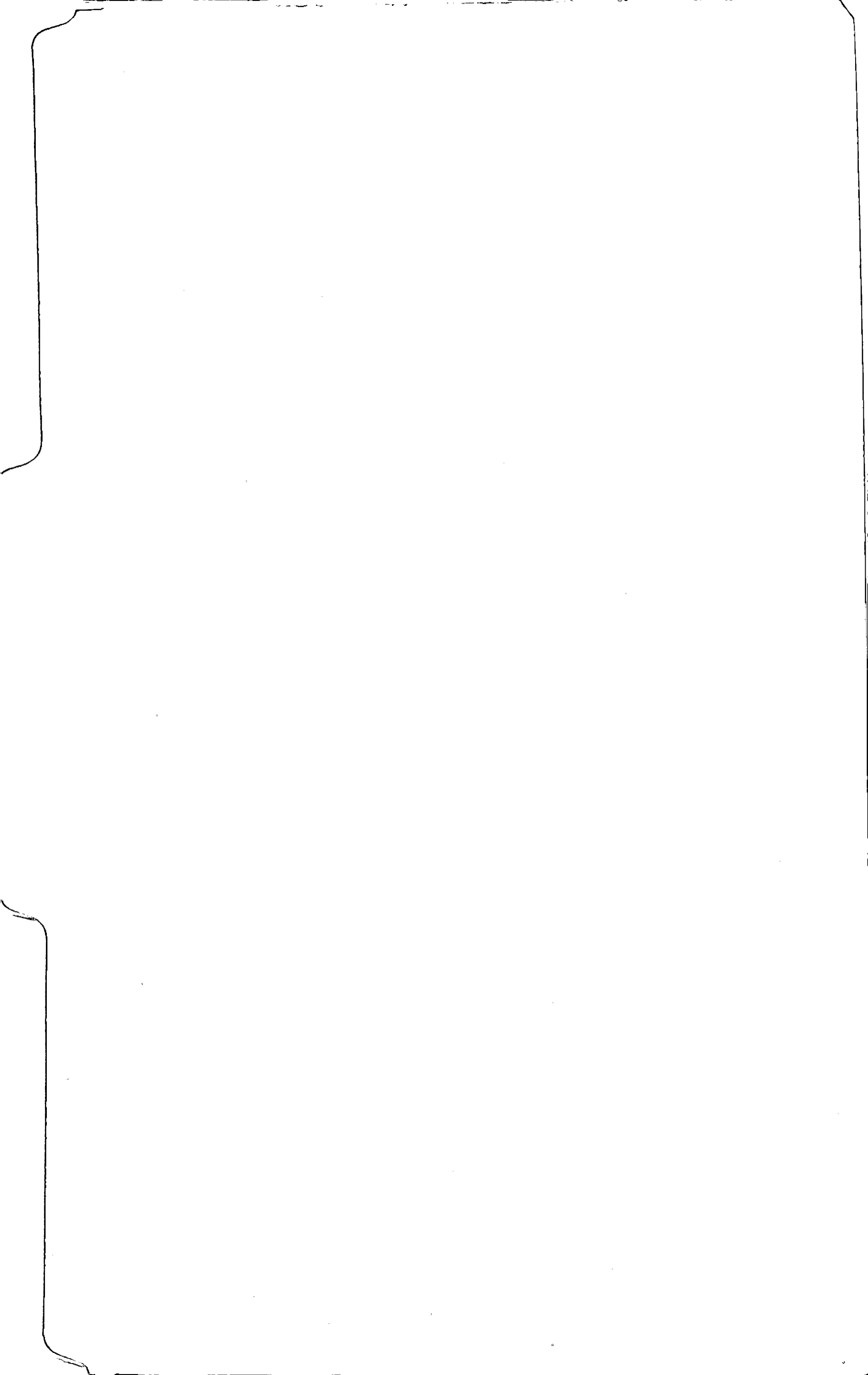


4 North Street, BrookKeville
[HPC Case# 23/65-11D]
BrookKeville H.D.





HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: December 19, 2011

MEMORANDUM

TO: Matt Pollock
4 North Street, Brookeville

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #580144, new house construction

Your Historic Area Work Permit (HAWP) application for construction of a new house was **approved with (1) condition** by the Historic Preservation Commission at its October 12, 2011 meeting.

- 1. The roof of the house will be sheathed in an architectural asphalt shingle. The applicant must submit a roofing sample to HPC staff for final review and approval prior to submitting the permit set of plans.*

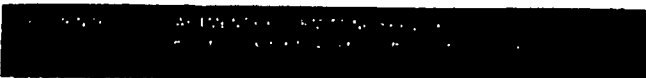
Before applying for permits from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1400 Spring Street, Suite 500, Silver Spring for stamping. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

When you file for your permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in **any way** from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: tmattpollock@hotmail.com Contact Person: MAH Pollock
 Daytime Phone No.: 703.928.6533
 Tax Account No.: N/A
 Name of Property Owner: MAH Pollock Daytime Phone No.: 703.928.6533
 Address: 935 ARK BLACK TR Odenton MD 21113
Street Number City State Zip Code
 Contractor: Building ON OWN Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 4 Street: North St.
 Town/City: Brookville Nearest Cross Street: Market St.
 Lot: 1 Block: A Subdivision: Powerwoods
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input checked="" type="checkbox"/> A/C	<input checked="" type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input checked="" type="checkbox"/> Porch	<input checked="" type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 400,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

TMp _____ 9/20/11
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: [Signature] Date: 12/19/11
 Application/Permit No.: 580144 Date Filed: _____ Date Issued: _____

3

SUBJECT: Revision to approved HAWP (HPC Case No. 26/65-11D), for new construction, at 4 North Street, Brookeville, new construction within the **Brookeville Historic District**

DATE: October 24, 2011

BACKGROUND: On October 12, 2011 the HPC approved the construction of a new house at the subject property.

REVISED PROPOSAL: The applicants are requesting approval to use pre-primed, paintable, fiberglass columns on the front porch in lieu of the HPC approved wooden columns. The revised column design will be consistent with the dimensions and design of the HPC approved wooden columns.

STAFF RECOMMENDATION: Staff recommends approval of the revised changes finding them consistent with Chapter 24A-8(b) (1), (2) & (d)

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.);

HPC DECISION:

APPROVED

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	4 North Street, Brookeville	Meeting Date:	10/12/2011
Resource:	Vacant Lot Brookeville Historic District	Report Date:	10/5/2011
Applicant:	Matt Pollock	Public Notice:	9/28/2011
Review:	HAWP	Tax Credit:	N/A
Case Number:	23/65-11D	Staff:	Josh Silver
PROPOSAL:	New house construction		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Vacant Lot

BACKGROUND

The HPC held a Preliminary Consultation hearing on September 7, 2011 for construction of an approximately 1,650 s.f., 2 story house on a vacant lot within the Brookeville Historic District.

The HPC provided the following comments in response to the proposal:

- The side elevation window treatments should be similar to the windows on the front elevation (trim work, spacing, and 1st and 2nd floor stacking/order), to convey a more historically accurate expression
- A steeper roof pitch and alternative roof material should be considered such as wood or metal for compatibility with similarly designed houses (new and historic) located within the historic district
- A 6/6 double-hung window pattern was recommended for compatibility with the proposed architectural style
- Eliminate the transom windows from the front door
- A stone veneer foundation treatment was recommended in lieu of the proposed brick veneer for compatibility with similarly designed and style houses located within the historic district
- Inset both side walls of the rear gable section approximately 6" to create better articulation between the two building masses. (See HPC transcript on Page 20)

PROPOSAL

The applicant is proposing to construct an approximately 1,650 s.f., 2 story house on a vacant lot in the Brookeville Historic District.

Material treatments for the house include fiber cement siding, 6/6 simulated divided light exterior clad windows and doors, asphalt shingle roofing and brick veneer foundation. Materials for the proposed front porch and rear yard deck will consist of a paintable wood product for all vertical features.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Brookeville Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

Staff supports the proposed design for construction of a new house at the subject property. The applicant's redesign considers many of the design suggestions conveyed by the HPC during the Preliminary Consultation hearing.

The redesign includes properly spaced, stacked and detailed side elevation windows that are consistent with the characteristics of the front elevation window treatments. A more traditional 6/6 window pattern is proposed for all elevations in lieu of a 4/4 window style to make it more in keeping with the proposed architectural style of the house. The roof pitch is now steeper for compatibility with similarly designed houses in the historic district. The rear gable section of the house is shown with a 6" inset on both sides of the front gable section to convey a more historically accurate representation of the proposed house style and create better articulation between the two building masses.

Staff finds the proposed work as being consistent with the following review criteria **Chapter 24A-8(b) (2) and (6) (d)** and **Standard #9**.

The proposed construction of a single family home on this lot ***will not seriously impair*** [*Emphasis added*], the historic or architectural value of the historic resources in the vicinity of the property or impair the character of the historic district. The subject property is surrounded by an undeveloped lot to the south, new construction to the northeast and a protected conservation easement area roughly to the north.

The proposal is compatible in character and nature with the architectural features of the historic district. The size, orientation and setback proposed for the house is consistent with the existing non-historic house located to the right.

Staff supports the proposed material treatments finding them appropriate for new construction. Although wood or metal roofing materials and stone foundations are predominantly found throughout the Brookeville Historic District, staff finds the proposed asphalt shingle roofing treatment as being appropriate for new construction.

Per Chapter 24A-8 (d), the Commission shall be lenient in its judgment of plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. Staff applied the criteria above in reaching the conclusion that an asphalt roof and brick veneer foundation would not seriously impair the historic or architectural value of surrounding historic resources or character of the historic district. **Staff recommends approval of these material treatments finding them consistent with Chapter 24A-8 (d).**

Furthermore, staff finds that the proposed construction will not destroy historic materials, features, and spatial relationships that characterize the property. This finding is consistent with *Standard #9*. The proposed work is for construction of a new house on a vacant lot, as such there is no impact to the property.

Staff supports the proposed installation of a gravel drive and front walkway. The proposed site plan shows a footprint for a detached garage. The applicant has withdrawn the garage from the plans. Staff would support the construction of a small detached garage on the property if proposed.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2) and (d);

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: tmattpollack@nsta.com Contact Person: Matt Pollock
Tax Account No.: N/A Daytime Phone No.: 703.928.6533
Name of Property Owner: Matt Pollock Daytime Phone No.: 703.928.6533
Address: 935 AAK BLACK TER Odenton Md 21113
Contractor: Building ON OWN Phone No.:
Contractor Registration No.:
Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 7 Street: North St.
Town/City: Brookeville Nearest Cross Street: Market St.
Lot: 1 Block: A Subdivision: Powerwoods
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable.

