

9/02 23/69 Brookeville Woolen Mill
Lot #4 (Prelim. Consultation)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	1903 Brighton Dam Road (Lot 4, Hawlings River Estates)	Meeting Date:	09/11/02
Applicant:	Anil Malik & Mary Park McLean	Report Date:	09/4/02
Resource:	Brookeville Woolen Mill	Public Notice:	08/25/02
Review:	Preliminary Consultation	Tax Credit:	No
Site Number:	<i>Master Plan #23/69</i>	Staff:	Robin D. Ziek
PROPOSAL:	Construct new home on easement lot adjacent to historic site		
RECOMMEND:	Proceed to 2 nd Preliminary Consultation		

N.B.: The applicant is the contract purchaser of Lot 4, and needs to consult with the HPC before going forward with the contract.

REQUIREMENTS FOR A 2ND PRELIMINARY CONSULTATION

1. Provide forest/landscape conservation proposal.
2. Provide detailed grading plan.
3. Provide exterior lighting plan.

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan #23/69*
STYLE: Vernacular
DATE: ca.1783 for house; by 1816 for mill

The Brookeville Woolen Mill is a unique industrial site in the county, associated with the early settlement of Brookeville and Sandy Spring. The historic site includes the late-18th / early-19th century Woolen Mill and Miller's residence, as well as a later 19th century combination barn/corn crib. The Mill and Residence are stone, made from stone quarried in the immediate vicinity (local lore). The barn is timber-framed with vertical board siding, sitting on pier footings on the down-hill side but on-grade on the up-hill side. Access to the property is by a long gravel drive (.7 miles) which parallels the Hawlings River. The property is listed in the National Register, and includes an easement on Lot 4 (see Circle 11-15). The Brookeville Woolen Mill sits on Lot 5. At the time of designation in 1987, the environmental setting for the

Brookeville Woolen Mill consisted for 2.15 acres. Subsequently, the property owner purchased Lot 4 of the adjacent subdivision, and established with an easement that Chapter 24A would govern this lot as well (see section (D), page 3 of the easement, Circle 13).

As part of the subdivision, the gravel road leading to the Brookeville Woolen Mill was extended to the new lots beyond. Included on the subdivision plat is a short road and a "cul-de-sac" (see Circle 17) to provide a connection to a larger new development project immediately to the west. This short connecting road was viewed as secondary means of egress if the Hawlings River should flood, and has never been built. Within this larger new development west of the Woolen Mill, with multiple suburban streets and large new homes on small lots, there is also another historic site. This is the stone Millworkers' House, which is associated with the Brookeville Woolen Mill (see Circle 10, 17). Only 300' separate this new development from the 4 new lots associated with the Brookeville Woolen Mill. However, the two new developments are different in character, and are screened from each other with forest.

The entrance to the historic site is marked by two stone piers on either side of a narrow gravel road. One drives alongside the Hawlings River, through a forested area, to a clearing with a pond. The Brookeville Woolen Miller's House sits on the east slope of a gentle rise, overlooking the Mill building and a pond. The land rises higher to the west, and crests within Lot 4, before sloping down to a drainage swale which takes water into the Hawlings River. Lot 4 is fully wooded now, but was probably entirely open 30 years ago. One comes across various lines of barbed wire fencing on the property which once enclosed the open fields.

Three homes have already been built on the Brookeville Woolen Mill subdivision. Two of them are not visible at all from the road. The house on Lot 1, immediately across the street from the subject property at Lot 4, is a 1-1/2 story rambling frame house with simple gable-end elements. The fencing on the gravel road is all split rail. Because of the easement on Lot 4, the HPC has review and approval authority of all new construction here.

PROPOSAL

The applicant proposes to construct a large new home on Lot 4 (see Circle 23-29), with a probable construction starting date in approximately 2 years. While the owner is flexible about the look of the house (and has a "wish list" for interior options – see Circle 5-9), there are several items which are felt to be necessary in order to proceed with the contract. This includes the following:

- A graceful driveway which meanders off the entry drive onto the site through the woods to the house, and provides a loop back to the existing gravel road.
- Siting the house on the west slope of the crest of the hill, to face downhill through the woods.
- Clearing no more than 40,000sf (<1 acre out of the 5) for sun (this is a county limit.)

- Building a large home (ca. 6,000 sf) with a finished walk-out English basement, within their budget.
- Building a pool on the west side of the house.

STAFF DISCUSSION

All of the new development to date has been kept quite separate from the historic context of the Brookeville Woolen Mill. To the extent that the proposed new development does not encroach on the historic setting at all, staff will consider the project successful. Currently, not one of the new homes on the gravel driveway is visible from the historic site. Staff strongly feels that this should be the goal for the new construction on Lot 4.

The applicant proposes to build his home on the opposite side of the crest of the rise from the historic site, with approximately 25' of rise between the historic house and the new house site (see Circle 22). This will help to shield the historic site from view, as well as limit the visibility of the new home. However, the proposed house is also 2-1/2 stories, and can extend up to 35' by zoning. With first and second floor-to-ceiling heights of 9', and a basement height of 8'-9", and a steeply pitched roof with dormers, Staff is concerned that the height is an issue.

Staff notes that the Brookeville Woolen Mill and Miller's House are both simple, small scale, vernacular buildings. The design proposed by the applicant, however, is highly derivative of historic buildings and is too grand for the easement site. By way of comparison, the new house on Lot 1, which is visible from the street, is also small scale without being a little house. It even has an in-ground pool. The frame structure uses a modern architectural vocabulary with massing sympathetic to the historic site (although this may not be intentional). This is accomplished with steep roofs, simple massing of individual elements, combining separate elements to meet the program, and with the 1-1/2 story height. It is clearly a 20th century building that doesn't pretend to be anything else. The applicant's proposed new house, on the other hand, is a typical builder's house, with historic references to grander 18th century mansions. It is very similar to the new homes in the development project immediately to the west of the historic site.

Given the easement, staff feels that the new house on this site could go in two different ways. On the one hand, the applicant could build a small vernacular cottage that was complementary to the historic site, and envisioned as part of that at first glance. Clearly, the problem here would be the creation of a false sense of history, and such a new building would still have to be clearly 21st century in design and detail. On the other hand, staff feels that the new construction on the site could be envisioned as clearly just another subdivision lot with a new home which was simply part of the all the new development in the area. In that case, the best solution would be to build a house which was nestled into the woods, was very private, and not visible at all from the historic site.

In general, Staff encourages the applicant to explore other designs for a house which is more reflective of the specific site. This will be easier to accomplish with a 1-1/2 story house, which will reduce the overall visibility of the house on the site. With a full basement, garage and

pool, staff feels the applicant will be able to incorporate their programmatic needs into the project, while achieving a design that is more organically integrated into the property.

The applicant wishes to have a long private driveway off of the gravel road. They propose to start their driveway at the south corner of their property, which is within view of the barn on the historic site. From there, the driveway would follow the topography as it meandered through the trees to the new house. While this will entail removal of some of the existing trees, the HPC can require new landscaping along the driveway to provide screening. The most visible element would be lighting at the entrance, and the HPC should consider prohibiting lighting at the driveway at this location for that reason. In addition, the HPC should prohibit the construction of an "estate" entrance for this driveway, with walls and elaborate plantings. The use of split rail fencing, however, could be encouraged as this is typical of the road and unassuming. Staff notes that running the driveway from this corner would reduce the likelihood of future residential activity on this part of the property, closest to the historic site.

At the time of the 2nd Preliminary Consultation, the applicant should provide a detailed landscape plan for the east side of the site, in order to assure adequate buffering between the two properties. The landscape plan should preserve a sense of the forest, and should include a forest landscape treatment as a buffer, with a variety of native species. There would be little concern about landscaping on the west side of the house where it would not be visible at all from the historic site. Clearing to the north of the house might also be less of a problem as long as the forest buffer between the two lots is reinforced. There will be more detailed planning required to integrate the surveyed septic field area for the new house with the forest buffer, while still meeting county septic field requirements (see Circle 18).

STAFF RECOMMENDATION

Staff recommends that the Commission encourage the applicant to proceed with the project, noting that a new house can be built on this lot under the terms of the easement. At the time of a 2nd Preliminary Consultation, the applicant will need to demonstrate how the new proposal incorporates HPC comments and concerns expressed at this initial Preliminary Consultation, and how the proposal shows regard for the easement which is designed to protect the environmental setting of the Brookeville Woolen Mill site.

Historic Preservation Commission
Maryland National Capital Park and Planning Commission
1109 Spring Street
Suite 801
Silver Spring Maryland 20910

Dear Member of the Historic Preservation Commissions:

My wife and I have put in a contract to purchase lot # 4 Hawling River Estates with property address 1903 Brighton Dam Road, Brookville, MD. 20833. In the title search we were informed that there is Preservation of Historic Resources – Deed of Easement on the property. This practically devastated us as we thought we had found a property that was close to the church where my wife and I got married and we will be able to move into the neighborhood we admired and adored so much. This lot was going to allow us to build a house of my childhood dreams.

We are hereby requesting that this Deed of Easement be removed from the property. If that is not possible please provide us with some guidance as to what type of house we will be able to build on this lot.

We are planning to build the following:

- A house of approximately 80' X 66' foot print with approximate 4500-5000 SQF with walkout basement. Please see attached exhibit A for the possible elevations and floor plan that we would like to build.
- A pool and deck with approximately 75' X 50'
- As we were told by the Park and Planning environment staff, this therefore will require total clearance of approximately 30000 to 40000 SQF as allowed by the current forest conservation regulations. This includes clearance for well and septic.

We have attached our application and information providing the location and type of house that we would like to build. We would very much appreciate your guidance as to what restriction that we as home owners will be faced with due to this easement and if it would be possible to build the house of our dreams on this lot.

With Regards

Anil Malik

Attachments:

5

Malik's

December 13, 2001

Master plan

Circular drive

probably no street lights

House Inside/Outside use eventually build a pool

Features

Double Stair Entrance

Living / Dining Balance

No open dining room (walls)

Open Morning off kitchen

Well situated bathroom

Steam shower

jacuzzi tub

Separate Sinks

Separate Closets

Rice Maid w/ kitchen

Side 2 CAR garage (suff)

Media Room - basement

gym

Langley basement

Open Stair

Laundry ?

Master w/ Sitting FP (gas) 3sided

Master Balcony (French doors)

Office / Study / 1st Floor Bedroom w/ large Shower Shelf

handicap Bars

Lots of Windows

Mud room

gas FP - Living

FP - family

FP - Media room

FP - Master 3sided

Center Cooking Island

down draft

Buried propane tank

Good Water Pressure

Back-up generator

No entertainment Fam. room

Entrance / outside Family / Patio

FP Side wall Family room

For Look -> Front door

Langley

No power line exposure

Back stair case

Landy Basement

- Bar / Utility kitchen

Media room

gym

Designed in full bath but working 1/2

Storage Area

probable 3 zones)

Can get away w/ 4,500 SF

Hardwood

Master

(Specs)

Non-squeaky Floor

Outside Outlets / Hose Bibbs
each side of house

Brian

Screw glue everything (Floors)

Floor prep before flooring

grind seams of plowood

Rescrew loose of squeaking

Plan design 45-60 days / engineering same time? $\frac{1}{2}$ 4 mos

Building permit Most count 6-8 weeks

Construct time typically 7 mos (12 mos realistic)

(7)

(2)

Plan generation @ least 1 meeting

Warranty question

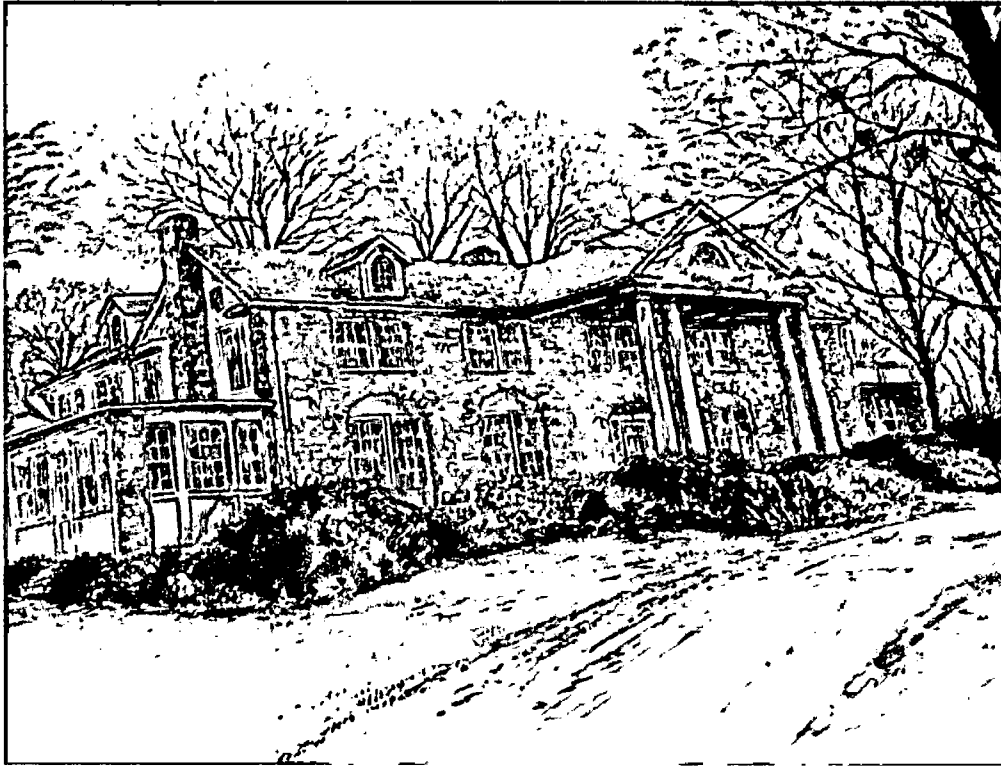
1yr everything

2yr Syst.

5yr HVAC

10yr Structural

Oⁿ DREAM HOUSE O



(Master Plan # 23/108 : BROOKE MANOR, OLNEY)

23/69 Brookeville Woolen Mill and House NR 1901 Brighton Dam Road
House Late 1700s-Early 1800s; Mill by 1816

A rare surviving example of a woolen mill complex, this site includes a mill structure and house. Both buildings exhibit superior stone masonry with rough-dressed quarry stone, hewn lintels and quoins. Banked into a hillside, the structures are one and a half stories tall with exposed basements. The stone house type with galleried porches across basement and first story levels on the downhill side is more typical of miller's houses in southeastern Pennsylvania and northeastern Maryland. The Hawlings River valley, tributary to the Patuxent, was one of the first areas in the county to be settled. A number of small woolen factories and fulling mills were built during the embargo period of the War of 1812. The date of the house is uncertain. The 1783 tax assessment lists several stone Riggs houses. By 1816, David Newlin was operating the woolen mill, known as the Brookeville Woolen Factory, manufacturing cloth and blankets from fleece.

23/148 Brookeville Woolen Mill Worker's House (c1810s-1850) 20529 Riggs Hill Way

The Mill Worker's Stone House is a 2 1/2-story stone building sited on a partially wooded and rolling farmland lot near the Hawlings River in northeastern Montgomery County. Recent research has linked the house to the Brookeville Woolen Mill as the probable site of worker's housing, based on its similar construction to the mill and the miller's house and its close proximity to both. The Woolen Mill was in use throughout much of the 1800s into the early 1900s. Historic maps and 20th century aerial photographs indicate that house was directly accessible from the mill. Furthermore, its floor plan and orientation suggests that it was used for domestic purposes.

PRESERVATION OF HISTORIC RESOURCES
DEED OF EASEMENT

THIS DEED OF EASEMENT, made this 21st day of
August, 1984, by and between

WOODY E. YOUNG and KATHLEEN C. YOUNG, his wife,

, Grantor

and Montgomery County, Maryland, Grantee.

WITNESSETH, WHEREAS, the Grantee, by Ordinance No. 9-4,
adopted July 24, 1979, which became effective as Chapter 24-A of
the Montgomery County Code entitled "Preservation of Historic
Resources", established an Historic Preservation Commission for
the purpose generally of protection, preservation, continued use
and enhancement of historic resources, all as is more particularly
provided for by law; and,

WHEREAS, the property hereinafter described has been
designated an Historic Resource by the Historic Preservation
Commission, and this easement will promote the protection,
preservation, continued use and enhancement of said property, and,

WHEREAS, the Grantee is possessed with the power and
duty to accept, hold and administer this easement, and,

WHEREAS, the Grantor has received certain funds and
assistance, as hereinafter set out, through the auspices of the
Historic Preservation Commission with which to carry out and
comply with the agreed upon requirements and recommendations of
said Commission, including the granting of this easement.

NOW, THEREFORE, in consideration of these premises
and receipt of One Dollar (\$1.00) in hand paid

and other good and valuable considerations,
the receipt of which is hereby acknowledged,

NO FEE - MONTG. CO. MD.

Verified By:

D. Weaver

OCT 24 PM 2:22

CLERK'S OFFICE
MONTGOMERY COUNTY, MD

does hereby grant and convey unto Montgomery County, Maryland, its successors and assigns forever, an easement, as hereinafter set out, over and through all that lot or parcel of land together with all the improvements thereon and all appurtenances, rights and interests thereunto belonging, situate, lying and being in Montgomery County, Maryland, and more particularly described as:

Lot numbered Four (4), in the subdivision known as HAWLING RIVER ESTATES, as per plat thereof recorded in Plat Book 110 at Plat 12811, among the Land Records of Montgomery County, Maryland.

Subject to Thirty (30) feet of a sixty-foot (60') right of way for ingress and egress shown on plat; and together with a sixty-foot (60') right of way for ingress and egress shown on plat. The Thirty-foot (30') right of ways for ingress and egress created at Liber 340 folio 44 and in Plat Book 99 at Plat 11155.

Property Address: 1901 Brighton Dam Road
Brookeville, Maryland

The terms of said easement are as follows:

(A) Duration and Nature of Easement. The Easement shall be perpetual in duration. The parties agree that it is and shall be considered an easement in gross and as such is inheritable and assignable and runs with the land as an incorporeal property interest in the property enforceable by Grantee and its successors and assigns with respect to the Property and against Grantor and Grantor's heirs, successors and assigns, all of whom are collectively referred to herein as "Grantee" and "Grantor" respectively. The easement is subject to any and all presently existing valid encumbrances, easements and rights of way upon the property.

(B) Public Access. Upon specific request of the Grantee, and the agreement of the Grantor as to time, and dates, the Grantor covenants and agrees to make the grounds of the property open to the public on not more than six occasions each calendar year. This particular covenant shall expire fifty (50) years from the date hereof.

(C) Maintenance and Administration. Grantor shall keep and maintain the Property, including the improvements thereon,

in good, clean and safe condition and shall maintain, repair and administer the Property to preserve the historic, aesthetic and cultural character and appearance of the Property as is shown and described in Exhibit A. The maintenance, repair and administration of the Property shall further conform to the requirements of Paragraph D of this Easement. This covenant does not require reconstruction of any improvements which are destroyed in whole or in part by casualty loss unless insurance proceeds are available for such purposes.

(D) The Grantor and Grantee hereby agree to, and incorporate herein by reference, all the terms and conditions of Chapter 24-A of the Montgomery County Code, entitled "Preservation of Historic Resources" and particularly as it applies to changes, alterations, work permits, inspection, penalties, appeal, and in general, the rights and duties of both the Grantor and Grantee.

In addition, the Grantor and Grantee hereby agreed that this easement shall be construed and interpreted as being created under the Real Property Title 2 Section 2-118 of the Annotated Code of Maryland.

IN WITNESS WHEREOF, we have hereunto set our hands and seals.

Grantor Woody E. Young Grantor _____ (SEAL)
Witness Woody E. Young
Grantor Kathleen C. Young Grantor _____ (SEAL)
Witness Kathleen C. Young

Jurat, (individual or corporate)

The following party joins as Grantee and Mortgagee:

Attest: Carol A. Maryman
CAROL A. MARYMAN

MONTGOMERY COUNTY, MARYLAND
By: Lewis T. Roberts
Lewis T. Roberts
Chief Administrative Officer

Corporate Jurat

~~STATE OF MARYLAND~~ WASHINGTON }
~~COUNTY OF MONTGOMERY~~ ~~DISTRICT OF COLUMBIA~~ } ss.

On this 23RD day of AUGUST, 1984, before me, the undersigned officer, personally appeared Woody E. Young and Kathleen C. Young, his wife, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument and acknowledge that they executed the same for the purposes therein



Witness Whereof, I hereunto set my hand and official seal.

John W. Joseph
John W. Joseph
Notary Public

My Commission expires: NOVEMBER 14, 1987.

STATE OF MARYLAND }
COUNTY OF MONTGOMERY } ss.

On this 5th day of September, 1984, before me, a Notary Public of the aforesaid State and County, the undersigned officer, personally appeared Lewis T. Roberts, who acknowledged himself to be the Chief Administrative Officer of Montgomery County, Maryland, a body corporate and politic, and that he as such Chief Administrative Officer, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself



as Chief Administrative Officer.
Witness Whereof, I hereunto set my hand and official seal.

