

16401 Old River Road, Poolesville

HPC Case No. 17/62-08 A

Master Plan Site # 17/62, Sunca Store

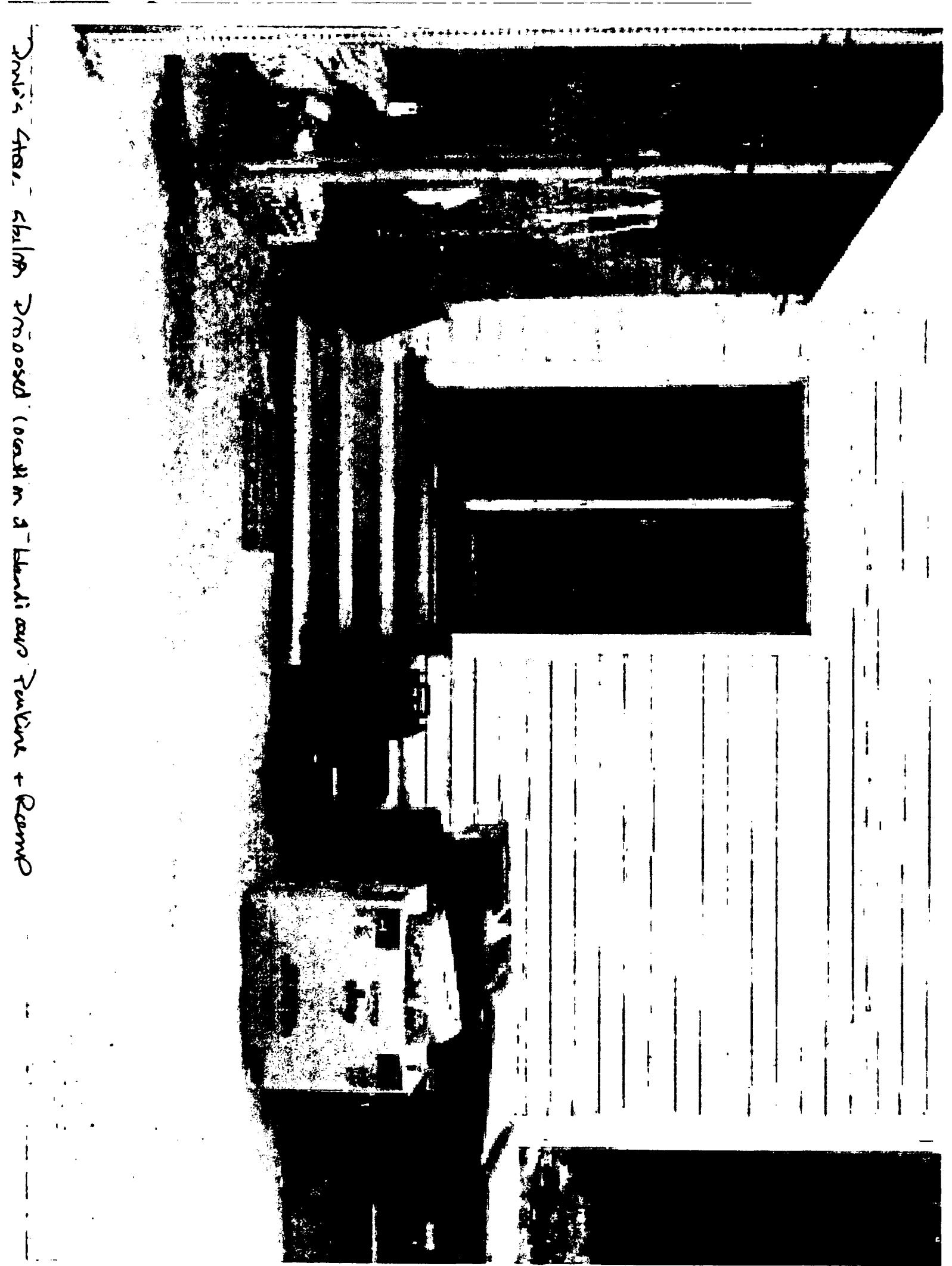
POOLE'S GENERAL STORE  
SENECA, MD.

16315

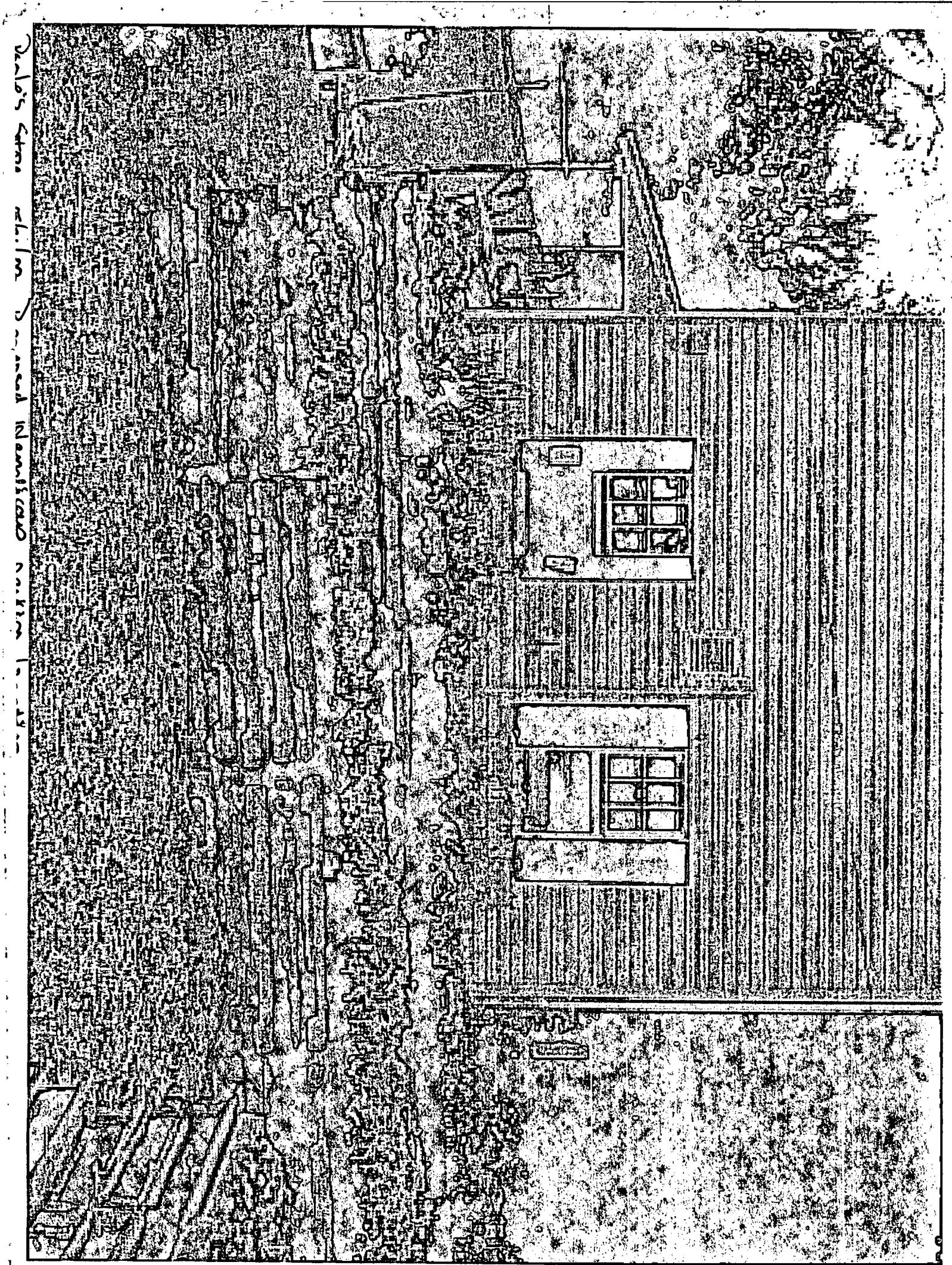
Coca-Cola

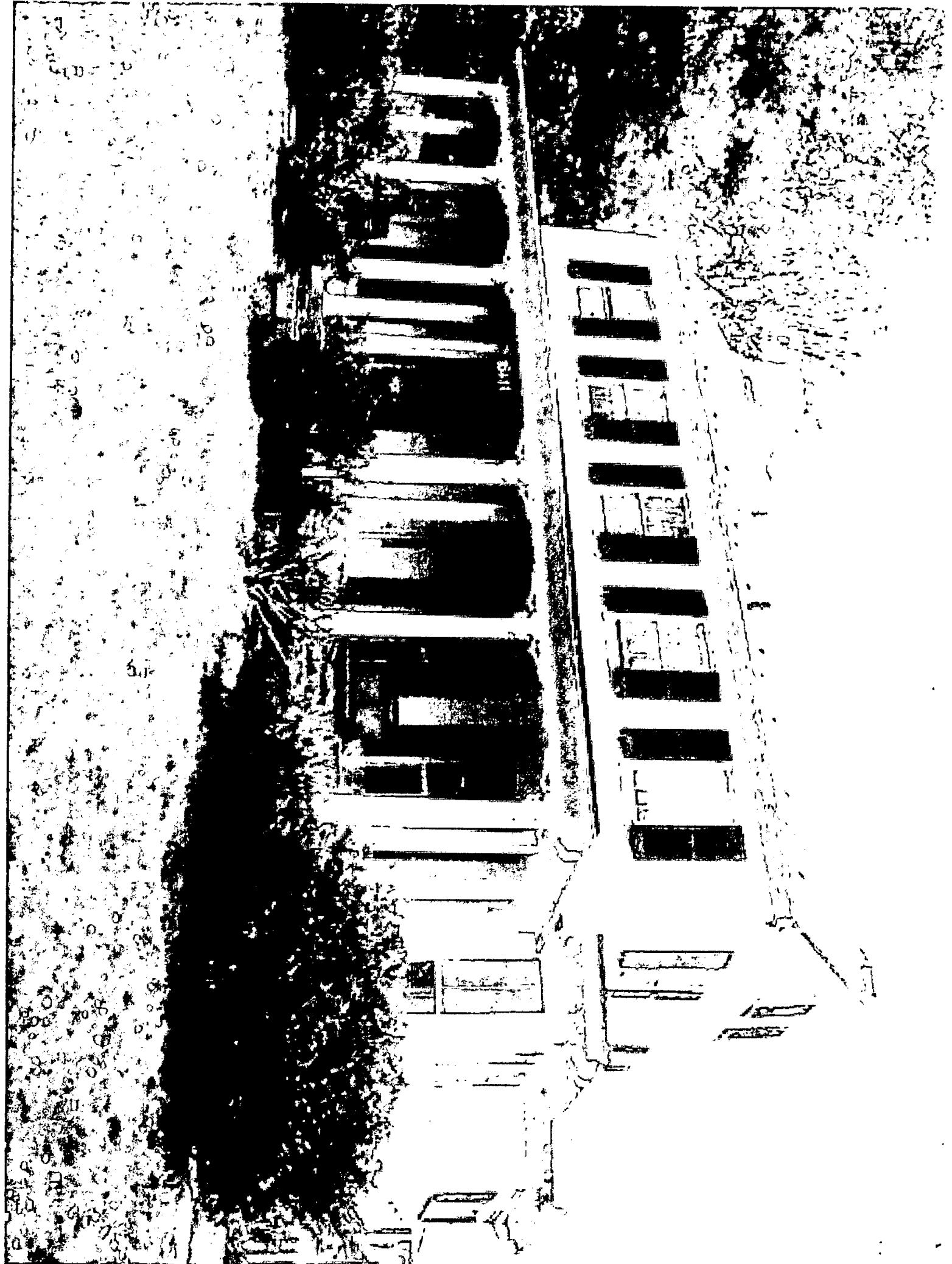
Tool Store Shelves Proposed location of Handicar Park : Rand





Wm's Star - Shulman proposed location - Island and Peck Lane + Ramp

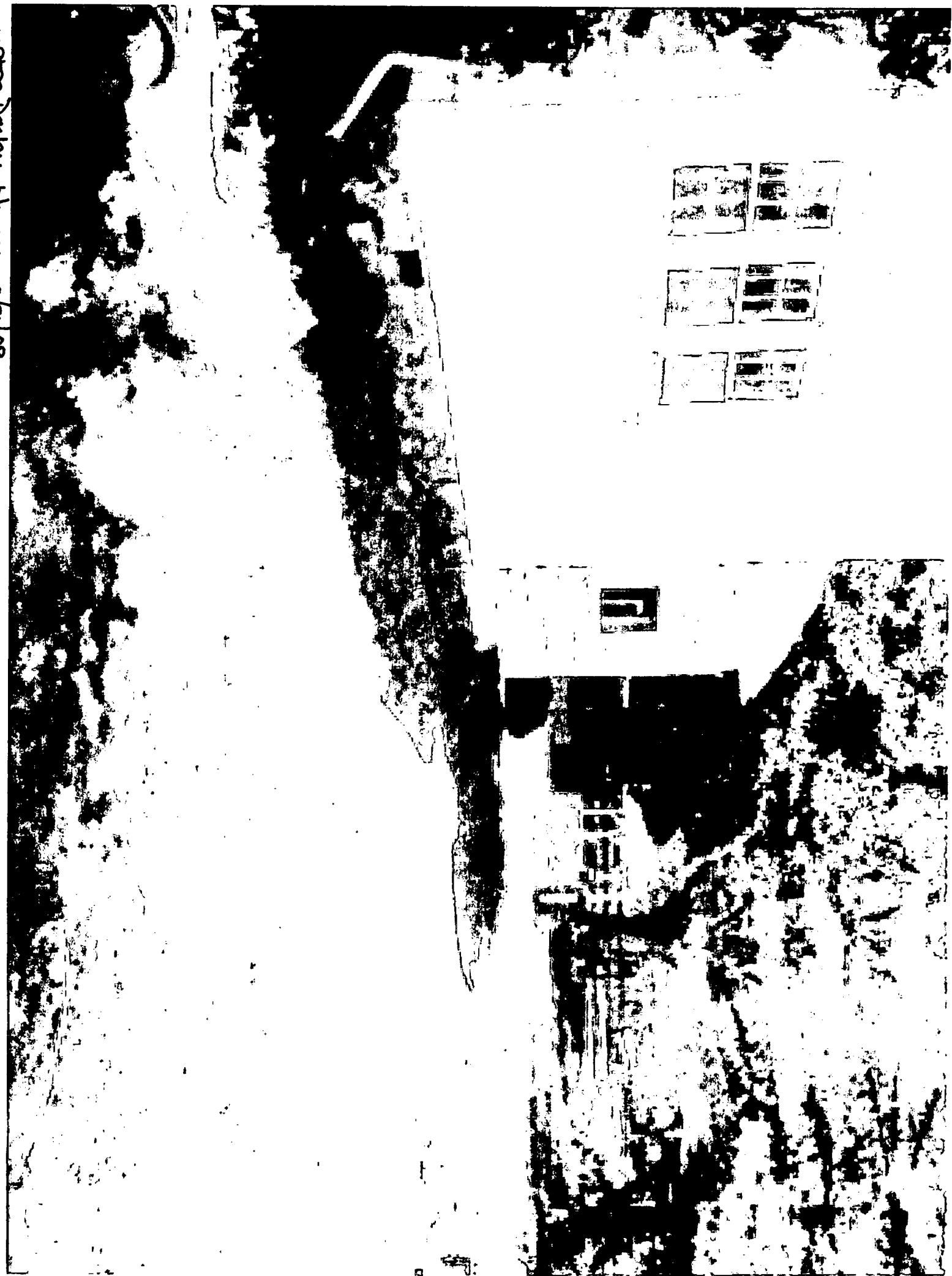


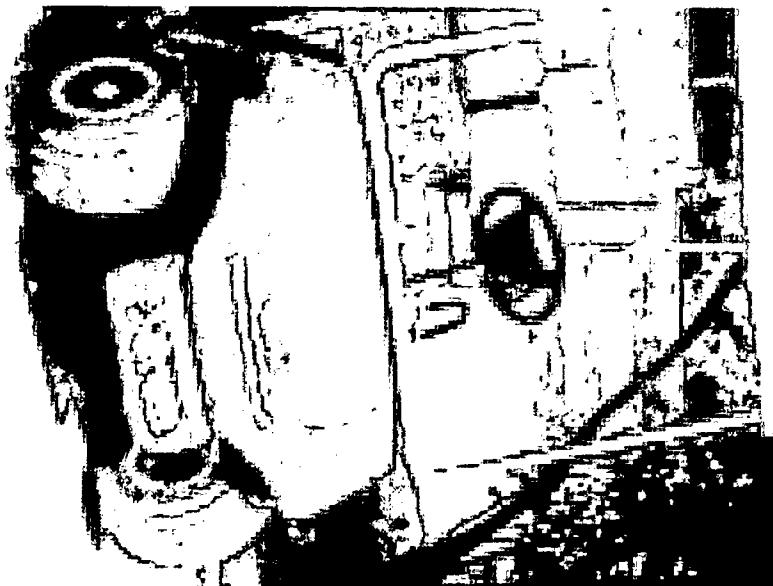


Upton Dairy House 020108  
Laminated processed Hendicard parking + Rainie



111 West 18th Street  
New York, N.Y.





inten Dr. h. u. schne In a n d P r o c e s s U n i v e r s i t a t D e m

## **Silver, Joshua**

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**To:** Grace, Michelle  
**Subject:** Poole's Store handicap ramp

Hi Michelle,

Let me know if this works for the Director's report. Feel free to delete or decide not to use some or any of the bullet points below.

Josh

### **Elements of Sensitive ADA Handicap Ramp Installations on Historic Buildings [Poole's General Store]**

Successful Project Elements and Outcomes of the Poole's General Store ADA handicap ramp installation:

- Location: Side elevation [mitigates the visual impact] and does not threaten/destroy significant architectural features
- Design: Sensitive to the historic building and setting and consistent with the Secretary of Interior Standards for the Treatment of Historic Properties
- Reversible: Type of installation allows for future removal if necessary without compromising the historic fabric and integrity of the building and environmental setting
- Compatibility: Appropriate use of materials [wood] and reuse of existing historic door openings
- Sustainability: Improves and maintains the use of the historic property as a general store
- Collaboration: Regular communication between Park's Department staff, Historic Preservation Commission staff and design team resulted in a well designed and executed project.

Joshua Silver, Senior Planner  
Countywide Planning Division, Historic Preservation Section  
The Maryland-National Capital Park and Planning Commission  
(301) 563-3400 (phone)  
(301) 563-3412 (fax)  
1109 Spring Street, Suite 801  
Silver Spring, MD 20910  
[www.MontgomeryPlanning.org](http://www.MontgomeryPlanning.org)



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Jef Fuller  
Chairperson

Date: June 26, 2008

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Joshua Silver, Senior Planner *J.S.*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #487686, installation of handicap ramps

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved at the June 25, 2008 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: M-NCPHC Parks Department

Address: 16315 & 16401 Old River Road, Poolesville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	16315 & 16401 Old River Road, Poolesville	<b>Meeting Date:</b>	6/25/2008
<b>Resource:</b>	<i>Master Plan Sites #17/61 and 17/62</i> <b>Upton Darby House and Seneca Store</b>	<b>Report Date:</b>	6/18/2008
<b>Applicant:</b>	M-NCPPC Parks Department	<b>Public Notice:</b>	6/11/2008
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Case Number:</b>	17/62-08A	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b> Installation of handicap ramps			

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**STAFF RECOMMENDATION:**

Staff is recommending that the HPC approve this HAWP.

**ARCHITECTURAL DESCRIPTION**

<b>SIGNIFICANCE:</b>	Individually Designated <i>Master Plan Site</i>
<b>STYLE:</b>	Vernacular
<b>DATE:</b>	c1900

**Upton Darby House #17/61 (c1855)**

The house is a two story, frame structure with a five-bay, main (south) façade. The doorway is in the central bay; it has transom and side lights. At either end are internal chimneys for fireplaces; that have two story bases or brick stacks. A one story porch with bracketed posts extends across the entire façade. A rear ell was built in two sections, each 1 ½ stories. The first section was integral with the house; the second part was added later. In plan, the house has a central hall and flanking parlors. The parlors have marble mantelpieces. The rear ell is two rooms, the second one being added as a new kitchen.

**Seneca Store #17/62 (c1900)**

The store is a two and half story, three-bay by three-bay, building built on brick foundations and faces clad with white vinyl siding. The southwest (front) porch has four poured concrete steps which extend the full width of the elevation. Four thin striped tree trunks, painted green, support a shed roof with a green raised standing seam metal covering. The southwest door is a double paneled door surmounted by a two light transom. On the southeast elevation a shed roof is supported by four metal poles. At the east corner there are double paneled wooden doors. There are 6/6 double hung windows flanked at the first level by green wooden paneled shutters, and at the second level by green wooden louvered shutters which have been closed. The store has gable roof with raised seam metal covering. An exterior stove chimney on the southeast exterior wall abuts an interior stove chimney on the same elevation.

## HISTORIC CONTEXT

The following was excerpted from Places From the Past: The Tradition of Gardez Bien in Montgomery County, Maryland.

The store is National Register listed in the Seneca Historic District. Seneca was a thriving town supported by the stone-cutting industry, a gristmill, commercial canal traffic, and summering vacationers. The community had several warehouses and shops, a hotel, and several resort homes in the late 1800s and early 1900s. Frederick Allnutt, who had been running a store next to the canal for several years, built the frame store facing River Road in 1901. The Allnutt family operated the store for over 60 years. Since Raymond Poole began managing the business in 1965, it has been known as Poole's Store.

## PROPOSAL:

The applicant is proposing to install two wooden handicap ramps on concrete footers at the subject property.

### Historic House

The proposed ramp will be located at the rear of the house and attach to a later addition section. The proposed work includes the removal and replacement of one wooden door and installation of a new wooden door and modifications to the door threshold and casing to accommodate the proposed accessibility project.

### Historic Store

The proposed ramp will be located on the northeast (right side) of the store and utilize the existing historic double-paneled wooden doors, casing and threshold to provide access to the store.

## APPLICABLE GUIDELINES:

When reviewing alterations and new construction to *Master Plan* Sites several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A* (*Chapter 24A*), and the *Secretary of Interior Standards for Rehabilitation* (*Standards*). The pertinent information in these documents is outlined below.

### *Montgomery County Code; Chapter 24A*

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

*Secretary of the Interior's Standards for Rehabilitation*

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finished, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Staff has worked closely with the applicant over the last year on developing a proposal that protects the historicity of both buildings and meets the accessibility needs of the owner. Staff supports the proposed ramp installation projects for both buildings at the property.

**Historic House**

The proposed ramp will be confined to a later addition section at the rear of the historic house. The use of all wood for the ramp, balustrade and hand railings are appropriate material treatments for an ADA compliant handicap ramp on a historic property. The proposed work will not be visible from the front of the subject property and will have no impact on the environmental setting of the site. Staff supports the removal of the door and threshold modification project. The door is located on a non-integral and later addition section of the house and will be replaced with an appropriate style all wood door. The proposed threshold modifications are only minor and will not impact any part of the historic massing. Staff encourages the applicant to consider reusing and/or retaining the door proposed for removal for a future use at the property.

**Store**

Although the ramp will be visible when approaching the store from the road staff supports the proposed project for several reasons: (1) installation of the proposed ramp will not impact the historic building fabric; (2) the proposed work includes reusing and rehabilitating the existing historic doors, casing and threshold; (3) the ramp, balustrade and hand railings are all wood; and (4) the required ADA parking space will be confined to the rear of the property and located in the existing gravel and macadam parking area. *Staff is recommending the HPC approve this HAWP application.*

**STAFF RECOMMENDATION:**

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b) (1), (2) & (3);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240 777-6370

DPS - #8

## HISTORIC PRESERVATION COMMISSION

301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Julianne Mueller

Daytime Phone No.: 301-650-4390

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Maryland-National Capital Park and Planning Daytime Phone No.: \_\_\_\_\_

Address: 9500 Brunette Avenue, Silver Spring, MD 20901

Street Number

City

Street

Zip Code

Contractor: Department of Parks, Central Maintenance Phone No.: 301-670-8100

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_

Daytime Phone No.: \_\_\_\_\_

### LOCATION OF BUILDING/PREMISE

House Number: 16401 (house) and 16315 (store) Street: Old River Road

Town/City: Poolesville Nearest Cross Street: Tschiffley Mill Road

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: Election District 3, Map DR 32 P630, Subdivision 1

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct    Extend    Alter/Renovate  
 Move    Install    Wreck/Raze  
 Revision    Repair    Revocable

#### CHECK ALL APPLICABLE:

- A/C    Slab    Room Addition    Porch    Deck    Shed  
 Solar    Fireplace    Woodburning Stove    Single Family  
 Fence/Wall (complete Section 4)    Other: HANDICAP PARKING + RAMP

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC   02  Septic   03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC   02  Well   03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line    Entirely on land of owner    On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Joey Land  
Signature of owner or authorized agent

5/21/08  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 487686 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The Poole's Store and Upton Darby House are located in the Seneca Historic District, which is listed in the National Register of Historic Places. Both buildings are individually listed on the Montgomery County Master Plan as Site 17762. The properties are located within the Maryland Department of Natural Resources Seneca Creek State Park. From "Places From the Past:" The Poole Store, also known as the Seneca Store, "is the oldest general store in continuous operation in Montgomery County and one of the few surviving turn-of-the-20th-century commercial buildings in the county. The store has a traditional front-gable form with cornice returns and 6/6 sash windows reminiscent of the pre-Civil War Greek Revival Era. The front porch posts are stripped whole tree trunks. On the interior, a closed-string staircase in the rear east corner is enclosed with triple beaded paneling....Frederick Allnutt...built the frame store facing River Road in 1901" (p.179). Built in 1855 by John and Upton Darby of Franklin County, Pennsylvania, the Upton Darby House is one of the few mill-related structures still standing in the county. It is a center-hall, one-room deep structure with a Greek Revival style doorway transom. In addition to the house, the Darbys owned and operated the Seneca Mills, a complex dating to the late 18th century, located at the intersection of River and Tschiffley Mill roads. The house was purchased by Frederick Allnutt in 1900, the year before he constructed the general store next door (p. 173).

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

Separate ramps and associated parking areas to provide handicap accessibility are being proposed for both the house and store. The ramps will be constructed of wood and will be connected to the structures at existing doorways set at the back and rear so as to have the least visual impact from the road. At the house, the ramp will be added to the existing non-historic mudroom addition where a step and non-historic door will be removed to accommodate the ramp and a wider door. At the store, three existing concrete steps will be removed, but the historic doors will be retained *in situ* and will be operated by a push button. The handicap parking space will be placed within the boundaries of the existing, gravel, store parking lot. Attached plans provide additional detailing for both structures. All work will comply with the Secretary of the Interior's Standards for Rehabilitation and will have no adverse effect on the integrity or historic significance of the structures or the historic district.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

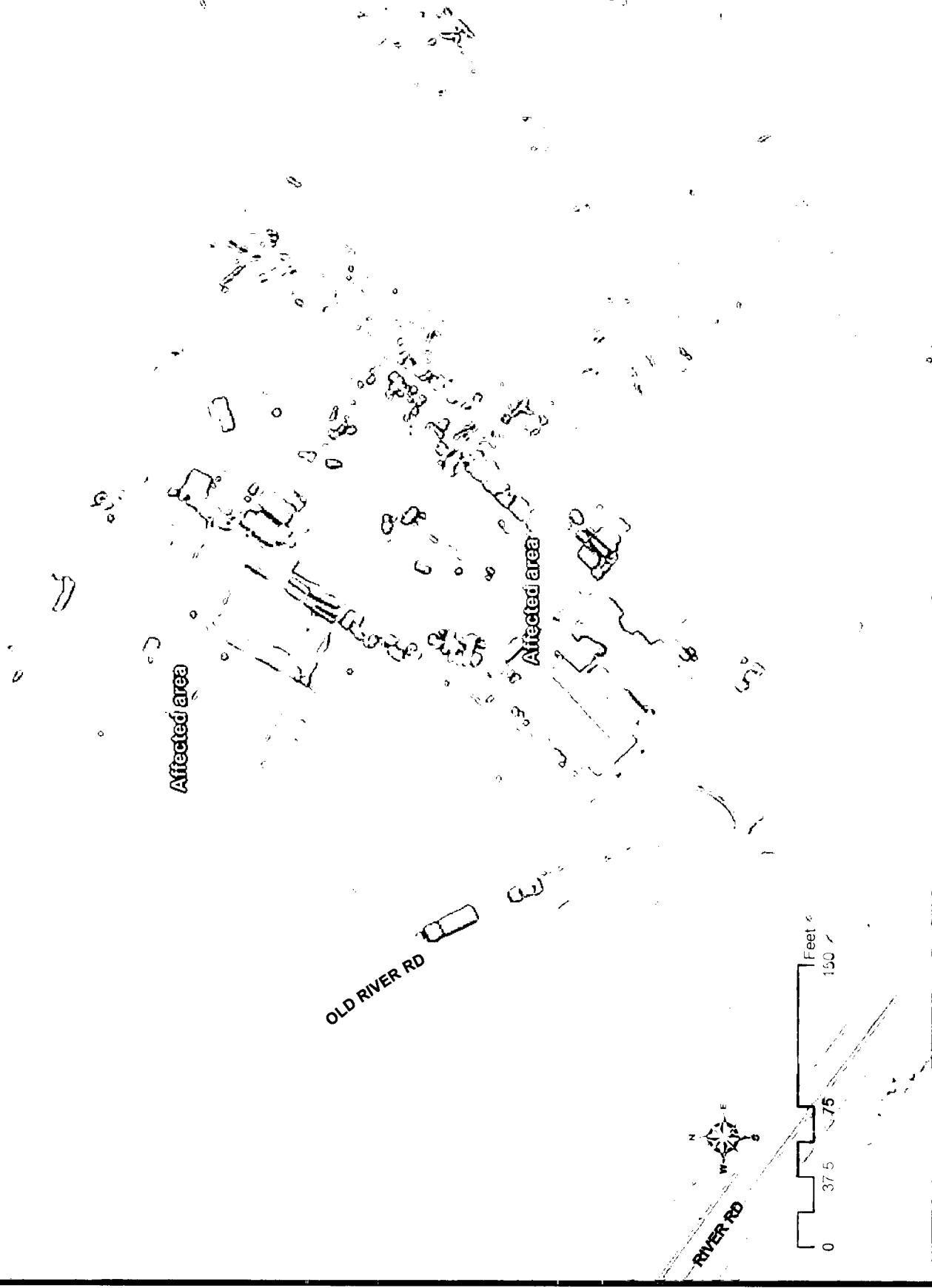
If you are proposing construction adjacent to or within the dripline of any tree 6' or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

# Upton Derby House and Poole's Store



8

Affected area

Upton Darby House

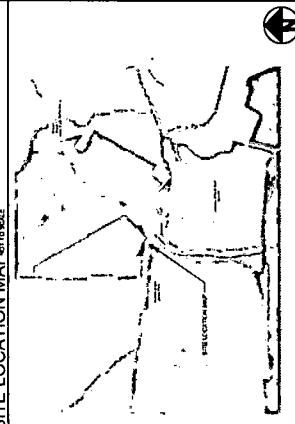
Affected area

Poole's Store

OLD RIVER RD

RIVER RD

## SITE LOCATION MAP



## BUILDING DATA

Office:	MARYLAND CAPITAL PARK AND PLANNING COMMISSION 1000 BRUSSETT AVENUE, SUITE 1000 BETHESDA, MD 20814
Project Address:	16401 OLD RIVER ROAD, POOLESVILLE, MARYLAND 20837
Architect:	POENZA+BAILEY ARCHITECTS 401 WOODBURN AVE. BALTIMORE, MD 21212
Application Date:	02/05/2013
Last Update:	02/05/2013
Lot Size:	1.53 ACRES / 6,517,665 SQ. FT. (+/-)
Existing Building Floor Area (SF):	1,580.00 SF (+/-)
Proposed Building Footprint:	225 SF2 (+/-)
Existing Building Floor Area (SF):	1,580.00 SF (+/-)
Proposed Building Footprint:	1,580.00 SF (+/-)
Existing Building Height:	11' 8" St. L. (+/-)
Proposed Building Height:	11' 8" St. L. (+/-)
Existing Building Stories:	1
Proposed Building Stories:	1
Existing Building Type:	GENERAL STORE, LEASED COMMERCIAL
Proposed Building Type:	GENERAL STORE, LEASED COMMERCIAL

## RENOVATIONS TO

# POOLE PROPERTY

## GENERAL STORE & RESIDENCE

16401 OLD RIVER ROAD  
POOLESVILLE, MARYLAND 20837

## OWNER

MARYLAND-NATIONAL CAPITAL PARK  
AND PLANNING COMMISSION  
8900 BRUSSETT AVENUE  
SILVER SPRING, MARYLAND 20901  
CONTACT: JOEY LANL  
301-583-3407  
EMAIL:

## ARCHITECT

POENZA+BAILEY ARCHITECTS  
401 WOODBURN AVE.  
BALTIMORE, MD 21212  
CONTACT: DWAYNE VAN HORN, AIA  
410-315-5677  
DWVANHORN@PENZABAILEY.COM

## STRUCTURAL &amp; CIVIL

KC ENGINEERS  
10 NORTH PARK DRIVE  
HUNT VALLEY, MD 21030  
CONTACT: KEN DILL, PE  
410-315-7190  
kd@kceng.com

## NOT FOR CONSTRUCTION

## MATERIALS

ROOFING SYSTEM	ASPHALTIC SHINGLES, 24 MIL THICK	CONCRETE	CONCRETE
DOOR NUMBER	OPENING	WOOD	WOOD
WINDOW TYPE	OPENING	WOOD	WOOD
EXTERIOR	OPENING	WOOD	WOOD
INTERIOR	OPENING	WOOD	WOOD
KERTON	OPENING	WOOD	WOOD
COURTYARD	OPENING	WOOD	WOOD
CLOISTER	OPENING	WOOD	WOOD
CONSTRUCTION FLOOR	OPENING	WOOD	WOOD
TRIM GRADE	OPENING	WOOD	WOOD
CEMENT BACKERBOARD	OPENING	WOOD	WOOD
CEMENT BACKERBOARD	OPENING	WOOD	WOOD
SECTION	OPENING	WOOD	WOOD
DOOR	OPENING	WOOD	WOOD

## DRAWING INDEX

ARCHITECTURAL DRAWINGS LIST BY POENZA+BAILEY ARCHITECTS	1.1 INDEX OF GENERAL NOTES
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	1.1.2 FIRST FLOOR RESIDENCE
	1.1.3 ELEVATION & SECTION
	1.1.4 SECTION & DETAILS
	1.1.5 MATERIALS & FINISHES
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NOT FOR CONSTRUCTION

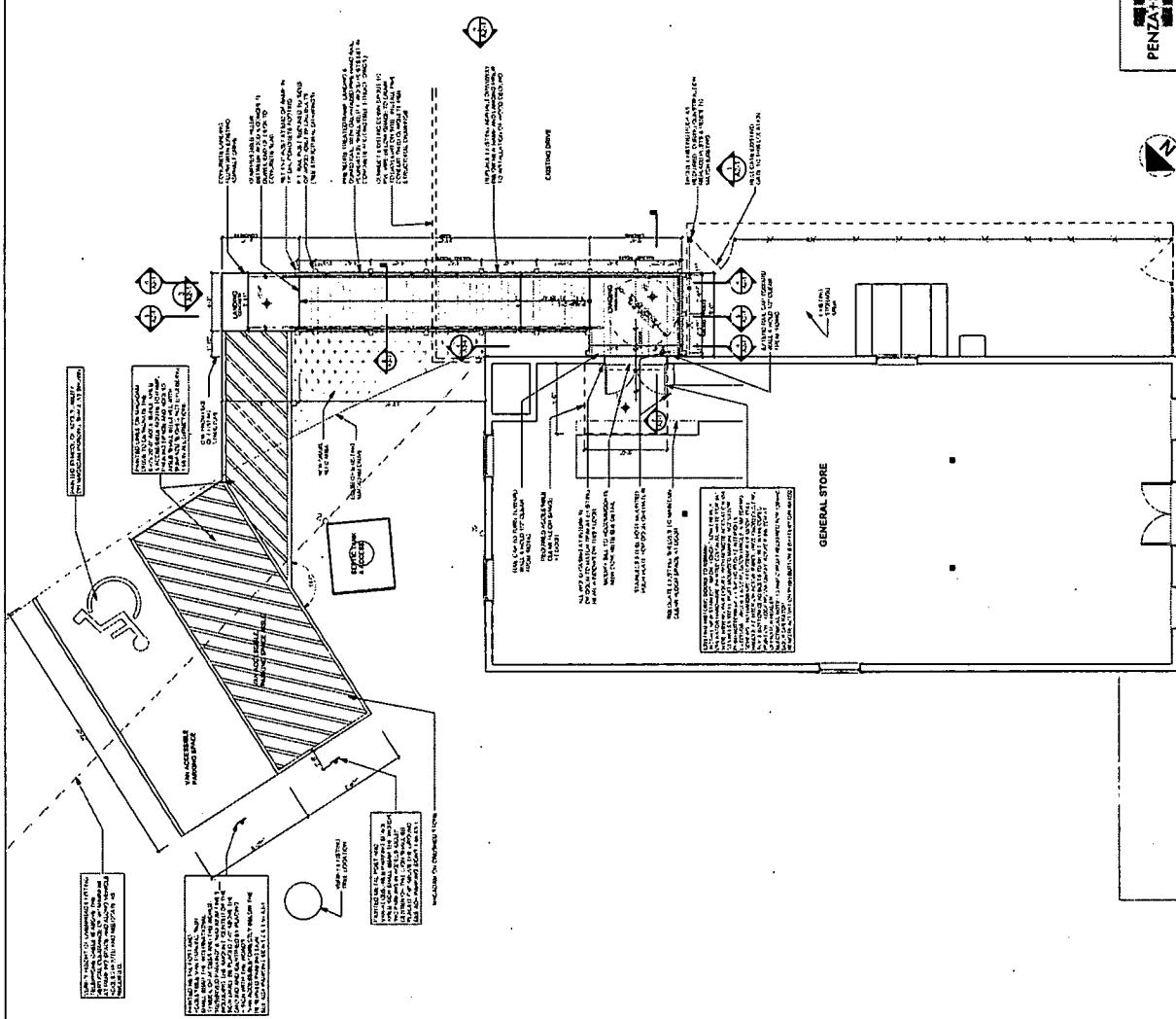
ELECTRICAL NOTES

GENERAL PROJECT NOTES



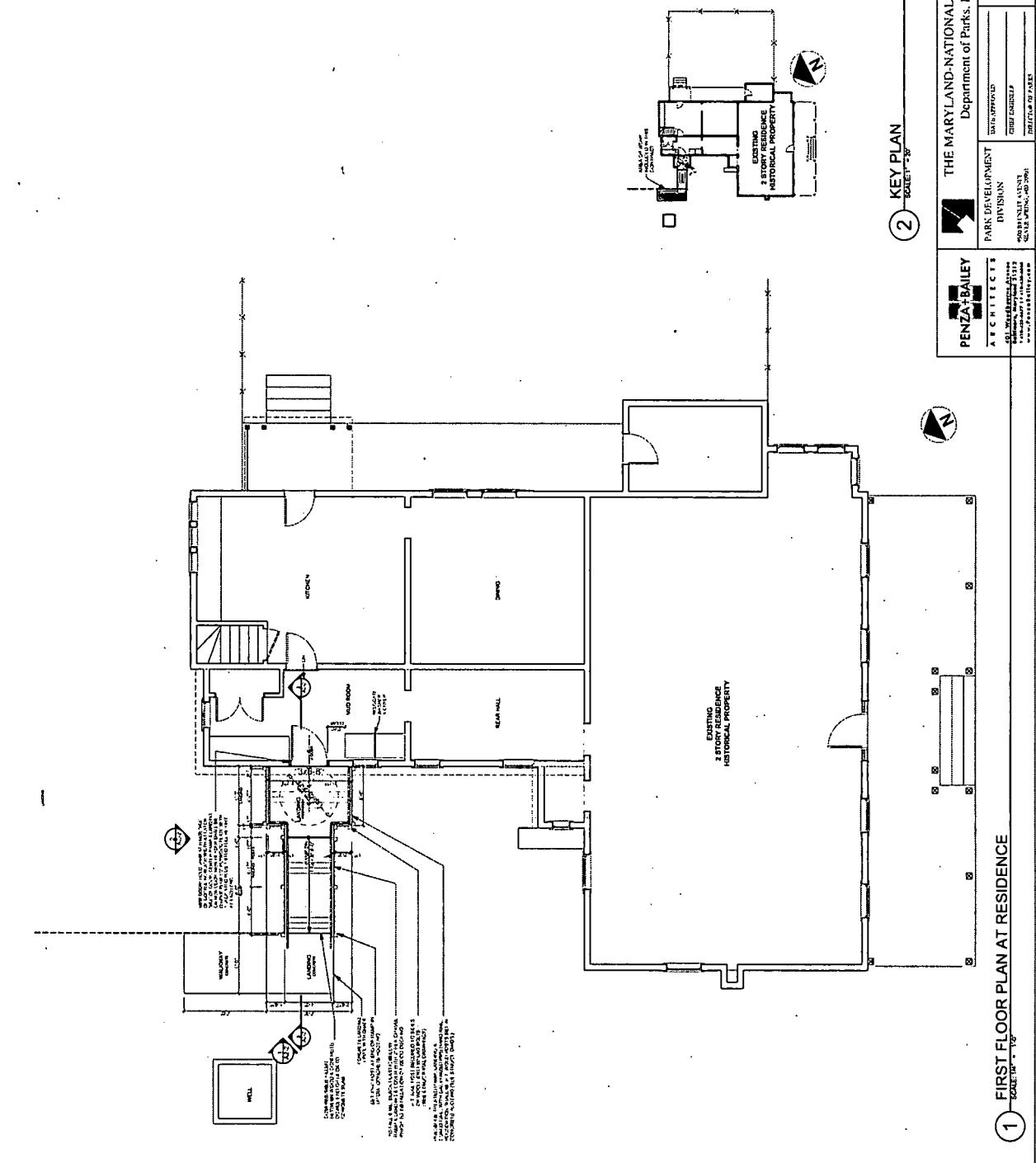
This technical drawing shows a rectangular building footprint for a 'GENERAL STORE'. The building has a single-story extension on the right side. A central entrance is marked with a double-lined rectangle. To the left of the entrance, there is a small room or alcove. The building's exterior is divided into sections by vertical lines, some of which are labeled with letters 'A', 'B', 'C', and 'D'. Above the building, a dashed line indicates the roofline. Labels include 'GENERAL STORE' on the main structure, 'ALCOVE' for the left extension, and 'WALKWAY' for the right extension. A vertical dimension line on the left indicates a height of 10'-0". A horizontal dimension line at the bottom indicates a width of 30'-0". A vertical dimension line on the right indicates a height of 12'-0". A horizontal dimension line across the top indicates a total length of 40'-0". A label 'EAST SIDE EXTERIOR WALL' is located near the top right corner.