CHECK ALL APPLICABLE:

- A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

1B. Construction cost estimate: \$ 400,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other.
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other.

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date 9/20/11

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 580144 Date Filed: Date Issued:



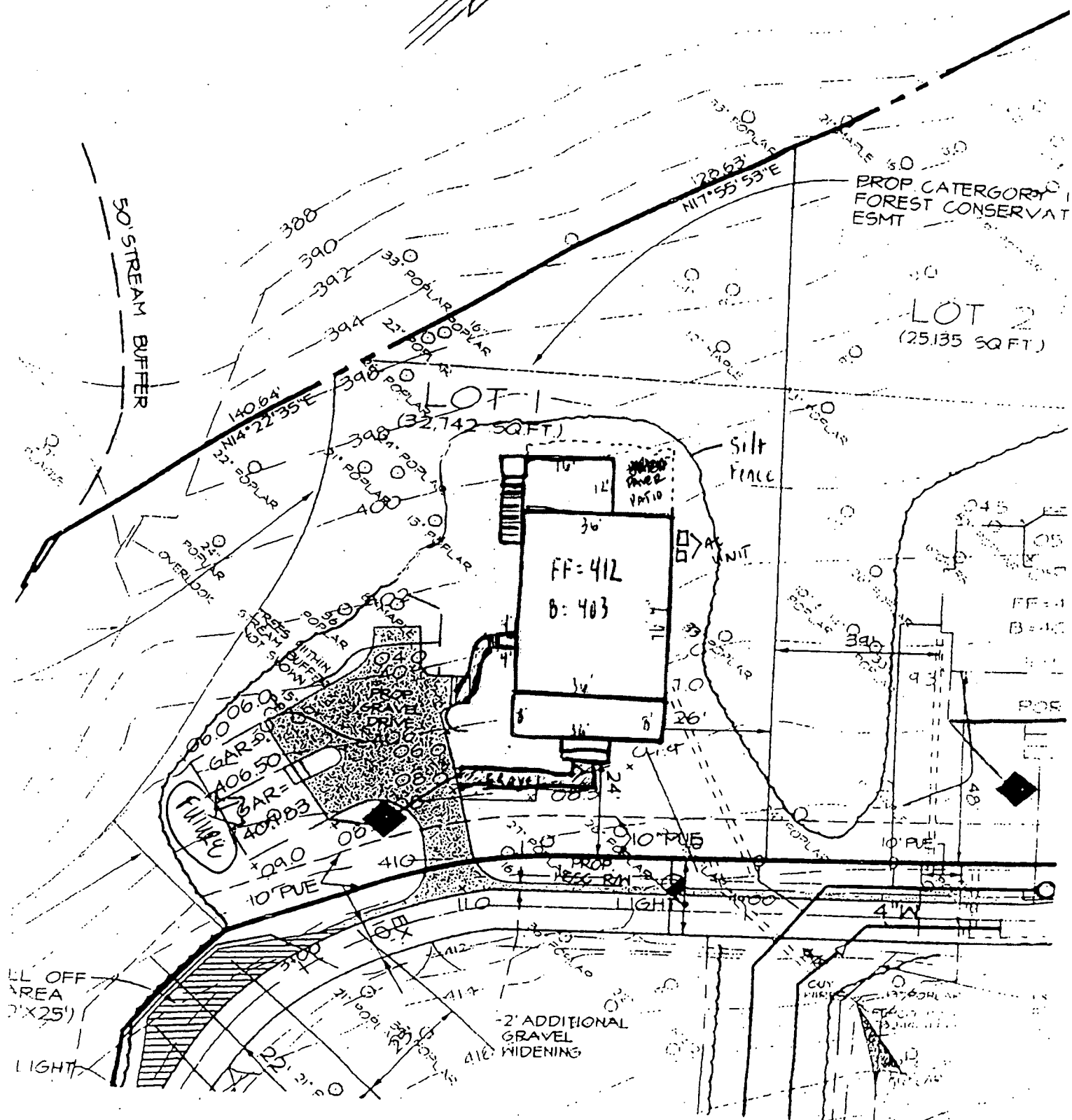
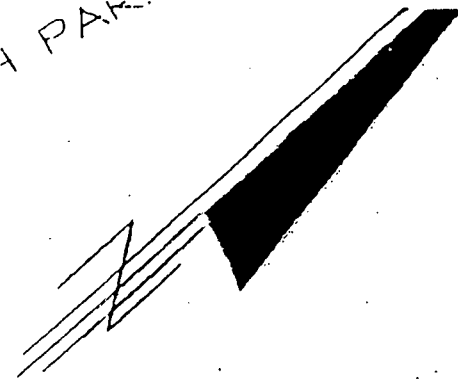
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Matt Pollock 935 ARK BLACK TLR Odenton Md 21113	Nathan Dert 110 W. Washington St St. 201 Brookville Md 20850
Adjacent and confronting Property Owners mailing addresses	
2 North St. Brookville Md 20833 James + Brenda Albus	13 North St. Brookville Md 20833 Mark + Nathalie Davis
1 North St. Brookville Md 20833 Mulholland Farquhar	17 North St. Brookville Md 20833 Mark Friss
9 North St. Brookville Md 20833 Fred T. Teal JR	211 Market St. Brookville Md 20833 Karen + Harry Montgomery

108 Water St.
 Brookville Md 20833
 Cate McDonald

REDDY BRANCH PARK

1" = 30'
7/26/11

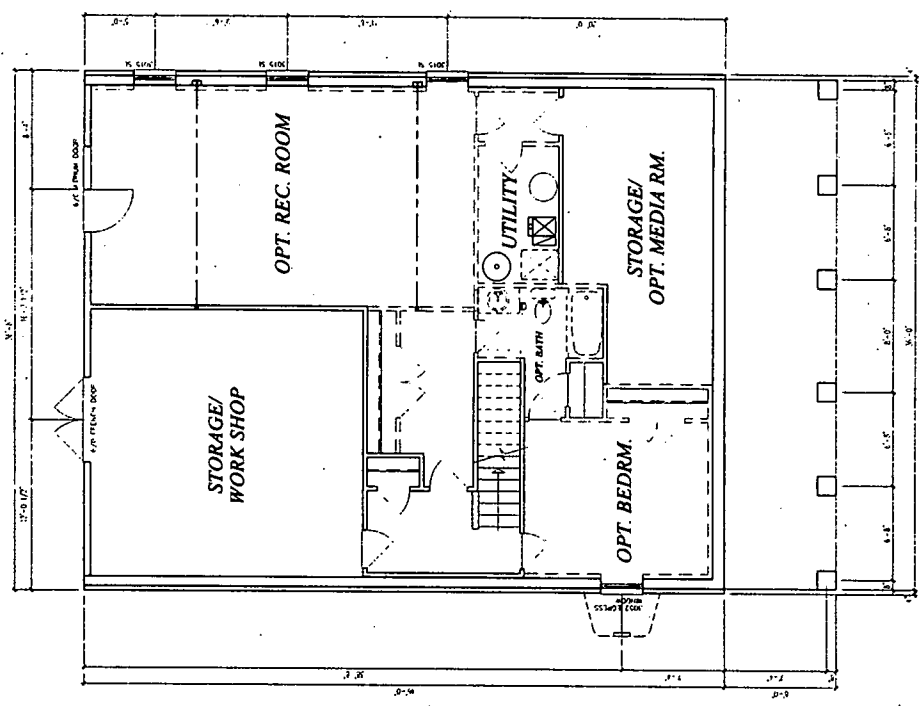


Math Pollock

(25100) 217

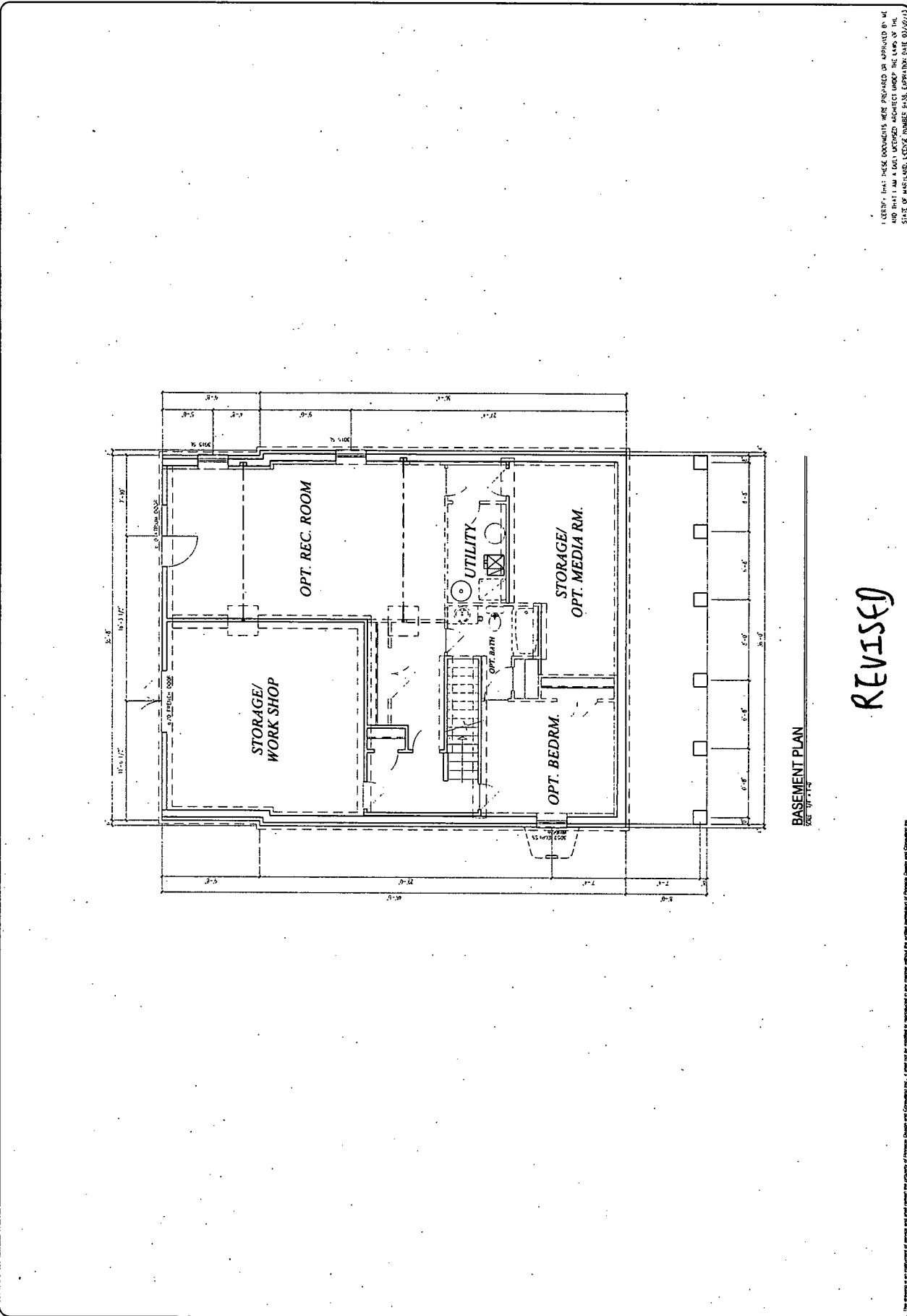
Math Pollock pg 5

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR SUPERVISED BY ME
 AND THAT I AM A duly LICENSED ARCHITECT UNDER THE LAWS OF THE
 STATE OF VIRGINIA, LICENSE NUMBER 54183, EXPIRES 08/31/12.