Carol A. Maryman
Carol A. Maryman
Notary Public

My Commission expires:

My Commission Expires July 1, 1986

FORM 6553 FORM 088

Montgomery County, Maryland

**Executive Office Building
101 Monroe Street
Rockville, Maryland 20850**

**OFFICE OF
THE COUNTY ATTORNEY**

**TELEPHONE
AREA CODE 301
281-2800**

October 23, 1984

**Howard M. Smith, Clerk
Circuit Court for Montgomery
County, Maryland
Courthouse
Rockville, Maryland 20850**

Dear Mr. Smith:

**Please record the attached document on behalf of
Montgomery County, Maryland, and waive the usual recording fee.**

Thank you for your attention to this matter.


Very truly yours,

**PAUL A. MCGUCKIAN
COUNTY ATTORNEY**


**Robert G. Tobin, Jr.
Deputy County Attorney**

NO FEE - MONTG. CO. MD.

**PAM:RGT:lah
0025T
Attachment**

Verified By: 

15

Fothergill, Anne

Subject: 1903 Brighton Dam Rd
Entry Type: Phone call

Start: Tue 6/5/2007 10:21 AM
End: Tue 6/5/2007 10:21 AM
Duration: 0 hours

June 5

Contacts: Mohammed Ayoub
Date: 6/5/2007 8:00:00 AM

Lot at 1903 Brighton Dam Rd.-Brookeville Woolen Mill
adjoining 1901 Brighton Dam Rd.
202-693-2326
wants idea about what he can build
Lot #4, very wooded
can he build 3500 SF home?

I left VM saying--trees v. important, remove as few as possible, leave a major tree buffer btwn hist. house and new house. Place new house as far from hist. house as possible. Can build a small house--1 1/2 or two stories, 1000 SF footprint or smaller.

Fothergill, Anne

Subject: 1903 Brighton Dam Rd
Entry Type: Phone call
Company: 301-598-6788

Start: Wed 7/11/2007 2:05 PM
End: Wed 7/11/2007 2:05 PM
Duration: 0 hours

Contacts: Gary Carswell
Categories: 23/69
Called?: X

Called--wants to build a 3500 SF home. LDVM.

October 31, 2003

Mrs. Nancy Vert
Weichert Realtors
18141 Towr.e Center Drive
Olney, Maryland 20832

Re: 1903 Brighton Dam Road
(*Master Plan Site # 23/69, Brookeville Woolen Mill and House*)

Dear Mrs. Vert:

As per our conversation, this letter is to confirm that I have not received any drawings submitted by Mr. Brian Gallagher for new construction for the abovementioned address. My phone log records do indicate receiving two phone messages from Mr. Gallagher on May 15th and 30th, 2003, requesting a meeting to discuss a new construction on this property. I responded to these messages with return voice mail messages on both of these days. To date, I have not had the opportunity to discuss the project with Mr. Gallagher.

If you have any additional questions, please do not hesitate to contact me at 301-563-3400.

Sincerely,



Michele Naru
Historic Preservation Planner

NATIONS TITLE OF MARYLAND, INC
CABIN JOHN OFFICE

FACSIMILE TRANSMITTAL SHEET

TO: Ann. F. FROM: Chris McMahon

COMPANY: _____ DATE: _____

FAX NUMBER: 301-563-3412 TOTAL NO. OF PAGES INCLUDING COVER: 10

PHONE NUMBER: _____ SENDER'S REFERENCE NUMBER: _____

RE: 190's Brighton Dam Road YOUR REFERENCE NUMBER: _____

Brooksville MD 20853

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

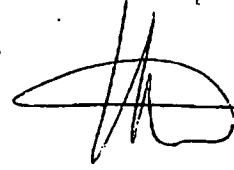
NOTES/COMMENTS:

Preliminary Ideas for 190's Brighton Dam. Just take a quick look because I still have to purchase the property.

11-26-04

UPDATE:
Wayne Wallace bought this property. He also owns the lake on the next lot (Nancy Earley's house). Nancy wants to get this lot de-listed. I'd eventually buy it not now.

Thanks for your help



Best number to reach me
240-372-9315

called Jan. 22, 2004 + said it looks good

ERG offices 301-570-0984
fax 301-570-6927

NTOM Local 301-498-0922
fax 301-470-6227

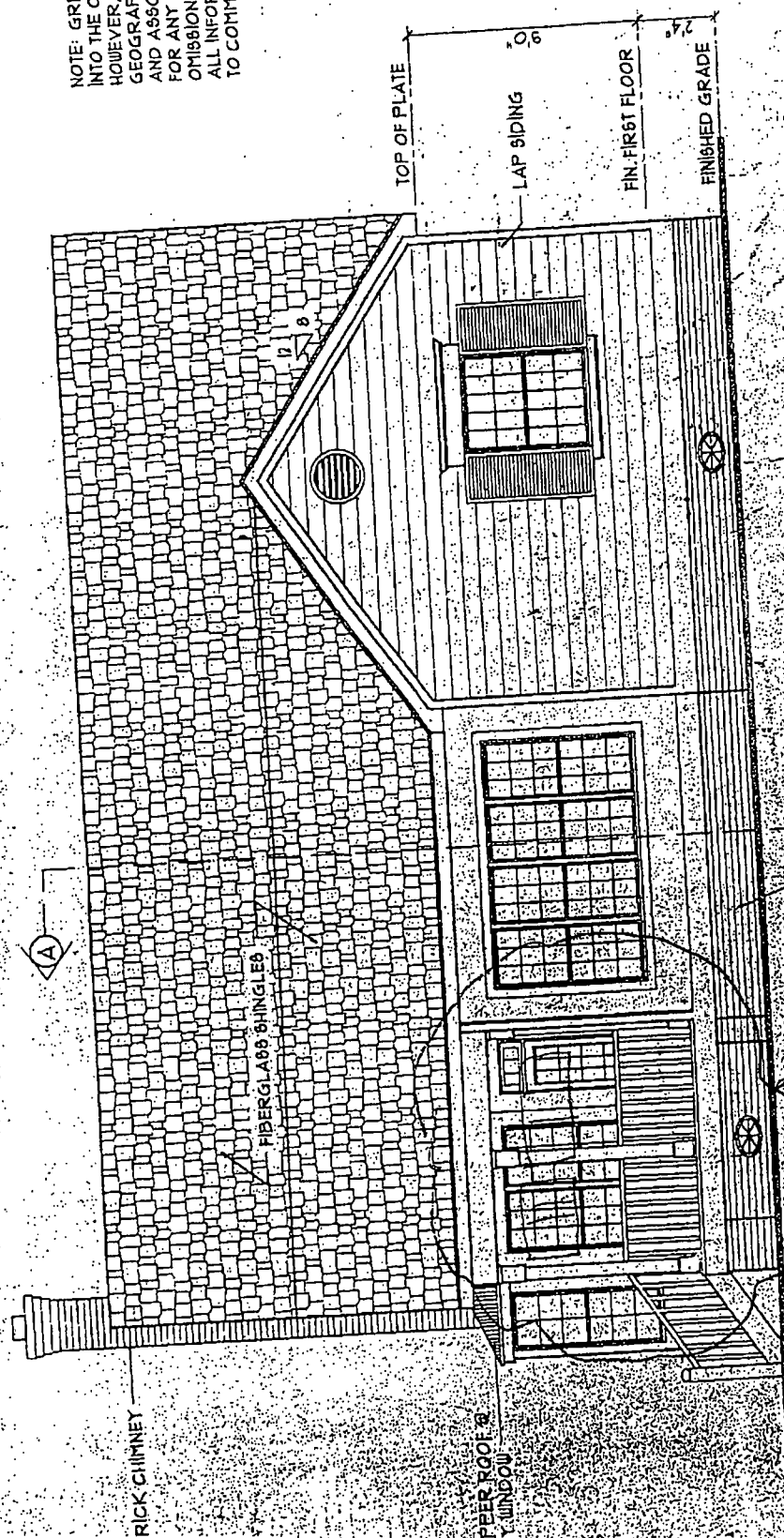
9-30-04 called Amy-interested buyer (so lot is for sale) wants to build 4000 sq ft house.

11325 SEVEN LOCKS ROAD, SUITE 217B, POTOMAC, MARYLAND 20854
301-299-4369 OFFICE 301-299-4542 FAX

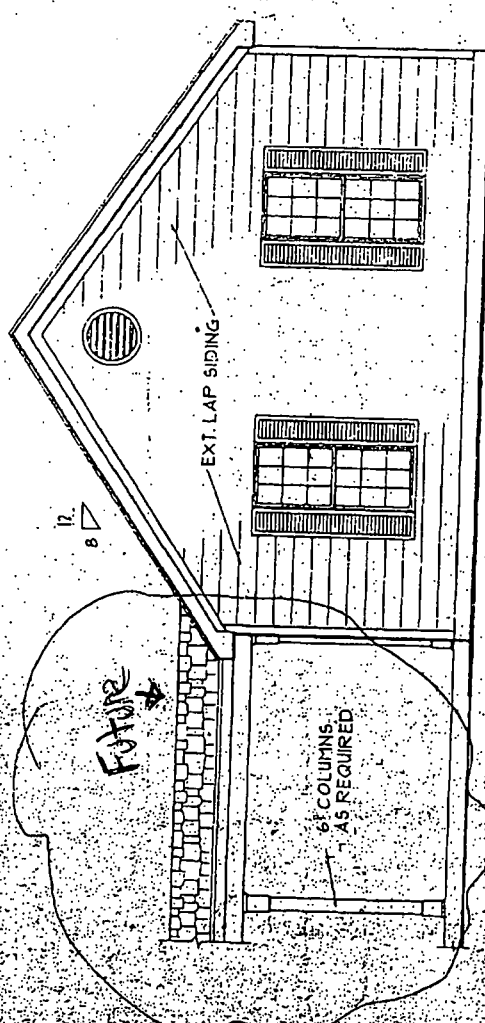
I said no. I told her 1000 SF footprint and 1 1/2 to 2 stories max.

NOTE: GREAT CARE AND E
 INTO THE CREATION OF THE
 HOWEVER, BECAUSE OF THE
 GEOGRAPHIC LOCATIONS,
 AND ASSOCIATES, WILL NO
 FOR ANY DAMAGES DUE T
 OMISSIONS, OR DEFICIENC
 ALL INFORMATION MUST B
 TO COMMENCEMENT OF C

REAL
 SCALE



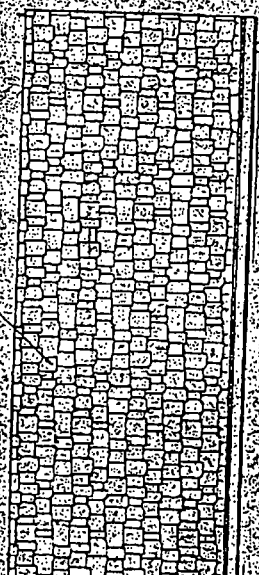
Garage



LEFT SIDE ELEVATION
(RIGHT SIDE ELEVATION OPPOSITE HAND)

NOTE: GREAT CARE AND EFFORT HAS GONE INTO THE CREATION OF THESE BLUEPRINTS HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, LARRY JAMES AND ASSOCIATES WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PERGOLAS SHINGLES



FRONT ELEVATION

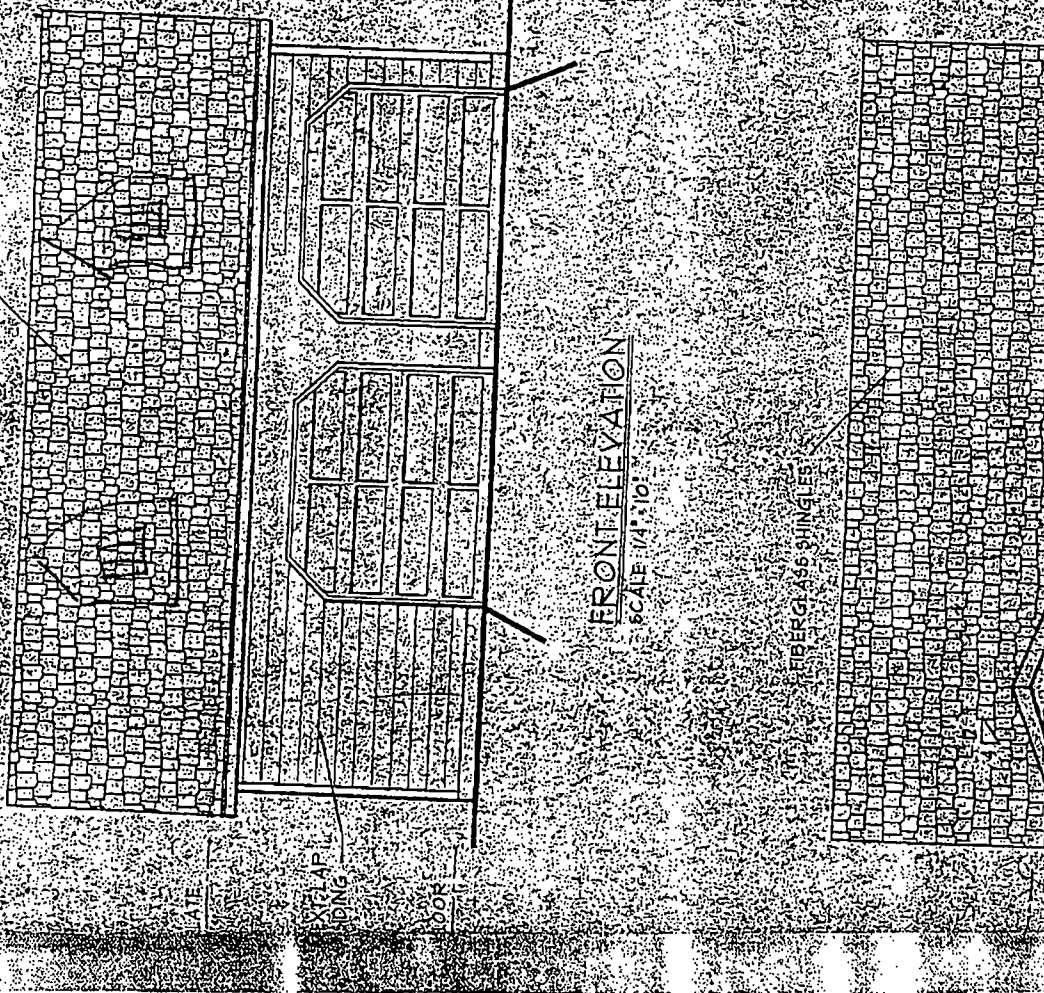
1/4" = 10'

6\"/>



door centered

- doors centered
- future dimers



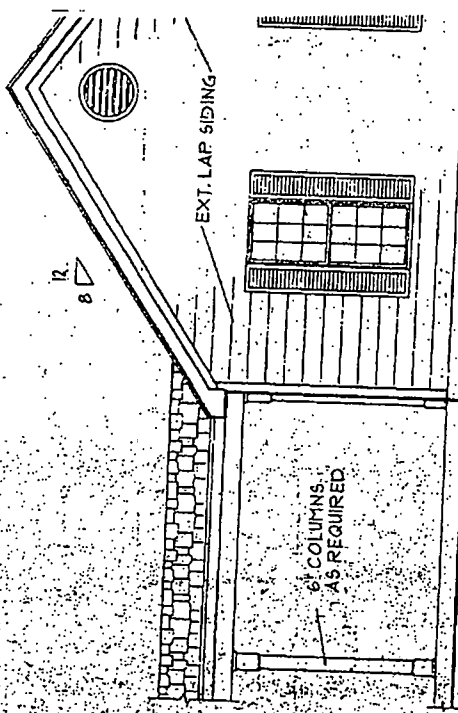
FRONT ELEVATION

SCALE 1/4" = 1'-0"

LEFT SIDE ELEVATION

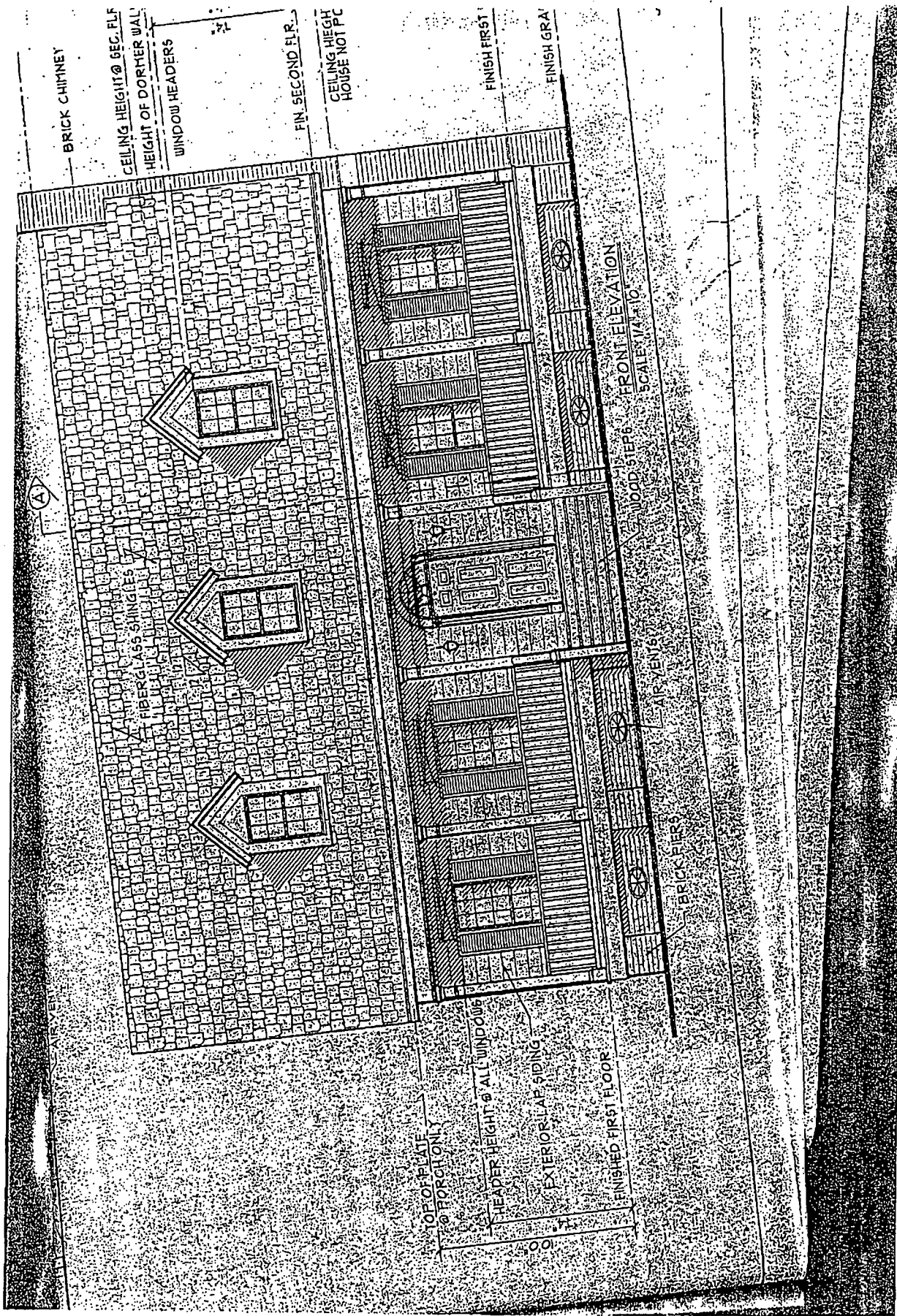
(RIGHT SIDE ELEVATION OPPOSITE HAND)

