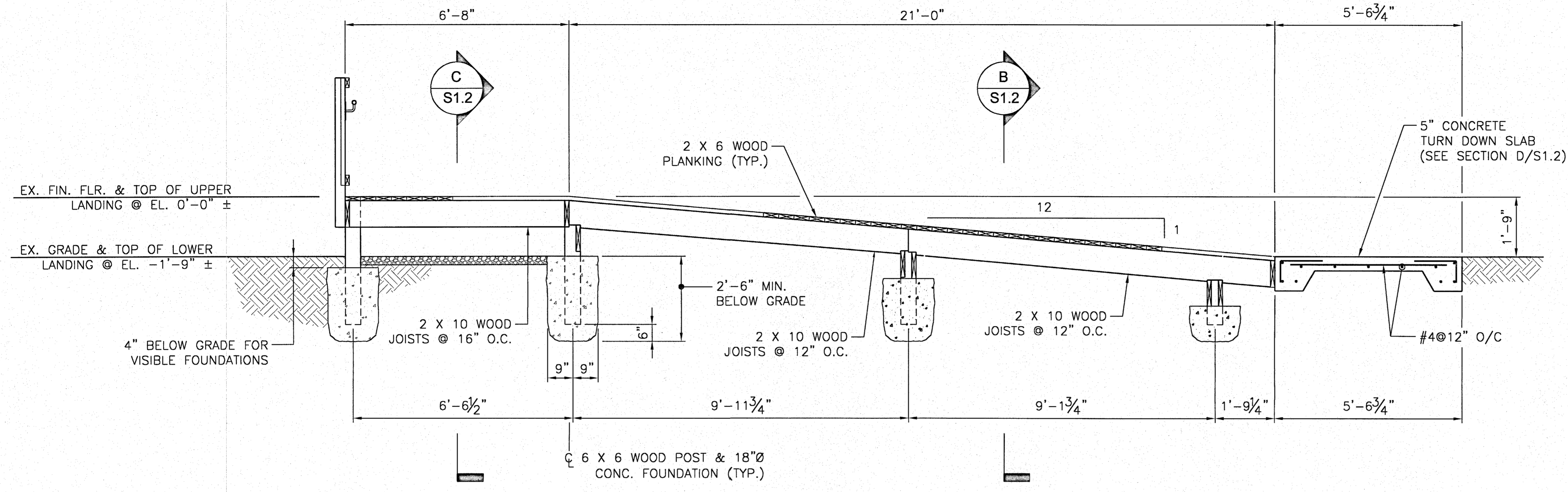


"PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18223, EXPIRATION DATE: 07-05-2009."



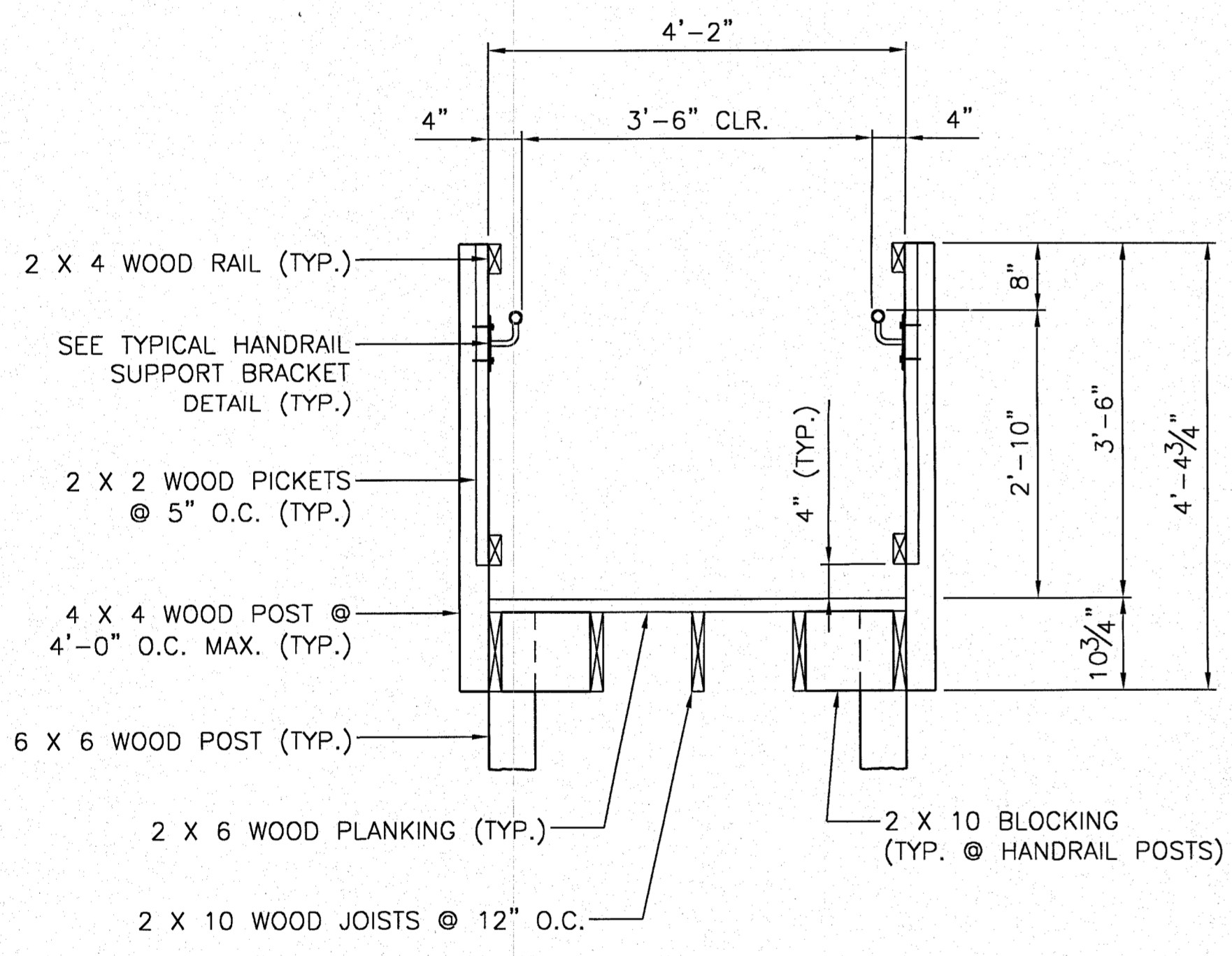
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED	M-NCPPC POOLE - GENERAL STORE & RESIDENCE	REVISED	DATE	STANDARD NO.
	CHEF ENGINEER		DD-REVIEW	05/28/2008	
DIRECTOR OF PARKS		PLAN & NOTES	S1.3		

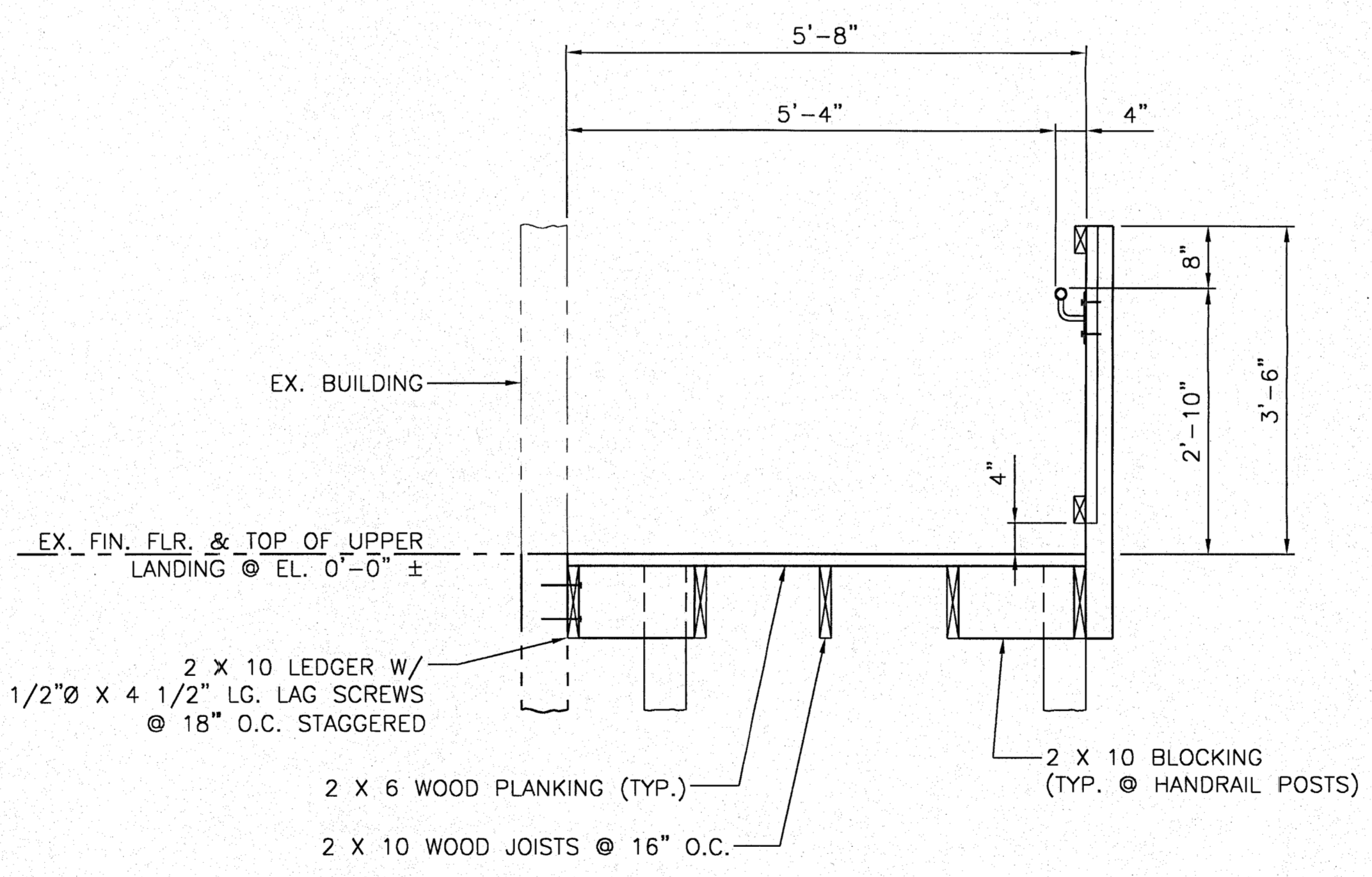


SECTION THRU RAMP
SCALE: 1/2" = 1'-0"
A
S1.2

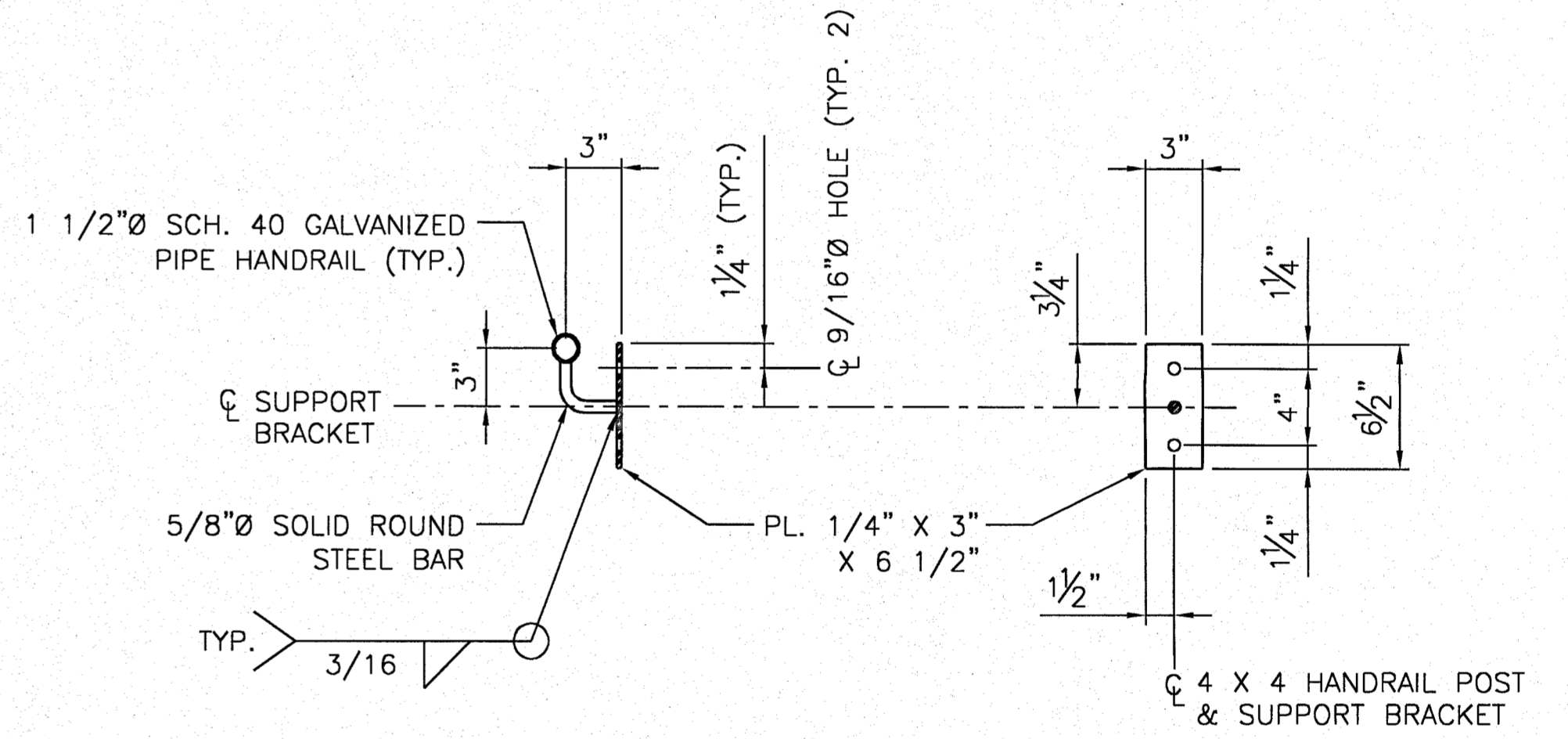
SECTION @ TURN DOWN SLAB
NOT TO SCALE
D
S1.2



TYPICAL SECTION THRU RAMP
SCALE: 3/4" = 1'-0"
B
S1.2

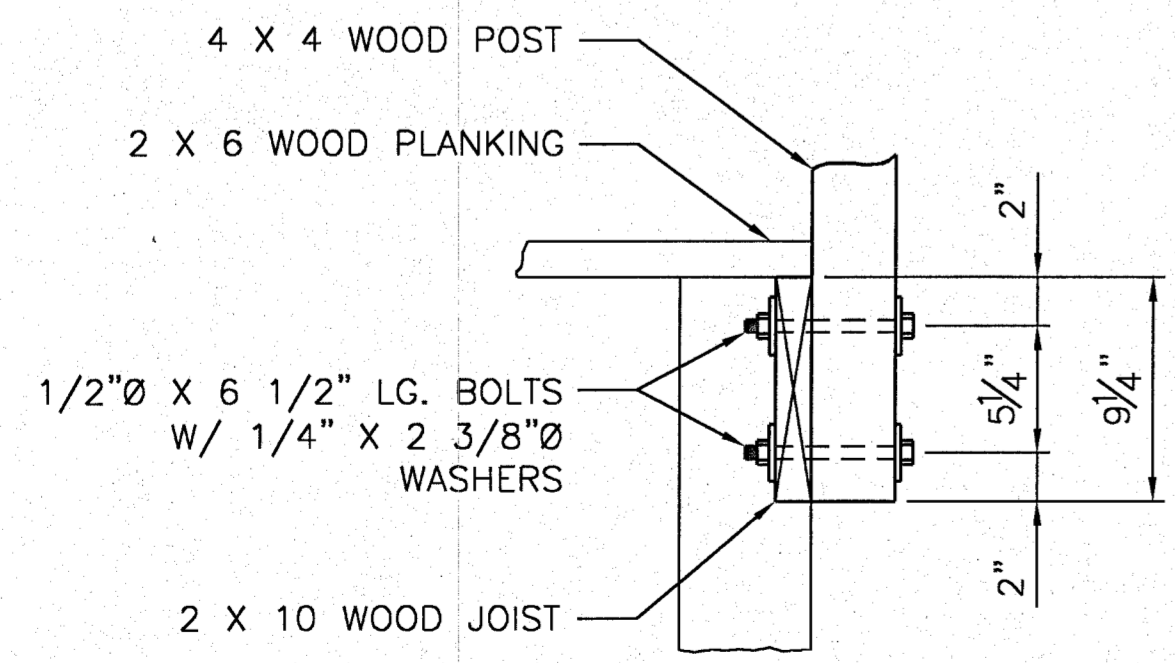


SECTION @ UPPER LANDING
SCALE: 3/4" = 1'-0"
C
S1.2



TYPICAL HANDRAIL SUPPORT BRACKET DETAIL
SCALE: 1 1/2" = 1'-0"

NOTE: CONTRACTOR TO ATTACH BRACKET TO 4 X 4 HANDRAIL POST W/ 1/2"Ø X 2 1/2" LG. LAG SCREWS.

