

1201 Gold Mine Rd. RIVERTON 23/90
Brookville Prelim. Consultation

1201 Gold Mine Rd. RIVERTON 23/90
Brookville Prelim. Consultation



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 12/21/07

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #469779 - Rear addition, side porch, pool, patio, and fencing

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the December 19, 2007 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Stephen and Jennifer Eller
Address: 1201 Gold Mine Road, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
265 ROCKVILLE ROAD, 1ST FLOOR, ROCKVILLE, MD 20850
241-172-1212

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Miche Booz
Daytime Phone No.: 301.774.6911

Tax Account No.: 08-01709022
Name of Property Owner: Stephen + Jennifer Eller Daytime Phone No.: 301.774.6468
Address: 1201 Gold Mine Rd. Brookeville, MD 20833
Street Number City State Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 1201 Street: Gold Mine Road
Town/City: Brookeville Nearest Cross Street: New Hampshire Ave.
Lot: _____ Block: _____ Subdivision: 501
Liber: 20601 Folio: 344 Parcel: P784

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: POOL
1B. Construction cost estimate: \$ _____
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 10.30.07
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 12-4-07
Application/Permit No.: 301774 Date Filed: 10/31/07 Date Issued: _____

WINDOW SCHEDULE

NO.	MANUF.	QTY.	WINDOW STYLE / MODEL#	LOCATION	EXT.	COLOR	FRAME SIZE (W X H)	GRILLE	PATTERN	JAMB	INTERIOR	SCREEN***	HARDW.	NEW/REPLACE	NOTES
①	MARVIN	1	DBL. HUNG/ WUDH3028	EXG. BSMT.	PRIMED	WHITE	2-11 3/8 X 5-5	7/8" SDL	G/G		PRIMED	ALUM. 1/2		NEW	BASEMENT EGRESS
②		1	FR. C5MT/ WUCA3232 (FULL CLEAR OPNG.)	NEW BASEMENT	*	*	(2) 2-8 X 2-8 1/16	*	3W/3H		*	ALUM. FULL		REPLACE	REPLACEMENT
③		1	CUSTOM DBL. HUNG (MATCH EXIST.)	FAMILY ROOM	*	*	**APPROX. 2-8 X 5-3	*	G/G		*	ALUM. 1/2		NEW	
④		2	DBL. HUNG/ WUDH2628	FAMILY ROOM	*	*	2-7 3/8 X 5-5	*	*		*	*		REPLACE	
⑤		6	DBL. HUNG/ WUDH2618	ADDITION	*	*	2-7 3/8 X 3-9	*	*		*	*		REPLACE	
⑥		1	CUST. DBL. HUNG (MATCH EXG. ADJACENT)	MASTER BATH	*	*	**APPROX. 2-8 X 4-6	*	*		*	*		REPLACE	TEMPERED GLASS
⑦		1	CUSTOM DBL. HUNG (MATCH EXIST.)	2ND FL. HALL	*	*	*	*	*		*	*		REPLACE	TEMPERED GLASS
⑧		1	CUSTOM DBL. HUNG (MATCH EXIST.)	EAST STAIR HALL	*	*	**APPROX. 2-8 X 3-9	*	*		*	*		REPLACE	TEMPERED GLASS
⑨		4	* * * * *	MASTER B.R.	*	*	**APPROX. 2-4 X 4-0	*	*		*	*		REPLACE	TEMPER 1 IN STAIRS
⑩		2	* * * * *	MASTER B.R.	*	*	**APPROX. 2-4 X 4-0	*	*		*	*		REPLACE	BOTH TO BE FIXED*
⑪		1	AWNING/ WAWA2032	MASTER BATH	*	*	1-8 X 2-8 1/16	*	2W/3H		*	ALUM. FULL		REPLACE	