BASEMENT PLAN
 SHEET NO. 200

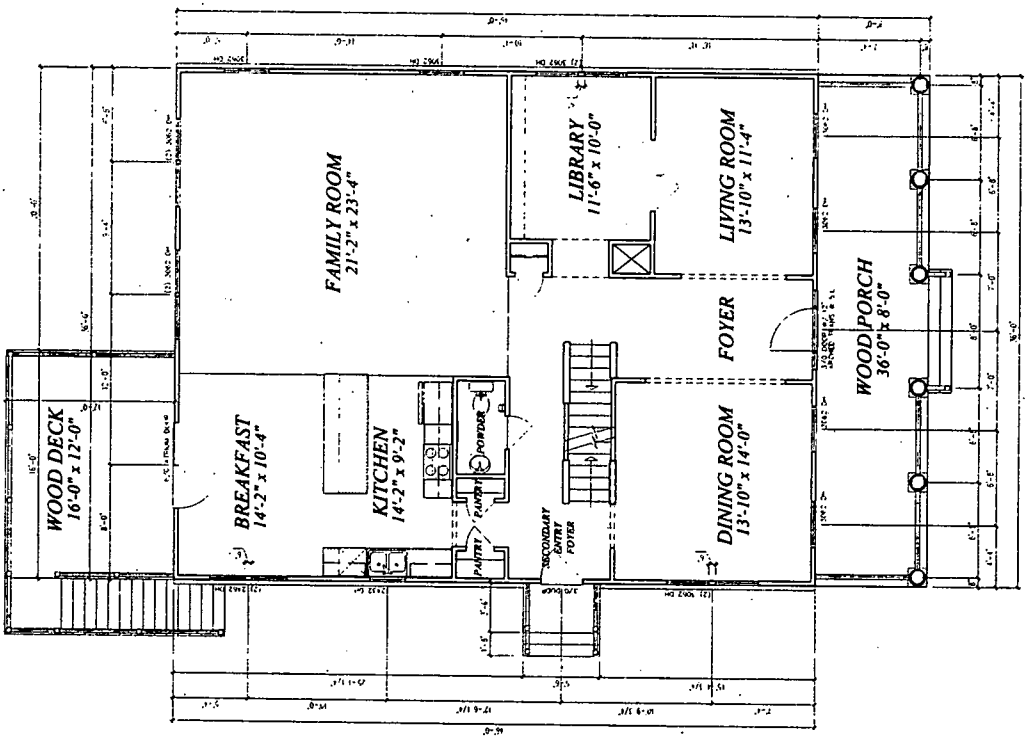
PRELIMINARY PLAN



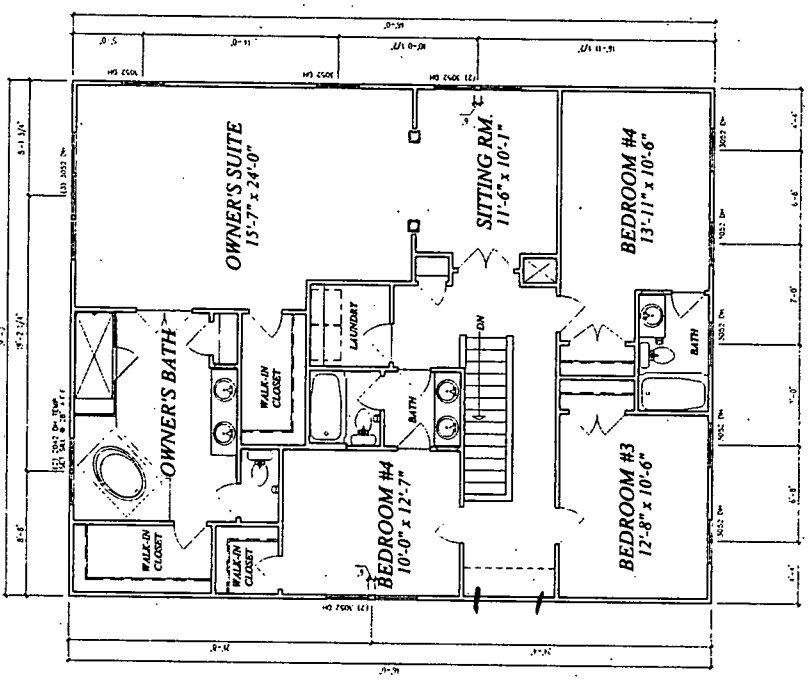
BASEMENT PLAN
SEE W-114

REVISED

I, CLIENT, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MISSOURI, LICENSE NUMBER 9438, EXPIRING DATE 03/31/2013.



FIRST FLOOR PLAN

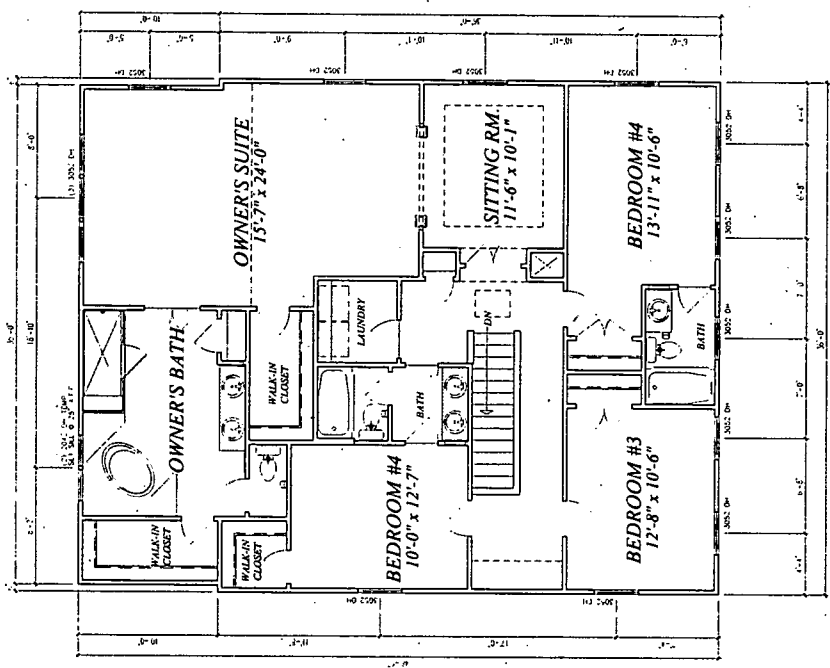
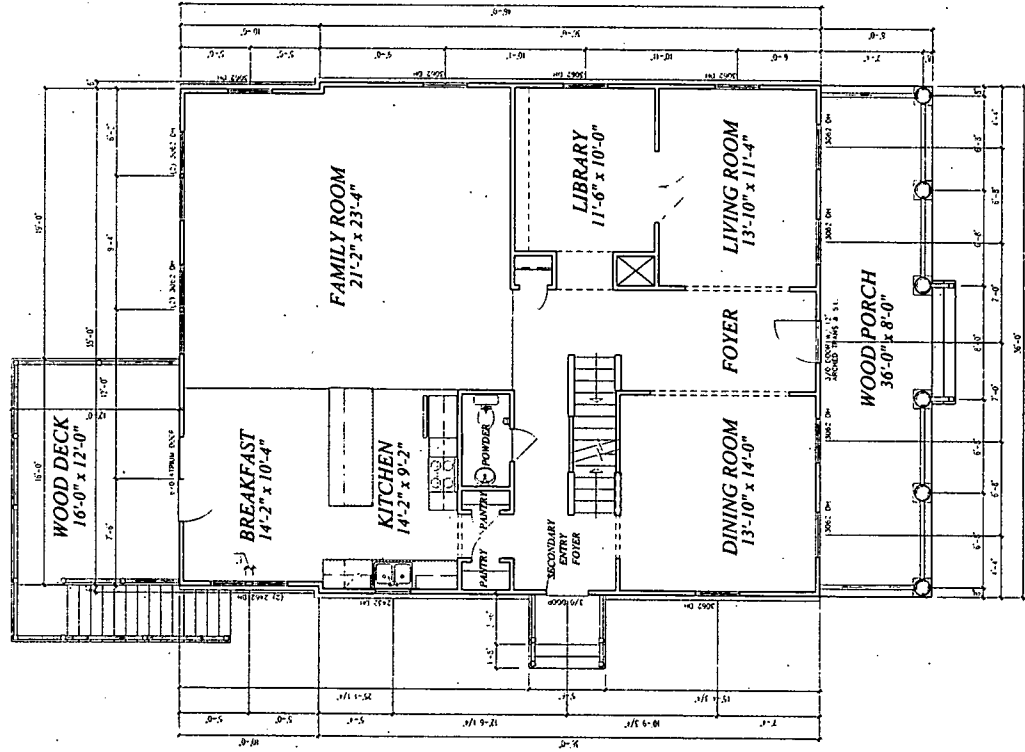


SECOND FLOOR PLAN

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA LICENSE NUMBER 5484 EXPIRATION DATE 03/31/2017

PRELIMINARY PLAN





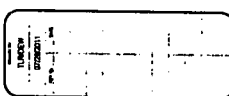
I CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF COLORADO UNDER NUMBER 1348 EXPIRES DATE 03/31/2017

REVISED



Pinnacle Design & Consulting, Inc.
 11110 Ritten Road, Suite 100, Richmond, VA 23234
 (804) 771-1100

