

205 MARKET STREET, BROOKEVILLE
[HPC CASE # 23/65-13 B]

BROOKEVILLE H.D.



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

William Kirwan
Chairperson

Date: August 1, 2013

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #641004, shed roof replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the July 31, 2013 meeting.

Applicant: Sandra and Duane Heiler
Address: 205 Market Street, Brookeville





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Email: sheilerd7@gmail.com Contact Person: Sandra Heiler
Daytime Phone No.: 240-205-2387

Tax Account No.: _____

Name of Property Owner: Sandra + Duane Heiler Daytime Phone No.: 240-205-2387

Address: 205 Market St. Brookeville MD 20833
Street Number City State Zip Code

Contractor: Joe Hines Master Contractor Phone No.: 410-265-5618

Contractor Registration No.: M HICK 87683

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PERMIT

House Number: 205 Street: Market St.

Town/City: BROOKEVILLE Nearest Cross Street: NORTH

Lot: _____ Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|--|--|---|--|--|-------------------------------|--|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input checked="" type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input checked="" type="checkbox"/> Other: <u>replace shed roof</u> | | | | |
- 1B. Construction cost estimate: \$ _____
- 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMMENTS ON NEW CONSTRUCTION AND EXTENSIVATIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMMENTS ON FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sandra D. Heiler Signature of owner or authorized agent July 5, 2013 Date

Approved: V For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 8/1/13
Application/Permit No.: 641004 Date Filed: 7/5/13 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This work would replace the roof of a mid-18th century smokehouse located northwest of the main historic house on this property. The smokehouse is located feet from the kitchen ell. It is believed to have been constructed on its current site.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

This project would replace the current dilapidated t-erme plate (overlapping panels) roof and a much earlier cedar shingle roof (also severely damaged) with a new Perfection cedar shingle roof laid directly on the existing historic purlins. Both early roofs (t-erme dating probably to early 20th c and cedar shingle probably dating to the mid-19th c) are unrepairable. Replace missing fascia boards with rough cut hemlock.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	205 Market Street, Brookeville	Meeting Date:	7/31/13
Resource:	Outstanding Resource Brookeville Historic District	Report Date:	7/24/13
Applicant:	Sandra and Duane Heiler	Public Notice:	7/17/13
Review:	HAWP	Tax Credit:	Yes
Case Number:	23/65-13B	Staff:	Josh Silver
PROPOSAL: Shed roof replacement			

STAFF RECOMMENDATION

- Approve
 Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Brookeville Historic District
STYLE: Federal (main house)
DATE: c1798 (with later additions)

PROPOSAL

The applicants propose to remove and replace a dilapidated early c.20th century terne plate roof and mid c.19th century Cedar shingle roof that is also severely damaged underneath with a Perfection Cedar shingle roof on a smokehouse located in the rear right side yard of the subject property. The proposed Perfection Cedar shingle roofing will be laid directly on and attached to the existing historic purlins of the structure. All missing fascia boards will be replaced with rough cut Hemlock. There are no other changes proposed as part of this HAWP application.

APPLICABLE GUIDELINES

When reviewing alterations within the Brookeville Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1) & (2) having found that the proposal is consistent with the review criteria identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
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House Number: 205 Street: Market St.
Town/City: BROOKVILLE Nearest Cross Street: NORTH
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable.

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: replace shed roof

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

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3A. Height _____ feet _____ inches
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sandra L. Heiler Signature of owner or authorized agent
July 5, 2013 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 641004 Date Filed: 7/5/13 Date Issued: _____

3

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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address Warren Ferris 207 Market St. Brookeville, MD 20833 Duane & Sandra Heiler 205 Market St. Brookeville MD 20833</p>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Warren Ferris 207 Market St. Brookeville MD 20833</p>	<p>Chris Scanlon 203 Market St. Brookeville MD 20833</p>
<p>Merle Johnson 206 Market St. Brookeville MD 20833</p>	

L. 33349 F. 010

Site Plan

PARK TAKING
(PER SURVEY PERFORMED 8-15-06)

N 41°23'37"E 160.34'(COMP)
N 36°54'22"E 162.388'
(PER SURVEY PERFORMED 8-15-06)

S 51°52'15"E
55.29'(DEED)

'REMAINDER
PROPERTY OF
R.S. & D.V. ALLAN
DUANE & SANDRA HEILER
L.5581 F.860
1.0 AC.± (COMP)

N/F
C. & A. SCA
L.29911 F.