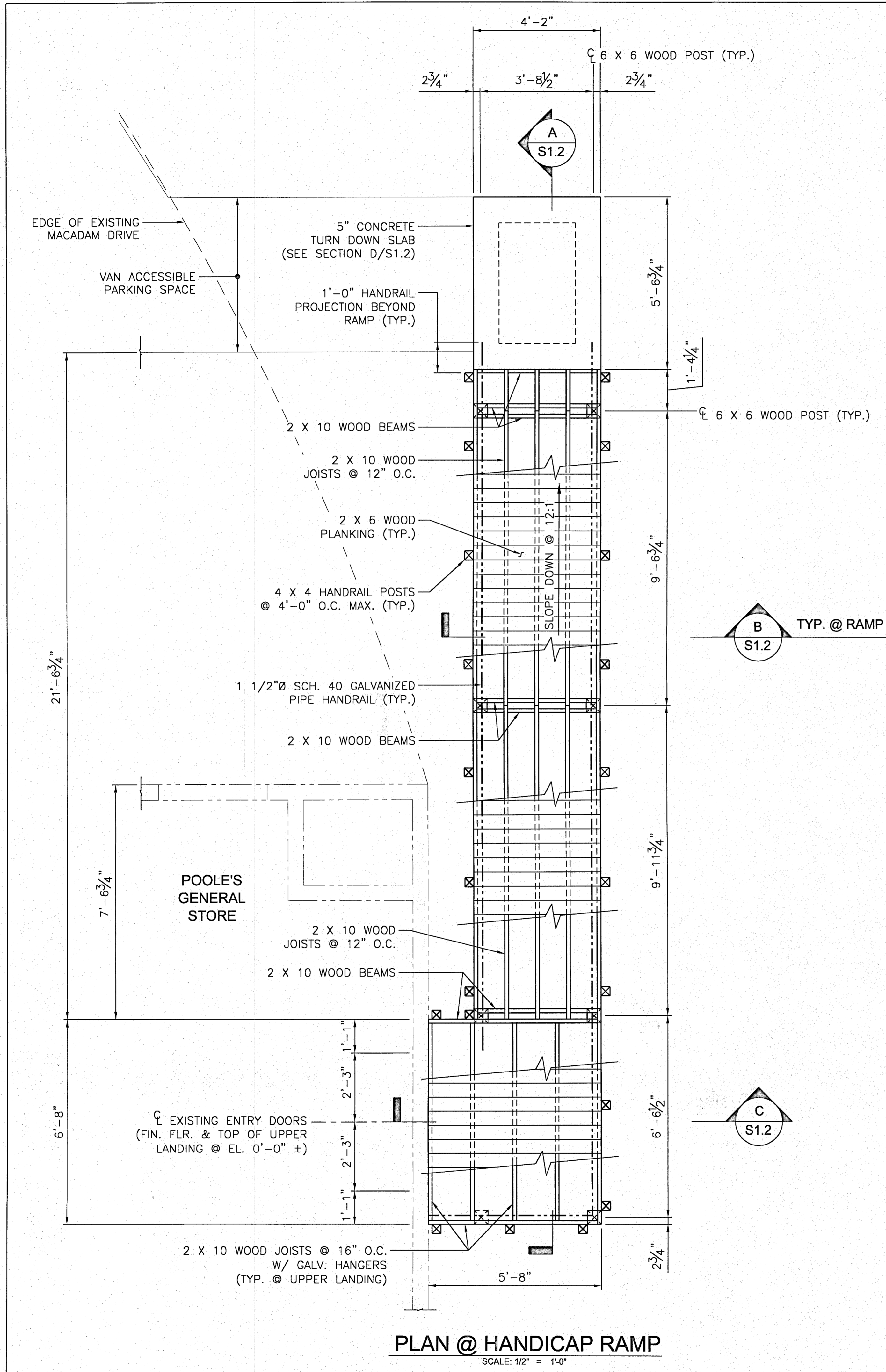


TYPICAL HANDRAIL POST CONNECTION DETAIL
SCALE: 1 1/2" = 1'-0"

*PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 17223 EXPIRATION DATE: 02-02-2009

APPROVED
Montgomery County
Professional Engineer
Charles Allen 12/5/08

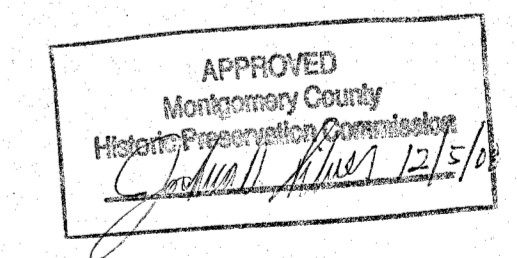
		THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland			
		PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED CHIEF ENGINEER DIRECTOR OF PARKS	M-NCPPC POOLE - GENERAL STORE & RESIDENCE SECTIONS & DETAILS	REVISED DD-REVIEW DATE 05/12/2008



GENERAL STRUCTURAL NOTES:

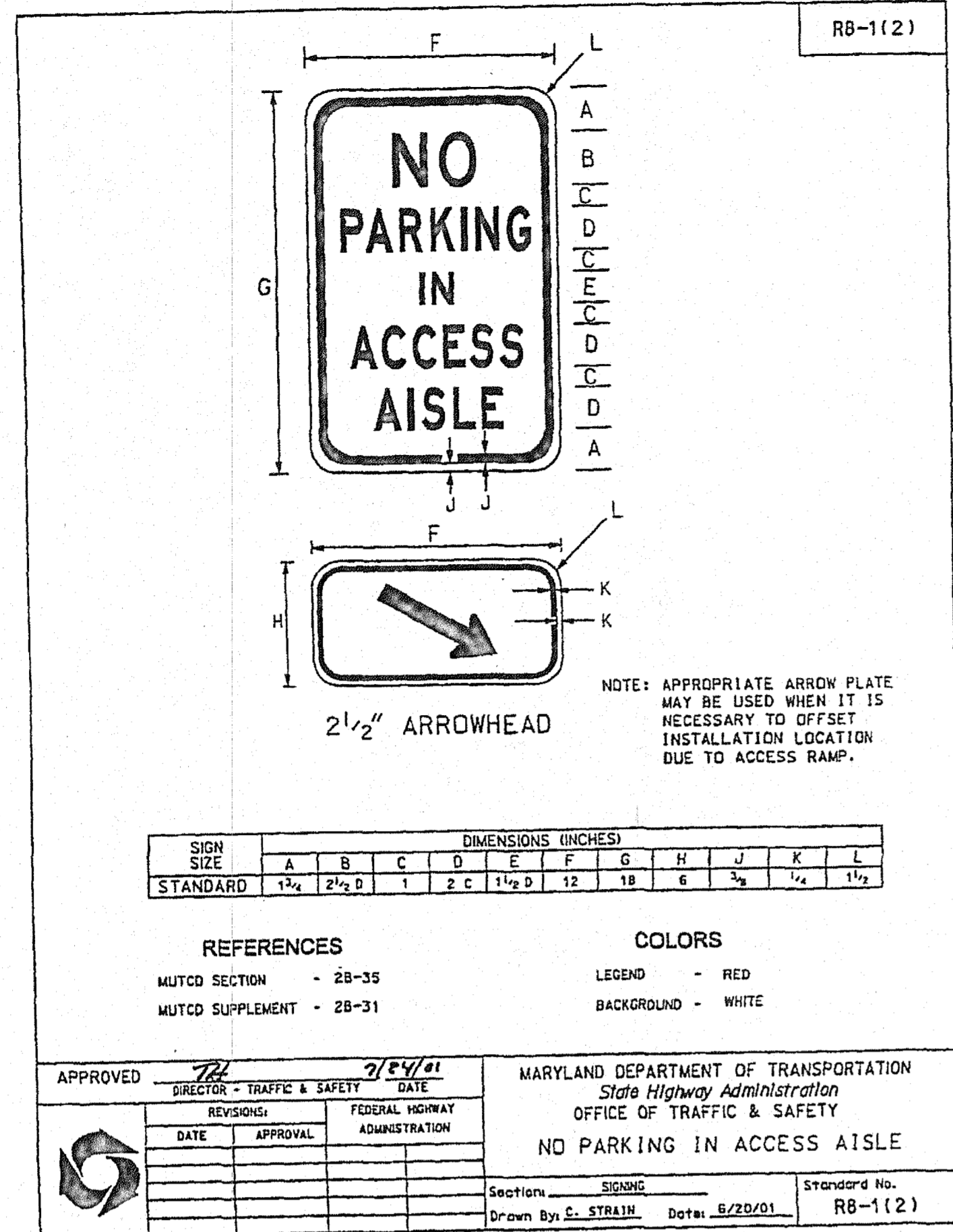
- BUILDING CODES:**
 - ALL CONSTRUCTION SHALL CONFORM WITH THE 2006 IBC BUILDING CODE AND ALL SUBSEQUENT SUPPLEMENTS.
 - IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE.
- DESIGN LOADS:**
 - THE DESIGN DEAD LOADING FOR ALL RAMPS IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS.
 - THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW RAMPS SHALL BE AS FOLLOWS:
LIVE LOAD 100 PSF
 - THE CONTRACTOR SHALL NOT STORE ANY CONSTRUCTION MATERIALS OR UNDERTAKE ANY CONSTRUCTION OPERATION WHICH WILL EXCEED THE DESIGN LIVE LOADINGS NOTED.
- MISCELLANEOUS:**
 - SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
 - SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
 - END CAPS SHALL BE PLACED AT ALL LOCATIONS WHERE THE HANDRAIL SYSTEM IS TERMINATED. A 1/4" DIA. WEEP HOLE SHALL BE DRILLED INTO THE UNDERSIDE OF THE HANDRAIL NEAR ALL TERMINATION POINTS. FINISHED HANDRAIL SYSTEM SHALL BE SMOOTH AND FREE FROM ANY BURRS OR IRREGULARITIES.
- EXISTING STRUCTURE:**
 - ALL EXISTING PLANS, DETAILS, DIMENSIONS, AND ELEVATIONS INDICATE EXISTING CONDITIONS AS KNOWN. THE EXISTING INFORMATION SHOWN IS NOT INTENDED TO BE "AS BUILT" AND THE ACTUAL CONSTRUCTION MAY DIFFER FROM THAT SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION. MINOR VARIATIONS CAN BE EXPECTED AND ANY REQUIRED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM. SHOULD DAMAGE OCCUR TO ANY UTILITIES, THE CONTRACTOR IS REQUIRED TO REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER AT HIS OWN EXPENSE.
 - THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION. THE DESIGN OF ALL TEMPORARY BRACING AND SHORING IS THE CONTRACTOR'S RESPONSIBILITY.
 - THE CONTRACTOR SHALL MONITOR THE EXISTING STRUCTURE DURING CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF AREAS EXHIBITING DISTRESS OR FAILURE.
 - THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND CONDITION OF ALL EXISTING FRAMING. SHOULD THE SIZE OR CONDITION OF THE EXISTING FRAMING DIFFER FROM THAT SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- FOUNDATIONS:**
 - THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE FOR FROST PROTECTION.
 - ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THE ALLOWABLE SOIL BEARING PRESSURE SHALL BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACING FOUNDATIONS. SHOULD THE ACTUAL SOIL BEARING PRESSURE BE LESS THAN 2000 PSF, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
 - ALL FILL PLACED UNDER SPREAD FOOTINGS SHALL BE COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698.
 - ALL EXCAVATION AND BACKFILLING OPERATIONS WITHIN THE RAMP FOOTPRINT, INCLUDING ALL COMPACTION TESTS AND INSPECTIONS, SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.
 - ALL EXISTING SOIL CONTAINING GRAVEL, CONSTRUCTION OR DEMOLITION DEBRIS, ORGANIC SUBSTANCES, OR OTHER FOREIGN OBJECTS SHALL BE REMOVED FROM THE REGION WITHIN THE FOOTPRINT OF THE STRUCTURE.
- CAST IN PLACE CONCRETE:**
 - ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)" AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)". IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
 - RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).
 - RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).
 - RECOMMENDED PRACTICE FOR CONCRETE FORMWORK (ACI 347).
 - ALL CONCRETE EXPOSED TO PUBLIC VIEW SHALL CONFORM TO THE REQUIREMENTS FOR ARCHITECTURAL CONCRETE CONTAINED IN ACI 301.
 - ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5% ±1%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1", AND MAXIMUM SLUMP SHALL BE 4". PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C 33.
 - ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 615 GRADE 60. LAP ALL REINFORCING BARS A MINIMUM OF 30 BAR DIAMETERS, UNLESS OTHERWISE INDICATED.
 - ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE CRSI "MANUAL OF STANDARD PRACTICE", ACI 315" DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI SP 66 "DETAILING MANUAL".
 - ALL CONCRETE MIX DESIGNS, INCLUDING CEMENT CONTENT, WATER CEMENT RATIO, FINE AND COARSE AGGREGATE CONTENT AND ALL ADMIXTURES, SHALL BE REVIEWED BY ENGINEER PRIOR TO PLACING FIRST CONCRETE.
 - ALL CONCRETE SHALL BE SAMPLED AND TESTED BY THE TESTING AGENCY. THE CONTRACTOR SHALL NOTIFY THE TESTING AGENCY 48 HOURS PRIOR TO THE PLACING OF ANY CONCRETE.
 - THE CONCRETE STRUCTURE SHALL NOT SUPPORT THE DESIGN LIVE LOAD FOR A MINIMUM OF 28 DAYS AND ALL SHORING AND RESHORING REQUIRED TO SUPPORT THE CONCRETE STRUCTURE DURING CONSTRUCTION SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR. SHOP DRAWINGS, SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF MARYLAND, SHALL BE SUBMITTED FOR REVIEW. SHOP DRAWINGS SHALL INDICATE THE TYPE, EXTENT, SIZE, AND LOCATION OF ALL SHORING AND RESHORING AS WELL AS THE SEQUENCE OF CONSTRUCTION.
 - GROUND BLAST FURNACE SLAG MAY BE USED TO REPLACE UP TO 50 PERCENT OF THE PORTLAND CEMENT IN A CONCRETE MIX, AND FLY ASH OR POZZOLAN MAY BE USED TO REPLACE UP TO 25 PERCENT OF PORTLAND CEMENT, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND SHALL CONFORM TO ASTM C 989.
- WOOD:**
 - ALL STRUCTURAL WOOD SHALL BE PRESSURE TREATED #2 SOUTHERN PINE OR BETTER.
 - ALL UNSPECIFIED WOOD-TO-WOOD CONNECTIONS SHALL BE WITH 2-16d NAILS MINIMUM.
- GROUND PROTECTION:**
 - COVER GROUND UNDER STRUCTURE WITH 10 MIL. PLASTIC AND 3" OF GRAVEL TO PREVENT VEGETATION GROWTH.

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

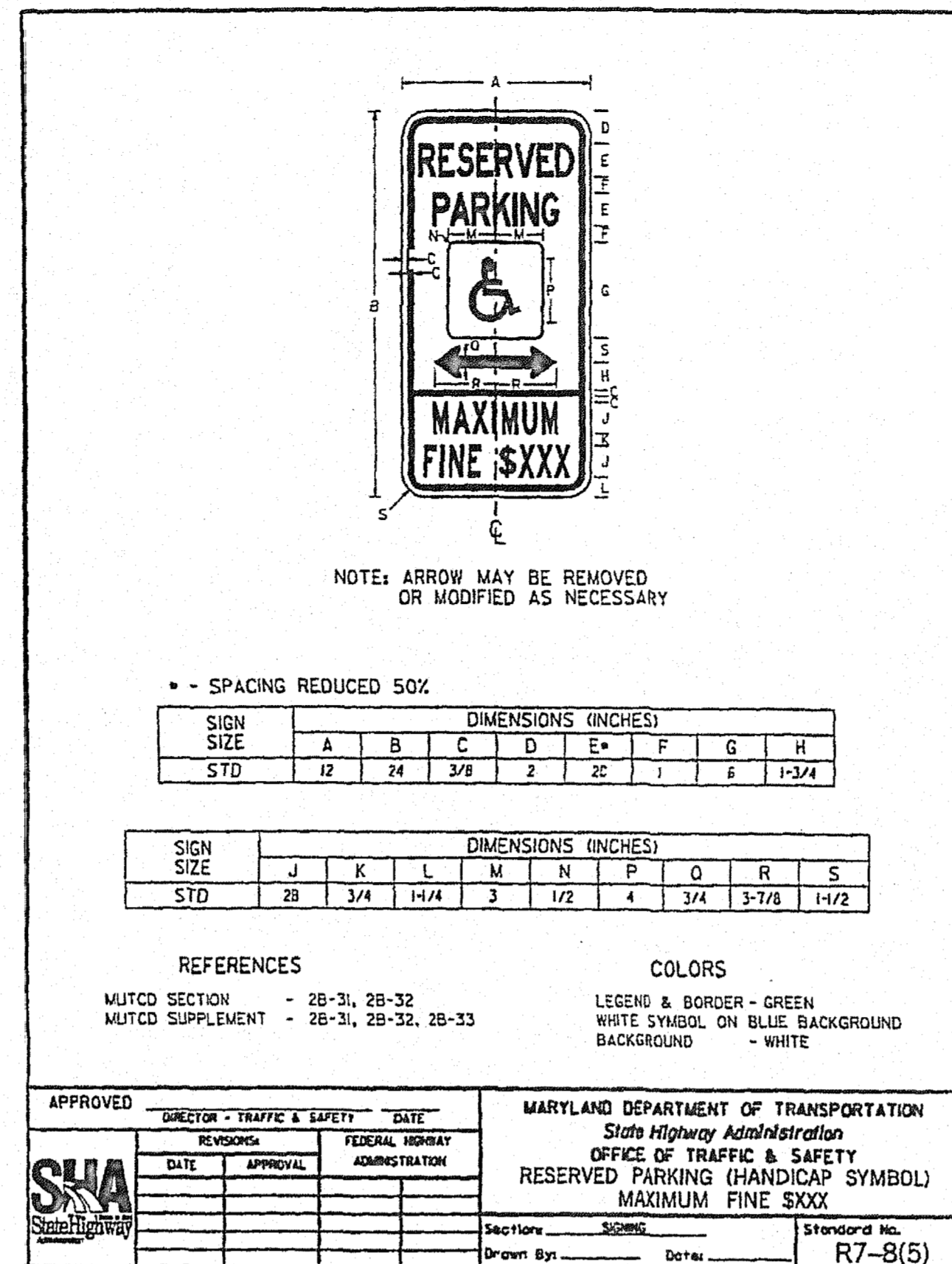


"PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18323, EXPIRATION DATE: 02-05-2027."