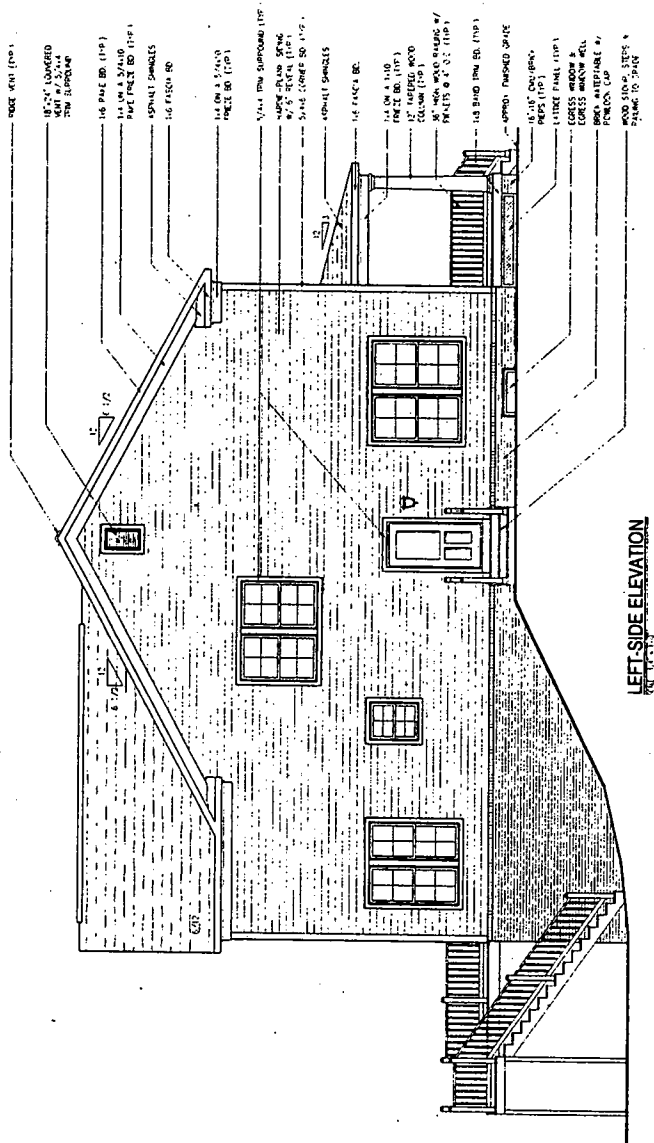
POLLOCK RESIDENCE
FRONT & LEFT-SIDE ELEVATIONS



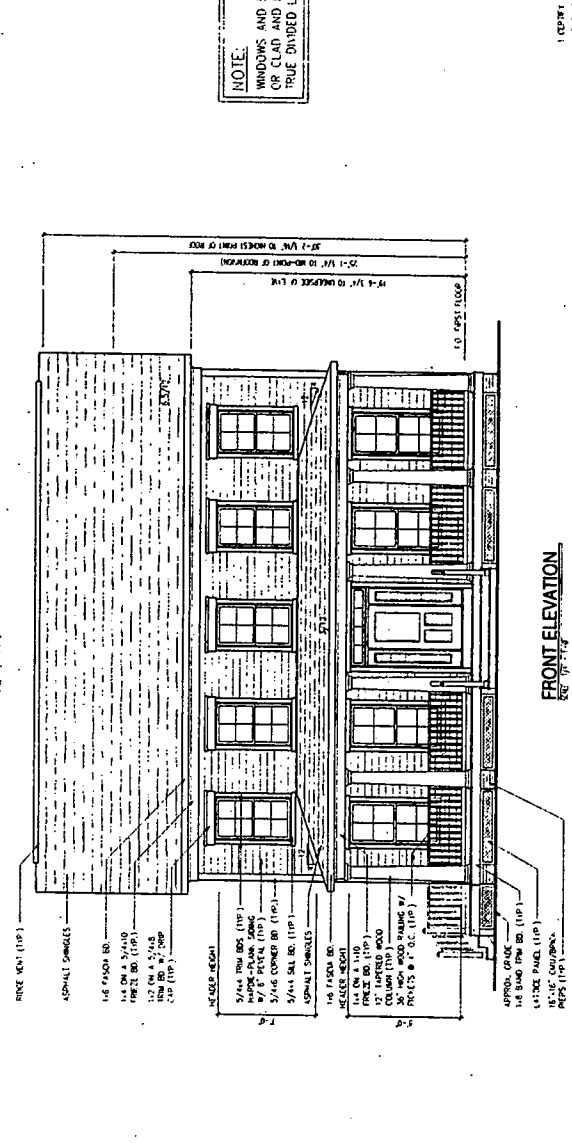
4.00
 ARCH

1. CHECK THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly LICENSED ARCHITECT LICENSED IN THE STATE OF VIRGINIA. (LICENSE NUMBER: 12034) (EXPIRATION DATE: 06/30/2017)

NOTE:
 WINDOWS AND DOORS ARE TO BE CLAD OR CLAD AND HAVE 3/4" DIVIDED LITE OR 3/4" DIVIDED LITE.



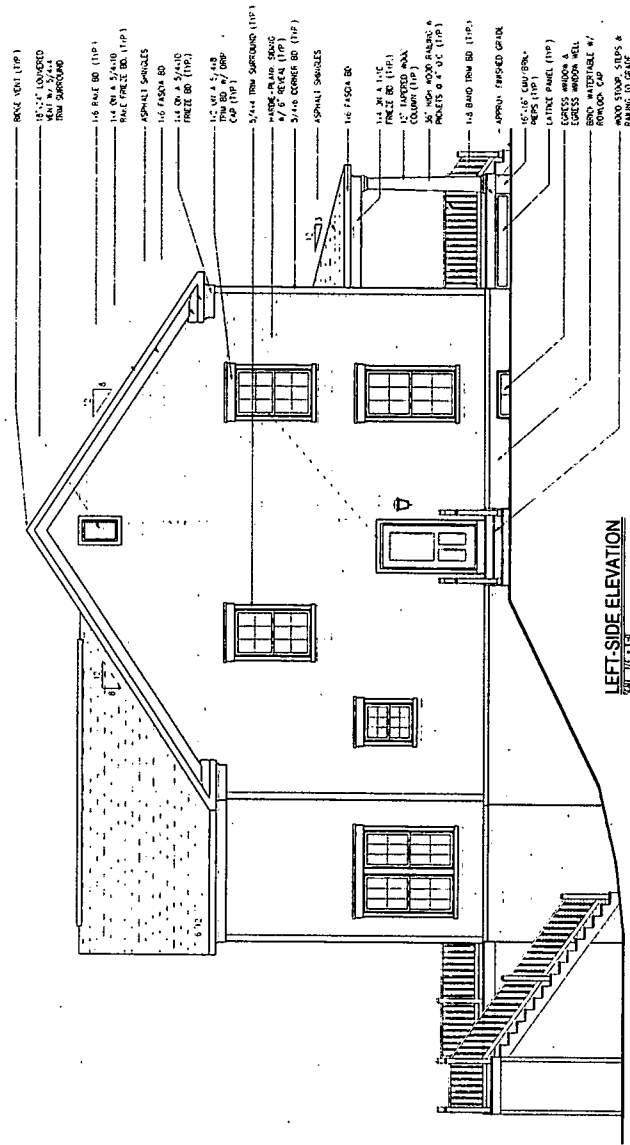
LEFT-SIDE ELEVATION



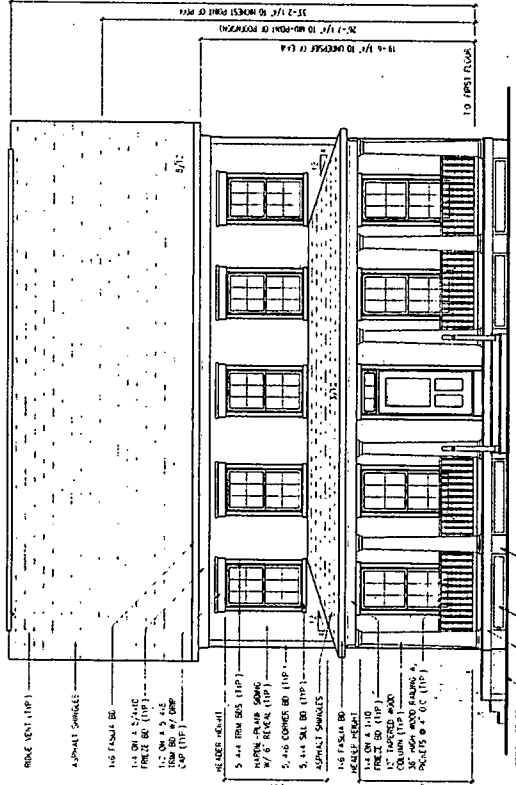
FRONT ELEVATION

PRELIMINARY PLAN

NOTE:
WINDOWS ARE TO WOOD
OR CLAD AND HAVE SIMULATED OR
TRIPLE DIVIDED LITES.

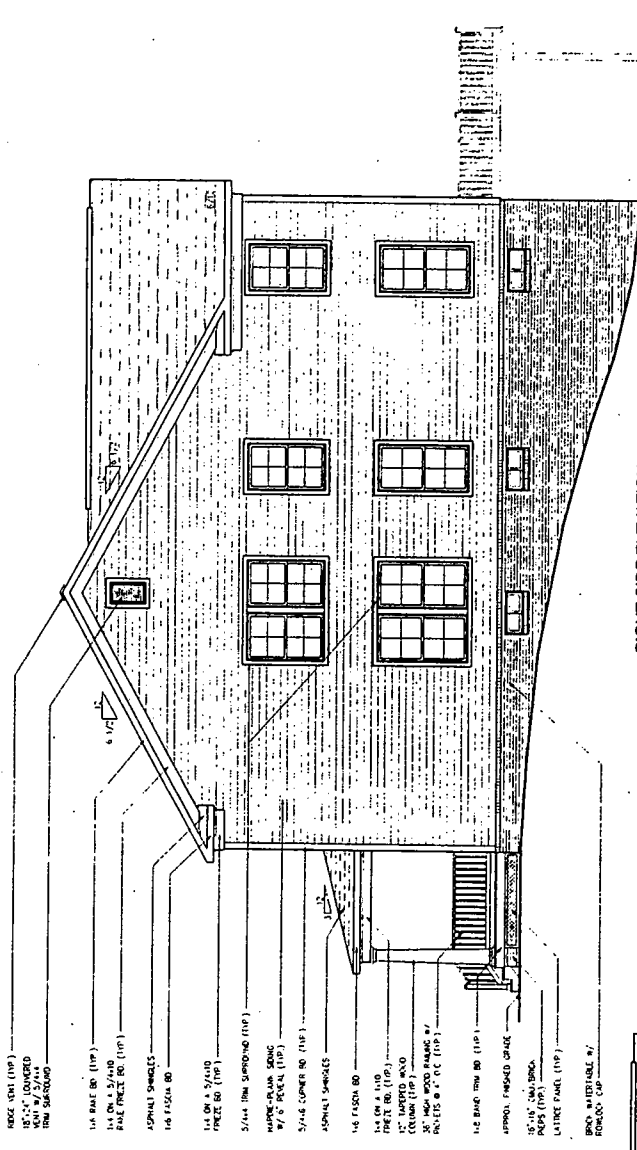


LEFT-SIDE ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

I CERTIFY THAT THESE ELEVATIONS HAVE BEEN MADE OR APPROVED BY ME
AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE
STATE OF TEXAS. LICENSE NUMBER: 14362 (EXPIRES DATE: 02/01/12)