NOTES: NO BRICK MOULD ON ANY WINDOW OR DOOR. CONFIRM ALL DIMENSIONS W/ MANUF. BEFORE ORDER.
 INCLUDE SPACER BAR W/ ALL SDL GRILLES. ALL GLASS TO BE INSUL. LOW-E II WITH ARGON.
 VERIFY U-VALUE MAX. 0.32 FOR FEDERAL TAX CREDIT

DOOR SCHEDULE

NO.	MANUF.	DOOR STYLE / # / OPERATION	MATERIAL	FRAME SIZE (W X H)	COLOR	GRILLE	INTERIOR	SCREEN	HARDWARE	NOTES
①	MARVIN	FR. INSWING WUFD 3070 HINGE R	PRIMED WOOD	3-1 7/16 x 7-2	WHITE	3W5H	PRIMED	NONE	STANDARD MULTI-POINT W/ O.R.B. HANDLE/HINGE	TEMPERED
②	BY CARPENTER	CUSTOM WOOD SCREEN DOOR	STAINED CEDAR	3-0 X 7-0	WHITE					
③	MARVIN	FR. INSWING WUFDG070 XO	PRIMED WOOD	6-0 5/8 x 7-2	WHITE	3W5H	PRIMED	WOOD	STANDARD MULTI-POINT W/ O.R.B. SLIDE HANDLE	TEMPERED
④	MARVIN	FR. INSWING WUFD5068 XRR	PRIMED WOOD	5-0 5/8 x 6-10	WHITE	2W5H	PRIMED	WOOD	STANDARD MULTI-POINT W/ O.R.B. HANDLE/HINGE	TEMPERED, BOTH OPERABLE

MICHEL BOOZ
 ARCHITECT
 200 Avenue S
 Baltimore 21201
 Tel: 410 538 1111
 Fax: 410 538 1108

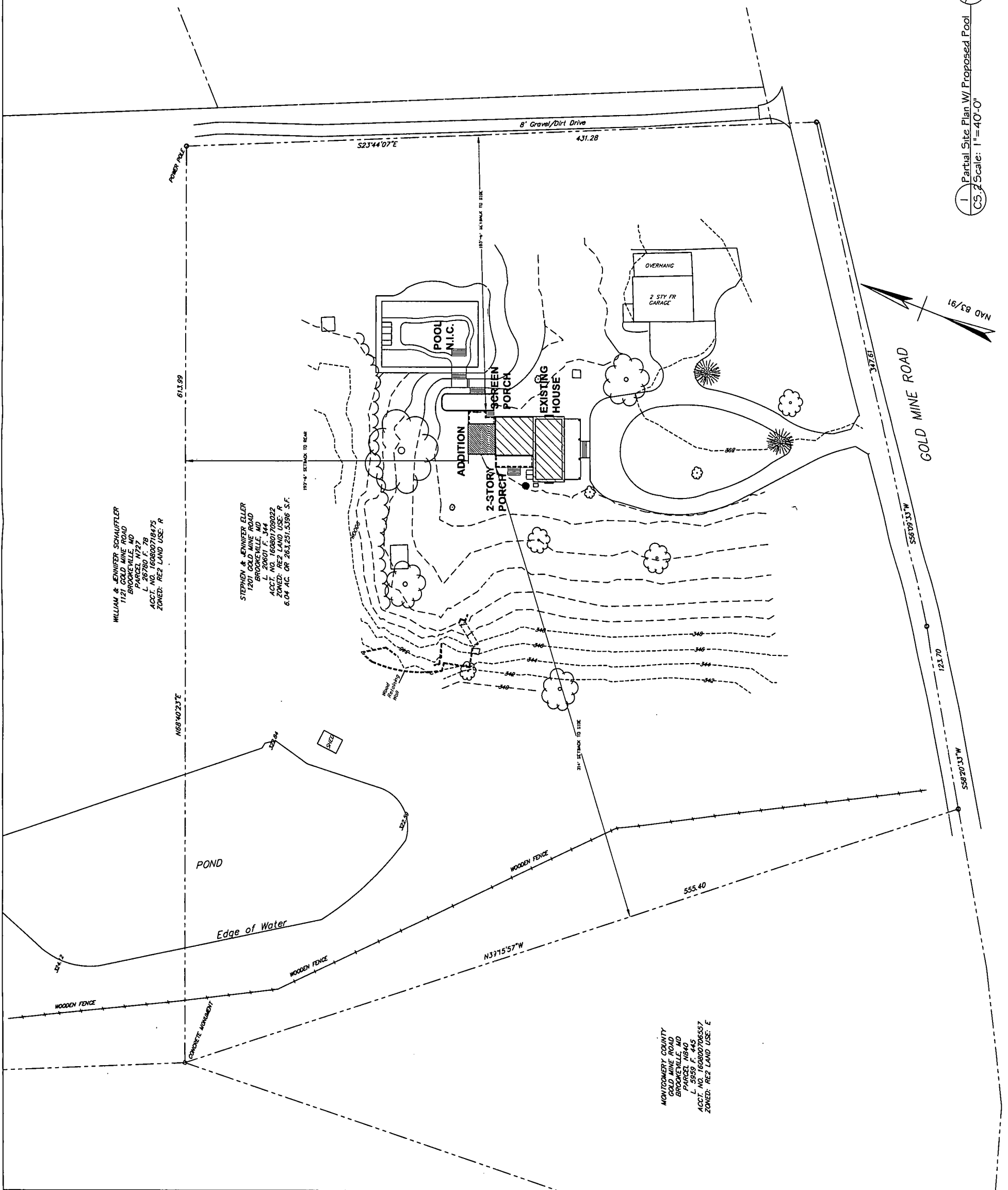
SC.1
 Project:
**RIVERTON-
 ELLER
 RESIDENCE**
 1201 Cold Mine Road
 Brookeville, MD
 Montgomery County

