

1 NORTH STREET, BROOKVILLE
[HPZ CASE # 23/65-13C]
BROOKVILLE H.O.



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

William Kirwan
Chairperson

Date: October 24, 2013

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

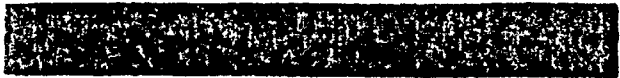
SUBJECT: Historic Area Work Permit #650281, roof, window and front door replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the August 21, 2013 meeting.

Applicant: Katherine Farquhar

Address: 1 North Street, Brookeville





HISTORIC PRESERVATION COMMISSION

301/563-3400

AP#: 650281

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: MBOOZ@MICHEBOOZ.COM Contact Person: Miche Booz Daytime Phone No.: 301 774 6911

Tax Account No.: Name of Property Owner: Katherine Farquhar Daytime Phone No.: Address: 1 North Street Brooksville MD 20833

Contractor: Contractor Registration No.: Agent for Owner: Miche Booz Daytime Phone No.: 301 774 6911

LOCATION OF BUILDING/PREMISE House Number: 1 North St. Street: Town/City: Brooksville, MD Nearest Cross Street: Market St.

PART ONE: TYPE OF PERMIT ACTION AND USE 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable. CHECK ALL APPLICABLE: A/C, Stab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS 2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other. 2B. Type of water supply: 01 WSSC, 02 Well, 03 Other.

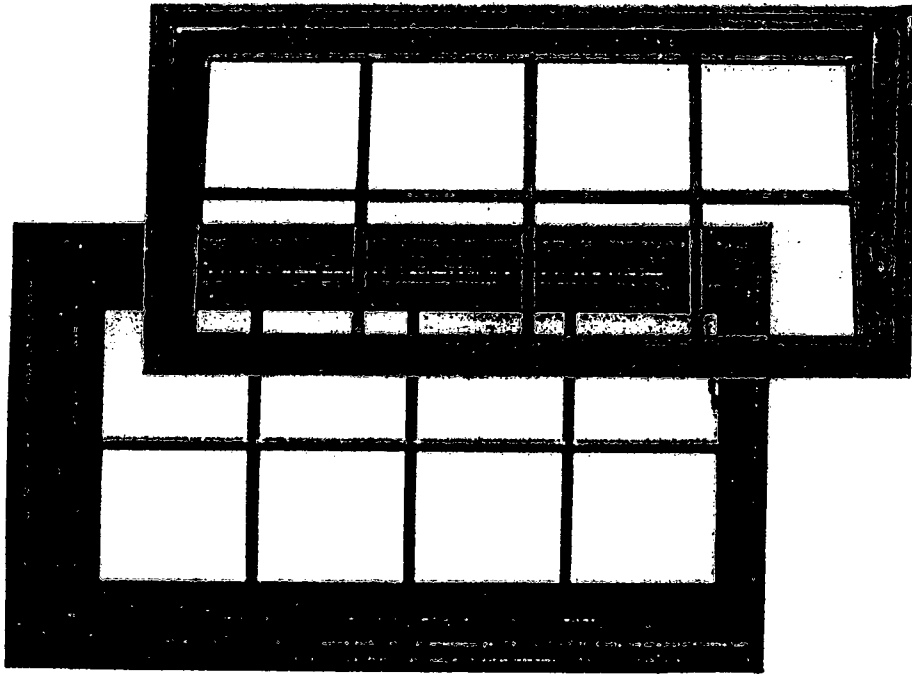
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL 3A. Height: feet inches. 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement.

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 9.4.13

Approved: [Signature] For Chairperson, Historic Preservation Commission Disapproved: [Signature] Date: 10/29/13 Application/Permit No.: Date Filed: Date Issued:

CASEMENT WINDOWS



T-handle



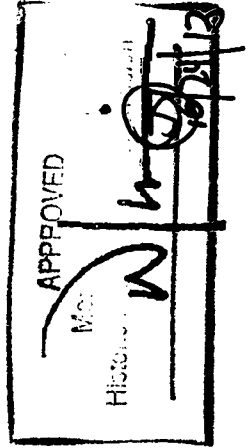
Round Knob



Standard Folding
Nested Handle



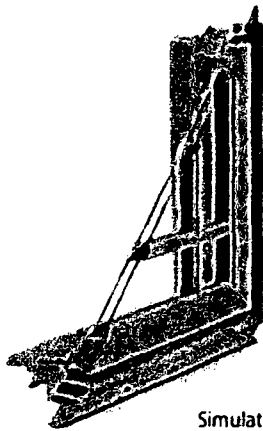
Window Opening Control Device.
Available with optional window
opening control device.



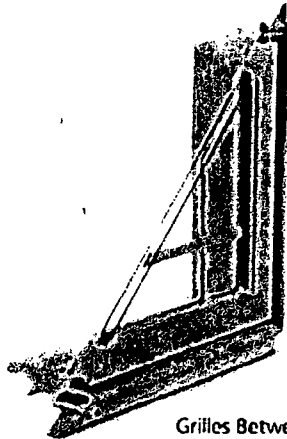
A casement window perfectly complements the simplicity of modern design, while also providing maximum ventilation. This type of window is hinged on either side, so the sash opens outward, to the right or left, in a swinging motion.

DIVIDED LITES

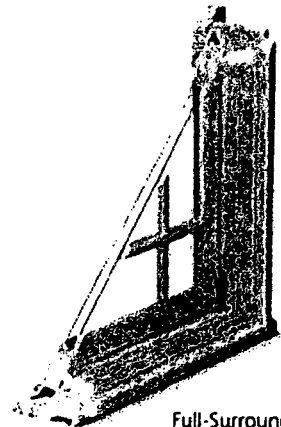
Add architectural interest to your JELD-WEN Sitaline EX windows with one of our divided lite options. These options include simulated divided lites (SDL) for an authentic look, full-surround wood grilles (FS) that can be removed for easy cleaning, and maintenance-free grilles between the glass (GBG).