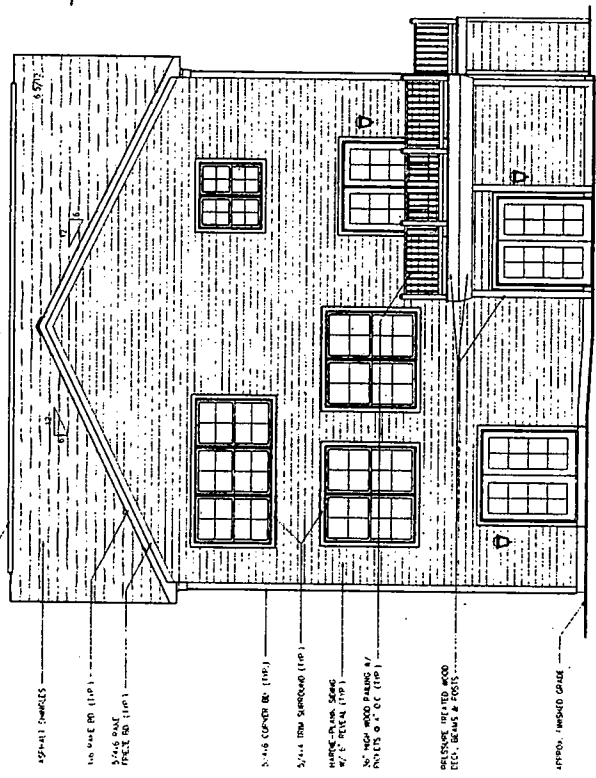


- ROCK WOOL (IMP)
- 1/4" BRK BR (IMP)
- 1/4" ON 4" S/W/IB
- FACE BRICK BR (IMP)
- FORMAL SHIMMER
- 1/4" FUSION BR
- 1/4" ON 4" S/W/IB
- PRET BR (IMP)
- 5/16" THIN SHIMWOOD (IMP)
- HARVEY-BLANK SIDING
- 7/8" RICKA (IMP)
- 5/16" CUPNER BR (IMP)
- FORMAL SHIMMER
- 1/4" FUSION BR
- 1/4" ON 4" S/W/IB
- PRET BR (IMP)
- 12" LAPPED AND
- CELANO (IMP)
- 20" WOOD FRAMING #7
- ON 12" @ 16" (IMP)
- 1/4" BRK BR (IMP)
- APPROX. FINISHED GRADE
- 16" 1/2" 2x4 BRICK
- PAPER (IMP)
- LATHICE PANEL (IMP)
- BROWN WATERABLE #7
- ROCKWOOL - 10"

RIGHT-SIDE ELEVATION

NOTE:
 WINDOWS AND DOORS ARE TO WOOD
 OR CLAD AND HAVE SIMULATED OR
 TRUE DIVIDED LITES.

REAR ELEVATION

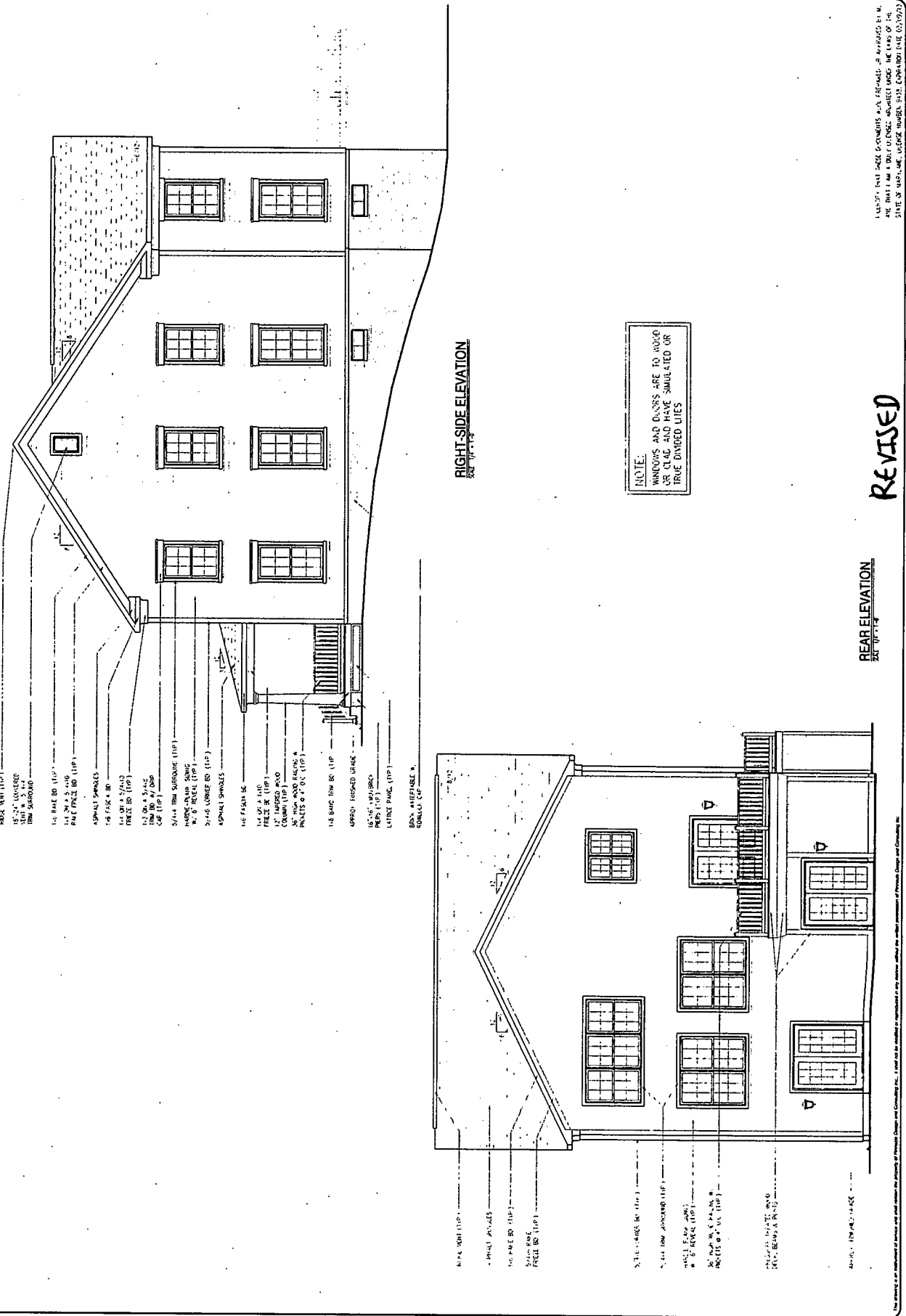


- FACE BRK BR (IMP)
- FORMAL SHIMMER
- 1/4" BRK BR (IMP)
- 3/16" BRK BR (IMP)
- 3/16" BRK BR (IMP)
- 5/16" CUPNER BR (IMP)
- 5/16" THIN SHIMWOOD (IMP)
- HARVEY-BLANK SIDING
- 7/8" RICKA (IMP)
- 20" WOOD FRAMING #7
- ON 12" @ 16" (IMP)
- 16" 1/2" 2x4 BRICK
- CELANO, BEAMS & JOISTS
- APPROX. FINISHED GRADE

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME
 AND THAT I AM A QUALIFIED ARCHITECT UNDER THE LAWS OF THE
 STATE OF WASHINGTON LICENSE NUMBER 114210-0001 (12/26/17)