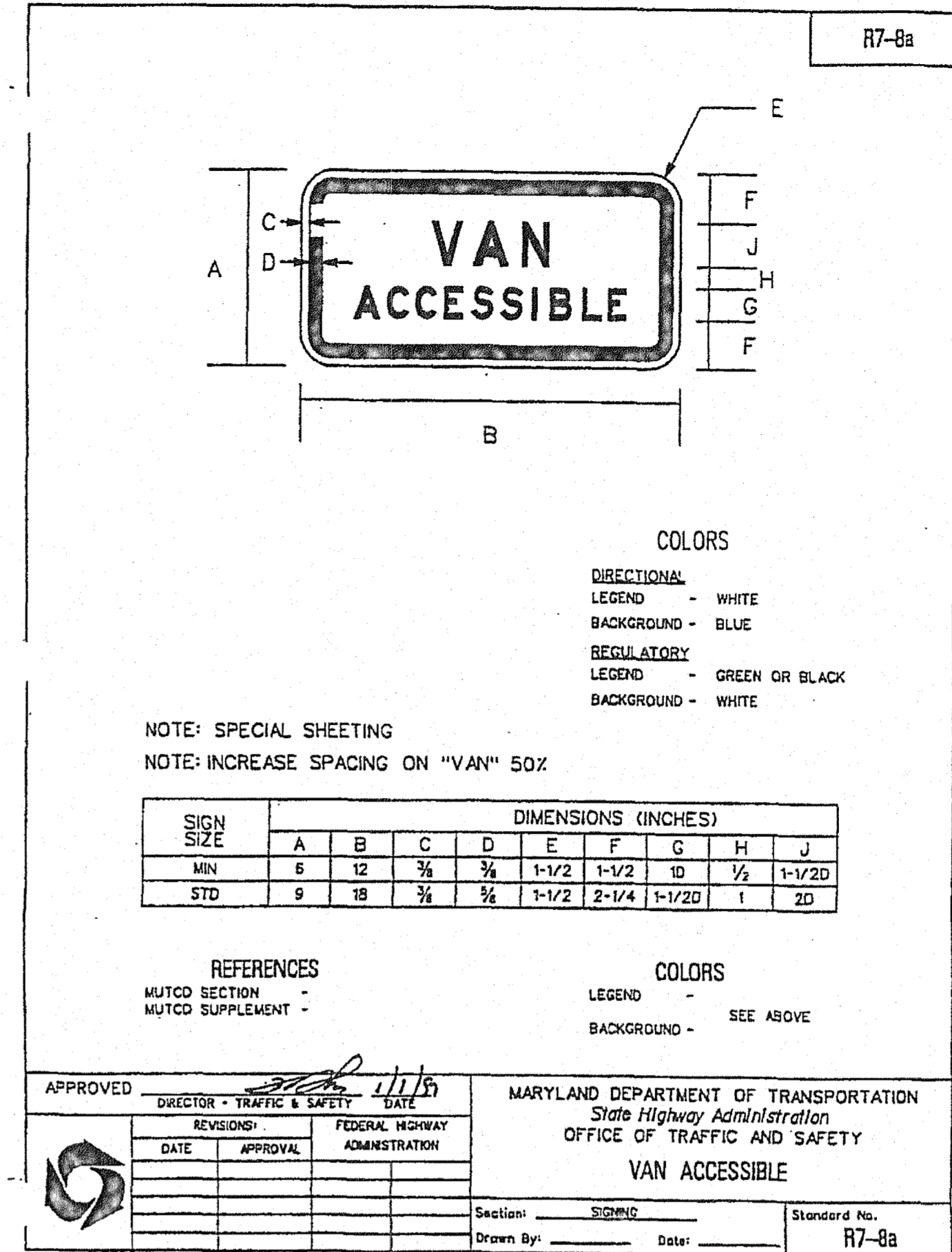
	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION			
	Department of Parks, Montgomery County, Maryland			
PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED _____ CHIEF ENGINEER _____ DIRECTOR OF PARKS _____	M-NCPPC POOLE - GENERAL STORE & RESIDENCE PLAN & NOTES	REVISED _____ DATE _____ DD-REVIEW 05/12/2008	STANDARD NO. S1.1



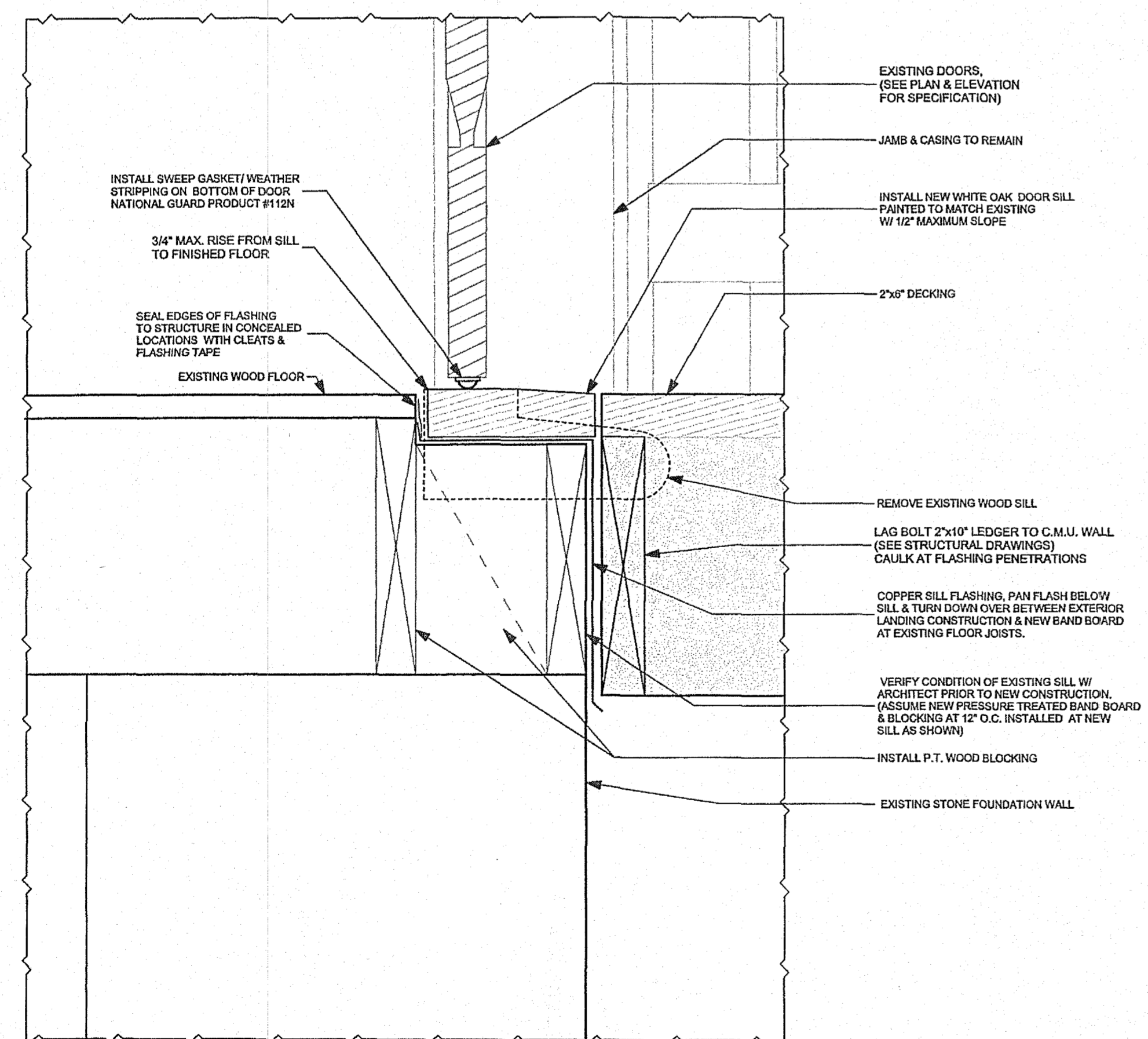
1 ADA Parking Signs



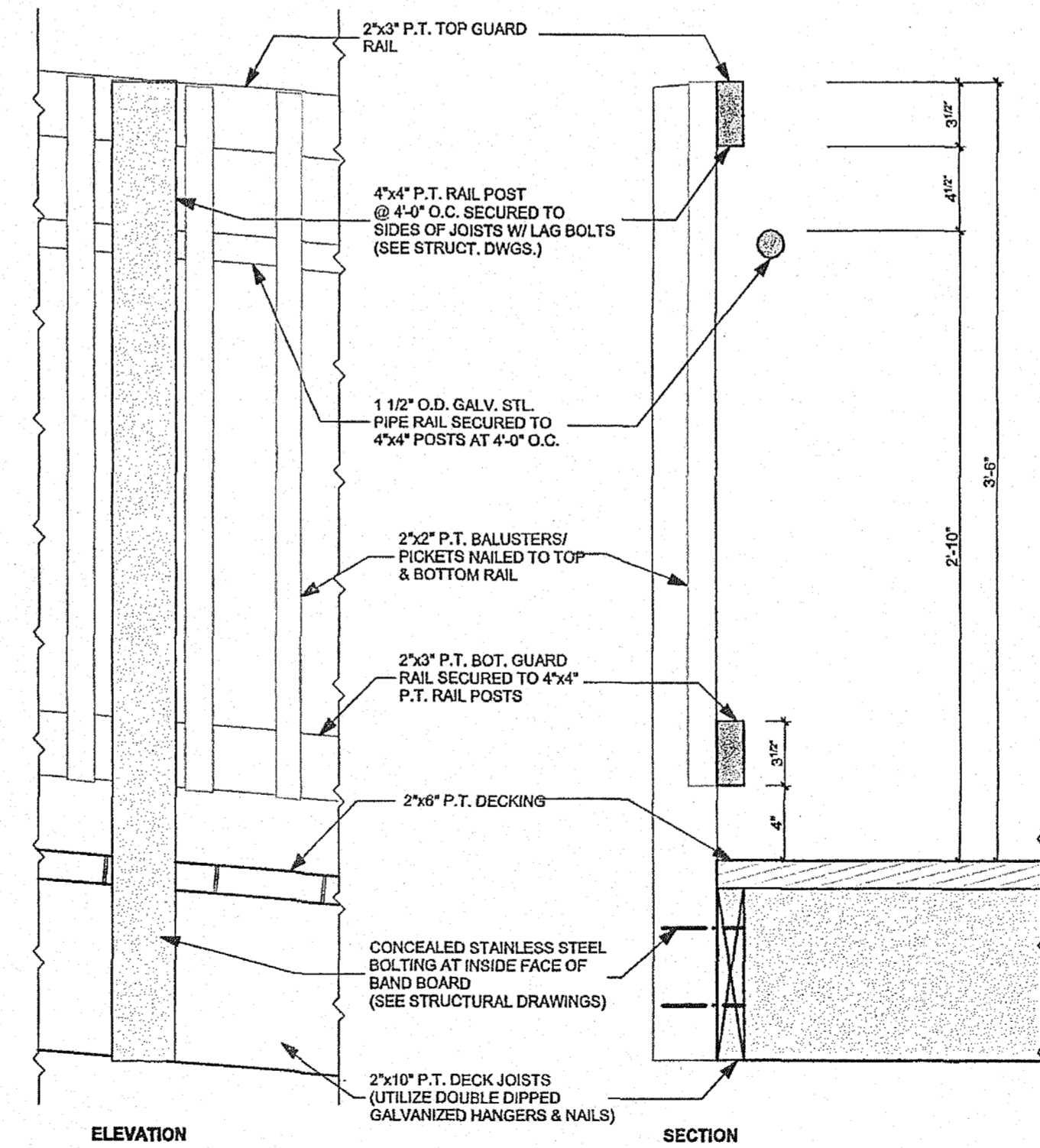
2 ADA Parking Signs



3 ADA Parking Signs

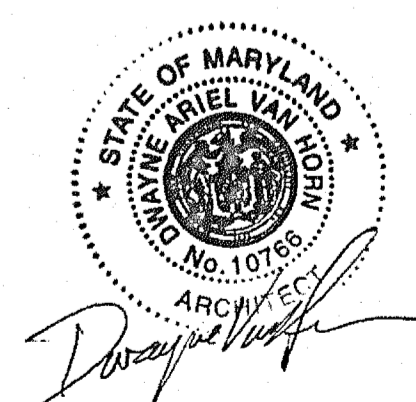


4 DETAIL-DOOR SILL @ STORE
SCALE: 3" = 1'-0"



5 DETAIL-RAILING
SCALE: 1 1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]



PENZA+BAILEY
ARCHITECTS
401 Woodbourne Avenue
Baltimore, Maryland 21212
T 410-435-6677 | F 410-435-6868
www.PenzaBailey.com

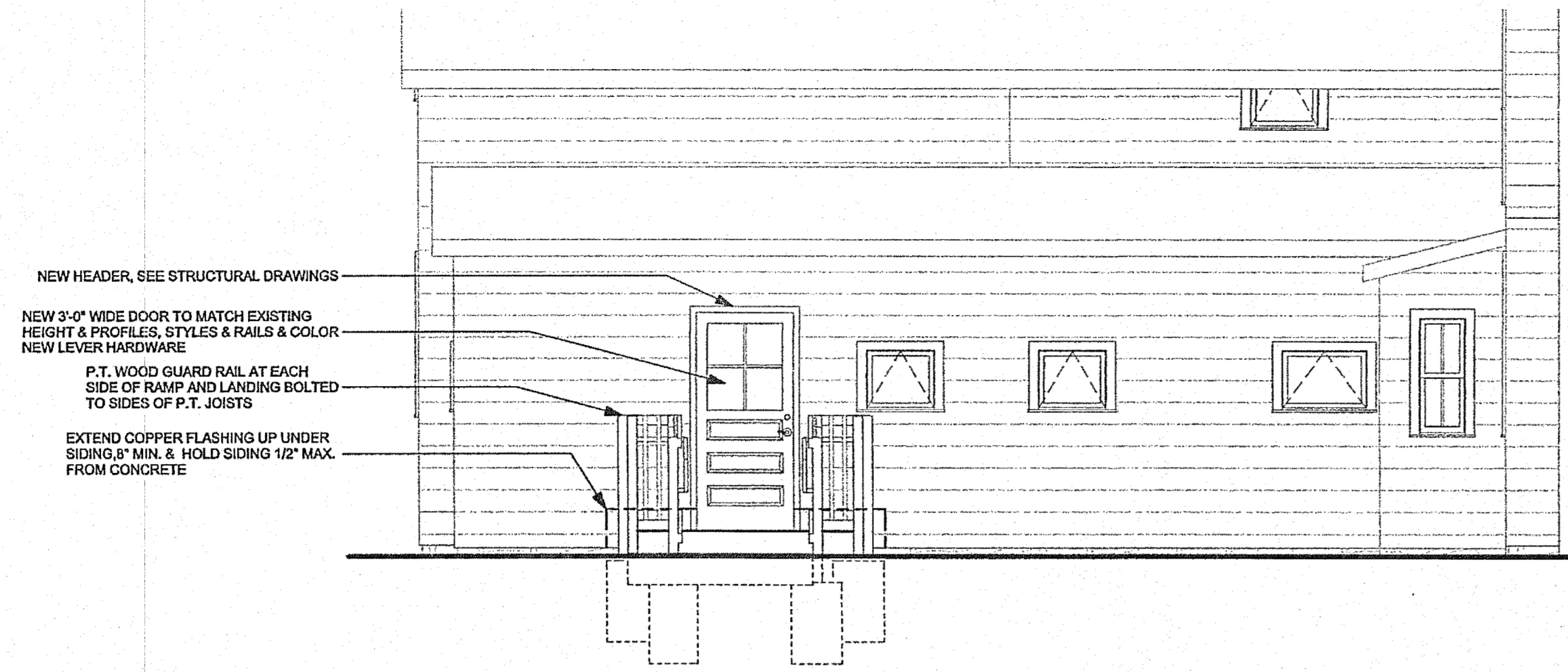
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT DIVISION

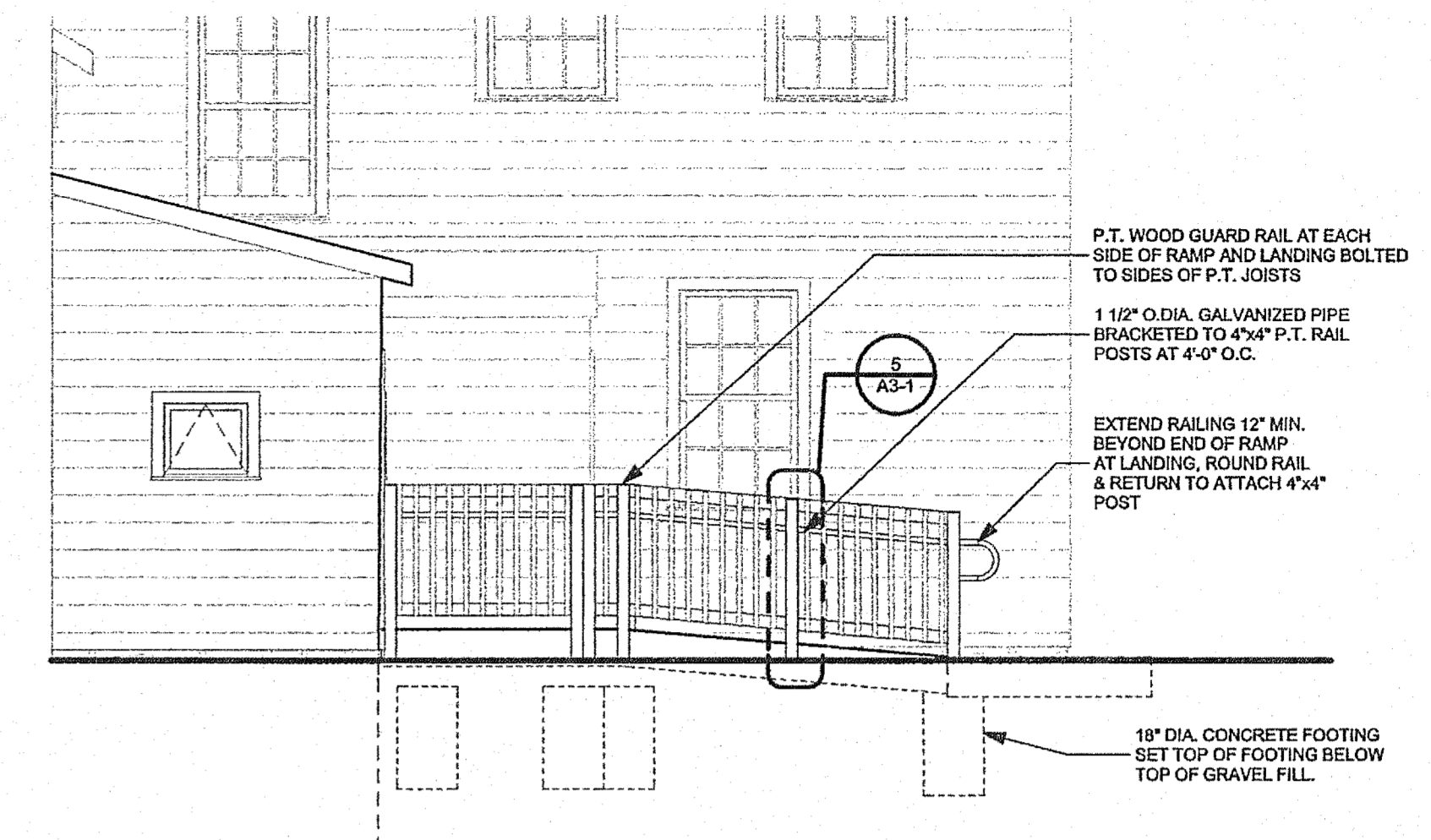
DATE APPROVED: 12/04/2007
CHIEF ENGINEER: [Blank]
DIRECTOR OF PARKS: [Blank]