Simulated Divided Lites (SDL)



Grilles Between the Glass (GBG)



Full-Surround (FS) and Knocked-Down (KD) removable wood grilles

Simulated Divided Lites (SDL)

To achieve an authentic look, select our simulated divided lites (SDL). They feature grilles that are permanently attached to the exterior glass (aluminum for clad-wood exteriors, wood for primed wood exteriors), wood grilles adhered to the interior glass, and optional Light Brown or Silver shadow bars that are placed between the two panes of insulating glass. Grilles are available in 7/8", 1-1/8" and 1-3/8" sizes. We also offer 2-5/16" grilles for the classic look of a checkrail.

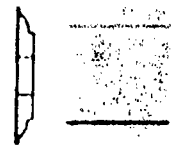
Grilles Between the Glass (GBG)

With grilles between the glass, you'll enjoy the look of divided lites without any upkeep. They are placed between the two panes of insulating glass. Select 5/8" flat or 23/32" or 1" contour metal grilles in any of our clad colors.

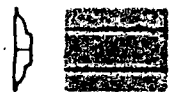
Full-Surround Wood Grilles (FS)

Our full-surround wood grilles can be removed for easy cleaning. Choose from 1-1/8", 1-3/8" or 7/8" grilles that are positioned on the interior glass surface.