**KEY PLAN**

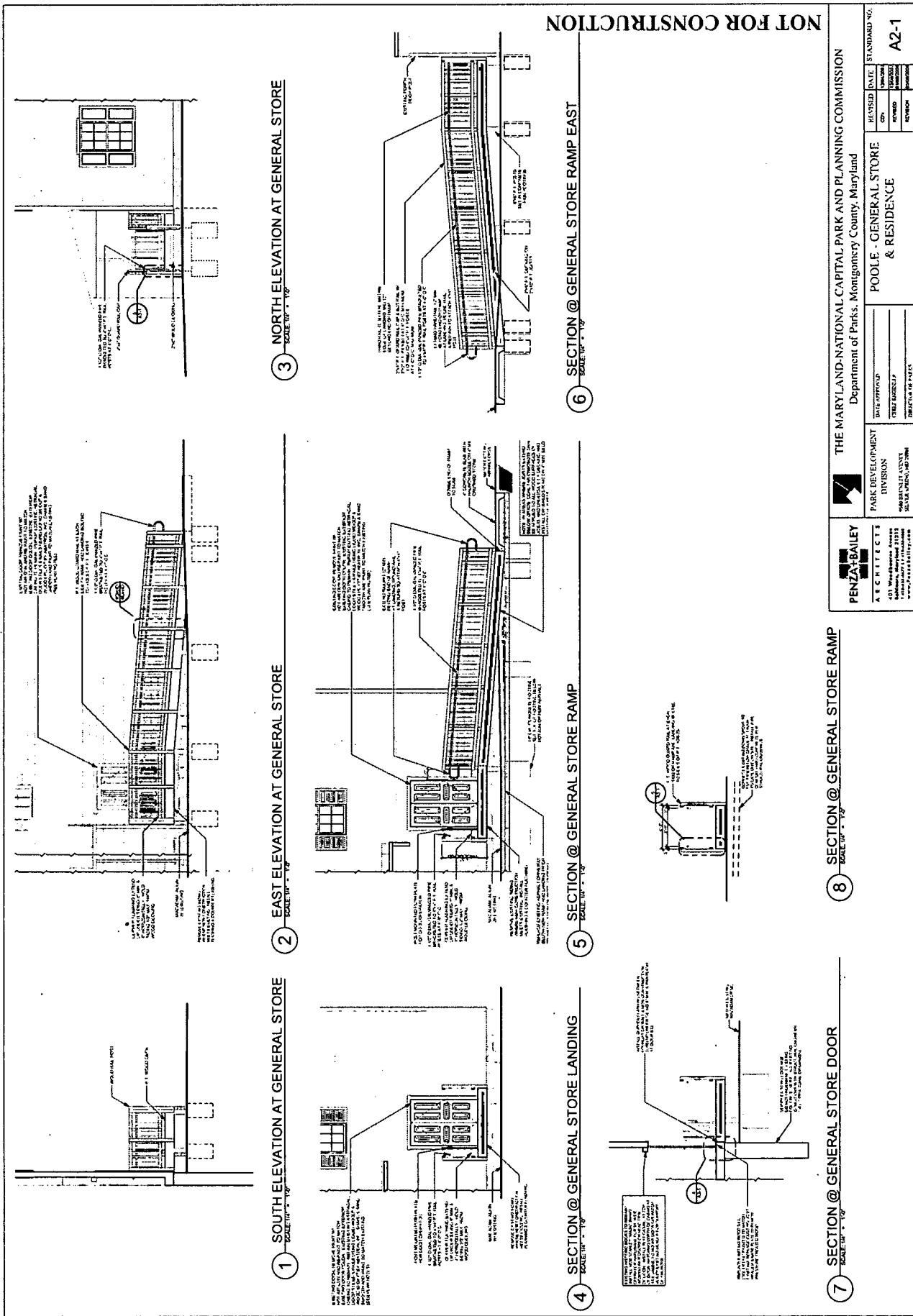


FIRST FLOOR AT GENERAL STORE

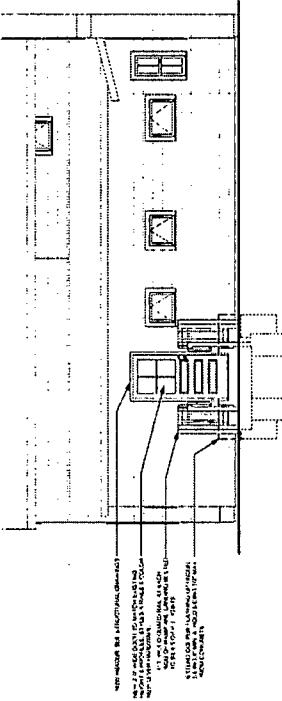
NOT FOR CONSTRUCTION



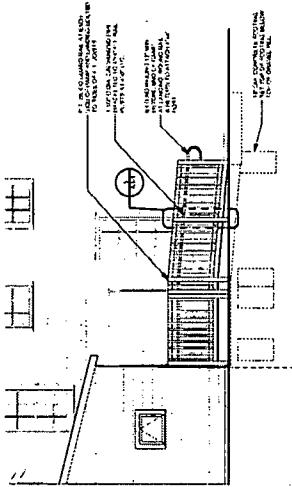
(12)



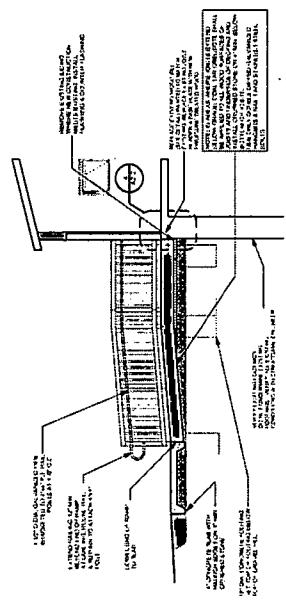
NOT FOR CONSTRUCTION



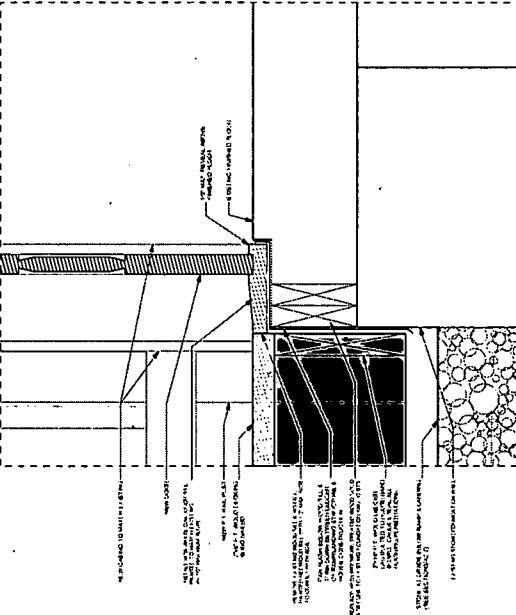
① WEST ELEVATION AT RESIDENCE  
SCALE: 1'-0" = 1'-0"



② NORTH ELEVATION AT RESIDENCE  
SCALE: 1'-0" = 1'-0"



③ SECTION @ RESIDENCE RAMP  
SCALE: 1'-0" = 1'-0"

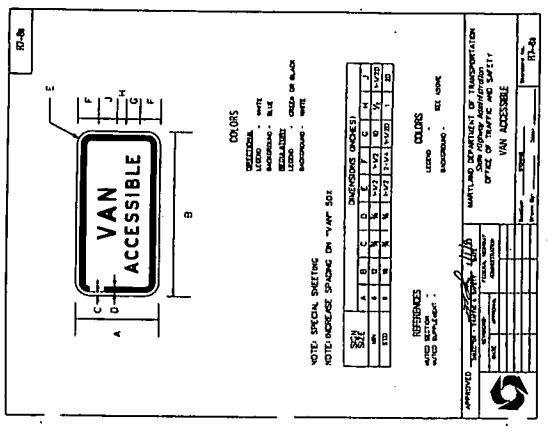


④ DETAIL-DOOR SILL @ RESIDENCE  
SCALE: 1'-0" = 1'-0"

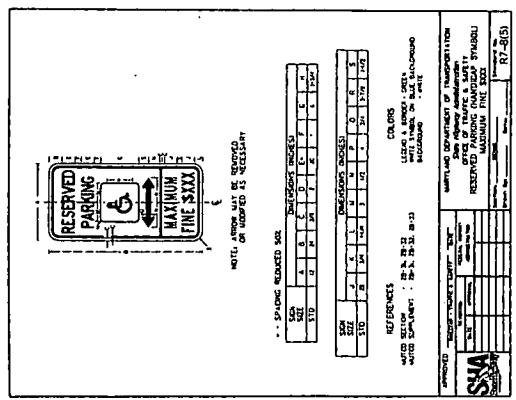
PENZA BAILEY		THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION	
ARCHITECTS		Department of Parks, Montgomery County, Maryland	
PARK DEVELOPMENT	DIVISION	REVISED DATE	STANDARD NO.
POOLE - GENERAL STORE	POOLE - GENERAL STORE	CP	A2-2
RESIDENTIAL	RESIDENTIAL	REvised 10/2003	Montgomery County Standard
RESIDENTIAL	RESIDENTIAL	Approved 10/2003	Montgomery County Standard
RESIDENTIAL	RESIDENTIAL	Effective 10/2003	Montgomery County Standard

14

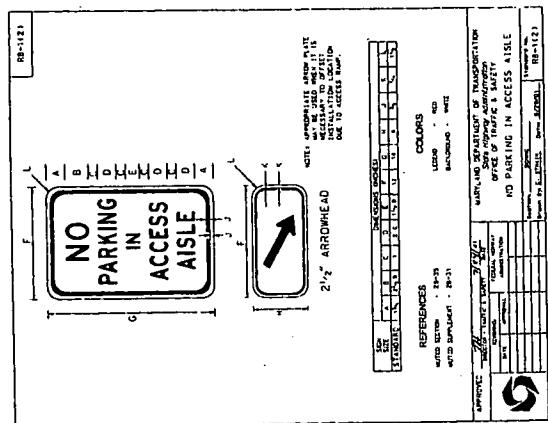
NOT FOR CONSTRUCTION



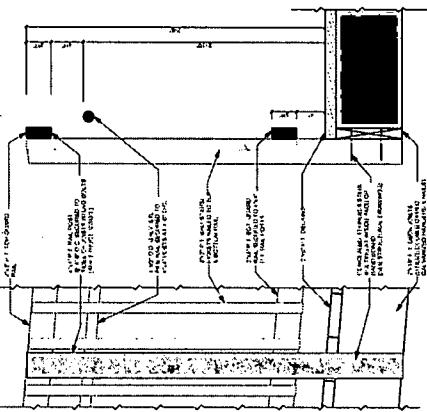
3 ADA Parking Signs



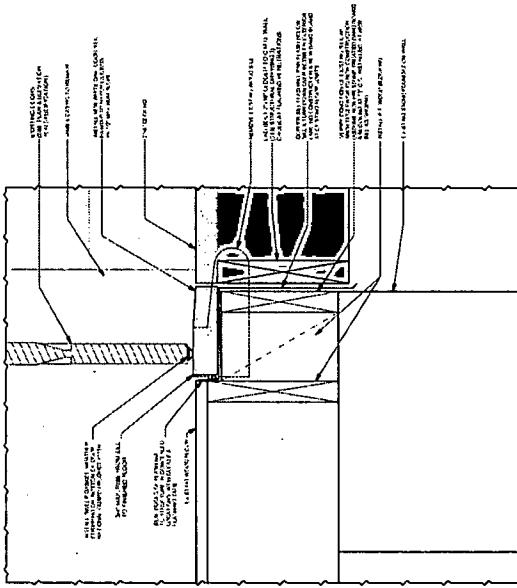
ADA Parking Signs



ADA Parking Signs



**5** DETAIL-RAILING  
SCALE: 1/8" = 1'-0"

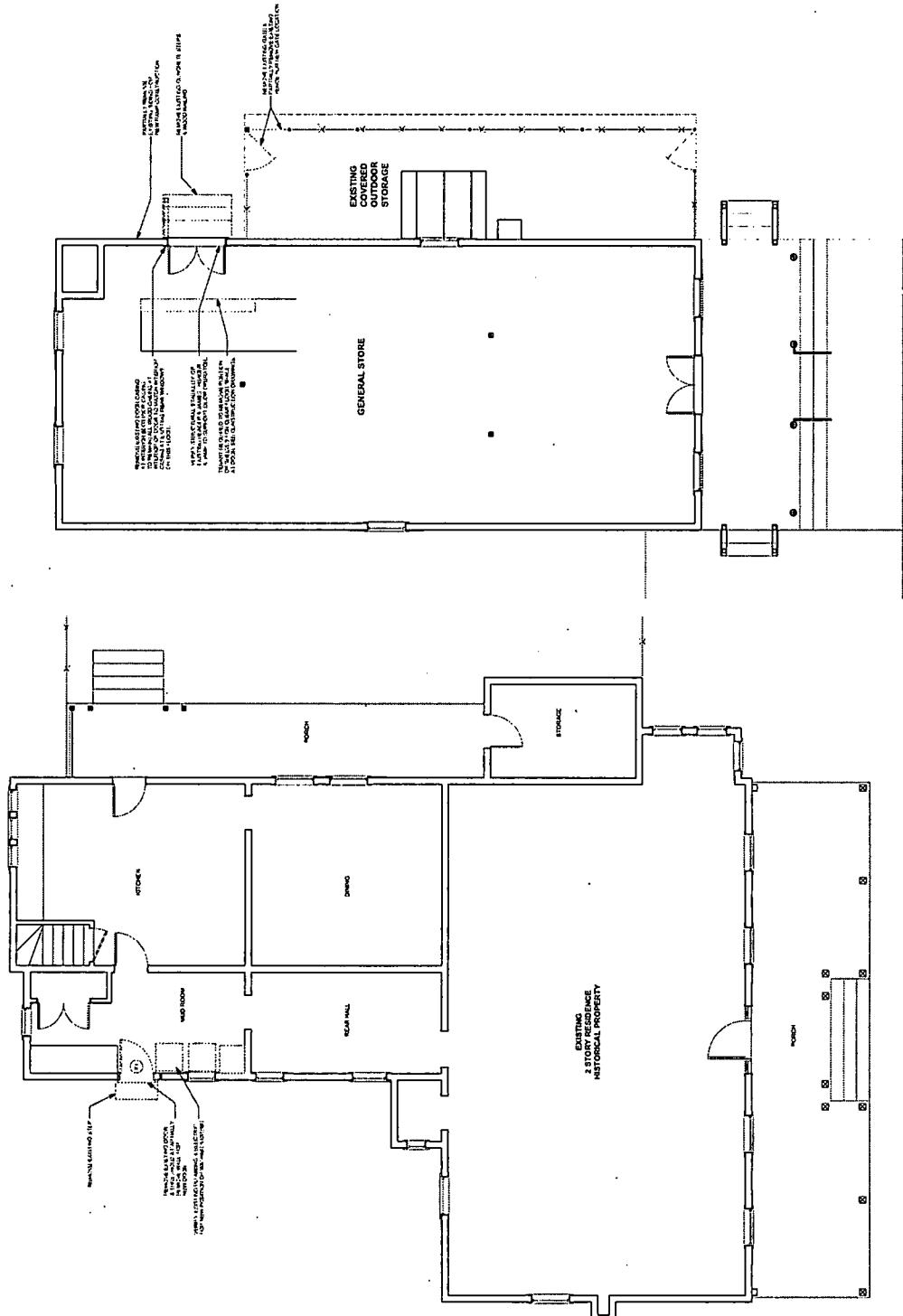


**4** DETAIL-DOOR SILL @ STORE  
SOCIETY 147

Department of Parks, Montgomery County, Maryland		STANDARD NO.
PARKS DEPARTMENT	GENERAL STORE & RESIDENCE	WATERED DATE
DATE APPROVED	CITY DIRECTOR	CON
APPROVING AUTHORITY	CHIEF ENGINEER	REMOVED
SUPERVISOR'S SIGNATURE	STANLEY J. SCHAFFNER	REVIEWED
APPROVING AUTHORITY	CLERK OF PARKS	APPROVED
APPROVING AUTHORITY	CLERK OF PARKS	APPROVED

NOT FOR CONSTRUCTION

DEMOLITION NOTES



**FIRST FLOOR DEMOLITION AT RESIDENCE**  
SCALE 1/2" = 10'-0"

**FIRST FLOOR DEMOLITION AT GENERAL STORE**

16

#### GENERAL STRUCTURAL NOTES:

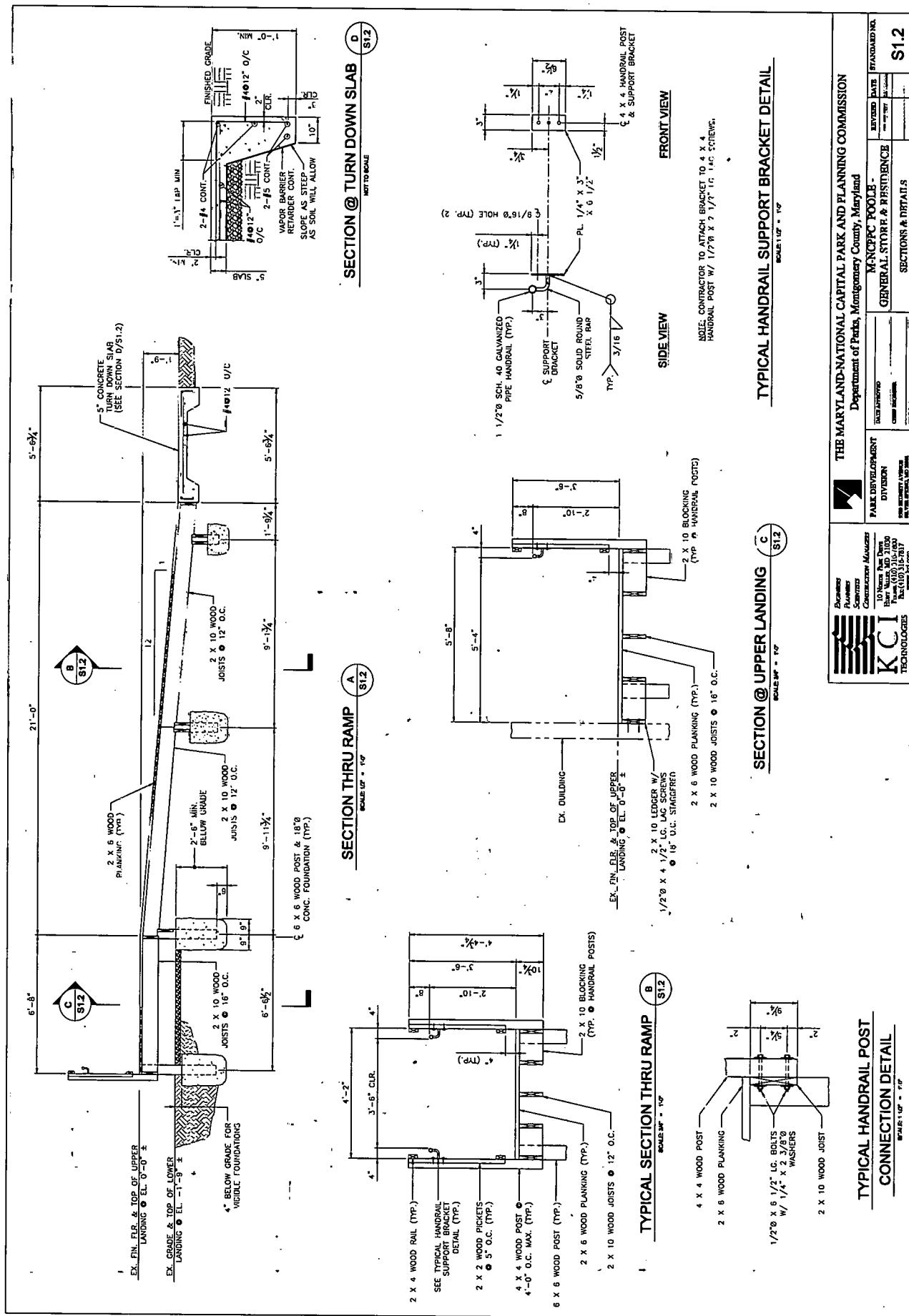


PLAN @ HANDICAP RAMP



**THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
Department of Parks, Montgomery County, Maryland**

PLAN @ HANDICAP RAMP



18

POOLE'S GEN. STORE  
SENECA, MD.

16315

(21)

Proposed location of Handicraft Park in Reno



Todd's Store 5/21/08 proposed location of Blank's Corp - Painting + Remodel

(23)

Poole's Store 5/21/08 Proposed Islandscapes parkers location





Location of processed samples parking + ramp  
02/08

(26)

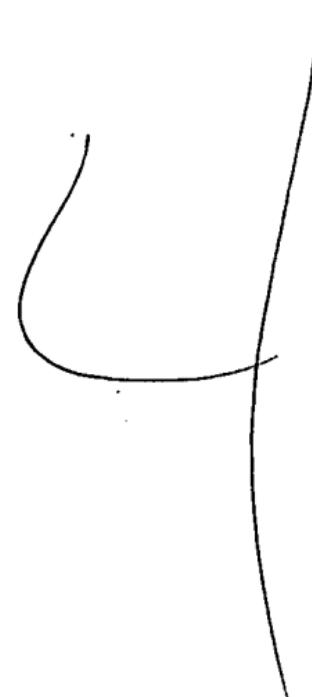
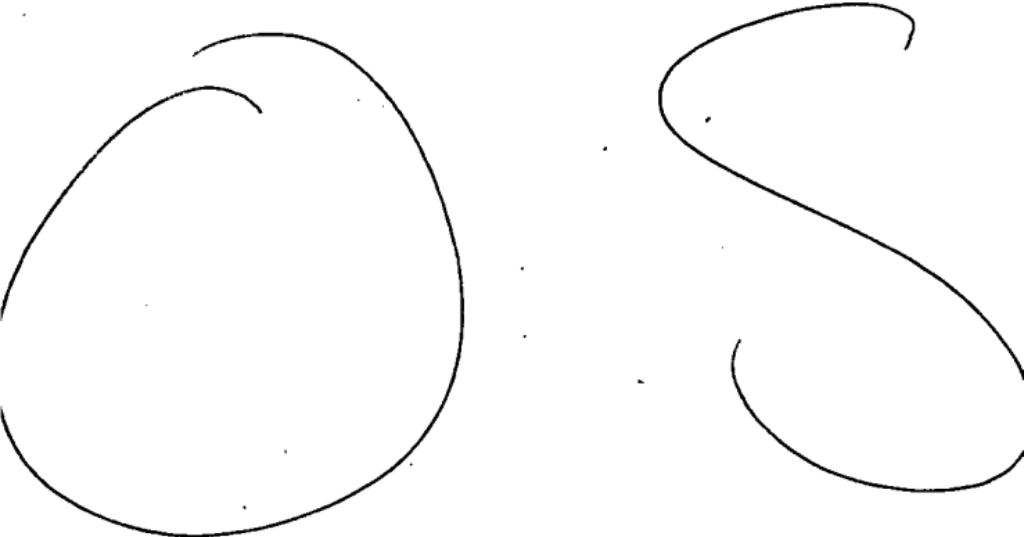


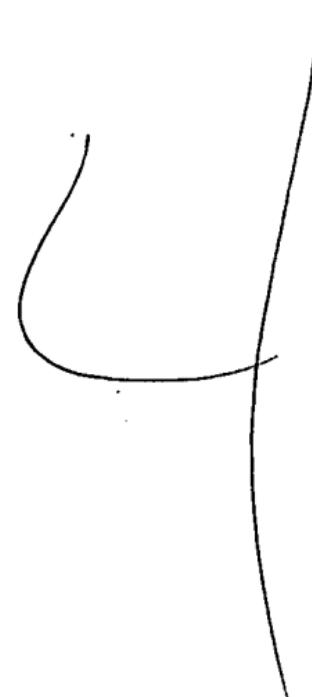
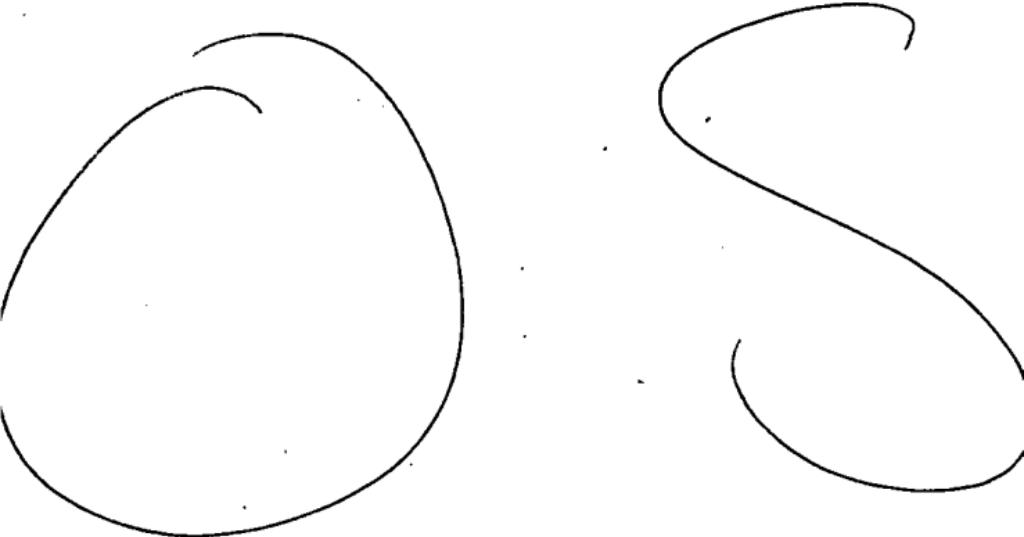
Upton House 8/12/08

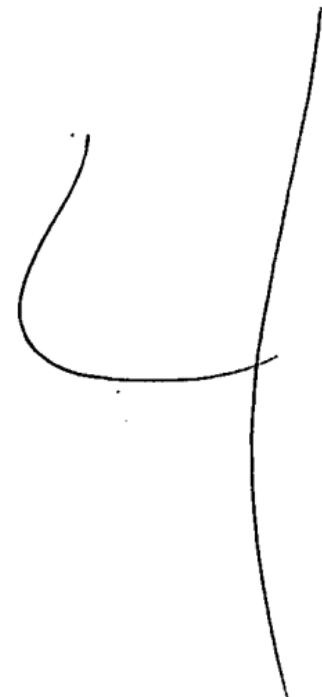
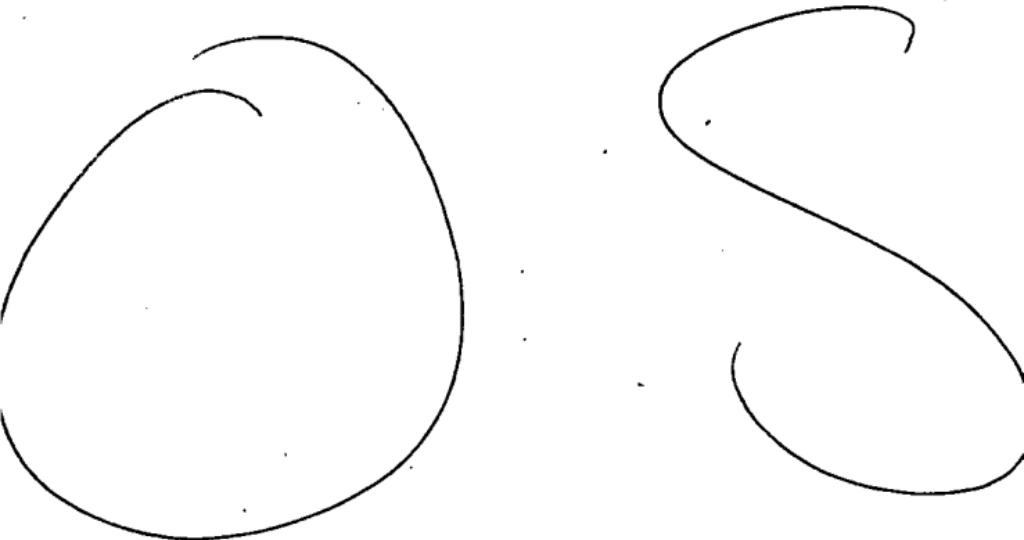
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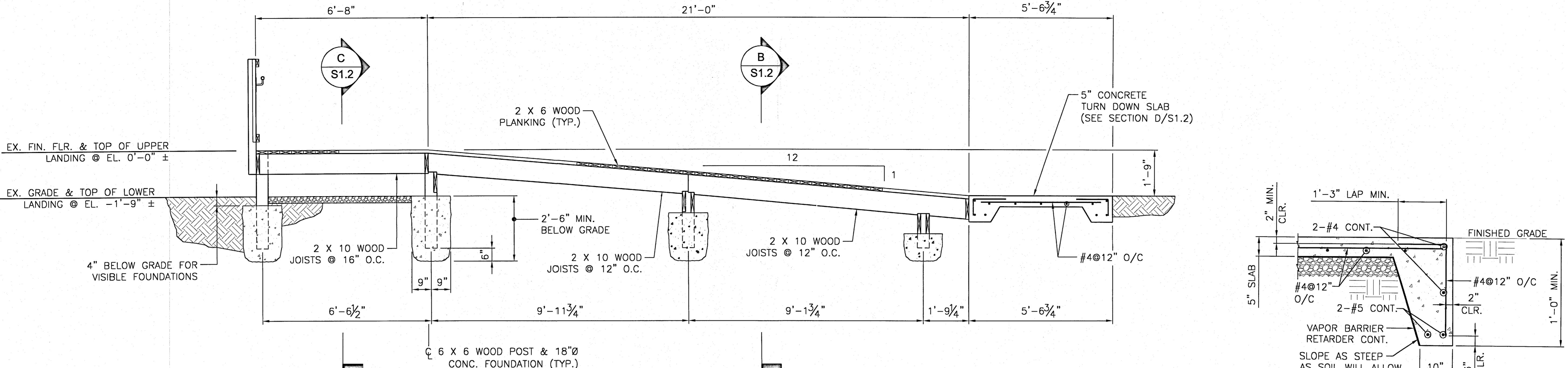
Upton Dairy House Skelton location of Proposed Handicap Parking in Ramp







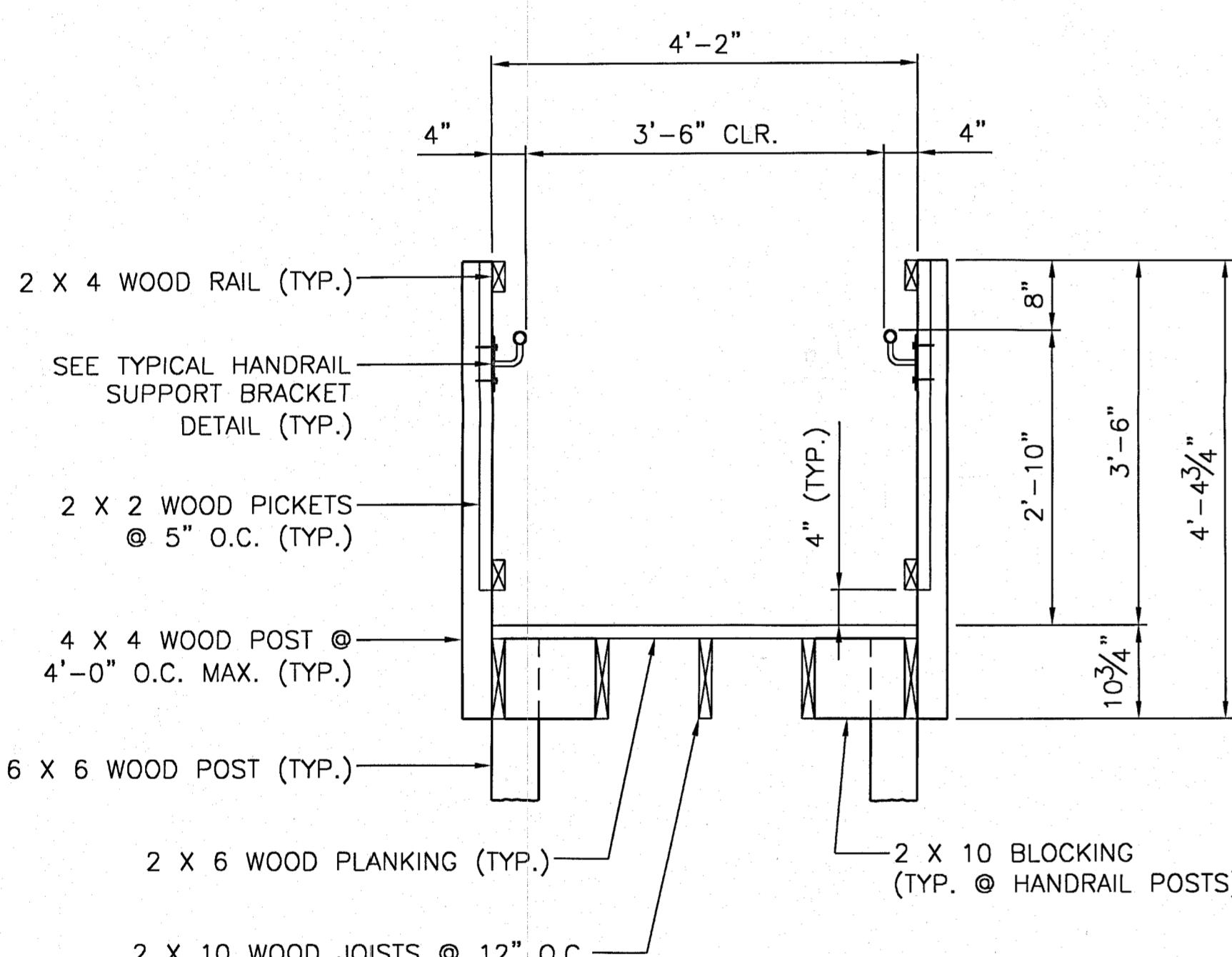




**SECTION THRU RAMP**

SCALE: 1/2" = 1'-0"

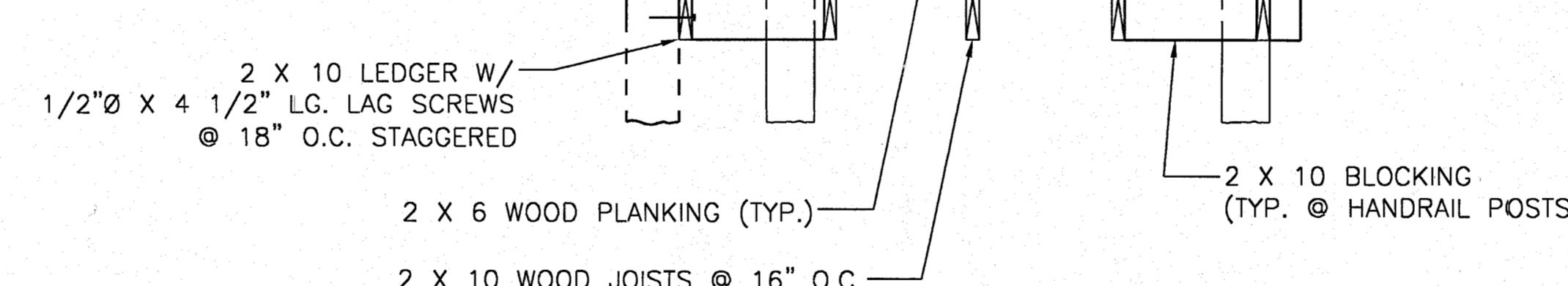
**A**  
S1.2



**TYPICAL SECTION THRU RAMP**

SCALE: 3/4" = 1'-0"

**B**  
S1.2



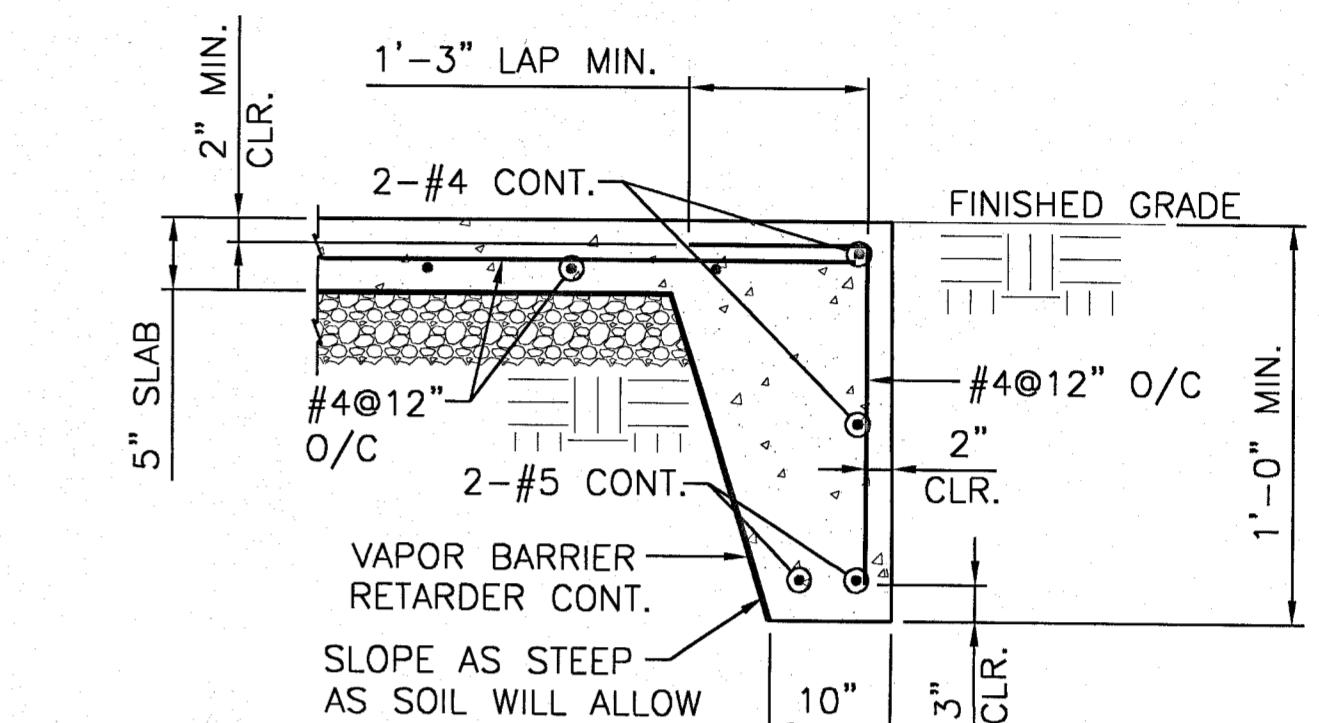
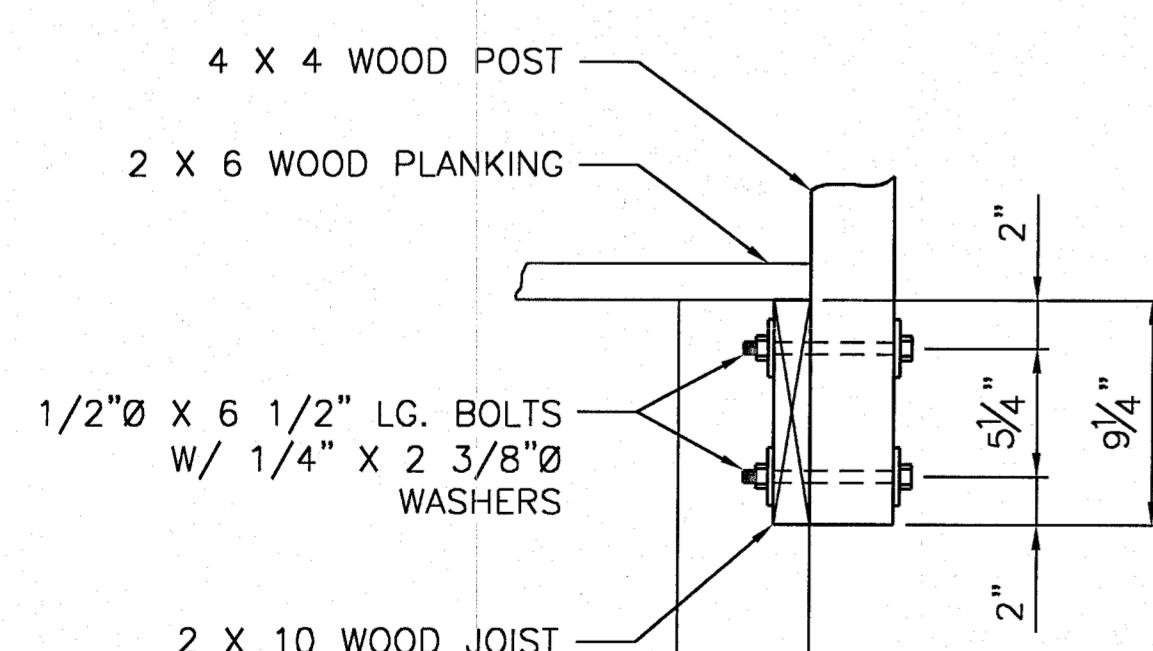
**TYPICAL HANDRAIL POST CONNECTION DETAIL**

SCALE: 1 1/2" = 1'-0"

**SECTION @ UPPER LANDING**

SCALE: 3/4" = 1'-0"

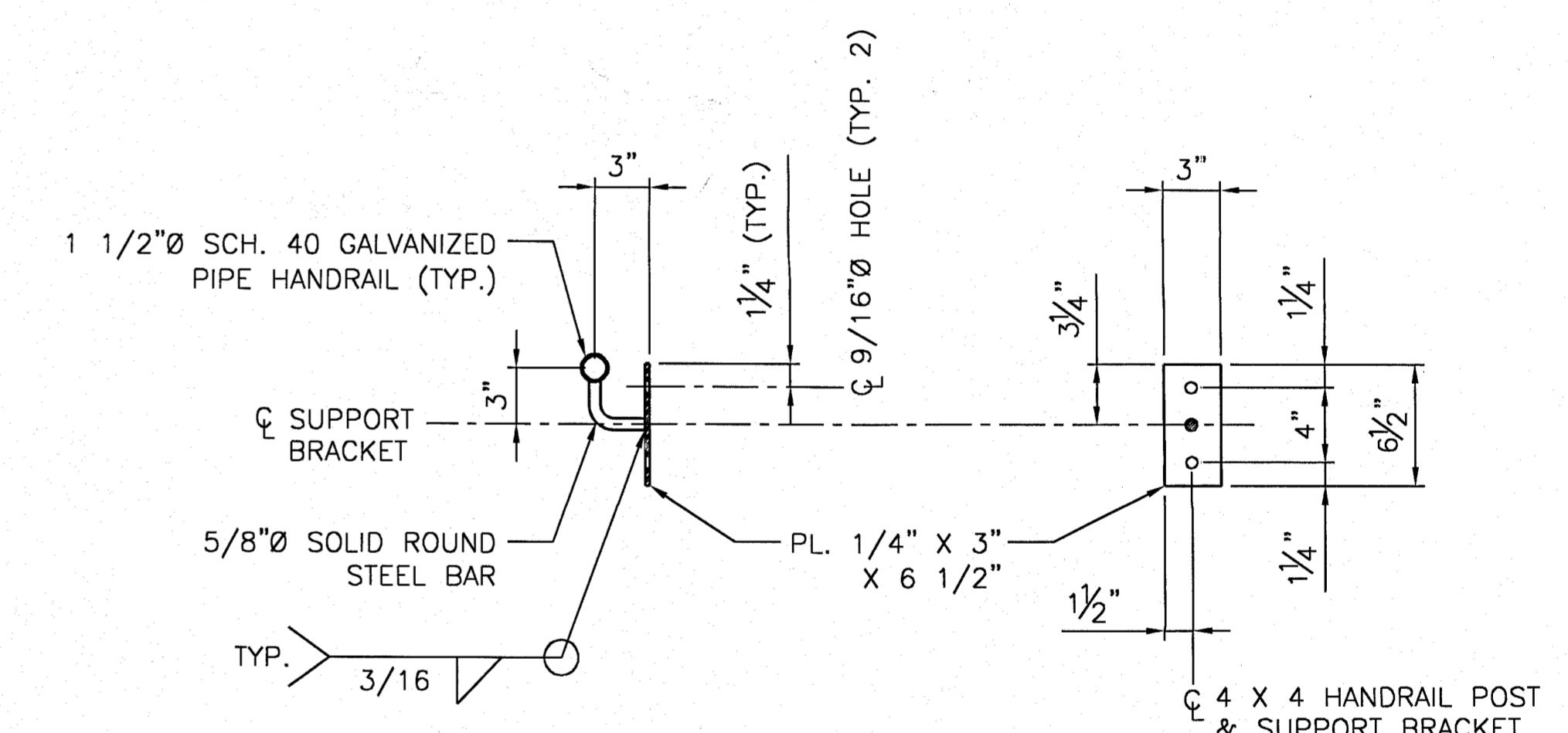
**C**  
S1.2



**SECTION @ TURN DOWN SLAB**

NOT TO SCALE

**D**  
S1.2



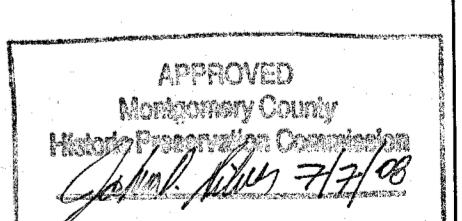
**SIDE VIEW**

**FRONT VIEW**

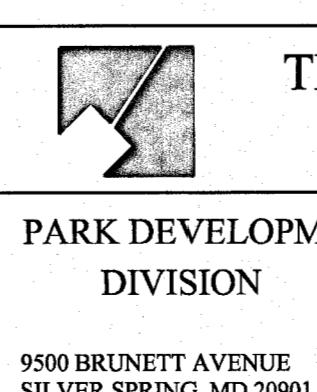
NOTE: CONTRACTOR TO ATTACH BRACKET TO 4 X 4  
HANDRAIL POST W/ 1/2" X 2 1/2" LG. LAG SCREWS.