POOLE - GENERAL STORE & RESIDENCE

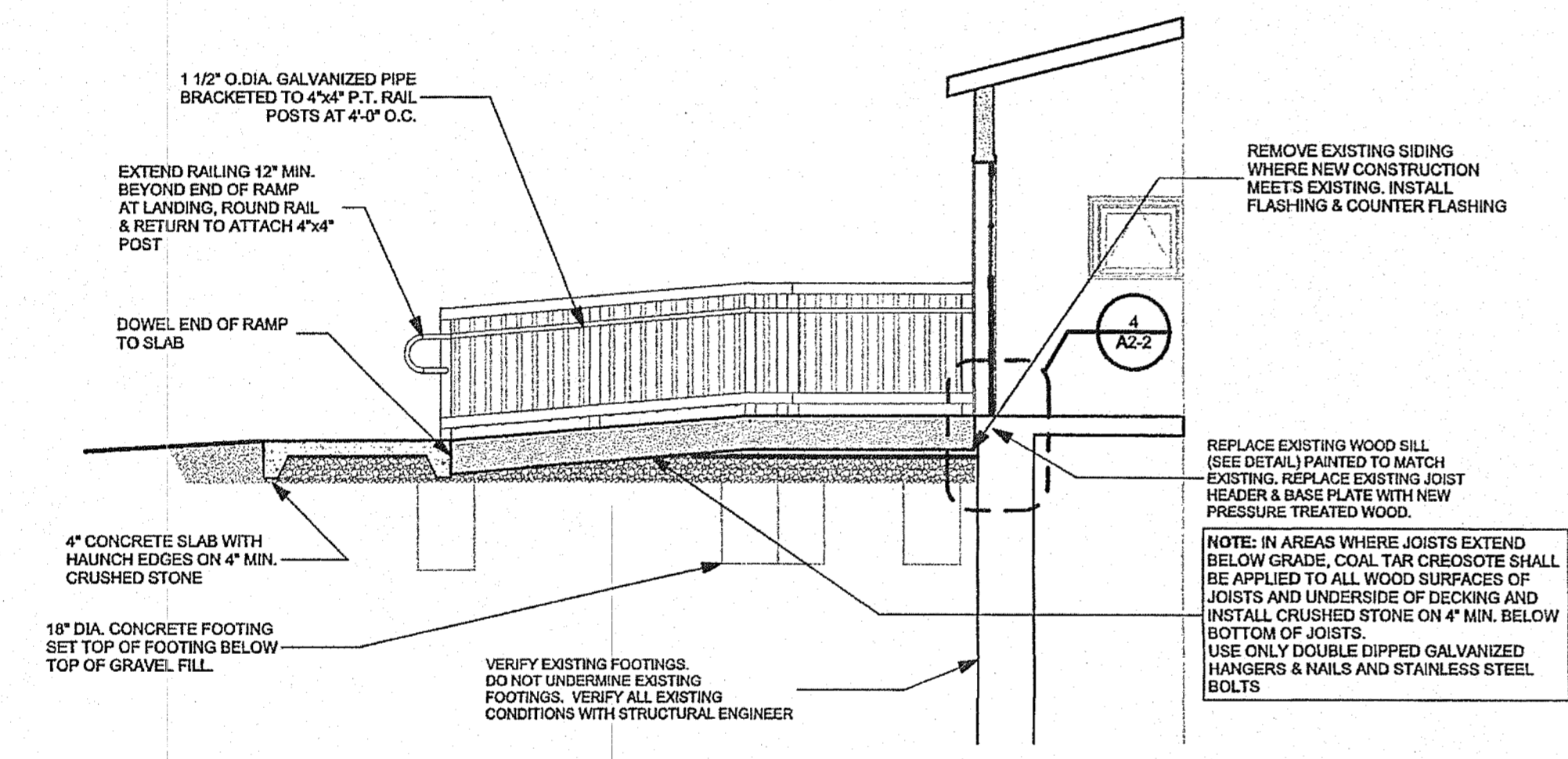
REVISED	DATE	STANDARD NO.
CD's	12/04/2007	A3-1
REVISED	12/08/2007	
REVISION	01/09/2008	
REVISION	05/09/2008	



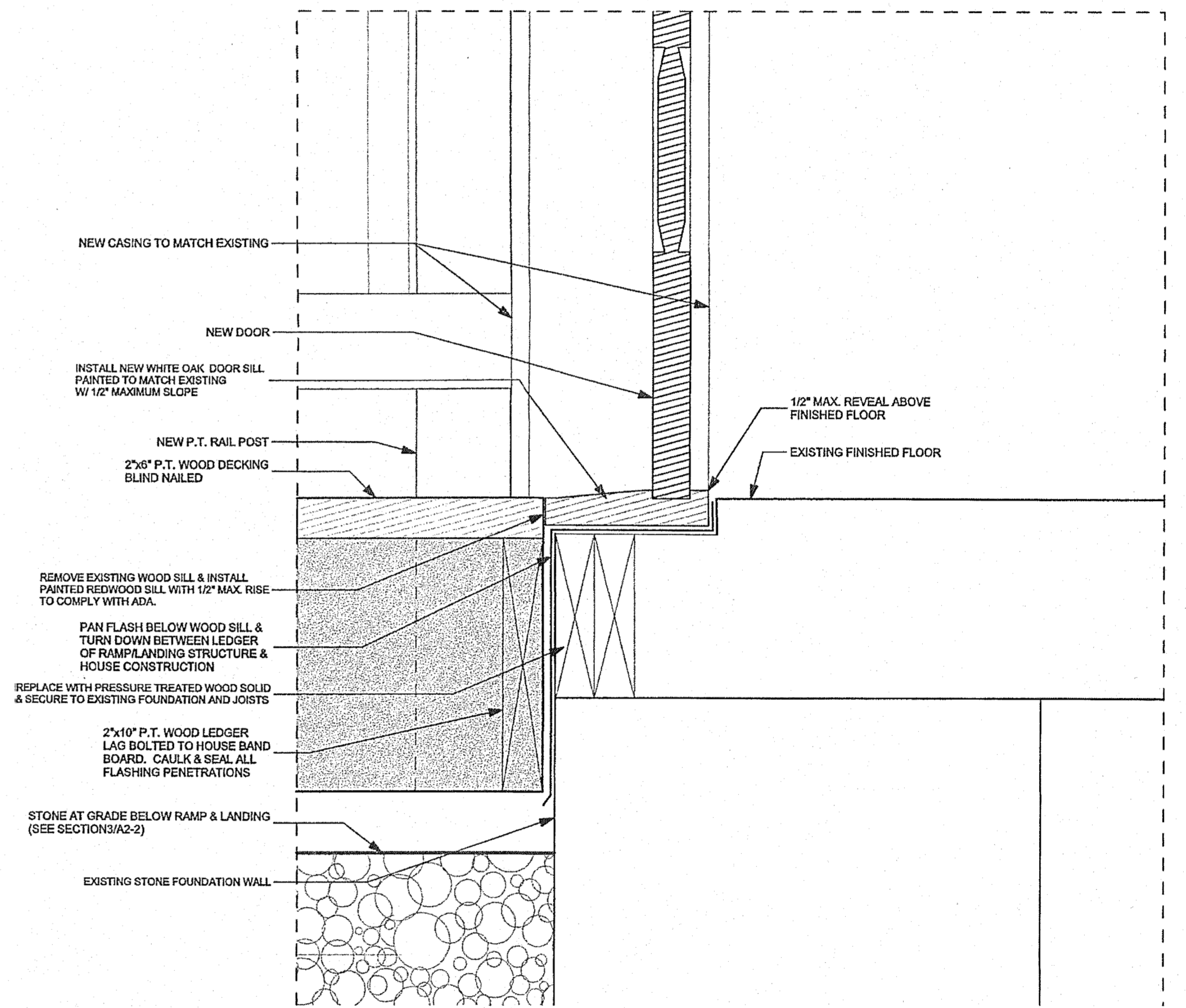
1 WEST ELEVATION AT RESIDENCE
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION AT RESIDENCE
SCALE: 1/4" = 1'-0"

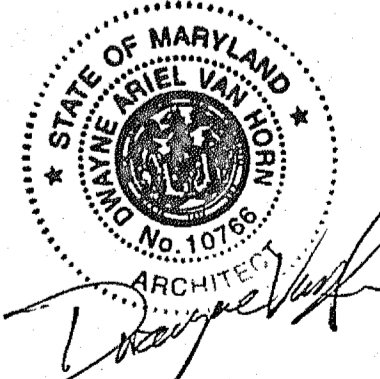


3 SECTION @ RESIDENCE RAMP
SCALE: 1/4" = 1'-0"

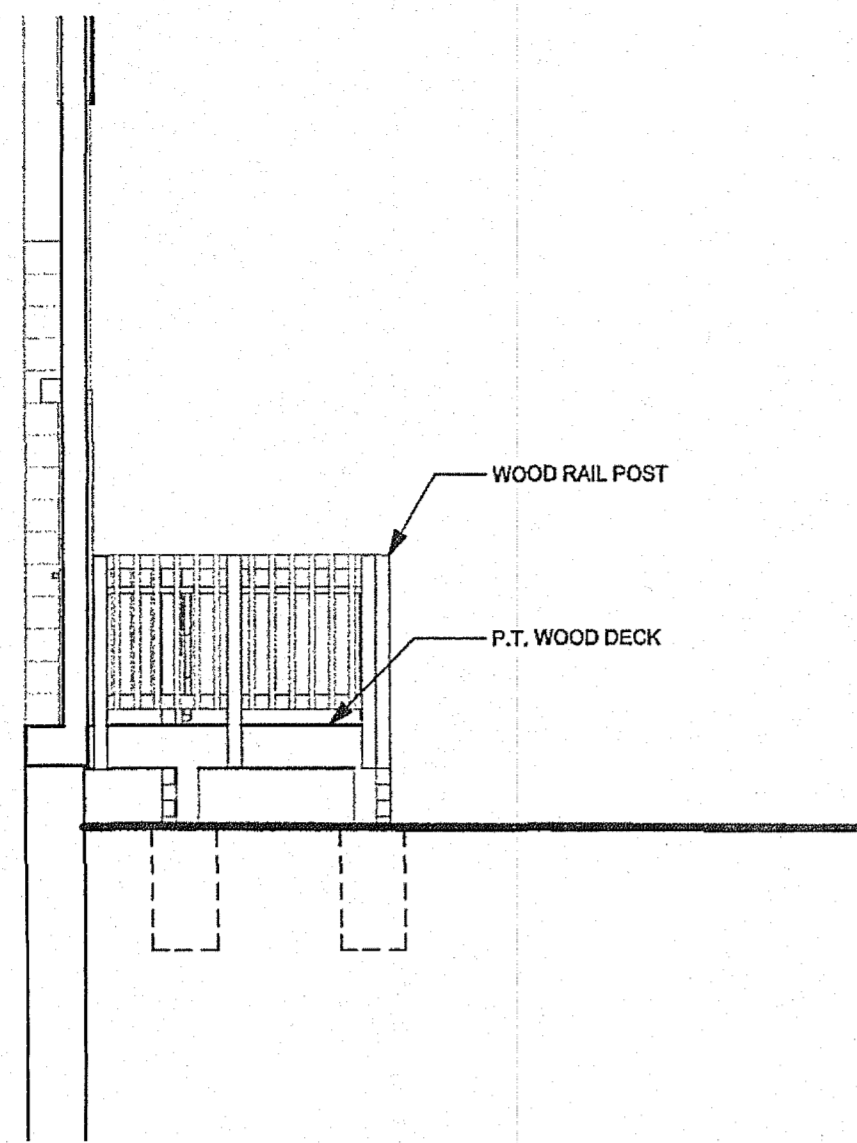


4 DETAIL-DOOR SILL @ RESIDENCE
SCALE: 3" = 1'-0"

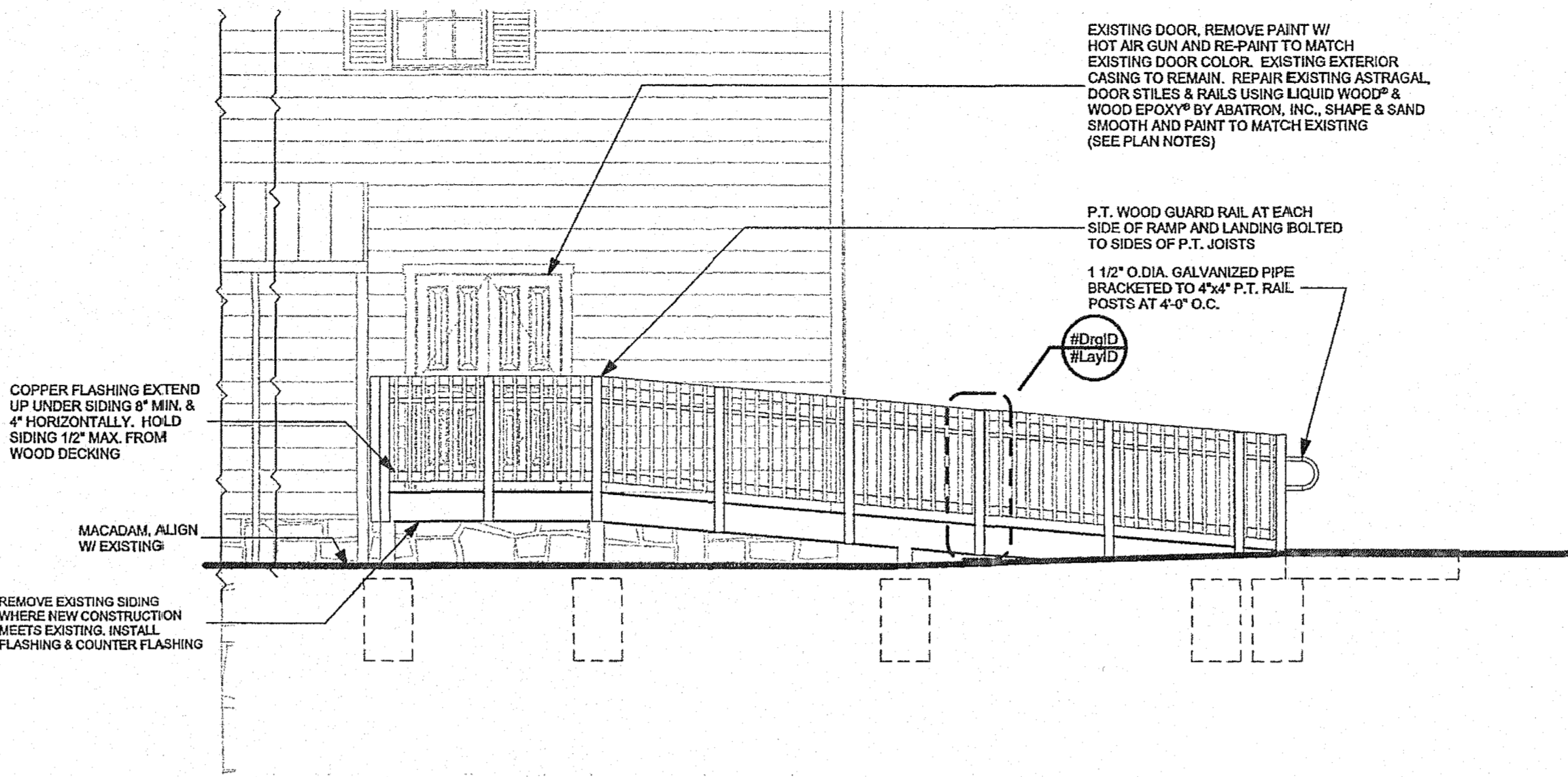
APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 12/16/2007