2-5/16" Bead



1-3/8" Bead



1-1/8" Bead



7/8" Bead



1-1/8" Putty



7/8" Putty

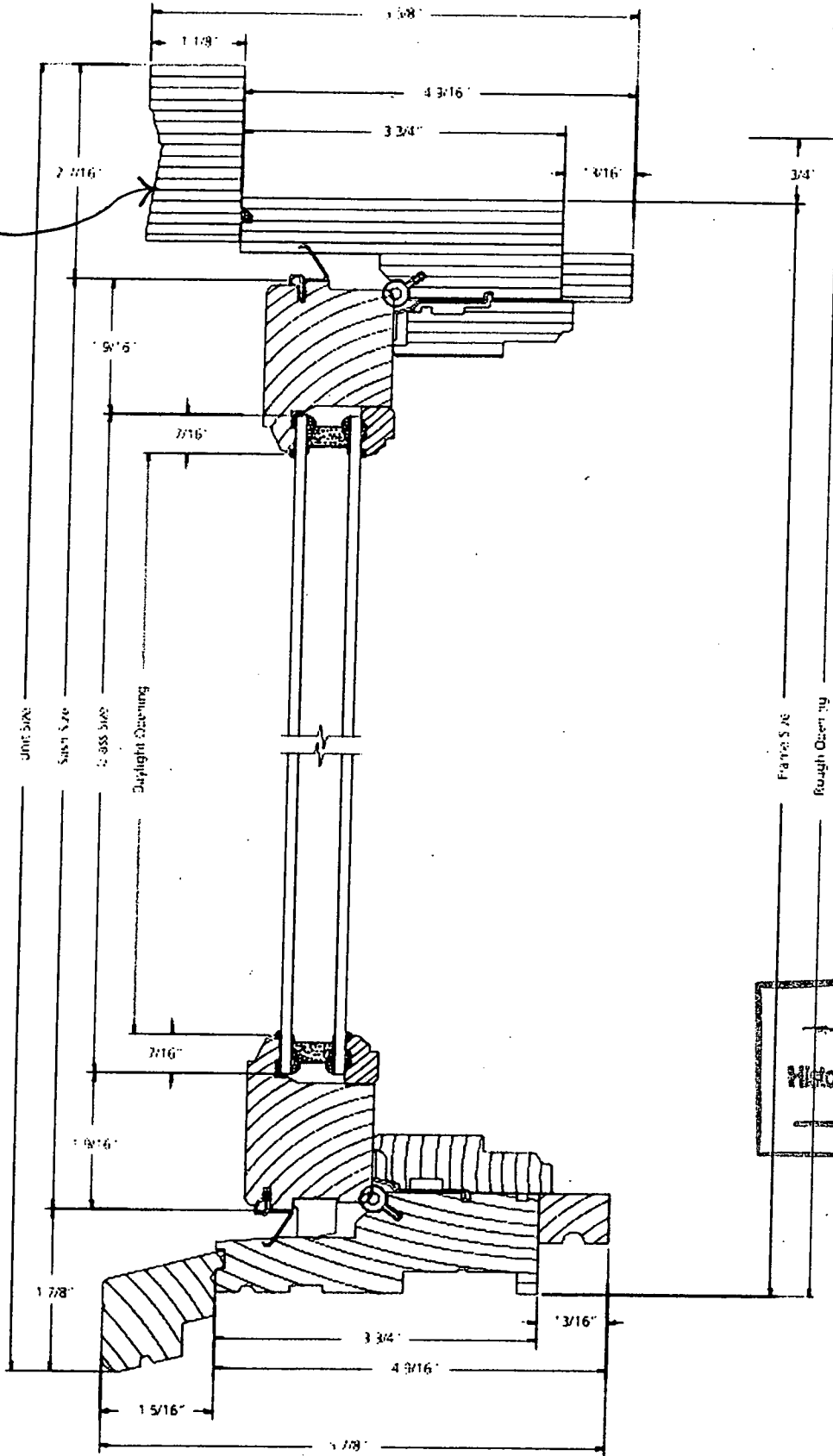


5/8" Putty



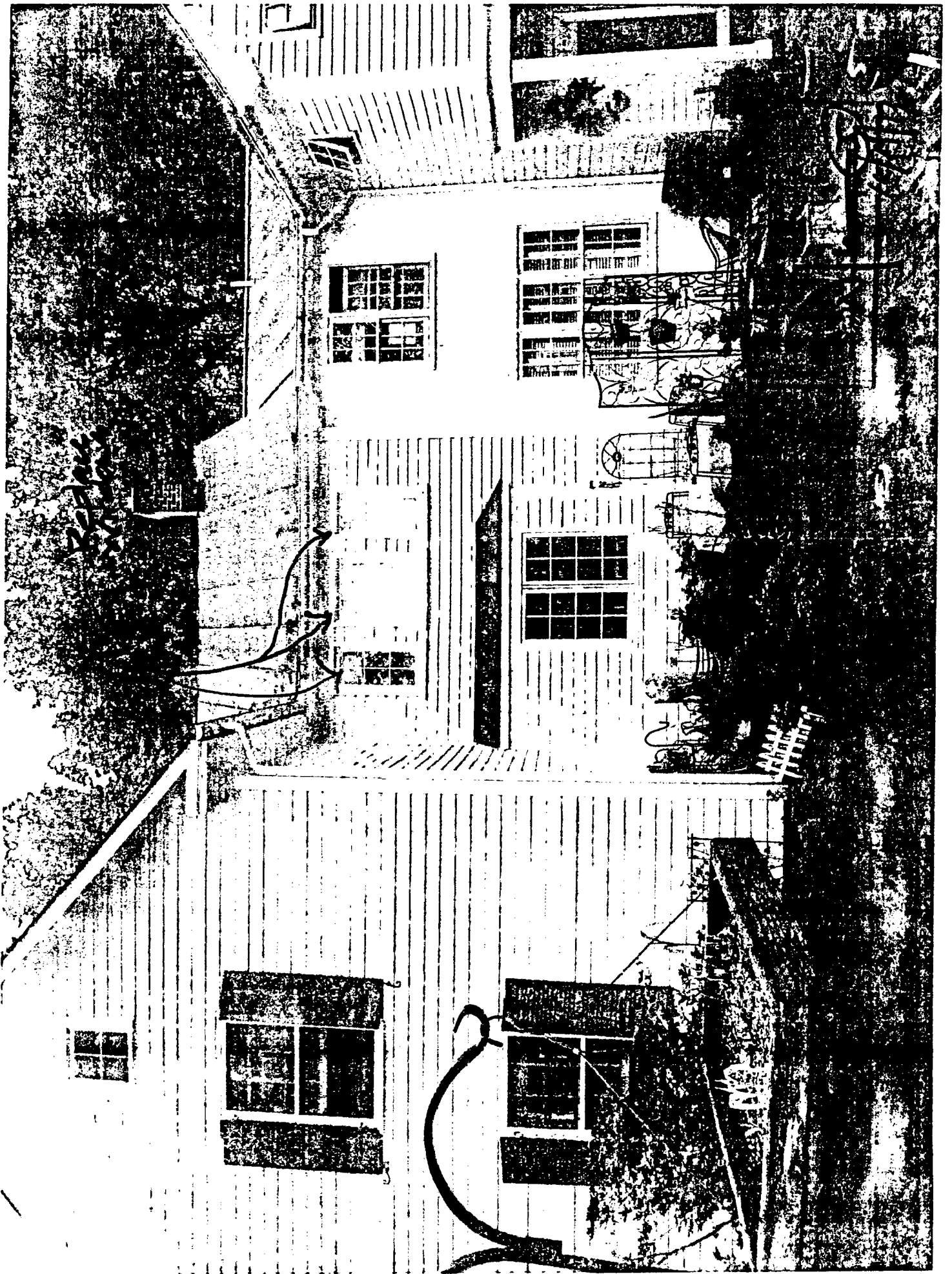
SECTOR TOP UNIT

*Wood
Trim to
Match
House*



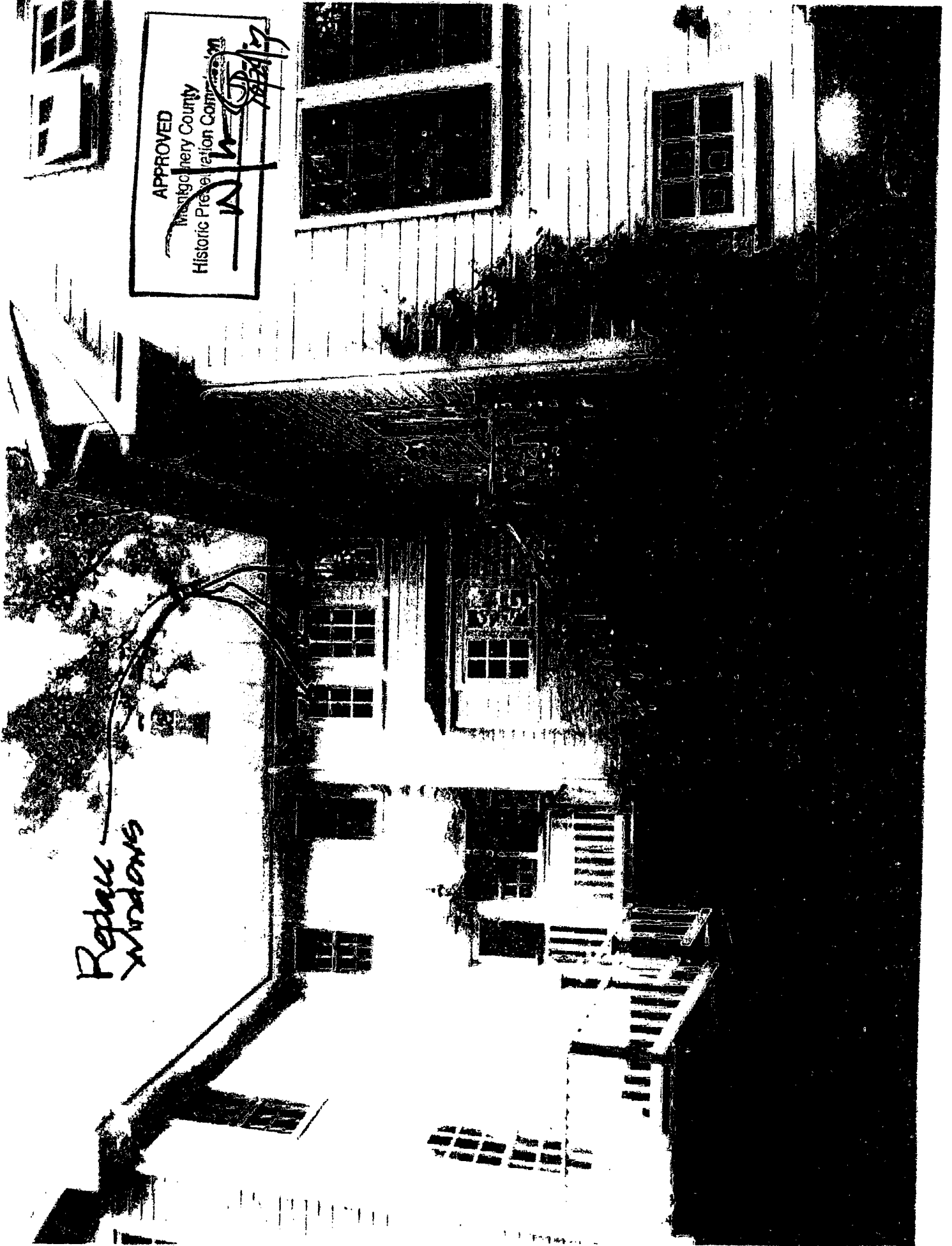
APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
10/21/13