**TYPICAL HANDRAIL SUPPORT BRACKET DETAIL**

SCALE: 1 1/2" = 1'-0"



ENGINEERS  
PLANNERS  
SCIENTISTS  
CONSTRUCTION MANAGERS  
**KCI**  
TECHNOLOGIES



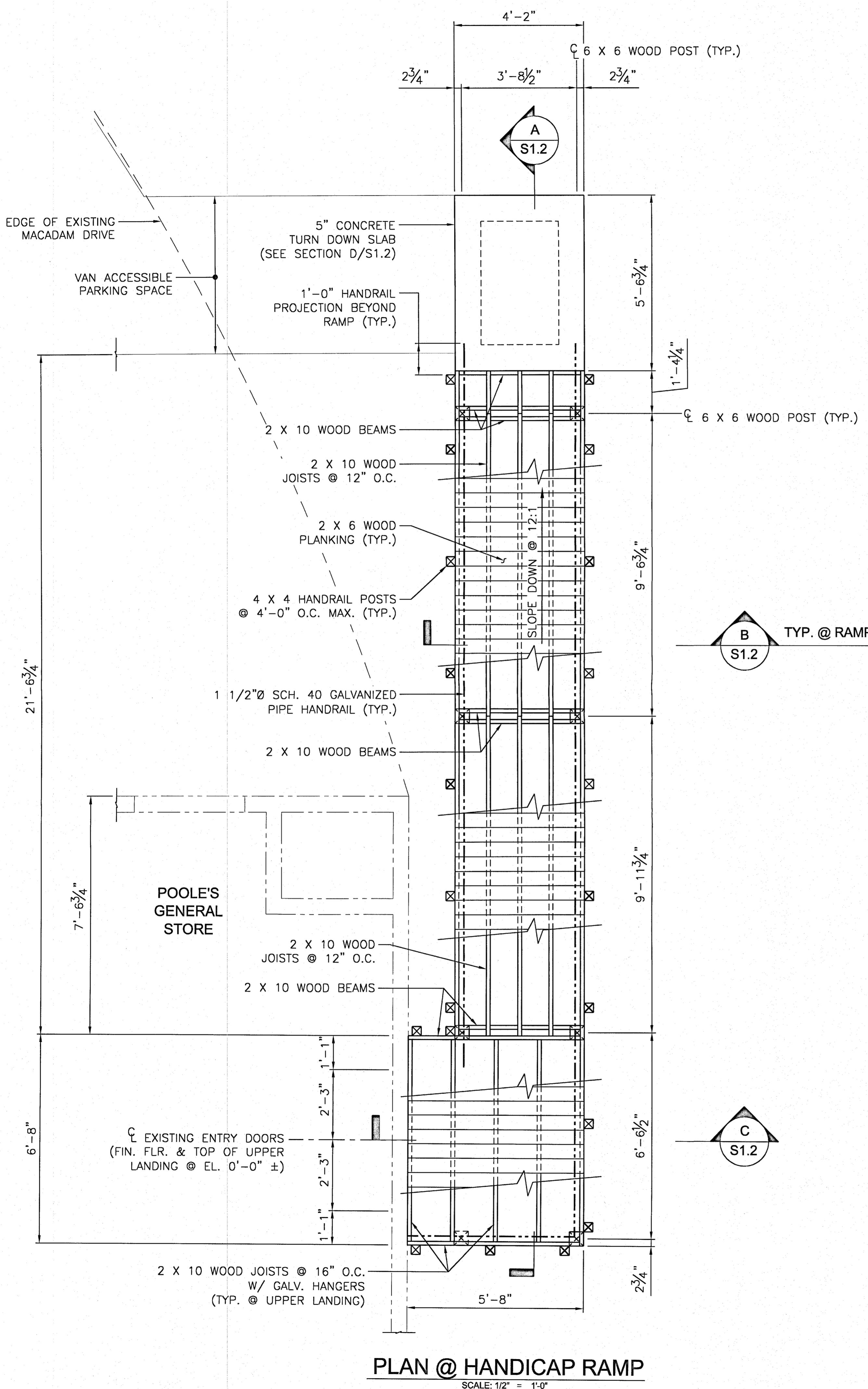
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT  
DIVISION  
9500 BRUNNETT AVENUE  
SILVER SPRING, MD 20901

DATE APPROVED  
CHIEF ENGINEER  
DIRECTOR OF PARKS

M-NCPPC POOLE -  
GENERAL STORE & RESIDENCE  
SECTIONS & DETAILS

REVISED DATE STANDARD NO.  
DD-REVIEW 05/12/2008  
**S1.2**

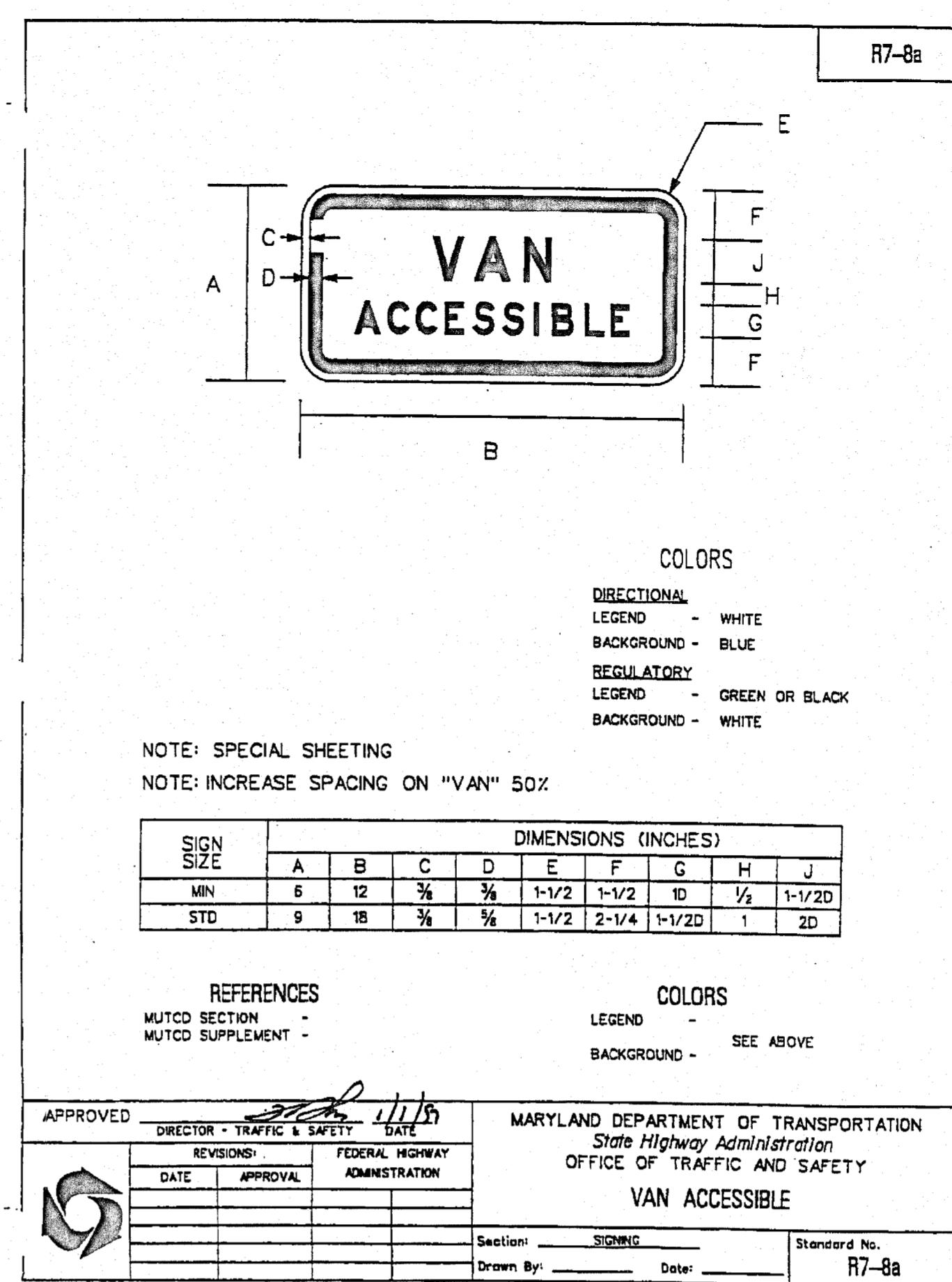
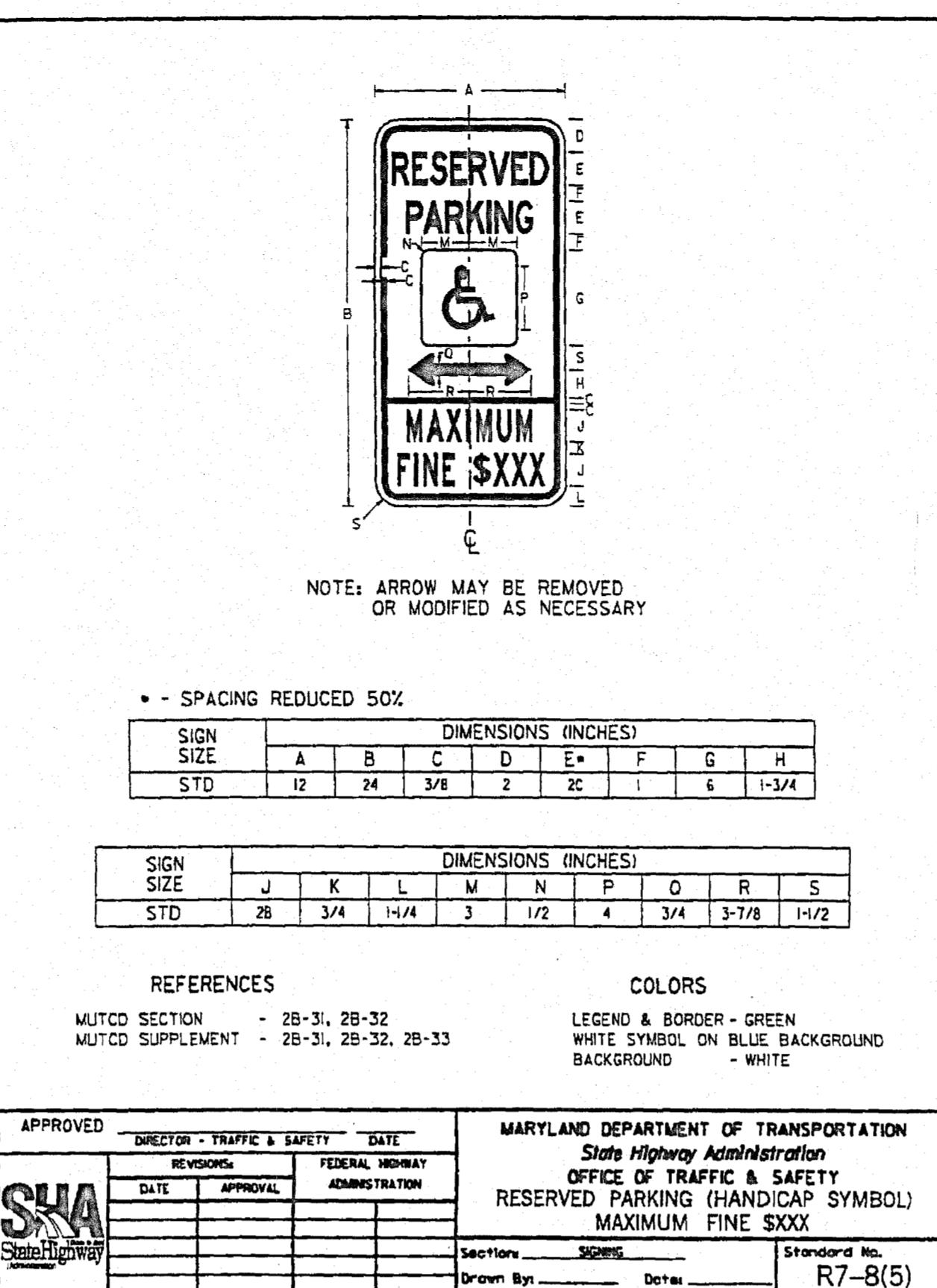
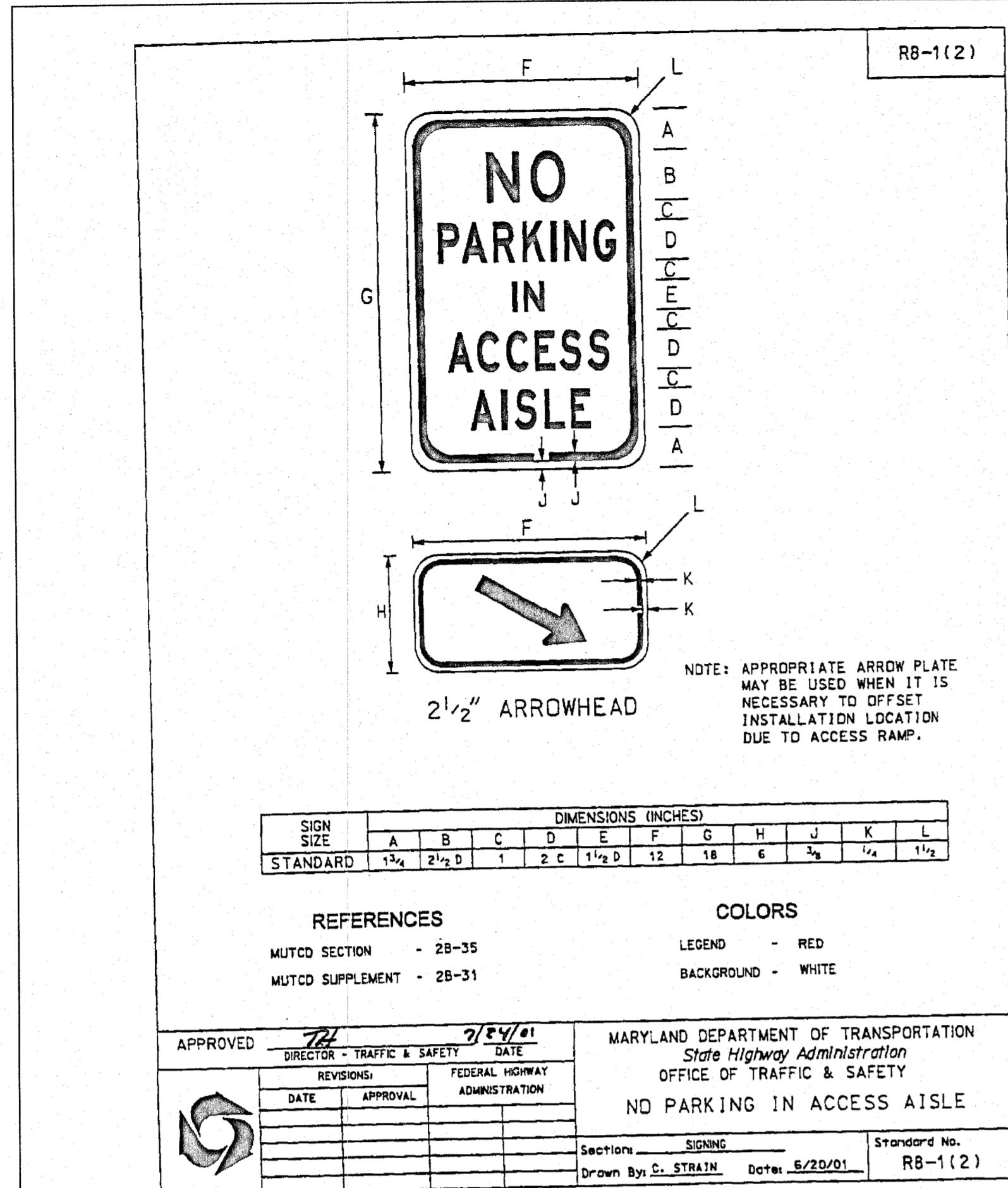


## GENERAL STRUCTURAL NOTES:

- BUILDING CODES:**
  - ALL CONSTRUCTION SHALL CONFORM WITH THE 2006 IBC BUILDING CODE AND ALL SUBSEQUENT SUPPLEMENTS.
  - IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE.
- DESIGN LOADS:**
  - THE DESIGN DEAD LOADING FOR ALL RAMPS IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS.
  - THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW RAMPS SHALL BE AS FOLLOWS:  
LIVE LOAD 100 PSF
  - THE CONTRACTOR SHALL NOT STORE ANY CONSTRUCTION MATERIALS OR UNDERTAKE ANY CONSTRUCTION OPERATION WHICH WILL EXCEED THE DESIGN LIVE LOADINGS NOTED.
- MISCELLANEOUS:**
  - SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.
  - THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
  - SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
  - END CAPS SHALL BE PLACED AT ALL LOCATIONS WHERE THE HANDRAIL SYSTEM IS TERMINATED. A 1/4" DIA. WEEP HOLE SHALL BE DRILLED INTO THE UNDERSIDE OF THE HANDRAIL NEAR ALL TERMINATION POINTS. FINISHED HANDRAIL SYSTEM SHALL BE SMOOTH AND FREE FROM ANY BURRS OR IRREGULARITIES.
- EXISTING STRUCTURE:**
  - ALL EXISTING PLANS, DETAILS, DIMENSIONS, AND ELEVATIONS INDICATE EXISTING CONDITIONS AS KNOWN. THE EXISTING INFORMATION SHOWN IS NOT INTENDED TO BE "AS BUILT" AND THE ACTUAL CONSTRUCTION MAY DIFFER FROM THAT SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION. MINOR VARIATIONS CAN BE EXPECTED AND ANY REQUIRED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM. SHOULD DAMAGE OCCUR TO ANY UTILITIES, THE CONTRACTOR IS REQUIRED TO REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER AT HIS OWN EXPENSE.
  - THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION. THE DESIGN OF ALL TEMPORARY BRACING AND SHORING IS THE CONTRACTOR'S RESPONSIBILITY.
  - THE CONTRACTOR SHALL MONITOR THE EXISTING STRUCTURE DURING CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF AREAS EXHIBITING DISTRESS OR FAILURE.
  - THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND CONDITION OF ALL EXISTING FRAMING. SHOULD THE SIZE OR CONDITION OF THE EXISTING FRAMING DIFFER FROM THAT SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- FOUNDATIONS:**
  - THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE FOR FROST PROTECTION.
  - ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THE ALLOWABLE SOIL BEARING PRESSURE SHALL BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACING FOUNDATIONS. SHOULD THE ACTUAL SOIL BEARING PRESSURE BE LESS THAN 2000 PSF, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
  - ALL FILL PLACED UNDER SPREAD FOOTINGS SHALL BE COMPAKTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698.
  - ALL EXCAVATION AND BACKFILLING OPERATIONS WITHIN THE RAMP FOOTPRINT, INCLUDING ALL COMPACTION TESTS AND INSPECTIONS, SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.
  - ALL EXISTING SOIL CONTAINING GRAVEL, CONSTRUCTION OR DEMOLITION DEBRIS, ORGANIC SUBSTANCES, OR OTHER FOREIGN OBJECTS SHALL BE REMOVED FROM THE REGION WITHIN THE FOOTPRINT OF THE STRUCTURE.
- CAST IN PLACE CONCRETE:**
  - ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)"; AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)".
  - IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
    - RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).
    - RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).
    - RECOMMENDED PRACTICE FOR CONCRETE FORMWORK (ACI 347).
  - ALL CONCRETE EXPOSED TO PUBLIC VIEW SHALL CONFORM TO THE REQUIREMENTS FOR ARCHITECTURAL CONCRETE CONTAINED IN ACI 301.
  - ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5% ±1%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1", AND MAXIMUM SLUMP SHALL BE 4". PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C 33.
  - ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 615 GRADE 60. LAP ALL REINFORCING BARS A MINIMUM OF 30 BAR DIAMETERS, UNLESS OTHERWISE INDICATED.
  - ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE CRSI "MANUAL OF STANDARD PRACTICE", ACI 315" DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI SP 66 "DETAILED MANUAL".
  - ALL CONCRETE MIX DESIGNS, INCLUDING CEMENT CONTENT, WATER CEMENT RATIO, FINE AND COARSE AGGREGATE CONTENT AND ALL ADMIXTURES, SHALL BE REVIEWED BY ENGINEER PRIOR TO PLACING FIRST CONCRETE.
  - ALL CONCRETE SHALL BE SAMPLED AND TESTED BY THE TESTING AGENCY. THE CONTRACTOR SHALL NOTIFY THE TESTING AGENCY 48 HOURS PRIOR TO THE PLACING OF ANY CONCRETE.
  - THE CONCRETE STRUCTURE SHALL NOT SUPPORT THE DESIGN LIVE LOAD FOR A MINIMUM OF 28 DAYS AND ALL SHORING AND RESHORING REQUIRED TO SUPPORT THE CONCRETE STRUCTURE DURING CONSTRUCTION SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR. SHOP DRAWINGS, SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF MARYLAND, SHALL BE SUBMITTED FOR REVIEW. SHOP DRAWINGS SHALL INDICATE THE TYPE, EXTENT, SIZE, AND LOCATION OF ALL SHORING AND RESHORING AS WELL AS THE SEQUENCE OF CONSTRUCTION.
  - GROUND BLAST FURNACE SLAG MAY BE USED TO REPLACE UP TO 50 PERCENT OF THE PORTLAND CEMENT IN A CONCRETE MIX, AND FLY ASH OR POZZOLAN MAY BE USED TO REPLACE UP TO 25 PERCENT OF PORTLAND CEMENT, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND SHALL CONFORM TO ASTM C 989.
- WOOD:**
  - ALL STRUCTURAL WOOD SHALL BE PRESSURE TREATED #2 SOUTHERN PINE OR BETTER.
  - ALL UNSPECIFIED WOOD-TO-WOOD CONNECTIONS SHALL BE WITH 2-16d NAILS MINIMUM.
- GROUND PROTECTION:**
  - COVER GROUND UNDER STRUCTURE WITH 10 MIL. PLASTIC AND 3" OF GRAVEL TO PREVENT VEGETATION GROWTH.

APPROVED  
Montgomery County  
Historic Preservation Committee  
[Signature]

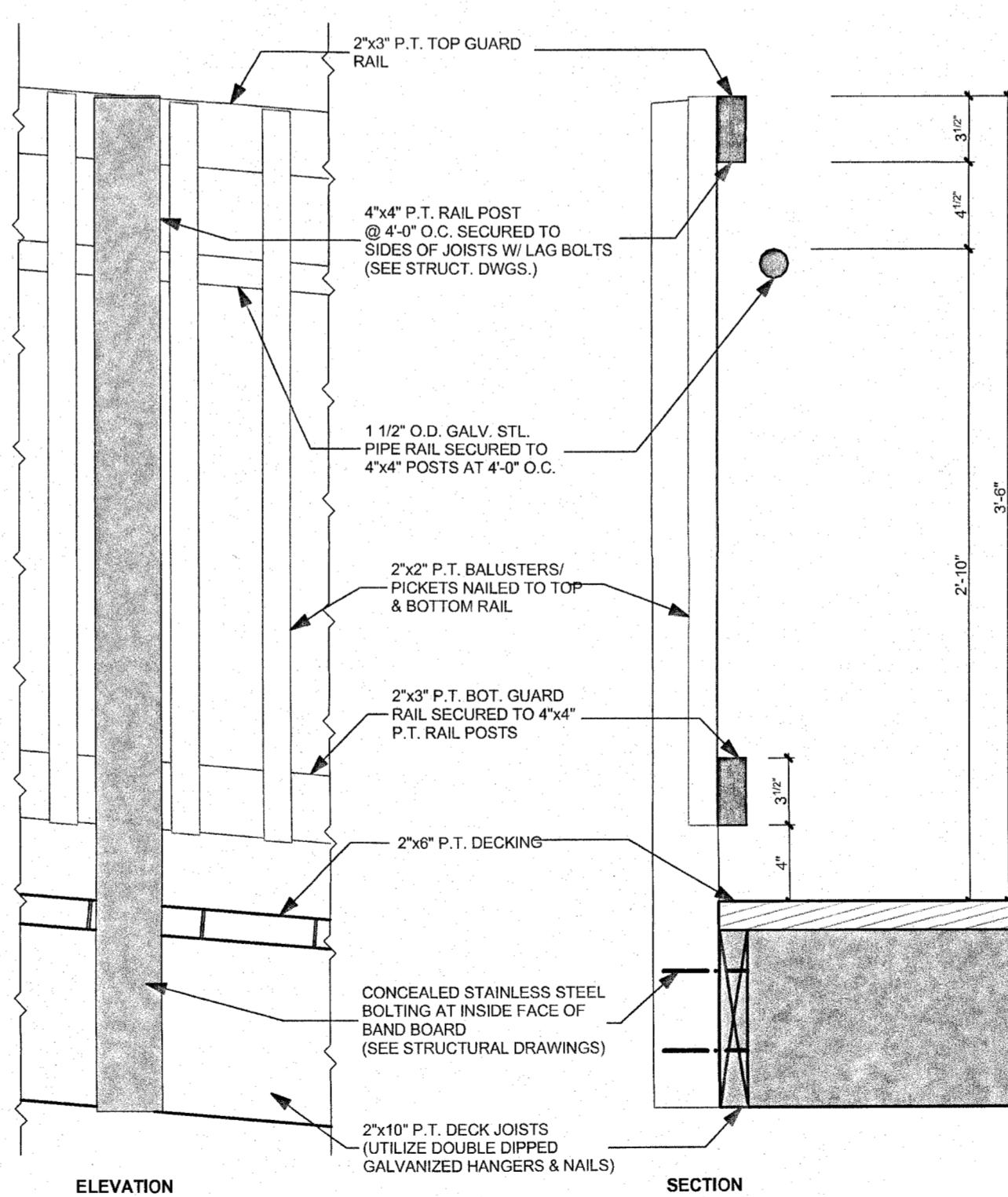
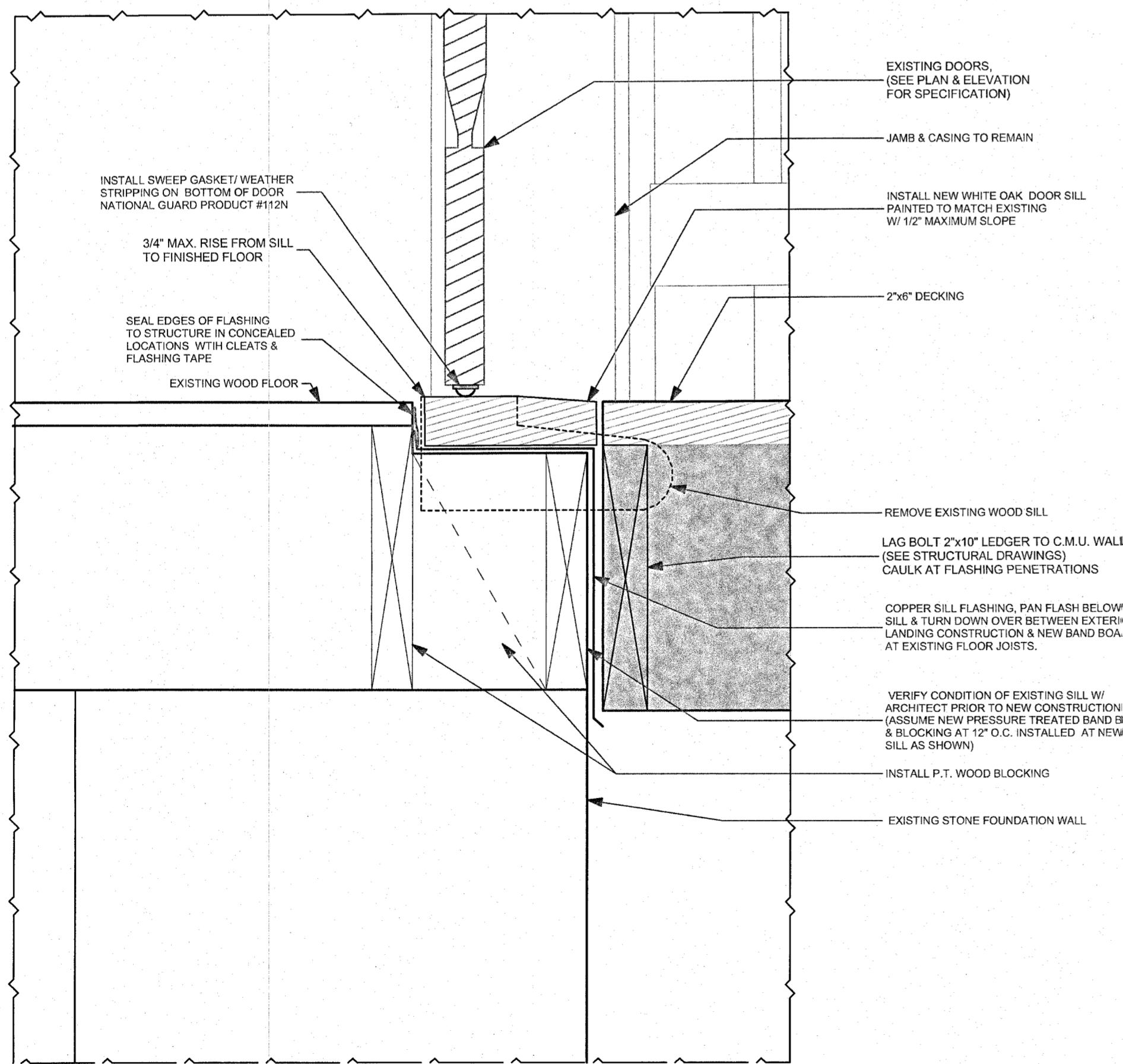
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland		REVISED	DATE	STANDARD NO.
PARK DEVELOPMENT DIVISION	DATE APPROVED	M-NCPPC POOLE - GENERAL STORE & RESIDENCE	DD-REVIEW	05/12/2008
CHIEF ENGINEER	DIRECTOR OF PARKS	PLAN & NOTES		S1.1



1 ADA Parking Signs

2 ADA Parking Signs

3 ADA Parking Signs



5 DETAIL-RAILING

APPROVED  
Montgomery County  
Historic Preservation Commission  
Signature 7/7/08

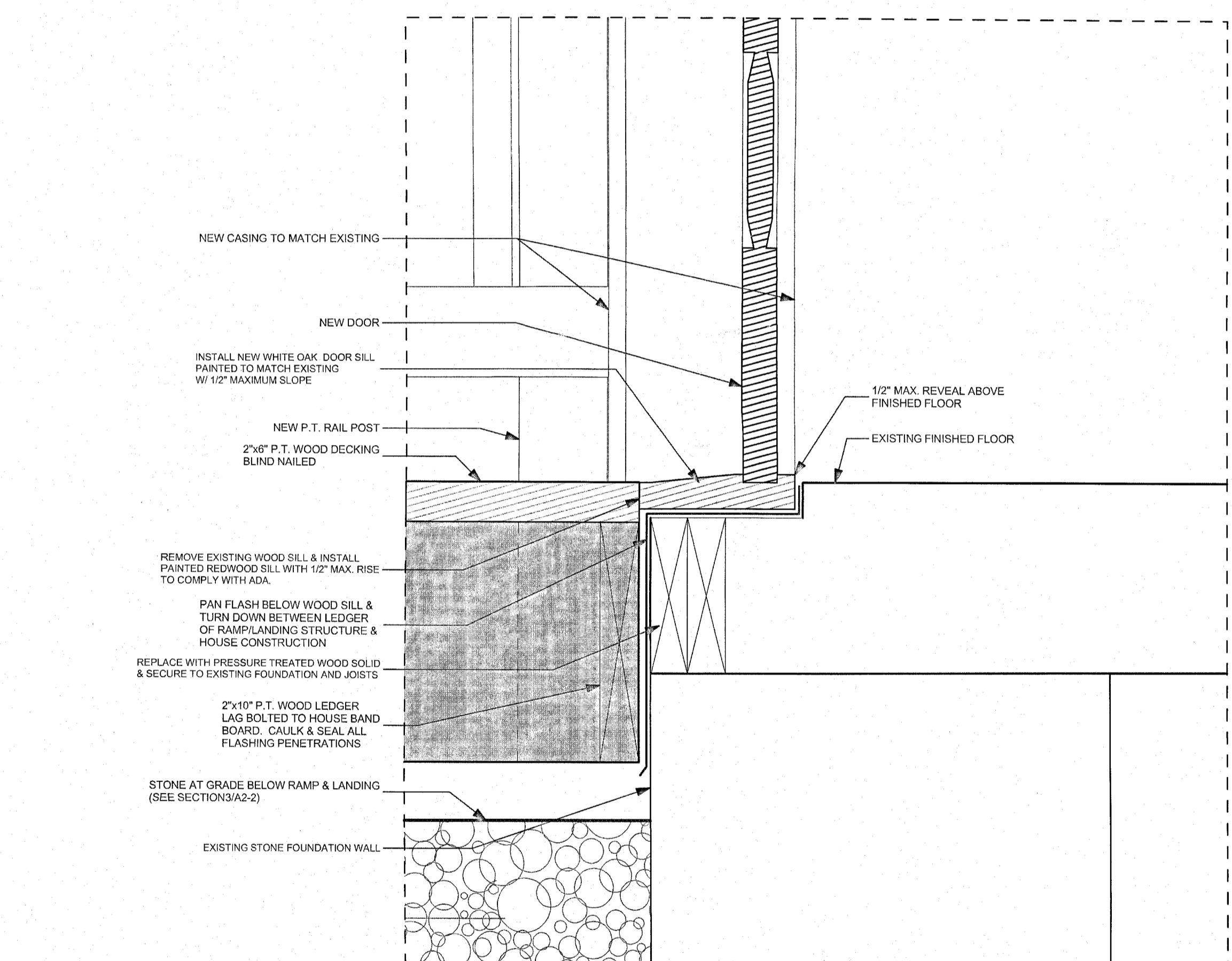
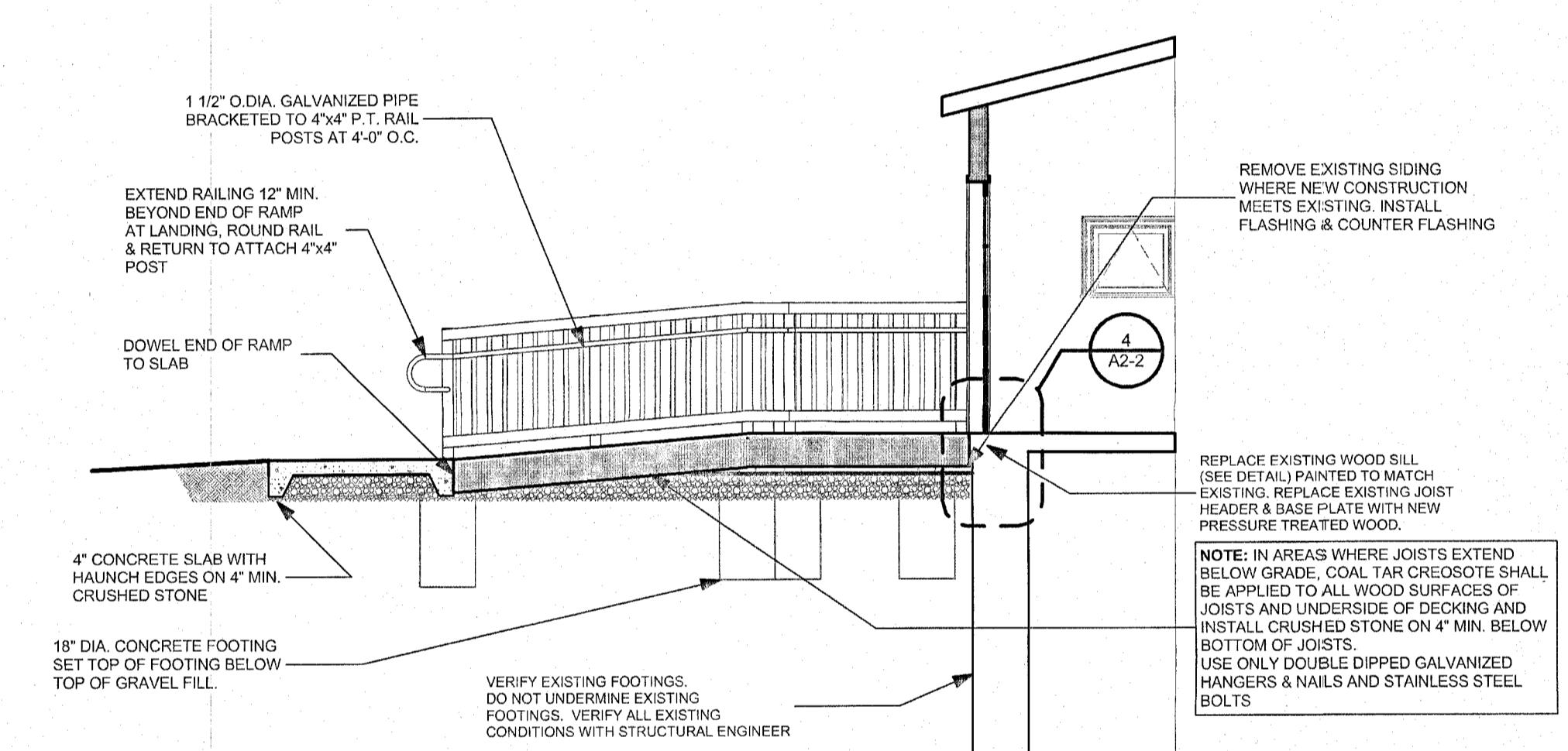
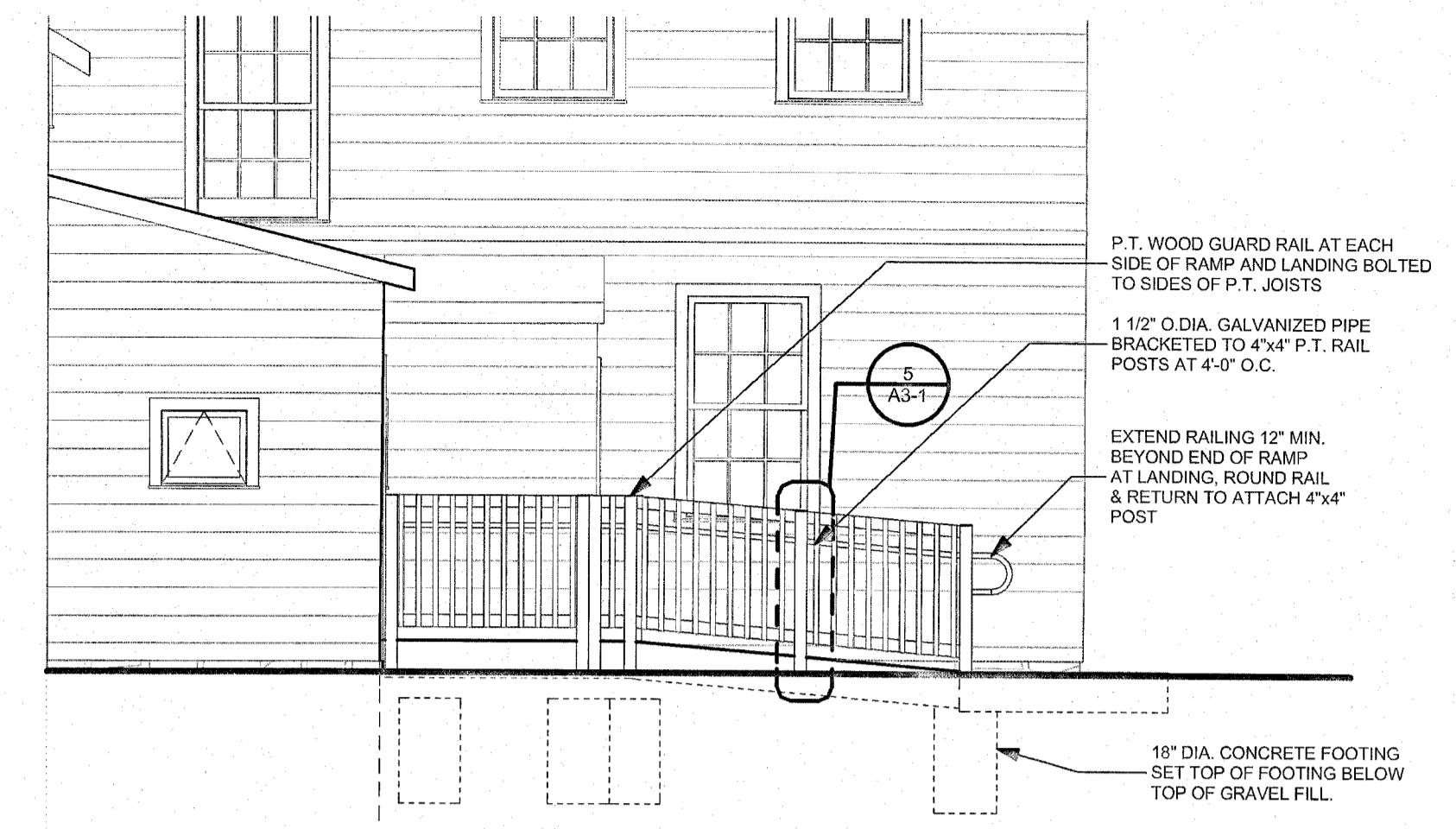
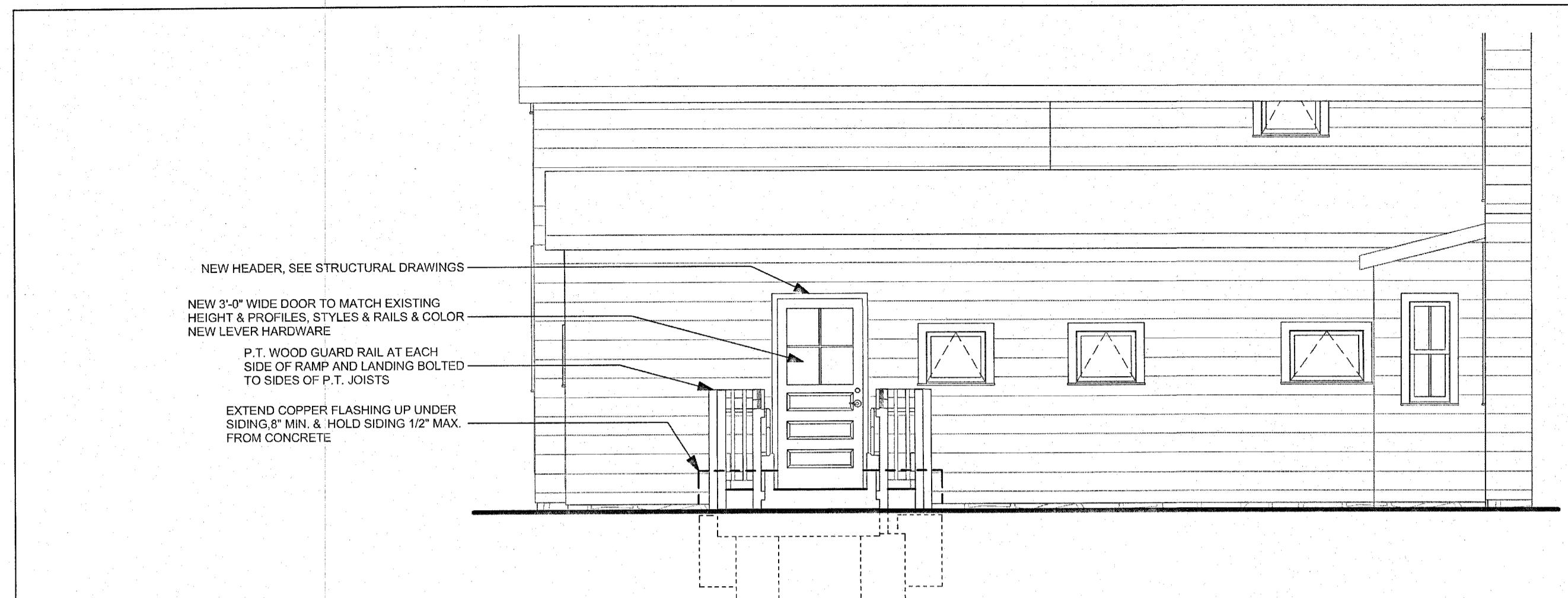
**PENZA + BAILEY**  
ARCHITECTS  
401 Woodbourne Avenue  
Baltimore, Maryland 21212  
410-435-6677 | 410-435-6868  
www.PenzaBailey.com

**THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION**  
Department of Parks, Montgomery County, Maryland

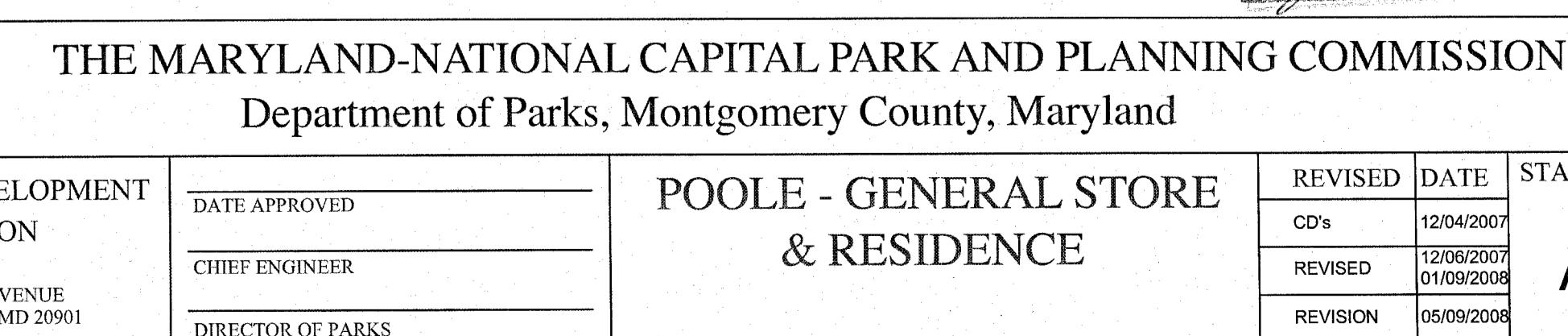
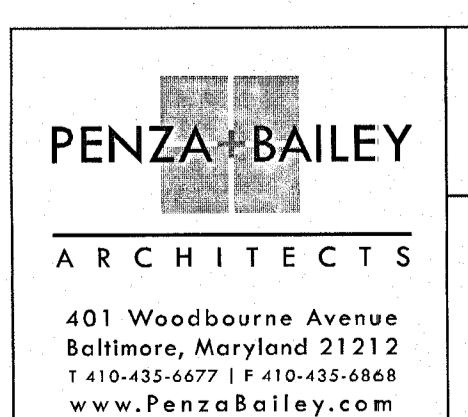
PARK DEVELOPMENT DIVISION	DATE APPROVED _____	POOLE - GENERAL STORE & RESIDENCE
CHIEF ENGINEER _____	REVISED DATE STANDARD NO.	
DIRECTOR OF PARKS _____	CD's 12/04/2007	
	REVISED 12/06/2007 01/09/2008	
	REVISION 05/09/2008	

NOT FOR CONSTRUCTION

A3-1

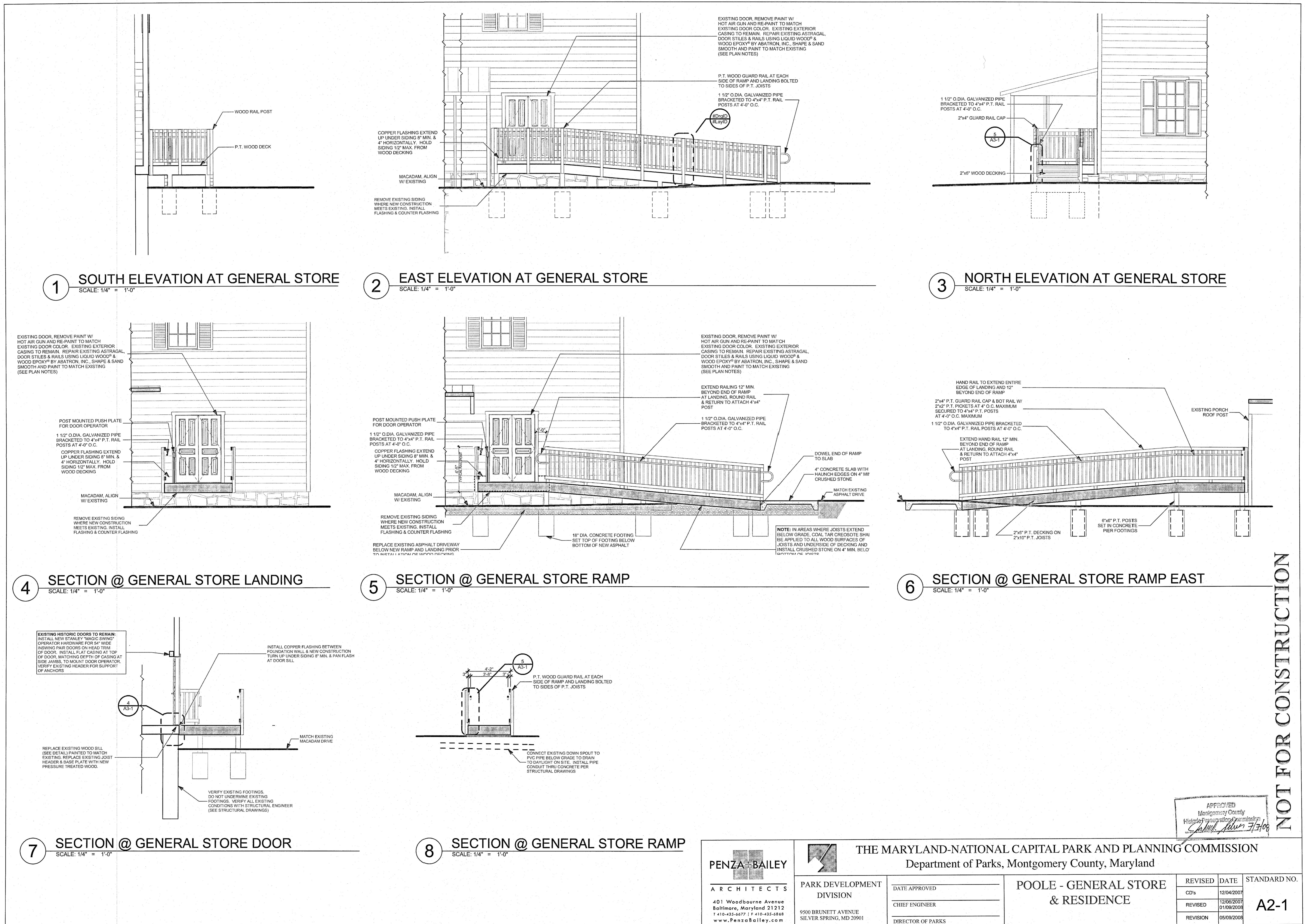


APPROVED  
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Historic Preservation Commission  
*[Signature]*