NOTE: GREAT INTO THE CRE HOWEVER BE GEOGRAPHIC AND ASSESS FOR ANY OMISSIONS, OR ALL INFORMA TO COMHENG



R. 8'

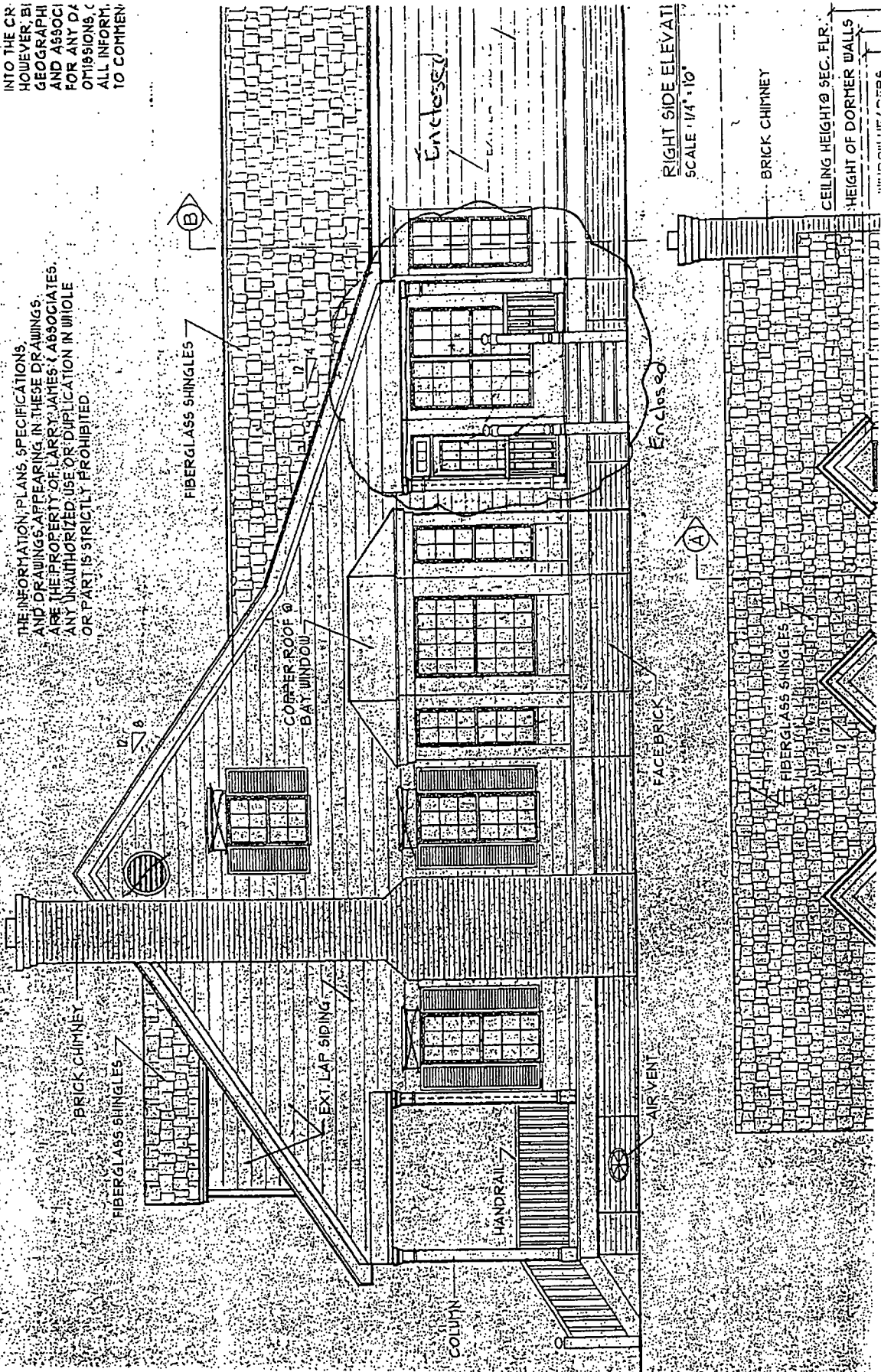
6" COLUMNS
AS REQUIRED



Changes - no header trim on windows
 deck w/ transom
 hard: plank siding (future stone veneer front, porch)
 porch - wood (future flag stone)

NOTE: GREA
 INTO THE CR
 HOWEVER, BI
 GEOGRAPHI
 AND ASSO
 FOR ANY DA
 OMISSIONS,
 ALL INFOR
 TO COMMEN

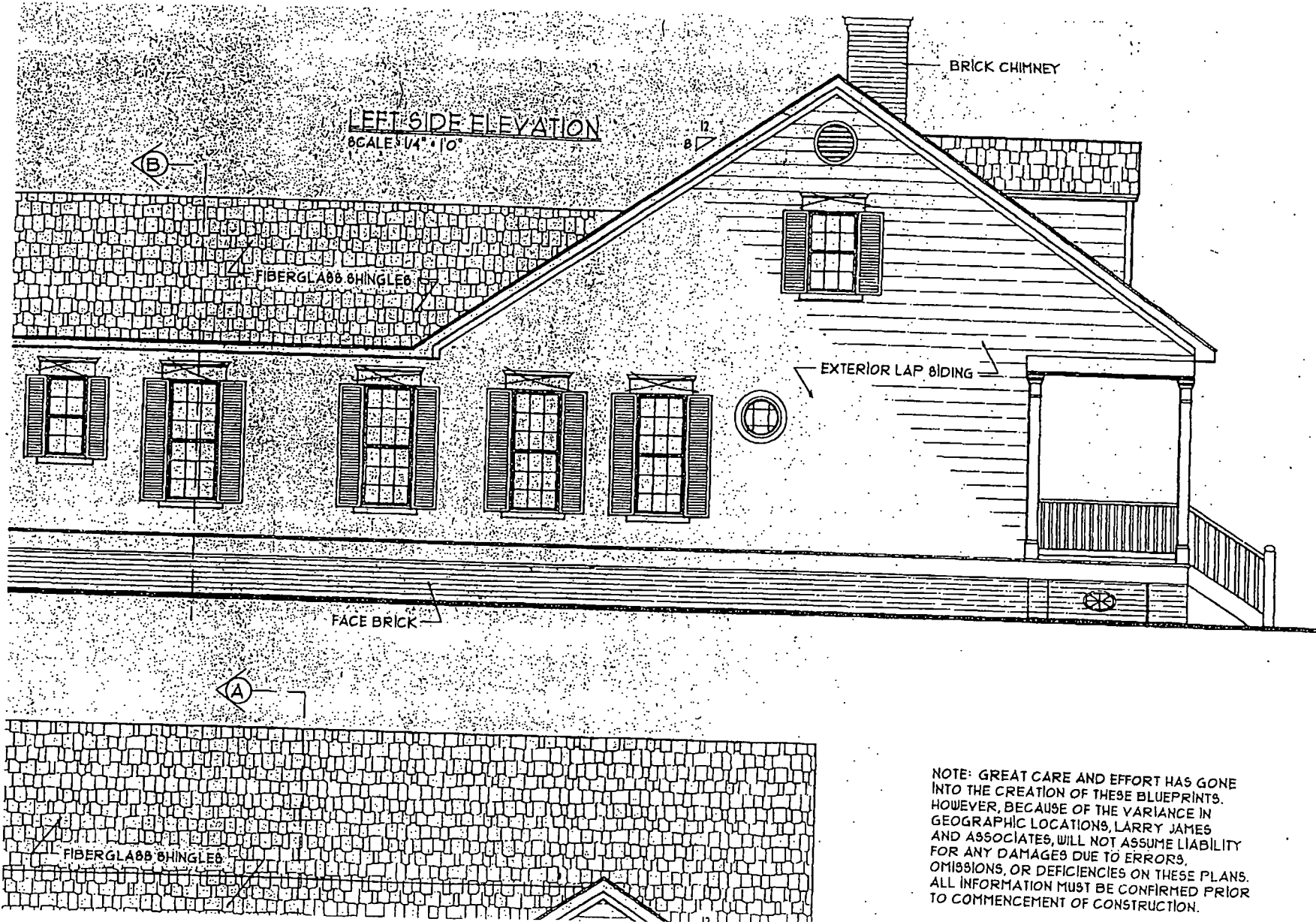
THE INFORMATION, PLANS, SPECIFICATIONS,
 AND DRAWINGS APPEARING IN THESE DRAWINGS,
 ARE THE PROPERTY OF LARRY JAMES & ASSOCIATES,
 ANY UNAUTHORIZED USE OR DUPLICATION IN WHOLE
 OR PART IS STRICTLY PROHIBITED.



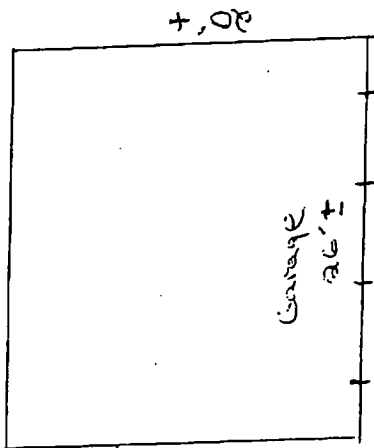
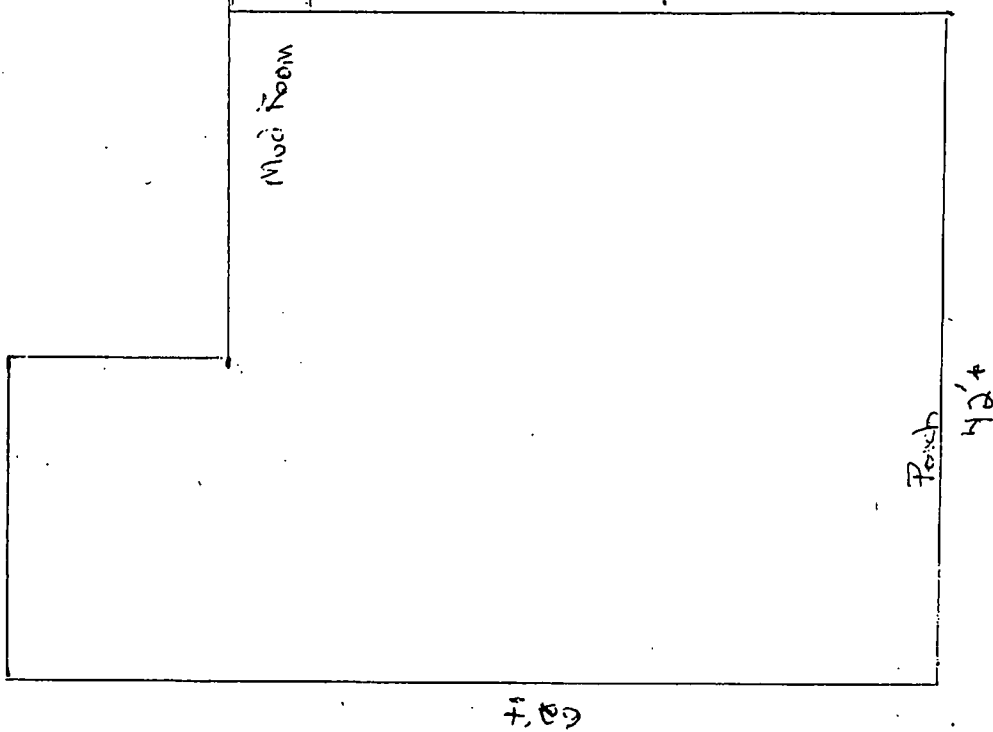
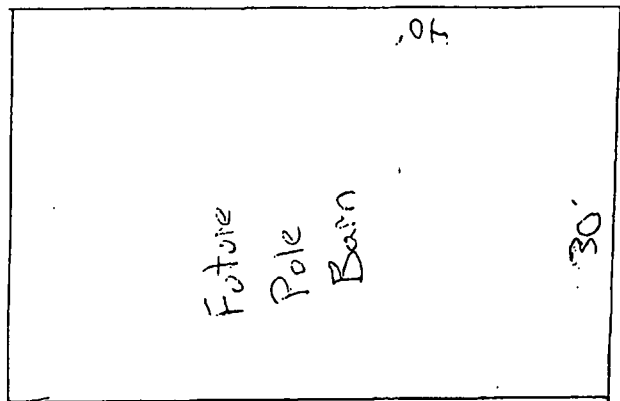
RIGHT SIDE ELEVATI
 SCALE 1/4" = 10'

BRICK CHIMNEY

CEILING HEIGHT @ SEC. FLR.
 HEIGHT OF DORMER WALLS



NOTE: GREAT CARE AND EFFORT HAS GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, LARRY JAMES AND ASSOCIATES, WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

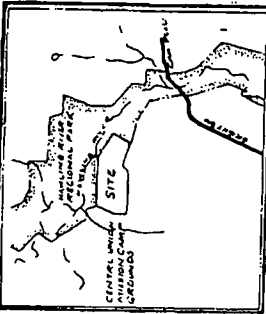


Misc Room

NTS

Plat No. 12811

PLAT



OWNER'S CERTIFICATE

We, Archie K. Shipe and Julie Ann Shipe, owners of the property shown and described hereon, hereby adopt this plan of subdivision, establish the minimum restriction lines, dedicate the street to public use, establish easements and rights of way for the construction, operation, and maintenance of storm drains as shown hereon, establish reversible slope easements as shown hereon for the construction of streets, and slope easements are to be distinguished after all public improvements have been lawfully completed and accepted for maintenance by Montgomery County, Maryland or any other appropriate public agency and establish permanent utility easements ten (10) feet wide as shown hereon and identified as P.U.E. for the construction, reconstruction, operation and maintenance of electric, telephone and gas lines.

There are no suits of action, leases, liens or trusts on the property included in this plan of subdivision.

Archie K. Shipe
Archie K. SHIPE
WITNESS

Julie Ann Shipe
Julie Ann SHIPE
WITNESS

SURVEYOR'S CERTIFICATE

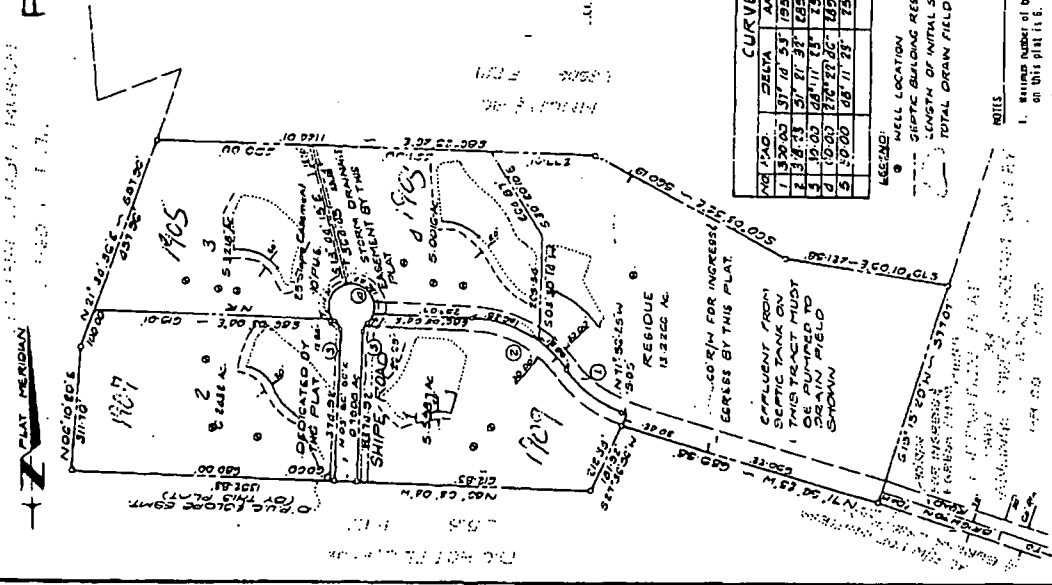
I hereby certify that the plan shown hereon is correct, that it is a subdivision of land conveyed by Joseph F. Ferma, Jr., William L. Amrosky, R. and Louis A. Ferma, Jr. or deed dated February 25, 1977 and recorded in Liber 4742 at Folio 22 among the Land Records of Montgomery County, Maryland; that iron pipes shown thus on a site in place as indicated, and that the total area dedicated to public use in this plan of subdivision is 0.1908 acres of land.

Richard H. Kehr
Richard H. Kehr
Reg. Land Surveyor
Maryland No. 0930

12/5/79 Date

NO.	TAO	DELTA	ARC	TANG.	CHORD	CURVED ARC
1	132.00	37.18	57	153.03	101.40	101.40
2	34.33	37.87	37	45.26	48.01	48.01
3	10.00	48.17	23	15.31	18.31	18.31
4	10.00	27.27	26	12.98	16.00	16.00
5	19.00	48.11	25	25.31	28.25	28.25

LEGEND:
 (S) WELL LOCATION
 (R) SEPTIC BUILDING RESTRICTION LINE
 (L) LENGTH OF NATURAL SYSTEM (L)
 (D) TOTAL DRAIN FIELD



- NOTES
- Minimum number of bedrooms allowed per lot shown on this plan is 1.
 - Right of way for streets and utility shown on this plan to be subject to easements and restrictions which owners included within this subdivision, with such time as Shipe here is required and accepted for maintenance by Montgomery County, Maryland.
 - Improvements of roadways, sewer, water and electric to be subject to approval by the Public Department.

FOR WELL AND SEPTIC SYSTEMS ONLY
 DEPARTMENT OF ENVIRONMENTAL PROTECTION
 MONTGOMERY COUNTY, MARYLAND

APPROVED: 12/31/79
James B. Babin

MARYLAND NATIONAL CAPITAL PLANNING COMMISSION
 MONTGOMERY COUNTY PLANNING BOARD

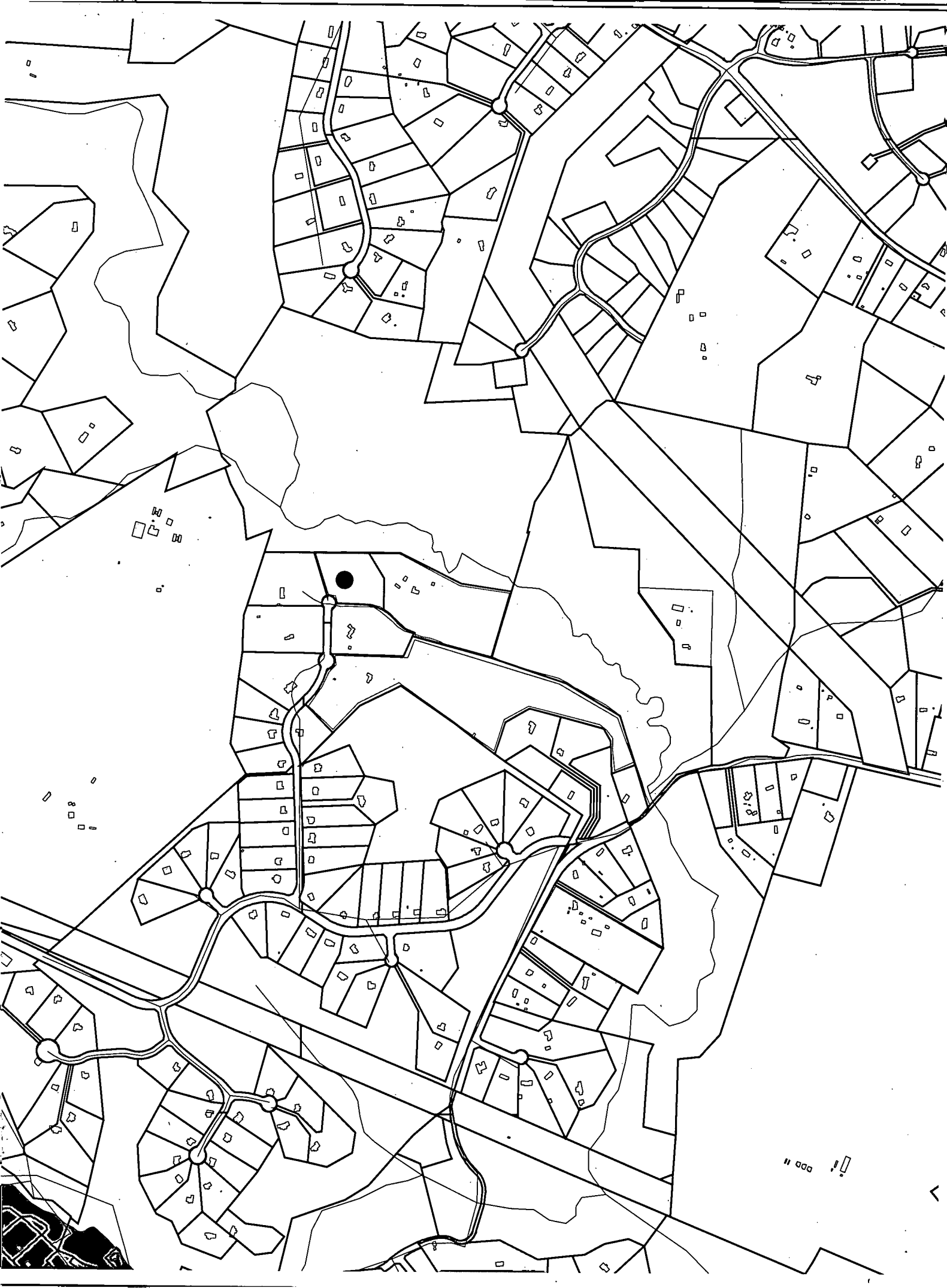
APPROVED: 13 JANUARY 1980
Richard H. Kehr

LOTS 1 THRU 10

HAWLING RIVER ESTATES
 ELECTION DISTRICT NO. 8
 MONTGOMERY COUNTY, MARYLAND
 Scale 1"=200'

KIDDE CONSULTANTS INC.
 ENGINEERS - SURVEYORS
 ROCKVILLE MARYLAND

RECORDED
 PLAT BOOK
 PLAT NO.



DDO II

Sent: Friday, August 04, 2006 12:07 PM
To: HANK MAY
Subject: 1903 Brighton Dam Road

1903 Brighton Dam Road

Aug. 17, 2006

Page 1 of 2

AF+TT met with Jennifer Smith
(interested buyer) + Hank May (agent).
Proposing 3000sf 1 1/2 story L-shaped house.

Fothergill, Anne

From: HANK MAY [HANK.MAY@Longandfoster.com]
Sent: Monday, August 07, 2006 12:52 PM
To: Fothergill, Anne
Subject: RE: 1903 Brighton Dam Road

Remove as few trees as possible.
will meet w/env. staff re: site.
will hire engineer re: septic/
house site.

Thanks for the update. My client is visiting with her father in Florida this week. She is due back over the weekend. So we will try and set something up the week of August 14th.

Hank

may make offer + come in when under contract for Prelim.