VERTICAL SECTION

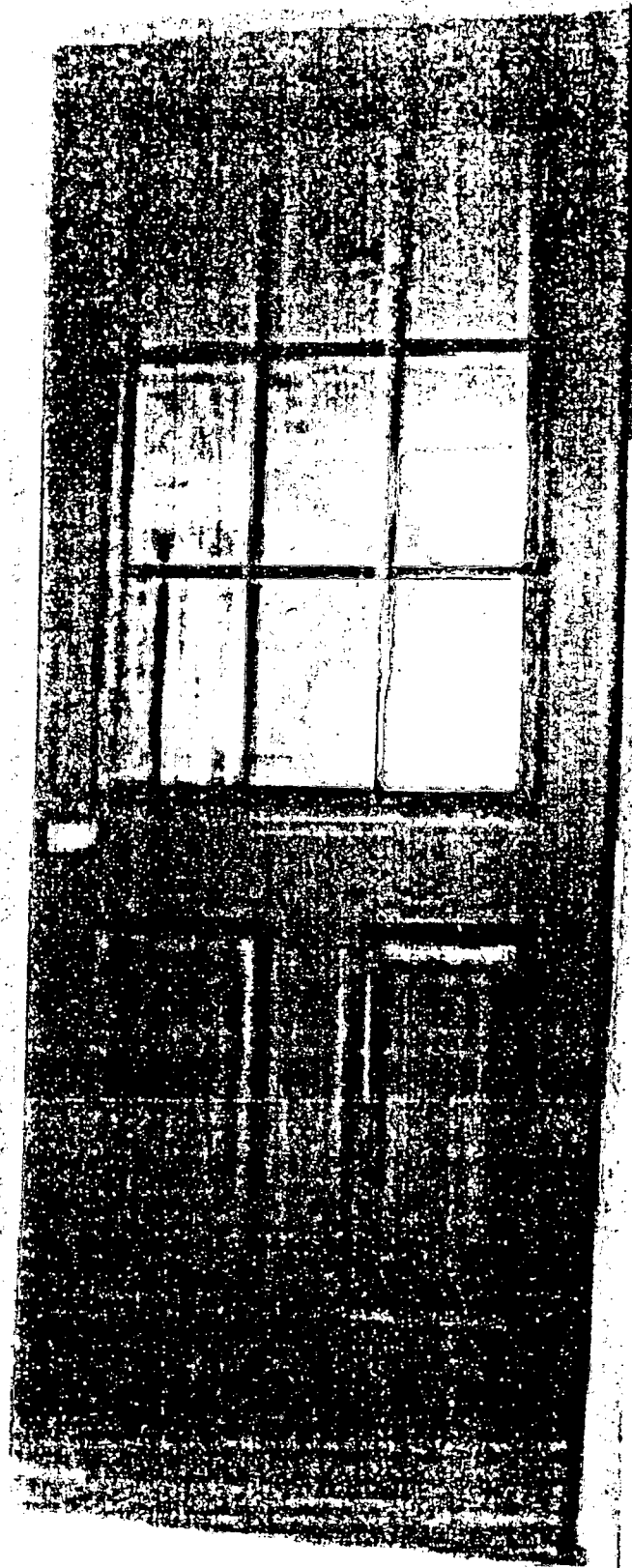
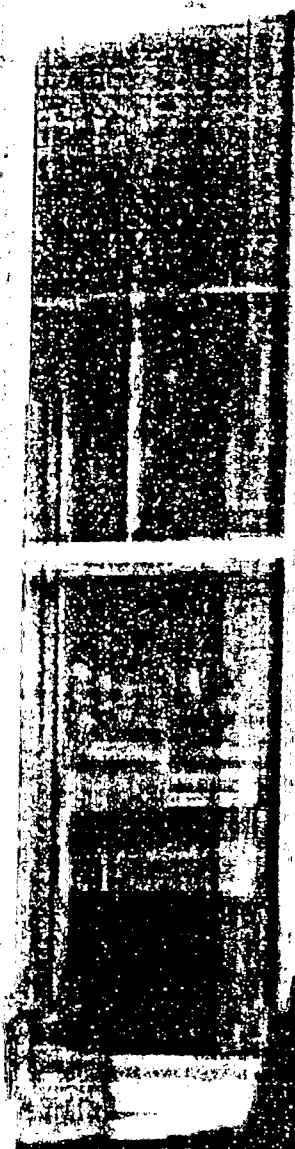


Repair windows

APPROVED
Montgomery County
Historic Preservation Commission
W. D. [Signature]



W | h - (U) 13



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	1 North Street, Brookeville	Meeting Date:	10/23/2013
Resource:	Outstanding Resource Brookeville Historic District	Report Date:	10/16/2013
Applicant:	Katherine Farquhar (Miche Booz, Architect)	Public Notice:	10/09/2013
Review:	HAWP	Tax Credit:	Yes
Case Number:	23/65-13C	Staff:	Josh Silver
PROPOSAL:	Roof, window and front door replacement		

STAFF RECOMMENDATION:

Approve
 Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource
STYLE: Vernacular
DATE: c1880

BACKGROUND

The HPC reviewed a preliminary consultation proposal for construction of a front porch, roof and non-original window and front door replacement at their September 25, 2013 meeting. The HPC supported replacement of the roof and windows as proposed. The HPC did not support the replacement of the front door as proposed and recommended that the applicant install a door style more in-keeping with the simple architectural style of the resource. The HPC did not support the construction of a front porch. The applicant has withdrawn their request to construct a front porch from the proposed work scope.

PROPOSAL

The revised proposal responds directly the HPC's recommendation for the front door (see #3 below).