N 40°51'00"W 65.76'(DEED)

49°09'00"E
1.55'(DEED)

S 42°32'10"E 143.00'(DEED)

MANOR
BOOK A
18393

N 40°51'00"W 168.79'(DEED)

GRAVEL DRIVEWAY

FRAME
SHED

STONE
PATIO

BRICK
PORCH

2 STORY
BRICK
#205

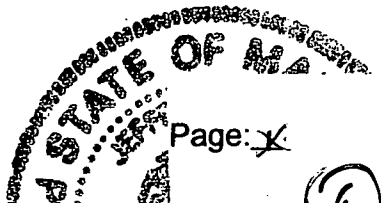
ASPHALT DRIVEWAY

E.00,81.62 S
(DEED), 79.75

Applicant: DUANE A HEILER &
SANDRA I. HEILER

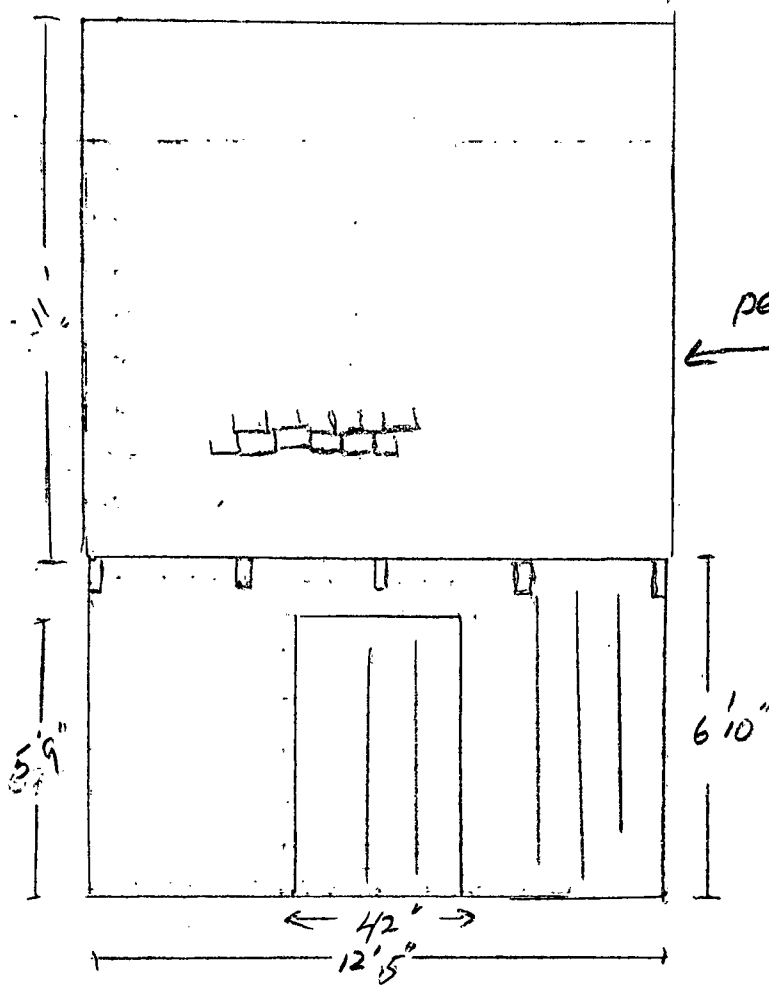
S 48°20'00"W 173.60'(DEED)