From: Fothergill, Anne [mailto:Anne.Fothergill@mncppc-mc.org]
Sent: Monday, August 07, 2006 10:34 AM
To: HANK MAY
Subject: RE: 1903 Brighton Dam Road

As far as I know, and from what I can tell from the file, we have not seen any other proposed plans for this lot. It appears there may have been someone who was interested and met with staff but it didn't go very far. I am glad you have the staff report from 2002 since that will be helpful to your client. I will find out more about the easement requirements before we meet.

I am pretty flexible to meet with you next week, I am in the office Monday through Thursday until 2:45. However, the following week (week of August 21) I will be in the office only sporadically.

Thanks,
Anne

-----Original Message-----

From: HANK MAY [mailto:HANK.MAY@Longandfoster.com]
Sent: Friday, August 04, 2006 6:12 PM
To: Fothergill, Anne
Subject: RE: 1903 Brighton Dam Road

Lot 4

Anne:

Thanks for your response. Yes, the contract purchaser was my client. I still have the staff report from '02 in my files. This lot has changed hands several times since then and I was curious if anyone else had brought in any plans and if so how were they received. My presumption is that my current client is looking to build a much more modest home.

I would like to set up an appointment with you and my client to come in and review what the HPC feels is appropriate for this property. I will give you a call early next week so we can see what is convenient for all parties.

In the meantime, I was rereading the Historic Easement. Paragraph (B) Public Access. Calls for the owner "...to make the grounds of the property open to the public on not more than six occasions each calendar year." Since there is not a structure or any gardens of significance on the property is this clause necessary? We can talk about this when we get together.

Hank

From: Fothergill, Anne [mailto:Anne.Fothergill@mncppc-mc.org]

LONG AND FOSTER REAL ESTATE, INC.
12520 PROSPERITY DRIVE, SUITE 105
SILVER SPRING, MARYLAND 20904
(C) 301-980-1991 FAX 301-388-2601 (O) 301-388-2600
hank.may@longandfoster.com

DATE: August 3, 2006

TO: Ann Fothergill

FROM: Hank May

SUBJECT: Historic Easement

RE: 1903 Brighton Dam Road
Brookeville, Md

Dear Ann:

This lot is next to the Brookeville Woolen Mill. I have a client who is interested in buying this to build their home on it. It is my understanding that there are some restrictions on the lot.

Once you have had an opportunity to review the easement/covenants please give me a call so that we can set up an appointment with you and my client and go over everything.

Thanks

Hank May
301-980-1991

Fothergill, Anne

Subject: 1903 Brighton Dam Road, Brookeville
Entry Type: Phone call

Start: Thu 9/6/2007 4:39 PM
End: Thu 9/6/2007 4:39 PM
Duration: 0 hours

Anne:

I fielded a call from the gentleman below who is interested in possibly buying the "infamous" vacant lot at 1903 Brighton Dam Road. He had some general questions about the property. If you'd rather I call him back to discuss the property I can do so, but I wanted to touch base with you first because I know you had some previous involvement with the property, I think?

Byron Cuyun
301.385.1849

LDVM
9-7
AF

Fothergill, Anne

From: Manarolla, Kevin
Sent: Thursday, June 21, 2007 1:44 PM
To: 'Pimentastone@msn.com'
Cc: Fothergill, Anne; Oaks, Michele; Silver, Joshua
Subject: RE: Historic Lot in Brookville, MD

Paul,

I am the Administrative assistant here in the Historic Preservation office, let me answer your questions:

1. 1903 Brighton Dam Road *is* designated as a historic property. (even though there are presently no structures on this lot)
2. It is possible to build a new house on this lot but any proposed plan still needs to be approved by the Historic Preservation Commission (HPC). You will need to have an architect working with you and HPC staff to make sure that your proposal stays within the Historic Preservation Ordinance.
3. This lot can *not* be subdivided any further.

If you have any further questions please feel free to direct them to this office.

Kevin Manarolla
 Senior Administrative Assistant
 Montgomery County Planning Department
 Countywide Planning--Historic Preservation Section
 1109 Spring Street, Suite 801
 Silver Spring, MD 20910
 301-563-3400 phone
 301-563-3412 fax

-----Original Message-----

From: MCP-Historic
Sent: Thursday, June 21, 2007 11:48 AM
To: Manarolla, Kevin
Subject: FW: Historic Lot in Brookville, MD

Kevin,

Perhaps this man's question has already been answered. Could you contact him and at least give him general info? Michele could give more detail about subdividing a lot, if needed.
 Clare

-----Original Message-----

From: Paulo Pimenta [mailto:Pimentastone@msn.com]
Sent: Thu 6/7/2007 5:55 PM
To: MCP-Historic
Cc:
Subject: Historic Lot in Brookville, MD

June 7

Hello,

My name is Paul Pimenta, I own a 5 acre lot in Brookville (1903 Brighton Dam Road)
District - 08 Account Number - 01969806

6/25/2007

My questions are the following:

1. Is this a historic lot?
2. Are there any limitations on what mncppc lets me do on this property such as the size of a house or how many garages can be built?
3. Can this lot be subdivided?

If you do not have the answers to this questions where can I go to?

Thanks for your help on this matter.

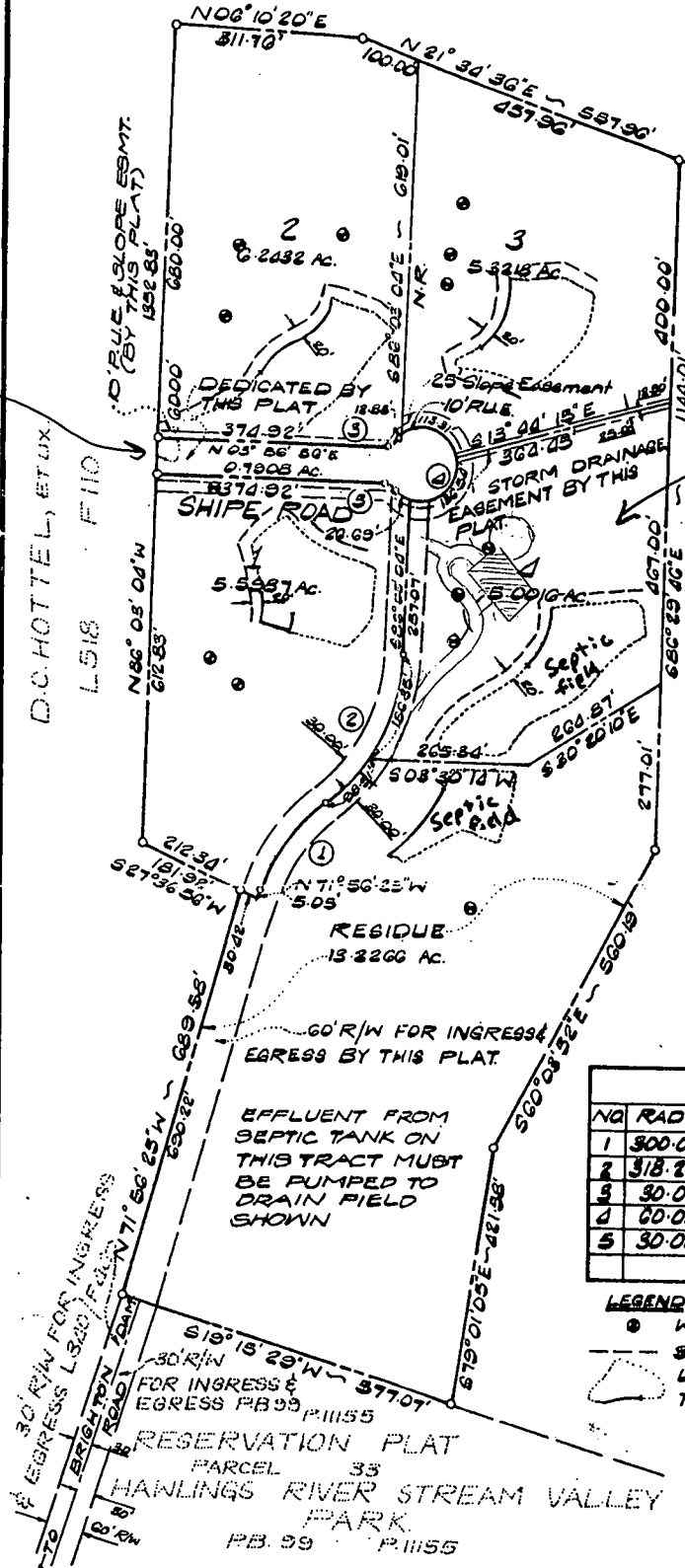
Paulo Pimenta

CENTRAL UNION MISSION

L 560 F 172



Riggs Hill Way



LOT 4

OWNER

We, Archie K. Shipe and shown and described he establish the minimum r use, establish easements or -ruction, operation and r establish revertible slope of streets, said slope e improvements have been by Montgomery County, and establish permanen and identified as P.U.E. maintenance of electric, There are no suits of ad this plan of subdivision.

11/22/79
Date

MNCP & PC
L 3606 F 221

CURVE TABLE

NO	RAD.	DELTA	ARC	TAN.	CHORD	CHORD
1	300.00	37° 10' 55"	195.03	101.10	191.01	N 53° 18'
2	318.23	51° 21' 32"	285.20	153.01	275.80	N 60° 22'
3	30.00	48° 11' 23"	23.23	13.42	22.29	N 20° 08'
4	60.00	276° 22' 46"	289.22	00	20.00	S 86° 03'
5	30.00	48° 11' 23"	23.23	13.42	22.29	S 28° 02'

LEGEND:

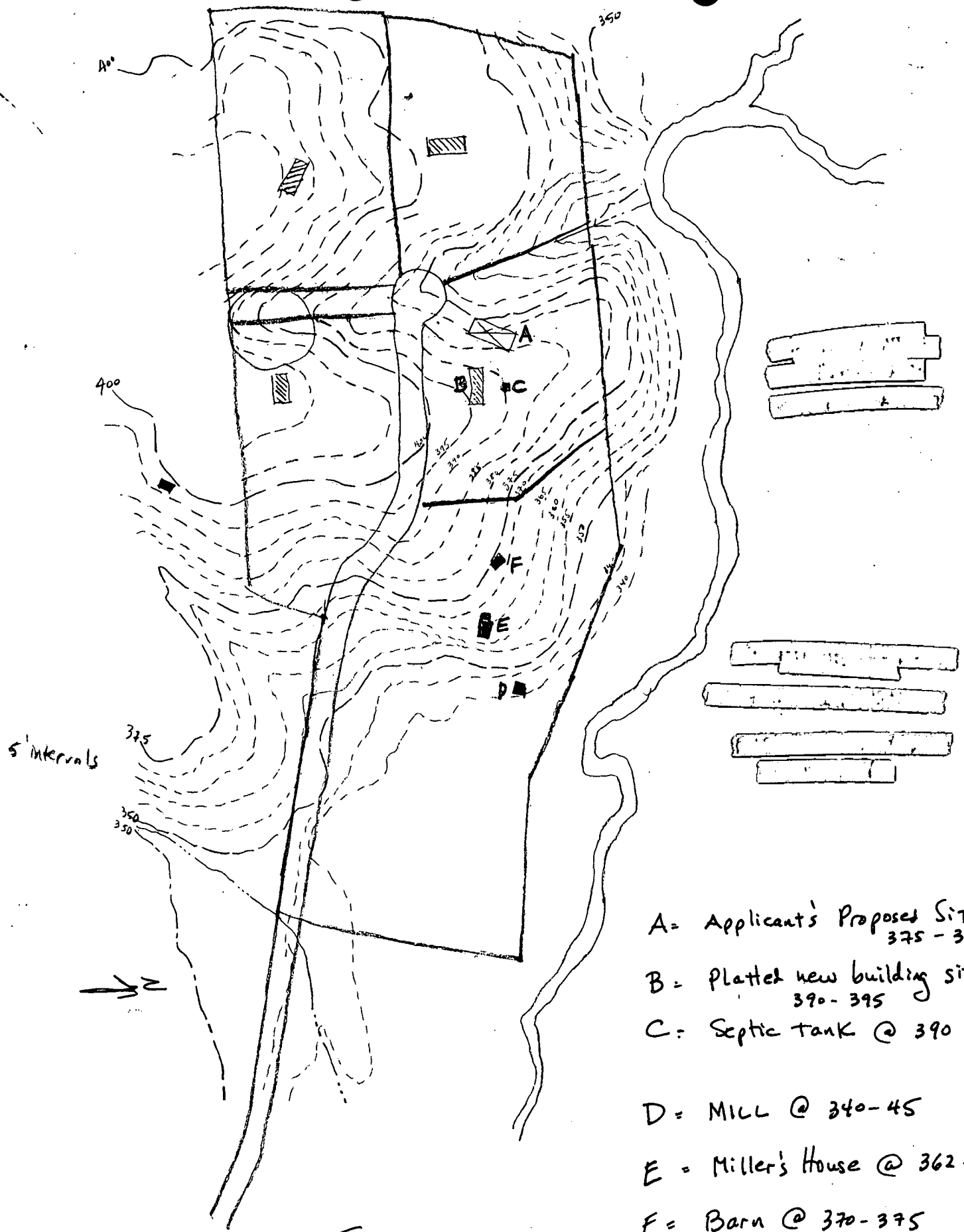
- WELL LOCATION
- SEPTIC BUILDING RESTRICTION LINE
- LENGTH OF INITIAL SYSTEM &
- TOTAL DRAIN FIELD

NOTES

1. Maximum number of bedrooms allowed per lot shown on this plat is 6.
2. Right of way for ingress and egress shown on this plat to be mutually maintained by all property owners included within this subdivision until such time as Shipe Road is improved and accepted for maintenance by Montgomery County, Maryland.
3. Improvements of roadway over ingress and egress easements subject to approval by MNCP & PC Park Department.

FOR WELL AND SEPTIC SYSTEMS ONLY
DEPARTMENT OF ENVIRONMENTAL PROTECTION
MONTGOMERY COUNTY MARYLAND

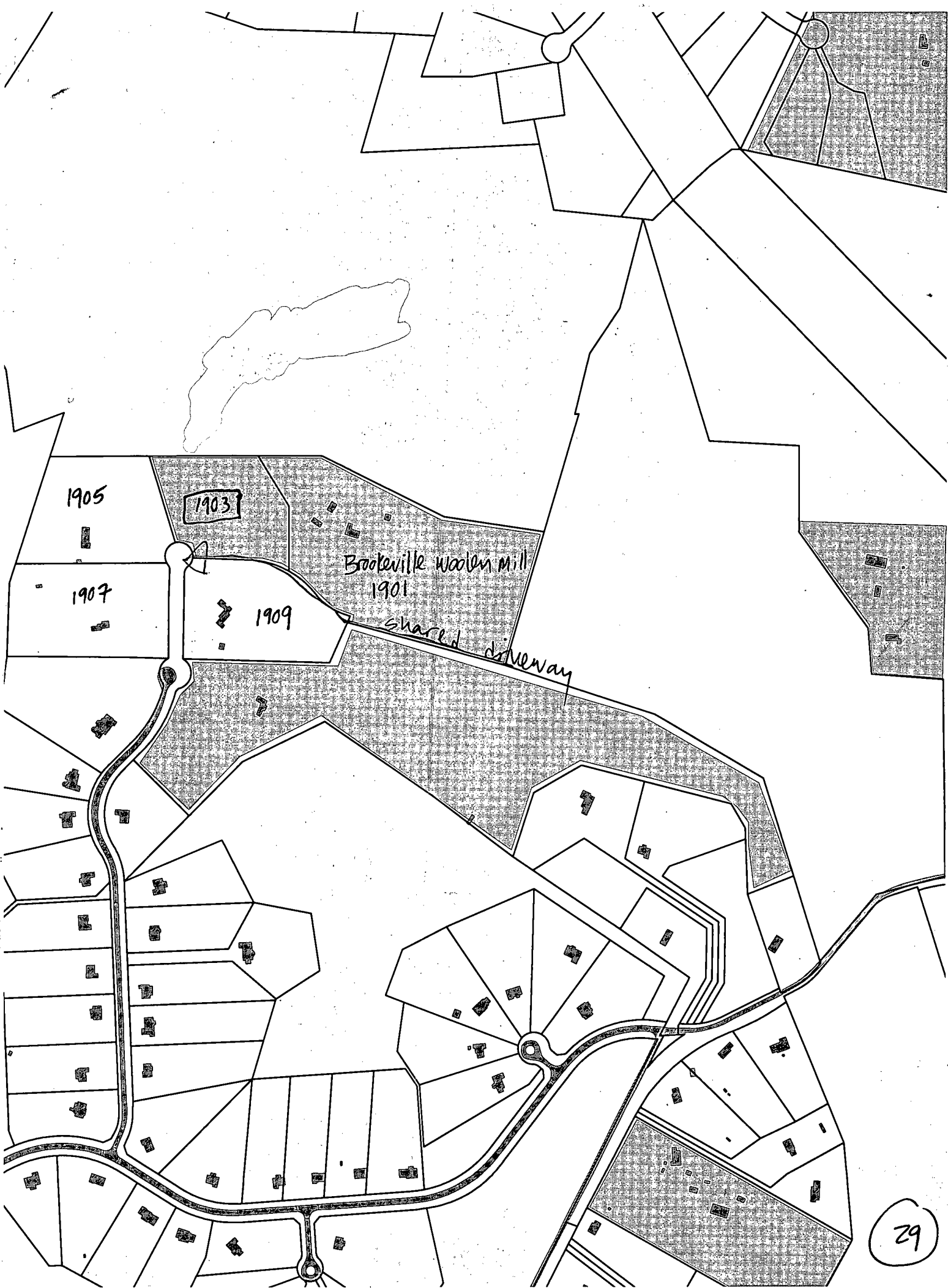
APPROVED: 23 January, 1980
James S. Baker
Director

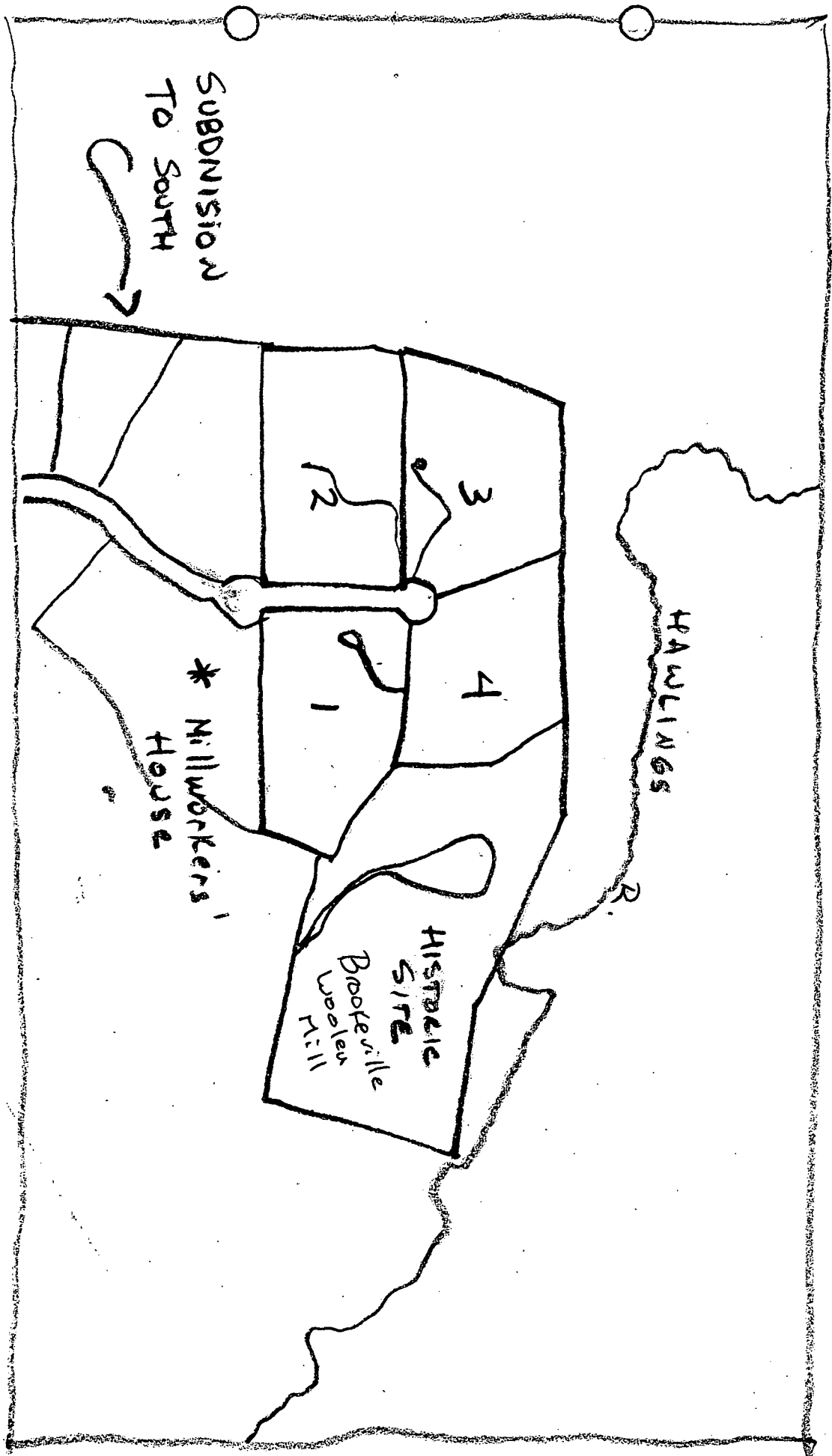


5' intervals

- A = Applicant's Proposed Site
375 - 385
- B = Platted new building site
390 - 395
- C = Septic tank @ 390
- D = MILL @ 340 - 45
- E = Miller's House @ 362 - 368
- F = Barn @ 370 - 375
c. 1830

TOPOGRAPHY





Map of Subdivision with
Brookville Woolen Mill

30
~~19~~



**LONG & FOSTER,
REALTORS[®]**

**HANK MAY
REALTOR[®]**

Licensed in Maryland & Washington, DC

Residential / Commercial

Office: 301-388-2600

Voice Mail: 301-388-2664

Home: 301-384-2237

Fax: 301-388-2601

Call: 301-980-1991

WHITE OAK / SILVER SPRING OFFICE

12520 Prosperity Drive, Suite 105 / Silver Spring, Maryland 20904





**LONG &
FOSTER**
COMPANIES

HANK MAY
REALTOR®

Licensed in Maryland & Washington, DC
Residential / Commercial

Office: 301-388-2600

Voice Mail: 301-388-2664

Home: 301-384-2237

Cellular: 301-980-1991

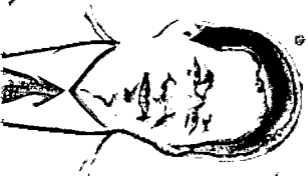
Fax: 301-388-2601

Email: hank.may@longandfoster.com

WHITE OAK / SILVER SPRING OFFICE

12520 Prosperity Drive, Suite 105 / Silver Spring, MD 20904





Stanley Der

Exceeding Your Professional Real Estate Needs

Direct: 301-523-5562

Office: 800-341-7355

StanleyDer@LNFRE.com

stanley.der@LNF.com

North Potomac/Gaithersburg

189 Kentlands Boulevard

Gaithersburg, Maryland 20878

Toll Free: 800-341-7355

Fax: 301-330-5933





For Sept. 11

FOR BROOKVILLE

WOOLEN MILL.