The applicant is proposing to:

1. Remove and replace an existing standing seam metal roof with a pre-painted steel, mechanically seamed standing seam roof, with a traditional double-locked 1" tall seam, on the historic massing section of the resource
2. Remove and replace six non-original, wooden, divided-light, (c1950s, builder grade), casement and fixed windows on the 2nd story, left and right elevations of a historic ell section of the house with wooden interior/exterior, simulated-divided light, casement and fixed windows in the same openings. The section of the house where the window replacement is proposed is inset and located behind main block of the resource
3. Remove and replace a non-historic (c1950-60s), front door with a new wooden door in the same opening. The proposed door, a simulated-divided light, 9-light, half window, solid wood door is

proposed in lieu of the 6-light, Craftsman style door as proposed by the applicant at the preliminary consultation.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION

301/563-3400

AP#: 650281

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: MBOOZ@MICHEBOOZ.COM Contact Person: Miche Booz Daytime Phone No.: 301 774 6911

Tax Account No.:

Name of Property Owner: Katherine Farquhar Daytime Phone No.:

Address: 1 North Street Brookville MD 20833

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: Miche Booz Daytime Phone No.: 301 774 6911

LOCATION OF BUILDING/PREMISE

House Number: 1 North St. Street

Town/City: Brookville, MD Nearest Cross Street: Market St.

Lot: Block: Subdivision:

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, A/C, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other.

1B. Construction cost estimate: \$ 15,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 9.4.13

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Vernacular Frame House in the
Brookville Historic District, listed as
a historic resource of high
contributing value

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

• Replace standard gable roof on main front section to
match the remainder of house.
• Replace 6 casements as shown on photos w/ new wood
on casements. Add Venetian blind EX
• Replace front door w/ a light wood door.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

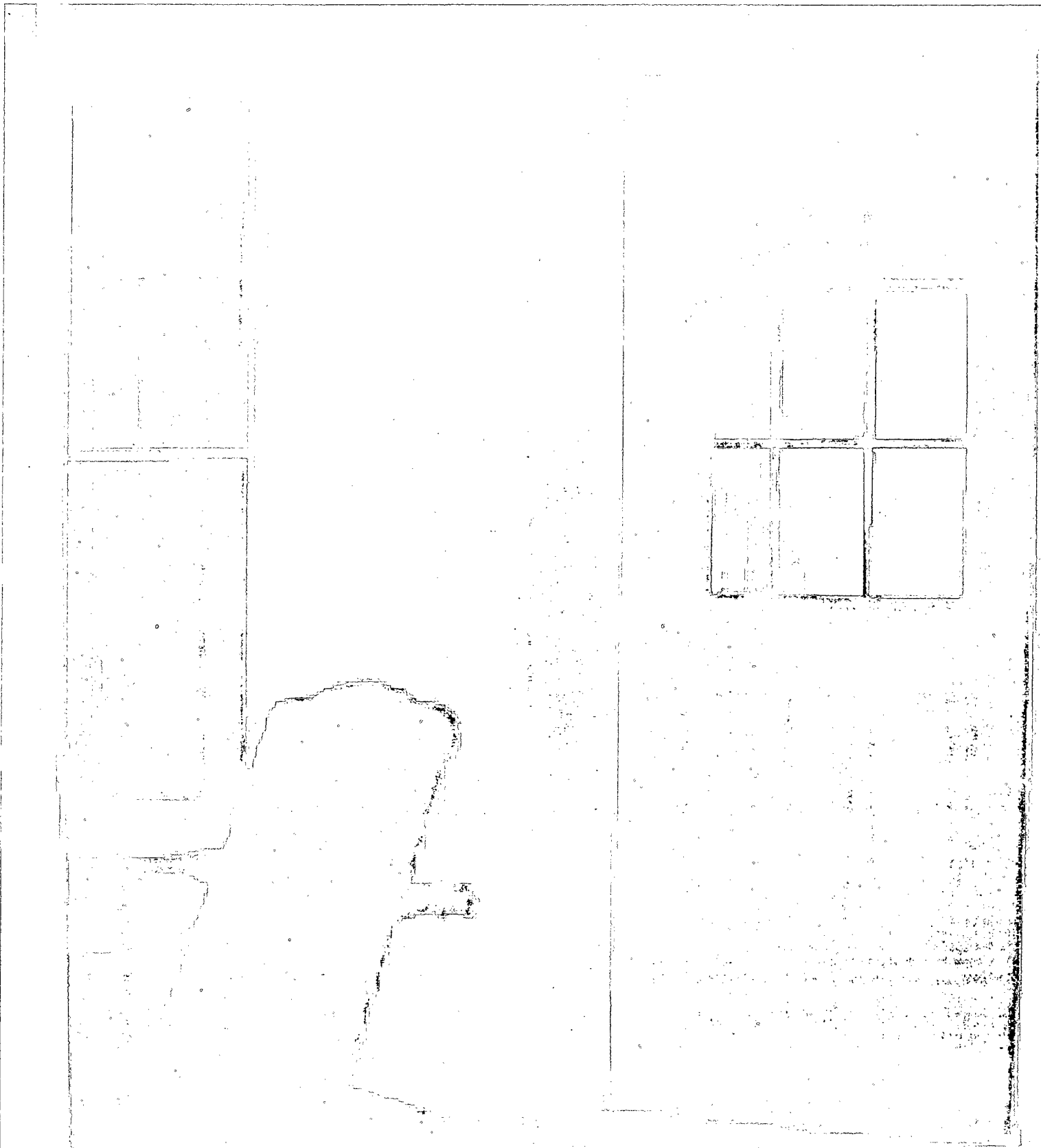
7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

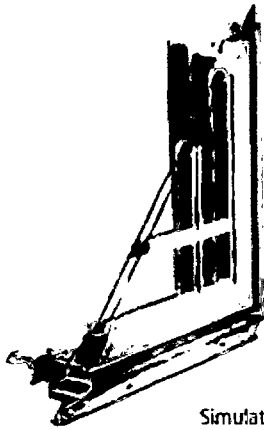
Owner's mailing address	Owner's Agent's mailing address
Katherine Facqubar #1 North St. Brookville, MD 20833	Miche Booz 208 Market St. Brookville, MD 20833
Adjacent and confronting Property Owners mailing addresses	
Fred Teal & Theresa Meeks-Teal 9 North St. Brookville, MD 20833	
Jim & Brenta Allus 2 North St. Brookville, MD 20833	