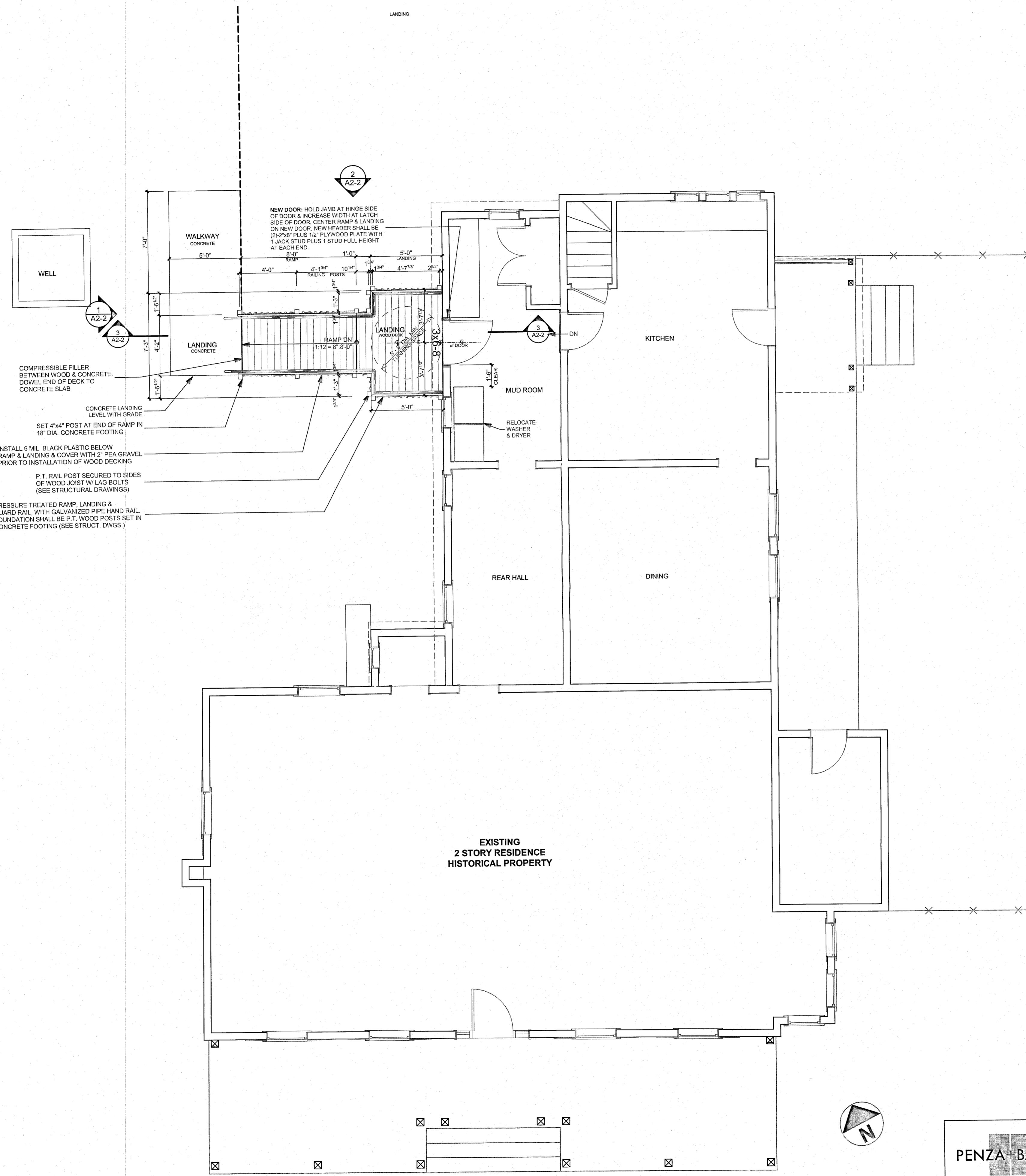
NOT FOR CONSTRUCTION

A2-2



# FIRST FLOOR PLAN AT RESIDENCE

SCALE: 1/4" = 1'-0"

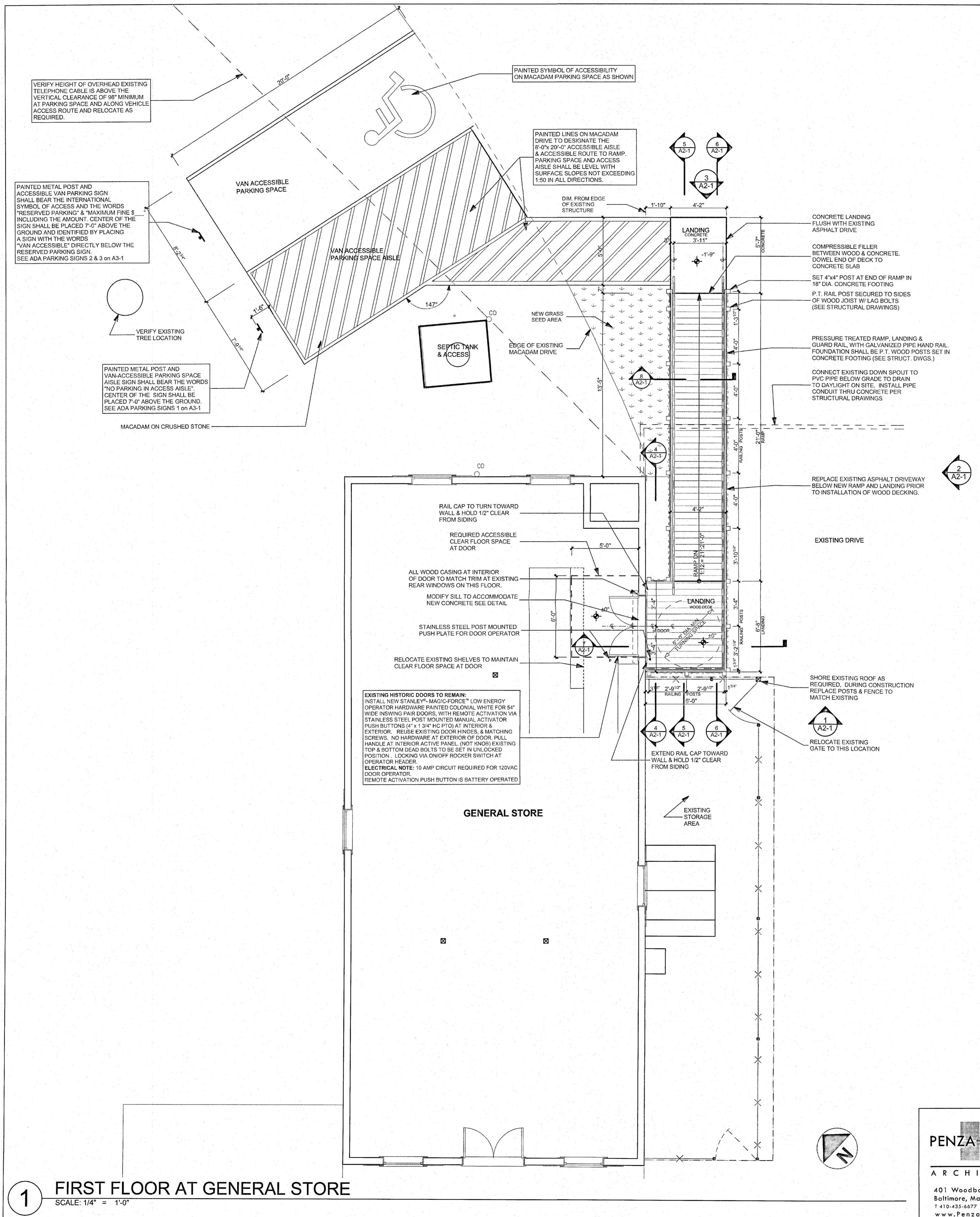


**KEY PLAN**  
SCALE: 1" = 20'

Department of Parks, Montgomery County, Maryland

Department of Parks, Montgomery County, Maryland

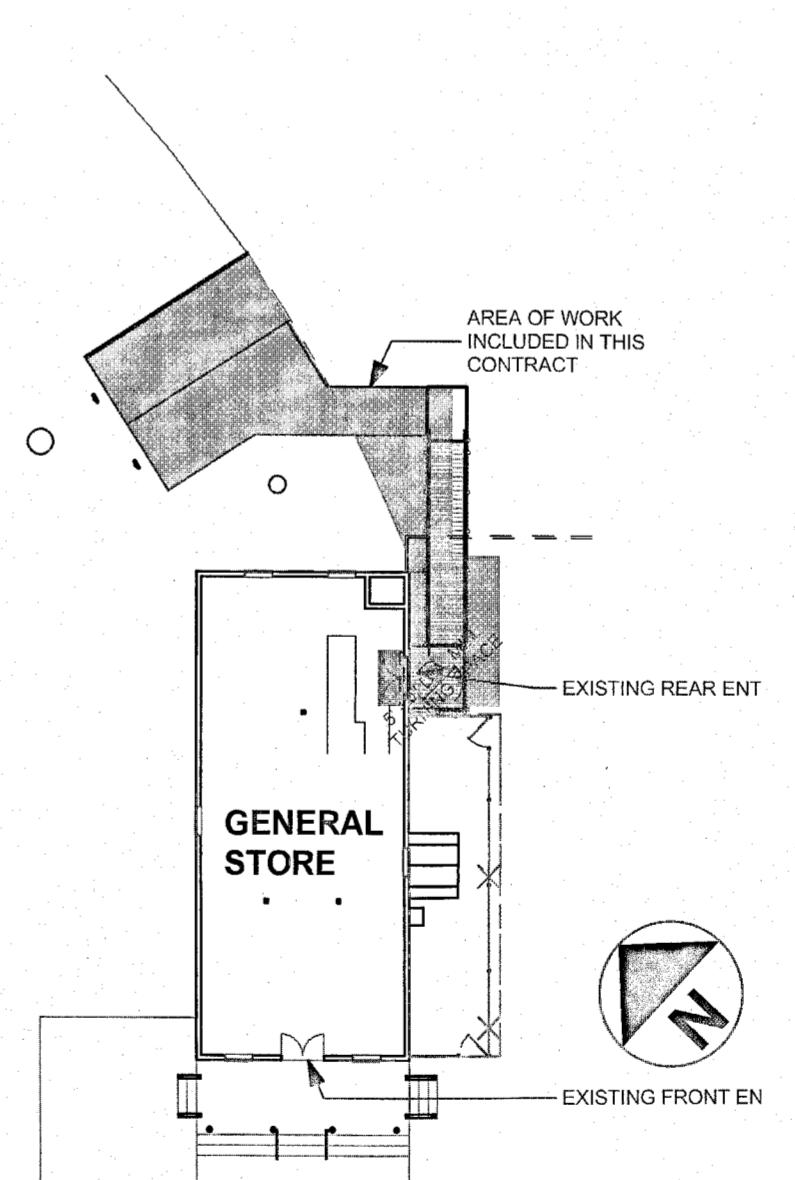
 <b>PENZA BAILEY</b> <hr/> ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677   F 410-435-6868 <a href="http://www.PenzaBailey.com">www.PenzaBailey.com</a>	 <b>THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION</b> Department of Parks, Montgomery County, Maryland	<b>POOLE - GENERAL STORE &amp; RESIDENCE</b>	REVISED      DATE <hr/> CD's      12/04/2007 <hr/> REVISED      DATE 12/06/2007      01/09/2008 <hr/> REVISION      05/09/2008	STANDARD NO.  <b>A1-2</b>
PARK DEVELOPMENT DIVISION  9500 BRUNETT AVENUE SILVER SPRING, MD 20901	DATE APPROVED <hr/> CHIEF ENGINEER <hr/> DIRECTOR OF PARKS			



## GENERAL PROJECT NOTES

## ELECTRICAL NOTES

1. ALL ELECTRICAL WORK TO CONFORM TO N.E.C. AND LOCAL CODE REQUIREMENTS. RECESSED LIGHT FIXTURES SHALL HAVE INSULATED HOUSINGS AS REQUIRED TO MEET CODE.
2. CONTRACTOR SHALL EXAMINE THE DRAWINGS AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS PRIOR TO BID SUBMISSION. ALL ELECTRICAL CONNECTIONS TO EXISTING ELECTRICAL PANELS SHALL BE COORDINATED WITH ALL EXISTING AND PROPOSED, ELECTRICAL, PLUMBING, MECHANICAL, FIRE SUPPRESSION, & STRUCTURAL CONDITIONS, PRIOR TO CONSTRUCTION.



**2 KEY PLAN**

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sarah J. [Signature]*

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
Department of Parks, Montgomery County, Maryland

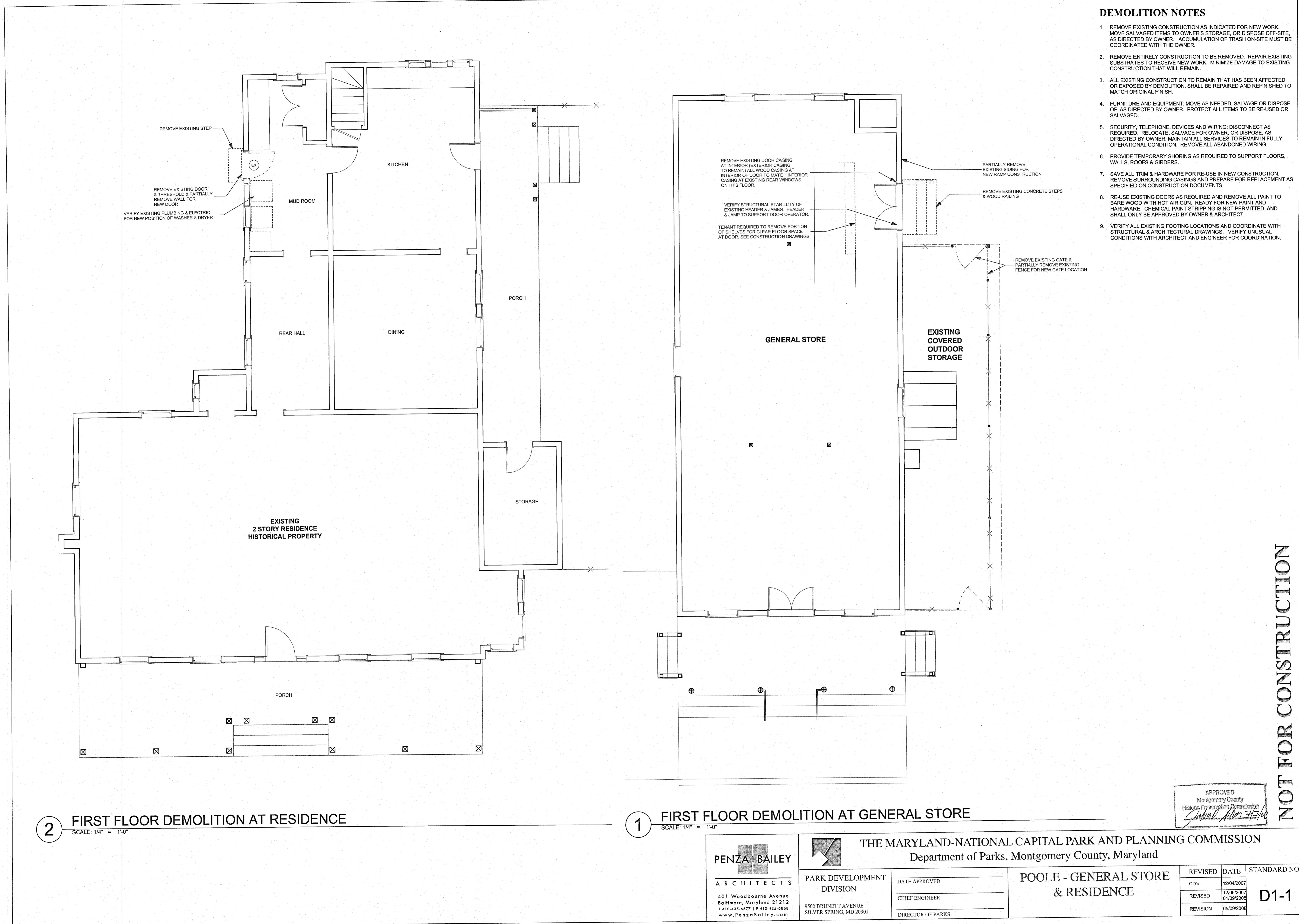
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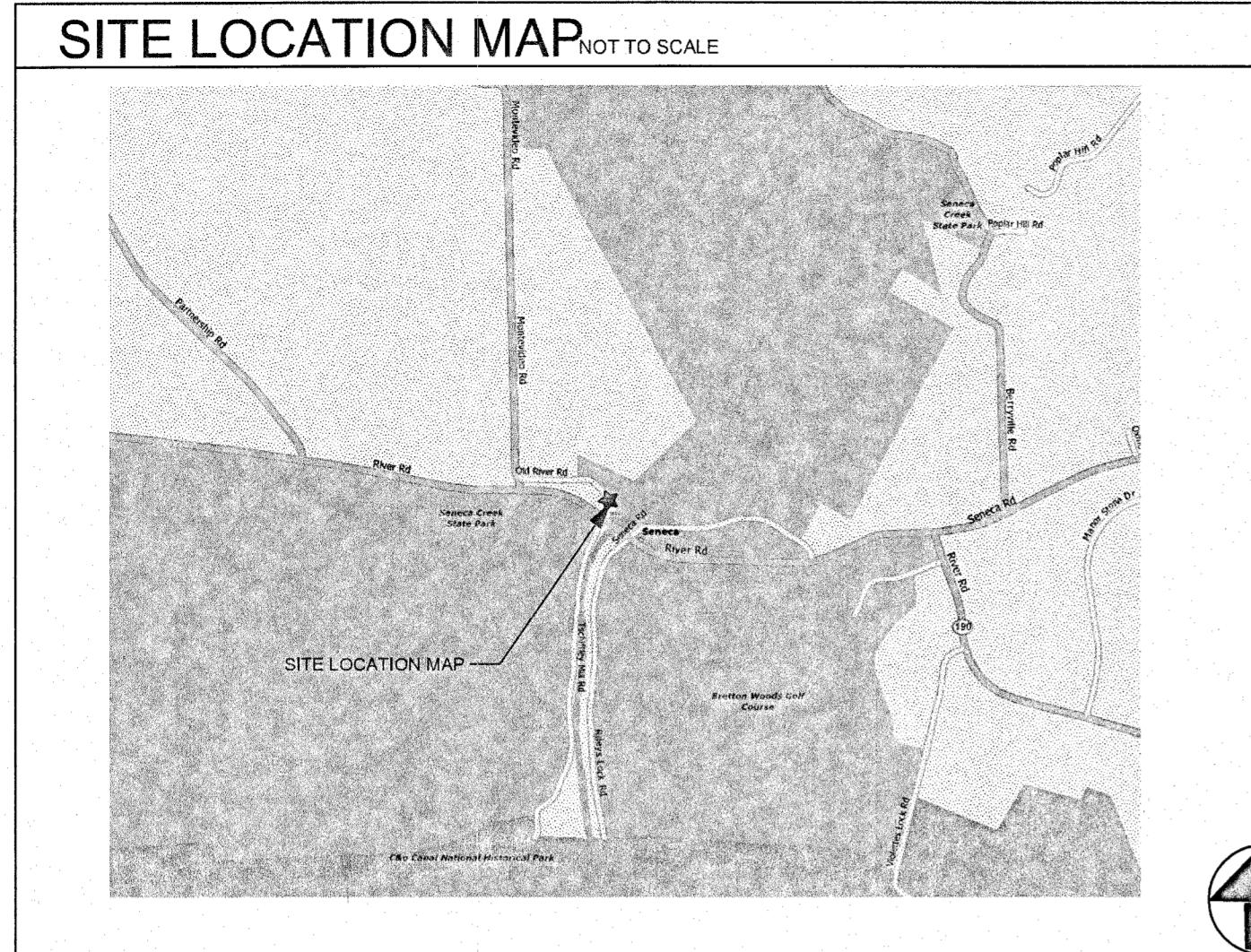
PARK DEVELOPMENT DIVISION	DATE APPROVED _____
	CHIEF ENGINEER _____
	DIRECTOR OF PARKS _____

POOLE - GENERAL STORE & RESIDENCE

REVISED CD's	DATE 12/04/2007	STANDARD NO.
REVISED 01/08/2008		
REVISION 05/09/2008		

A1-1





#### BUILDING DATA

OWNER:	MARYLAND-CAPITAL PARKS & PLANNING COMMISSION
PROJECT ADDRESS:	16401 OLD RIVER ROAD DRIVE POOLESVILLE, MARYLAND 20837
Jurisdiction:	MONTGOMERY COUNTY DEPARTMENT OF PARKS & PLANNING Maryland-National Capital Parks & Planning Commission
Applicable Codes:	2003 IBC, 2003 IRC, NFPA-101 2003 NEC 2003, COMAR 05.02.02, ADAAG & FFHAG MONTGOMERY COUNTY CODE: Chapter 24A Historic Resources Preservation
Use Group:	HISTORIC PROPERTIES GENERAL STORE = EXEMPT COMMERCIAL RESIDENCE - RESIDENTIAL
ELECTION DISTRICT:	3, Map DR32 P630 SUBDIVISION 1
LOT SIZE:	3.53 ACRES +/- (153766 SQ. Ft. +/-)
Existing General Store Foot Print: PROPOSED RAMP FOOT PRINT:	1,8800 SQ.FT. +/- GROUND LEVEL 225 SQ.FT. +/-
Existing Residence Floor Foot Print: PROPOSED RAMP FOOT PRINT:	1,120 Sq. Ft. +/- GROUND LEVEL 139 Sq. Ft. +/-
EXISTING UTILITIES:	WELL, SEPTIC

#### ABBREVIATIONS ARCHITECTURAL DRAWINGS ONLY

#	AT	FIXTURE(S)	PLAM	PLASTIC LAMINATE
&	FHC	FIRE HOSE CABINET	PLAS	PLASTER
&	FLASH	FLASH	PLWD	PLWOOD
&	FLUOR	FLUORESCENT	PR	PREFABRICATED
&	FOW	FOW	PSF	POUNDS PER SQUARE FOOT
A	ANCHOR BOLT	FR	PSI	POUNDS PER SQUARE INCH
AB	ADJUSTABLE	FRT	PT	PERCENT TREATED
AC	AIR CONDITIONING	FT	PTD	PANTONE PAPER, TINT DISPENSER
ACC / ACCESS	ACCESSIBLE	FOOT	PTN	PARTITION
ACG	ACOUSTICAL CEILING PANEL	FURN	QUAL	QUALITY
ACP	ACOUSTICAL CEILING TILE	FURNITURE	QT	QUARRIED TILE
ACT	ALUMINUM	FOOTING	QTY	QUANTITY
AD	ALUMINUM	FLOOR	QTY	QUANTITY
ADA	AMERICANS WITH DISABILITIES ACT	Gauge	R	RADIUS, RIBERG'S RANGE
ADAG	ADMINISTRATIVE GUIDELINES	GARAGED	RB	RUBBER BASE
ADMIN	ADMINISTRATION	GB	REFLECTED CEILING PLAN	REFLECTED
ADJ	ADJUSTABLE	GC	RC	REFLECTED CEILING PLAN
ADM	ADMINISTRATIVE	GENERAL CONTRACTOR	RD	REBAR
ADT	ADJUSTABLE FLOOR	GEN / GEN.	REINFORCING BAR	REFLECTED
AGG	AGGREGATE	GEN / GEN.	REINFORCING BAR	REFLECTED
AGH	AGGREGATE HAVING UNIT	GFR / GRI	REINFORCED	REFLECTED
AL / ALUM	ALUMINUM	GLO	REFLECTED	REFLECTED
ALT	ALTERNATE	GWB / GYRBD	REFIN	REFINING
ANC	ANCHOR/ANCHORAGE	GYPSUM WALL BOARD	REFR	REFRIGERATOR
ANOD	ANODIZED	H	REQD	REQUIRED
ANP	ANODE	HIGH BIB	RES	RESILIENT (SHEET FLOORING)
APPROX	APPROXIMATE	HD	REV	REVERSE (REVERSED)
ARC	ARCHITECTURAL/TECHNICAL	HW	RH	RIGHT HAND
ATM	AUTOMATIC TELLER MACHINE	HDW / HDW	ROW	ROUTE
AUTO	AUTOMATIC	HGT / HT	RHS	ROUGH OPENING
BD	BED	HM	ROW	ROUTE OF WAY
BDL	BEDHEAD	HMZ	S	ROTATION
BDL / BLKG	BEDROOM BLOCKING	HP	SOUTH	STOVE
BLDG	BUILDING	HVAC	SATURATED	STRUCTURE
BOT	BOTTOM	HWD	SD	STRUCTURE
BR	BROOK, BEDROOM	IBC	SD / SCHED	STRUCTURE
BTW	BETWEEN	INTERNATIONAL BUILDING CODE	SD	STRUCTURE
BUR	BUILT UP ROOFING	INCH	SD / SCHED	STRUCTURE
C	CABIN, COURSES (MASONRY)	INFO	SGFT	STRUCTURAL GLAZED FACING TILE
CAB / CABT	CABINET, CABINETS (MASONRY)	INTERIOR	SGT	STRUCTURE
CARP	CARPET	INV	SH	SHEET
CER	CERAMIC	INVERT(ED)	SHT	SHEET
CH	CEILING HEIGHT	J / JT	SND	SHEATH
CL	CENTER JOINT	JCT JAN CLOS	SPD	SOLID NARROW RECEPTOR
CLO	CENTERLINE	JOIST	SPC	SPECIFICATION, SPECIFIED
CLOS	CLOSET	K	SQ	SQUARE
CLR	CLEAR, CLEARANCE	KIP_1000	SS / SST	STRUCTURE
CM	CONCRETE	KNOCKOUT	STD	STRUCTURE
CMU	CONCRETE MASONRY UNIT	L	STAINLESS STEEL	STRUCTURE
COL	COLLAR	LONG ANGLE	STD	STRUCTURE
CONC	CONCRETE	LASHED(ED)	STC	STRUCTURE
CONF	CONFERENCE	LAV	STL	STRUCTURE
CONST	CONSTRUCTION	LB	STOR	STRUCTURE
CONT	CONTINUOUS	LIFT	STRUCT	STRUCTURE
CONT / CONTR	CONTINUOUS / CONTRACTOR	LH	STRUCT	STRUCTURE
CONV	CONVECTOR	LIN	STRUCT	STRUCTURE
CONTR	CORRUGATED, CORRIDOR	LIN	STRUCT	STRUCTURE
CONV	CONVECTOR	LIN	STRUCT	STRUCTURE
CTP	COVER	LNG	STRUCT	STRUCTURE
CTR	CERAMIC TILE	LP	STRUCT	STRUCTURE
CTR	CENTER, CENTER	LTT	STRUCT	STRUCTURE
CUEH	CABINET UNIT HEATER	LVL	STRUCT	STRUCTURE
D	DEEP DIAMETER, DRAIN, DRYER	LVR	STRUCT	STRUCTURE
DBL	DOUBLE	MTG	STRUCT	STRUCTURE
DEMO	DEMOLISH/DEMOLITION	MATCH / MFR	T&G	THROUGH
DET	DETAIL	MATERIAL	TACKBOARD	THRESHOLD
DF	DRINKING FOUNTAIN	MAX	THICKNESS, TOP	THRESHOLD
DIA	DIAMETER	MARYLAND BUILDING REHABILITATION CODES	TOP	TOP
DIAG	DIAGONAL	MDR	TOP	TOP
DM	DIAMETER	MEDICINE CABINET	TOP	TOP
DISP	DISPENSER, DISPOSAL	MED	TOP	TOP
DIV	DOWN	MEZ	UNDERCUT	UNDERCUT
DN	DAMP PROOFING	MEZZANINE	UNDRCUT	UNDERCUT
DPF	DOOR	MIN	UNFINISHED	UNDERLAYERS
DS	DOORS	MINIMUM	UNFINISHED	UNDERLAYERS
DTL	DOORSPUT	MISCELLANEOUS	UNFINISHED	UNDERLAYERS
DWG(S)	DRAWING(S)	MM	UNFINISHED	UNDERLAYERS
E	EAST	M	UNFINISHED	UNDERLAYERS
EA	EACH	MTR	UNFINISHED	UNDERLAYERS
EE	EACH END	MULLION	V	VACUUM BARRIER
EL / ELEV	ELEVATION, JOINT	N	VCT	VINYL COMPOSITION TILE
EMER	ELEVATOR	NORTH	VEST	VESTIBULE
EMER	EMERGENCY	NOT APPLICABLE	VIF	VERIFY IN FIELD
ENCL	ENCLOSURE	NIC	NOT IN CONTRACT	WITHOUT
EQ	EQUIPMENT	NO	NUMBER	WITHOUT
EQU	EQUIPMENT	NOM	NOT TO SCALE	WITHOUT
EW	EACH	NTS	NOT TO SCALE	WITHOUT
EW/C	ELECTRIC WATER COOLER	O / OV	OVEN	WALL, COVERING, WATER CLOSET
EX / EXIST	EXISTING	OD	OVERALL	WALL, WOOD
EXT	EXTERIOR	OD	OUTSIDE DIAMETER	WALL, WOOD
FCU	FAN COIL UNIT	OFFICE	OPEN	WALL, WOOD, WROUGHT IRON
FD	FLOOR DRAIN	CH	OPENING	WINDOW
FDN	FOUNDATIONS	OPR	OVERHEAD	WATERPROOF, WATERPROOFING
FE	FE FIRE EXTINGUISHER	OV/R	WEIGHT	WEAVING, STRIPPING
FFC	FREE FIRE EXTINGUISHER CABINET	PART	PERMIT	WEAVING, STRIPPING
FIN	FINISHED	PERM	PL	WEIGHT
		PLC	PLATE, PROPERTY LINE	WEAVING, STRIPPING

#### PERMIT APPROVALS

# RENOVATIONS TO POOLE PROPERTY GENERAL STORE & RESIDENCE

16401 OLD RIVER ROAD  
POOLESVILLE, MARYLAND 20837

#### OWNER

MARYLAND-NATIONAL CAPITAL PARK  
AND PLANNING COMMISSION

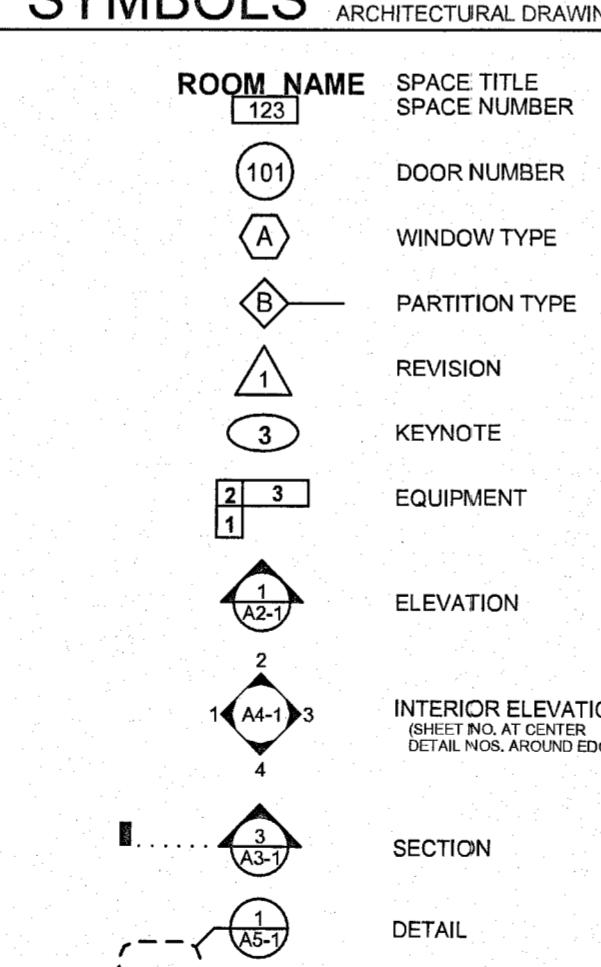
#### ARCHITECT

PENZA BAILEY ARCHITECTS  
401 WOODBOURNE AVE  
9500 BRUNNETT AVENUE  
SILVER SPRING, MARYLAND 20901  
CONTACT: JOEY LAMPL  
301-563-3407  
E-MAIL

#### STRUCTURAL & CIVIL

KCI TECHNOLOGIES  
10 NORTH PARK DRIVE  
BALTIMORE, MD 21212  
HUNT VALLEY, MD 21030  
CONTACT: DWAYNE VAN HORN, AIA  
410-435-6677  
DVANHORN@PENZABAILEY.COM

#### SYMBOLS ARCHITECTURAL DRAWINGS ONLY



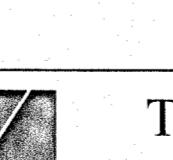
#### MATERIALS ARCHITECTURAL DRAWINGS ONLY

TIMBER	CMU	STANDARD CONCRETE
FINISH WOOD	BRICK	LIGHTWEIGHT CONCRETE
PLYWOOD	STONE MASONRY	REINFORCING BARS
HARDBOARD	PARTICLE BOARD	MARBLE
SPRAY FOAM INSULATION	FACING TILE	ALUMINUM
REFLECTIVE INSULATION	STRUCTURAL GLAZED TILE	GWB, PLASTER, MORTAR, SAND
ACCOUSTICAL TILE OR PANELS	PRECAST STONE	STUCCO
GLASS LARGE SCALE	GRAVEL FILL	FLAGSTONE SLATE
SPOT FINISH ELEVATION	EARTH	CERAMIC QUARRY TILE
BREAK LINE	SCREENING	RESILIENT FLOORING

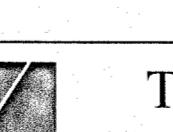
#### DRAWING INDEX

ARCHITECTURAL DRAWINGS LIST BY PENZA BAILEY ARCHITECTS  
G1-1 INDEX & GENERAL NOTES  
D1-1 DEMOLITION PLANS  
A1-1 FIRST FLOOR AT GENERAL STORE  
A1-2 FIRST FLOOR RESIDENCE  
A2-1 ELEVATIONS GENERAL STORE  
A2-2 ELEVATIONS RESIDENCE  
A3-1 SIGNAGE & DETAILS  
STRUCTURAL DRAWING LIST BY KCI TECHNOLOGIES  
S1-1 PARTIAL FOUNDATION PLANS & SECTIONS  
S1-2 SECTIONS  
S1-3 DETAILS & NOTES  
NOTE: SEE CIVIL DRAWINGS BY KCI TECHNOLOGIES

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
[Date]



PENZA BAILEY  
ARCHITECTS  
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Baltimore, Maryland 21212  
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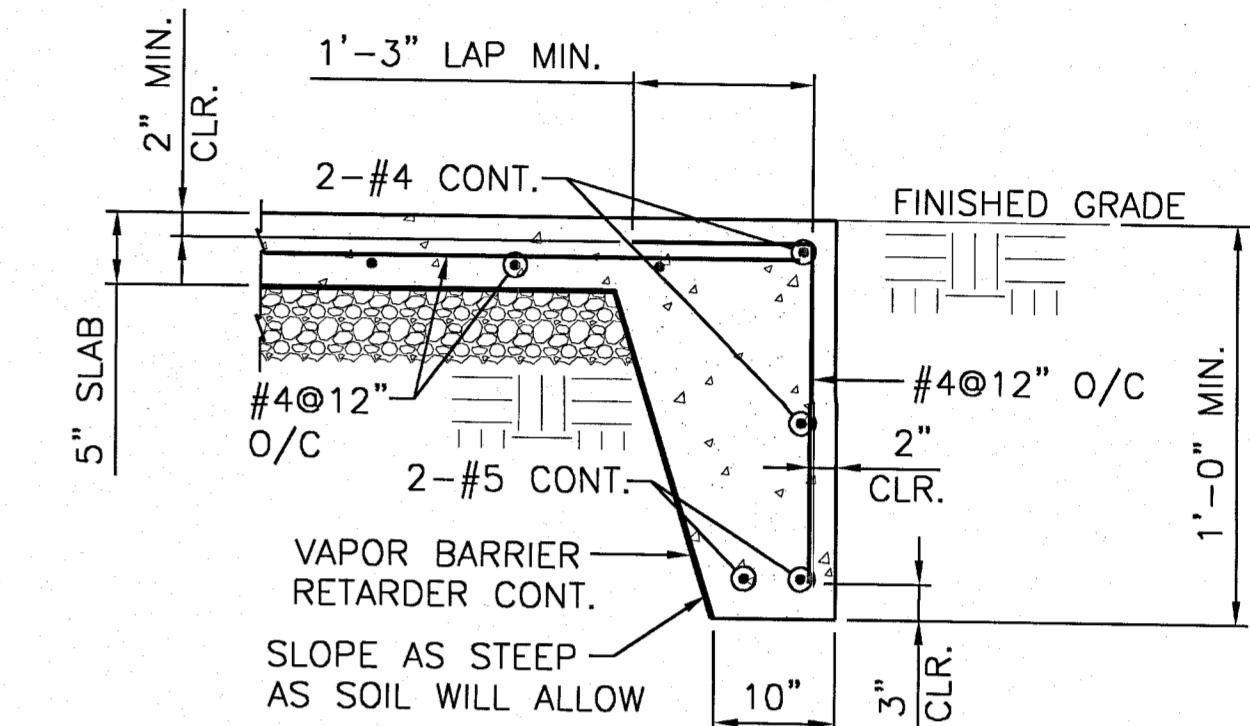
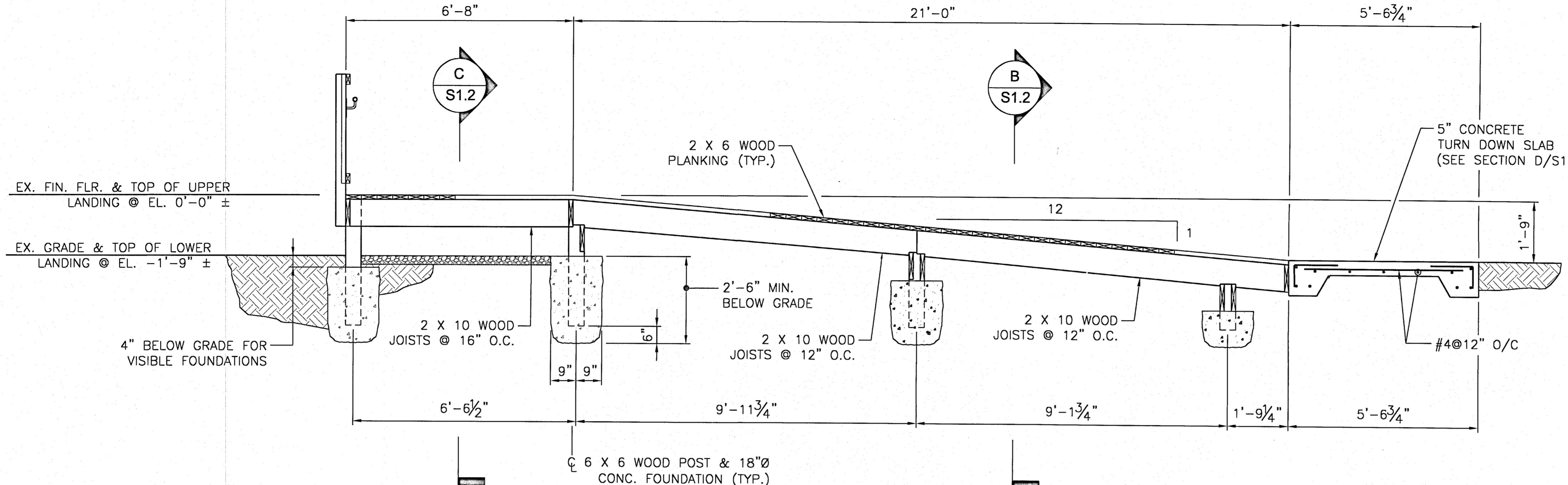
PARK DEVELOPMENT  
DIVISION  
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SILVER SPRING, MD 20901  
DIRECTOR OF PARKS

POOLE - GENERAL STORE  
& RESIDENCE  
DATE APPROVED  
CHIEF ENGINEER  
DIRECTOR OF PARKS

REVISED	DATE	STANDARD NO.
CD's	12/04/2007	
REVISED	12/06/2007	
REVISED	01/09/2008	
REVISION	05/09/2008	

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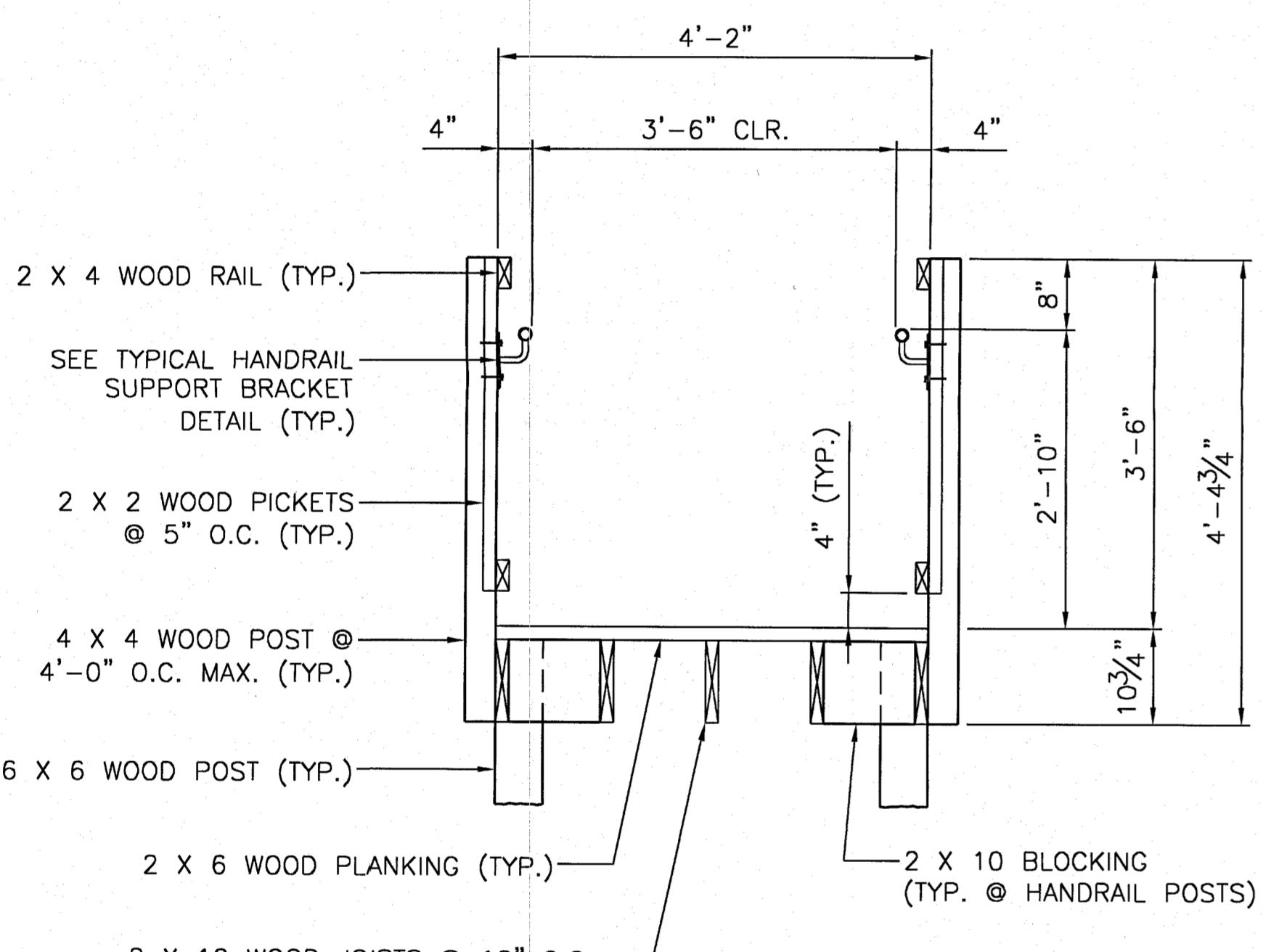
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**SECTION THRU RAMP**

SCALE: 1/2" = 1'-0"

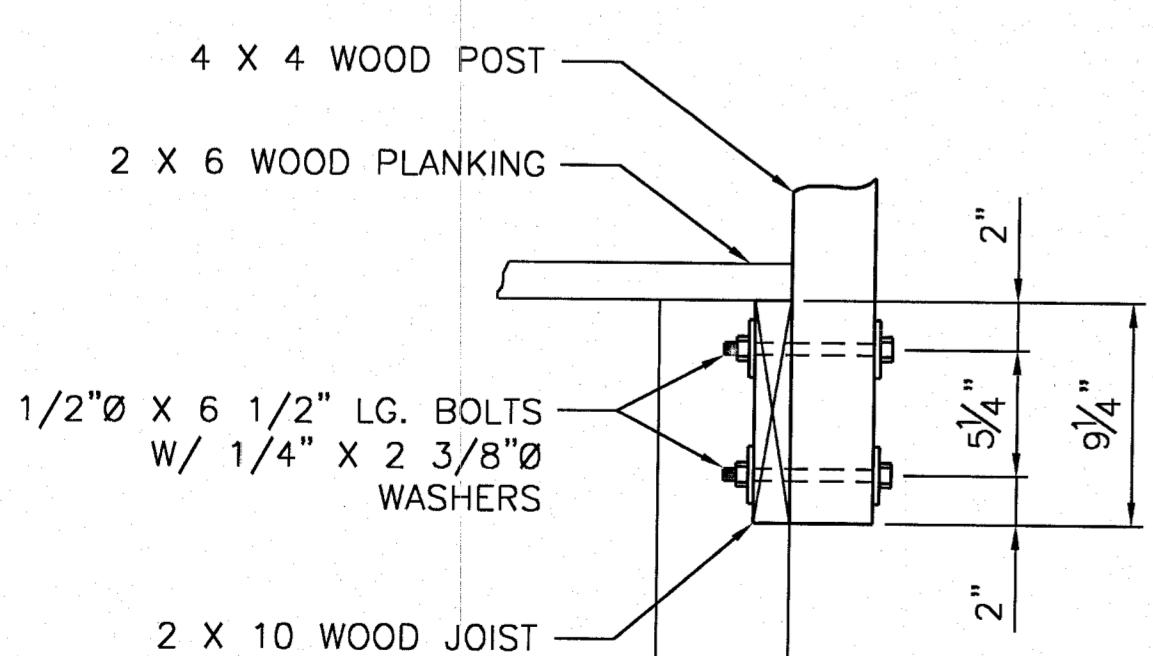
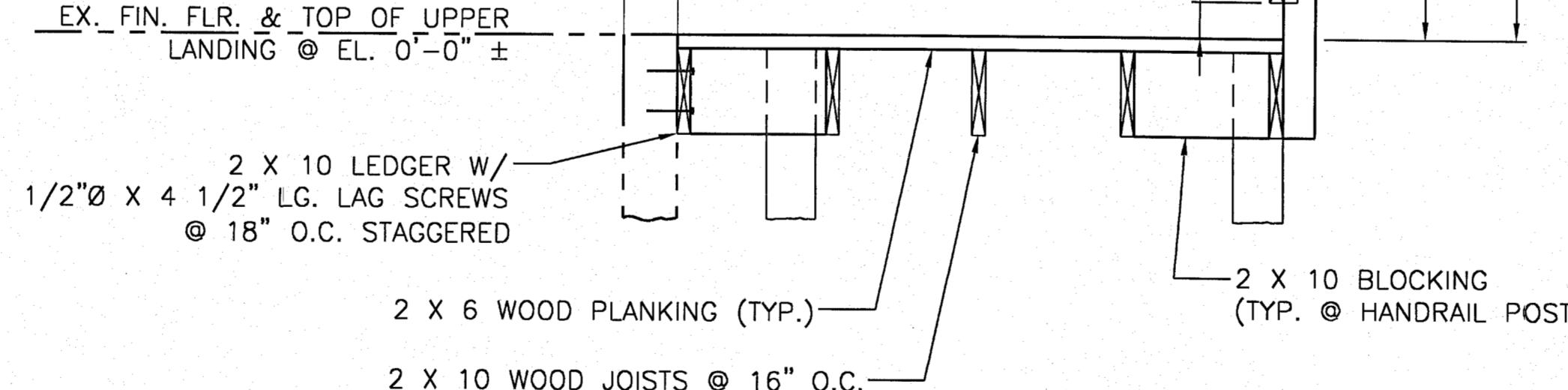
A  
S1.2