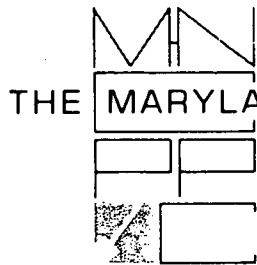
SITE VISIT REG.

u
u

u

u

Mary Park McLean



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Nancy Vert FAX NUMBER: 301 681 0443 ✓
~~301 924 4387~~

FROM: Michele Nau

DATE: 10-31-03

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 2

NOTE:

7884 480

Michelle - 10/20/03
















I've never heard
of Brian Gallagors
& have never seen
any plans from him.

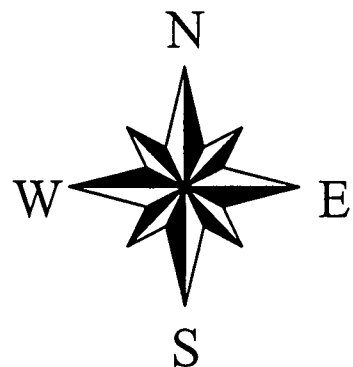
Gwen

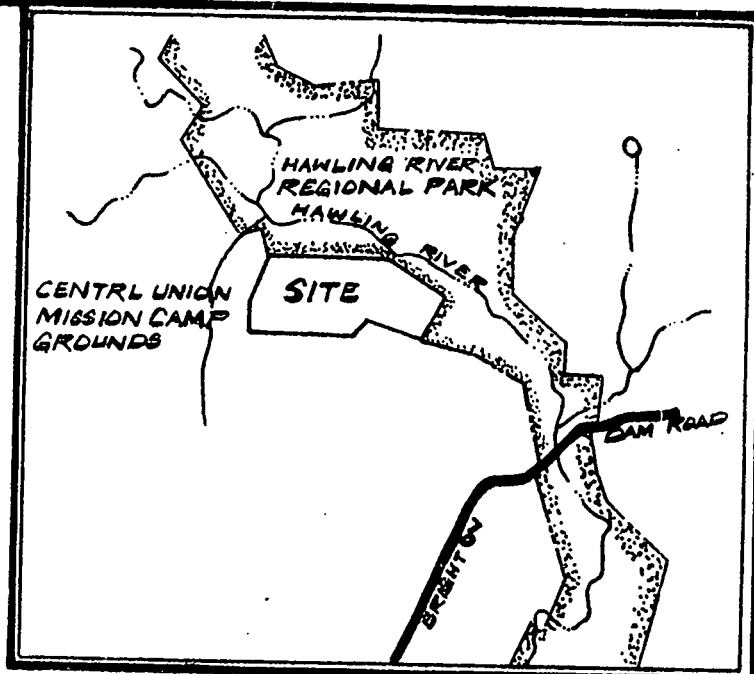
10-21
10-01

Front Counter View



-  Base Map Grid
-  County Boundary
-  Property
-  Record Plats
-  Lakes and Ponds
-  Major Power Lines
-  Parking Lots
-  Site Plans
-  Approved Prelim Plans
-  Pending Prelim Plans
-  Bridges
-  Sidewalks
-  Municipalities
-  Park Facilities
- All Parks**
-  Existing
-  Proposed





VICINITY MAP
Scale 1"=2000'

S CERTIFICATE

Julie Ann Shipe owners of the property hereon, hereby adopt this plan of subdivision, restriction lines dedicate the street to public rights of way for the construction, reconstruction, maintenance of storm drains as shown hereon, easements as hereon shown for the construction easements are to be extinguished after all public lawfully completed and accepted for maintenance Maryland or any other appropriate public agency utility easements ten (10) feet wide as shown hereon for the construction, reconstruction, operation and telephone and gas lines.

on, leases, liens or trusts on the property included in

Alexic Raulin 11/27/79
WITNESS

Archie K. Shipe
ARCHIE K. SHIPE

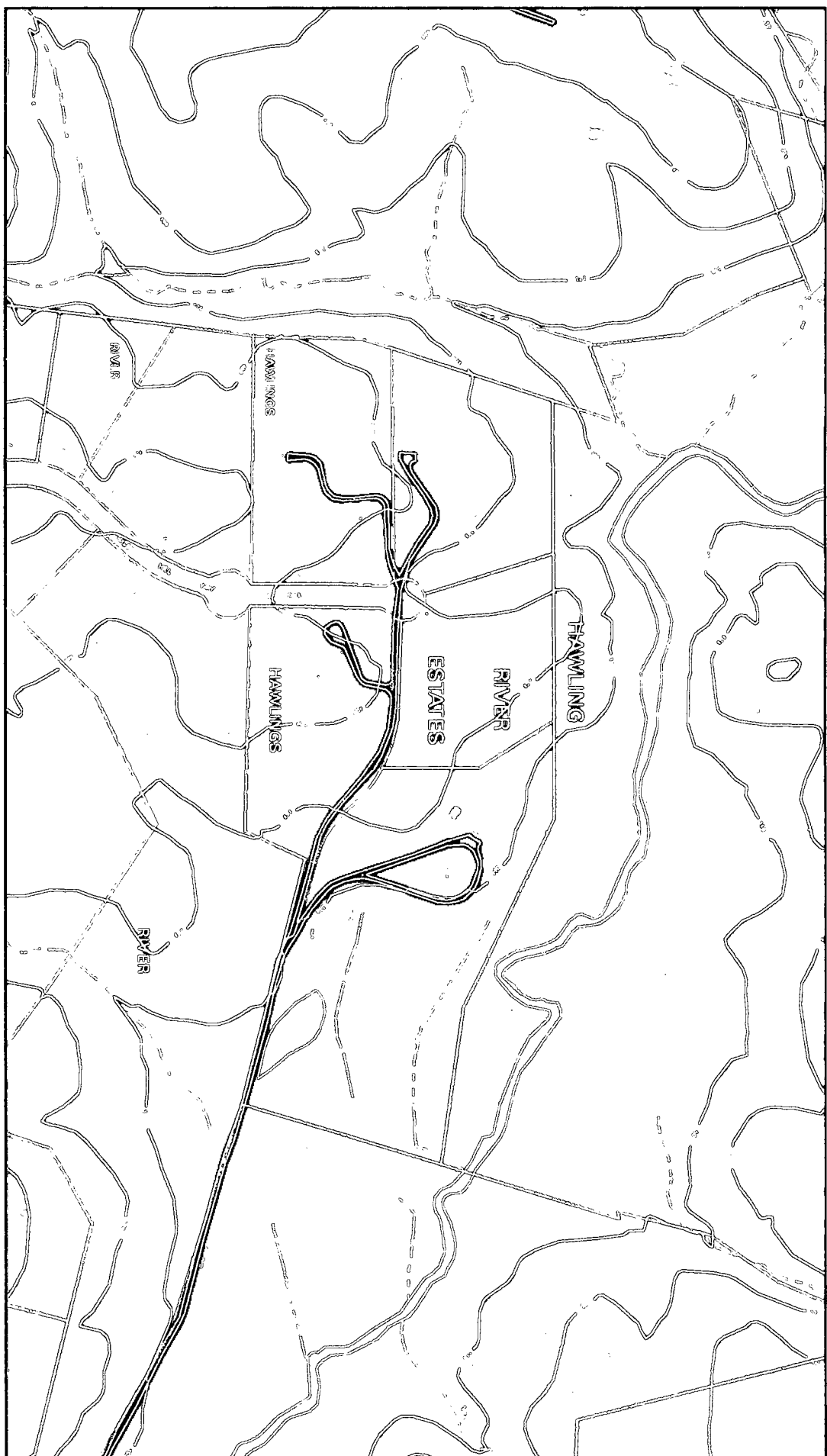
Alexic Raulin 11/27/79
WITNESS

Julie Ann Shipe
JULIE ANN SHIPE

SURVEYOR'S CERTIFICATE

I hereby certify that the plan shown hereon

VICINITY MAP FOR
MARY PARK & ANIL

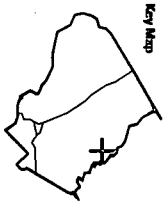


Map compiled on August 15, 2002 at 12:18 PM | Site located on base sheet no. - 228W02 | Date of Orthophotos - March 1998 | Orthophoto images licensed from VARIOUS LLC

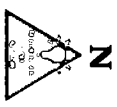
NOTICE

The planimetric property and topographic information shown on this map is based on copyrighted Map Products from the Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without written permission from MNCPPC.

Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:44,000 scale aerial photography using stereo photogrammetric methods. This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map other than for general planning purposes is not recommended. - Copyright 1998



Key Map



1 : 4800

MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

6767 Georgia Avenue - Silver Spring, Maryland 20910-5250

Topography

20

**Weichert,
Realtors**



**NANCY VERT
REALTOR®**

**Office: (301) 681-0555
Fax: (301) 924-4387
Cell: (240) 305-6315**



**18141 TOWN CENTER DRIVE
OLNEY, MARYLAND 20832**

I am working for
the budget.

Michele

I was told by Brian Gallagens
real estate agent that he submitted
a copy of a house plan to you within
the contract requirement of two weeks
after ratification which was 5-13-03.
I was then told that you had asked
him to modify his house plans and
that they had been resubmitted to
you twice more. We are now holding
up settlement on the ~~of~~ statement that
he has not yet heard back from you.

I would appreciate it if you could
call me with any information you
have on the 1903 Brighton Dam lot.
Thank you for your help.

My number is 240-305-6315.

plans
submitted
on property
from
Bryan
Gallagen


July 9, 2003

Dear Nancy,

Brian is trying to set up a meeting with Michelle at the Historic Society.

Once they have approved his plans, it must then go to the County Council for approval. I believe that this will take between two to two and one half months.

Sincerely,

A handwritten signature in cursive script that reads "Tom Morris".

Tom Morris
Associate Broker
Weichert Realtors
301-681-0555

The deposit shall forthwith be returned to Buyer pursuant to Paragraph 8, and this Contract shall become null and void. If no such election is made, this Contract shall remain in full force and effect and the purchase contemplated herein, less any interest taken by eminent domain or condemnation, shall be effected with no further adjustment, and upon settlement Seller shall assign, transfer and set over to Buyer all of the right, title and interest of Seller in and to any awards, damages or insurance that have been or that may thereafter be made for such taking. TIME IS OF THE ESSENCE WITH REGARD TO THIS PARAGRAPH.

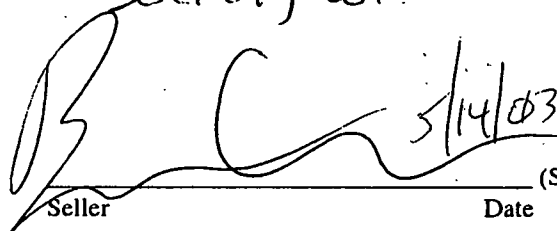
25. RIGHT TO ASSIGN CONTRACT. The parties hereto agree that Buyer herein may assign his rights and interest in this Contract subject to the following limitations and restrictions:

- a. Buyer/Assignor will remain liable to Seller for the full performance of this Contract.
- b. If this Contract is for cash or provides for the placing of new financing which does not involve Seller, then no approval by Seller shall be required for said assignment.
- c. If this Contract provides for the assumption of Seller's present financing on the property, or for Seller to take back a deferred purchase money deed of trust, then Seller shall have the right to approve the assignment and the credit of the prospective assignee, which approval shall not be unreasonably withheld. In the event Seller approves, in writing, the assignment, the assignor shall be relieved of any obligation under this Contract.

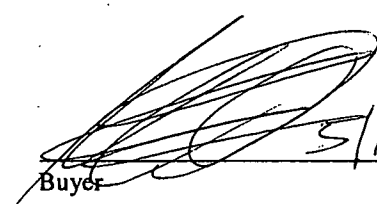
D. in the event that the Contract is assigned, the real estate brokers involved prior to the assignment shall be entitled to their full commission as if no assignment had been made.

26. AGREEMENT OF PRINCIPALS. We, the undersigned, hereby ratify, accept and agree to this Contract and acknowledge receipt of a copy hereof. The principals to this Contract mutually agree that it shall be binding upon them, their heirs, executors, administrators, personal representatives, successors and assigns; that the provisions hereof shall survive the execution and delivery of the deed herein stated and shall not be merged therein. This Contract contains the final and entire agreement between the parties hereto, and neither they nor their Agent(s) shall be bound by any terms, conditions, statements, warranties or representations, oral or written, not herein contained. This Contract, any modification, amendment or addendum hereto shall be null, void and unenforceable until Seller and Buyer have (a) signed or, where appropriate, initialed this Contract and any modification, amendment or addendum and/or (b) transmitted assent through a wired or electronic medium which produces a tangible record of the transmission (such as a telegram, mailgram, datagram or telecopier "fax") and (c) provided to the other party, in accordance with the paragraph labeled "NOTICES," the signed or, where appropriate, initialed Contract, modification, amendment or addendum and/or the transmitted assent.

27. Purchaser will submit PLANS TO THE HISTORIC Society within 14 Days of Ratification



Seller Date (Seal)



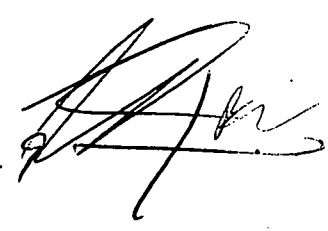
Buyer Date (Seal)

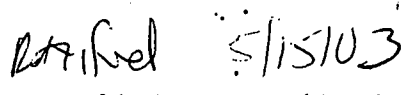
Seller Date (Seal)

Buyer Date (Seal)

28. Purchaser will deliver to Seller Notice from Bank as to sufficient funds to settle property

29. Purchaser will keep Seller apprized of ongoing progress as APPROPRIATE

27, 28, 29 

 5/15/03

This recommended form is the property of the Greater Capital Area Association of REALTORS®, Inc. and is for use by members only.

CAAR Form #1306 Page 7 of 7 © 1999 Greater Capital Area Association of REALTORS®, Inc.



2/99

The Grand **Monet**

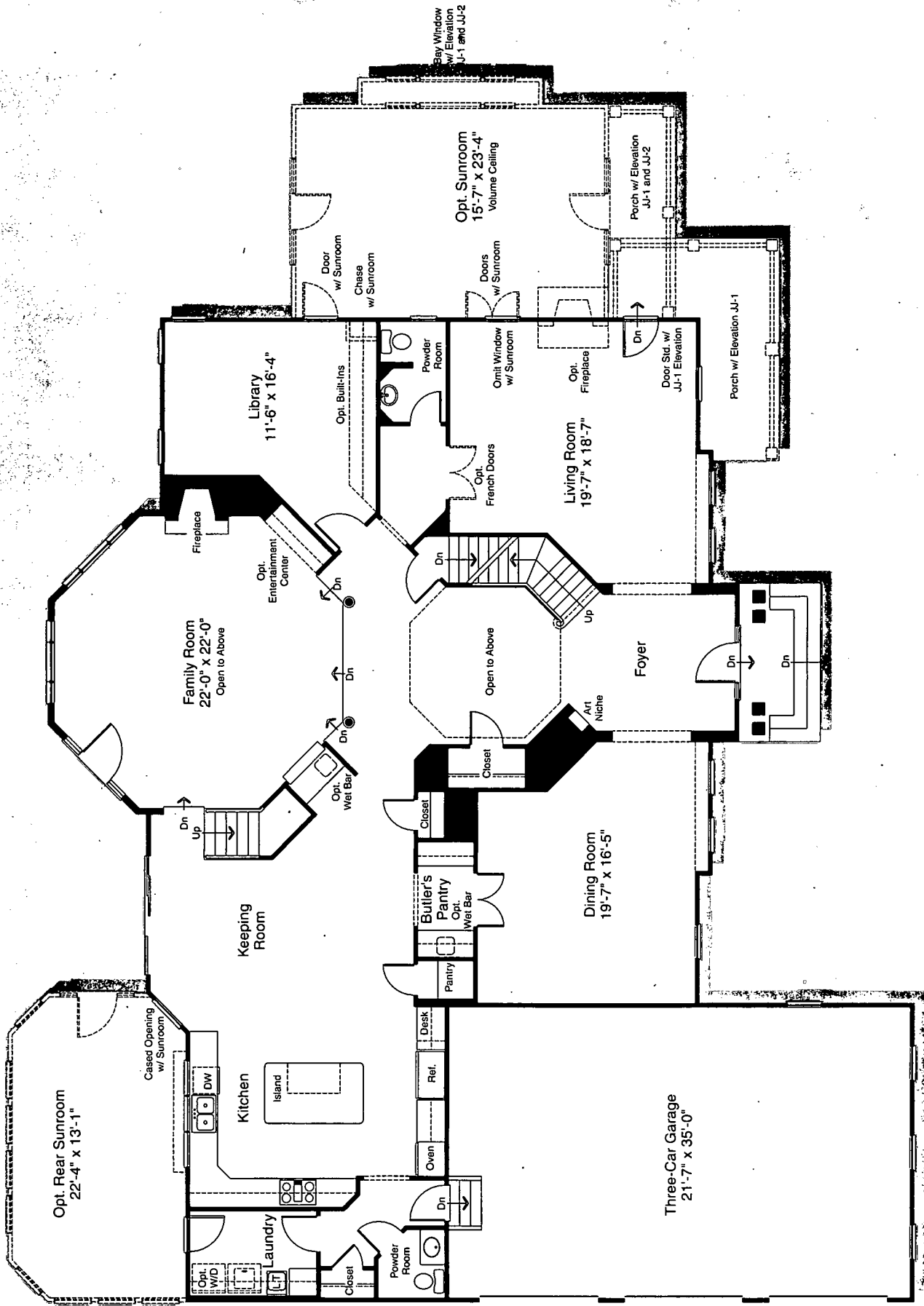
Platinum Collection



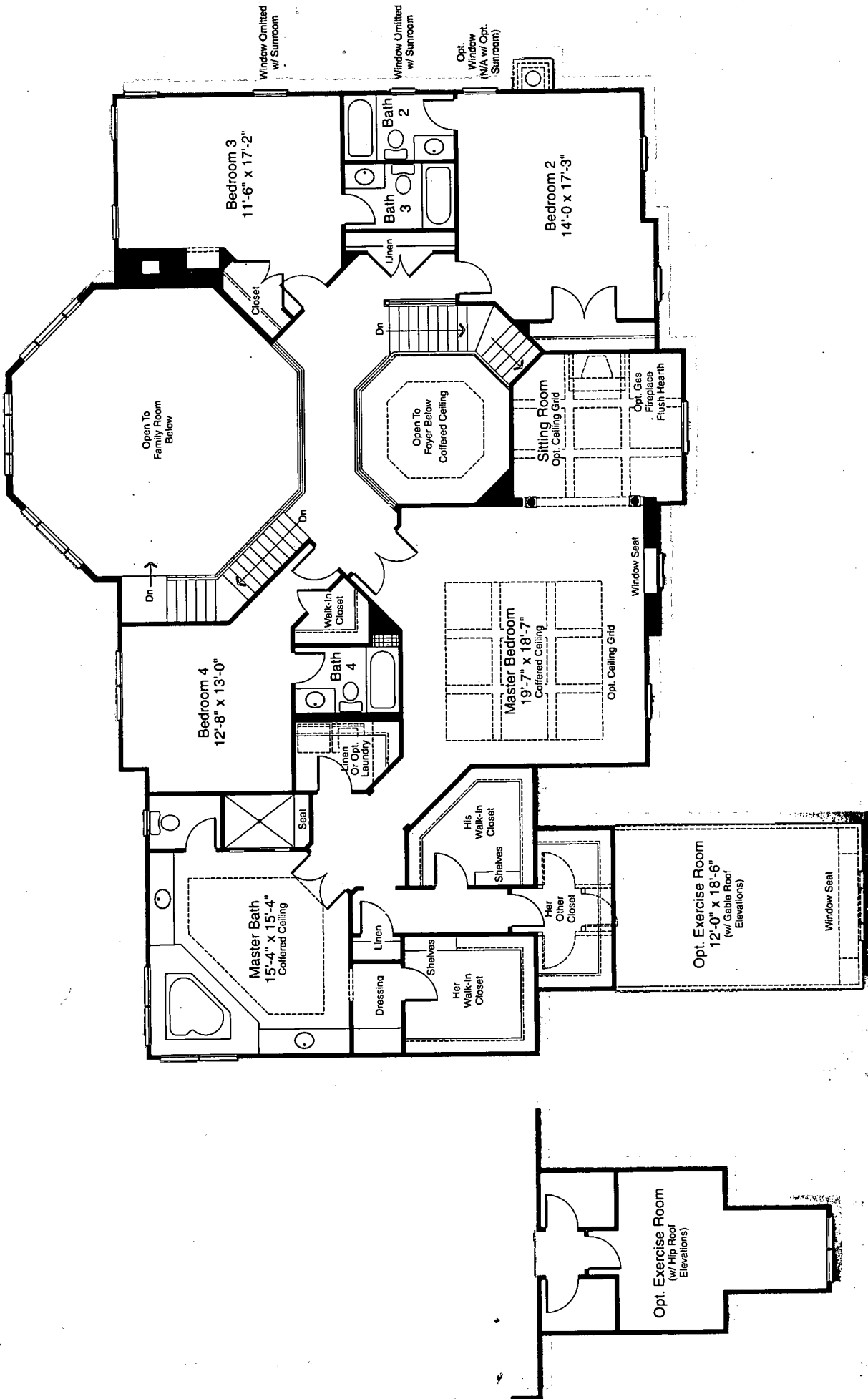
Elevation JJC Siding & Stone Exterior. Shown with optional porch, stone chimney and sunroom.