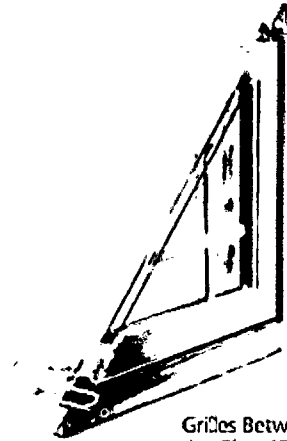
PROPOSED
DOOR STYLE

DIVIDED LITES

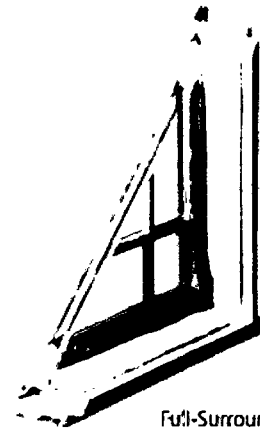
Add architectural interest to your JELD-WEN Sitrine EX windows with one of our divided lite options. These options include simulated divided lites (SDL) for an authentic look, full-surround wood grilles (FS) that can be removed for easy cleaning, and maintenance-free grilles between the glass (GBG).



Simulated Divided Lites (SDL)



Grilles Between the Glass (GBG)



Full-Surround (FS) and Knocked-Down (KD) removable wood grilles

Simulated Divided Lites (SDL)

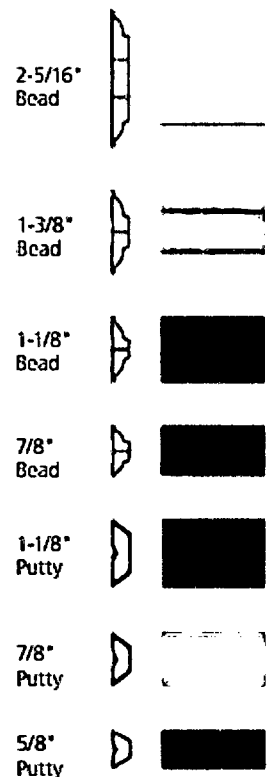
To achieve an authentic look, select our simulated divided lites (SDL). They feature grilles that are permanently attached to the exterior glass (aluminum for clad-wood exteriors, wood for primed wood exteriors), wood grilles adhered to the interior glass, and optional Light Brown or Silver shadow bars that are placed between the two panes of insulating glass. Grilles are available in 7/8", 1-1/8" and 1-3/8" sizes. We also offer 2-5/16" grilles for the classic look of a checkrail.

Grilles Between the Glass (GBG)

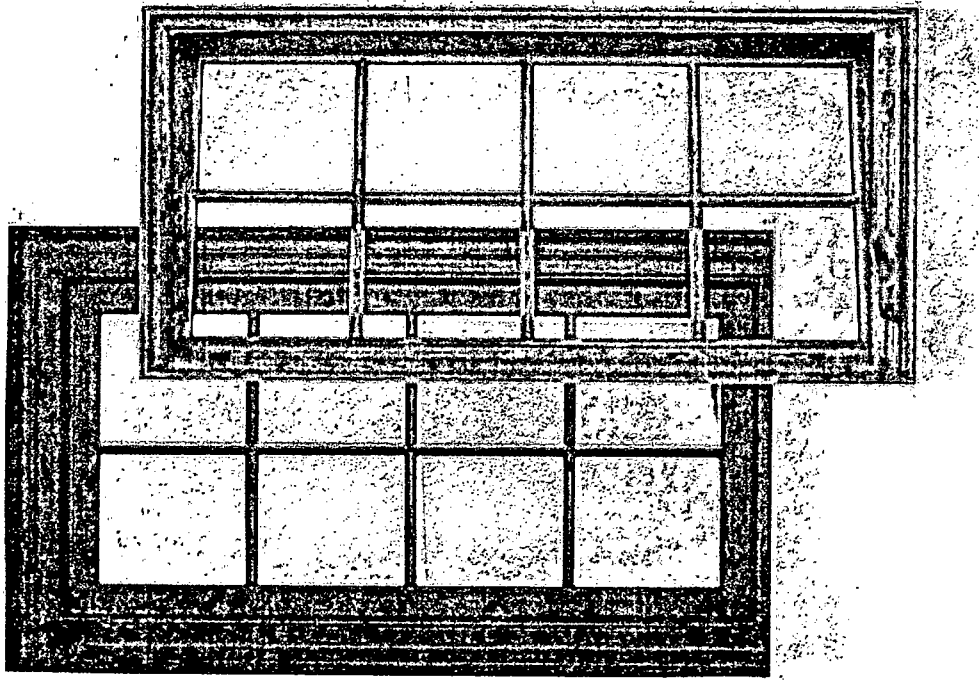
With grilles between the glass, you'll enjoy the look of divided lites without any upkeep. They are placed between the two panes of insulating glass. Select 5/8" flat or 23/32" or 1" contour metal grilles in any of our dad colors.

Full-Surround Wood Grilles (FS)

Our full-surround wood grilles can be removed for easy cleaning. Choose from 1-1/8", 1-3/8" or 7/8" grilles that are positioned on the interior glass surface.