MARKET STREET



Page: X

6



perfection cedar
← shingles
5" reveal

hemlock / pine /
sheathing

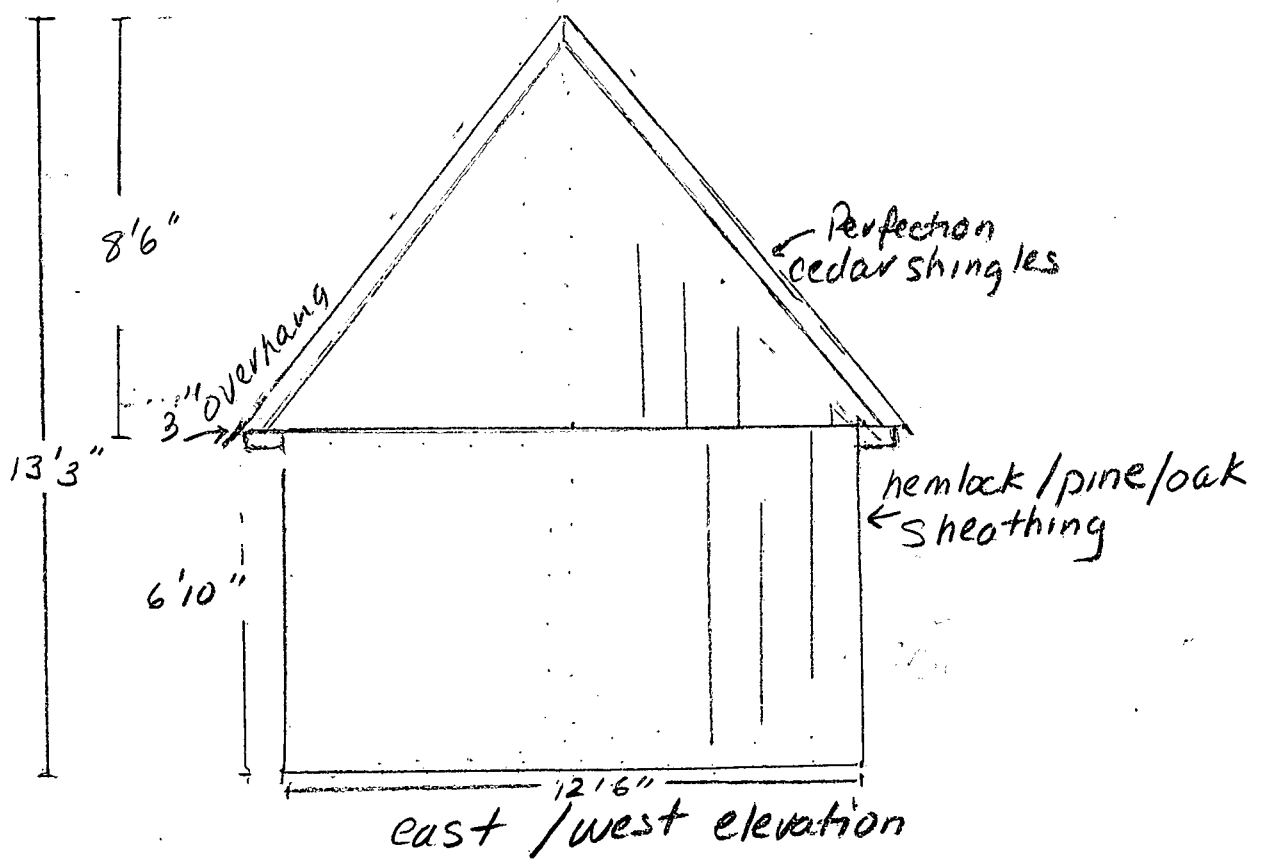
5'9"