PRELIMINARY PLAN

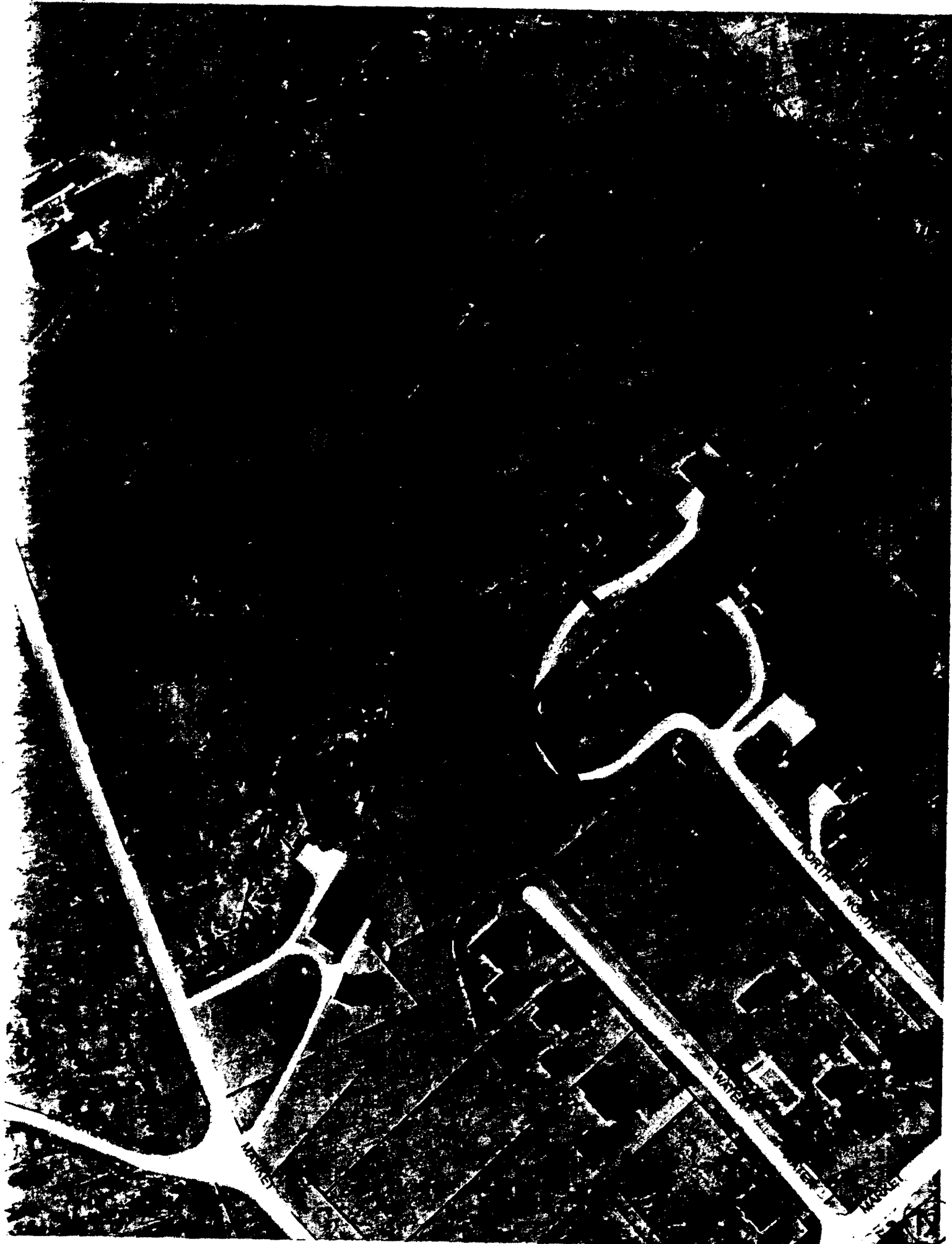
4



REVISED

REAR ELEVATION

This drawing is for informational purposes and does not constitute a contract. The information contained herein is subject to the terms and conditions of the contract between Pinnacle Design & Consulting, Inc. and the client. All rights reserved.



Matt Pollock Draw p. (16)

Existing Property Condition Photographs (duplicate as needed)



Detail: Picture of front of lot from right of way



Detail: Picture of right side of lot from right of way

Applicant: Math Pollack

Existing Property Condition Photographs (duplicate as needed)



Detail: Picture of LEFT side of lot FROM Right of way



Detail: Picture of 1 North street (neighbor 1)

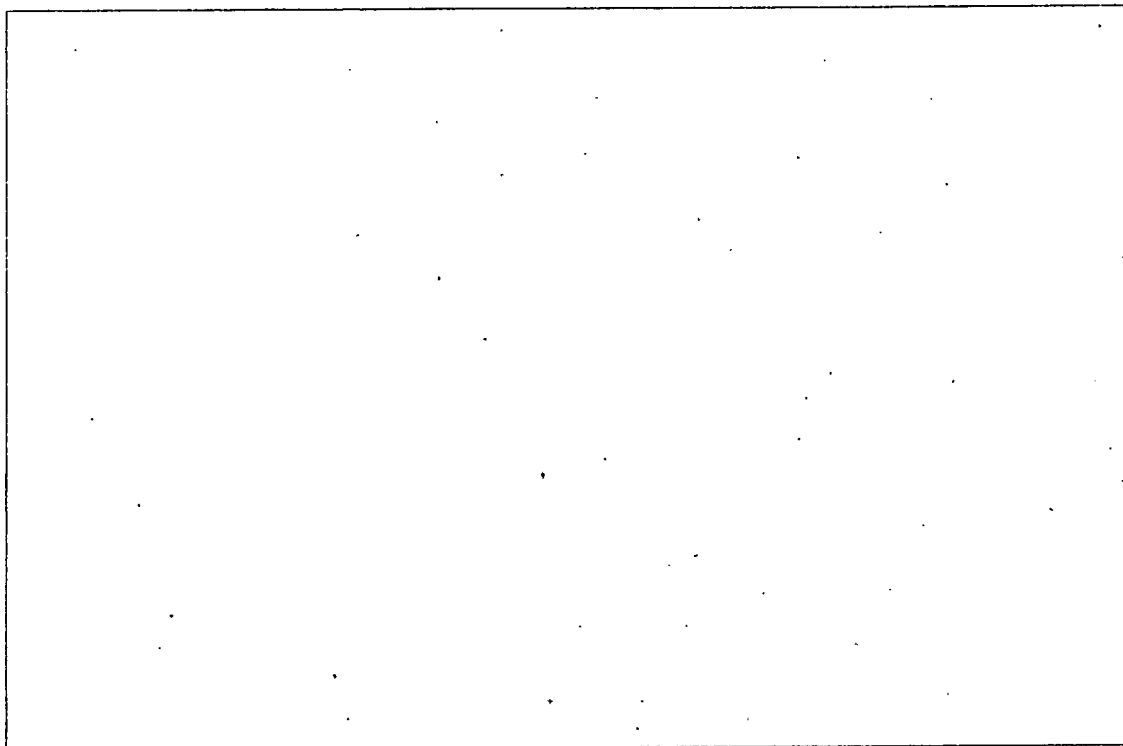
Applicant: Math Pollock

Page: 2

Existing Property Condition Photographs (duplicate as needed)



Detail: Picture of 2 North St. (Neighbor 2)



Detail: _____

Applicant: Matt Pollock

HPC Meeting Transcript

September 7th 2011

1 MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

2 ----- X
3 PRELIMINARY CONSULTATION - :
4 4 North Street :
5 ----- X
6 PRELIMINARY CONSULTATION - :
7 7817 Hampden Lane :
8 ----- X

9 A meeting in the above-entitled matter was held on
10 September 7, 2011, commencing at 7:31 p.m., in the MRO
11 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
12 20910, before:

13 COMMISSION CHAIRMAN

14 Leslie Miles

15 COMMISSION MEMBERS

16 Sandra Heiler
17 M'Lisa Whitney
18 William Kirwan
19 Paul Treseder
20 John Jessen

21
22
23
24
25

ALSO PRESENT:

Scott Whipple
Anne Fothergill
Joshua Silver

APPEARANCES

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Matt Pollock	9
Graham Dower	34
Anne Decker	43

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1 MS. MILES: Before I ask for a second, I was going
2 to note that there was a slight error that the first case is
3 37/03-11KK, and is there a second?

4 MS. WHITNEY: I second.

5 MS. MILES: All in favor please raise your right
6 hand.

7 VOTE.

8 MS. MILES: These HAWPS are unanimously agreed to.
9 If these were your cases, thank you for putting together
10 cases that we could approve expeditiously. If you would
11 please call the staff person you've been working with
12 tomorrow to find out how to proceed, and thank you very
13 much.

14 The next matter is a preliminary consultation on 4
15 North Street in Brookeville. Would the applicant please
16 come forward.

17 (Discussion off the record.)

18 MS. MILES: If you would, please identify yourself
19 for the record.

20 MR. POLLOCK: My name is Matt Pollock for 4 North
21 Street.

22 MS. MILES: Thank you. We do have a staff report,
23 do we not? Josh, if you'd please.

24 MR. SILVER: We do. 4 North Street is a vacant
25 lot in the Brookeville Historic District. The applicant is

1 proposing to construct an approximately 1650 square foot
2 two-story house on a vacant lot in the Brookeville Historic
3 District. Material treatments for the house include fiber
4 cement siding. There's a discussion that needs to be had
5 about whether simulated or true divided light wood windows
6 with cladding are proposed, and doors, asphalt shingle
7 roofing, a brick veneer foundation, and materials for the
8 front porch and rear yard deck will consist of a paintable
9 wood product for all vertical features.

10 Staff supports the proposed design concept for
11 construction of a new house at the property. Staff finds
12 the proposed work as being consistent with the review
13 criteria of Chapter 24-A(8)(b)(2) and (6)(d) and Standard 9.
14 Staff finds the proposed construction of a single family
15 home on this lot will not seriously impair the historic
16 architectural value of the historic resources in the
17 vicinity of the property or impair the character of the
18 district. The subject property is surrounded by an
19 undeveloped lot to the south, new construction to the
20 northeast, and a protected conservation easement area
21 roughly to then north.

22 The proposal is compatible in character and nature
23 with the architectural features of the district. The size
24 and orientation and setback for the proposed house is
25 consistent with the existing non-historic house located to

1 the right, and staff supports the proposed material
2 treatments, finding them appropriate for new construction.
3 And furthermore, the proposed work will not destroy historic
4 materials, features and spatial relationships that
5 characterize the property. This is for construction of a
6 new house on a vacant lot. As such there will be no impact.

7 Staff recommends the installation of an
8 alternative window arrangement on the left and right side
9 elevations in order to maintain a more appropriate solid to
10 void ratio. Furthermore, staff recommends additional
11 spacing between the parrot windows on the side elevations to
12 make the windows appear more consistent with the traditional
13 design of the house.

14 Staff also recommends adjusting the relative
15 height of the second floor windows in relationship to the
16 roof views on both side elevations. The side elevation
17 drawings show the tops of the windows as being immediately
18 below the bottom of the eaves, and a more balanced window
19 arrangement would address this concern.

20 Staff supports the installation of a gravel
21 driveway and front walkway. The site plan does show a
22 footprint for a garage. The applicant is not proposing a
23 garage at this point in time, but staff would support a
24 detached garage in that location in the future.

25 Staff is asking the HPC to provide the applicant

1 with guidance on the following items to determine if the
2 proposed design is compatible with the character of the
3 district, if the proposed material treatments are compatible
4 with the character of the district, and for new infill
5 construction, and determine if the proposed window
6 arrangements and expression would be approvable if submitted
7 as a historic area work permit.

8 And, I do have a couple slides here I can show
9 you. I realize that the aerial photo in the staff report
10 was difficult to see but, the yellow star is the property in
11 question. It's a little more of a close up of that. What's
12 not shown is immediately to the right of the star is where
13 the new construction is, which is on the last page of the
14 staff packet. The GIS did not capture that.

15 Some aerial views. There's a better sort of shot
16 of the new construction and sort of the context, and what
17 you're dealing with is this tucked back on a cul-de-sac
18 road. Again, it's a conservation easement sort of surrounds
19 it on the back. This property was subdivided. There is a
20 third buildable lot to the left of this lot. So this would
21 be the second phase of subdivision, or construction of the
22 subdivision. And a little bit of a different angle there as
23 well.

24 And then this is the houses that are in the
25 immediate vicinity. So the bottom slide to your north is

1 the one that's immediately to the right, and 9 North is a
2 little just further to the south. We don't have our
3 pointer, sorry. And 1 North would be if you're looking at
4 the front of the proposed lot, or the lot, it would be to
5 the right of 2 North Street. That's all I have.