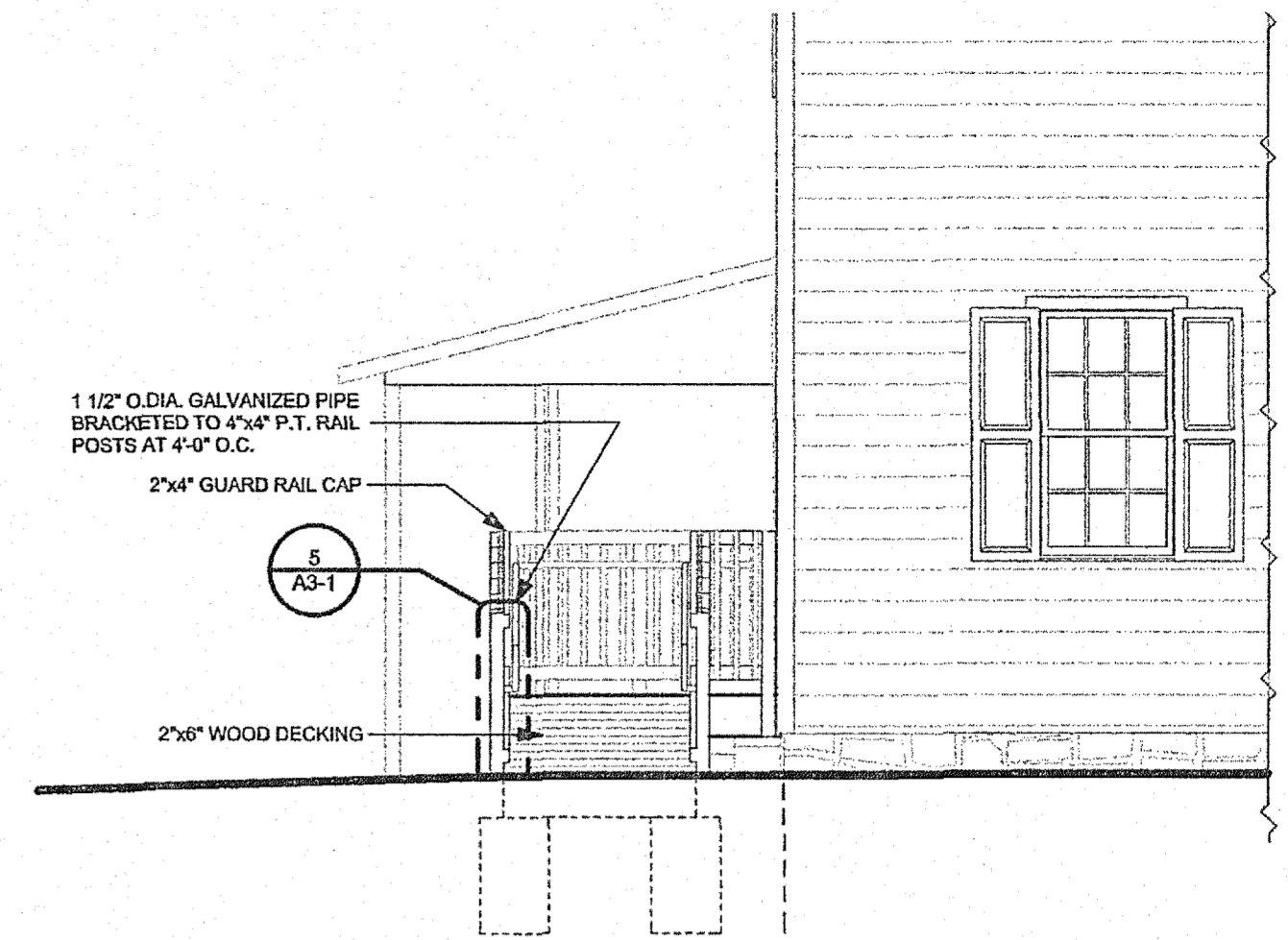
PENZA-BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677 F 410-435-6868 www.PenzaBailey.com	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED _____ CHIEF ENGINEER _____ DIRECTOR OF PARKS _____	POOLE - GENERAL STORE & RESIDENCE	REVISED CD'S 12/04/2007 REVISED 12/06/2007 REVISION 01/09/2008 REVISION 05/09/2008	STANDARD NO. A2-2
		APPROVED Montgomery County Historic Preservation Commission <i>[Signature]</i> 12/16/2007			



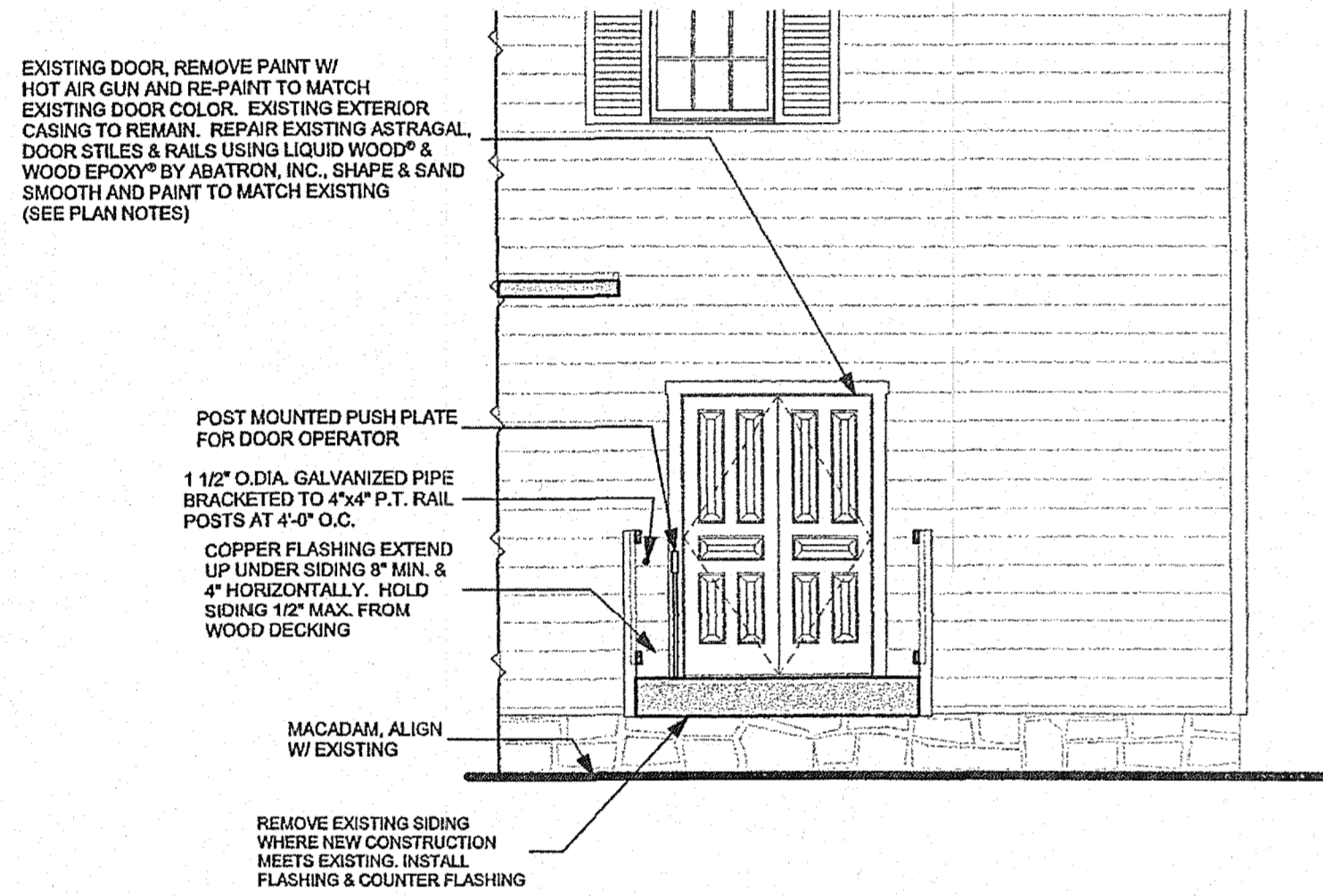
1 SOUTH ELEVATION AT GENERAL STORE
SCALE: 1/4" = 1'-0"



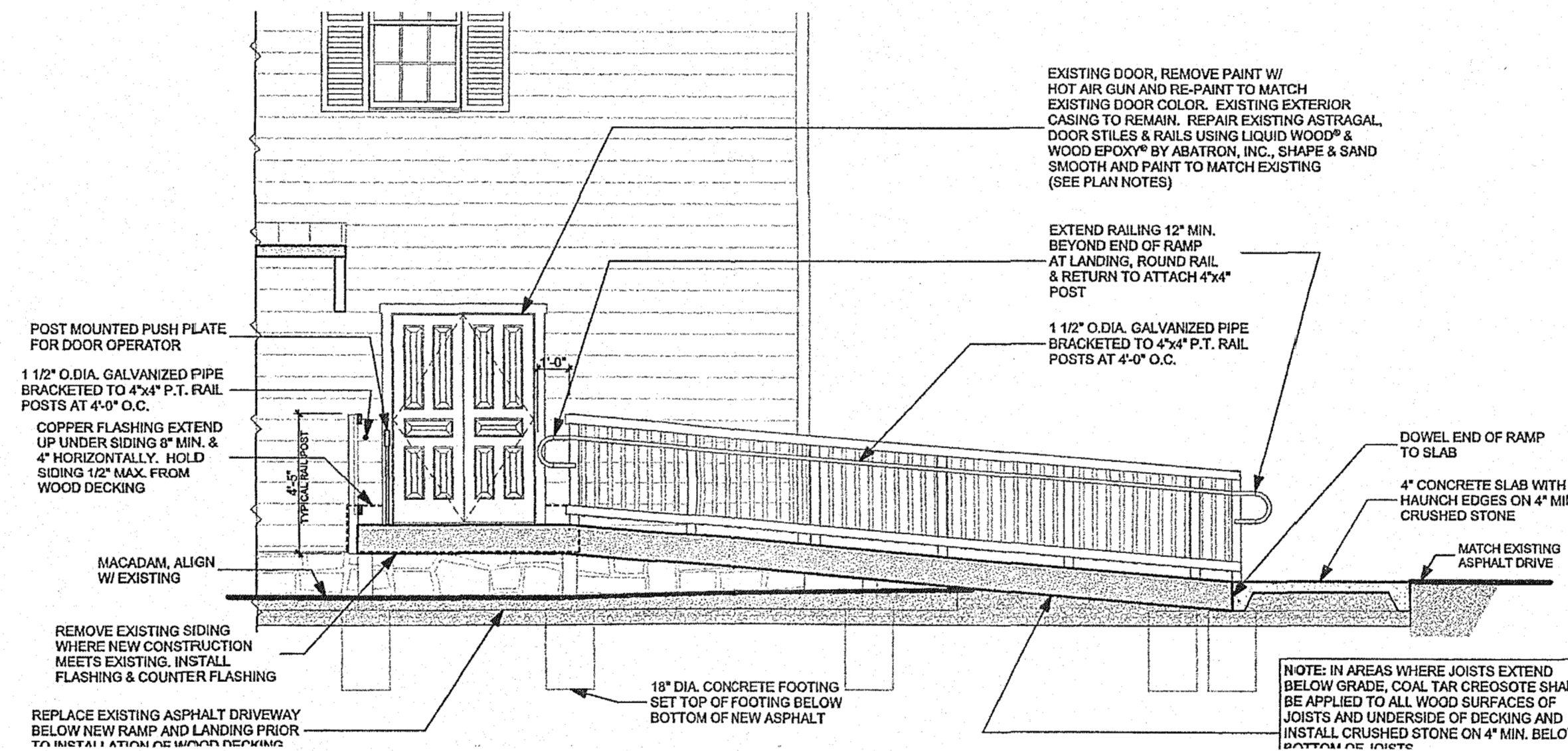
2 EAST ELEVATION AT GENERAL STORE
SCALE: 1/4" = 1'-0"



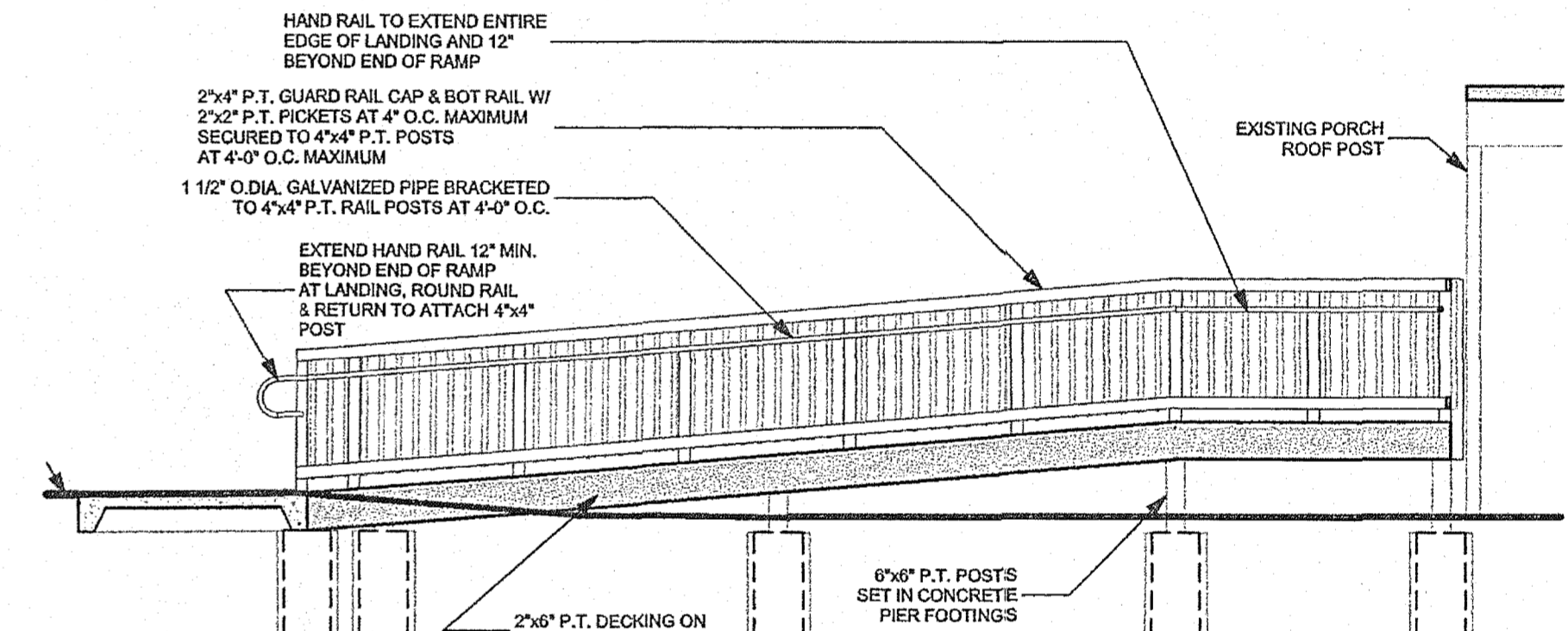
3 NORTH ELEVATION AT GENERAL STORE
SCALE: 1/4" = 1'-0"



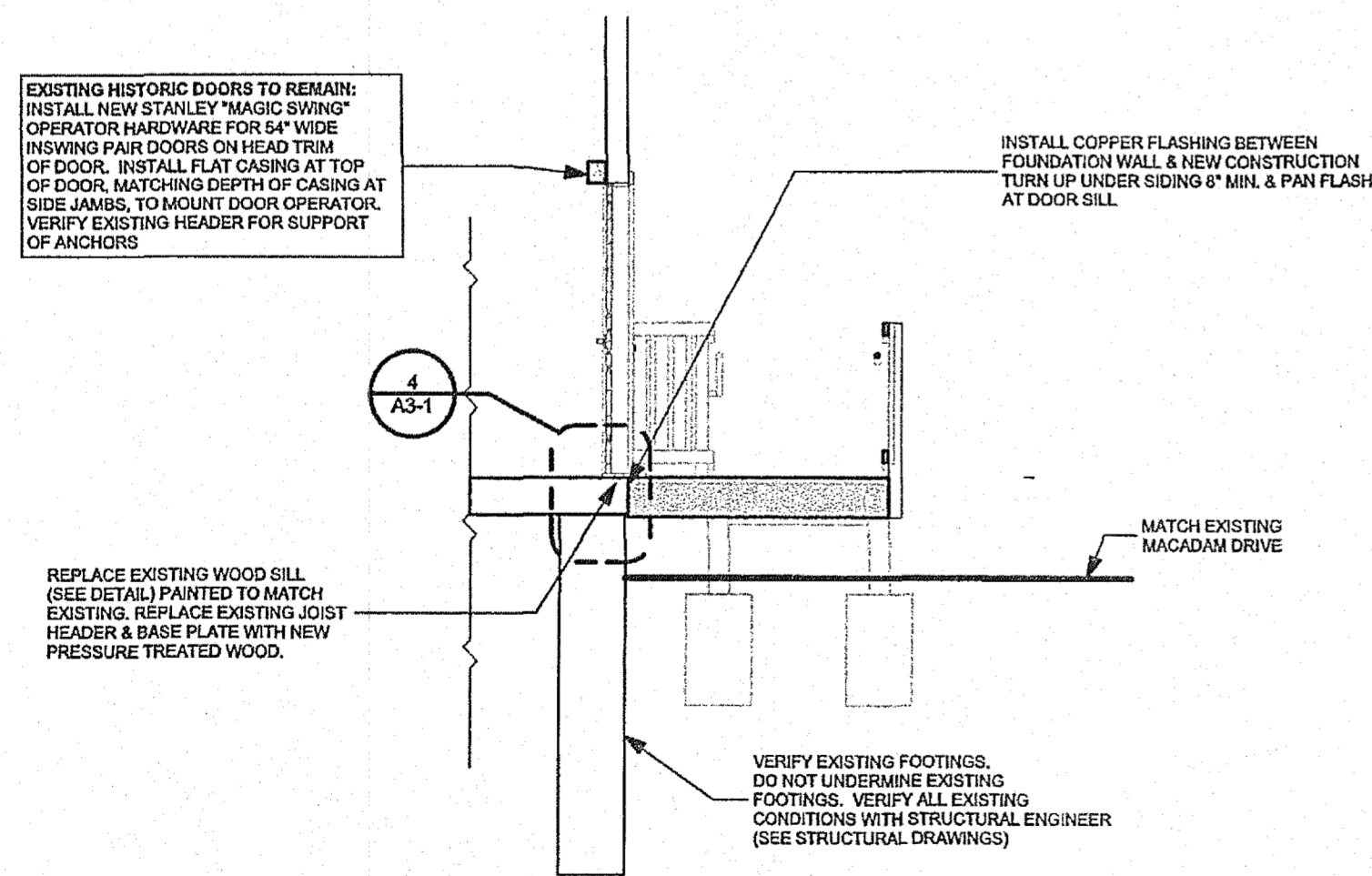
4 SECTION @ GENERAL STORE LANDING
SCALE: 1/4" = 1'-0"