**TYPICAL SECTION THRU RAMP**

SCALE: 3/4" = 1'-0"

B  
S1.2



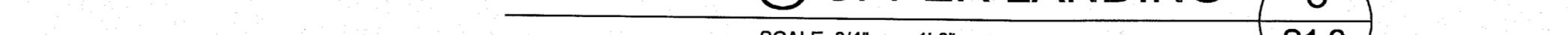
**TYPICAL HANDRAIL POST CONNECTION DETAIL**

SCALE: 1 1/2" = 1'-0"

**SECTION @ UPPER LANDING**

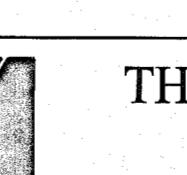
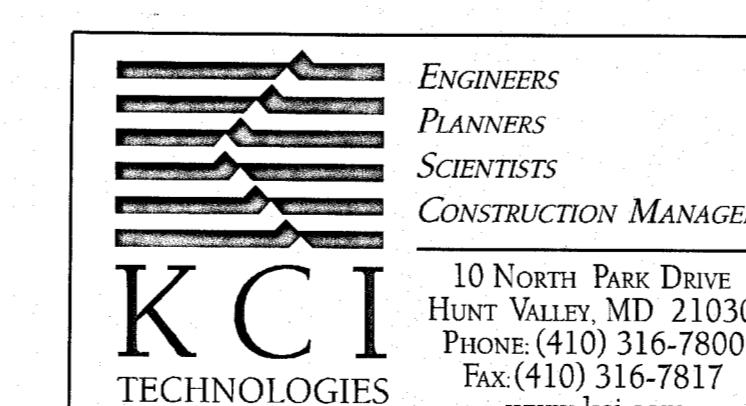
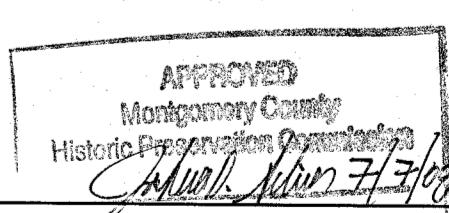
SCALE: 3/4" = 1'-0"

C  
S1.2



**TYPICAL HANDRAIL SUPPORT BRACKET DETAIL**

SCALE: 1 1/2" = 1'-0"

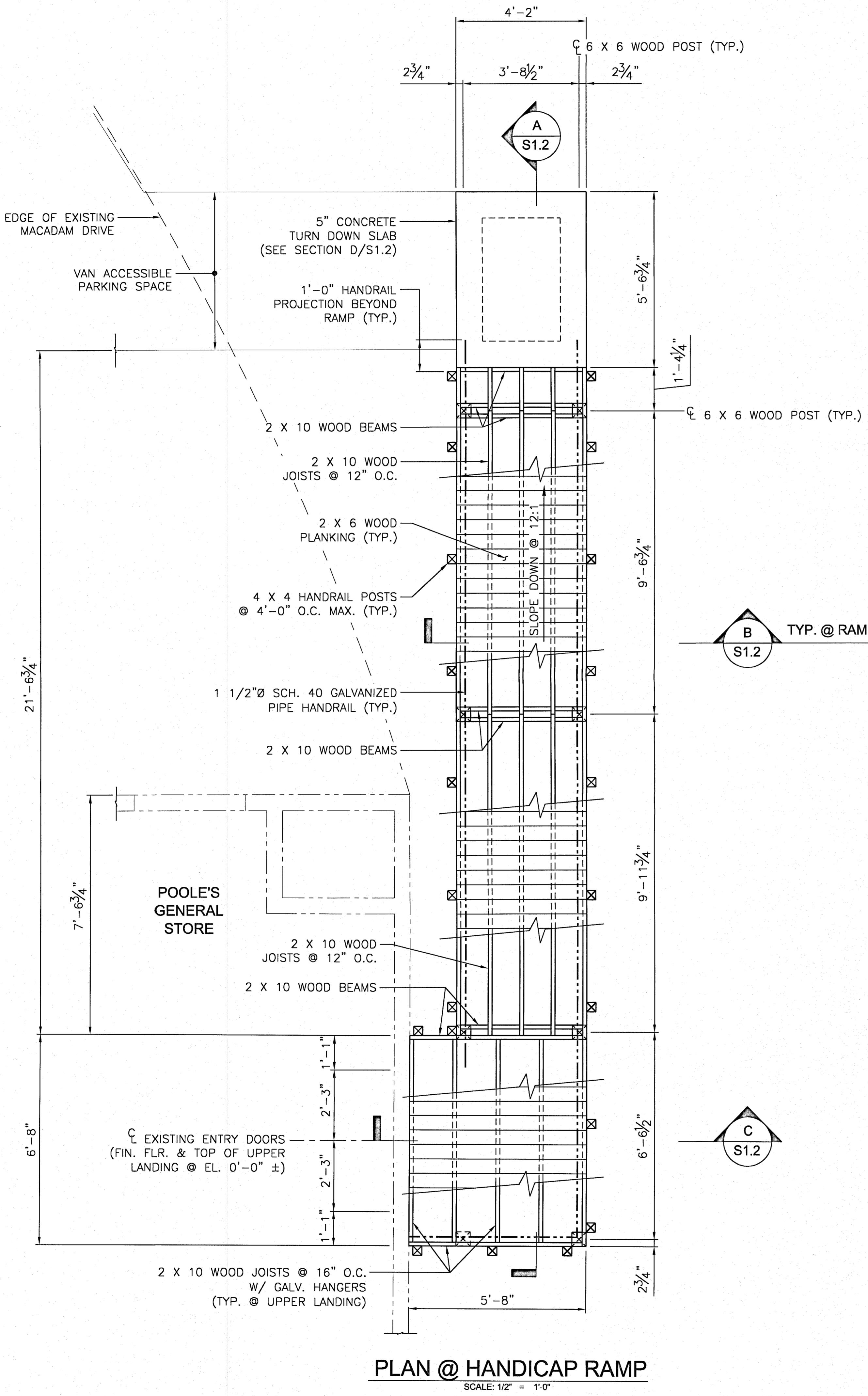


THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT DIVISION  
9500 BRUNELL AVENUE SILVER SPRING, MD 20901  
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DIRECTOR OF PARKS

M-NCPPC POOLE - GENERAL STORE & RESIDENCE  
SECTIONS & DETAILS

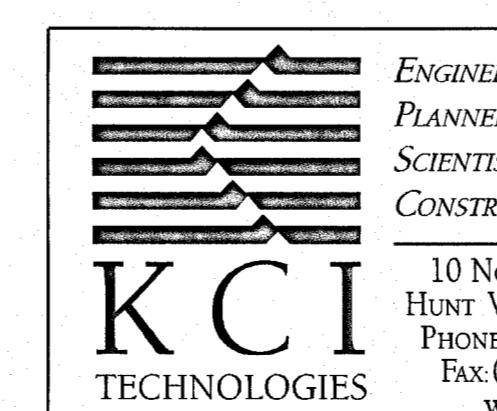
REVISED DATE STANDARD NO.  
DD-REVIEW 05/12/2008  
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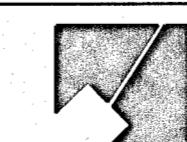
## GENERAL STRUCTURAL NOTES:

1. BUILDING CODES:  
A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2006 IBC BUILDING CODE AND ALL SUBSEQUENT SUPPLEMENTS.  
B. IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE.
2. DESIGN LOADS:  
A. THE DESIGN DEAD LOADING FOR ALL RAMPS IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS.  
B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW RAMPS SHALL BE AS FOLLOWS:  
LIVE LOAD 100 PSF  
C. THE CONTRACTOR SHALL NOT STORE ANY CONSTRUCTION MATERIALS OR UNDERTAKE ANY CONSTRUCTION OPERATION WHICH WILL EXCEED THE DESIGN LIVE LOADINGS NOTED.
3. MISCELLANEOUS:  
A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.  
B. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.  
C. SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.  
D. END CAPS SHALL BE PLACED AT ALL LOCATIONS WHERE THE HANDRAIL SYSTEM IS TERMINATED. A 1/4" DIA. WEEP HOLE SHALL BE DRILLED INTO THE UNDERSIDE OF THE HANDRAIL NEAR ALL TERMINATION POINTS. FINISHED HANDRAIL SYSTEM SHALL BE SMOOTH AND FREE FROM ANY BURRS OR IRREGULARITIES.
4. EXISTING STRUCTURE:  
A. ALL EXISTING PLANS, DETAILS, DIMENSIONS, AND ELEVATIONS INDICATE EXISTING CONDITIONS AS KNOWN. THE EXISTING INFORMATION SHOWN IS NOT INTENDED TO BE "AS BUILT" AND THE ACTUAL CONSTRUCTION MAY DIFFER FROM THAT SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION. MINOR VARIATIONS CAN BE EXPECTED AND ANY REQUIRED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.  
B. THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM. SHOULD DAMAGE OCCUR TO ANY UTILITIES, THE CONTRACTOR IS REQUIRED TO REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER AT HIS OWN EXPENSE.  
C. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION. THE DESIGN OF ALL TEMPORARY BRACING AND SHORING IS THE CONTRACTOR'S RESPONSIBILITY.  
D. THE CONTRACTOR SHALL MONITOR THE EXISTING STRUCTURE DURING CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF AREAS EXHIBITING DISTRESS OR FAILURE.  
E. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND CONDITION OF ALL EXISTING FRAMING. SHOULD THE SIZE OR CONDITION OF THE EXISTING FRAMING DIFFER FROM THAT SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
5. FOUNDATIONS:  
A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE FOR FROST PROTECTION.  
B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THE ALLOWABLE SOIL BEARING PRESSURE SHALL BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACING FOUNDATIONS. SHOULD THE ACTUAL SOIL BEARING PRESSURE BE LESS THAN 2000 PSF, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.  
C. ALL FILL PLACED UNDER SPREAD FOOTINGS SHALL BE COMPAKTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698.  
D. ALL EXCAVATION AND BACKFILLING OPERATIONS WITHIN THE RAMP FOOTPRINT, INCLUDING ALL COMPACTION TESTS AND INSPECTIONS, SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER.  
E. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.  
F. ALL EXISTING SOIL CONTAINING GRAVEL, CONSTRUCTION OR DEMOLITION DEBRIS, ORGANIC SUBSTANCES, OR OTHER FOREIGN OBJECTS SHALL BE REMOVED FROM THE REGION WITHIN THE FOOTPRINT OF THE STRUCTURE.
6. CAST IN PLACE CONCRETE:  
A. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)"; AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)".  
B. IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:  
1. RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).  
2. RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).  
3. RECOMMENDED PRACTICE FOR CONCRETE FORMWORK (ACI 347).  
C. ALL CONCRETE EXPOSED TO PUBLIC VIEW SHALL CONFORM TO THE REQUIREMENTS FOR ARCHITECTURAL CONCRETE CONTAINED IN ACI 301.  
D. ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5% ±1%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1", AND MAXIMUM SLUMP SHALL BE 4". PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C 33.  
E. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 615 GRADE 60. LAP ALL REINFORCING BARS A MINIMUM OF 30 BAR DIAMETERS, UNLESS OTHERWISE INDICATED.  
F. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE CRSI "MANUAL OF STANDARD PRACTICE", ACI 315" DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI SP 66 "DETAILED MANUAL".  
G. ALL CONCRETE MIX DESIGNS, INCLUDING CEMENT CONTENT, WATER CEMENT RATIO, FINE AND COARSE AGGREGATE CONTENT AND ALL ADMIXTURES, SHALL BE REVIEWED BY ENGINEER PRIOR TO PLACING FIRST CONCRETE.  
H. ALL CONCRETE SHALL BE SAMPLED AND TESTED BY THE TESTING AGENCY. THE CONTRACTOR SHALL NOTIFY THE TESTING AGENCY 48 HOURS PRIOR TO THE PLACING OF ANY CONCRETE.  
I. THE CONCRETE STRUCTURE SHALL NOT SUPPORT THE DESIGN LIVE LOAD FOR A MINIMUM OF 28 DAYS AND ALL SHORING AND RESHORING REQUIRED TO SUPPORT THE CONCRETE STRUCTURE DURING CONSTRUCTION SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR. SHOP DRAWINGS, SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF MARYLAND, SHALL BE SUBMITTED FOR REVIEW. SHOP DRAWINGS SHALL INDICATE THE TYPE, EXTENT, SIZE, AND LOCATION OF ALL SHORING AND RESHORING AS WELL AS THE SEQUENCE OF CONSTRUCTION.  
J. GROUND BLAST FURNACE SLAG MAY BE USED TO REPLACE UP TO 50 PERCENT OF THE PORTLAND CEMENT IN A CONCRETE MIX, AND FLY ASH OR POZZOLAN MAY BE USED TO REPLACE UP TO 25 PERCENT OF PORTLAND CEMENT, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND SHALL CONFORM TO ASTM C 989.
7. WOOD:  
A. ALL STRUCTURAL WOOD SHALL BE PRESSURE TREATED #2 SOUTHERN PINE OR BETTER.  
B. ALL UNSPECIFIED WOOD-TO-WOOD CONNECTIONS SHALL BE WITH 2-16d NAILS MINIMUM.
8. GROUND PROTECTION:  
A. COVER GROUND UNDER STRUCTURE WITH 10 MIL. PLASTIC AND 3" OF GRAVEL TO PREVENT VEGETATION GROWTH.

APPROVED  
Montgomery County  
Historic Preservation Commission  
S1.1 July 7/7/08



ENGINEERS  
PLANNERS  
SCIENTISTS  
CONSTRUCTION MANAGERS  
10 NORTH PARK DRIVE  
HUNT VALLEY, MD 21030  
PHONE: (410) 316-7800  
FAX: (410) 316-7817  
www.kci.com



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Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT  
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9500 BRUNNETT AVENUE  
SILVER SPRING, MD 20901

DATE APPROVED  
CHIEF ENGINEER  
DIRECTOR OF PARKS

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GENERAL STORE & RESIDENCE  
PLAN & NOTES

REVISED DATE STANDARD NO.  
DD-REVIEW 05/12/2008  
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**1 ADA Parking Signs**

**2 ADA Parking Signs**

**3 ADA Parking Signs**

**4 DETAIL-DOOR SILL @ STORE**

SCALE: 3" = 1'-0"

**5 DETAIL-RAILING**

SCALE: 1 1/2" = 1'-0"

APPROVED  
Montgomery County  
Health Department Commissioner  
*Sarah M. Johnson*

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REVISION	05/09/2008	

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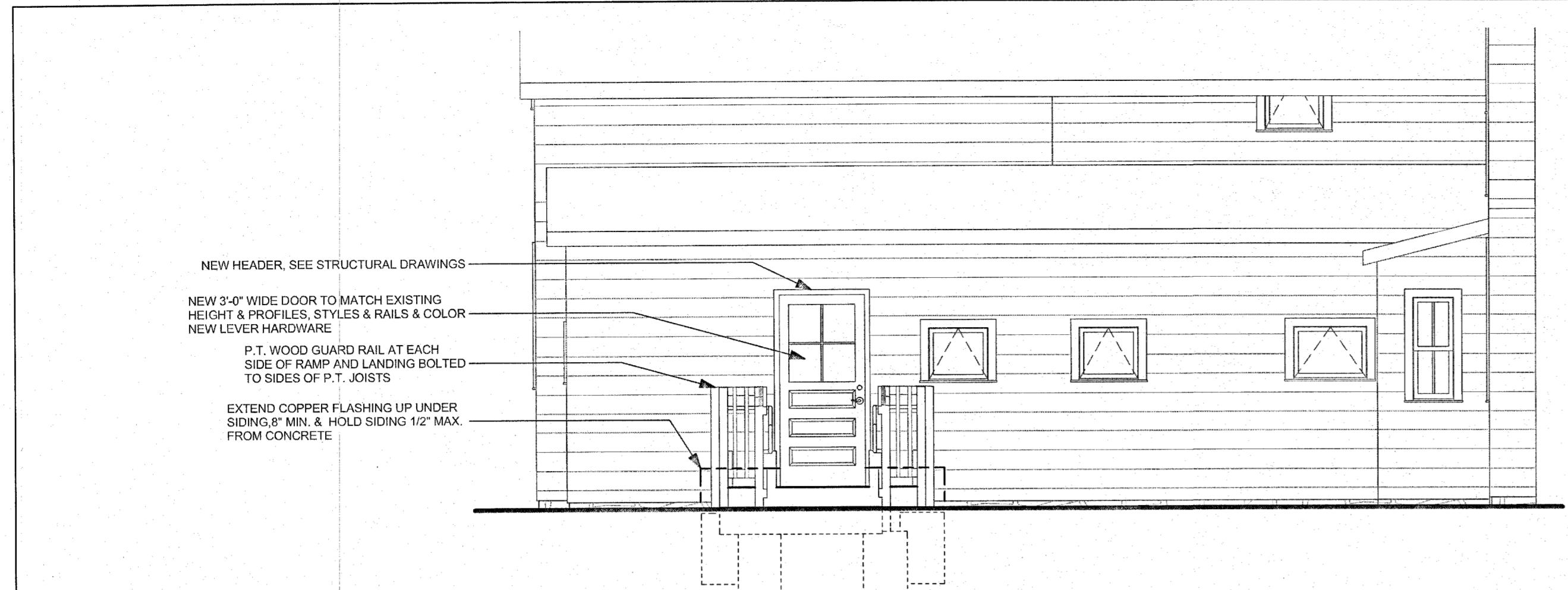
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Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT DIVISION	DATE APPROVED	POOLE - GENERAL STORE & RESIDENCE
9500 BRUNETT AVENUE SILVER SPRING, MD 20901	CHIEF ENGINEER	DIRECTOR OF PARKS

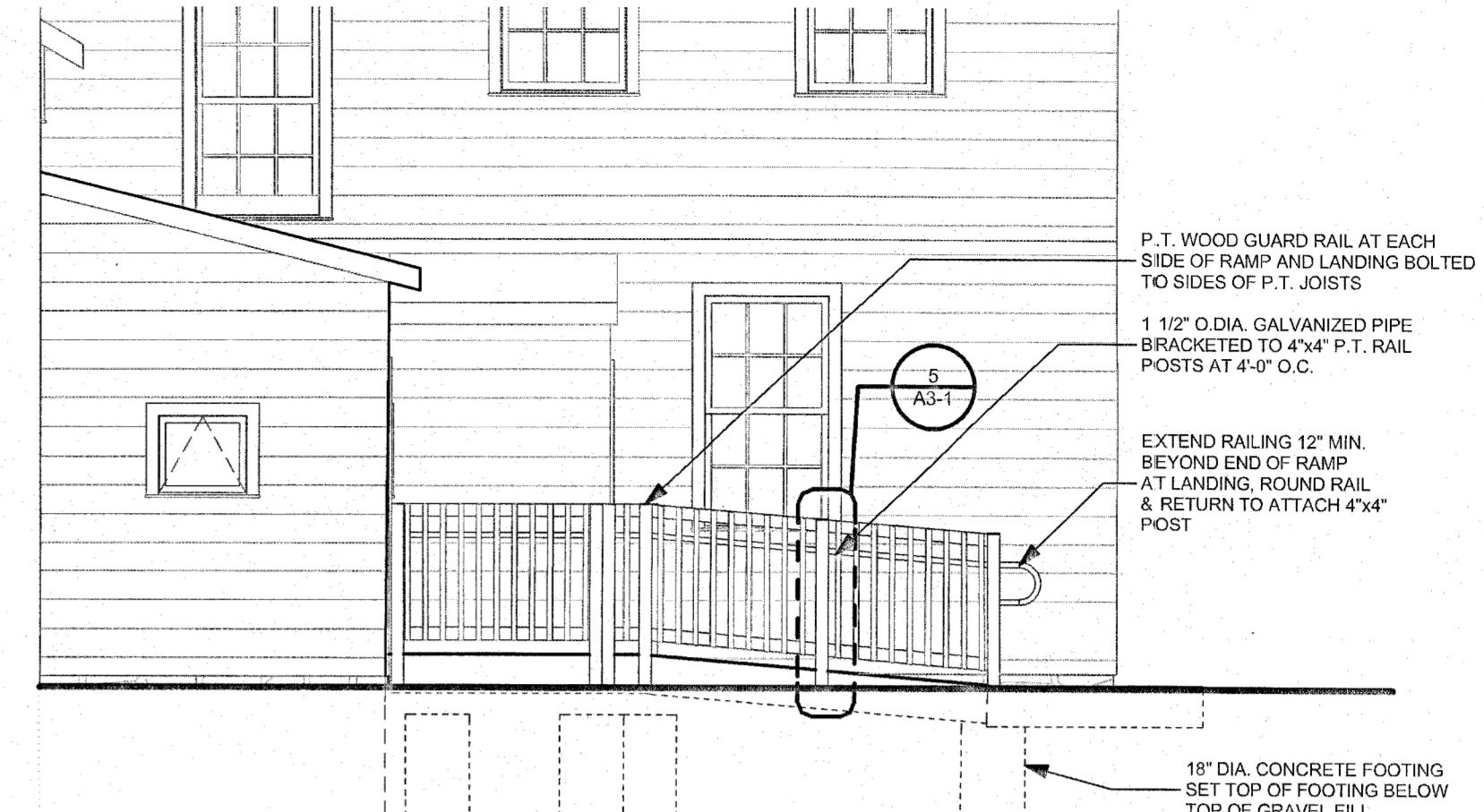
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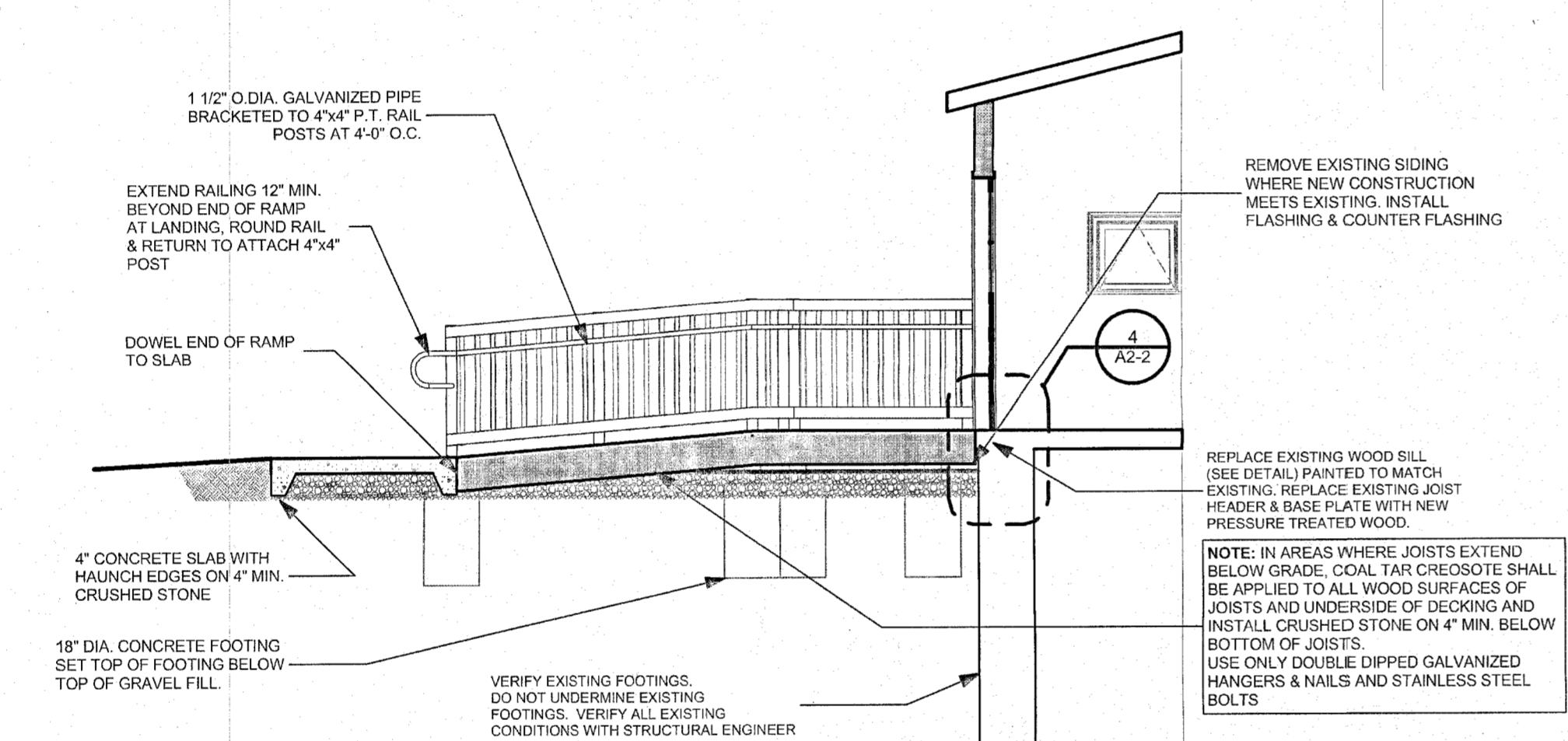
**1 WEST ELEVATION AT RESIDENCE**

SCALE: 1/4" = 1'-0"



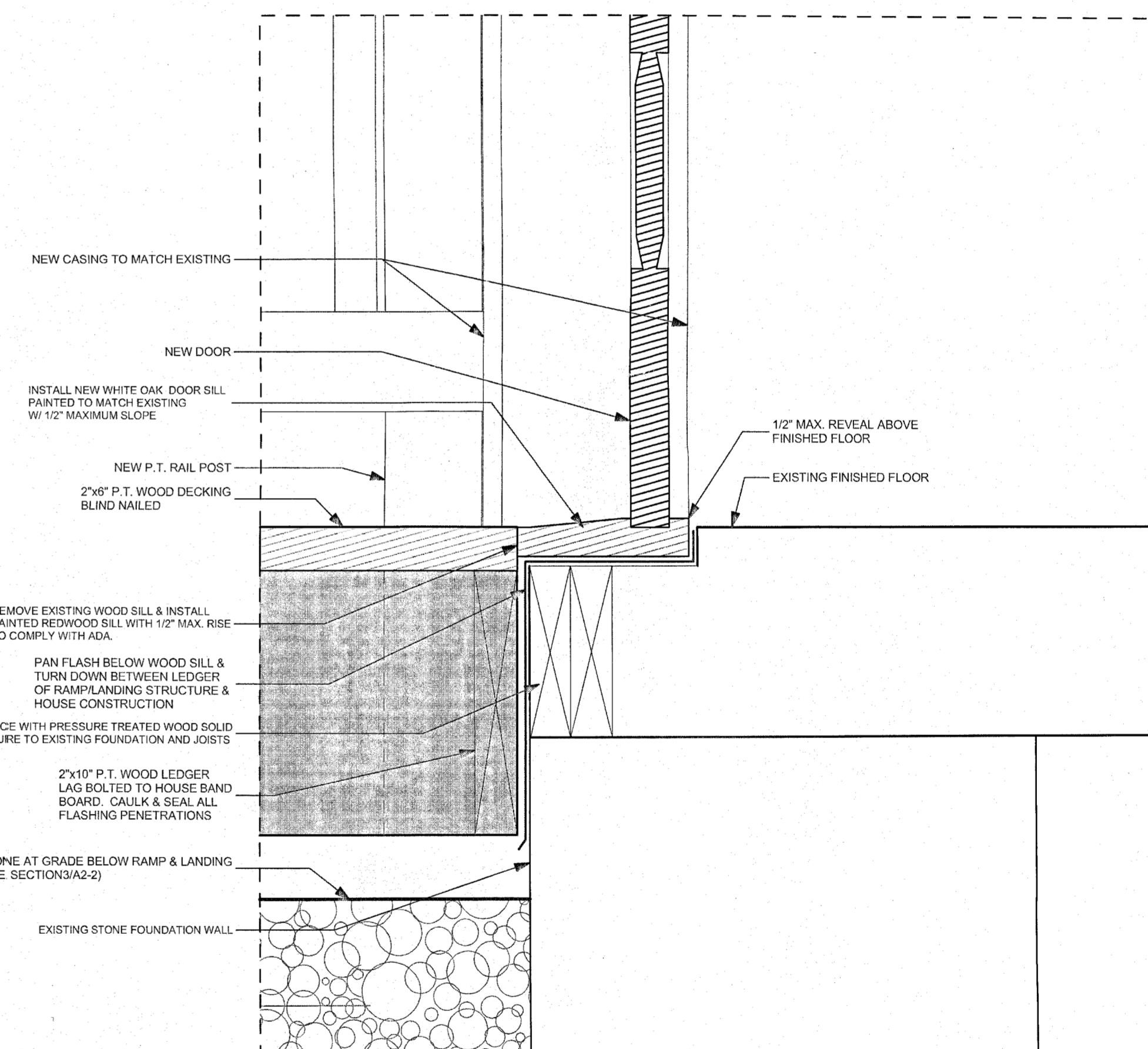
**2 NORTH ELEVATION AT RESIDENCE**

SCALE: 1/4" = 1'-0"



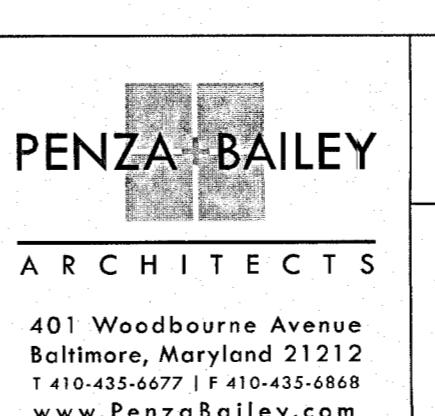
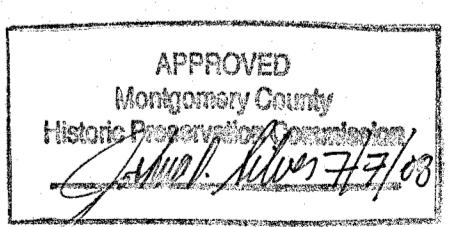
**3 SECTION@ RESIDENCE RAMP**

SCALE: 1/4" = 1'-0"



**4 DETAIL-DOOR SILL @ RESIDENCE**

SCALE: 3" = 1'-0"

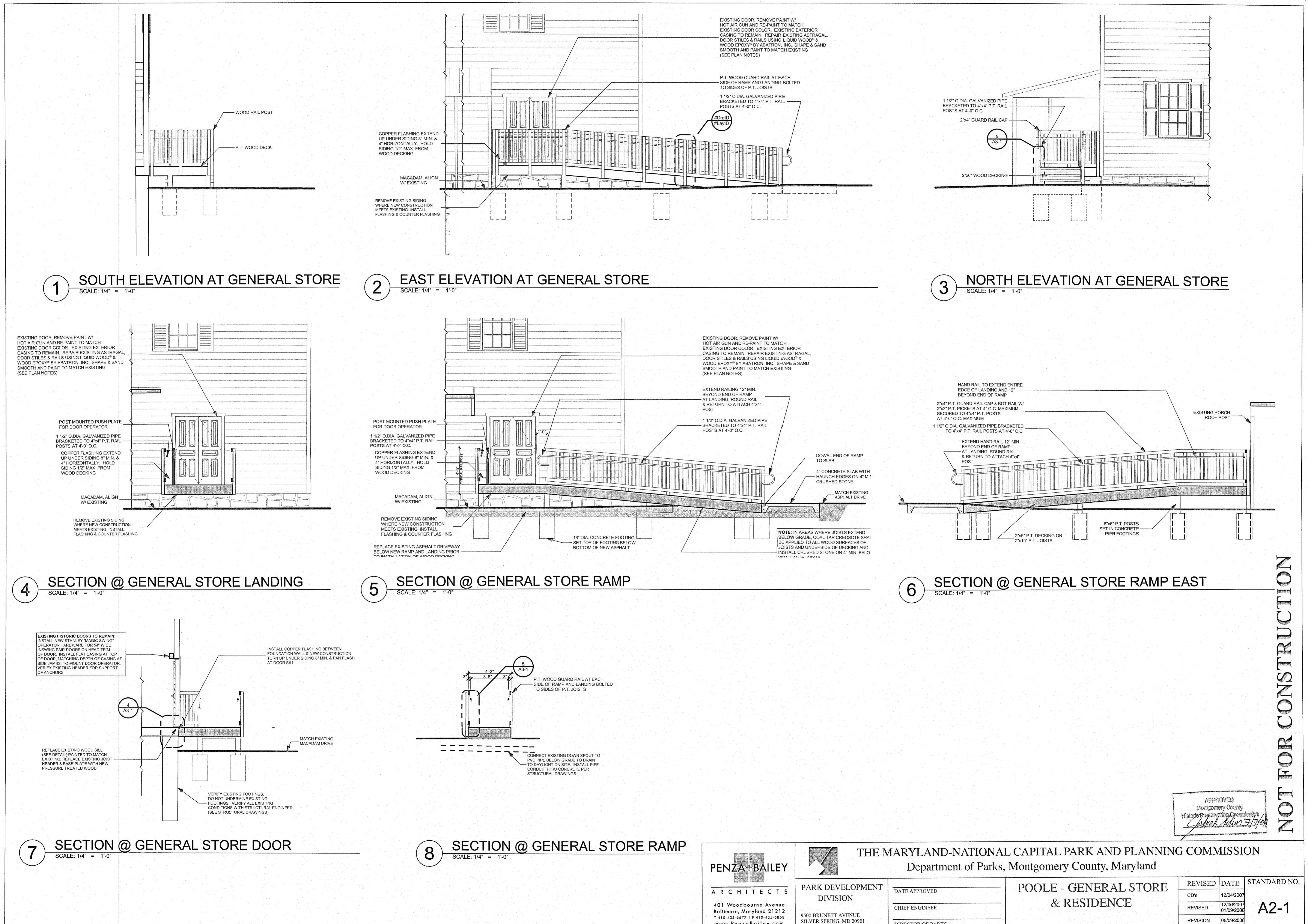


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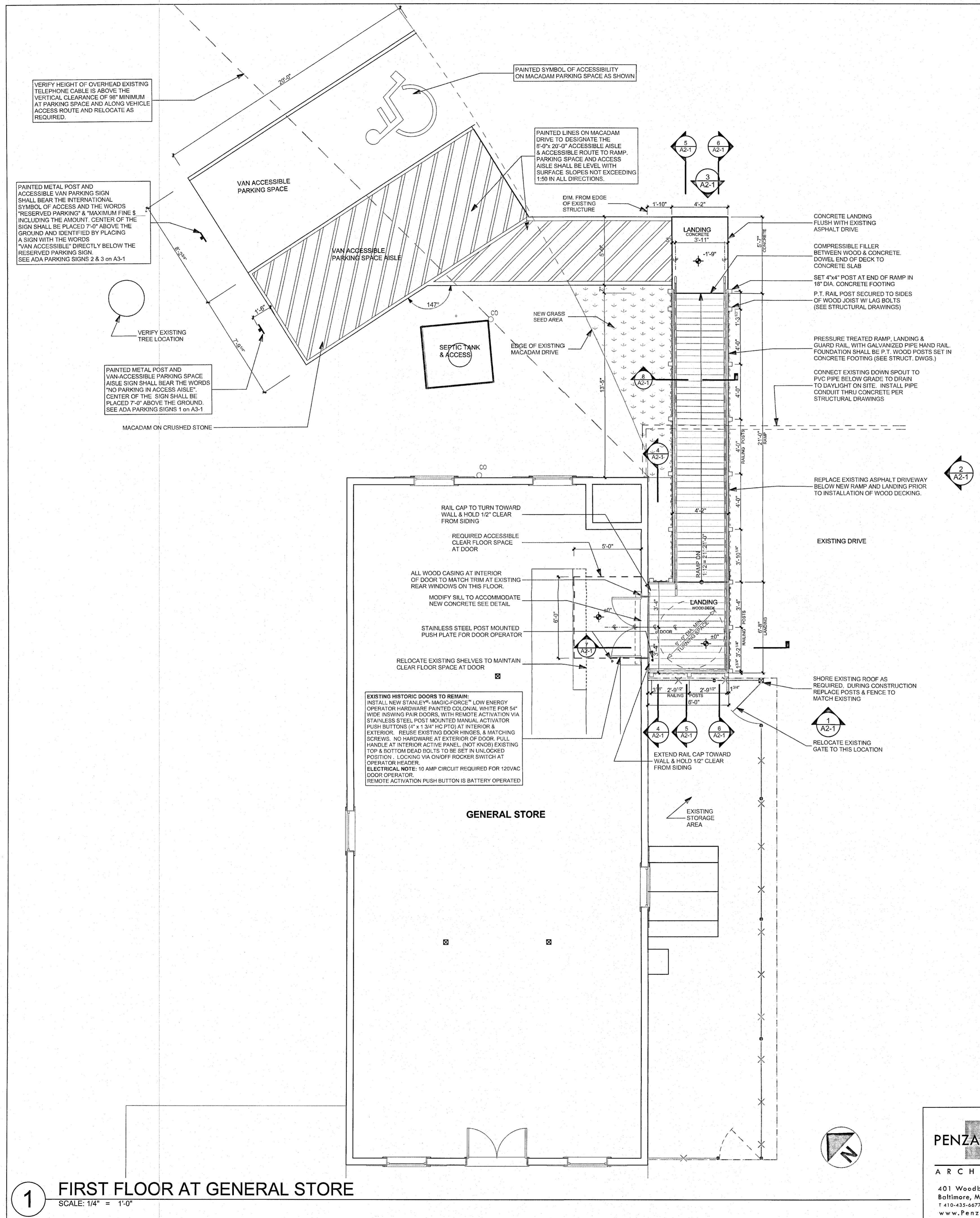
PARK DEVELOPMENT DIVISION	DATE APPROVED	REVISED	DATE	STANDARD NO.
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DIRECTOR OF PARKS		REVISED	12/06/2007	A2-2
		REVISION	01/09/2008	

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## GENERAL PROJECT NOTES

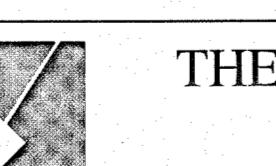
- COMPLY WITH INTERNATIONAL BUILDING CODE AND ALL LOCAL REGULATIONS PERTAINING TO THE WORK. ALL WORK SHALL BE ACCESSIBLE PER FEDERAL "AMERICANS WITH DISABILITIES ACT" (aka: ADA) (ADAAG GUIDELINES).
- PROPERTY IS A HISTORICAL PROPERTY AND SHALL COMPLY WITH MONTGOMERY COUNTY CODE - CHAPTER 24A - HISTORIC RESOURCES PRESERVATION AND REQUIRES A HISTORIC AREA WORK PERMIT.
- HISTORIC PROPERTY IS TO COMPLY WITH ADA - AMERICANS WITH DISABILITIES ACT. IT IS THE INTENT OF THE OWNER TO PRESERVE HISTORIC CHARACTER OF THE GENERAL STORE AND THE PAIR OF HISTORIC DOORS AT THE NEW RAMP AND COMPLY WITH ADA. AND BY DOING SO, THIS DESIGN WITH REGARD TO THIS PAIR OF DOORS WILL MEET THE INTENT OF THE LAW, BY INSTALLING A PUSH BUTTON DOOR OPERATOR THAT WILL OPEN AND CLOSE BOTH DOOR LEAVES IN ORDER TO PROVIDE AN ACCESSIBLE ROUTE.
- COORDINATE WORK OF ALL TRADES UNDER THIS CONTRACT, INCLUDING ALL WORK BY OWNER AND OWNER'S SEPARATE CONTRACTORS / VENDORS.
- SAFEGUARD ALL WORK AREAS AGAINST PERSONAL INJURY OR DAMAGE; PROTECT ALL EXISTING FINISHES TO REMAIN, FURNITURE, FIXTURES, EQUIPMENT, AND PERSONAL ITEMS.
- OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THE WORK. SCHEDULE AND ATTEND ALL REQUIRED INSPECTIONS.
- VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE WORK. REQUEST CLARIFICATION OF ALL CONFLICTS PRIOR TO PROCEEDING. THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY REGARDING ANY DIMENSIONAL DISCREPANCIES NOTED ON THE DRAWINGS OR INCURRED DURING THE CONSTRUCTION PROCESS.
- EXTERIOR DIMENSIONS ARE INDICATED FROM EXTERIOR FACE OF SHEATHING OR CMU WALL, OR CONCRETE OR FACE OF EXISTING WALL, UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE INDICATED FROM FACE OF EXTERIOR SHEATHING OR CMU, UNLESS OTHERWISE NOTED.
- ALL CASING AND TRIM TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
- CASED DOOR OPENING SHALL BE LOCATED MINIMUM 4' FROM ADJACENT INTERSECTING WALLS, OR CENTERED ON WALLS (SUCH AS IN HALLS) TO ALLOW FOR CASING, UNLESS OTHERWISE NOTED. ADAAG REQUIREMENTS TAKE PRIORITY FOR APPROACH TO DOORS.
- CONTRACTOR IS RESPONSIBLE FOR ALL SUBMITTALS AND SHALL PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT, PROFILE, RAILING, CONCRETE, REINFORCING AND COLORS REVIEW AND APPROVAL BY OWNER AND ARCHITECT. A MINIMUM OF (4) FOUR COPIES EACH OF SHOP DRAWINGS & SUBMISSIONS OF ALL MATERIALS & PRODUCT SELECTIONS SHALL BE SUBMITTED FOR REVIEW / APPROVAL TO ARCHITECT. ARCHITECT WILL REVIEW AND SIGN ALL SUBMITTALS AND RETURN TO CONTRACTOR WITH A COPY SUBMITTED TO OWNER.
- COMPLETE ALL WORK, READY IN ALL RESPECTS FOR ITS INTENDED USE, ACCEPTABLE TO OWNER.
- VERIFY CONSTRUCTION SCHEDULE AND HOURS OF WORK WITH TENANT AND LANDLORD, PRIOR TO BID SUBMISSION AND SET UP A MEETING WITH THE OWNER AND ARCHITECT FOR REVIEW AND COORDINATION.
- UPGRADE ELECTRIC AS REQUIRED TO MAKE NEW INSTALLATIONS MEET LOCAL CODE AND RELOCATE ALL SERVICE CONNECTIONS NECESSITATED BY NEW CONSTRUCTION.
- COMPLETE ALL WORK, READY IN ALL RESPECTS FOR ITS INTENDED USE, ACCEPTABLE TO OWNER.
- COORDINATE RELOCATING OF EXISTING SHELVES WITH TENANT & OWNER.
- PRESSURE TREATED WOOD SHALL BE WOLMANIZED® PRESSURE TREATED WOOD WITH THE PROPER RETENTION (CA-B) FOR ITS INTENDED APPLICATION.
- ALL HANGERS, NAILS AND BOLTS SHALL BE DOUBLE DIPPED GALVANIZED, OR STAINLESS STEEL. DECKING SHALL BE BLIND NAILED/ANCHORED USING STAINLESS STEEL SCREWS.
- OWNER'S DECISION TO USE PRESSURE TREATED WOOD FOR RAMPS, LANDINGS AND RAILS SHALL BE DEEMED THE OWNER'S RESPONSIBILITY, AND HOLD PENZA BAILEY ARCHITECTS AND KCI TECHNOLOGIES HARMLESS, FOR MAINTENANCE, DEGRADATION OF THE MATERIALS, INJURY DUE TO SPLINTERS AND CAUSTIC SUBSTANCES USED IN THE PRESSURE TREATING AND PRESERVATION OF THE MATERIALS.

## ELECTRICAL NOTES

- ALL ELECTRICAL WORK TO CONFORM TO N.E.C. AND LOCAL CODE REQUIREMENTS. RECESSED LIGHT FIXTURES SHALL HAVE INSULATED HOUSINGS AS REQUIRED TO MEET CODE.
- CONTRACTOR SHALL EXAMINE THE DRAWINGS AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS PRIOR TO BID SUBMISSION. ALL ELECTRICAL CONNECTIONS TO EXISTING ELECTRICAL PANELS SHALL BE COORDINATED WITH ALL EXISTING AND PROPOSED, ELECTRICAL, PLUMBING, MECHANICAL, FIRE SUPPRESSION, & STRUCTURAL CONDITIONS, PRIOR TO CONSTRUCTION.