RENAISSANCE

Executive, Estate and Custom Homes



FIRST FLOOR PLAN



SECOND FLOOR PLAN

Shown on Cover T4E



Magnificently detailed with beautifully crafted voussoirs, sharp dramatic angles, and an elegantly hipped roof.

BRICK
Elevation T2



A handsome stucco elevation highlights the elegantly arched windows, dramatic box bay window and distinct stone foundation.

STUCCO & STONE
Elevation T3B



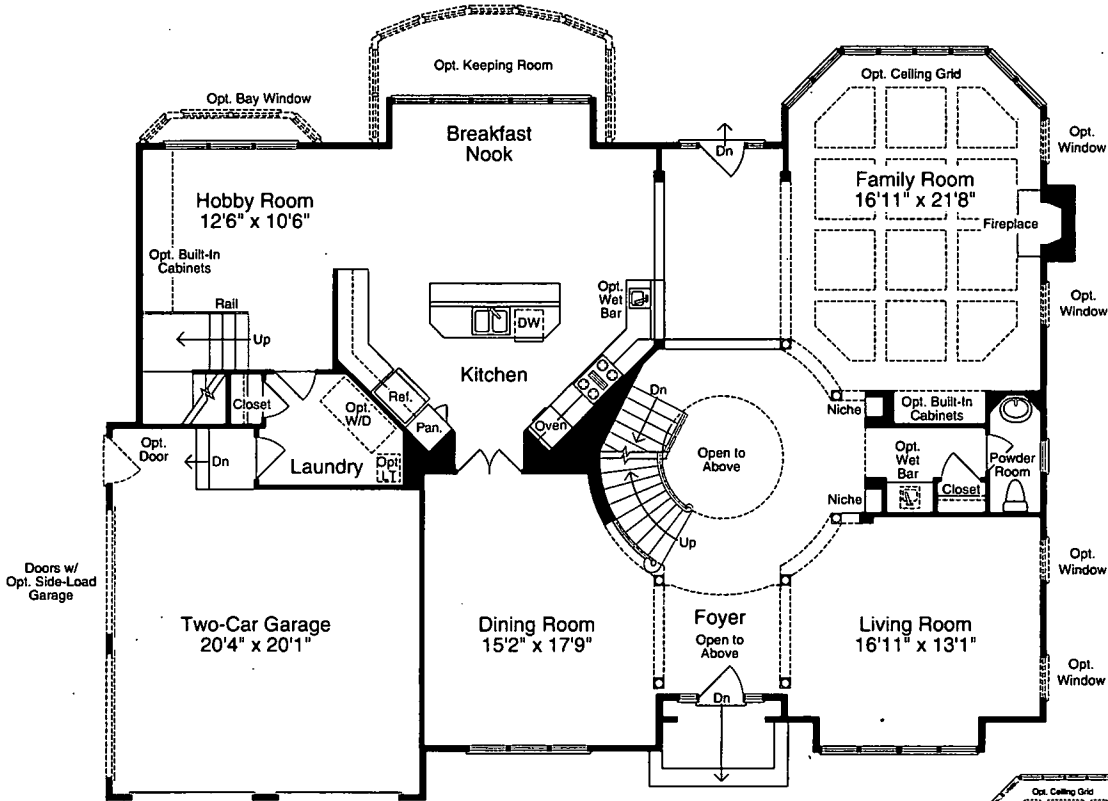
The brick foundation compliments the softer details of the palladian windows, balcony overlook above the entrance way, and crown molding.

BRICK & SIDING
Elevation T1F

Artist's renderings are for illustrative purposes only and are not part of any contract. Renderings may vary in detail from plans, specifications and as built conditions. Please note that specific elevation details, standard and optional features vary between communities. See Sales Manager for details.
All room sizes are approximate and subject to change without notice. Elevations selected and lot grade may change size and configuration of rooms and fenestration.
The information, plans, specifications and designs contained in these drawings cannot be used or reproduced in whole or in part without prior written consent. Renaissance Housing Corp. All rights reserved.

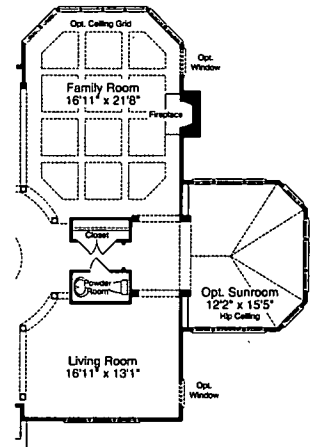
© Renaissance Housing Corp. 1999

26



First Floor Plan

Partial First Floor Plan w/
Optional Sunroom

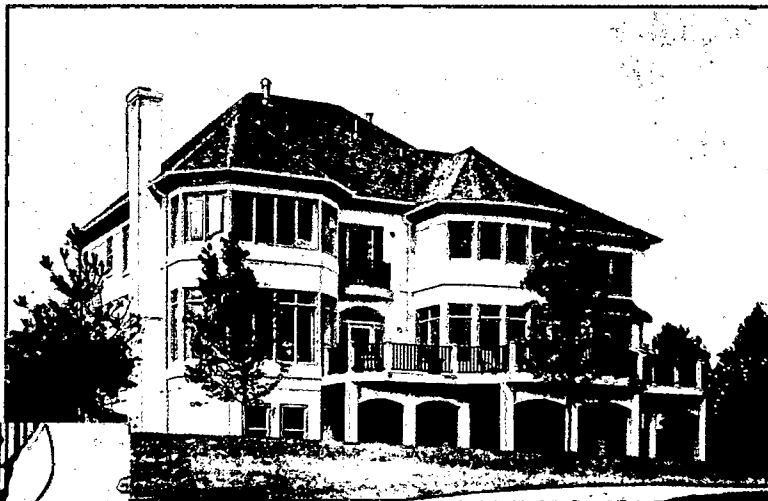


FIRST FLOOR PLAN

The two story formal entry with a circular foyer allows for sweeping vistas through the main living level.

- The dramatic, wrought iron ballustrade staircase and two wall niches enhance the elegance and sophistication of the formal foyer from both main & upper living levels.
- The breakfast area features an optional bowed bay keeping room...the perfect finishing touch to a gourmet kitchen arrangement.

- The great room earns its name with the excellently combined elements of a built-in fireplace and angled window wall expanding the entire room with outdoor vistas.
- A wide array of popular options are available: sunroom, bay window in hobby room, architecturally detailed ceiling in the great room, built-ins and a wet bar off the foyer vestibule.



1999
**AMERICA'S
BEST
BUILDERS**
• The 100 Best Award for Builders Management Excellence

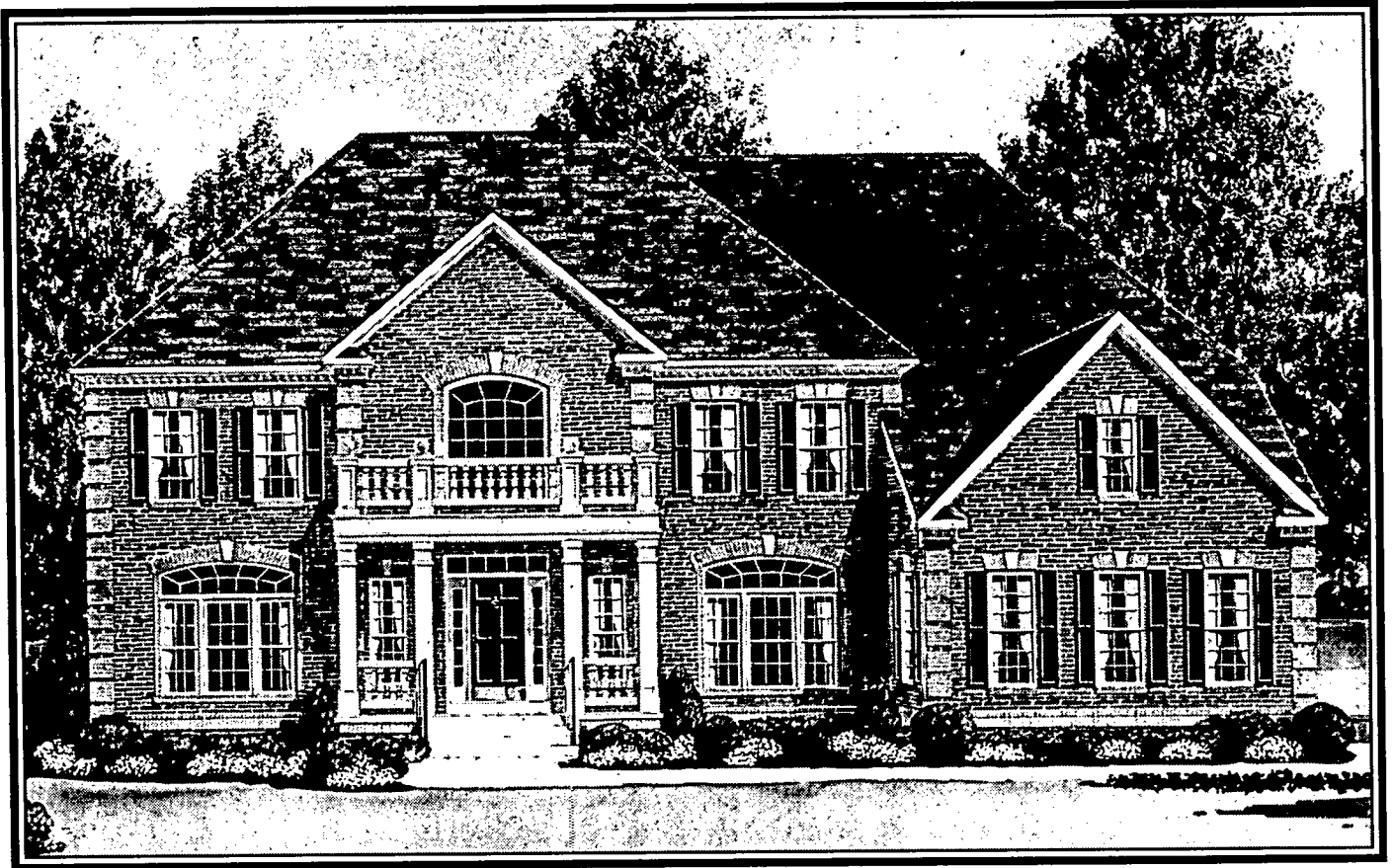


RENAISSANCE

Executive, Estate And Custom Homes

www.RenaissanceHousing.com

The Monticello



Elevation "C" with Two Car Side Entry Garage

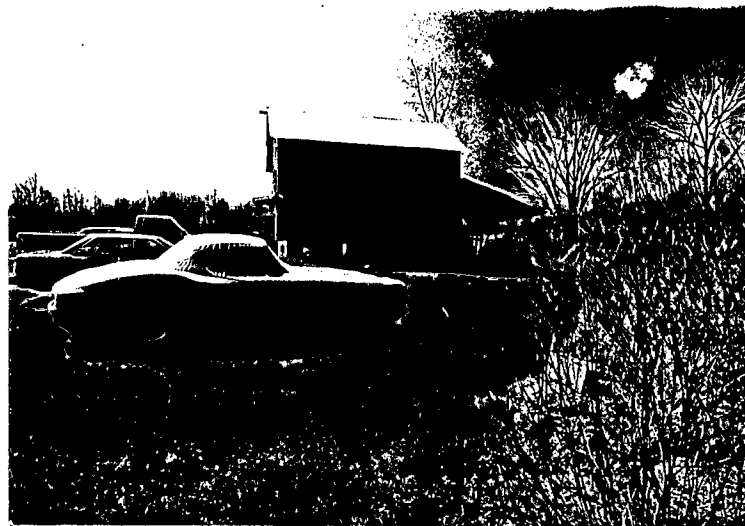

NV Homes
The NV of the Neighborhood



HOUSE



MILL










































BARN



BROOKVILLE WOOLLEN MILL

Legend

Legend compiled for map-maker map " MARY PARK & ANIL "
 Created on August 15, 2002 at 12:16 PM

	Road Pavement		Unpaved Parking Lots/Drives		Man Made Drainage Channels
	Rivers, Streams, Lakes & Ponds		Rail Lines (CSX & METRO)		Noise Barriers
	Single Line Streams		Trails		Walls
	Building Footprints		Tunnels		Bridges
	Building Ruins		Area Under Construction		Major Culverts
	Trailer Homes		Athletic Field/Court		Power Transformer Stations
	Buildings Under Construction		Cemeteries		Major Transmission Lines
	Nurseries / Orchards		Dams		Contours
	Pasture Land		Golf Courses		Property Lines (ROW, Lot, Dead, Parcel & Railroad ROW)
	Standing Water		Landfills		
	Woodlands		Swimming Pools		
	Open Land		Reservoirs		
	Crop Land		Sand/Crawl Sites		
	Airports		Tank/Smokestacks		
	Major (over 200') Private Rd's Drives & Paved Parking Lots		Major Retaining Walls		



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
888 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20880
240/777-9370

DPS - #18

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR *Preliminary Consultation* ~~HISTORIC AREA WORK PERMIT~~

Contact Person: _____

Daytime Phone No.: 301-873-8390

Tax Account No.: 160801969806

Name of Property Owner: Anil Malik, Contract Purchaser Daytime Phone No.: 301-873-8390

Address: _____
Street Number City Street Zip Code

Contractor: TBD Phone No.: TBD

Contractor Registration No.: N/A

Agent for Owner: HANIC MAY Daytime Phone No.: 301-980-1991

Address: Long & Foster, 12520 Prosperity Dr, Silver Spring Md 20904

LOCATION OF BUILDING/PREMISE

House Number: 1903 Street: Brighton Dam Rd

Town/City: Brookeville Nearest Cross Street: _____

Lot: 4 Block: _____ Subdivision: Hawlings River Estates

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
- Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
- Move Install Wreck/Teare Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 500,000 - 650,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 | | Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 | | Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Hanic May
Signature of owner or authorized agent

8/21/02
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

RECORDED LOT WITHOUT Structure

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

NONE THAT WE KNOW OF.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

CHRISTIAN NEWCOMER
1901 BRIGHTON DAM RD
BROOKVILLE, MD 20833

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

NANCY EARLY
1905 BRIGHTON DAM RD
BROOKVILLE, MD 20833

DENNIS HANNON
1907 BRIGHTON DAM RD
BROOKVILLE, MD 20833

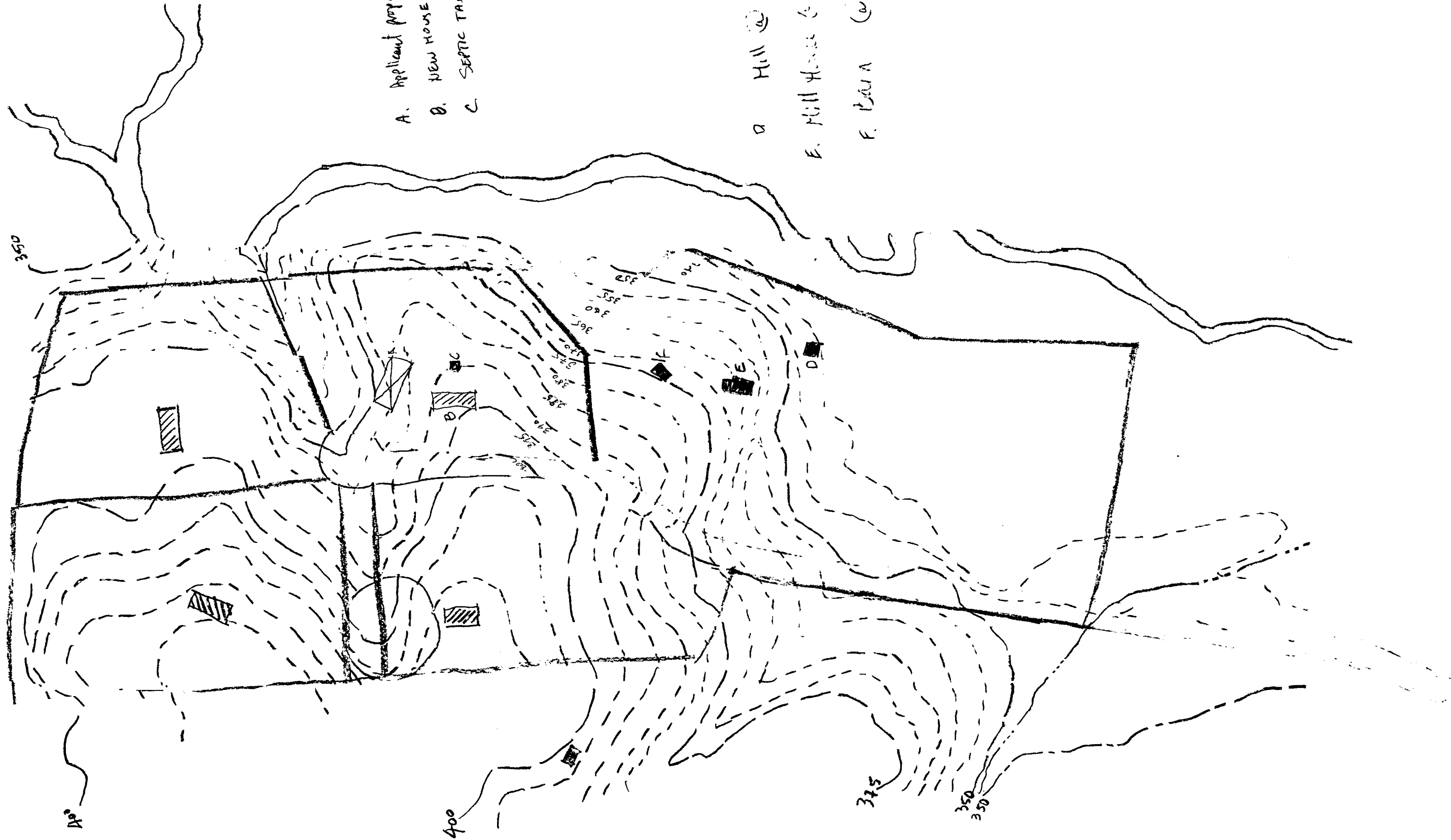
CHRISTOPHER STIFEL
1909 BRIGHTON DAM RD
BROOKVILLE, MD 20833

HAWLINGS R.



SUBDIVISION
TO SOUTH
→





- A. Applicant proposes location @ 375 - 385
- B. NEW HOUSE PLATTED @ 390-395
- C. SEPTIC TANK @ 390

- D. HILL @ 340-45
- E. HILL HOUSE @ 360-375
- F. BARN @ 375-385

5' intervals

Shown on Cover T4E



Magnificently detailed with beautifully crafted voussoirs, sharp dramatic angles, and an elegantly hipped roof.