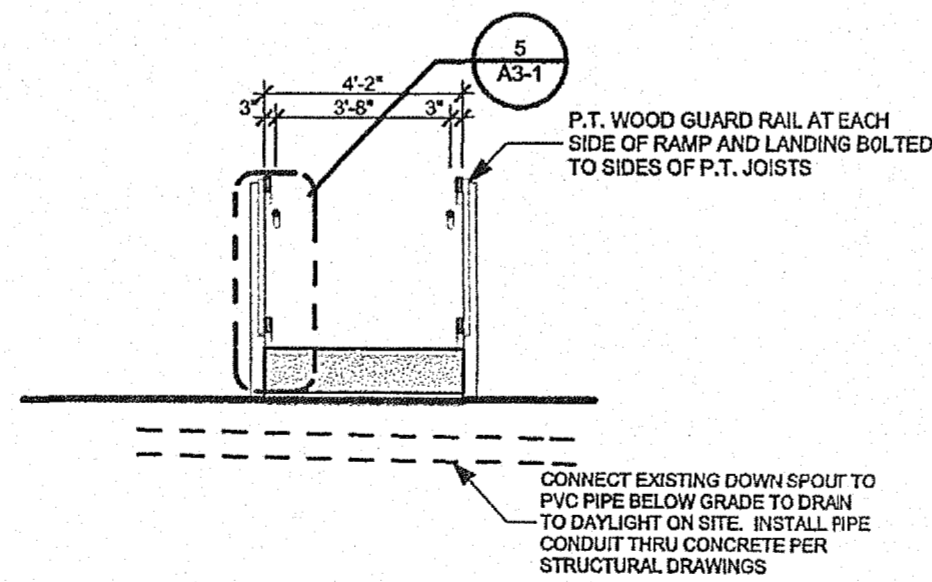
5 SECTION @ GENERAL STORE RAMP
SCALE: 1/4" = 1'-0"



6 SECTION @ GENERAL STORE RAMP EAST
SCALE: 1/4" = 1'-0"



7 SECTION @ GENERAL STORE DOOR
SCALE: 1/4" = 1'-0"

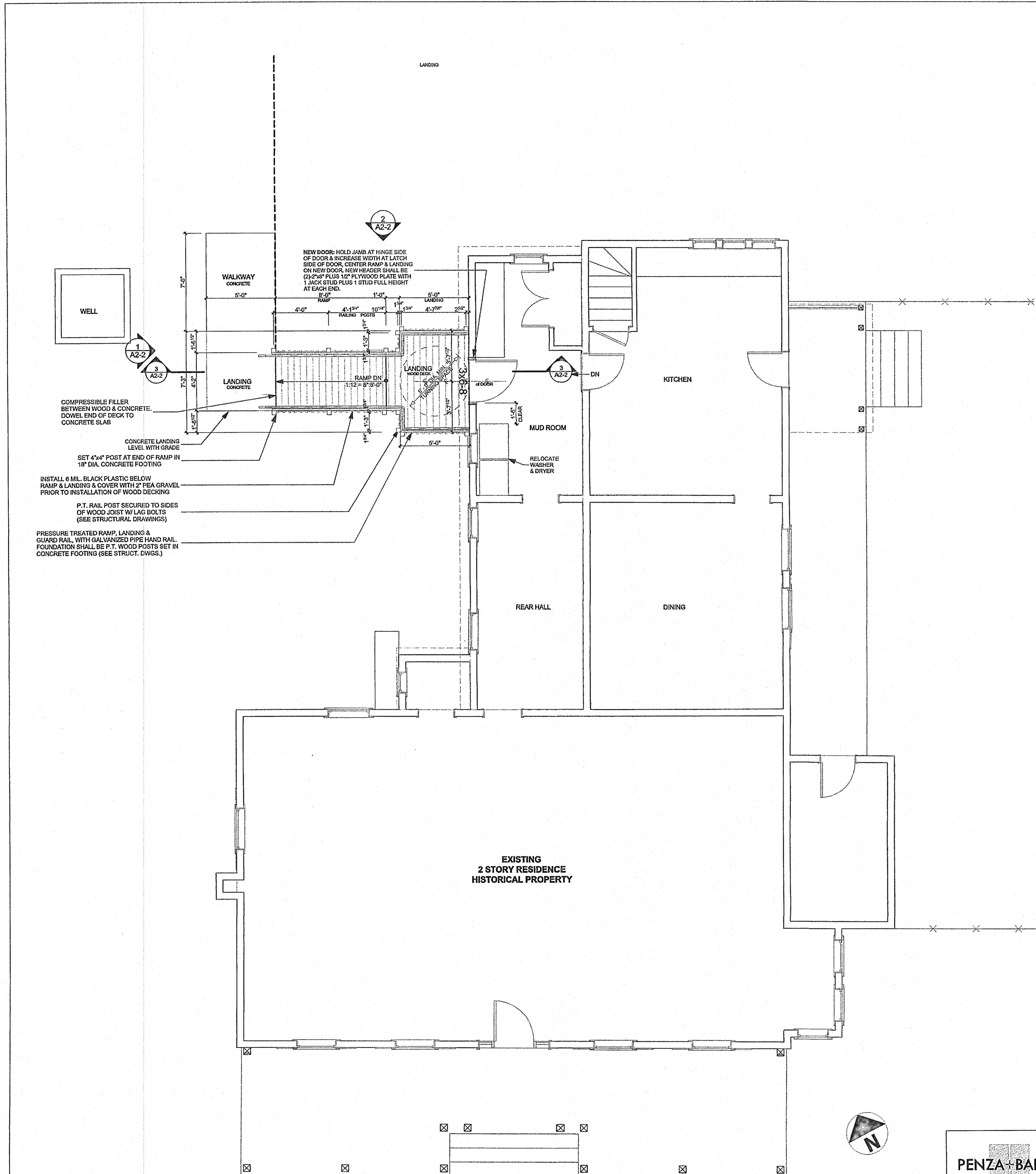


8 SECTION @ GENERAL STORE RAMP
SCALE: 1/4" = 1'-0"

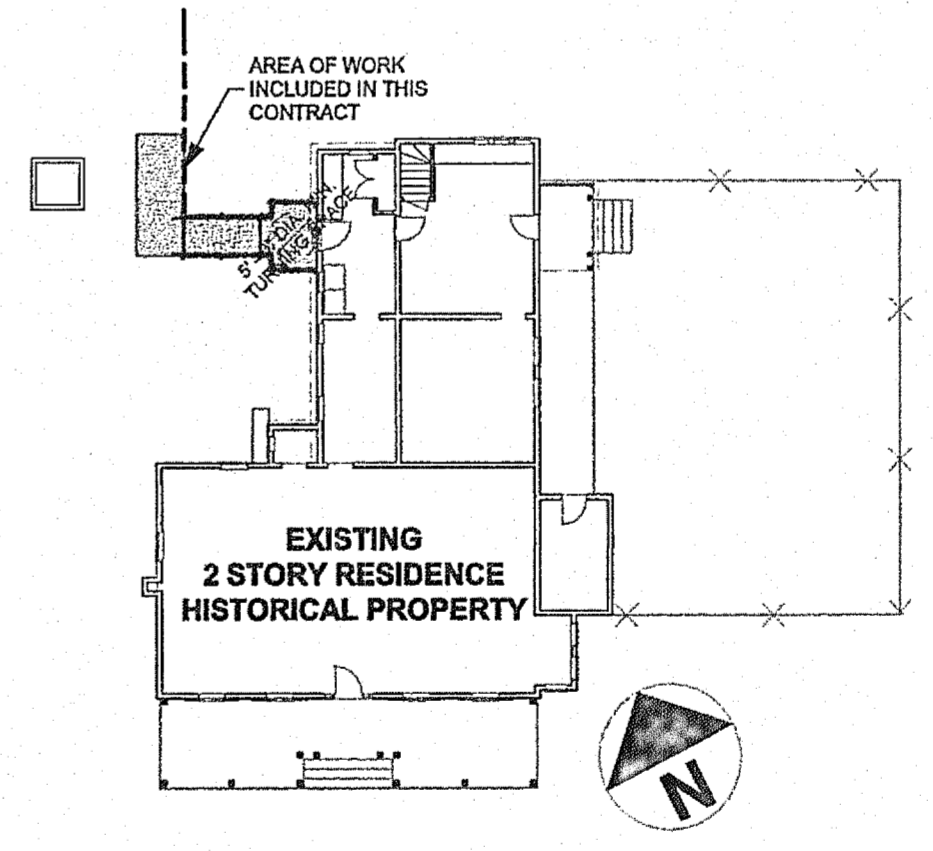
APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

STATE OF MARYLAND
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION
ARCHITECT
[Signature]

PENZA-BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-432-6977 F 410-432-6848 www.PenzaBailey.com	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED	POOLE - GENERAL STORE & RESIDENCE	REVISED	DATE	STANDARD NO.
		CHIEF ENGINEER		CD's	12/04/2007	12/08/2007
		DIRECTOR OF PARKS	REVISION	01/09/2008		
				REVISION	05/09/2008	



1 FIRST FLOOR PLAN AT RESIDENCE
SCALE: 1/4" = 1'-0"

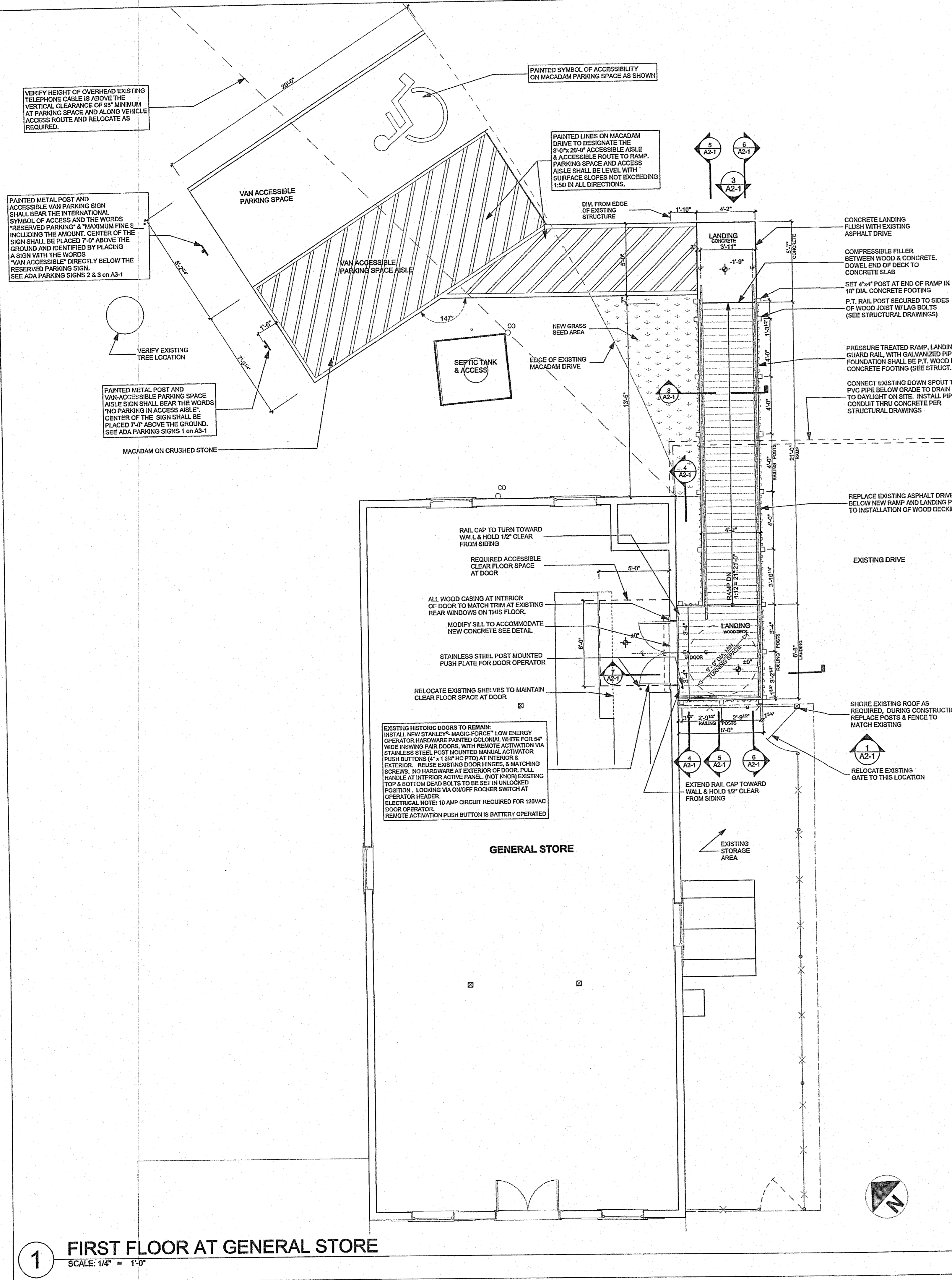


2 KEY PLAN
SCALE: 1" = 20'

APPROVED
Montgomery County
Historic Preservation Commission
Carol Ann [Signature]

STATE OF MARYLAND
MAYNARD VAN DUSEN
NO. 10768
ARCHITECT
[Signature]

PENZA + BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677 F 410-435-8868 www.PenzaBailey.com	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland PARK DEVELOPMENT DIVISION 5500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED _____ CHIEF ENGINEER _____ DIRECTOR OF PARKS _____	POOLE - GENERAL STORE & RESIDENCE	REVISED CD's 12/04/2007 REVISION 01/09/2008 REVISION 05/09/2008	STANDARD NO. A1-2
		DATE APPROVED _____ CHIEF ENGINEER _____ DIRECTOR OF PARKS _____			