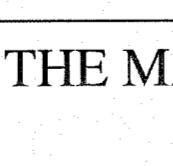
## KEY PLAN

SCALE: 1" = 20'



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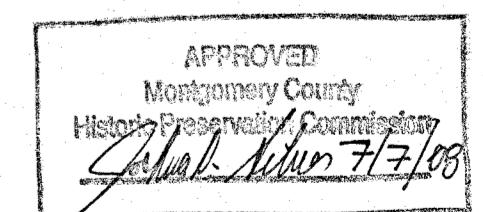
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**DEMOLITION NOTES**

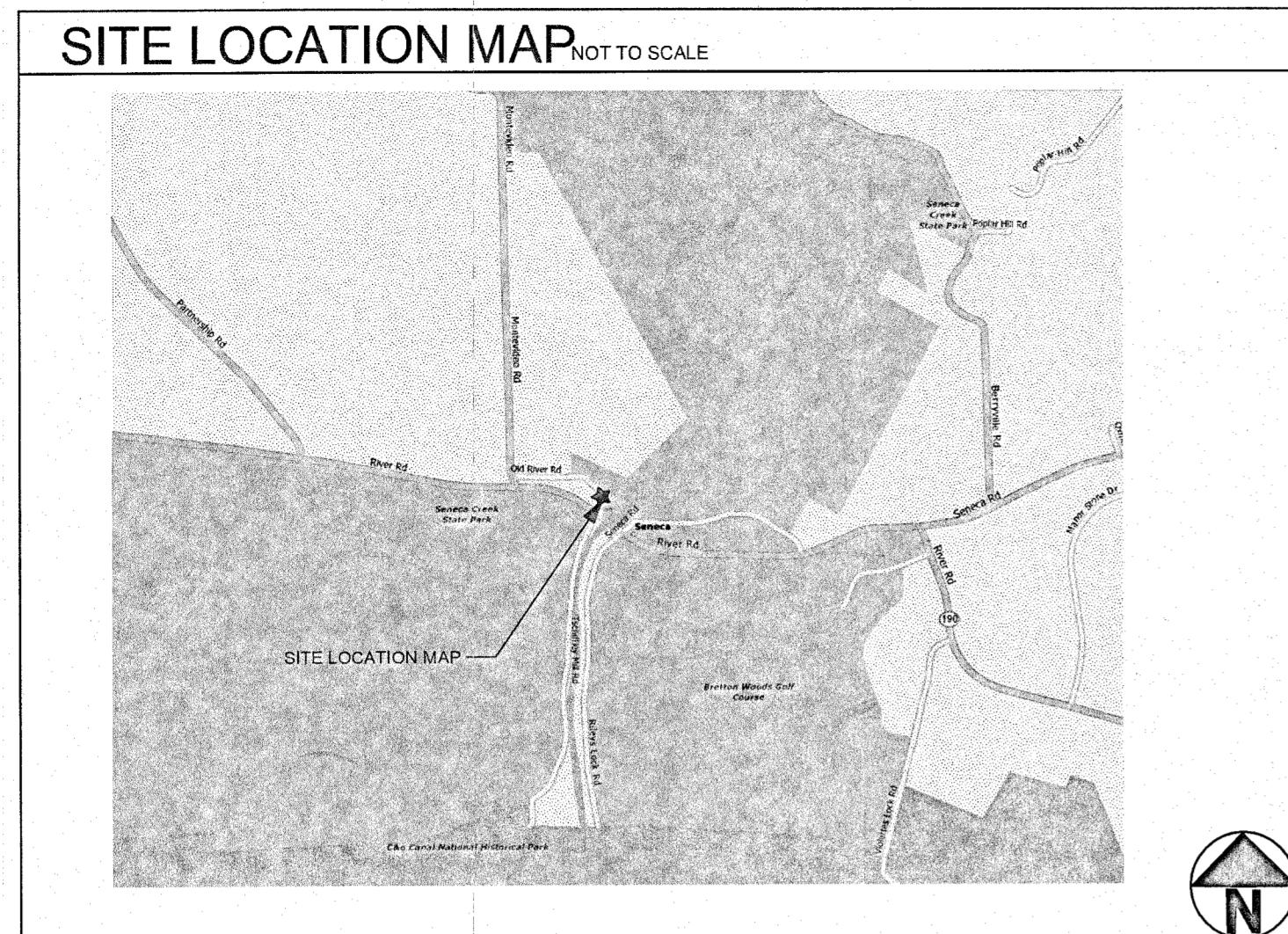
1. REMOVE EXISTING CONSTRUCTION AS INDICATED FOR NEW WORK. MOVE SALVAGED ITEMS TO OWNER'S STORAGE, OR DISPOSE OFF-SITE, AS DIRECTED BY OWNER. ACCUMULATION OF TRASH ON-SITE MUST BE COORDINATED WITH THE OWNER.
2. REMOVE ENTIRELY CONSTRUCTION TO BE REMOVED. REPAIR EXISTING SUBSTRATES RECEIVE NEW WORK. MINIMIZE DAMAGE TO EXISTING CONSTRUCTION THAT WILL REMAIN.
3. ALL EXISTING CONSTRUCTION TO REMAIN THAT HAS BEEN AFFECTED OR EXPOSED BY DEMOLITION, SHALL BE REPAIRED AND REFINISHED TO MATCH ORIGINAL FINISH.
4. FURNITURE AND EQUIPMENT: MOVE AS NEEDED, SALVAGE OR DISPOSE OF, AS DIRECTED BY OWNER. PROTECT ALL ITEMS TO BE RE-USED OR SALVAGED.
5. SECURITY, TELEPHONE, DEVICES AND WIRING: DISCONNECT AS REQUIRED, RELOCATE, SALVAGE FOR OWNER, OR DISPOSE, AS DIRECTED BY OWNER. MAINTAIN ALL SERVICES TO REMAIN IN FULLY OPERATIONAL CONDITION. REMOVE ALL ABANDONED WIRING.
6. PROVIDE TEMPORARY SHORING AS REQUIRED TO SUPPORT FLOORS, WALLS, ROOFS & GIRDERS.
7. SAVE ALL TRIM & HARDWARE FOR RE-USE IN NEW CONSTRUCTION. REMOVE SURROUNDING CASINGS AND PREPARE FOR REPLACEMENT AS SPECIFIED ON CONSTRUCTION DOCUMENTS.
8. RE-USE EXISTING DOORS AS REQUIRED AND REMOVE ALL PAINT TO BARE WOOD WITH HOT AIR GUN, READY FOR NEW PAINT AND HARDWARE. CHEMICAL PAINT STRIPPING IS NOT PERMITTED, AND SHALL ONLY BE APPROVED BY OWNER & ARCHITECT.
9. VERIFY ALL EXISTING FOOTING LOCATIONS AND COORDINATE WITH STRUCTURAL & ARCHITECTURAL DRAWINGS. VERIFY UNUSUAL CONDITIONS WITH ARCHITECT AND ENGINEER FOR COORDINATION.

**FIRST FLOOR DEMOLITION AT RESIDENCE**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR DEMOLITION AT GENERAL STORE**  
SCALE: 1/4" = 1'-0"

 <b>PENZA-BAILEY</b> ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677   F 410-435-6868 www.PenzaBailey.com	 <b>THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION</b> Department of Parks, Montgomery County, Maryland	REVISED      DATE      STANDARD NO. CD's      12/04/2007 REVISED      12/06/2007      01/09/2008 .REVISION      05/09/2008
<b>PARK DEVELOPMENT DIVISION</b> DATE APPROVED _____ CHIEF ENGINEER _____ DIRECTOR OF PARKS _____		<b>POOLE - GENERAL STORE &amp; RESIDENCE</b>

APPROVED  
Montgomery County  
Historical Preservation Commission  
General Note 7/7/08



#### BUILDING DATA

OWNER:	MARYLAND-CAPITAL PARKS & PLANNING COMMISSION
PROJECT ADDRESS:	16401 OLD RIVER ROAD DRIVE POOLESVILLE, MARYLAND 20837
Jurisdiction:	MONTGOMERY COUNTY DEPARTMENT OF PARKS & PLANNING Maryland-National Capital Parks & Planning Commission
Applicable Codes:	2003 IBC, 2003 IRC, NFPA-101 2003 NEC 2003, COMAR 05.02.02, ADAAG & FFHAG MONTGOMERY COUNTY CODE: Chapter 24A Historic Resources Preservation
Use Group:	HISTORIC PROPERTIES GENERAL STORE = EXEMPT COMMERCIAL RESIDENCE - RESIDENTIAL
ELECTION DISTRICT:	3, Map: DR32 P630 SUBDIVISION 1
LOT SIZE:	3.53 ACRES +/- (153766 SQ. Ft. +/-)
Existing General Store Foot Print: PROPOSED RAMP FOOT PRINT:	1,800 SQ.FT. +/- GROUND LEVEL 225 SQ.FT. +/-
Existing Residence Floor Foot Print: PROPOSED RAMP FOOT PRINT:	1,120 Sq. Ft. +/- GROUND LEVEL 139 Sq. Ft. +/-
EXISTING UTILITIES:	WELL, SEPTIC

#### ABBREVIATIONS ARCHITECTURAL DRAWINGS ONLY

A	AT NUMBER, POUND AND DIA	FIXTURE(S)	FLASH	FIRE HOSE CABINET	PLAM	PLASTER
&	AND DIAMETER	FLASH	FLASH	FLASH	PLYWOOD	PLYWOOD
D	DIAMETER	FLUOR	FLUORESCENT	FLUORESCENT	PREFAB	PREFABRICATED
Ø	Ø	FOW	FACE OVERALL	FACE OVERALL	PREFAB	PREFABRICATED
A	AREA	FR	FIRE RETARDANT FRONT	PREFAB	PREFABRICATED	PREFABRICATED
AB	ANCHOR BOLT ABOVE	FRT	FIRE RETARDANT TREATED	PSI	POUNDS PER SQUARE INCH	POUNDS PER SQUARE INCH
ABV	ACCOMMODATING	FRT	FIRE RETARDANT TREATED	PSI	POUNDS PER SQUARE INCH	POUNDS PER SQUARE INCH
ACC	ACCESS	FTR	FIRE TREATED	PT	PRESSURE TREATED	PRESSURE TREATED
ACT	ACOUSTICAL CEILING PANEL	FUR	FURNITURE	PTD	PARTITION TOWEL DISPENSER	PARTITION TOWEL DISPENSER
ADA	AMERICANS WITH DISABILITIES ACT	Gauge	Gauge	PTD	PARTITION	PARTITION
ADAAG	ADA ARCHITECTURAL GUIDELINES	GALV	GALVANIZED	QT	QUALITY	QUALITY
ADMN	ADMINISTRATION	GRB	GRAB BAR	QT	QUARRY TILE	QUARRY TILE
ADJ	ADJUSTABLE	GS	GENERAL CONTRACTOR	R	RADIUS, RISERS), RANGE	RADIUS, RISERS), RANGE
APR	ADJUSTABLE FLOOR	GU	GYLLOC CONCRETE UNDERLAYMENT	RB	RUBBER BASE	RUBBER BASE
AGG	AGGREGATE	GEN / GEN.	GROUND FAULT CIRCUIT INTERRUPTED	RCP	REFLECTED CEILING PLAN	REFLECTED CEILING PLAN
AHU	AIR HANDLING UNIT	GFCI / GFI	GROUND FAULT CIRCUIT INTERRUPTED	REBAR	REFLECTED	REFLECTED
ALT	ALUMINUM	GWB / GYBPD	GYPSUM WALL BOARD	RECEP	REFLECTED	REFLECTED
ALT	ALTERNATE	HR	HIGH POINT	RECEP	REFLECTED	REFLECTED
ANDC	ANCHOR ANCHORAGE	HRB	HOSE REB	REQD	REFRIGERATOR	REFRIGERATOR
ANODZ	ANODIZED	HD	HOSE, HIGH DUTY, HAND DRYER	REQD	REFRIGERATOR	REFRIGERATOR
APPROX	APPROXIMATE	HDW / HDWR	HOSE, HIGH DUTY, HAND DRYER	REQD	REFRIGERATOR	REFRIGERATOR
ARCHIT	ARCHITECTURAL	HT	HOSE, HIGH DUTY, HAND DRYER	REQD	REFRIGERATOR	REFRIGERATOR
ATM	AUTOMATIC TELLER MACHINE	HT / HT	HOSE	RES	RESILIENT (SHEET FLOORING)	RESILIENT (SHEET FLOORING)
AUTO	AUTOMATIC	HR	HOT	RES	RESILIENT (SHEET FLOORING)	RESILIENT (SHEET FLOORING)
BD	BOARD	HRIZ	HORIZONTAL	RHS	RIGHT HAND	RIGHT HAND
BEL	BELLOWS	HRM	HORIZONTAL METAL	ROW	ROUGH OPENING	ROUGH OPENING
BKHD	BULKHEAD	HP	HIGH POINT	RS	RIGHT OF WAY	RIGHT OF WAY
BLK/BULK	BLOCKING	HRP	HIGH POINT	RSERS	RISERS	RISERS
BLD	BLOWING	HVAC	HEATING VENTILATION AIR CONDITIONING	S	SAFETY STOVE	SAFETY STOVE
BOT	BOTTOM	HWD	HEAVY DUTY HARDWOOD	SATURATED	SAFETY STOVE	SAFETY STOVE
BDR	BEDROOM	HO	HOLE	SCD	SAFETY STOVE	SAFETY STOVE
BETW	BETWEEN	IBC	INTERNATIONAL BUILDING CODE	SCD / SCHED	SAFETY STOVE	SAFETY STOVE
BUR	BUILT UP ROOFING	ID	INSIDE DIAMETER	SD	SAFETY STOVE	SAFETY STOVE
C	CHANNEL, COURSES (MASONRY)	INFO	INFORMATION	SECT	SAFETY STOVE	SAFETY STOVE
CAB / CABT	CABINET (MASONRY)	INT	INTERIOR	SECTION	SAFETY STOVE	SAFETY STOVE
CARP	CARPET	INV	INVERTED	SECTION	SAFETY STOVE	SAFETY STOVE
CEM	CEMENT	JJT	JOINT	SECTION	SAFETY STOVE	SAFETY STOVE
CEM	CEMENT	JJC	JOINT CENTER	SECTION	SAFETY STOVE	SAFETY STOVE
CH	CEILING HEIGHT	JJC	JOINT CENTER	SECTION	SAFETY STOVE	SAFETY STOVE
CJ	CEILING JOINT	JST	JOINT CENTER	SECTION	SAFETY STOVE	SAFETY STOVE
CL	CONTINUOUS	JST	JOINT CENTER	SECTION	SAFETY STOVE	SAFETY STOVE
CONT	CONTINUOUS	L	LINEAR	SECTION	SAFETY STOVE	SAFETY STOVE
CONTR	CONTRACTOR	LIN	LINEN, LINEAR	SECTION	SAFETY STOVE	SAFETY STOVE
CONTR	CONTRACTOR	LND	LINEN, LINEAR	SECTION	SAFETY STOVE	SAFETY STOVE
CORR	CORRUGATED, CORRIDOR	LRC	LOCKER	T&G	TREADS), TOILET	TREADS), TOILET
COS	CORRIDOR (MASONRY)	LOC	LOCATION	T&G / THRESHOLD	THRESHOLD, TREADS)	THRESHOLD, TREADS)
CT	CERAMIC TILE	LSP	LOW POINT	TB	TOWER BAR	TOWER BAR
CTOP	COUNTER TOP	LTT	LIGHT	TD	TOE DROPPED, FORMED	TOE DROPPED, FORMED
CTOP	COUNTER TOP	LTL	LIGHT	TD	TOE DROPPED, TEMPORARY	TOE DROPPED, TEMPORARY
CUH	CUPBOARD	LVR	LOUVER	TEL	TERAZZO	TERAZZO
CUR	CURTAIN	LVR	LOUVER	TEMP	THICK	THICK
D	DEEP, DIAMETER, DRAIN, DRYER	M	MEN, METER (MEASUREMENT)	THRU	THICK	THICK
DEMOL	DEMOLISH, DEMOLITION	MACH	MACHINERY	THRU	THICK	THICK
DET	DETACHMENT	MFR	MANUFACTURED	THRU	THICK	THICK
DET	DETACHMENT	MFR / MFR	MANUFACTURED	THRU	THICK	THICK
DET	DETACHMENT	MAT / MAT	MATERIAL	THRU	THICK	THICK
DH	DOUBLE HUNG	MAT	MATERIAL	TOP	THICK	THICK
DIA	DAMAGED	MC	MEDICINE CABINET	TOP	THICK	THICK
DIA	DAMAGED	MEDC	MEDICINE CABINET	TOP	THICK	THICK
DIG	DIGESTION, DISPOSAL	MEMB	MEMBRANE	TOP	THICK	THICK
DIV	DIVISION(S)	MET	METAL	TOP	THICK	THICK
DN	DRAIN	MFR	MFR	TOP	THICK	THICK
DPF	DAMP PROOFING	MIN	MINIMUM	TOP	THICK	THICK
DR	DRINKING FOUNTAIN	MISC	MISCELLANEOUS	TOP	THICK	THICK
DS	DOWNSPOUT	MIS	MISCELLANEOUS	TOP	THICK	THICK
DTL	DETAIL	MIS	MISCELLANEOUS	TOP	THICK	THICK
DWG(S)	DRAWING(S)	MO	MASONRY OPENING	TOP	THICK	THICK
E	EAST	MTC	MOUNTING	TOP	THICK	THICK
EA	EACH END	MTL	METAL MATERIAL	TOP	THICK	THICK
EE	EACH END	MULL	MULLION	V	VOLTS)	VOLTS)
EL	EDGING, JOINT	N	NORTH	V	VOLTS)	VOLTS)
EL/ELEV	ELEVATION, ELEVATOR	OFF	NOT APPLICABLE	VCT	VOLTS)	VOLTS)
EL/ELEV	ELECTRICAL	OFF	NOT APPLICABLE	VCT	VOLTS)	VOLTS)
EMER	EMERGENCY	NO	NOT CONTRACT	VCT	VOLTS)	VOLTS)
ENCL	ENCLOSURE	NO	NUMBER	VIF	VOLTS)	VOLTS)
EQ	EQUIPMENT	NTS	NOT TO SCALE	VIF	VOLTS)	VOLTS)
EW	EXHAUST	OVEN	OVERALL	W	WEST, WIDE, WASHER, WOMEN	WEST, WIDE, WASHER, WOMEN
EW/C	EXHAUST WATER COOLER	OV	OVERALL	W	WEST, WIDE, WASHER, WOMEN	WEST, WIDE, WASHER, WOMEN
EX/EXIST	EXISTING	OV / OV	OVERALL	WC	WEST, WIDE, WASHER, WOMEN	WEST, WIDE, WASHER, WOMEN
EXT	EXTERNAL, EXPANSION	OC	OUTSIDE DIAMETER	WC	WEST, WIDE, WASHER, WOMEN	WEST, WIDE, WASHER, WOMEN
FCU	FAN COL UNIT	OFF	OFFICE	WC	WEST, WIDE, WASHER, WOMEN	WEST, WIDE, WASHER, WOMEN
FD	FLOOR DRAIN	OFF	OFFICE HAND	WC	WEST, WIDE, WASHER, WOMEN	WEST, WIDE, WASHER, WOMEN
FE	FOOTING	OFF	OPENING	WC	WEST, WIDE, WASHER, WOMEN	WEST, WIDE, WASHER, WOMEN
FEC	FIRE EXTINGUISHER	OVERHEAD	OVERHEAD	WC	WEST, WIDE, WASHER, WOMEN	WEST, WIDE, WASHER, WOMEN
FIN	FIRE EXTINGUISHER CABINET	PART	PARTITION, PARTIAL	WC	WEST, WIDE, WASHER, WOMEN	WEST, WIDE, WASHER, WOMEN
FIN	FINISHED(FIN)	PERIM	PERIMETER	WF	WEIGHT	WEIGHT
FIN	FINISHED(FIN)	PLATE	PROPERTY LINE	WF	WEDED WIRE FABRIC	WEDED WIRE FABRIC

#### PERMIT APPROVALS

# RENOVATIONS TO POOLE PROPERTY GENERAL STORE & RESIDENCE

16401 OLD RIVER ROAD  
POOLESVILLE, MARYLAND 20837

#### OWNER

MARYLAND-NATIONAL CAPITAL PARK  
AND PLANNING COMMISSION  
9500 BRUNETT AVENUE  
SILVER SPRING, MARYLAND 20901

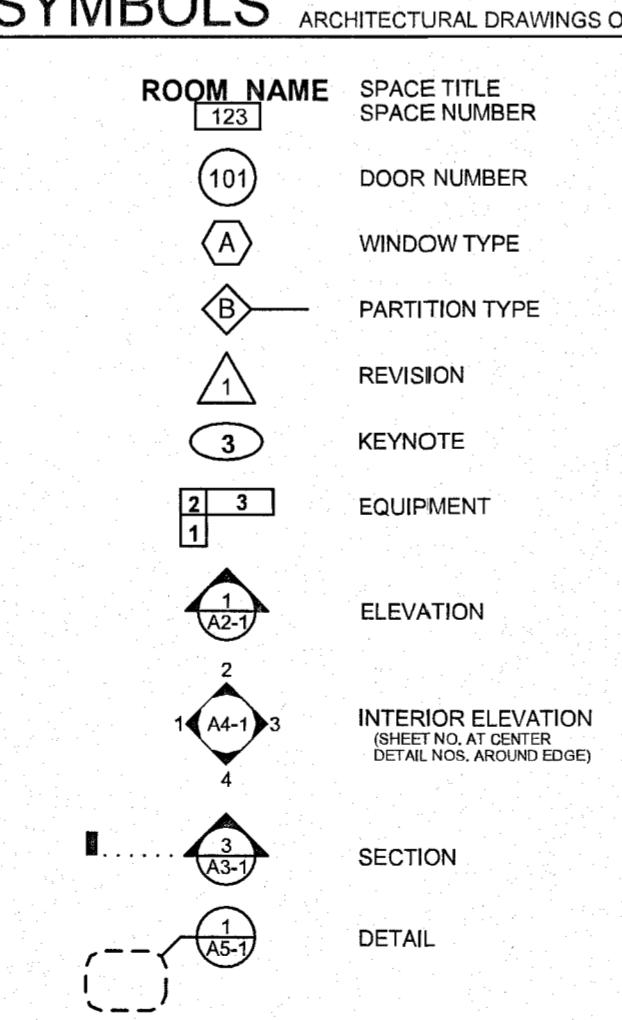
#### ARCHITECT

PENZA BAILEY ARCHITECTS  
401 WOODBOURNE AVE  
BALTIMORE, MD 21212  
CONTACT: JOEY LAMPL  
301-563-3407  
E-MAIL

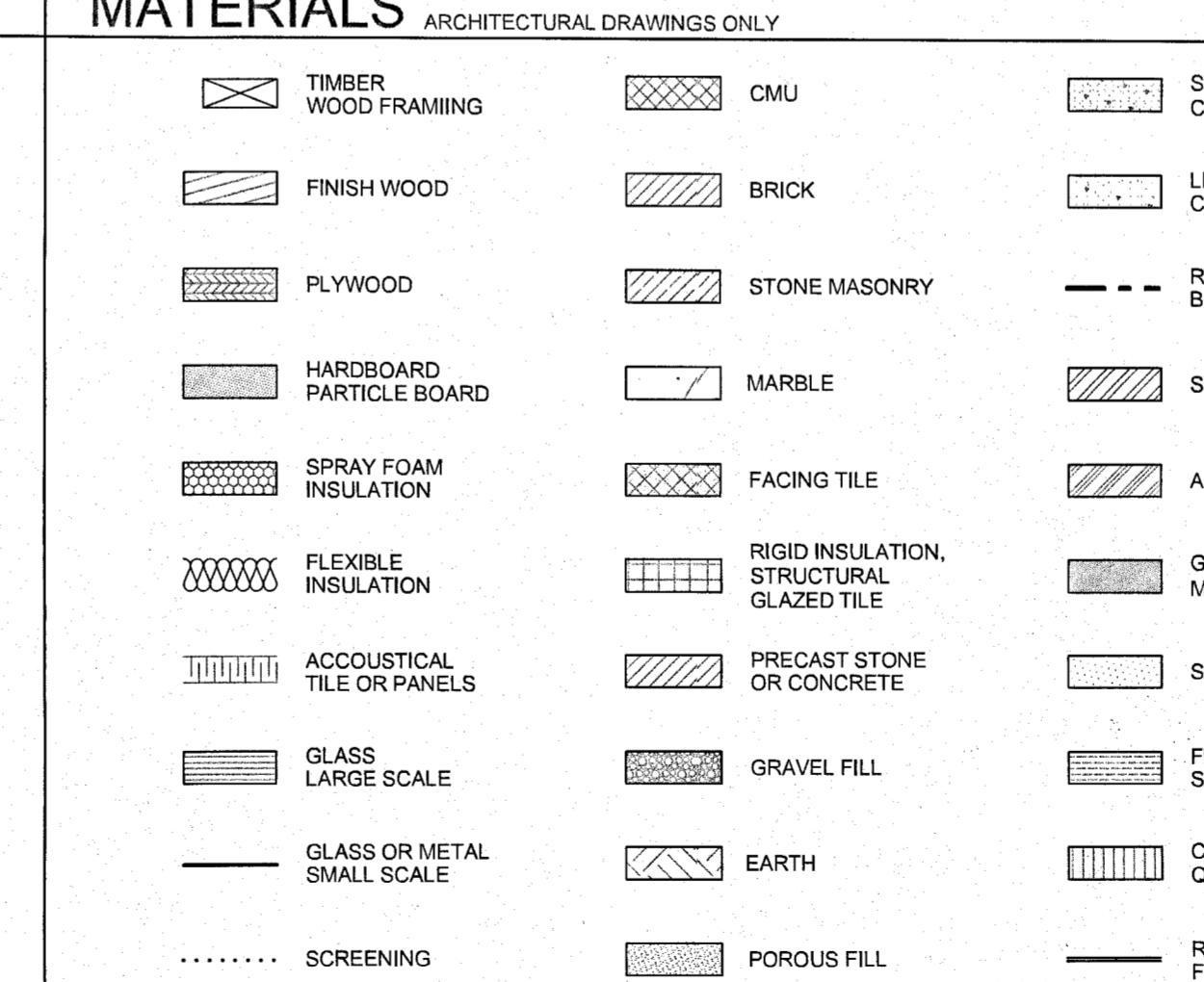
#### STRUCTURAL & CIVIL

KCI TECHNOLOGIES  
10 NORTH PARK DRIVE  
HUNT VALLEY, MD 21030  
CONTACT: KEN DILL, PE.  
410-316-7800  
DVANHORN@PENZABAILEY.COM

#### SYMBOLS ARCHITECTURAL DRAWINGS ONLY

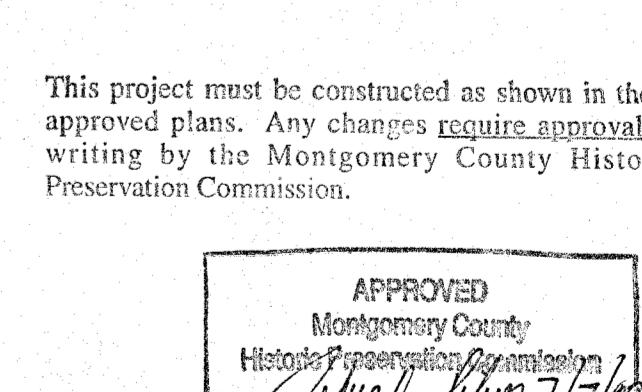


#### MATERIALS ARCHITECTURAL DRAWINGS ONLY



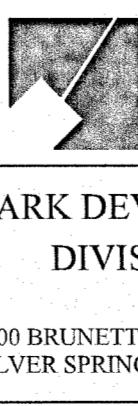
#### DRAWING INDEX

ARCHITECTURAL DRAWINGS LIST  
BY PENZA BAILEY ARCHITECTS  
G-1 INDEX & GENERAL NOTES  
D-1 DEMOLITION PLANS  
A1-1 FIRST FLOOR AT GENERAL STORE  
A1-2 FIRST FLOOR RESIDENCE  
A2-1 ELEVATIONS GENERAL STORE  
A2-2 ELEVATIONS RESIDENCE  
A3-1 SIGNAGE & DETAILS  
STRUCTURAL DRAWING LIST  
BY KCI TECHNOLOGIES  
S1-1 PARTIAL FOUNDATION PLANS & SECTIONS  
S1-2 SECTIONS  
S1-3 DETAILS & NOTES  
NOTE:  
SEE CIVIL DRAWINGS BY KCI TECHNOLOGIES

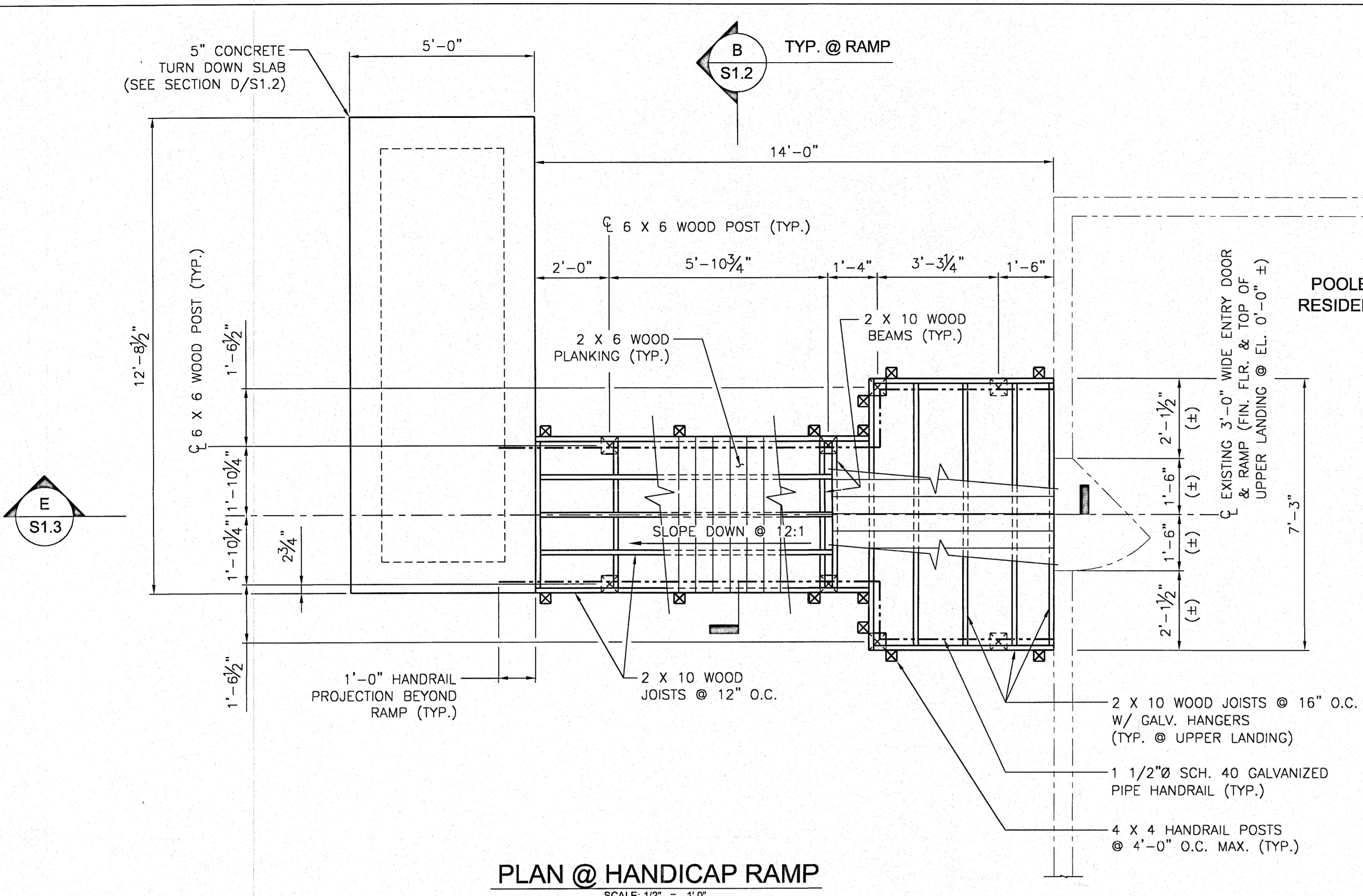


APPROVED  
Montgomery County  
Historic Preservation Commission  
July 7, 2008

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

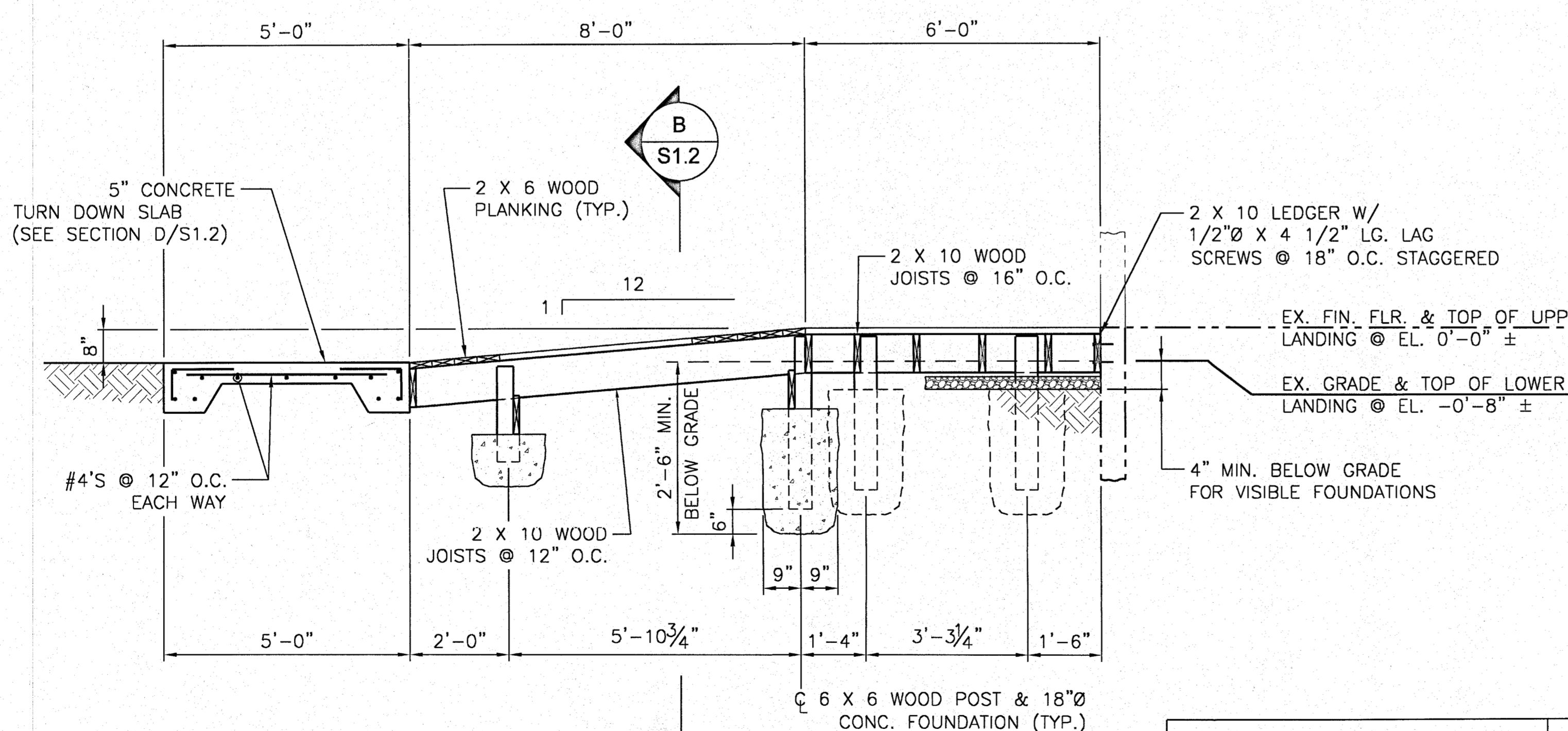


THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
Department of Parks, Montgomery County, Maryland  
PARK DEVELOPMENT DIVISION  
401 Woodbourne Avenue  
Baltimore, Maryland 21212  
9500 BRUNETT AVENUE  
SILVER SPRING, MD 20901  
DIRECTOR OF PARKS



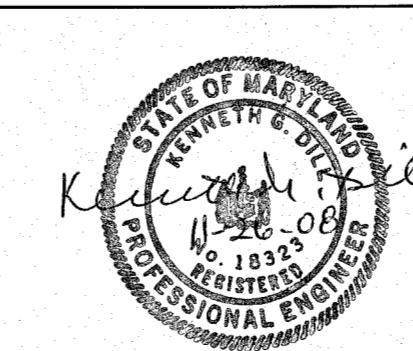
## PLAN @ HANDICAP RAMP

SCALE: 1/2" = 1'-0"



## SECTION THRU RAMP

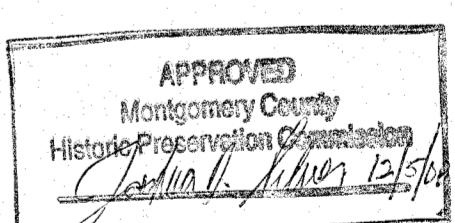
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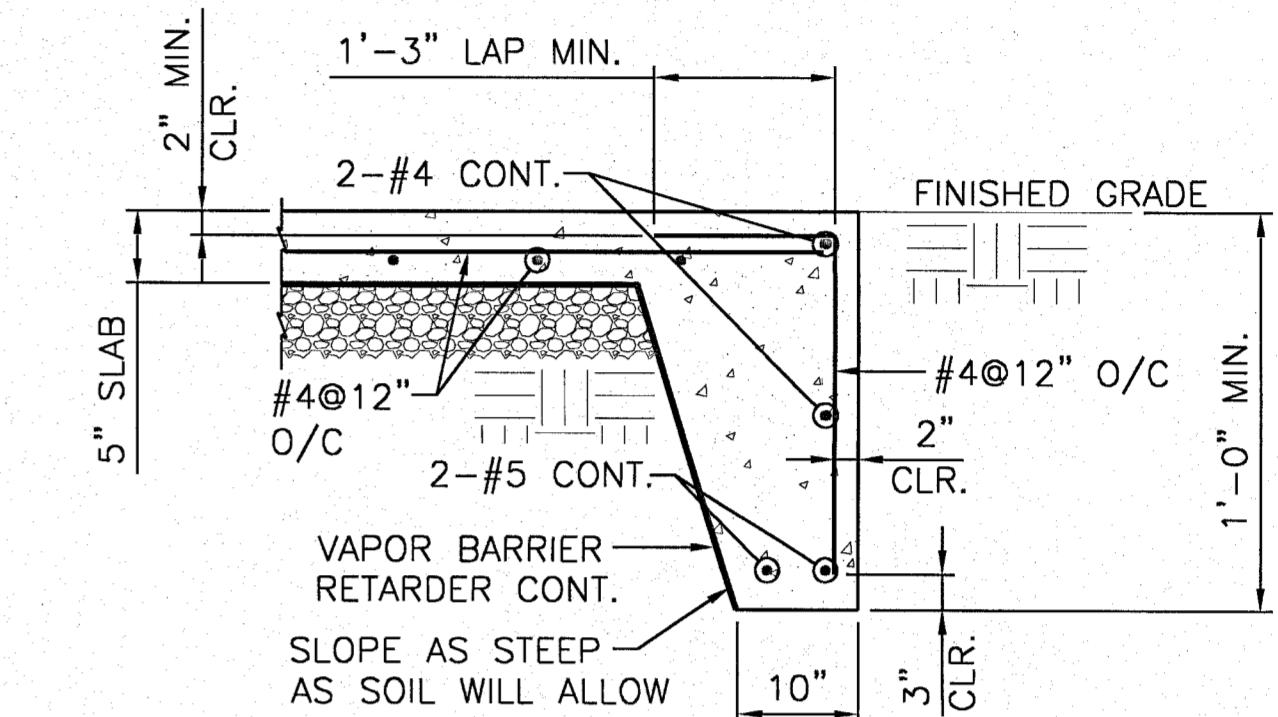
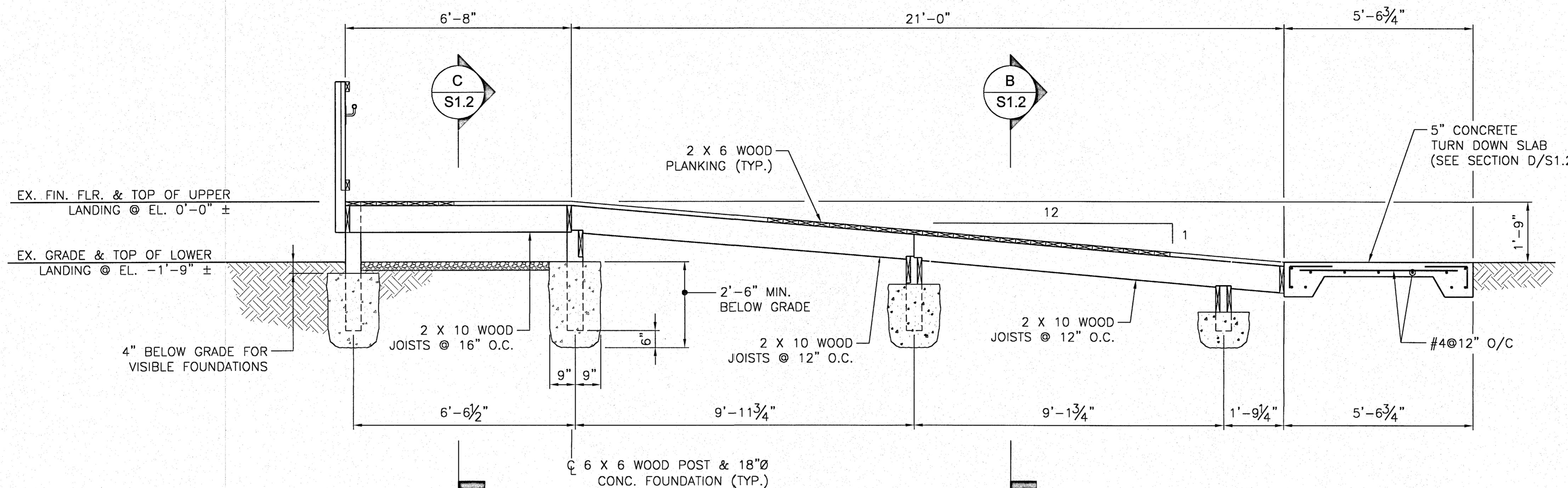
# THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT DIVISION	DATE APPROVED  CHIEF ENGINEER  DIRECTOR OF PARKS	M-NCPPC POOLE - GENERAL STORE & RESIDENCE  PLAN & NOTES	REVISED DD-REVIEW	DATE 05/28/2008	STANDARD NO. S1.3
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This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



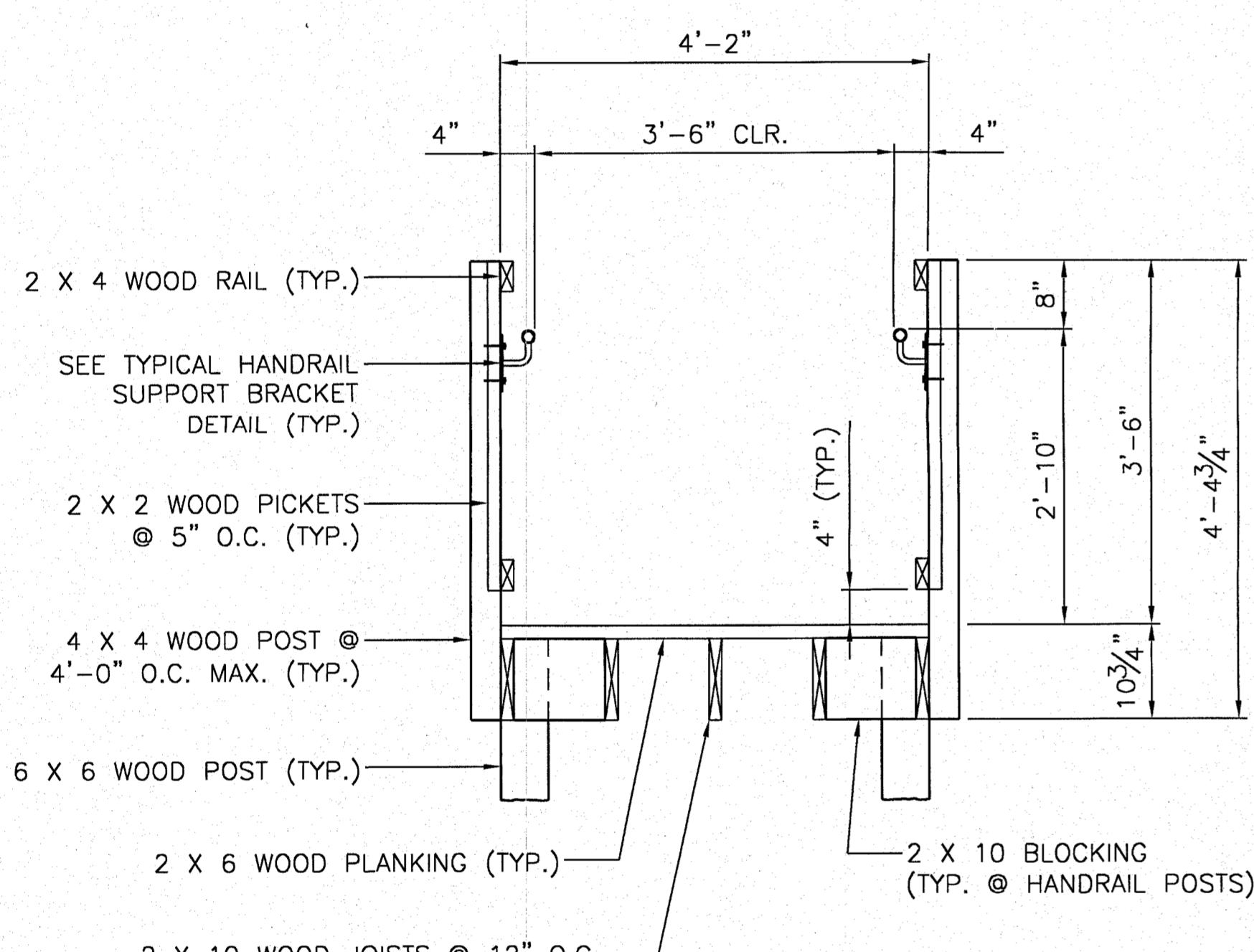
"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19323, EXPIRATION DATE: 07-05-2019."



**SECTION THRU RAMP**

SCALE: 1/2" = 1'-0"

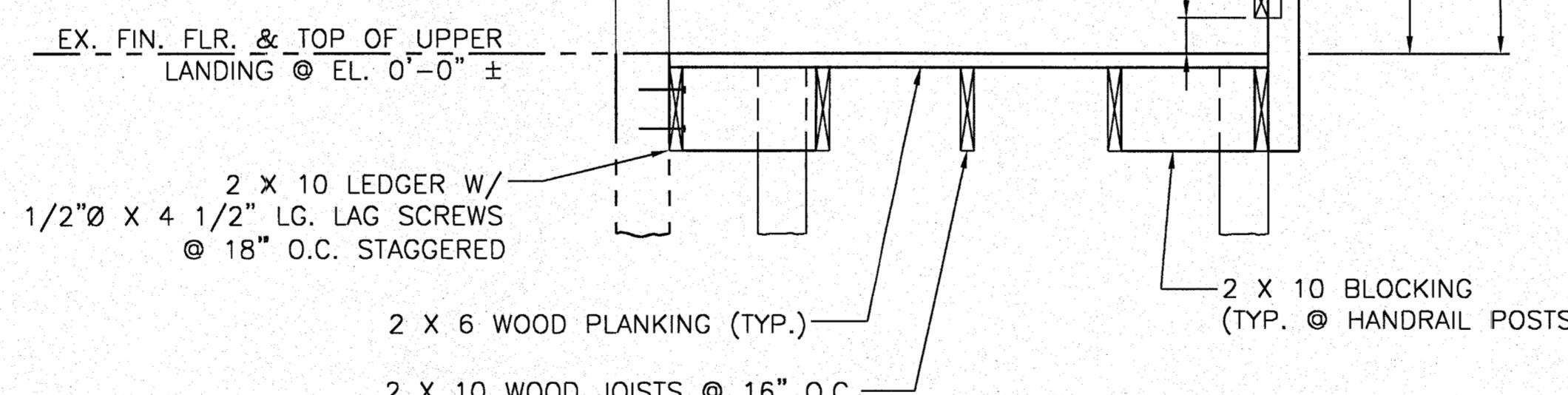
A  
S1.2



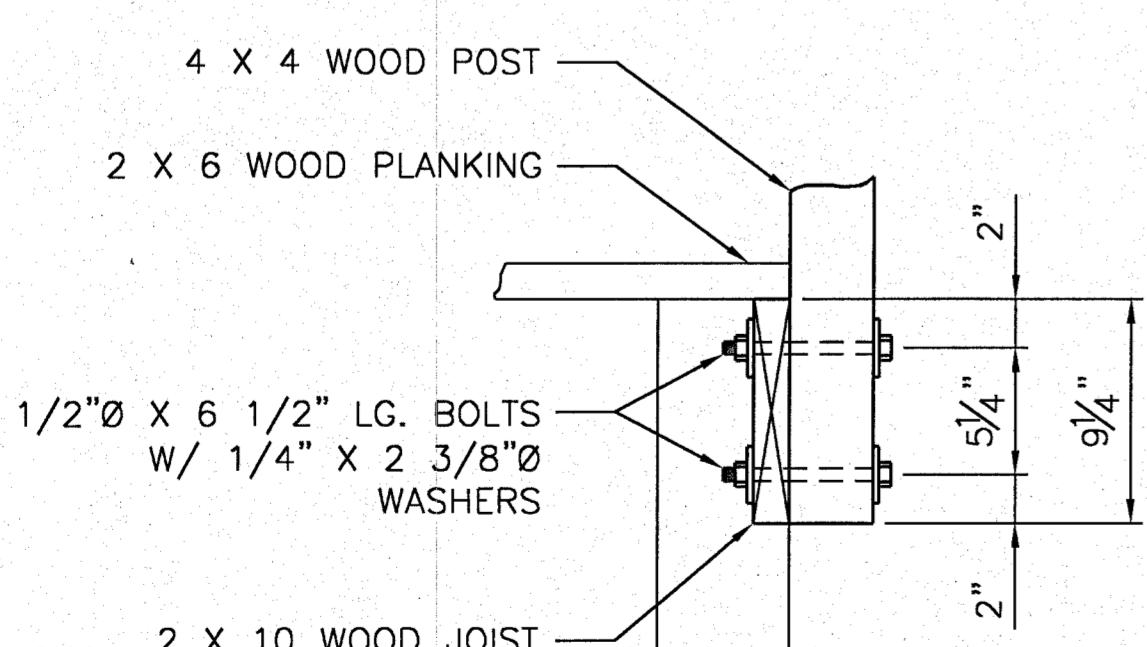
**TYPICAL SECTION THRU RAMP**

SCALE: 3/4" = 1'-0"

B  
S1.2



NOTE: CONTRACTOR TO ATTACH BRACKET TO 4 X 4  
HANDRAIL POST W/ 1/2" X 2 1/2" LG. LAG SCREWS.