Drawings:
SCHEDULES

Dates:
 PERMIT SET - 08/22/10

Revisions:

MICHE BOOZ ARCHITECT 209 Market St Brookeville Maryland 20833 (301)774-8911 Fax: 774-1908	CS.2
	Project: RIVERTON-ELLER RESIDENCE 1201 Gold Mine Road Brookeville, MD Montgomery County
Drawings: SITE PLAN	
Dates: PERMIT SET - 09/22/10	
Revisions:	



WILLIAM & JENNIFER SCHAUFLER
 1121 GOLD MINE ROAD
 BROOKEVILLE, MD
 PARCEL N727
 L. 5939 F. 445
 ACCT. NO. 16080170567
 ZONED: RES LAND USE: R

STEPHEN & JENNIFER ELLER
 1201 GOLD MINE ROAD
 BROOKEVILLE, MD
 L. 20601 F. 344
 ACCT. NO. 160801705022
 ZONED: RES LAND USE: R
 6.04 AC. OR 263,251.5396 S.F.

MONTGOMERY COUNTY
 GOLD MINE ROAD
 BROOKEVILLE, MD
 PARCEL N840
 L. 5939 F. 445
 ACCT. NO. 16080170567
 ZONED: RES LAND USE: E

1 Partial Site Plan W/ Proposed Pool
 CS.2 Scale: 1"=40'-0"

MICHE BOOZ
ARCHITECT

209 Market St
Brydenville
Montgomery, MD 20833
(301) 774-4511
fax: 774-1988

EX.1

Project:

**RIVERTON-
ELLER
RESIDENCE**
1201 Gold Mine Road
Brookeville, MD
Montgomery County

Drawings:

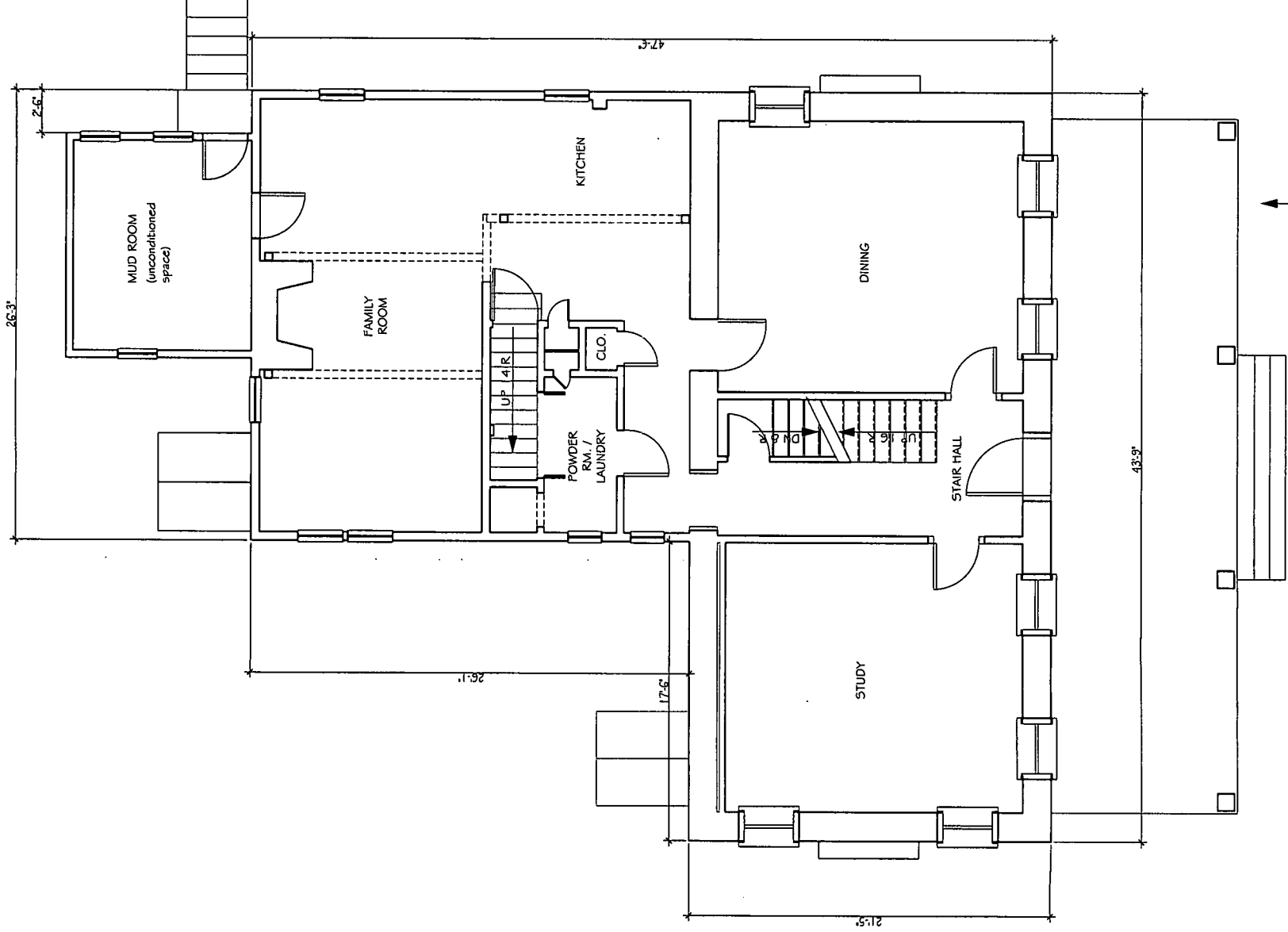
**EXISTING BASEMENT
& FIRST FLOOR PLANS**

Dates:

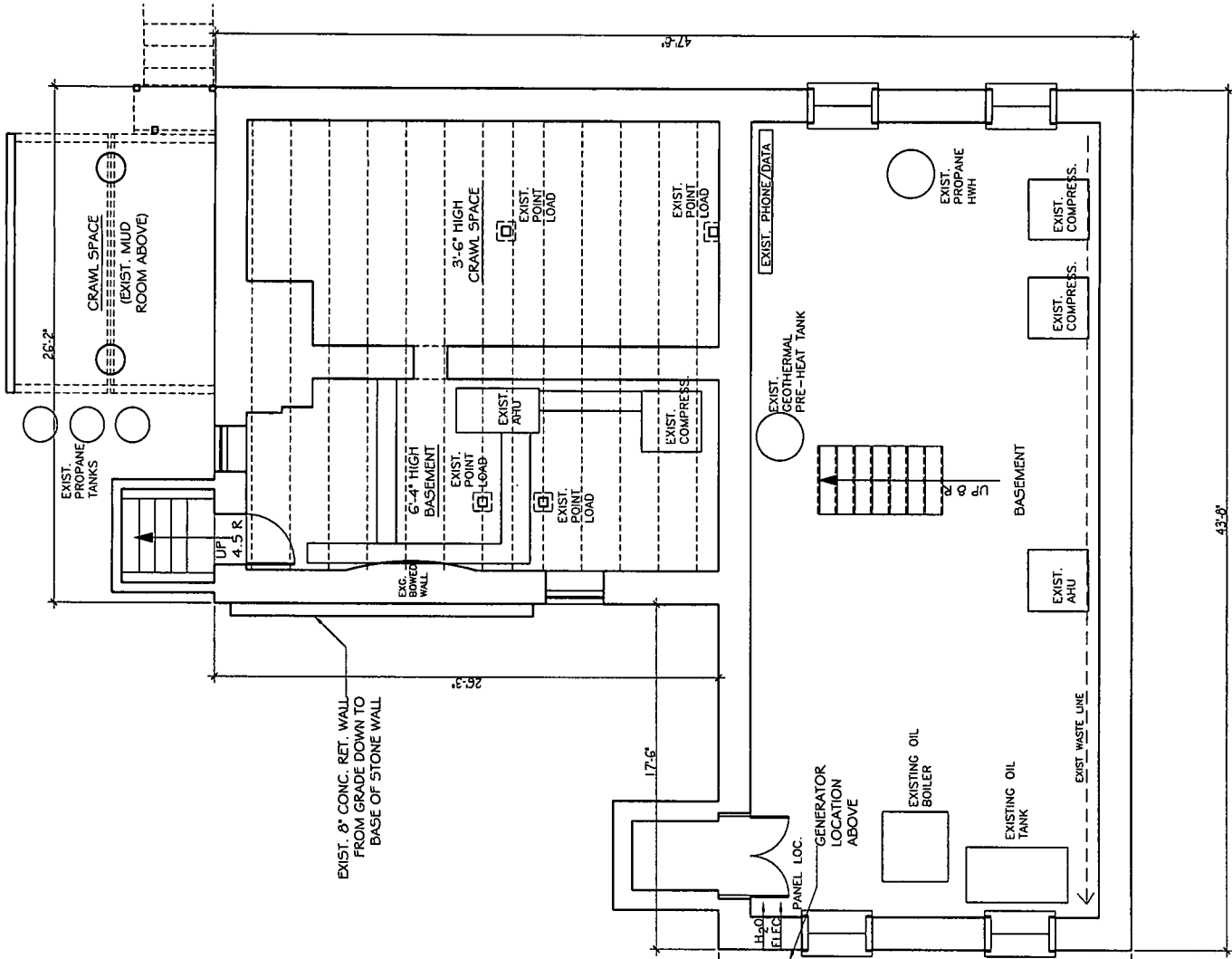
PERMIT SET - 09/22/10

Revisions:

PERMIT SET - SEPTEMBER 22, 2010



1 Existing First Floor Plan
EX.1 Scale: 3/16" = 1'-0"



2 Existing Basement Plan
EX.1 Scale: 3/16" = 1'-0"

MICHE BOOZ
 ARCHITECT
 208 Market St
 Baltimore, MD 21201
 Tel: 410.774.6911
 Fax: 410.774.1908

EX.2

Project:

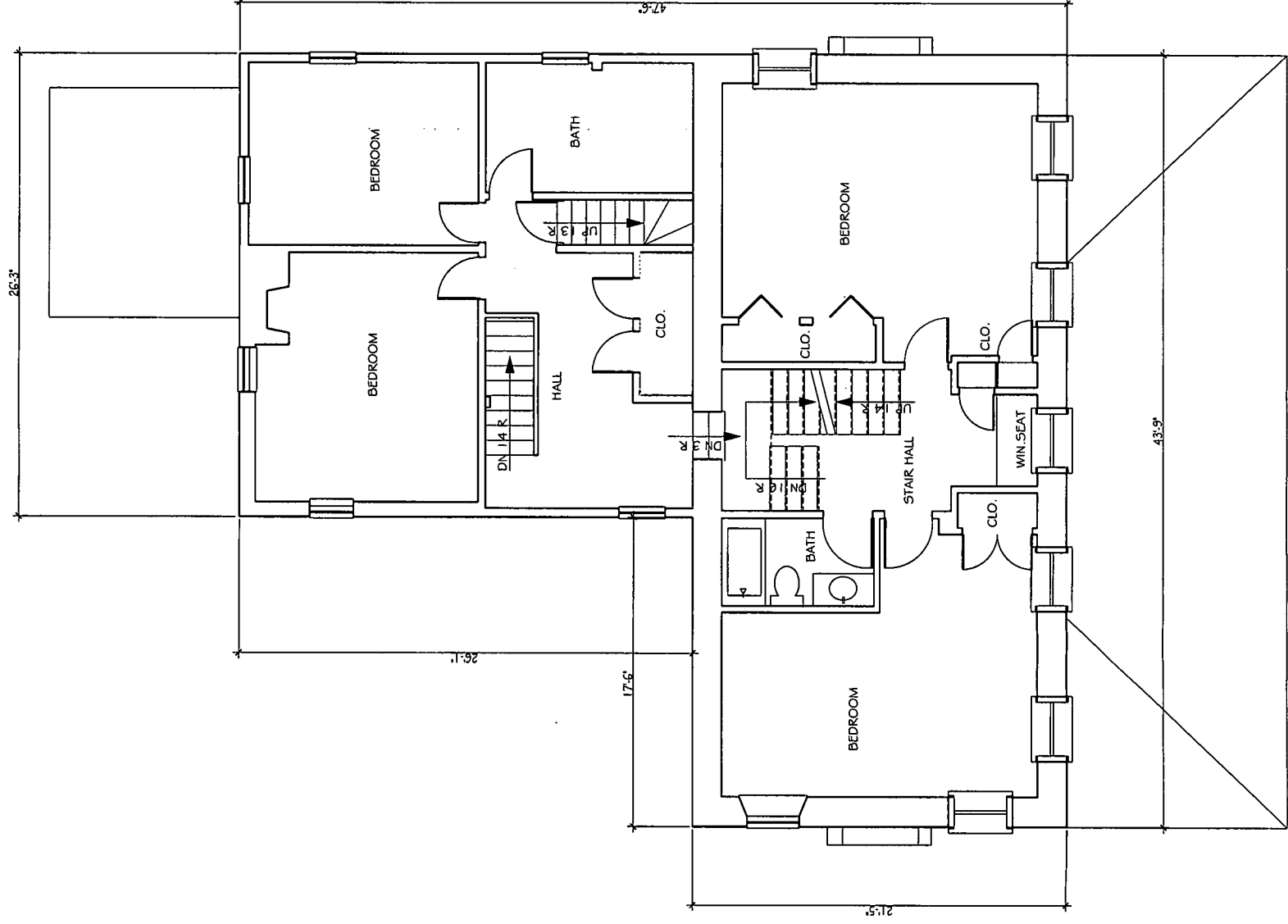
**RIVERTON-
 ELLER
 RESIDENCE**
 1201 Gold Mine Road
 Brookeville, MD
 Montgomery County