BRICK
Elevation T2



A handsome stucco elevation highlights the elegantly arched windows, dramatic box bay window and distinct stone foundation.

STUCCO & STONE
Elevation T3B



The brick foundation compliments the softer details of the palladian windows, balcony overlook above the entrance way, and crown molding.

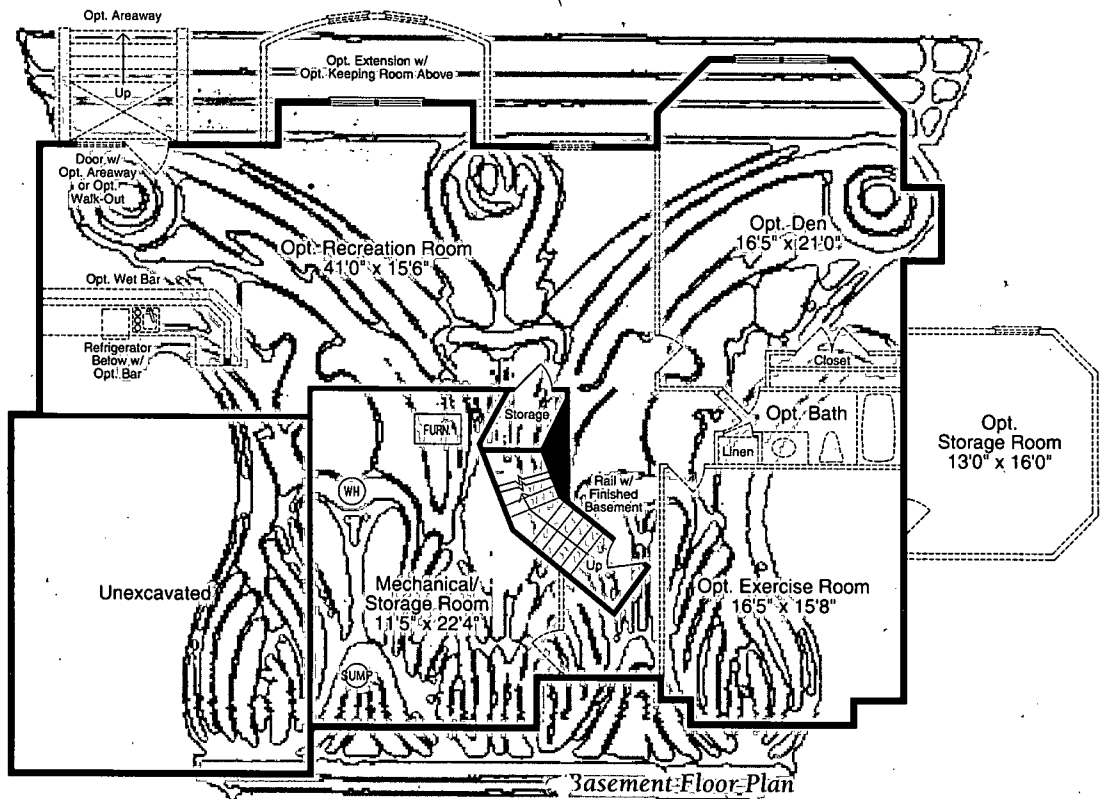
BRICK & SIDING
Elevation T1F

Artist's renderings are for illustrative purposes only and are not part of any contract. Renderings may vary in detail from plans, specifications and as built conditions. Please note that specific elevation details, standard and optional features vary between communities. See Sales Manager for details.

All room sizes are approximate and subject to change without notice. Elevations selected and lot grade may change size and configuration of rooms and fenestration.

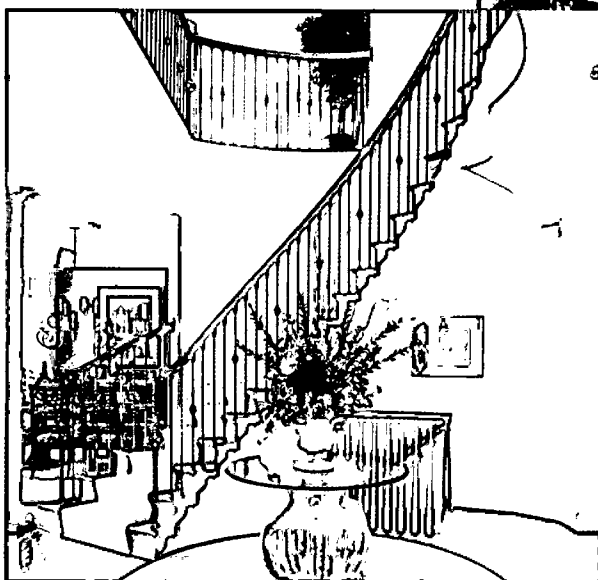
The information, plans, specifications and designs contained in these drawings cannot be used or reproduced in whole or in part without prior written consent. Renaissance Housing Corp. All rights reserved.

© Renaissance Housing Corp. 1999



BASEMENT FLOOR PLAN

• This remarkably spacious basement will stir your imagination. We've made some suggestions, including: a 13' x 16' room with storage if you select the sunroom on the first floor, huge 41' recreation room with wet bar and walk-out areaway, optional den/home office and exercise room. As always, your customization is welcome.



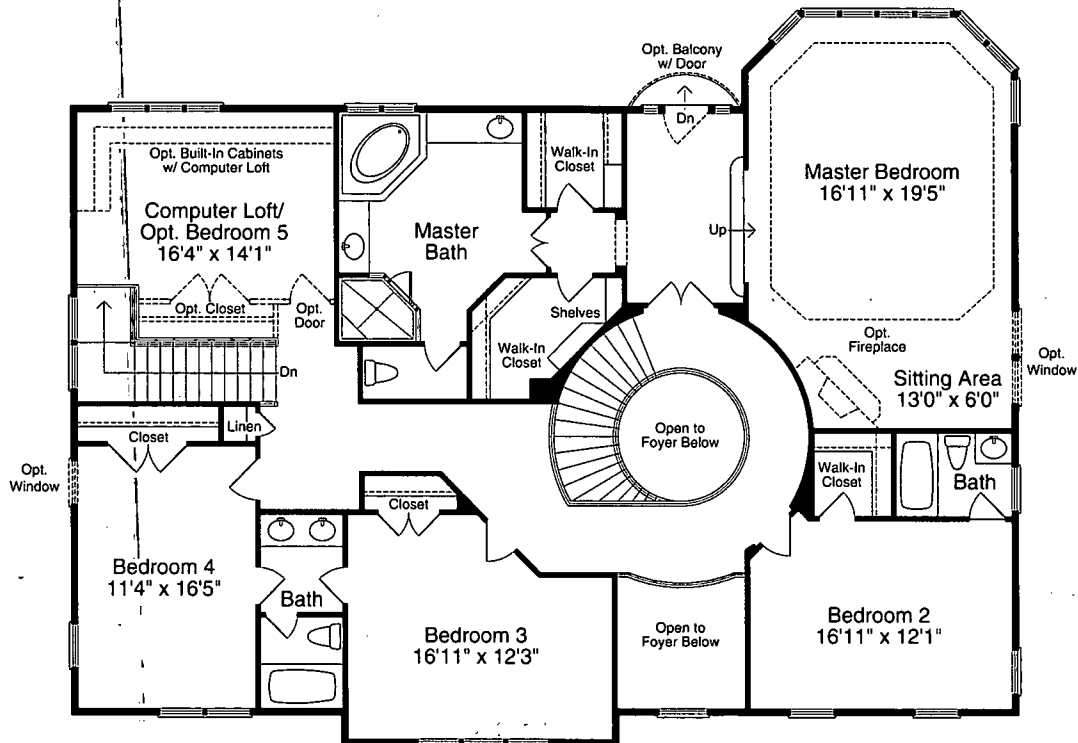
1999
**AMERICA'S
BEST
BUILDERS**
A Life-Long Award for Superior Management Practices



RENAISSANCE

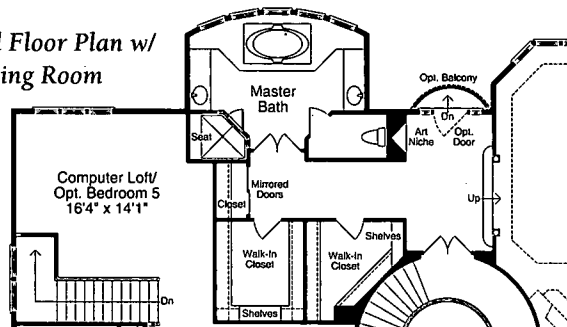
Executive, Estate And Custom Homes

www.RenaissanceHousing.com



Second Floor Plan

Partial Second Floor Plan w/
Optional Keeping Room



SECOND FLOOR PLAN

- Double doors lead you to the owner's suite, a light-filled, private retreat with 9' coffered ceilings, a vestibule with step-up to the bedroom area and a comfortable sitting area with an optional, angled, gas fireplace.
- The owner's bath features a luxurious soaking tub with option for whirlpool jets, separate shower, cultured marble vanities and two walk-in closets.
- Each of the three additional bedrooms feature direct-bath access and ample window and closet space.
- A convenient loft, easily accessed via a rear stair from the kitchen is the perfect setting for a private study/library or 5th bedroom, with a large window overlooking your backyard.
- Popular second floor options include: a fireplace in the owner's suite, luxury owner's bath, Juliet balcony off of the owner's suite, and built-in cabinets with the computer loft.

The

G

RAND

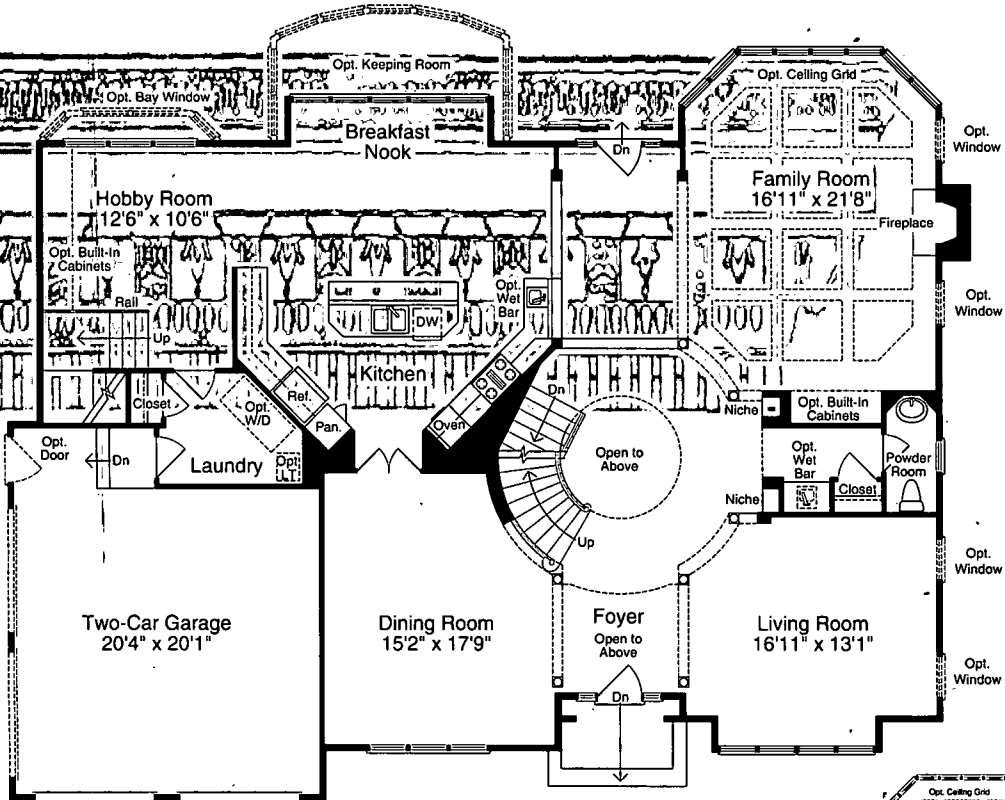
BOTTICELLI

A QUIETLY ELEGANT
MASTERPIECE DESIGNED
IN THE SPIRIT OF THE
ARTIST FOR WHOM IT
WAS NAMED.



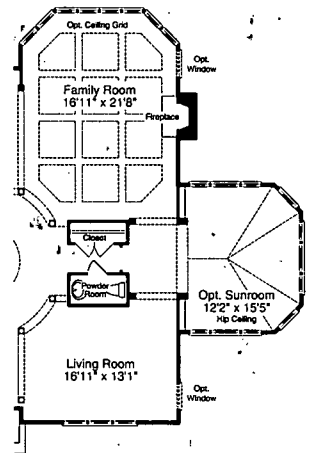
RENAISSANCE

Executive, Estate And Custom Homes



First Floor Plan

Partial First Floor Plan w/
Optional Sunroom



FIRST FLOOR PLAN

The two story formal entry with a circular foyer allows for sweeping vistas through the main living level.

- The dramatic, wrought iron ballustrade staircase and two wall niches enhance the elegance and sophistication of the formal foyer from both main & upper living levels.
- The breakfast area features an optional bowed bay keeping room...the perfect finishing touch to a gourmet kitchen arrangement.

- The great room earns its name with the excellently combined elements of a built-in fireplace and angled window wall expanding the entire room with outdoor vistas.
- A wide array of popular options are available: sunroom, bay window in hobby room, architecturally detailed ceiling in the great room, built-ins and a wet bar off the foyer vestibule.

8/30/02

Brookville wooden Mill -

Land crests across from 1909 & goes down in either direction.

1909 = 1 1/2 rambling house

Can't even see 1907 or 1905 (?) - just the gravel driveway.

Fences are 3-rail type

Proposed turn-around is in low spot

40,000 \$ clearing under forest regulations - platted 1980

RC 5 acre - 35' max for house

1984 Minutes - check when easement was done & discussions at HRC + PB

Needs }
Issues }

size

location

height

pool

driveway approach - not abrupt...

walk-out basement

lots of windows

sufficient clearing to allow sunlight

→ they like those designs, but want open floor plan 1st

Road Maintenance - talk
w/ M. NEPPC

8/30/08

Brookville Water Mill

Unit cost across from PDP1 - 100' dam in center

brookville

PDP1 = 115' sampling tower

Unit cost for PDP1 or PDP2 (100') - Unit for dam in center

Female on 3 - unit type

Proposed four - unit in 100' dam

Ad' no of clearing under first regulation - plotted 1980

for 2 years - 32' water in tower

PDP1 Monitor - check that instrument was done & documented 2/4/08

<p>Good Maintenance - table</p> <p>inf. M. 12/6/08</p>
--

100' dam
 night
 monitor
 100'

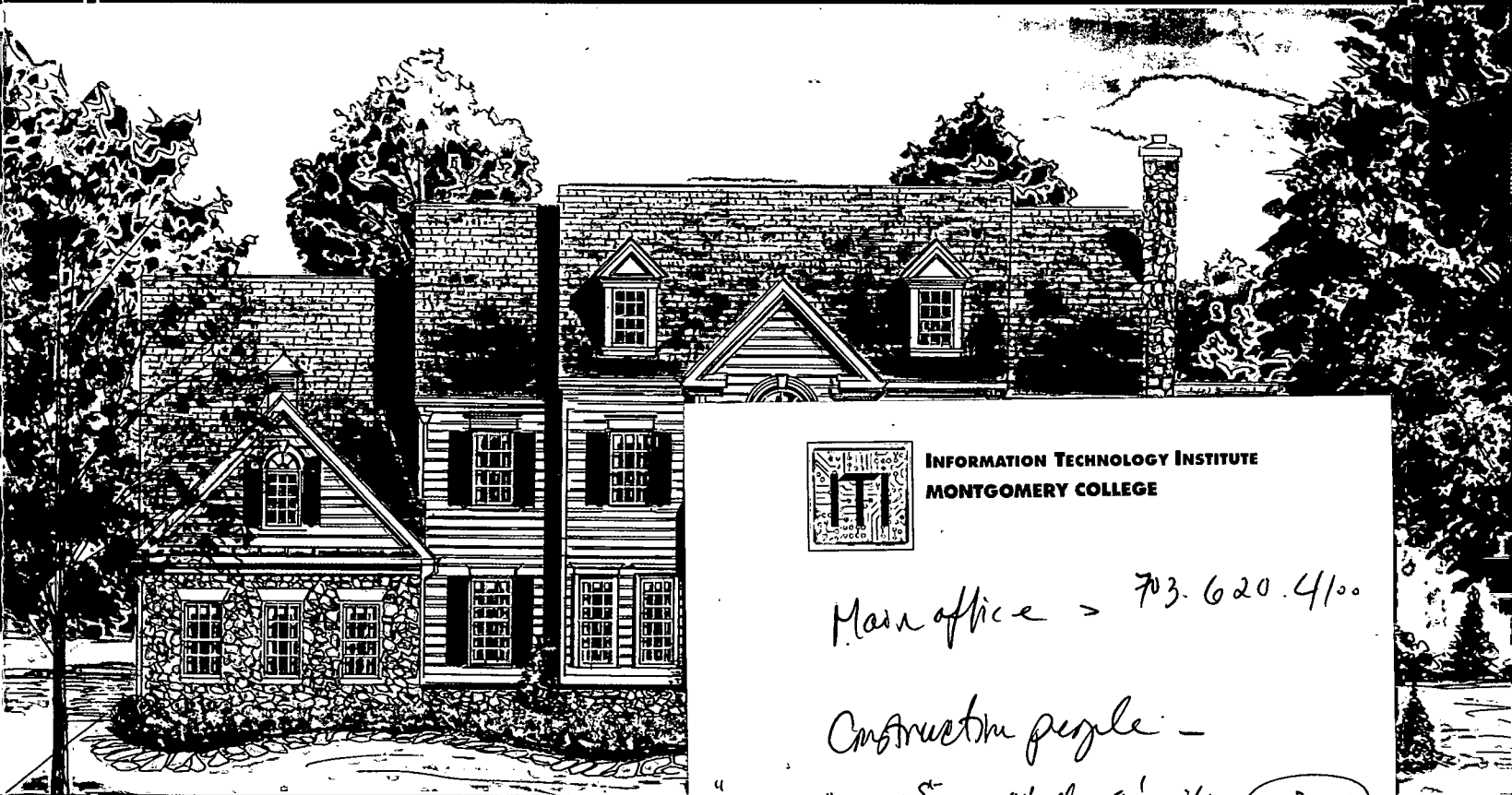
} needs
 } survey

Work-out document
 lot of windows
 - 100' dam
 - 100' dam

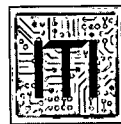
sufficient clearing to allow sunlight

and the tower height for water level from 100'

The Grand Monet Platinum Collection



Elevation JJ1C Siding & Stone Exterior. Sh



INFORMATION TECHNOLOGY INSTITUTE
MONTGOMERY COLLEGE

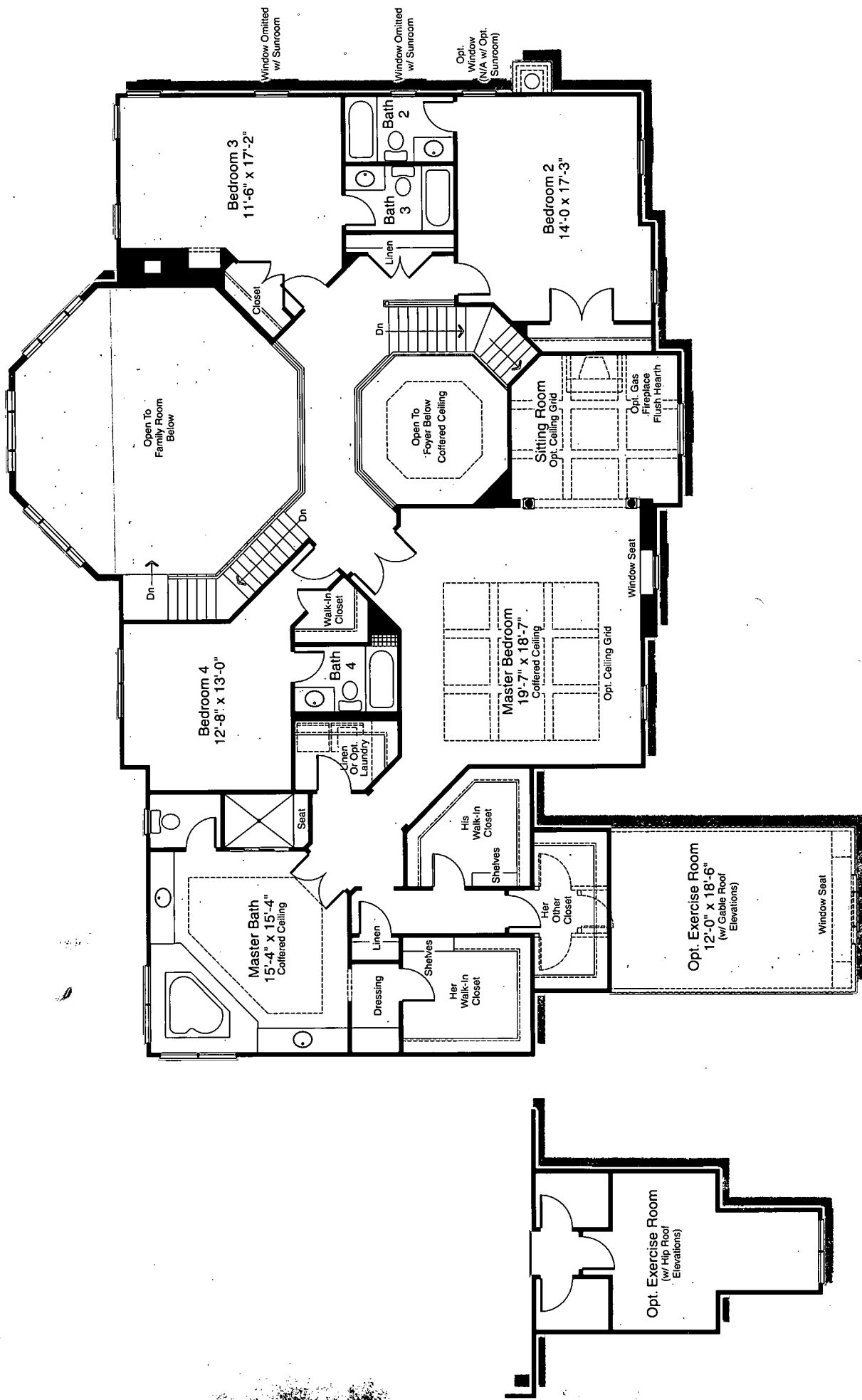
Main office - 703.620.4100

Construction people -

"Monet" : 1st + 2nd fl 9' ceiling (351)
basement 8' - 9"
www.montgomerycollege.org/iti/
Roof -