**SECTION @ UPPER LANDING**

SCALE: 3/4" = 1'-0"

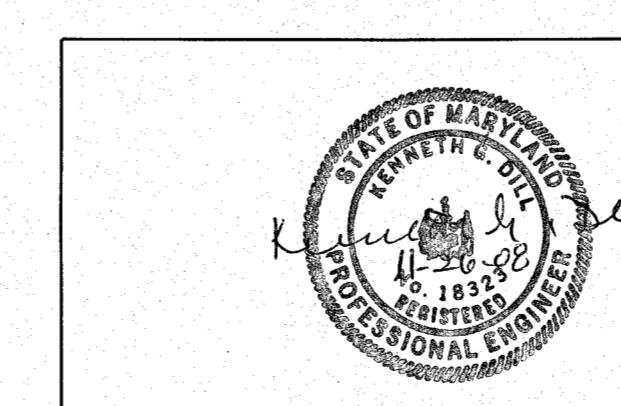
C  
S1.2

**TYPICAL HANDRAIL SUPPORT BRACKET DETAIL**

SCALE: 1 1/2" = 1'-0"

"PROFESSIONAL CERTIFICATION. I HEREBY  
CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED OR APPROVED BY ME, AND THAT  
I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND, LICENSE NO. 18323  
EXPIRATION DATE: 02-05-2009."

APPROVED  
Montgomery County  
Public Protection Commission  
John G. Miller, AIA, LEED AP  
02/05/08



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Department of Parks, Montgomery County, Maryland

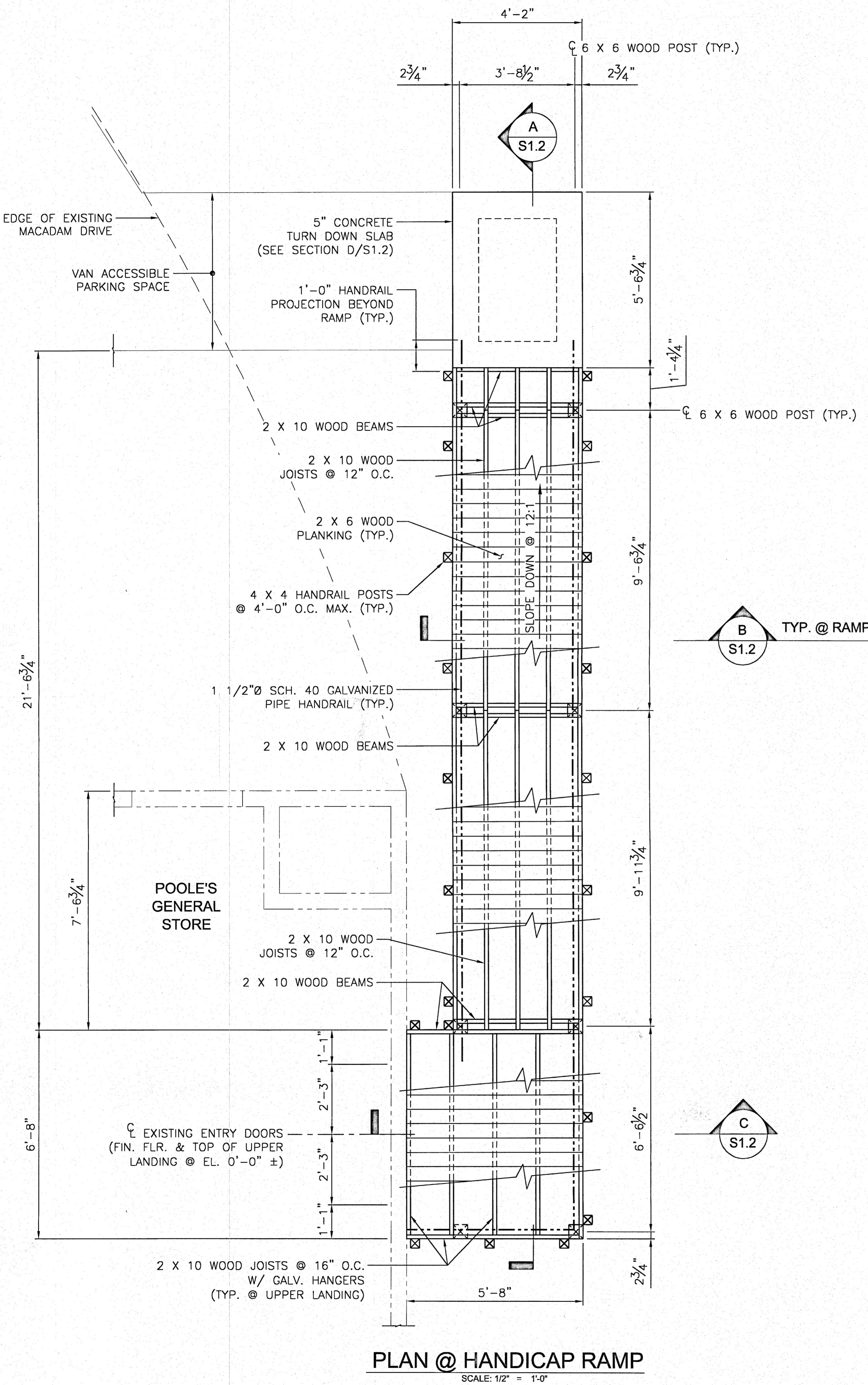
PARK DEVELOPMENT DIVISION	DATE APPROVED	M-NCPPC POOLE - GENERAL STORE & RESIDENCE	REVISED DD-REVIEW	STANDARD NO. 05/12/2008
CHIEF ENGINEER		SECTIONS & DETAILS		S1.2
DIRECTOR OF PARKS				

**TYPICAL HANDRAIL POST  
CONNECTION DETAIL**

SCALE: 1 1/2" = 1'-0"

SCALE: 1 1/2" = 1'-0"

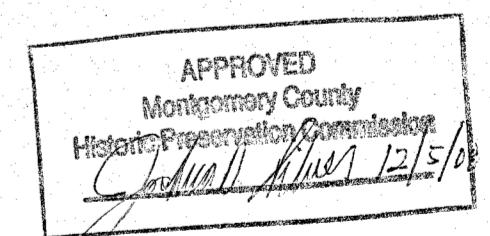
SECTIONS & DETAILS



## GENERAL STRUCTURAL NOTES:

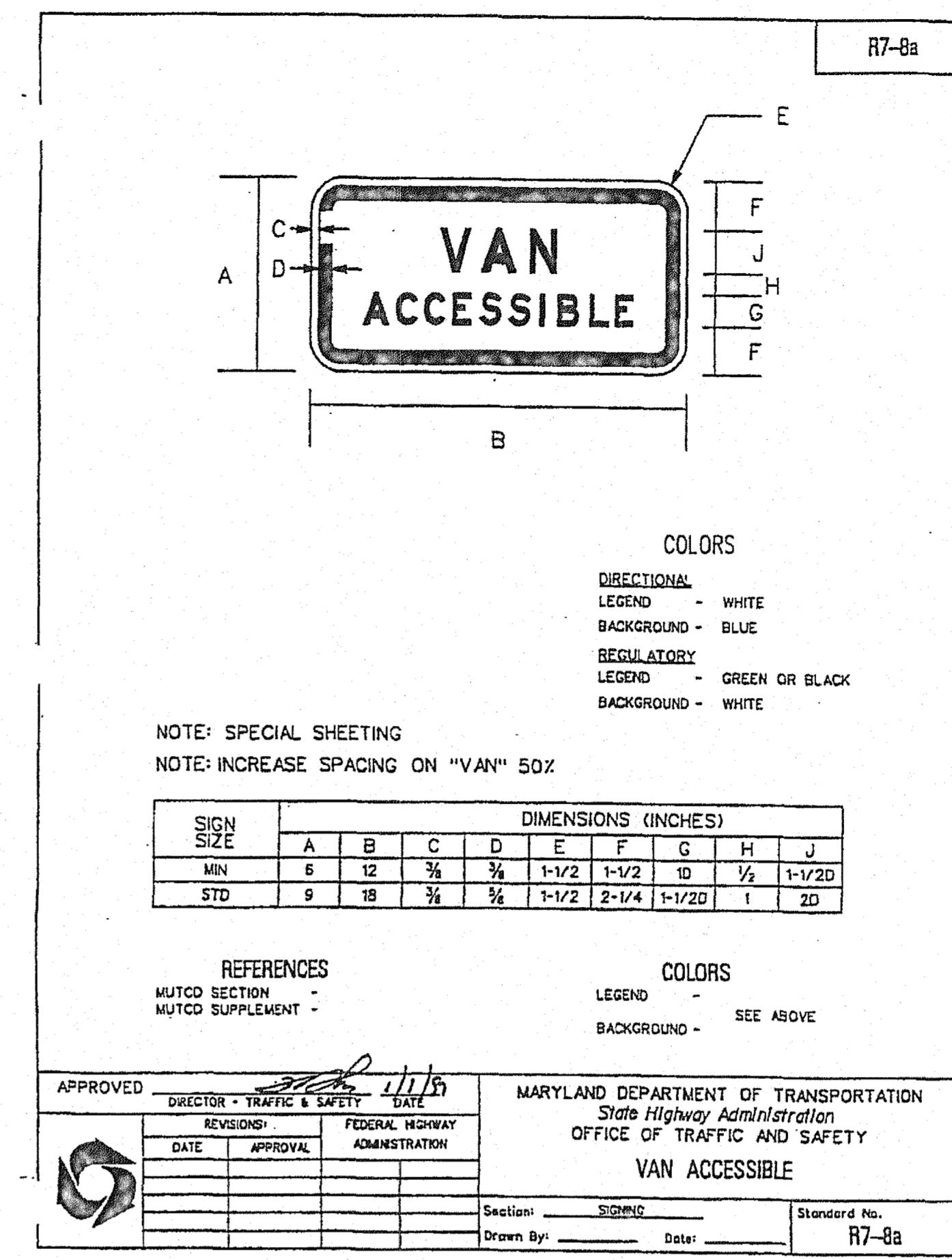
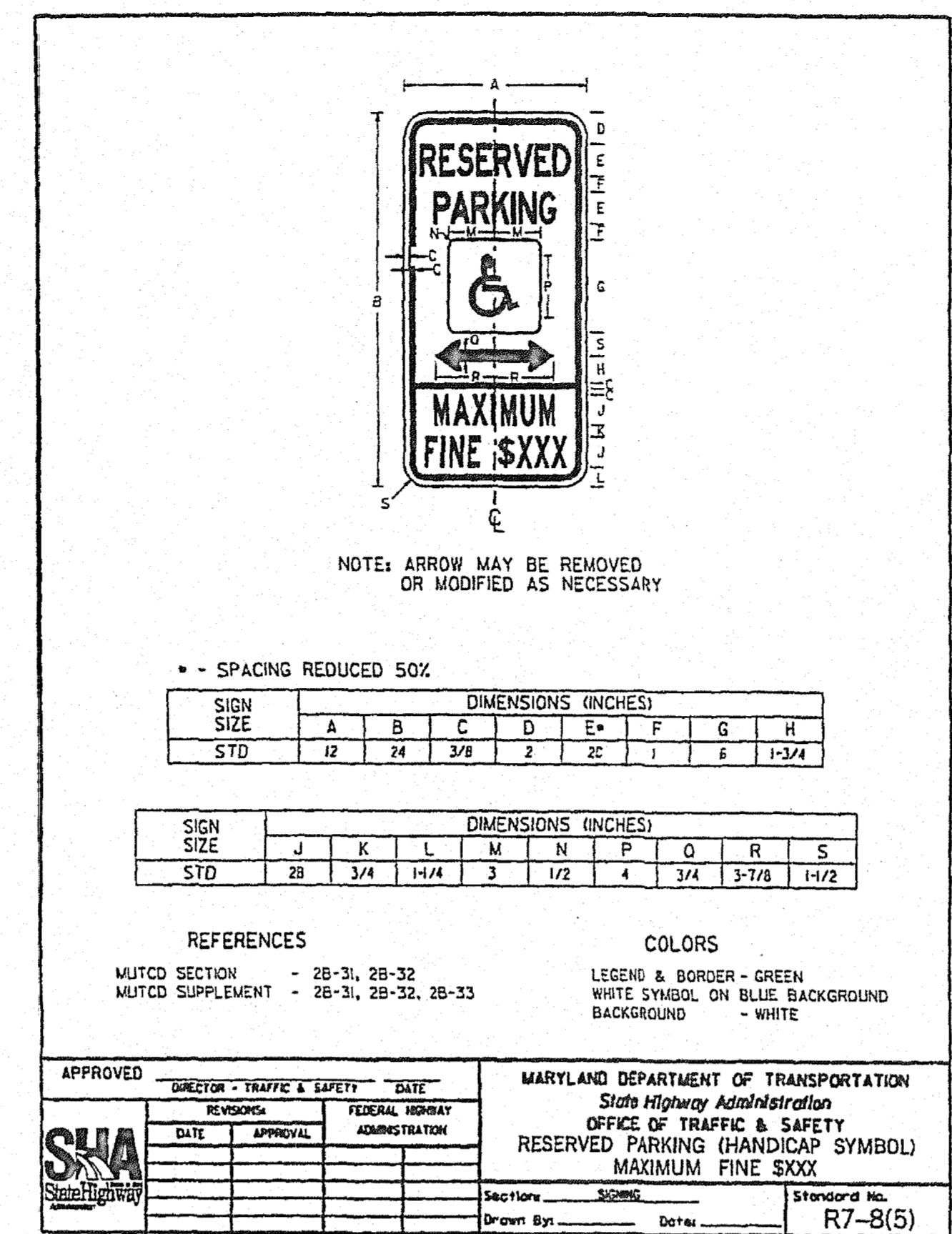
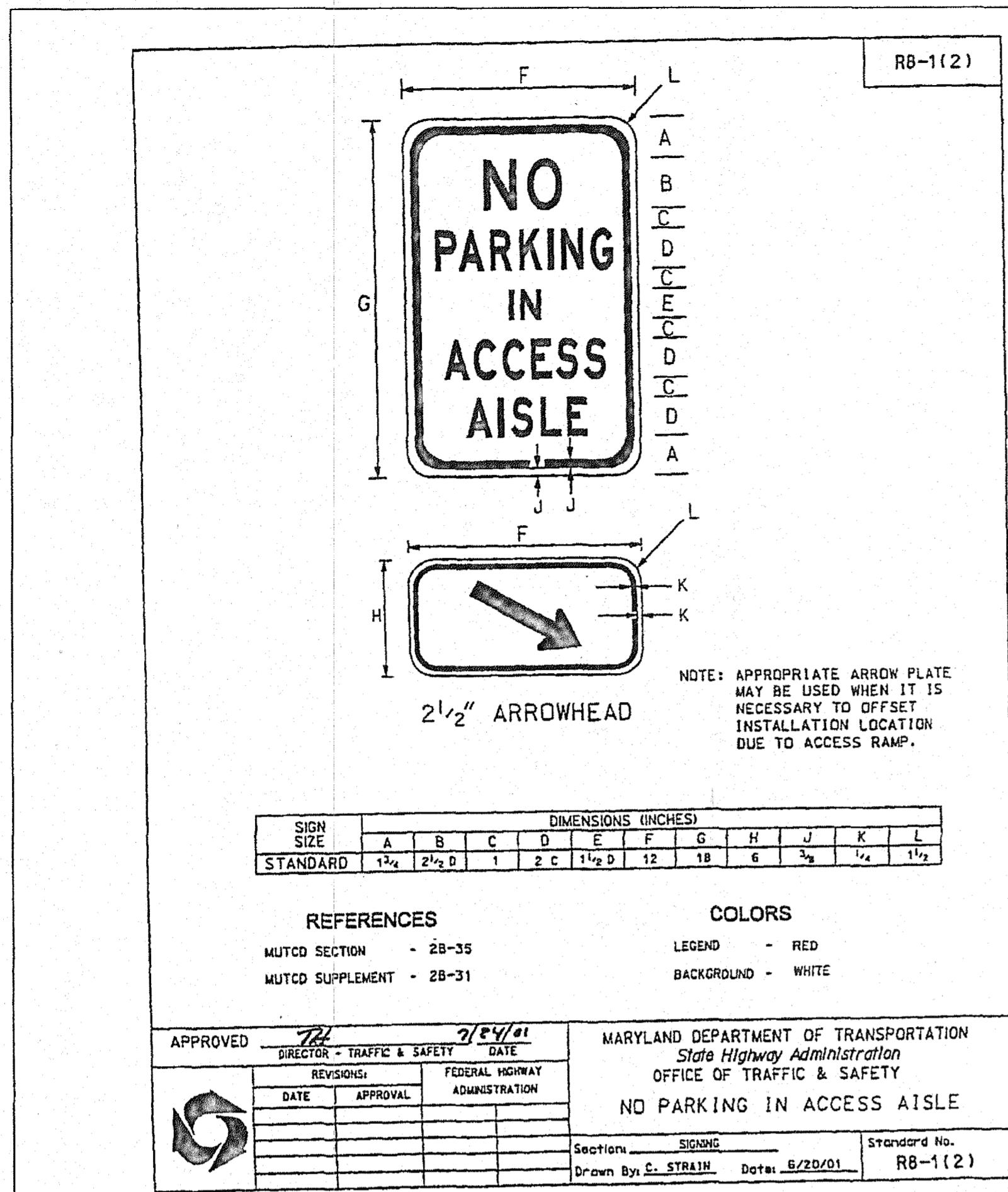
1. BUILDING CODES:  
A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2006 IBC BUILDING CODE AND ALL SUBSEQUENT SUPPLEMENTS.  
B. IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE.
2. DESIGN LOADS:  
A. THE DESIGN DEAD LOADING FOR ALL RAMPS IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS.  
B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW RAMPS SHALL BE AS FOLLOWS:  
LIVE LOAD 100 PSF  
C. THE CONTRACTOR SHALL NOT STORE ANY CONSTRUCTION MATERIALS OR UNDERTAKE ANY CONSTRUCTION OPERATION WHICH WILL EXCEED THE DESIGN LIVE LOADINGS NOTED.
3. MISCELLANEOUS:  
A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.  
B. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.  
C. SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.  
D. END CAPS SHALL BE PLACED AT ALL LOCATIONS WHERE THE HANDRAIL SYSTEM IS TERMINATED. A 1/4" DIA. WEEP HOLE SHALL BE DRILLED INTO THE UNDERSIDE OF THE HANDRAIL NEAR ALL TERMINATION POINTS. FINISHED HANDRAIL SYSTEM SHALL BE SMOOTH AND FREE FROM ANY BURRS OR IRREGULARITIES.
4. EXISTING STRUCTURE:  
A. ALL EXISTING PLANS, DETAILS, DIMENSIONS, AND ELEVATIONS INDICATE EXISTING CONDITIONS AS KNOWN. THE EXISTING INFORMATION SHOWN IS NOT INTENDED TO BE "AS BUILT" AND THE ACTUAL CONSTRUCTION MAY DIFFER FROM THAT SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION. MINOR VARIATIONS CAN BE EXPECTED AND ANY REQUIRED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.  
B. THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM. SHOULD DAMAGE OCCUR TO ANY UTILITIES, THE CONTRACTOR IS REQUIRED TO REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER AT HIS OWN EXPENSE.  
C. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION. THE DESIGN OF ALL TEMPORARY BRACING AND SHORING IS THE CONTRACTOR'S RESPONSIBILITY.  
D. THE CONTRACTOR SHALL MONITOR THE EXISTING STRUCTURE DURING CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF AREAS EXHIBITING DISTRESS OR FAILURE.  
E. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND CONDITION OF ALL EXISTING FRAMING. SHOULD THE SIZE OR CONDITION OF THE EXISTING FRAMING DIFFER FROM THAT SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
5. FOUNDATIONS:  
A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE FOR FROST PROTECTION.  
B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THE ALLOWABLE SOIL BEARING PRESSURE SHALL BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACING FOUNDATIONS. SHOULD THE ACTUAL SOIL BEARING PRESSURE BE LESS THAN 2000 PSF, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.  
C. ALL FILL PLACED UNDER SPREAD FOOTINGS SHALL BE COMPAKTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698.  
D. ALL EXCAVATION AND BACKFILLING OPERATIONS WITHIN THE RAMP FOOTPRINT, INCLUDING ALL COMPACTION TESTS AND INSPECTIONS, SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER.  
E. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.  
F. ALL EXISTING SOIL CONTAINING GRAVEL, CONSTRUCTION OR DEMOLITION DEBRIS, ORGANIC SUBSTANCES, OR OTHER FOREIGN OBJECTS SHALL BE REMOVED FROM THE REGION WITHIN THE FOOTPRINT OF THE STRUCTURE.
6. CAST IN PLACE CONCRETE:  
A. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)", AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)".  
B. IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:  
1. RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).  
2. RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).  
3. RECOMMENDED PRACTICE FOR CONCRETE FORMWORK (ACI 347).  
C. ALL CONCRETE EXPOSED TO PUBLIC VIEW SHALL CONFORM TO THE REQUIREMENTS FOR ARCHITECTURAL CONCRETE CONTAINED IN ACI 301.  
D. ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5% ±1%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1", AND MAXIMUM SLUMLP SHALL BE 4". PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C 33.  
E. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 615 GRADE 60. LAP ALL REINFORCING BARS A MINIMUM OF 30 BAR DIAMETERS, UNLESS OTHERWISE INDICATED.  
F. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE CRSI "MANUAL OF STANDARD PRACTICE", ACI 315" DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI SP 66 "DETAILED MANUAL".  
G. ALL CONCRETE MIX DESIGNS, INCLUDING CEMENT CONTENT, WATER CEMENT RATIO, FINE AND COARSE AGGREGATE CONTENT AND ALL ADMIXTURES, SHALL BE REVIEWED BY ENGINEER PRIOR TO PLACING FIRST CONCRETE.  
H. ALL CONCRETE SHALL BE SAMPLED AND TESTED BY THE TESTING AGENCY. THE CONTRACTOR SHALL NOTIFY THE TESTING AGENCY 48 HOURS PRIOR TO THE PLACING OF ANY CONCRETE.  
I. THE CONCRETE STRUCTURE SHALL NOT SUPPORT THE DESIGN LIVE LOAD FOR A MINIMUM OF 28 DAYS AND ALL SHORING AND RESHORING REQUIRED TO SUPPORT THE CONCRETE STRUCTURE DURING CONSTRUCTION SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR. SHOP DRAWINGS, SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF MARYLAND, SHALL BE SUBMITTED FOR REVIEW. SHOP DRAWINGS SHALL INDICATE THE TYPE, EXTENT, SIZE, AND LOCATION OF ALL SHORING AND RESHORING AS WELL AS THE SEQUENCE OF CONSTRUCTION.  
J. GROUND BLAST FURNACE SLAG MAY BE USED TO REPLACE UP TO 50 PERCENT OF THE PORTLAND CEMENT IN A CONCRETE MIX, AND FLY ASH OR POZZOLAN MAY BE USED TO REPLACE UP TO 25 PERCENT OF PORTLAND CEMENT, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND SHALL CONFORM TO ASTM C 989.
7. WOOD:  
A. ALL STRUCTURAL WOOD SHALL BE PRESSURE TREATED #2 SOUTHERN PINE OR BETTER.  
B. ALL UNSPECIFIED WOOD-TO-WOOD CONNECTIONS SHALL BE WITH 2-16d NAILS MINIMUM.
8. GROUND PROTECTION:  
A. COVER GROUND UNDER STRUCTURE WITH 10 MIL. PLASTIC AND 3" OF GRAVEL TO PREVENT VEGETATION GROWTH.

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



\*PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18223 EXPIRATION DATE: 02-05-2009.

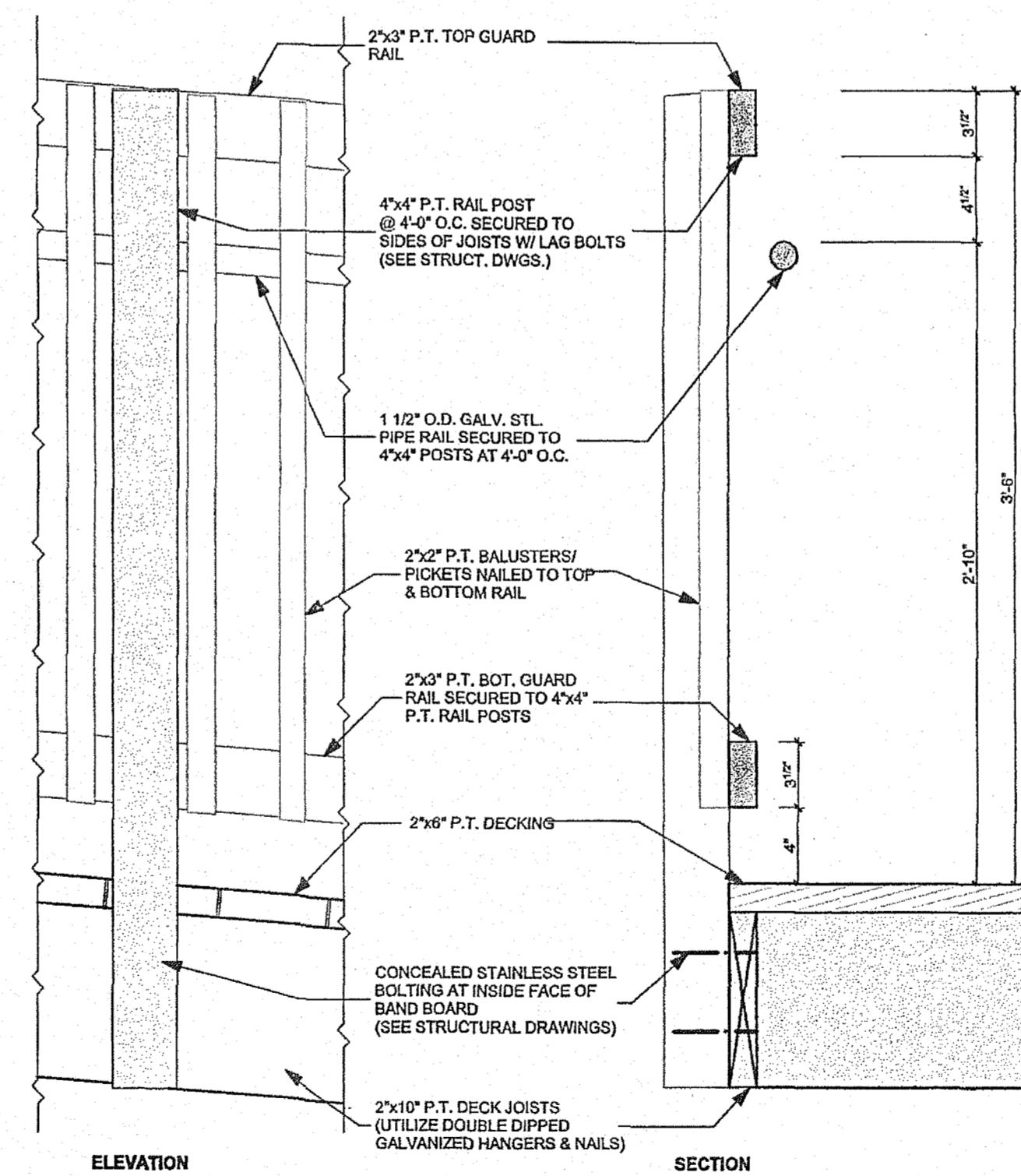
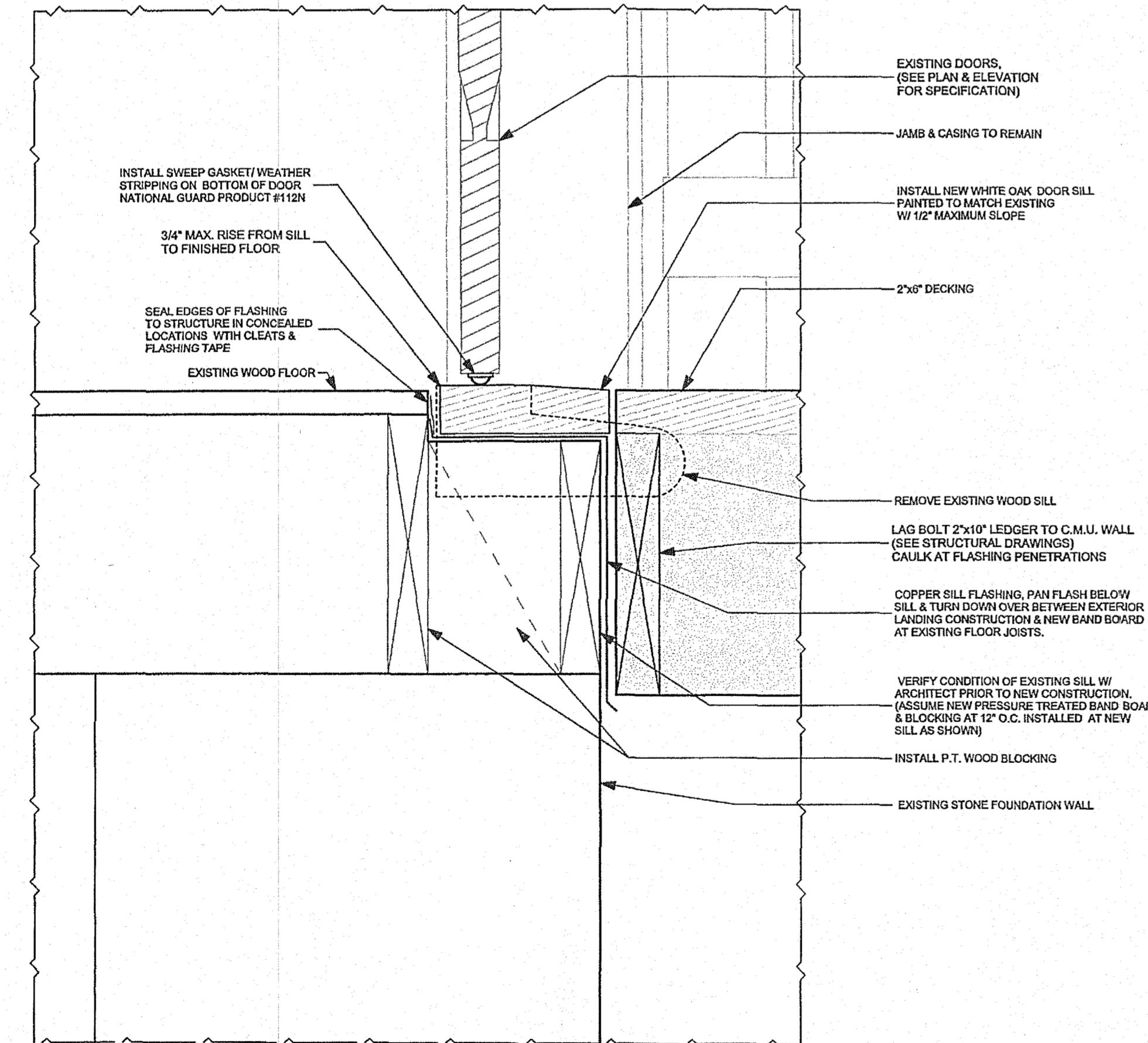
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Department of Parks, Montgomery County, Maryland		PARK DEVELOPMENT DIVISION	DATE APPROVED	M-NCPPC POOLE - GENERAL STORE & RESIDENCE	REVISED DD-REVIEW	DATE 05/12/2008	STANDARD NO. S1.1
	K. J. BROWN, PE REG. NO. 18223 PROFESSIONAL ENGINEER	9500 BRUNETT AVENUE SILVER SPRING, MD 20901	CHIEF ENGINEER DIRECTOR OF PARKS	PLAN & NOTES			



1 ADA Parking Signs

2 ADA Parking Signs

3 ADA Parking Signs



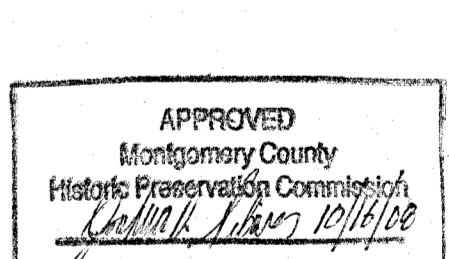
5 DETAIL-RAILING

SCALE: 1 1/2" = 1'-0"

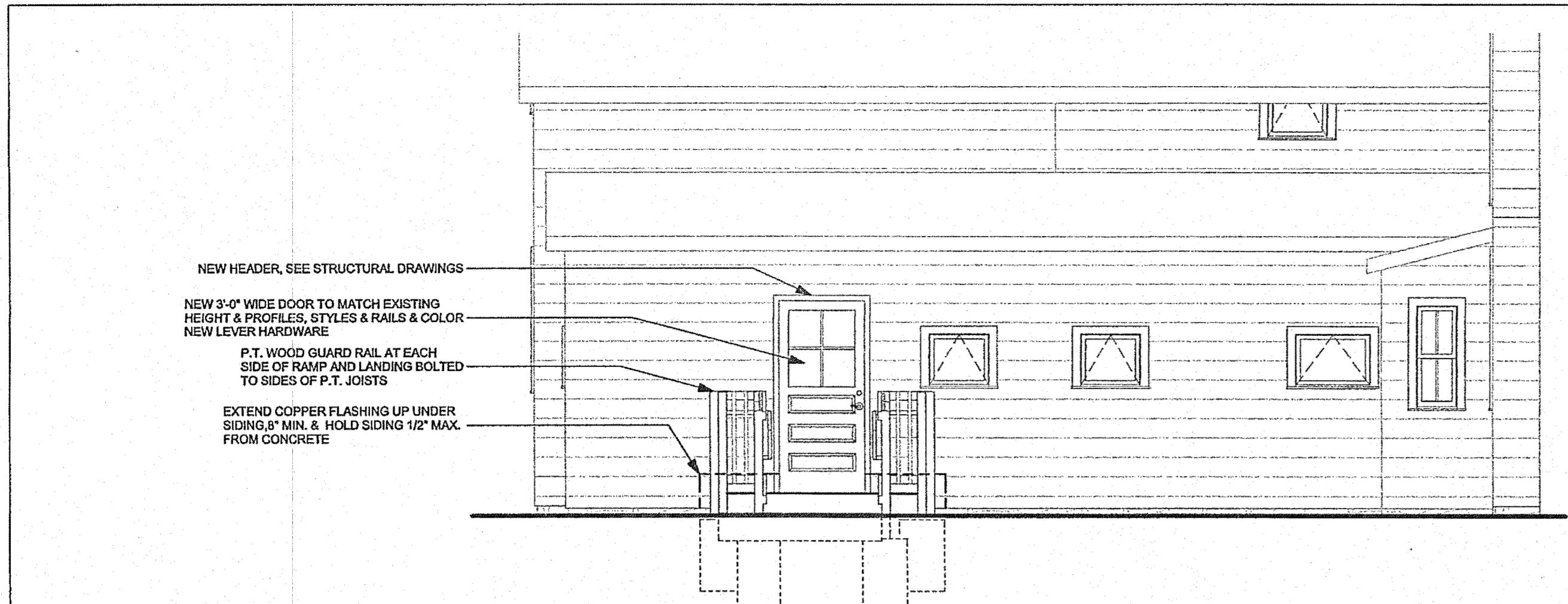
4 DETAIL-DOOR SILL @ STORE

<b>PENZA+BAILEY</b> ARCHITECTS 401 Woodbourne Avenue Baltimore, Maryland 21212 T 410-435-6677   F 410-435-6668 <a href="http://www.PenzaBailey.com">www.PenzaBailey.com</a>	<b>THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION</b> Department of Parks, Montgomery County, Maryland		
	PARK DEVELOPMENT DIVISION	DATE APPROVED	POOLE - GENERAL STORE & RESIDENCE
	CHIEF ENGINEER	DIRECTOR OF PARKS	REVISED DATE STANDARD NO.
			CD's 12/04/2007 REVISED 12/08/2007 01/09/2008 REVISION 05/09/2008

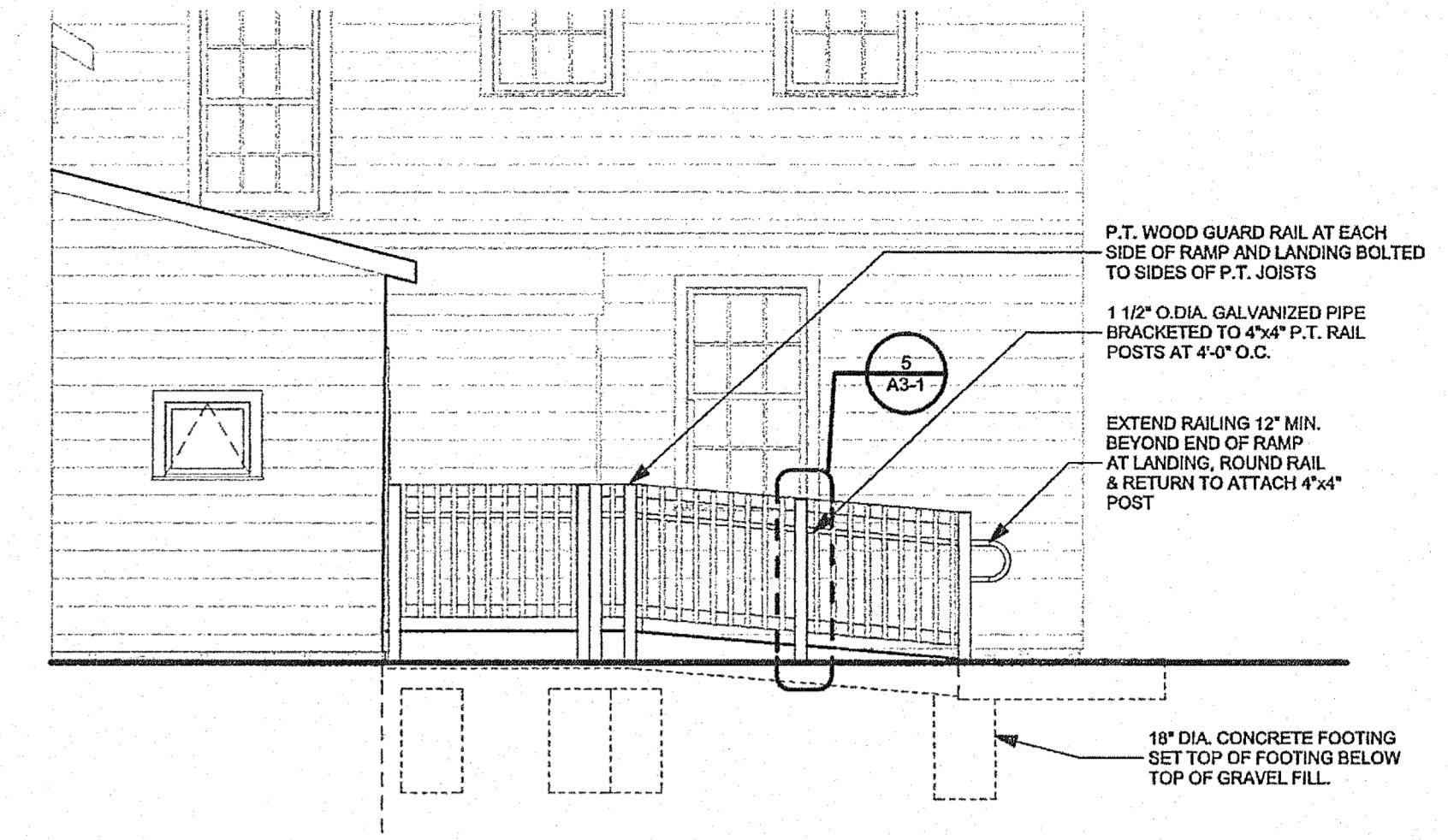
A3-1



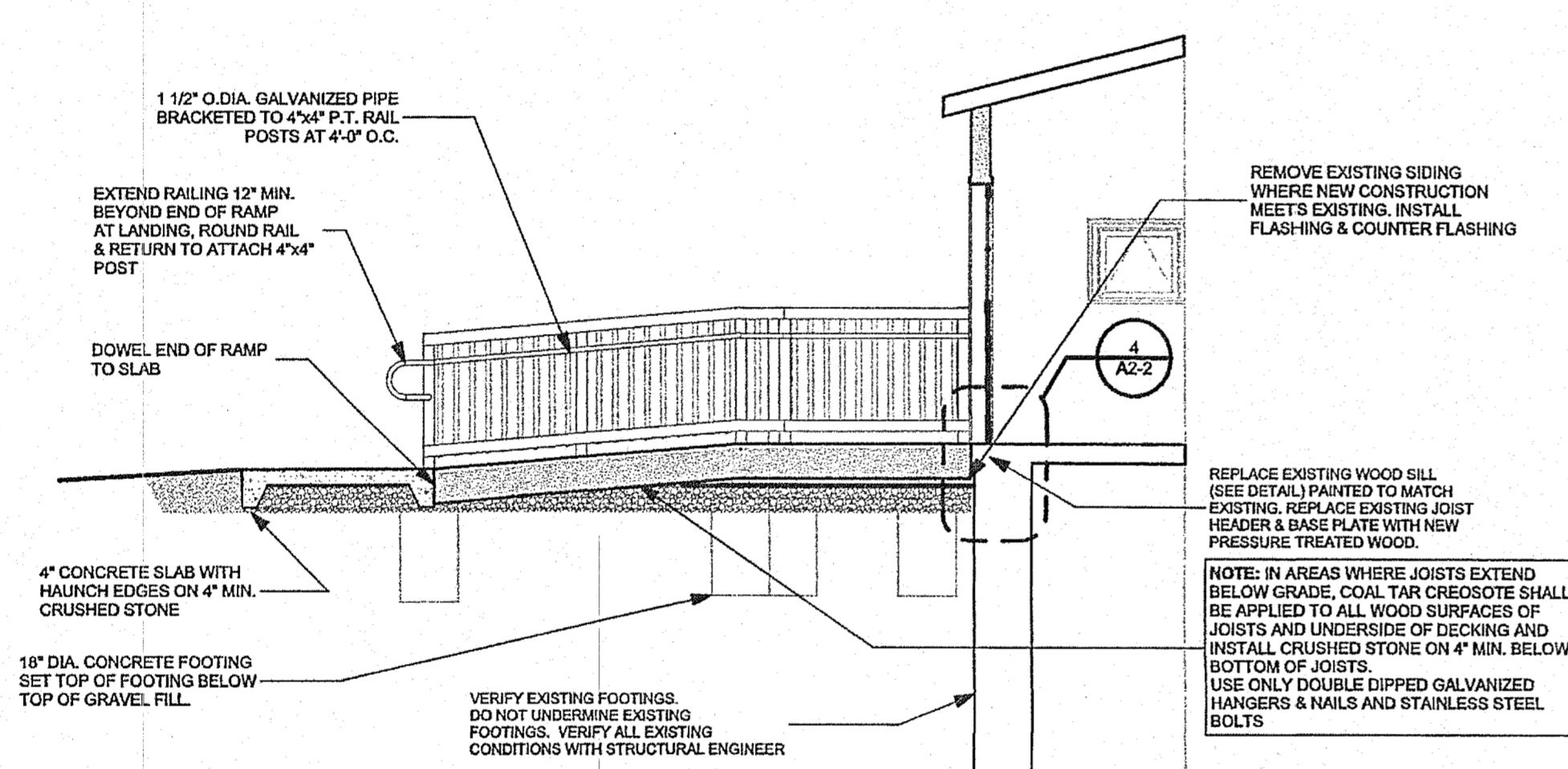
DAVE POOLE



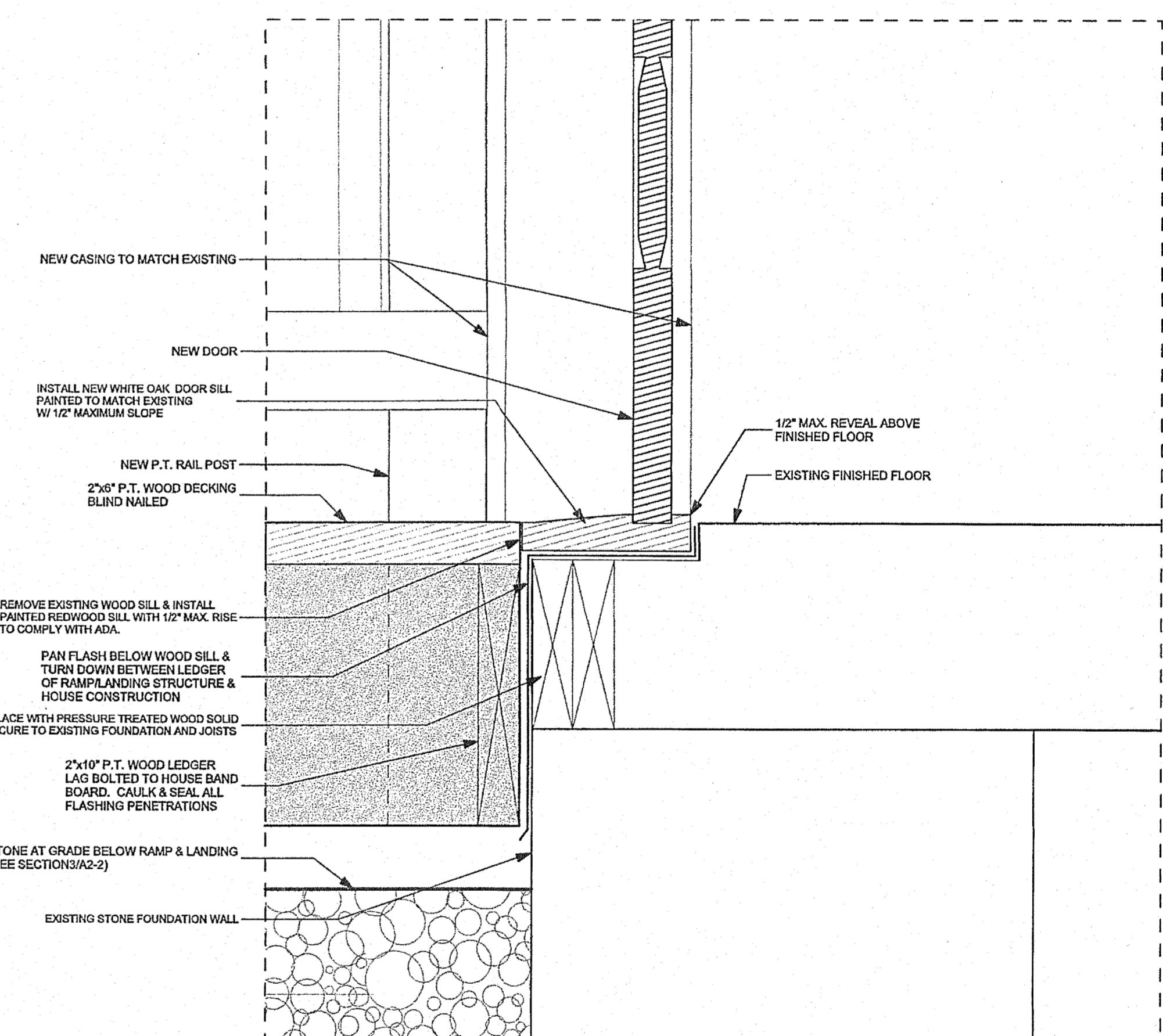
1 WEST ELEVATION AT RESIDENCE  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION AT RESIDENCE  
SCALE: 1/4" = 1'-0"