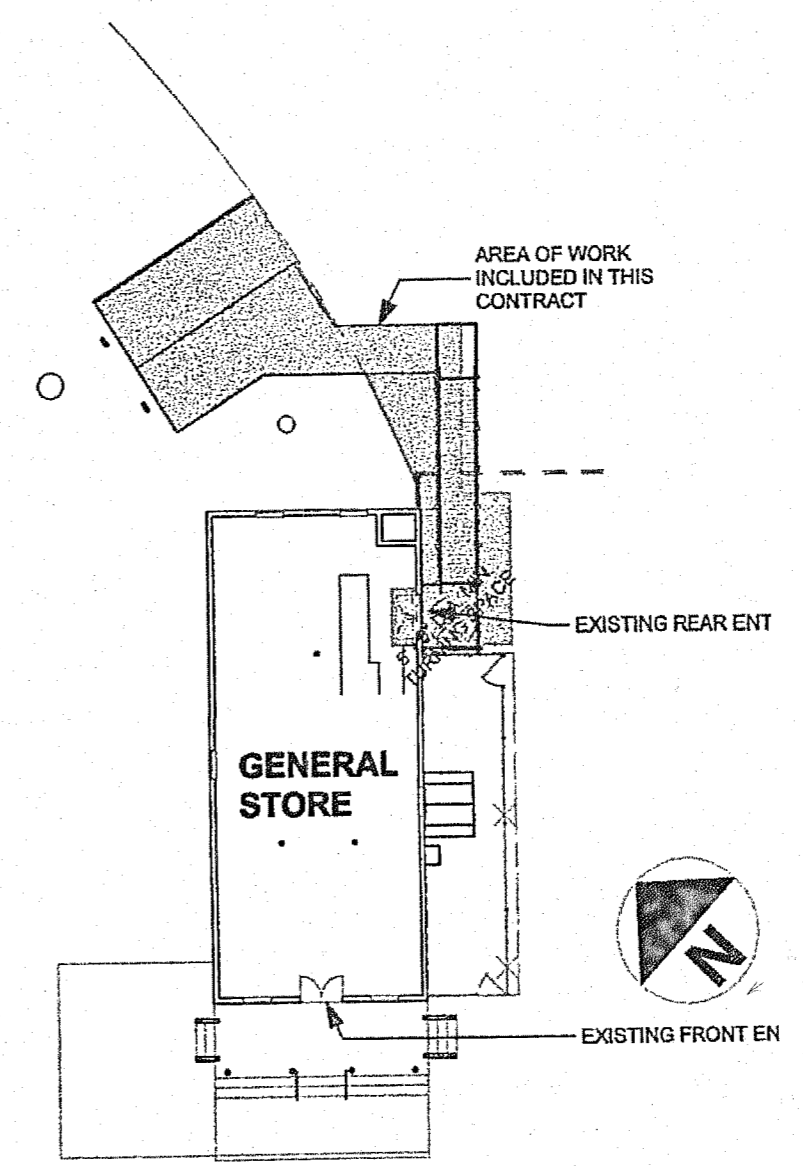


GENERAL PROJECT NOTES

1. COMPLY WITH INTERNATIONAL BUILDING CODE AND ALL LOCAL REGULATIONS PERTAINING TO THE WORK. ALL WORK SHALL BE ACCESSIBLE PER FEDERAL "AMERICANS WITH DISABILITIES ACT" (aka: ADA) (ADAAG GUIDELINES).
2. PROPERTY IS A HISTORICAL PROPERTY AND SHALL COMPLY WITH MONTGOMERY COUNTY CODE - CHAPTER 24A - HISTORIC RESOURCES PRESERVATION AND REQUIRES A HISTORIC AREA WORK PERMIT.
3. HISTORIC PROPERTY IS TO COMPLY WITH ADA - AMERICANS WITH DISABILITIES ACT. IT IS THE INTENT OF THE OWNER TO PRESERVE HISTORIC CHARACTER OF THE GENERAL STORE AND THE PAIR OF HISTORIC DOORS AT THE NEW RAMP AND COMPLY WITH ADA. AND BY DOING SO, THIS DESIGN WITH REGARD TO THIS PAIR OF DOORS WILL MEET THE INTENT OF THE LAW, BY INSTALLING A PUSH BUTTON DOOR OPERATOR THAT WILL OPEN AND CLOSE BOTH DOOR LEAFS IN ORDER TO PROVIDE AN ACCESSIBLE ROUTE.
4. COORDINATE WORK OF ALL TRADES UNDER THIS CONTRACT, INCLUDING ALL WORK BY OWNER AND OWNER'S SEPARATE CONTRACTORS / VENDORS.
5. SAFEGUARD ALL WORK AREAS AGAINST PERSONAL INJURY OR DAMAGE; PROTECT ALL EXISTING FINISHES TO REMAIN, FURNITURE, FIXTURES, EQUIPMENT, AND PERSONAL ITEMS.
6. OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THE WORK. SCHEDULE AND ATTEND ALL REQUIRED INSPECTIONS.
7. VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE WORK. REQUEST CLARIFICATION OF ALL CONFLICTS PRIOR TO PROCEEDING. THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY REGARDING ANY DIMENSIONAL DISCREPANCIES NOTED ON THE DRAWINGS OR INCURRED DURING THE CONSTRUCTION PROCESS.
8. EXTERIOR DIMENSIONS ARE INDICATED FROM EXTERIOR FACE OF SHEATHING OR CMU WALL, OR CONCRETE OR FACE OF EXISTING WALL, UNLESS OTHERWISE NOTED.
9. INTERIOR DIMENSIONS ARE INDICATED FROM FACE OF EXTERIOR SHEATHING OR CMU, UNLESS OTHERWISE NOTED.
10. ALL CASING AND TRIM TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
11. CASED DOOR OPENING SHALL BE LOCATED MINIMUM 4" FROM ADJACENT INTERSECTING WALLS, OR CENTERED BETWEEN WALLS (SUCH AS IN HALLS) TO ALLOW FOR CASING, UNLESS OTHERWISE NOTED. ADAAG REQUIREMENTS TAKE PRIORITY FOR APPROACH TO DOORS.
12. CONTRACTOR IS RESPONSIBLE FOR ALL SUBMITTALS AND SHALL PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT, PROFILE, RAILINGS, CONCRETE, REINFORCING AND COLORS REVIEW AND APPROVAL BY OWNER AND ARCHITECT. A MINIMUM OF (4) FOUR COPIES EACH OF SHOP DRAWINGS & SUBMISSIONS OF ALL MATERIALS & PRODUCT SELECTIONS SHALL BE SUBMITTED FOR REVIEW / APPROVAL TO ARCHITECT. ARCHITECT WILL REVIEW AND SIGN ALL SUBMITTALS AND RETURN TO CONTRACTOR WITH A COPY SUBMITTED TO OWNER.
13. COMPLETE ALL WORK, READY IN ALL RESPECTS FOR ITS INTENDED USE, ACCEPTABLE TO OWNER.
14. VERIFY CONSTRUCTION SCHEDULE AND HOURS OF WORK WITH TENANT AND LANDLORD, PRIOR TO BID SUBMISSION AND SET UP A MEETING WITH THE OWNER AND ARCHITECT FOR REVIEW AND COORDINATION.
15. UPGRADE ELECTRIC AS REQUIRED TO MAKE NEW INSTALLATIONS MEET LOCAL CODE AND RELOCATE ALL SERVICE CONNECTIONS NECESSITATED BY NEW CONSTRUCTION.
16. COMPLETE ALL WORK, READY IN ALL RESPECTS FOR ITS INTENDED USE, ACCEPTABLE TO OWNER.
17. COORDINATE RELOCATING OF EXISTING SELVES WITH TENANT & OWNER.
18. PRESSURE TREATED WOOD SHALL BE WOLMANIZED® PRESSURE TREATED WOOD WITH THE PROPER RETENTION (CA-B) FOR ITS INTENDED APPLICATION.
19. ALL HANGERS, NAILS AND BOLTS SHALL BE DOUBLE DIPPED GALVANIZED, OR STAINLESS STEEL. DECKING SHALL BE BLIND NAILED/ANCHORED USING STAINLESS STEEL SCREWS.
20. OWNER'S DECISION TO USE PRESSURE TREATED WOOD FOR RAMPS, LANDINGS AND RAILS SHALL BE DEEMED THE OWNER'S RESPONSIBILITY, AND HOLD PENZA BAILEY ARCHITECTS AND KCI TECHNOLOGIES HARMLESS, FOR MAINTENANCE, DEGRADATION OF THE MATERIALS, INJURY DUE TO SPLINTERS AND CAUSTIC SUBSTANCES USED IN THE PRESSURE TREATING AND PRESERVATION OF THE MATERIALS.

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK TO CONFORM TO N.E.C. AND LOCAL CODE REQUIREMENTS. RECESSED LIGHT FIXTURES SHALL HAVE INSULATED HOUSINGS AS REQUIRED TO MEET CODE.
2. CONTRACTOR SHALL EXAMINE THE DRAWINGS AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS PRIOR TO BID SUBMISSION. ALL ELECTRICAL CONNECTIONS TO EXISTING ELECTRICAL PANELS SHALL BE VERIFIED FOR CONNECTION OF FIXTURES, SWITCHES, OUTLETS AND CONDUITS AND BE COORDINATED WITH ALL EXISTING AND PROPOSED, ELECTRICAL, PLUMBING, MECHANICAL, FIRE SUPPRESSION, & STRUCTURAL CONDITIONS, PRIOR TO CONSTRUCTION.



2 KEY PLAN
SCALE: 1" = 20'

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

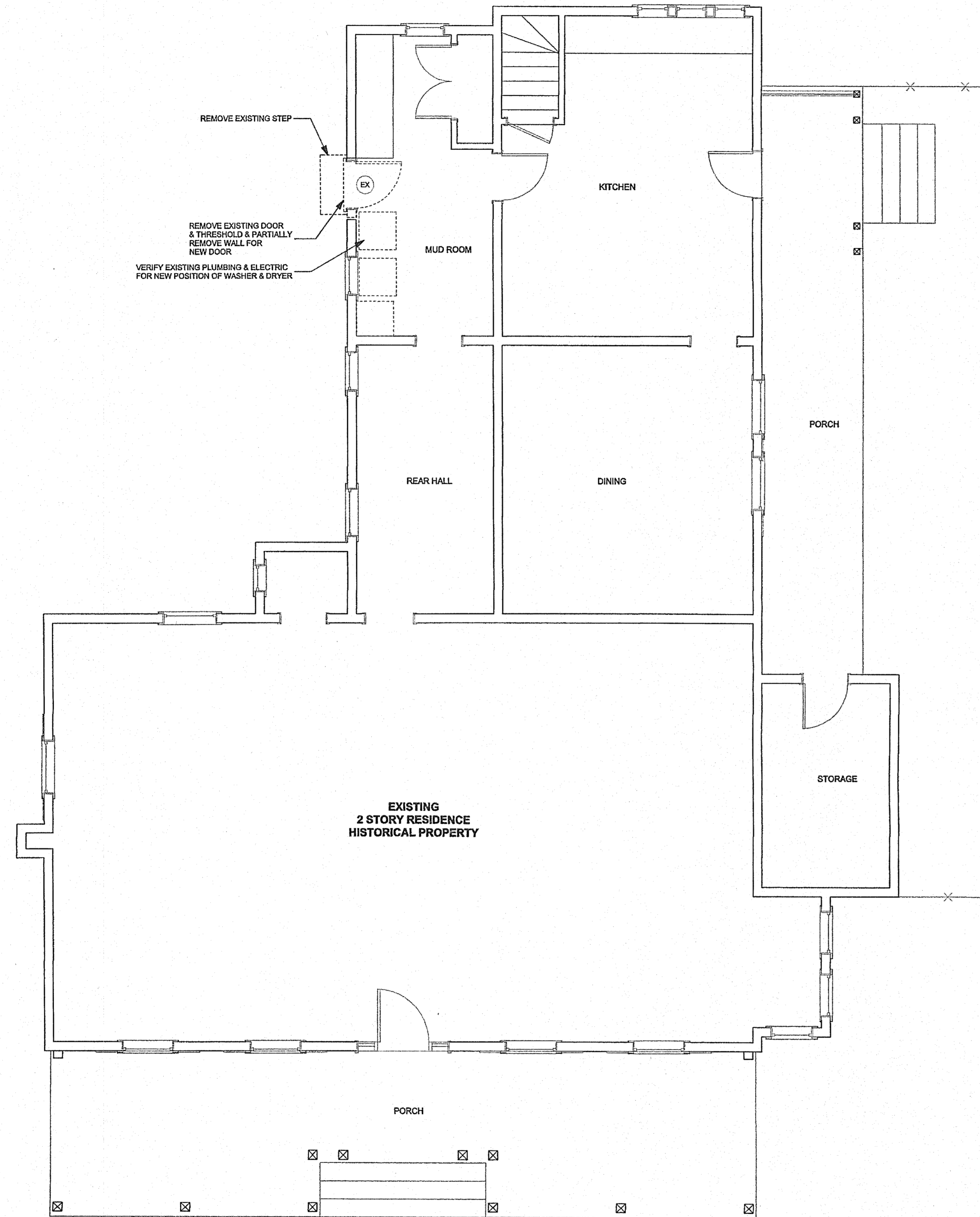
STATE OF MARYLAND
PENZA BAILEY ARCHITECTS
[Signature]

PENZA BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677 F 410-435-6668 www.PenzaBailey.com	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED _____ 	POOLE - GENERAL STORE & RESIDENCE	REVISED CD's 	DATE 12/04/2007 12/08/2007 01/09/2008 	STANDARD NO. A1-1
		CHIEF ENGINEER _____ 		REVISED 	REVISION 05/09/2008 	

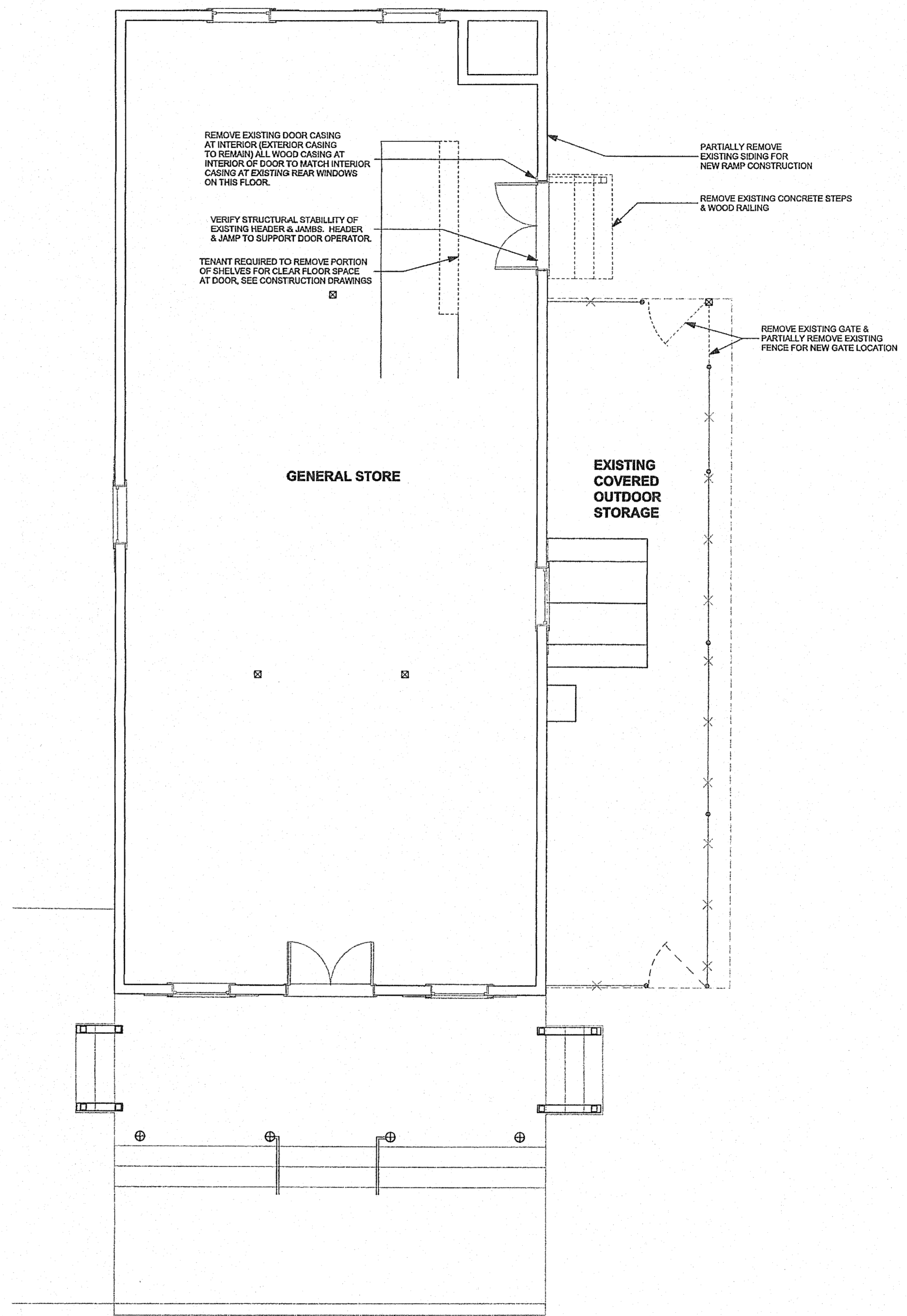
1 FIRST FLOOR AT GENERAL STORE
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

1. REMOVE EXISTING CONSTRUCTION AS INDICATED FOR NEW WORK. MOVE SALVAGED ITEMS TO OWNER'S STORAGE, OR DISPOSE OFF-SITE, AS DIRECTED BY OWNER. ACCUMULATION OF TRASH ON-SITE MUST BE COORDINATED WITH THE OWNER.
2. REMOVE ENTIRELY CONSTRUCTION TO BE REMOVED. REPAIR EXISTING SUBSTRATES TO RECEIVE NEW WORK. MINIMIZE DAMAGE TO EXISTING CONSTRUCTION THAT WILL REMAIN.
3. ALL EXISTING CONSTRUCTION TO REMAIN THAT HAS BEEN AFFECTED OR EXPOSED BY DEMOLITION, SHALL BE REPAIRED AND REFINISHED TO MATCH ORIGINAL FINISH.
4. FURNITURE AND EQUIPMENT: MOVE AS NEEDED, SALVAGE OR DISPOSE OF, AS DIRECTED BY OWNER. MAINTAIN ALL SERVICES TO REMAIN IN FULLY OPERATIONAL CONDITION. REMOVE ALL ABANDONED WIRING.
5. SECURITY, TELEPHONE, DEVICES AND WIRING: DISCONNECT AS REQUIRED. RELOCATE, SALVAGE FOR OWNER, OR DISPOSE, AS DIRECTED BY OWNER. MAINTAIN ALL SERVICES TO REMAIN IN FULLY OPERATIONAL CONDITION. REMOVE ALL ABANDONED WIRING.
6. PROVIDE TEMPORARY SHORING AS REQUIRED TO SUPPORT FLOORS, WALLS, ROOFS & GIRDERS.
7. SAVE ALL TRIM & HARDWARE FOR RE-USE IN NEW CONSTRUCTION. REMOVE SURROUNDING CASINGS AND PREPARE FOR REPLACEMENT AS SPECIFIED ON CONSTRUCTION DOCUMENTS.
8. RE-USE EXISTING DOORS AS REQUIRED AND REMOVE ALL PAINT TO BARE WOOD WITH HOT AIR GUN. READY FOR NEW PAINT AND HARDWARE. CHEMICAL PAINT STRIPPING IS NOT PERMITTED, AND SHALL ONLY BE APPROVED BY OWNER & ARCHITECT.
9. VERIFY ALL EXISTING FOOTING LOCATIONS AND COORDINATE WITH STRUCTURAL & ARCHITECTURAL DRAWINGS. VERIFY UNUSUAL CONDITIONS WITH ARCHITECT AND ENGINEER FOR COORDINATION.