6 MS. MILES: I have a quick question. Is 1 North a
7 historic resource?

8 MR. SILVER: Yes, it is.

9 MS. MILES: Okay, thank you. Does anyone have any
10 questions for staff?

11 MR. JESSEN: The roofing on 9 North, is that
12 asphalt shingle or is that slate?

13 MR. SILVER: I can't say for certain. I don't
14 recall, but I think it is asphalt. It is a new
15 construction.

16 MR. WHIPPLE: It looks like Commissioner Heiler is
17 nodding that yes, in fact it is asphalt.

18 MR. JESSEN: Thank you.

19 MS. MILES: Are there any other questions for
20 staff? Okay, Mr. Pollock, we'll either let you make a
21 presentation or respond to questions. How would you like to
22 proceed?

23 MR. POLLOCK: I'm ready for questions. I think
24 Josh nailed it on the head for me, so. There's a couple of
25 changes. Would I address it at this point or?

1 MS. MILES: Yes, please tell us what you've done
2 to change it.

3 MR. POLLOCK: I guess like for the, for the
4 railing, I didn't know if I'm able to do like iron rails
5 instead of deck rails, just for safety issues I'm thinking
6 for my daughter.

7 MS. MILES: Do you mean iron rails on your front
8 porch?

9 MR. POLLOCK: On the rear porch. So instead of
10 wood rails it'd be like an iron rail.

11 MS. MILES: Do you mean iron or do you really mean
12 aluminum?

13 MR. POLLOCK: Aluminum rails, I'm sorry. Yes.

14 MS. MILES: Okay.

15 MR. POLLOCK: So that you'd see like on a, on a
16 like a house with trek stacking.

17 MS. MILES: Anything else that you've changed that
18 you feel you need to point out?

19 MR. POLLOCK: Yeah, the thing is I'm not going to
20 be able to afford the geothermal, unfortunately, so it's
21 going to go back to a two zone system. So there will be
22 outdoor units. I haven't decided where to put that. I
23 guess maybe you guys can help me if there's somewhere you
24 guys would like to see that. And then the last thing is, I
25 haven't decided between true divided or simulated windows

1 for, if I'm going to do the aluminum clad on the outside.
2 But I'm hoping to narrow that down once we go through the
3 next steps.

4 MS. MILES: I'm sure you'll get some feedback on
5 that, and I would urge you to put your condensers on the
6 side of the house where you don't have a neighbor yet. I
7 think that's probably just smarter.

8 MR. POLLOCK: Okay. Right.

9 MS. MILES: Shall we go down the commission?
10 Commissioner Treseder, do you want to begin?

11 MR. TRESEDER: Sure, I'll make just a few
12 comments. I really want to agree with the staff that the
13 windows on the side should be possibly grouped differently.
14 In general, I would like to see you avoid the effect of
15 having a front facade which is historic, and then as soon as
16 you turn the corner it changes. The worst example of this
17 are the houses that just put brick on the front and then it
18 changes to vinyl siding as soon as you turn the corner.
19 And, traditional good historic architecture was really a
20 unified house. You wouldn't automatically change the
21 detailing just because you're no longer facing the front of
22 the street.

23 So for that reason, the windows on the side, you
24 know, were treated more similarly to the windows in the
25 front. And I also noticed, it looks to me like you're

1 proposing to do a special head trim on the windows in the
2 front, and yet as soon as you turn around the corner, the
3 side, you're sort of take that off, like to save money, and
4 that's probably why you're doing it, but that to me is, you
5 know, again, indicative of this phenomenon of cheaping as
6 soon as you turn the corner. And to the extent that the
7 house could be thought of as every facade is almost of equal
8 importance instead of just the front, I think, and I don't
9 think it would take a lot to do that, and I think that could
10 really improve the overall look.

11 I'm not quite, I'm not sure if I agree with the
12 staff report about the windows on the side having to be
13 higher or not. I don't think that's, personally, I don't
14 think that's critical, but I do think that having the trim
15 and the spacing be more similar to the front is a good
16 recommendation, and I would encourage you to, you know, take
17 that. And that's really my main comment.

18 MR. POLLOCK: Am I able to ask you a question?

19 MR. TRESEDER: I don't know.

20 MR. POLLOCK: Am I able to follow up with --

21 MS. MILES: Yes, go ahead.

22 MR. POLLOCK: So are you happy with how the right
23 side looks, because we actually already changed it once to
24 line those windows up, because now we're starting. Because
25 I went through and did a bunch of research in Brookeville.

1 There are houses that do have, you know, the windows on the
2 side where they don't completely line up. Like for example,
3 the left side elevation.

4 MR. TRESEDER: Oh, I mean second floor to first
5 floor.

6 MR. POLLOCK: Yes, sir.

7 MR. TRESEDER: Yeah. I guess that's less a
8 concern. Just the fact that you've grouped the windows, in
9 the front you've very clearly done individual windows not
10 ganged together. And yet as soon as you turn the corner,
11 you shift over to ganged windows.

12 MR. POLLOCK: I see what you're saying.

13 MR. TRESEDER: I'm not saying that you can never
14 do that because sometimes we obviously, the rules are made
15 to be broken, but overall, I think that that's the effect
16 that, that's why the sides feel so different.

17 MR. POLLOCK: So you'd like to see single hung
18 windows rather than double?

19 MR. TRESEDER: Well, not single hung, but not
20 ganged together like that. Maybe on the back it's more
21 acceptable, but on the sides I would like to see the sides
22 be more compatible with the front. In the back I guess you
23 can get away with, this of course is my opinion, the other
24 commissioners may feel differently but, I would definitely
25 encourage you to use the same trimming details on the sides

1 that you do in the front. It seems to me just one way to
2 help unify the structure.

3 MR. POLLOCK: Sounds good.

4 MR. TRESEDER: And this is not a comment so much
5 as a question. I was just curious how you picked the roof
6 pitch, the 6 . 12 roof pitch. Was that just sort of?

7 MR. POLLOCK: It's just something that, my
8 architect was supposed to be here with somebody else, they
9 forgot that it was their son's birthday. So this is
10 something, plans that we have had, just that they've already
11 had set up.

12 MR. TRESEDER: Well, it might be useful to look at
13 roof pitches of some of the historic houses. See if that is
14 similar or if that, you know, see if there's a pattern.
15 Good roof pitch is a very character, you know, give a lot of
16 character to a house and so that would be a, I don't think
17 it necessarily, you know, adds or subtracts from the cost
18 much. So it's an easy thing to get right. So I would
19 encourage you to do a survey of similar houses.

20 MS. HEILER: I'd also, I think you've chosen a
21 nice traditional design. There are a wide variety of styles
22 of the historic houses in the Brookeville district. There
23 are Federals and Italianate, Arts and Crafts. There are
24 traditional Maryland farmhouse looking buildings. I think
25 this fits in nicely with the variety of styles that are

1 there.

2 I do have some things that I think would make it
3 more compatible with the historic district even though it is
4 a new house. And, as Commissioner Treseder has mentioned,
5 the roof pitch is one of those things. If the staff could
6 put up the first of the aerial photos. It shows houses on
7 the next street. If you look, you see the house to the far
8 left with a green roof, that's Water Street. And there are
9 three houses there are very similar in the style to what
10 you're proposing in size.

11 They're all relatively new houses. There are no
12 historic houses facing Water Street. But it makes sense to
13 take some cues from them because they've all passed muster
14 with the Historic Preservation Commission, and they all have
15 much, a steeper roof pitch and they all have either wood or
16 metal roofs. And if you live around the historic district,
17 almost every house, not everyone, but almost everyone has
18 metal or wood. And I think that makes an enormous
19 difference in the character of the house.

20 You had mentioned deciding between true divided
21 lights and simulated divided lights. And since it is a new
22 house, I would have no objection to the simulated divided
23 lights, and you'll probably find them much easier to come
24 by. True divided lights are hard to find in wood.

25 I agree with the staff on the fenestration of the

1 sides. The double and triple windows, I think, just don't
2 go with the windows on the front of the house. And I notice
3 the mutton pattern, I'm assuming that this is just an
4 artifact of the drawing and that you really would use
5 something much more traditional like six over six or
6 something. These are four over four in the picture.
7 There's also, it looks like a window in the door which seems
8 incompatible with your doorway with the transom and the side
9 lights. Then you probably don't need a window if you have a
10 transom and side lights.

11 And finally, the foundation in brick veneer. I
12 think if you look through historic district they're all
13 stone foundations, and I would not object to a stone veneer.

14 But I think a brick veneer would stand out. It's just very
15 different from the rest of the houses, especially, you know,
16 there are other houses that are quite similar to what you're
17 proposing. The three on North Street, and there's another
18 house of the same period that's probably 202 Market Street.

19 It's the relatively new house at the bottom of Market
20 Street, which is also very similar to what you're proposing
21 and it has a metal roof. So I don't object to the fiber
22 cement siding. I think it will look enough like wood to be,
23 you know, compatible with the other things in the district.

24 But I think you should definitely take a careful look at
25 those three houses on North Street because they're so

1 similar and they're compatible with the district. In one
2 way that they achieve that I think is through the materials.

3 MS. MILES: Commissioner, did you mean on Water
4 Street? You just said on North Street. I just want to
5 clarify.

6 MS. HEILER: I do mean on Water Street.

7 MS. MILES: Thank you.

8 MR. POLLOCK: So, as far as like the stone and the
9 brick veneer, one of the reasons why I chose brick is
10 because the neighbor's house has the brick veneer, and I'd
11 seen some other houses with brick veneer. Is that something
12 that would kind of be where you definitely don't want to see
13 brick?

14 MS. HEILER: I think given the traditional design
15 that you've gone with, brick veneer doesn't match it. The
16 neighbor's house is really an Arts and, it's a new house,
17 but it's an Arts and Craft style. If you look at the new
18 houses that are much closer in style to what you have, you
19 know, I would not reject an application because of the brick
20 veneer on the foundation, but I think it would be closer to
21 what you have. There are also some pictures of a couple of
22 houses that are almost identical to what you've proposed,
23 which were the two houses that burned on Market Street, and
24 they have stone foundations. They had standing seam metal
25 roofs. So there's some pictures of them at the Sandy Spring

1 Museum.

2 MR. POLLOCK: Okay, thank you.

3 MR. KIRWAN: Well I agree with all the comments of
4 my colleagues so far. I do want to sort of stress the
5 importance of the side elevations, being at this location on
6 the street, I find the side elevations are as important as
7 the front elevation. So I think the rigor that went into
8 the design of the front elevation, as Commissioner Treseder
9 said, really ought to apply to the other two sides as well.

10 I also would strongly support and prefer a vertical
11 stacking of windows, in addition to the comments that
12 Commissioner Treseder suggested about individual windows as
13 opposed to gang windows. Again, I think that's an important
14 element to organizing the facade and maintain that historic
15 character.