3 SECTION@ RESIDENCE RAMP  
SCALE: 1/4" = 1'-0"



4 DETAIL-DOOR SILL @ RESIDENCE  
SCALE: 3" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
JULY 11, 2007

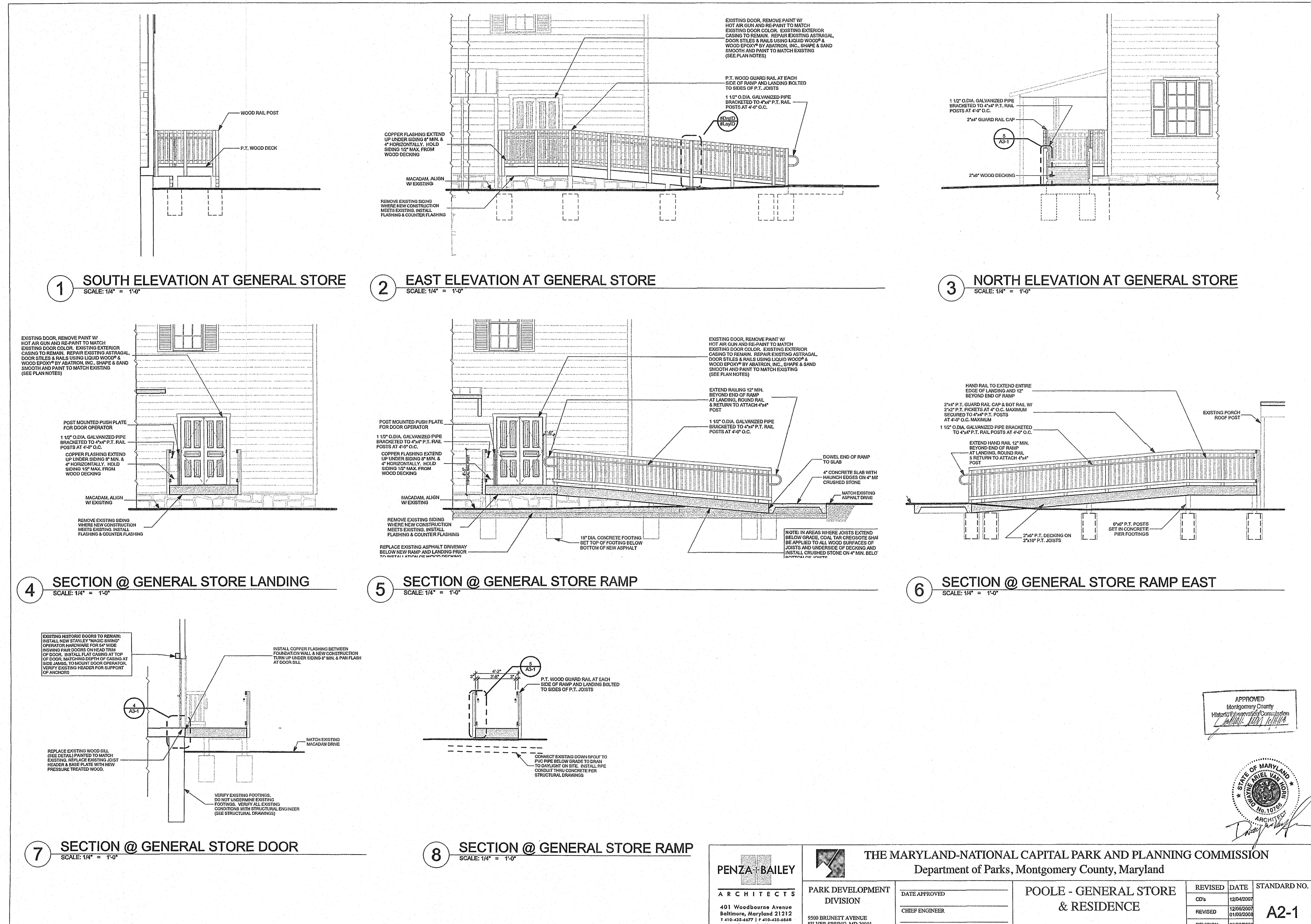


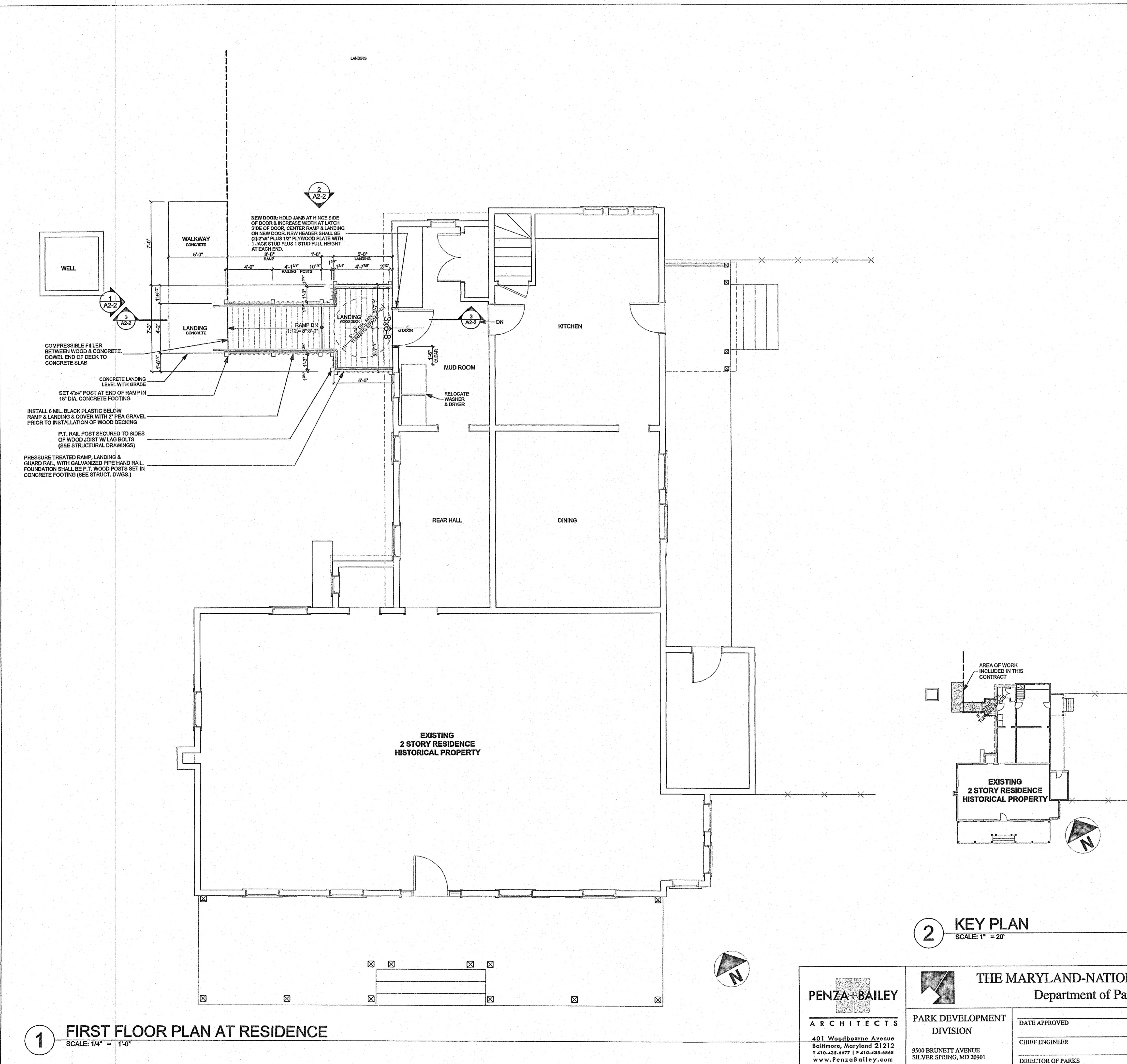
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**THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION**  
Department of Parks, Montgomery County, Maryland  
**PARK DEVELOPMENT DIVISION**      **POOLE - GENERAL STORE & RESIDENCE**  
DATE APPROVED: 12/06/2007      REVISED: 01/09/2008  
CHIEF ENGINEER:      STANDARD NO.:  
DIRECTOR OF PARKS:      A2-2

REVISED: 05/09/2008

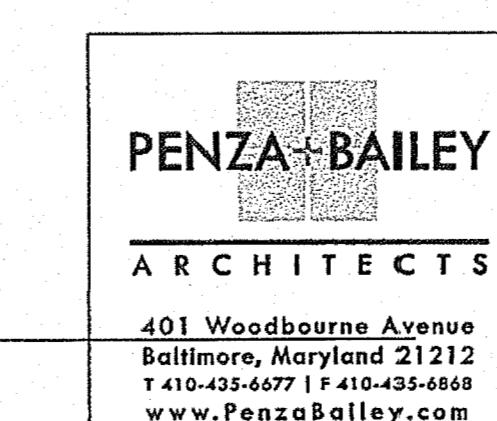
REVISION: 05/09/2008





## **FIRST FLOOR PLAN AT RESIDENCE**

SCALE: 1/4" = 1'-0"

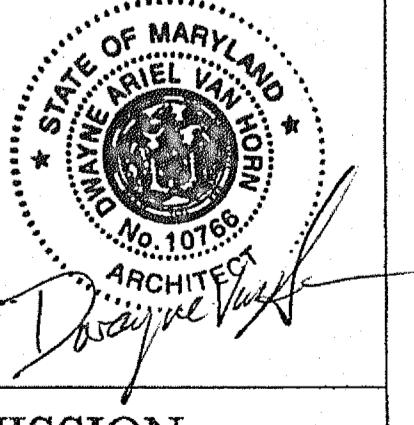
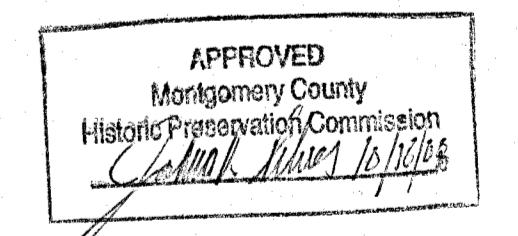


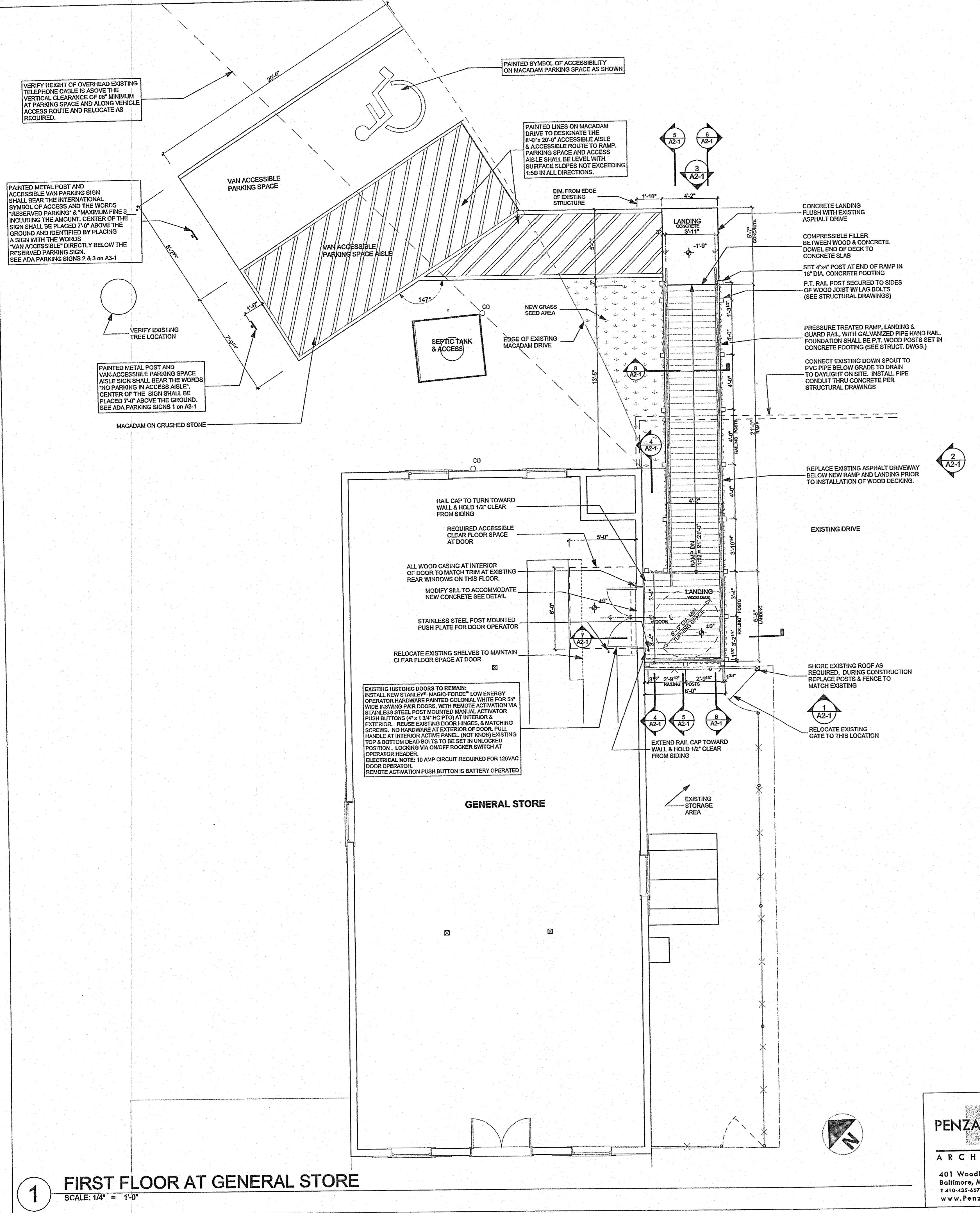
2 KEY PLAN  
SCALE: 1" = 20'

SCALE: 1<sup>n</sup> = 2

**THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION**  
**Department of Parks, Montgomery County, Maryland**

A1-2





## GENERAL PROJECT NOTES

## ELECTRICAL NOTES

1. ALL ELECTRICAL WORK TO CONFORM TO N.E.C. AND LOCAL CODE REQUIREMENTS. RECESSED LIGHT FIXTURES SHALL HAVE INSULATED HOUSINGS AS REQUIRED TO MEET CODE.
2. CONTRACTOR SHALL EXAMINE THE DRAWINGS AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS PRIOR TO BID SUBMISSION. ALL ELECTRICAL CONNECTIONS TO EXISTING ELECTRICAL PANELS SHALL BE VERIFIED FOR CONNECTIVITY OF FIXTURES WITH OUTLETS AND CONDUITS AND BE COORDINATED WITH ALL EXISTING AND PROPOSED ELECTRICAL, PLUMBING, MECHANICAL, FIRE SUPPRESSION, & STRUCTURAL CONDITIONS, PRIOR TO CONSTRUCTION.

**2 KEY PLAN**  
SCALE: 1" = 20'



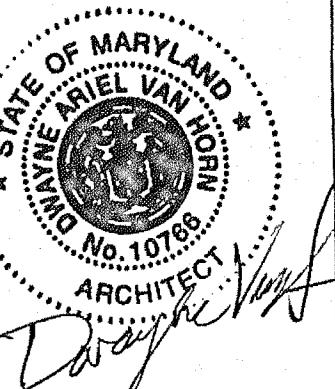
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ARCHITECTS

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
Department of Parks, Montgomery County, Maryland

PARK DEVELOPMENT DIVISION	DATE APPROVED	POOLE - GENERAL STORE & RESIDENCE	REVISED	DATE	STANDARD NO.
CDA's	12/04/2007		REVISED	12/04/2007	
CHIEF ENGINEER			REVISED	01/05/2008	
DIRECTOR OF PARKS			REVISED	05/09/2008	A1-1

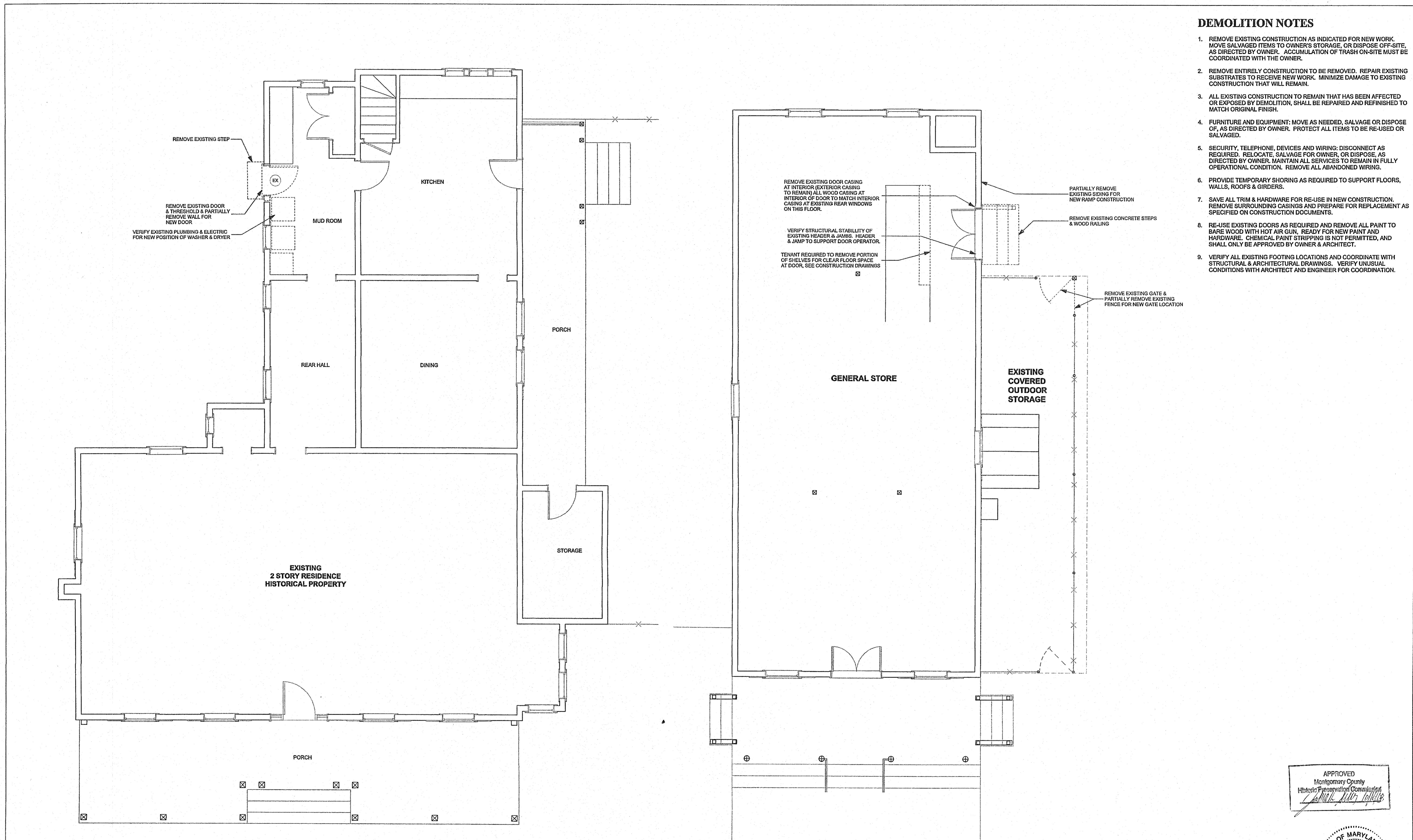
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*



Architect  
*[Signature]*

### DEMOLITION NOTES

1. REMOVE EXISTING CONSTRUCTION AS INDICATED FOR NEW WORK. MOVE SALVAGED ITEMS TO OWNER'S STORAGE, OR DISPOSE OFF-SITE, AS DIRECTED BY OWNER. ACCUMULATION OF TRASH ON-SITE MUST BE COORDINATED WITH THE OWNER.
2. REMOVE ENTIRELY CONSTRUCTION TO BE REMOVED. REPAIR EXISTING SUBSTRATES TO RECEIVE NEW WORK. MINIMIZE DAMAGE TO EXISTING CONSTRUCTION THAT WILL REMAIN.
3. ALL EXISTING CONSTRUCTION TO REMAIN THAT HAS BEEN AFFECTED OR EXPOSED BY DEMOLITION, SHALL BE REPAIRED AND REFINISHED TO MATCH ORIGINAL FINISH.
4. FURNITURE AND EQUIPMENT: MOVE AS NEEDED, SALVAGE OR DISPOSE OF, AS DIRECTED BY OWNER. PROTECT ALL ITEMS TO BE RE-USED OR SALVAGED.
5. SECURITY, TELEPHONE, DEVICES AND WIRING: DISCONNECT AS REQUIRED. RELOCATE SALVAGE FOR OWNER, OR DISPOSE, AS DIRECTED BY OWNER. MAINTAIN ALL SERVICES TO REMAIN IN FULLY OPERATIONAL CONDITION. REMOVE ALL ABANDONED WIRING.
6. PROVIDE TEMPORARY SHORING AS REQUIRED TO SUPPORT FLOORS, WALLS, ROOFS & GIRDERS.
7. SAVE ALL TRIM & HARDWARE FOR RE-USE IN NEW CONSTRUCTION. REMOVE SURROUNDING CASINGS AND PREPARE FOR REPLACEMENT AS SPECIFIED ON CONSTRUCTION DOCUMENTS.
8. RE-USE EXISTING DOORS AS REQUIRED AND REMOVE ALL PAINT TO BARE WOOD WITH HOT AIR GUN, READY FOR NEW PAINT AND HARDWARE. CHEMICAL PAINT STRIPPING IS NOT PERMITTED, AND SHALL ONLY BE APPROVED BY OWNER & ARCHITECT.
9. VERIFY ALL EXISTING FOOTING LOCATIONS AND COORDINATE WITH STRUCTURAL & ARCHITECTURAL DRAWINGS. VERIFY UNUSUAL CONDITIONS WITH ARCHITECT AND ENGINEER FOR COORDINATION.

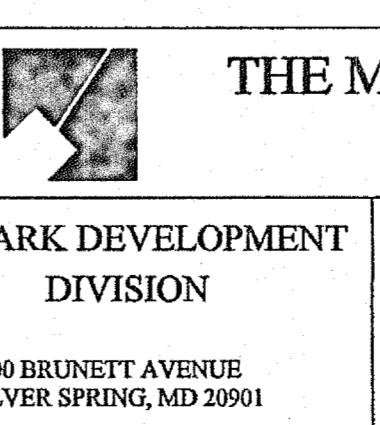
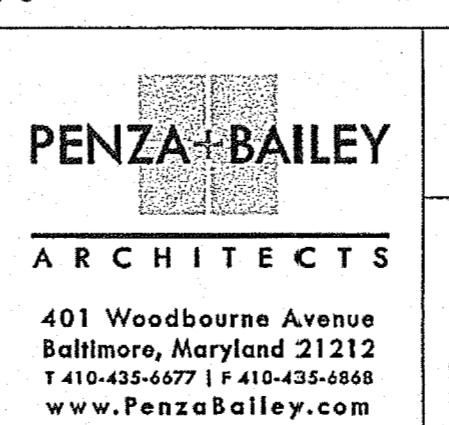


**2 FIRST FLOOR DEMOLITION AT RESIDENCE**

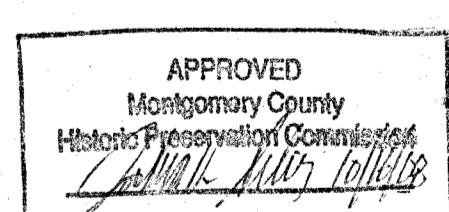
SCALE: 1/4" = 1'-0"

**1 FIRST FLOOR DEMOLITION AT GENERAL STORE**

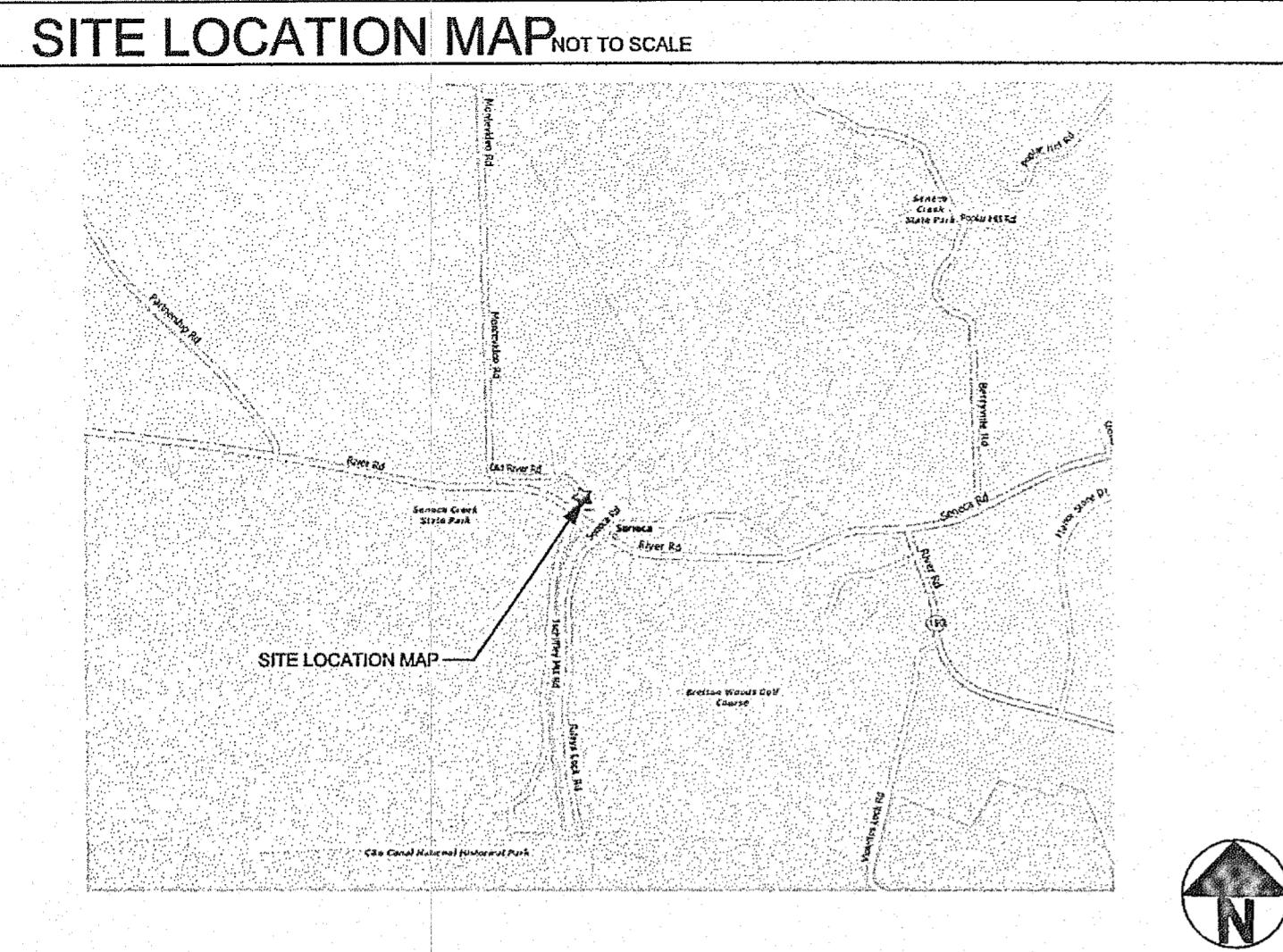
SCALE: 1/4" = 1'-0"



REVISION 05/09/2008



D1-1



# BUILDING DATA

OWNER:	MARYLAND-CAPITAL PARKS & PLANNING COMMISSION
PROJECT ADDRESS:	16401 OLD RIVER ROAD DRIVE POOLESVILLE ,MARYLAND 20837
Jurisdiction:	MONTGOMERY COUNTY DEPARTMENT OF PARKS & PLANNING Maryland-National Capital Parks & Planning Commission
Applicable Codes:	2006 IBC, 2006 IRC, NFPA-101, COMAR 05.02.02, ADAAG & FFHAG MONTGOMERY COUNTY CODE: Chapter 24A Historic Resources Preservation
Use Group:	HISTORIC PROPERTIES GENERAL STORE = EXEMPT COMMERCIAL RESIDENCE - RESIDENTIAL
ELECTION DISTRICT:	3, Map: DR32 P630 SUBDIVISION 1
LOT SIZE:	3.53 ACRES +/- (153766 SQ. Ft.+-)
Existing General Store Foot Print: PROPOSED RAMP FOOT PRINT:	1,8800 SQ.FT.+- GROUND LEVEL 225 SQ.FT. +-
Existing Residence Floor Foot Print PROPOSED RAMP FOOT PRINT:	1,120 Sq. Ft. +- GROUND LEVEL 139 Sq. Ft. +-
EXISTING UTILITIES:	WELL, SEPTIC

# **ABBREVIATIONS**

ARCHITECTURAL DRAWINGS ONLY

@	AT	FIX	Fixture(s)	PLAM	PLASTIC LAMINATE
#	NUMBER, POUND	FHC	fire hose cabinet	PLAS	PLASTER
&	AND	FLASH	FLASHING	PLYWD	PLYWOOD
Ø	DIAMETER	FLR	FLOOR(ING)	PR	PAIR
A	AREA	FLUOR	FLUORESCENT	PREFAB	PREFABRICATED
AB	ANCHOR BOLT	FOW	FACE OF WALL	PSF	POUNDS PER SQUARE FOOT
ABV	ABOVE	FR	fire rated, front	PSI	POUNDS PER SQUARE INCH
A/C	AIR CONDITIONING	FRT	fire retardant treated	PT	PRESSURE TREATED
ACC / ACCESS	ACCESSIBLE	FT	FEET, FOOT	PTD	PAINTED, PAPER TOWEL DISPENSER
ACOUST	ACOUSTICAL	FTG	FOOTING	PTN	PARTITION
ACP	ACOUSTICAL CEILING PANEL	FUR	FURRING	QUAL	QUALITY
ACT	ACOUSTICAL CEILING TILE	FURN	FURNITURE	QT	QUARRY TILE
AD	AREA DRAIN	FV	FIELD VERIFY	QTY	QUANTITY
ADA	AMERICANS WITH DISABILITIES ACT	GA	GAUGE		
ADAAG	ADA ARCHITECTURAL GUIDELINES	GALV	GALVANIZED	R	RADIUS, RISER(S), RANGE
ADMIN	ADMINISTRATION	GB	GRAB BAR	RB	RUBBER BASE
ADJ	ADJUSTABLE	GC	GENERAL CONTRACTOR	RCP	REFLECTED CEILING PLAN
AFF	ABOVE FINISH FLOOR	GEN / GENL	GYPSUM CONCRETE UNDERLAYMENT	RD	ROOF DRAIN
AGG	AGGREGATE	GFCI / GFI	GENERAL	REBAR	REINFORCING BAR
AHU	AIR HANDLING UNIT	GL	GROUND FAULT CIRCUIT INTERRUPTED	RECEPT	RECEPTACLE
AL / ALUM	ALUMINUM	GWB / GYPBD	GLASS, GLAZING	REFL	REFLECTED
ALT	ALTERNATE		GYPSUM WALL BOARD	REINF	REINFORCE(D)ING
ANC	ANCHOR, ANCHORAGE	H	HIGH	REF	REFERENCE, REFRIGERATOR
ANOD	ANODIZED	HB	HOSE BIB	REQD	REQUIRED
APPROX	APPROXIMATE	HD	HEAVY DUTY, HAND DRYER	RES	RESILIENT (SHEET FLOORING)
ARCH	ARCHITECT/ARCHITECTURAL	HDW / HDWR	HARDWARE	REV	REVISION, REVISE(D), REVERSED
ATM	AUTOMATIC TELLER MACHINE	HGT / HT	HEIGHT	RH	RIGHT HAND
AUTO	AUTOMATIC	HK	HOOK	RM	ROOM
BD	BOARD	HM	HOLLOW METAL	ROW	ROUGH OPENING
BEL	BELLOW	HORIZ	HORIZONTAL	RS	RIGHT OF WAY
BKHD	BULKHEAD	HP	HIGH POINT		RISERS
BLK / BLKG	BLOCK, BLOCKING	HVAC	HEATING, VENTILATION, AIR CONDITIONING	S	SOUTH, STOVE
BLDG	BUILDING	HWD	GAT	SCD	SATURATED
BOT	BOTTOM		HARDWOOD	SCH / SCHED	TOILET SEAT COVER DISPENSER
BR	BRICK, BEDROOM	IBC	INTERNATIONAL BUILDING CODE	SD	SCHEDULE
BTW	BETWEEN	ID	INSIDE DIAMETER	SECT	STORM DRAIN, SOAP DISPENSER
BUR	BUILT UP ROOFING	IN	INCH	SF	SECTION
C	CHANNEL, COURSES (MASONRY)	INFO	INFORMATION	SGFT	SQUARE FEET
CAB / CABT	CABINET	INSUL	INSULATION	SGL	STRUCTURAL GLAZED FACING T
CARP	CARPET	INT	INTERIOR	SH	SINGLE
CEM	CEMENT	INV	INVERT(ED)	SHT	SHOWER, SHEET
CER	CERAMIC	J / JT	JOINT	SIM	SHEET
CH	CEILING HEIGHT	JC / JAN CLOS	JANITOR CLOSET	SND	SIMILAR
CJ	CONTROL JOINT	JST	JOIST	SNR	SANITARY NAPKIN DISPENSER
CL	CENTER LINE	K	KIP, 1000	SPD	SANITARY NAPKIN RECEPTOR
CLG	CEILING	KO	KNOCKOUT	SPEC	SOAP DISPENSER
CLOS	CLOSET	L	LONG, ANGLE	SS / SST	SPECIFICATION, SPECIFIED
CLR	CLEAR, CLEARANCE	LAM	LAMINATE(D)	STA	SQUARE
CM	CENTIMETER	LAV	LAVATORY	STC	STAINLESS STEEL
CMU	CONCRETE MASONRY UNIT	LB	POUND	STD	STATION
COL	COLUMN	LF	LINEAR FEET	STL	SOUND TRANSMISSION CLASS
CONC	CONCRETE	LH	LEFT HAND	STOR	STANDARD
CONF	CONFERENCE	LIN	LINEN, LINEAR	STRUCT	STEEL
CONST	CONSTRUCTION	LINO	LINOLEUM	T	STRUCTURAL
CONT	CONTINUOUS	LKR	LOCKER	T&G	TREAD(S), TOILET
CONTR	CONTRACT/CONTRACTOR	LOC	LOCATION	THOLD / THRESHOLD	TONGUE AND GROOVE
CONV	CONVECTOR	LP	LOW POINT	TB	TOWEL BAR
CORR	CORRUGATED, CORRIDOR	LT	LIGHT	TBD	TO BE DETERMINED
CRS	COURSES (MASONRY)	LTL	LINTEL	TEL	TELEPHONE
CT	CERAMIC TILE	LVR	LOUVER	TEMP	TEMPERED, TEMPORARY
CTOP	COUNTERTOP	M	MEN, METER (MEASUREMENT)	TERR	TERRAZZO
CTR	CENTER, COUNTER	MACH	MACHINE	THK	THICK
CUH	CABINET UNIT HEATER	MANUF / MFR	MANUFACTURER	THRU	THROUGH
CUR	CURTAIN	MAT / MATL	MATERIAL	TKBD	TACKBOARD
D	DEEP, DIAMETER, DRAIN, DRYER	MAX	MAXIMUM	T.O.	THROUGHOUT, TOP OF
DBL	DOUBLE	MBRC	MARYLAND BUILDING REHABILITATION CODES	TOP	TOLERANCE
DEMO	DEMOLISH/DEMOLITION	MC	MEDICINE CABINET	TPD	TOP HOLD / THRESHOLD
DET	DETAIL	MECH	MECHANICAL	TPTN	TOWEL BAR
DF	DRINKING FOUNTAIN	MEMB	MEMBRANE	TSTAT	TO BE DETERMINED
DH	DOUBLE HUNG	MET	METAL	TYP	TOEPLITZ
DIA	DIAMETER	MEZZ	MEZZANINE		TOPPING
DIAG	DIAGONAL	MFD	MANUFACTURED	UC	TOP OF SLAB, TOP OF SLAB
DIM	DIMENSION	MICRO	MICROWAVE	UL	TOILET PAPER DISPENSER
DISP	DISPENSER, DISPOSAL	MIN	MINIMUM	UNF	TOILET PARTITION
DIV	DIVISION(S)	MISC	MISCELLANEOUS	UNO	UNDERCUT
DN	DOWN	MM	MMILLIMETER	UV	UNDERWRITERS LABORATORIES
DPF	DAMP PROOFING	MO	MASONRY OPENING	UR	UNFINISHED
DR	DOOR	MTD	MOUNTED	US	UNLESS NOTED OTHERWISE
DS	DOWNSPOUT	MTG	MOUNTING		UNIT VENTILATOR
DTL	DETAIL	MTL	METAL, MATERIAL		URINAL
DWG(S)	DRAWING(S)	MTR	METER (DEVICE)		UNDERSIDE
E	EAST	MULL	MULLION	V	VOLT(S)
EA	EACH	N	NORTH	VB	VAPOR BARRIER
EE	EACH END	N/A	NOT APPLICABLE	VCT	VINYL COMPOSITION TILE
EJ	EXPANSION JOINT	NIC	NOT IN CONTRACT	VERT	VERTICAL
EL / ELEV	ELEVATION, ELEVATOR	NO	NUMBER	VIF	VESTIBULE
ELEC	ELECTRICAL	NOM	NOMINAL		VERIFY IN FIELD
EMER	EMERGENCY	NTS	NOT TO SCALE		
ENCL	ENCLOSURE	O / OV	OVEN	WD	WEST, WIDE, WASHER, WOMEN
EQ	EQUAL	OA	OVERALL	WDW	WITH
EQUIP	EQUIPMENT	OC	ON CENTER	WH	WITHOUT
EW	EACH WAY	OD	OUTSIDE DIAMETER	WI	WALL COVERING, WATER CLOSE
EWC	ELECTRIC WATER COOLER	OFF	OFFICE	WIN	WOOD
EX / EXIST	EXISTING	OH	OPPOSITE HAND	WP	WINDOW
EXP	EXPOSED, EXPANSION	OPG	OPENING	WR	WATER HEATER, WALL HUNG
EXT	EXTERIOR	OVH	OVERHEAD	WS	WROUGHT IRON
FCU	FAN COIL UNIT	PART	PARTITION, PARTIAL	WSCT	WINDOW
FD	FLOOR DRAIN	PERIM	PERIMETER	WT	WATERPROOF, WATERPROOFING
FDN	FOUNDATION	PL	PLATE, PROPERTY LINE	WWF	WATER RESISTANT
FE	FIRE EXTINGUISHER				WEATHER STRIPPING
FEC	FIRE EXTINGUISHER CABINET				WAISCT
FF	FINISHED FLOOR				WEIGHT
FIN	FINISH(ED)				WELDED WIRE FABRIC

## **PROJECT DESCRIPTION:**

WORK INCLUDED IN THIS CONTRACT INVOLVES CONSTRUCTION THAT CREATES AN  
ACCESSIBLE ENTRY TO A HISTORIC RESIDENCE AND A HISTORIC GENERAL STORE ON THE  
SAME PROPERTY AT 16401 OLD RIVER ROAD, POOLESVILLE, MARYLAND 20837.

WORK SHALL INCLUDE THE CONSTRUCTION OF RAMPS AND MODIFICATION OF EXISTING ENTRY DOORS AND PARKING FOR THE HISTORIC RESIDENCE AND HISTORIC GENERAL STORE THAT MEETS THE DEPARTMENT OF JUSTICE'S, AMERICANS WITH DISABILITIES ACT AND INTERNATIONAL BUILDING CODE 2006.

THE ACCESSIBLE RAMP TO BE CONSTRUCTED AT THE RESIDENCE WILL BE AN (8') EIGHT FOOT LONG RAMP WITH LANDINGS AT EACH END, WITH A WIDER ENTRANCE DOOR CONSTRUCTED TO REPLACE AN EXISTING DOOR, AND ENCOMPASSING APPROXIMATELY 138 SQ. FT., DISTURBING APPROXIMATELY 270 SQ. FT.

THE ACCESSIBLE RAMP & PARKING TO BE CONSTRUCTED AT THE GENERAL STORE WILL BE A (21') TWENTY-ONE FOOT LONG RAMP WITH LANDINGS AT EACH END, WITH AN EXISTING DOUBLE LEAF ENTRANCE DOOR TO INCLUDE AN ACCESSIBLE PUSH BUTTON MOTORIZED OPERATOR, WITH A SINGLE PAVED AND LINED PARKING AREA AND SIGNAGE, ENCOMPASSING APPROXIMATELY 546 SQ. FT., DISTURBING APPROXIMATELY 670 SQ. FT.

## PERMIT APPROVALS

# **RENOVATIONS TO POOLE PROPERTY GENERAL STORE & RESIDENCE**

**16401 OLD RIVER ROAD  
POOLESVILLE, MARYLAND 20837**

<b>OWNER</b>	<b>ARCHITECT</b>	<b>STRUCTURAL &amp; CIVI</b>
MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 9500 BRUNETT AVENUE VER SPRING, MARYLAND 20901 CONTACT: JOEY LAMPL 301-563-3407	PENZA BAILEY ARCHITECTS 401 WOODBOURNE AVE BALTIMORE, MD 21212 CONTACT: DWAYNE VAN HORN, AIA 410-435-6677 DVANHORN@PENZABAILEY.COM	KCI TECHNOLOGIES 10 NORTH PARK DRIVE HUNT VALLEY, MD 21030 CONTACT: KEN DILL, PE. 410-316-7800 kdill@kci.com

# SYMBOLS

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ARCHITECTURAL DRAWINGS ON

ROOM NAME 123	SPACE TITLE SPACE NUMBER
101	DOOR NUMBER
A	WINDOW TYPE
B	PARTITION TYPE
1	REVISION
3	KEYNOTE
2 3 1	EQUIPMENT
1 A2-1	ELEVATION
2 1 A4-1 3 4	INTERIOR ELEVATION (SHEET NO. AT CENTER DETAIL NOS. AROUND EDGE)
3 A3-1	SECTION
1 A5-1	DETAIL

## MATERIALS

MATERIALS		ARCHITECTURAL DRAWINGS ON
	TIMBER WOOD FRAMING	
	FINISH WOOD	
	PLYWOOD	
	HARDBOARD PARTICLE BOARD	
	SPRAY FOAM INSULATION	
	FLEXIBLE INSULATION	
	ACOUSTICAL TILE OR PANELS	
	GLASS LARGE SCALE	
	GLASS OR METAL SMALL SCALE	
	SCREENING	

DRAWING INDEX

**DRAWING INDEX**

**ARCHITECTURAL DRAWINGS LIST  
BY PENZA BAILEY ARCHITECTS**

G1-1 INDEX & GENERAL NOTES

D1-1 DEMOLITION PLANS

A1-1 FIRST FLOOR AT GENERAL STORE  
A1-2 FIRST FLOOR RESIDENCE

A2-1 ELEVATIONS GENERAL STORE  
A2-2 ELEVATIONS RESIDENCE

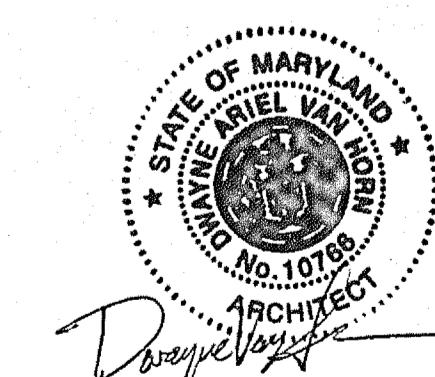
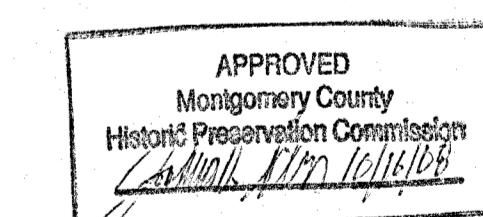
A3-1 SIGNAGE & DETAILS

**STRUCTURAL DRAWING LIST  
BY KCI TECHNOLOGIES**

S1-1 PARTIAL FOUNDATION PLANS & SECTIONS  
S1-2 SECTIONS  
S1-3 DETAILS & NOTES

**NOTE:  
SEE CIVIL DRAWINGS BY KCI TECHNOLOGIES**

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



# THE MARYLAND-NATIONAL CAPITAL PARK AND PLANT Department of Parks, Montgomery County, Maryland

PENZA+BAILEY

**ARCHITECTS**  
401 Woodbourne Avenue  
Baltimore, Maryland 21212  
T 410-435-6677 | F 410-435-6868  
[www.PenzaBailey.com](http://www.PenzaBailey.com)

A small, dark, rectangular image showing a textured surface with a diagonal line.

**ARK DEVELOPMENT  
DIVISION**

# POOLE - GENERAL STORE & RESIDENCE

REVISED	DATE	STANDARD NO.
CD's	12/04/2007	
REVISED	12/06/2007 01/09/2008	
REVISION	05/09/2008 09/19/2008	G1-1