CASEMENT WINDOWS



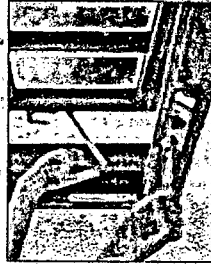
T-handle



Round Knob



Standard Folding
Nested Handle

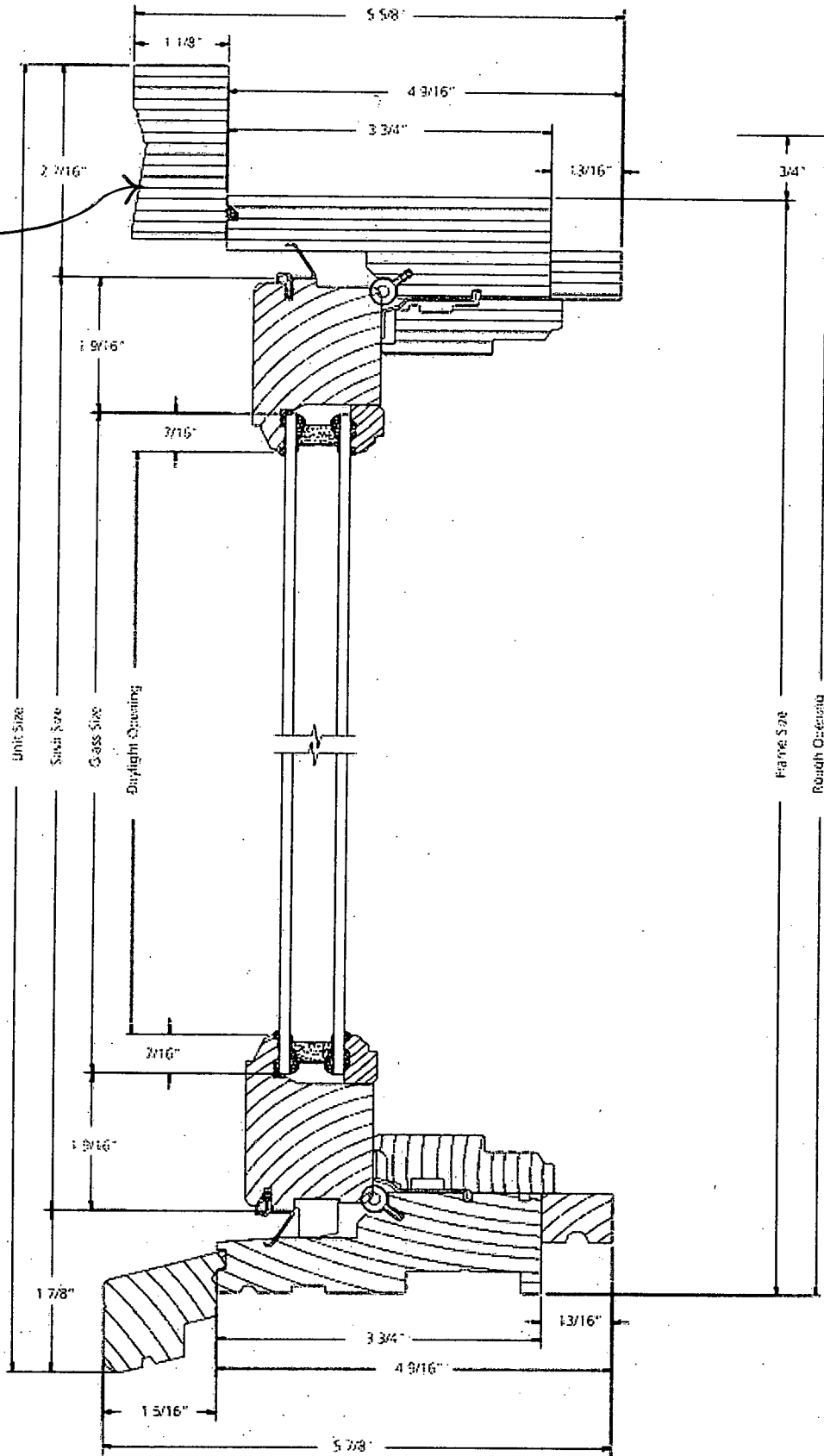


Window Opening Control Device:
Available with optional window
opening control device.

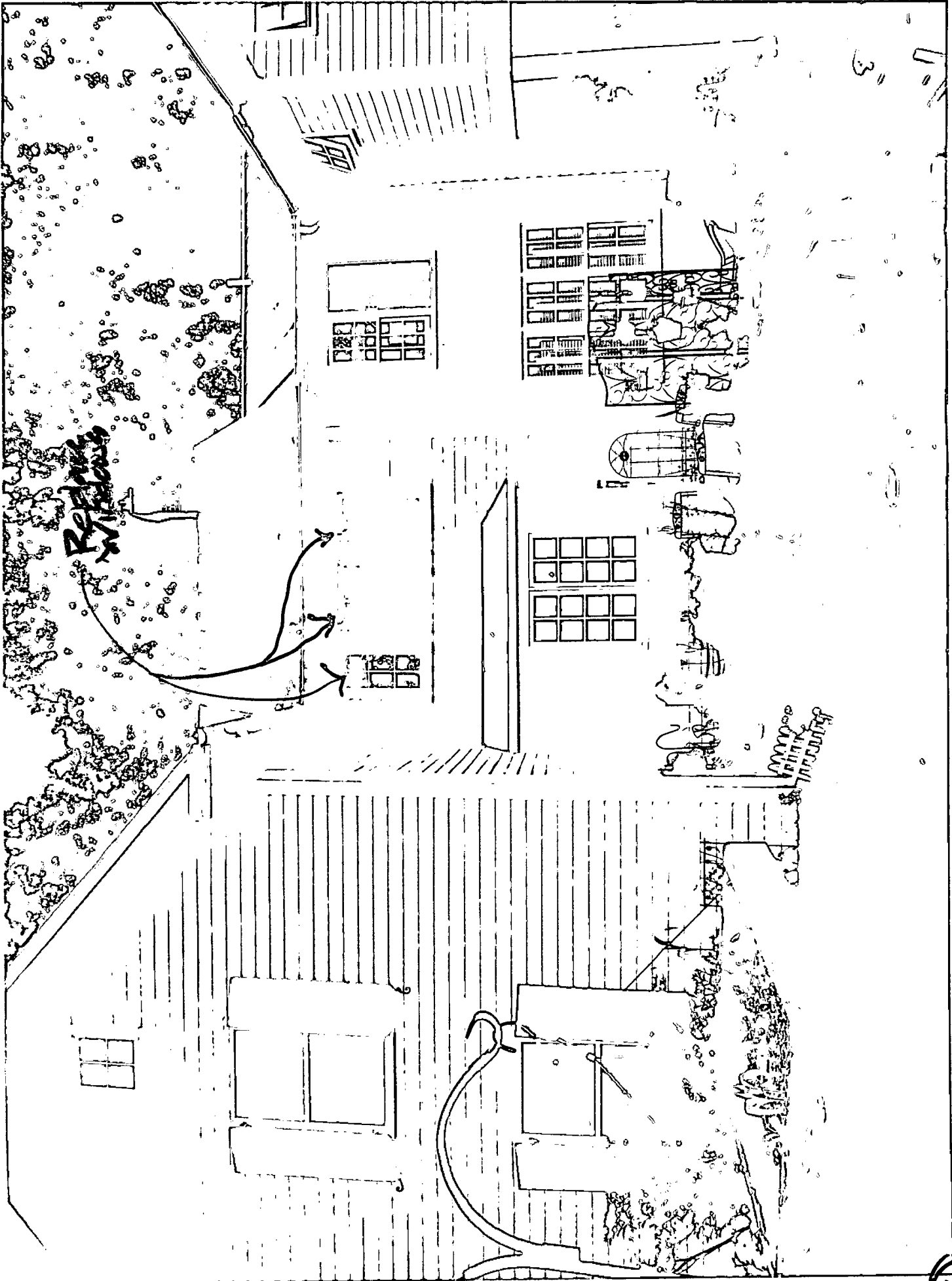
A casement window perfectly complements the simplicity of modern design, while also providing maximum ventilation. This type of window is hinged on either side, so the sash opens outward, to the right or left, in a swinging motion.