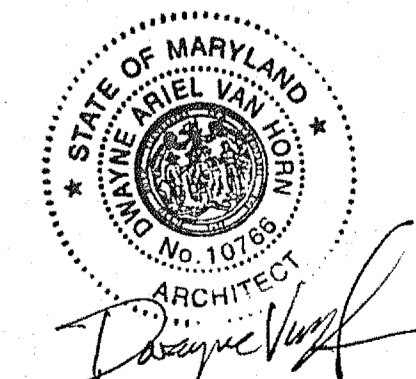


2 FIRST FLOOR DEMOLITION AT RESIDENCE
SCALE: 1/4" = 1'-0"

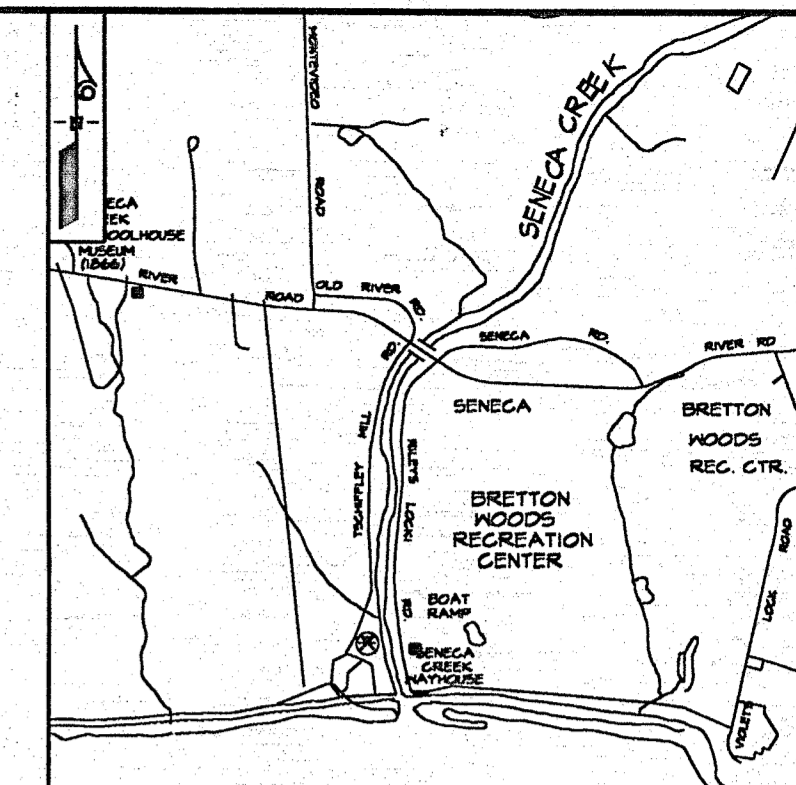


1 FIRST FLOOR DEMOLITION AT GENERAL STORE
SCALE: 1/4" = 1'-0"

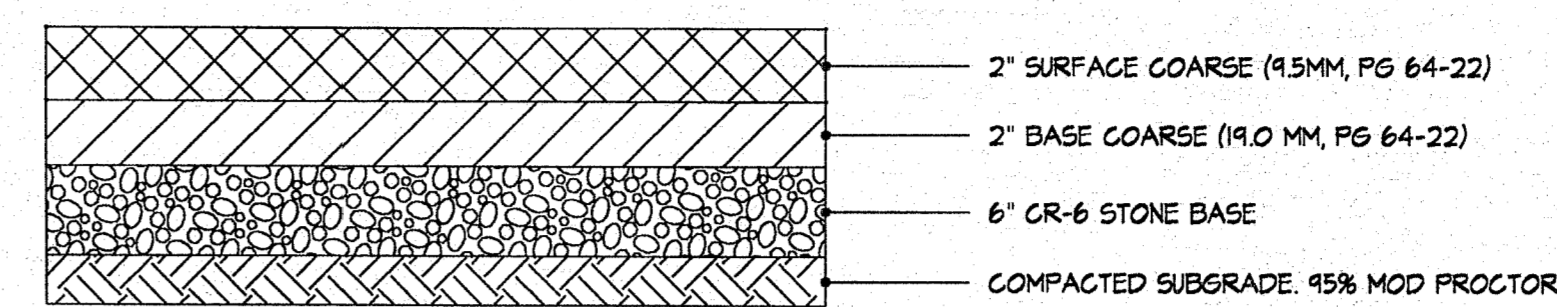
APPROVED
Montgomery County
Historic Preservation Commission
[Signature]



PENZA-BAILEY ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677 F 410-435-6868 www.PenzaBailey.com	PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland			POOLE - GENERAL STORE & RESIDENCE	REVISED	DATE	STANDARD NO.
		DATE APPROVED CHIEF ENGINEER DIRECTOR OF PARKS	CD's REVISION REVISION	12/04/2007 12/09/2007 01/09/2008 05/09/2008		D1-1		



VICINITY MAP
SCALE: 1" = 2000'
ADC MAP/GRID: 5161 / F8



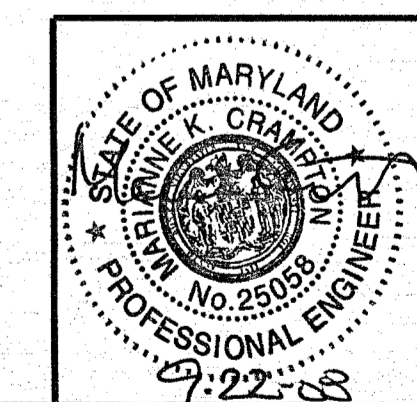
PARKING SPACE PAVING SECTION
NOT TO SCALE

SITE NOTES

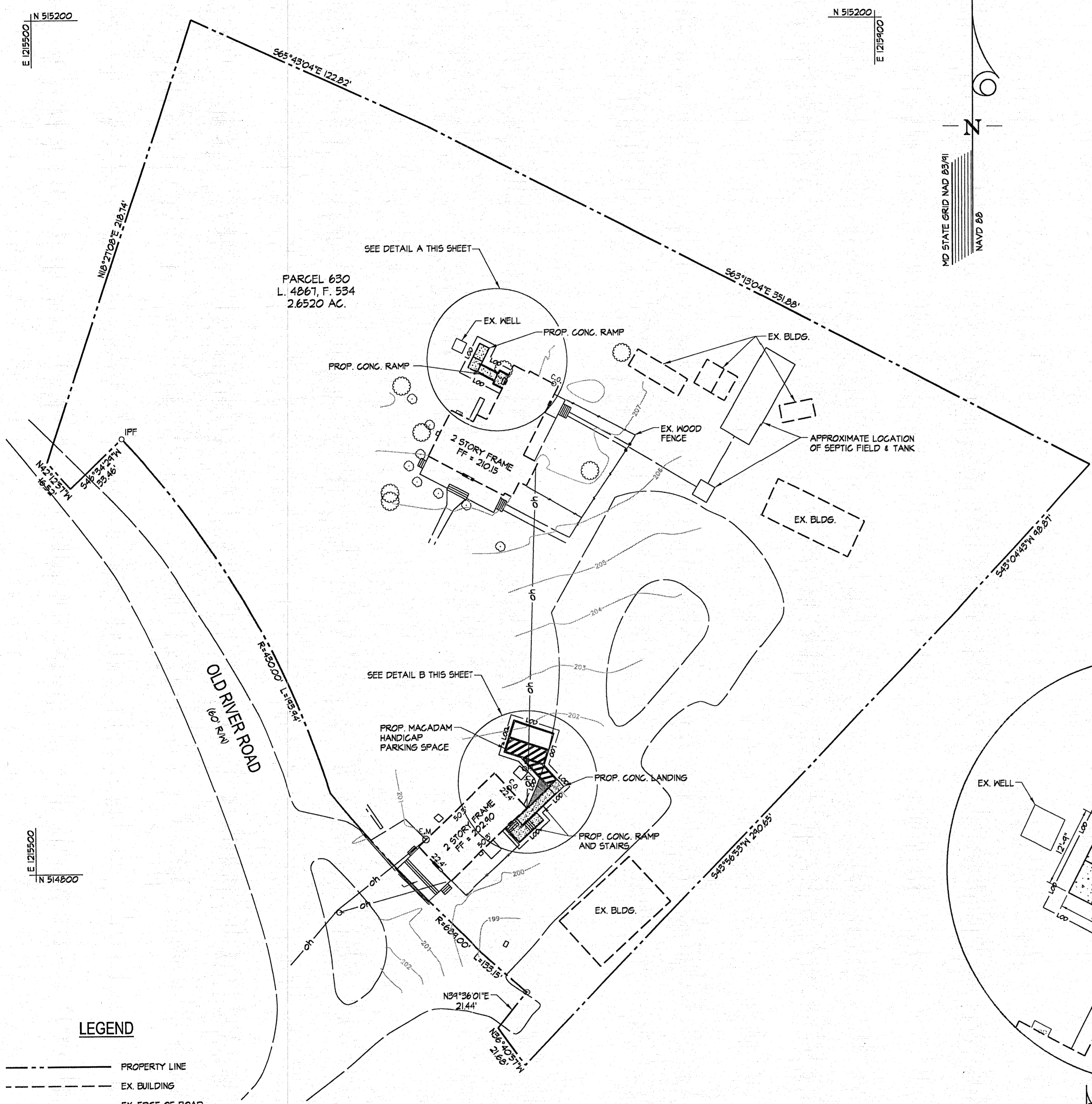
- OWNER: MARYLAND NATIONAL CAPITOL PARKS & PLANNING
9500 BRUNETT AVENUE
SILVER SPRING, MARYLAND 20901
CONTACT: JOEY LAMPF
- SITE DATA
TAX ACCOUNT: 00033658
LIBER / FOLIO: 4861 / 534
MAP / PARCEL: DR32 / P630
LOT AREA: 333 AC.
ELECTION DISTRICT: 03
SITE ADDRESS: 16401 OLD RIVER ROAD
POOLESVILLE, MARYLAND 20831
- TOTAL DISTURBED AREA: 1271 SqFt.
PROPOSED IMPERVIOUS AREA: 490 SqFt.
- EXISTING USE: GENERAL STORE / RESIDENCE
PROPOSED USE: GENERAL STORE / RESIDENCE
- EXISTING UTILITIES: WELL / SEPTIC
- THIS SITE LIES IN ZONE "C", AN AREA OF MINIMAL FLOODING PER FEMA MAP No. 24031C0305D DATED SEPTEMBER 29, 2006.
- PURPOSE: THE MDCPPC PLANNING DEPARTMENT PROPOSES TO ADD A HANDICAP RAMP TO THE POOLESVILLE STORE AND RESIDENCE IN THE REAR OF THE PROPERTY FOR ACCESS TO THE TWO BUILDINGS. ONE HANDICAP PARKING SPACE (VAN ACCESSIBLE) WILL BE ADDED TO THE REAR OF THE STORE ON A BITUMINOUS PAVED SURFACE WITH STRIPPING AND SIGNAGE.

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

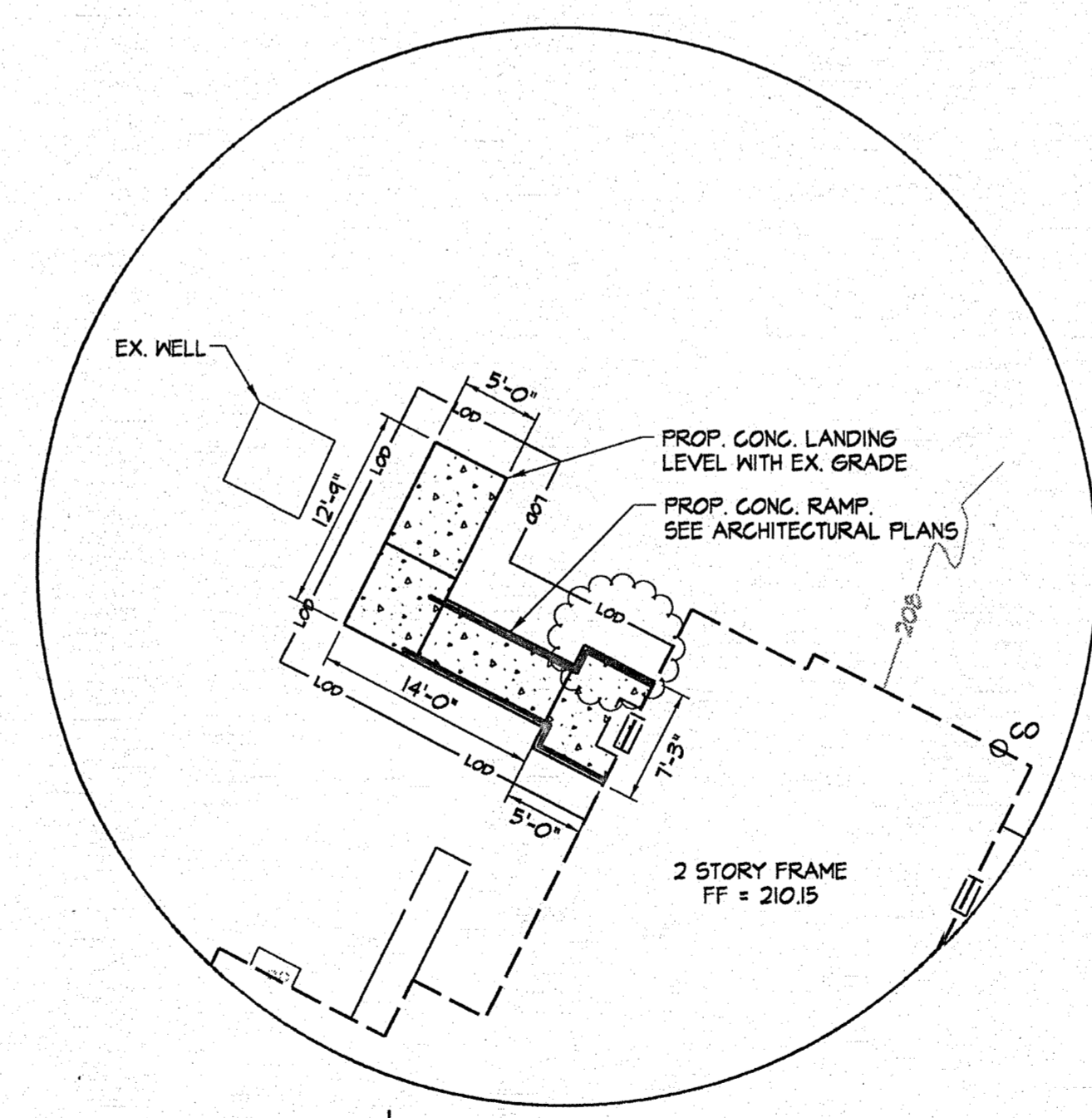
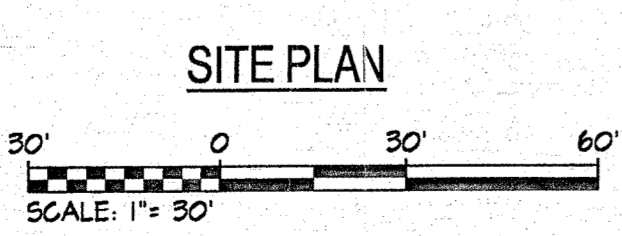
APPROVED
Montgomery County
Historic Preservation Commission
Arthur W. Jones, Jr.



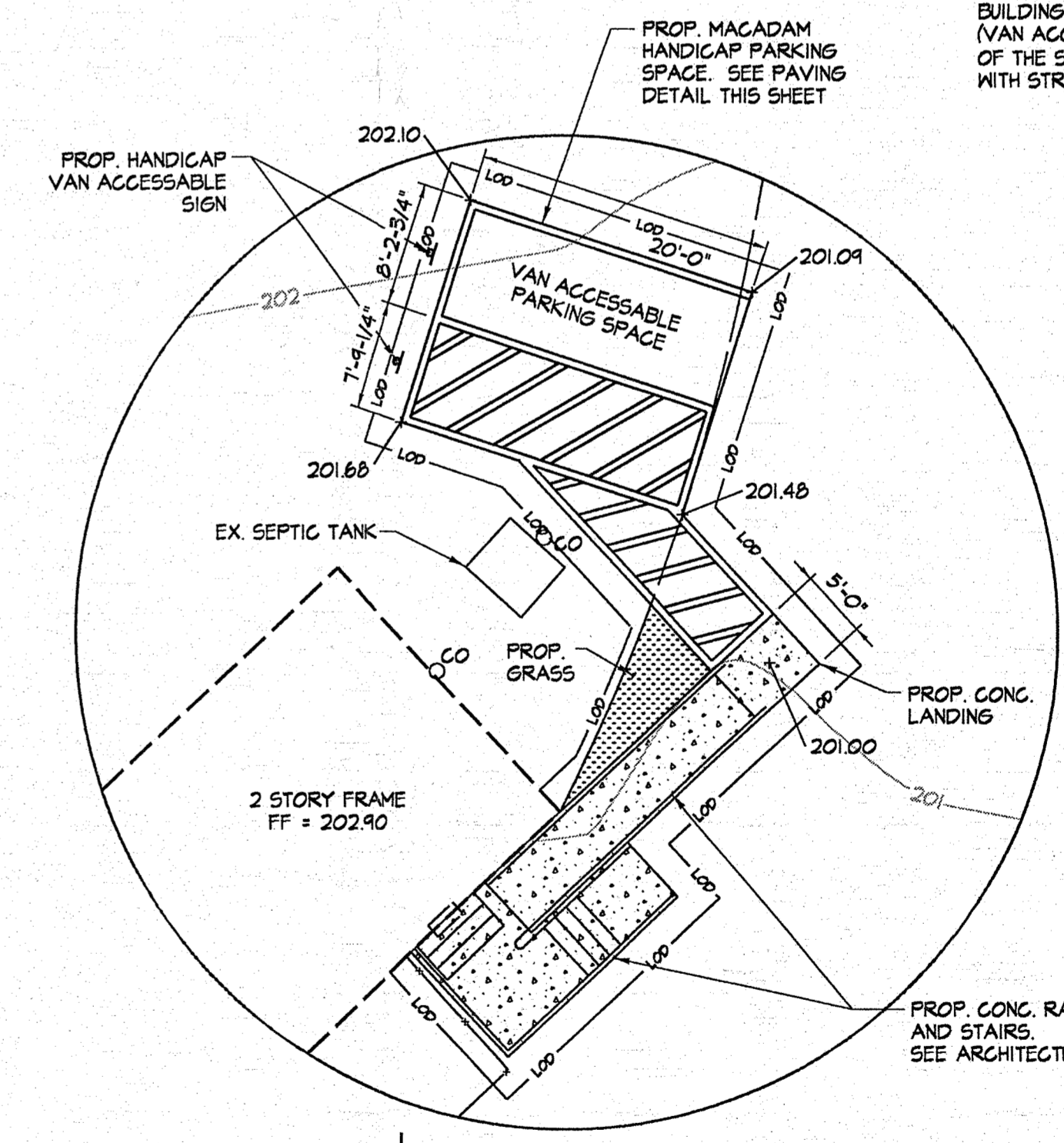
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 25058. EXPIRATION DATE: 11-11-08



- LEGEND
- PROPERTY LINE
 - EX. BUILDING
 - EX. EDGE OF ROAD
 - EX. SIDEWALK
 - EX. OVERHEAD LINE
 - EX. CONTOUR
 - EX. METAL FENCE
 - EX. WOOD FENCE
 - EX. TREE
 - PROP. EDGE OF PAVEMENT



DETAIL A
SCALE: 1" = 10'



DETAIL B
SCALE: 1" = 10'

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

KCI
TECHNOLOGIES

14502 GREENVIEW DRIVE
LAUREL, MARYLAND 20708
PHONE: (410) 792-8086
FAX: (410) 792-7419
www.kci.com

REVISIONS				DATE
NO.	DATE	DESCRIPTION	BY	
				9-19-08
				SCALE: 1" = 30'
				DESIGNED BY: NAB
				CHECKED BY: THM

POOLE PROPERTY
GENERAL STORE & RESIDENCE

SITE PLAN

16401 OLD RIVER ROAD
POOLESVILLE, MARYLAND 20831

DRAWING NO.

SP

SHEET 1 OF 1
KCI JOB NUMBER
1601079803

PLOTTED: 11:26 AM on Monday, September 22, 2008
Printer: Brian Berwick, Division: 6653
File: \\KCI\2008\1601079803\1601079803.dwg - SP - Site Plan.dwg

OTTE

TECHNOLOGIES
PHONE: (410) 792-8086
FAX: (410) 792-7419
www.kci.com

CHECKED BY: THM

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POOLESVILLE, MARYLAND 20831

1601079803