16 But I think all of the other comments are very
17 good and right on the mark, and I don't have anything else
18 to add.

19 MS. WHITNEY: My comments are almost the same. I
20 want to add something original but, I am at a loss. I think
21 the strongest thing that I'd like to add is the wooden
22 windows. I don't feel it necessary to do true divided
23 light. I lived in a house with those, be aware. But wooden
24 would definitely fit more in with the character of the
25 neighborhood. And, ditto to everyone who has spoken before

1 me.

2 MR. JESSEN: I'd like to go back to the side
3 elevation just for a minute. I think there's one thing I
4 would add that might help it feel just a little bit more
5 compatible with the other houses. And I'm looking at the
6 aerial view on the screen. There's a lot of articulation in
7 these houses and when I look at the side elevation that you
8 have drawn, I think that if you could separate that back
9 addition from the main house, just by setting back that wall
10 six inches, a foot, so that you had some symmetry. And
11 stacking the windows I think is really important as well.
12 But if the back addition didn't feel like just an extension
13 on the side wall, and you had a little bit of articulation
14 on the left and the right elevations. Do you understand
15 what I'm saying?

16 MR. POLLOCK: I'm a little bit, no, I'm not
17 really.

18 MR. JESSEN: It's easier for me to draw it. But I
19 can't.

20 MR. POLLOCK: Okay.

21 MR. JESSEN: I think if you consider the back part
22 of the house as a separate element that meets the front
23 ridge line, like you see in the left elevation. If you came
24 down the roof line --

25 MR. POLLOCK: This one?

1 MR. JESSEN: Right there. If you drew a straight
2 line down, exactly, and you took the back part of the house,
3 that left side of your elevation and pushed it back six
4 inches, and you would create a line there that would give
5 some symmetry and order to that side elevation.

6 MR. POLLOCK: Oh, I see what you're saying.

7 MR. JESSEN: I'm just suggesting if that were the
8 case on both sides, you'd get a little bit of articulation,
9 visual articulation on that house, that would be a little
10 bit more compatible with some of the features of these
11 houses you see on the screen where there are components of
12 the house that come together, but they're defined, they're
13 helping to define the space so it's not just one long wall.

14 Part of the problem with the windows is, you know,
15 they're kind of irregular. That line will help organize
16 that elevation and it might give you a little bit more
17 flexibility with where those windows go, and it will break
18 down that long side wall. Other than that, I agree with all
19 the comments that I've heard from the other commissioners.
20 Thank you.

21 MR. POLLOCK: Okay, thanks.

22 MS. MILES: Me too. I have a very small original
23 thing to say, which is that I don't think it should be six
24 or sixes, with all due respect Commissioner Heiler. I think
25 they should be two over ones, given this design. But yes, I

1 do think that the four over fours are not the right mutton
2 pattern for this style of house. But I think the most
3 important issues, I think that was a very good comment,
4 Commissioner Jessen, in terms of the organization of the
5 fenestration of the side elevations, which I think are very
6 disorganized, and it doesn't look like two masses. It just
7 does kind of look like a continuation instead of two masses
8 that have come together.

9 So I think you've heard some unanimity on the
10 commission. Everybody seems to feel exactly the same. So I
11 think you've got some really good guidance, even if you get
12 different members. You know, we do have others who aren't
13 here this evening. I think you're going to hear pretty
14 similar reactions. So, do you have any questions for us?

15 MR. POLLOCK: The only thing that I guess that I
16 have, let's say if I was to get rid of those double windows
17 on the right side elevation and was to keep those, basically
18 put just a single window in the middle there, is that
19 something that you guys would find that you think you would
20 like or?

21 MS. MILES: I think we shouldn't respond to
22 tonight's possible changes. I think what I'd say is, you
23 should speak to your architect about the issues that we
24 raised and figure out how it's going to work with your plan
25 and come back to staff. I think they have a pretty clear

1 sense of what we're looking for.

2 MR. SILVER: You were also asked by the applicant
3 at the beginning about aluminum railings on the rear.

4 MS. MILES: Yes, that is my only other point.
5 You're right, I wrote that down. Is the back porch visible?

6 MR. POLLOCK: If you're driving, let's see. You
7 see how it comes around there, you see the arrow, that's
8 where the house is. When you're coming around you'd be able
9 to see it, I guess, from that back side.

10 MS. MILES: If this is a visible elevation, my
11 personal opinion would be that aluminum would not be
12 appropriate. But I would like to hear from others. Could
13 you all just weigh in quickly on that subject?

14 MS. WHITNEY: It would be fine if it was painted.

15 MS. HEILER: Just raw metal, metallic is not --

16 MR. POLLOCK: It comes out like a prime white
17 aluminum.

18 MS. WHITNEY: I wouldn't have an issue with that
19 unless it's so eye-catching that you see it from the street.

20 MS. HEILER: I think it should be wood. It's very
21 visible from the, as you come around that corner on North
22 Street. There's a lot of foot traffic there.

23 MR. POLLOCK: Okay.

24 MR. JESSEN: Could you reiterate why you would
25 want to go with the aluminum versus the wood?

1 MR. POLLOCK: I just feel like the aluminum is a
2 lot more sturdy than the wood. I have a deck now with wood
3 railings and just having two daughters, you can feel that
4 they're starting to shake. With the aluminum they just seem
5 like they're so much more sturdy with drilling them right
6 down into those four by four posts underneath. So it's my
7 main concern. I don't really care cosmetically how it
8 looks, it's just more of a safety thing for me.

9 MR. TRESEDER: I think if you brought in a
10 specific example of the system. I would say there may be
11 some systems that from a distance would be, portions would
12 be the same as wood in my opinion because it's in the back
13 and you'd be seeing it at a distance, if you limit the
14 proportions and perhaps a PVC system. And some of those are
15 designed to screw together and be very rigid and solid, but
16 if you were thinking like just, most people, when they think
17 of aluminum think of thin proportions, you know, different
18 than wood proportions.

19 MR. POLLOCK: Right.

20 MR. TRESEDER: And I don't think the commission, I
21 don't hear much support for that. But if you could show an
22 example of something that had the proportions of wood, you
23 might get support. But again, other commissioners might
24 feel differently.

25 MR. POLLOCK: Okay, thank you.

1 MR. KIRWAN: I agree with Commissioner Treseder.
2 I think there might be an appropriate aluminum system out
3 there that would meet all the, you know, the historic
4 detailing that we're looking for. But I think we have to
5 see, you can show it to staff, and staff would bring it to
6 us for review.

7 MR. POLLOCK: Okay, great.

8 MS. HEILER: I'd like to take back what I said.
9 If it looks like a traditional railing, then it would be
10 fine.

11 MS. MILES: I'd point out to you that if it looked
12 like a traditional wood system, it would cost way more than
13 a traditional wood system. So I think you'd probably go
14 back to the wood. Thanks. Do you have any other questions
15 for us?

16 MR. POLLOCK: No. I guess just the next process I
17 can talk to Josh about all that.

18 MS. MILES: Yes. Thank you very much. Next we'll
19 be hearing Case C for a preliminary consultation at 7817
20 Hampden Lane in Bethesda. And the applicants can come
21 forward, but I will, of course, turn to staff and say, do we
22 have a staff report?

23 MS. FOTHERGILL: We do.

24 MR. JESSEN: Madame Chair, I will recuse myself
25 from this case.

Existing Property Condition Photographs (duplicate as needed)



Detail: Picture of front of lot from right of way



Detail: Picture of right side of lot from right of way

Existing Property Condition Photographs (duplicate as needed)



Detail: Picture of LEFT side of lot FROM Right of way

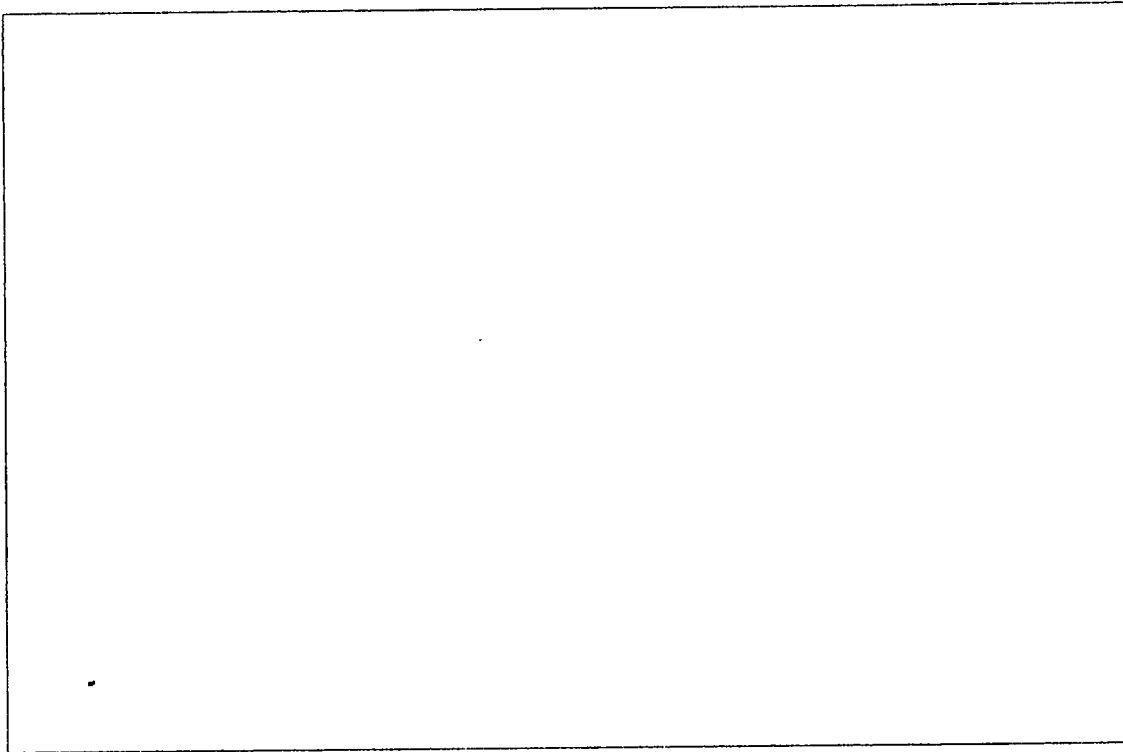


Detail: Picture OF 1 North street (neighbor 1)

Existing Property Condition Photographs (duplicate as needed)



Detail: Picture of 2 North St. (Neighbor 2)



Detail: _____

Applicant: Matt Pollock