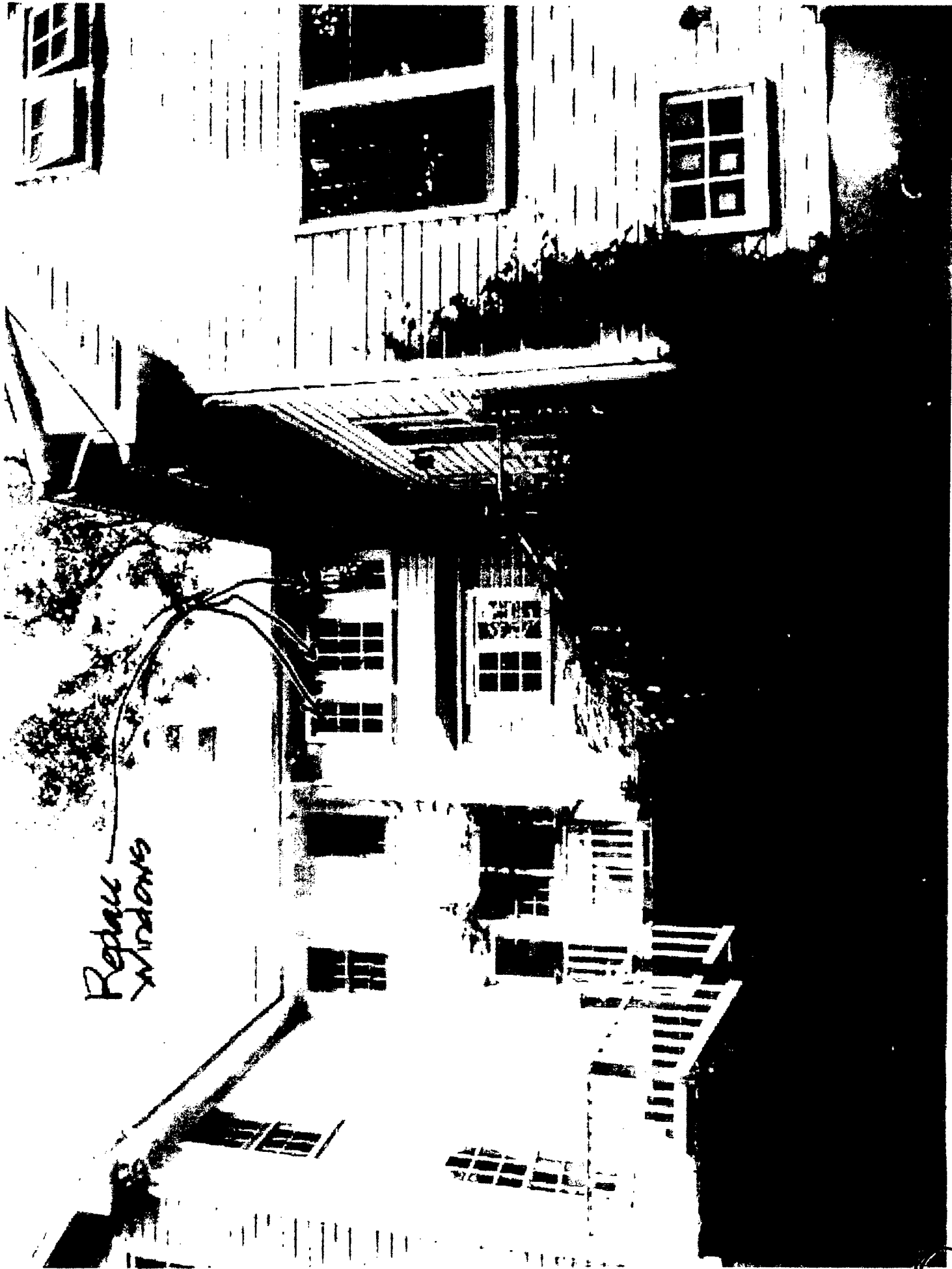
SECTOR TOP UNIT

*Wood
Trim to
Match
House*



VERTICAL SECTION





Repair
Windows

Silver, Joshua

From: Miche Booz <mbooz@michebooz.com>
Sent: Wednesday, October 09, 2013 4:37 PM
To: Silver, Joshua
Subject: Re: 1 North Street

Sorry Josh...been meaning to get it to you.

It is a pre-painted galvanized steel, mechanically seamed standing seam roof, with a traditional double locked 1" tall seam. This matches the existing roof adjacent to it.

Miche

Miche Booz
AIA, LEED AP, CNU

Miche Booz Architect
208 Market Street
Brookeville, MD 20833
p. 301 774 6911
f. 301 774 1908
www.michebooz.com

On Oct 9, 2013, at 3:29 PM, Silver, Joshua wrote:

Hi Miche,

This a gentle reminder to please e-mail me a written description for the roof detail at 1 North Street. Alternatively a manufacturers specification sheet would also work.

Thanks,
Josh

Joshua Silver, Senior Planner | Historic Preservation Section
Functional Planning and Policy Division | Montgomery County Planning Department | M-NCPPC
8787 Georgia Avenue, Suite 206 | Silver Spring MD 20910
301-563-3400 phone | 301-563-3412 fax | joshua.silver@montgomeryplanning.org | www.montgomeryplanning.org/historic/