RENAISSANCE

Executive, Estate and Custom Homes



SECOND FLOOR PLAN

RENAISSANCE

Executive, Estate and Custom Homes

www.renaissancehousing.com

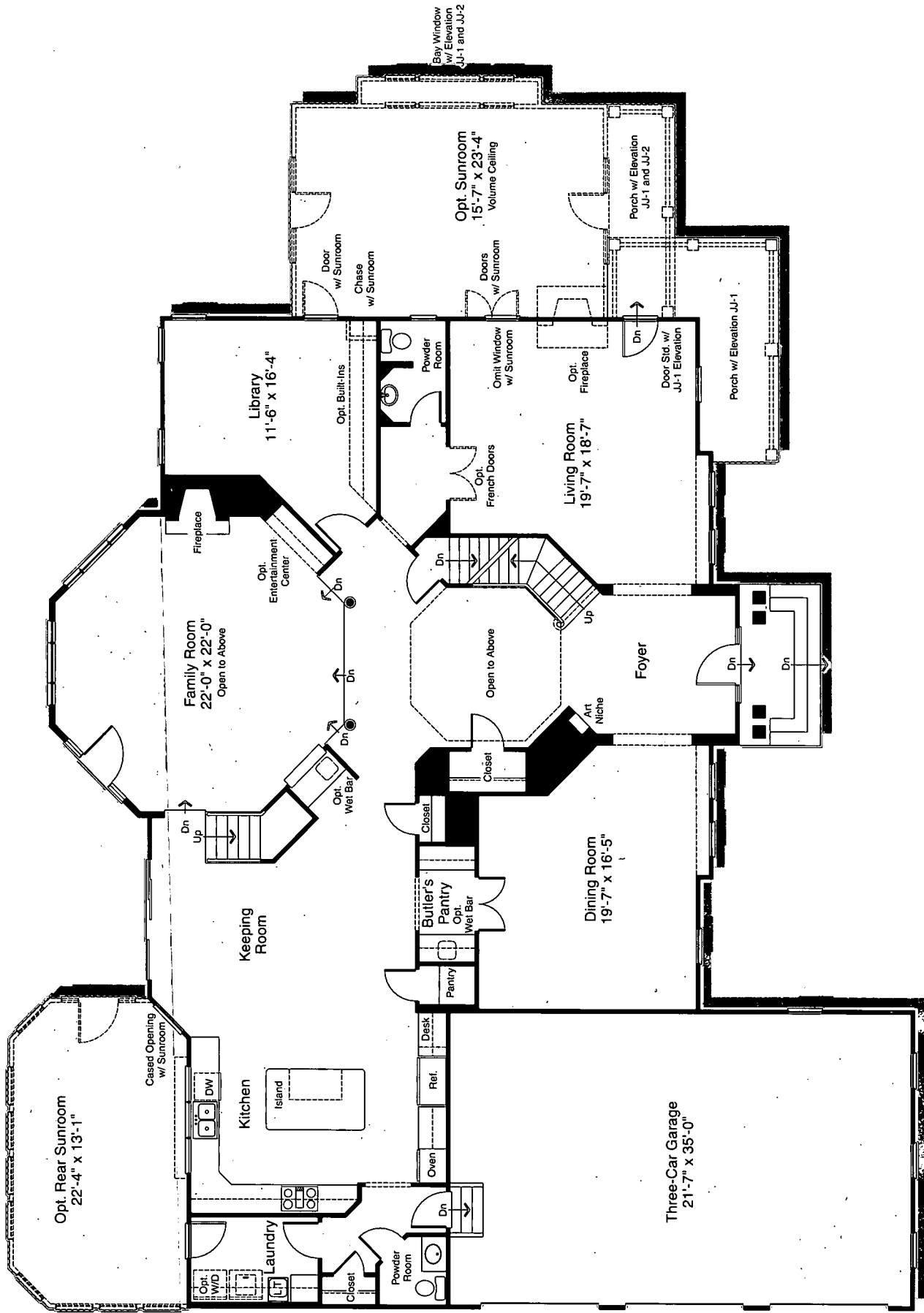
Artist's renderings are for illustrative purposes only and are not part of any contract. Renderings may vary in detail from plans, specifications and as built conditions. Please note that specific elevation details, standard and optional features vary between communities. See Sales Manager for details. All room sizes are approximate and subject to change without notice. Elevations selected and lot grade may change size and configuration of rooms and fenestration. The information, plans, specifications and designs contained in these drawings cannot be used or reproduced in whole or in part without prior written consent. In our continuing strive for excellence in design and construction, our floorplans, elevations, materials and techniques are subject to revision from time to time without notice at sole discretion of Seller. © Renaissance 2001, all rights reserved.



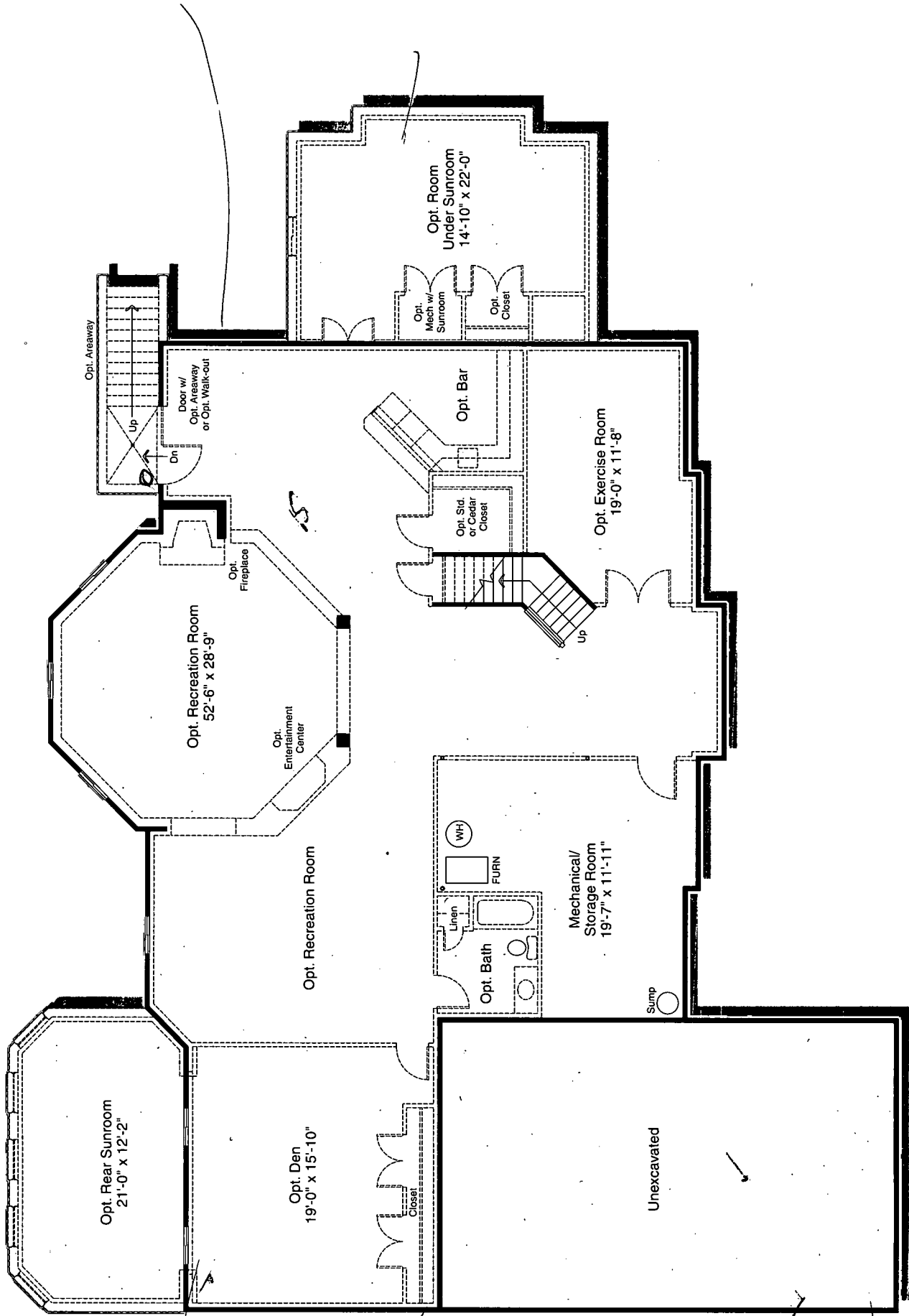
2000
NVBIA
BUILDER OF
THE YEAR

1999
AMERICA'S
BEST
BUILDERS

04/01



FIRST FLOOR PLAN



B A S E M E N T P L A N

Floorplan shown with elevation J11/J12. Some features shown as optional may be standard in the 4400 series.



Elevation JJ1B Stucco & Stone Exterior

The traditional exterior showcases the cozy front porch, large windows and beautiful entrance. Shown with optional porch, stone chimney and sunroom.



Elevation JJ8E Painted Brick & Stone Exterior

The unique white-washed brick and stone exterior featuring large windows and rich architectural details. Window railings no longer available.



Elevation JJ4 Brick Exterior

The impressive architectural detailing includes a rounded entrance transom, decorative quoins and lintels. Shown with optional sunroom.



Elevation JJ9 Brick Exterior

This exterior is softened with an elegant columned entrance and classic quoin and keystone details. Shown with optional sunroom.



Elevation JJ7B Stucco & Stone Exterior

The stone accents, raised seam roof details and oval accent windows add to the sophistication of the stucco exterior.

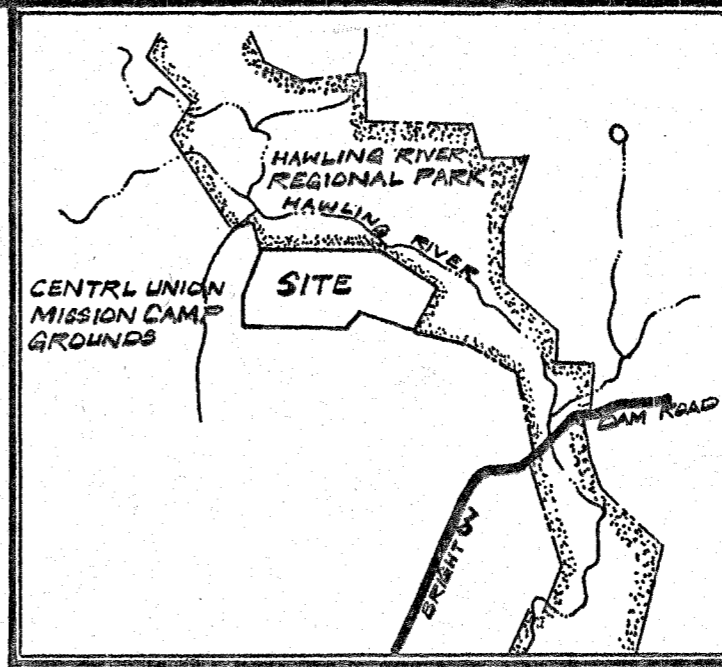


Elevation JJ10 Brick & Arriscraft Exterior

This dramatic home features rich cast-stone accents and grand entry with columns above. Shown with optional sunroom.

CENTRAL UNION MISSION

PLAT MERIDIAN
L 580 F 172



VICINITY MAP
Scale 1"=2000'

OWNER'S CERTIFICATE

We, Archie K. Shipe and Jullie Ann Shipe owners of the property shown and described hereon, hereby adopt this plan of subdivision, establish the minimum restriction lines, dedicate the street to public use, establish easements and rights of way for the construction, reconstruction, operation and maintenance of storm drains as shown hereon, establish revertible slope easements as hereon shown for the construction of streets, said slope easements are to be extinguished after all public improvements have been lawfully completed and accepted for maintenance by Montgomery County, Maryland or any other appropriate public agency and establish permanent utility easements ten (10) feet wide as shown hereon and identified as P.U.E. for the construction, reconstruction, operation and maintenance of electric, telephone and gas lines.

There are no suits of action, leases, liens or trusts on the property included in this plan of subdivision.

11/27/79
Date

Janet C. Rawlin 11/27/79
WITNESS

Archie K. Shipe
ARCHIE K. SHIPE

Janet C. Rawlin 11/27/79
WITNESS

Jullie Ann Shipe
JULLIE ANN SHIPE

SURVEYOR'S CERTIFICATE

I hereby certify that the plan shown hereon is correct; that it is a subdivision of land conveyed by Joseph F. Perna, JR., William L. Amoroso, JR. and Louis A. Perna, JR. by deed dated February 25, 1977 and recorded in Liber 4912 at Folio 226 among the Land Records of Montgomery County, Maryland; that iron pipes shown thus \circ are in place as indicated; and that the total area dedicated to public use in this plan of subdivision is 0.7908 acres of land.

12/5/79
Date

Richard H. Kehr
Richard H. Kehr
Reg. Land Surveyor
Maryland No 1930

CURVE TABLE

NO	RAD.	DELTA	ARC	TAN.	CHORD	CHORD B'RG.
1	300.00	37° 18' 55"	195.03	101.10	191.01	N53° 18' 54" W
2	318.23	51° 21' 32"	235.20	153.01	275.80	N60° 22' 18" W
3	30.00	48° 11' 23"	25.23	13.22	24.29	N20° 08' 45" W
4	60.00	276° 22' 46"	239.42	∞	30.00	S 86° 03' 04" E
5	30.00	48° 11' 23"	25.23	13.22	24.29	S 28° 02' 38" W

LEGEND:
 \circ WELL LOCATION
 --- SEPTIC BUILDING RESTRICTION LINE
 --- LENGTH OF INITIAL SYSTEM & TOTAL DRAIN FIELD

NOTES

- Maximum number of bedrooms allowed per lot shown on this plat is 6.
- Right of way for ingress and egress shown on this plat to be mutually maintained by all property owners included within this subdivision until such time as Shipe Road is improved and accepted for maintenance by Montgomery County, Maryland.
- Improvements of roadway over ingress and egress easements subject to approval by MNCP & PC Park Department.

LOTS 1 THRU 4

HAWLING RIVER ESTATES

ELECTION DISTRICT No. 8
MONTGOMERY COUNTY, MARYLAND
Scale 1"=200' OCTOBER 1979

KIDDE CONSULTANTS INC.
ENGINEERS - SURVEYORS
ROCKVILLE MARYLAND

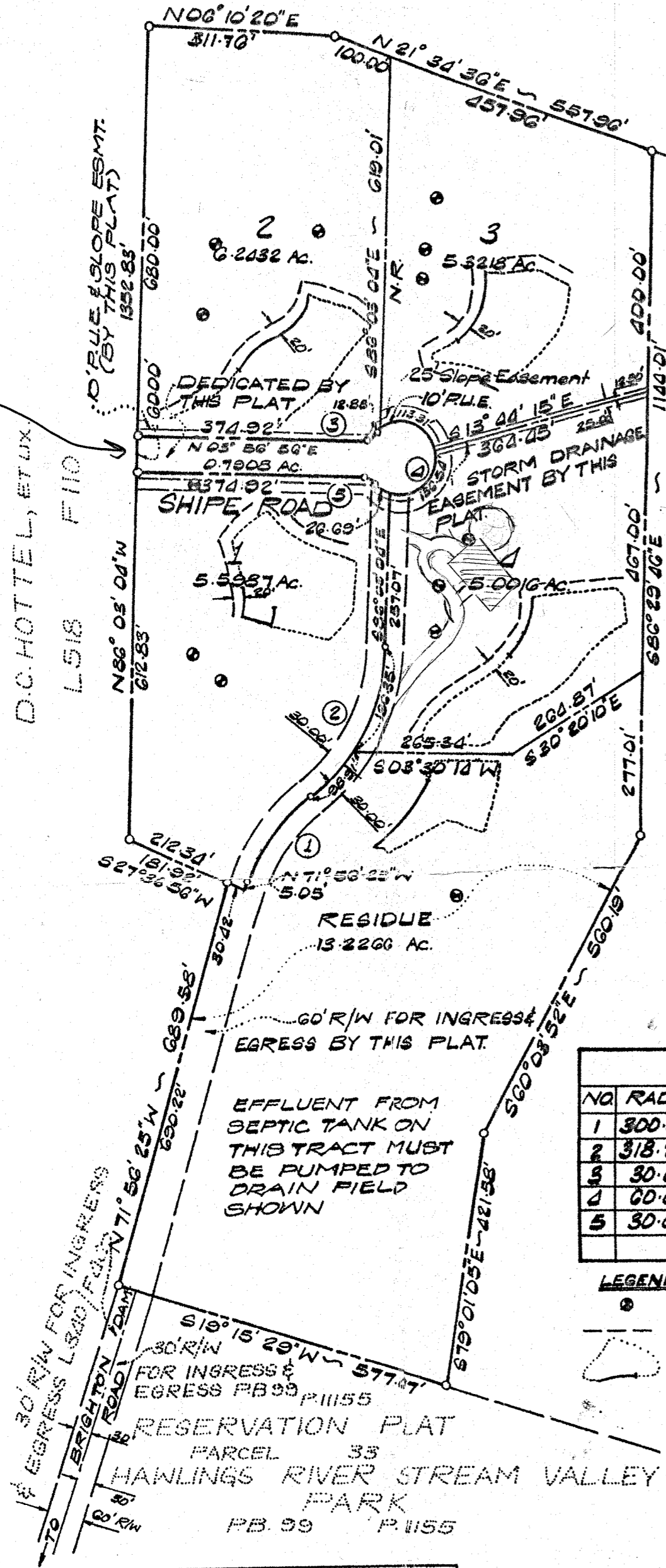
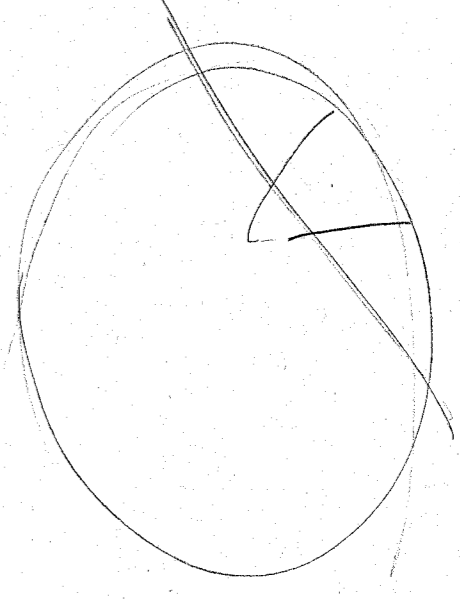
RECORDED: 1-23-80
PLAT BOOK: 117
PLAT NO: 12811

1907613021760 2

11-79-006

535-27

Riggs Hill Way



FOR WELL AND SEPTIC SYSTEMS ONLY
DEPARTMENT OF ENVIRONMENTAL PROTECTION
MONTGOMERY COUNTY MARYLAND
APPROVED: 23 January 1980
James S. Baker
Director

MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
MONTGOMERY COUNTY PLANNING BOARD
APPROVED: DECEMBER 13, 1979
I. Conitt Jackson Chairman
A. Edward Narverre Secretary
Treasurer
MNCP & PC FILE NO 535-27

MONTGOMERY COUNTY, MARYLAND
DEPARTMENT OF TRANSPORTATION
APPROVED: 23 JANUARY 1980
By: Anthony P. Kery
DEPUTY DIRECTOR

EFFLUENT FROM SEPTIC TANK ON THIS TRACT MUST BE PUMPED TO DRAIN FIELD SHOWN

60' R/W FOR INGRESS & EGRESS BY THIS PLAT

RESERVATION PLAT
PARCEL 33
HAWLING RIVER STREAM VALLEY PARK
PB. 99 P. 1155

D.C. HOTTEL, ET UX
L518 F110

MNCP & PC
L3606 F221