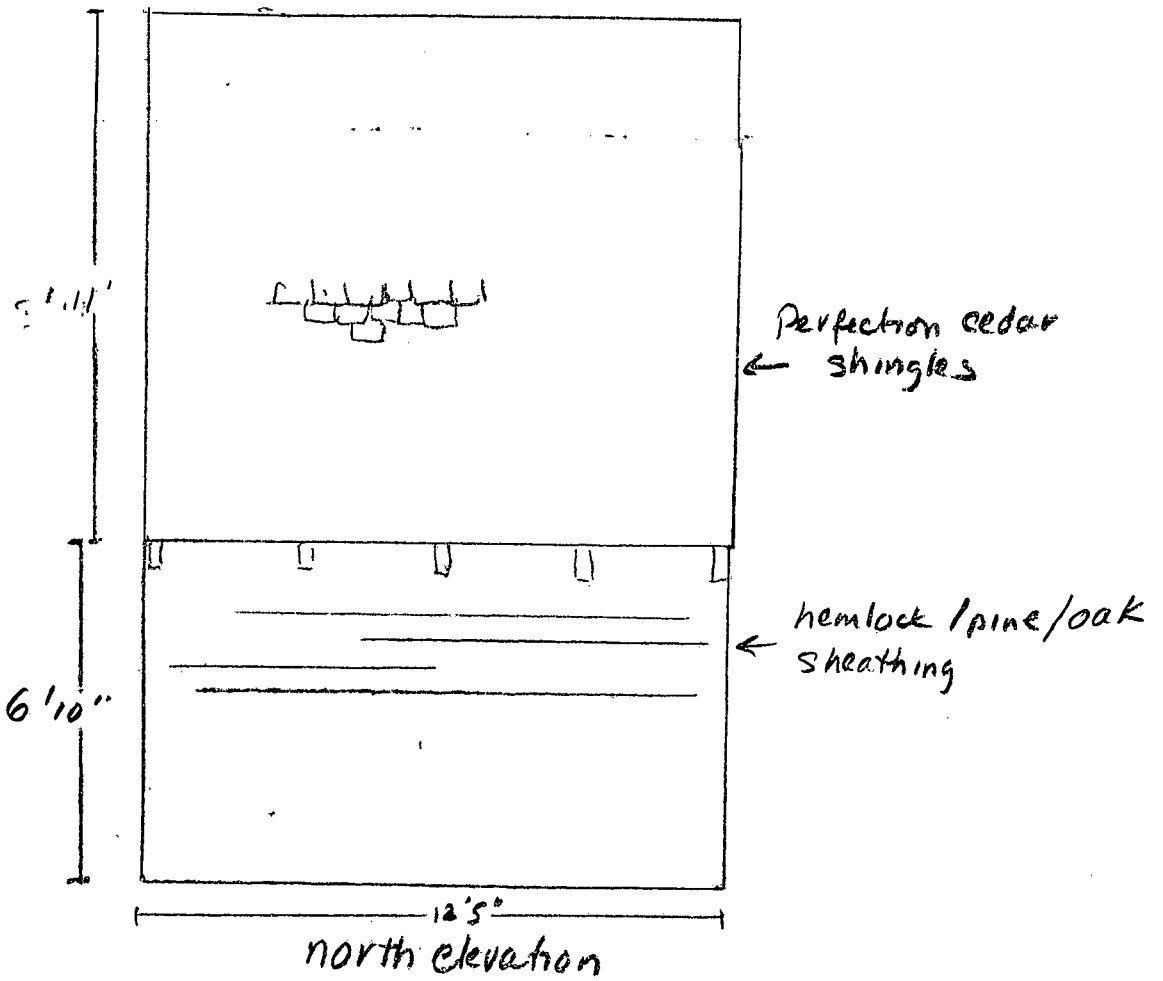
6'10"

← 42" →

12'5"

South elevation





Existing Property Condition Photographs (duplicate as needed)



Detail: north side smokehouse roof - dilapidated terne



Detail: north side corner showing terne over cedar stringer

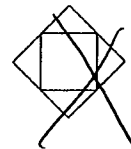
205 Market St., Brookville

Applicant: Sandra & Duane Heiler

Existing Property Condition Photographs



South side showing deteriorated overhang



Shade portion to indicate North

205 Market St., Brookeville MD 20833

Applicant: Sandra + Duane Heiler

Existing Property Condition Photographs



Interior showing earlier cedar shingle roof/purlins



Smokehouse interior showing earlier cedar shingle roof/purlins

205 Market St., Brookeville MD 20833

Applicant: Sandra & Duane Heiler