Drawings:
**EXISTING BASEMENT
 & FIRST FLOOR PLANS**

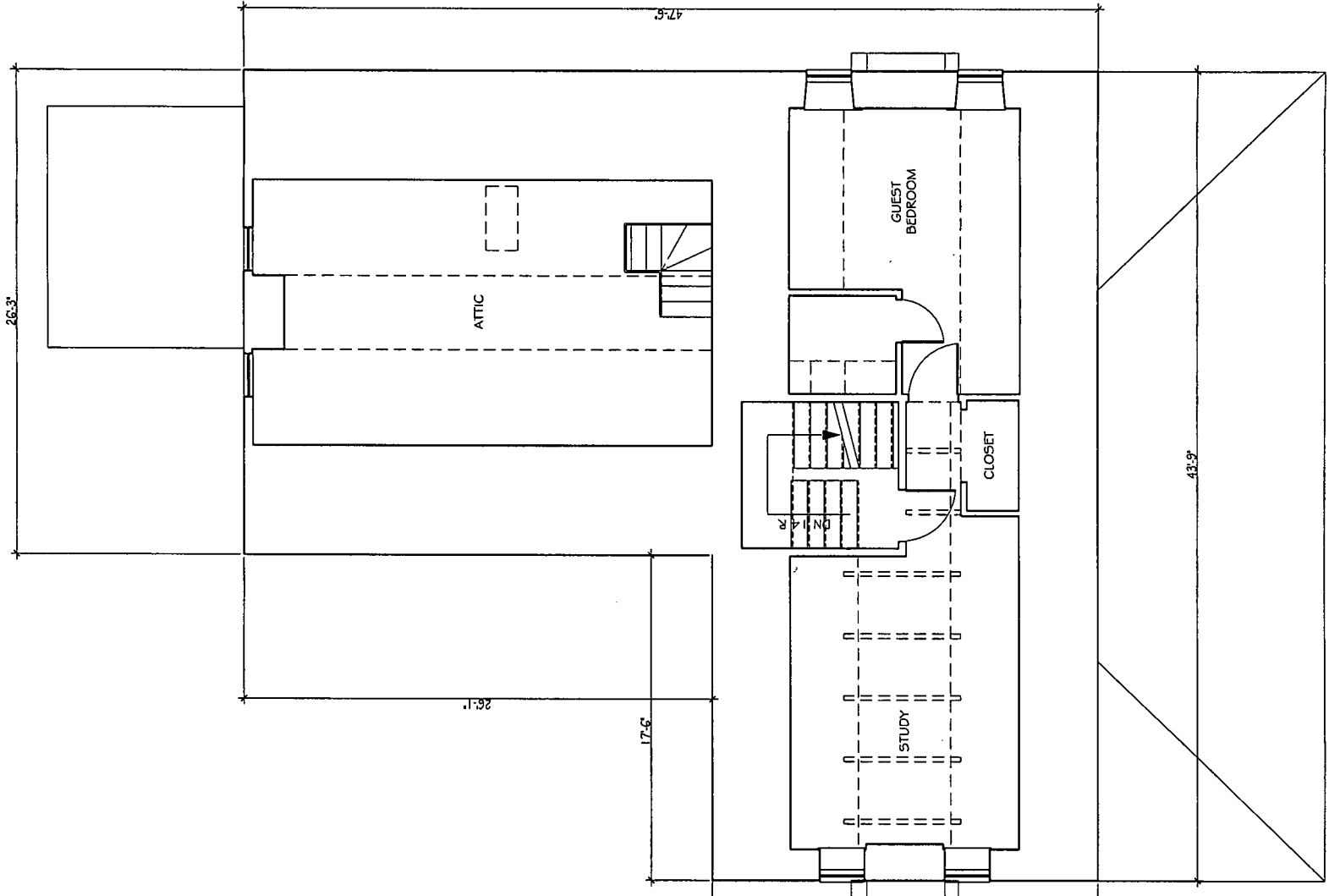
Dates:
 PERMIT SET - 08/22/10

Revisions:

PERMIT SET - SEPTEMBER 22, 2010

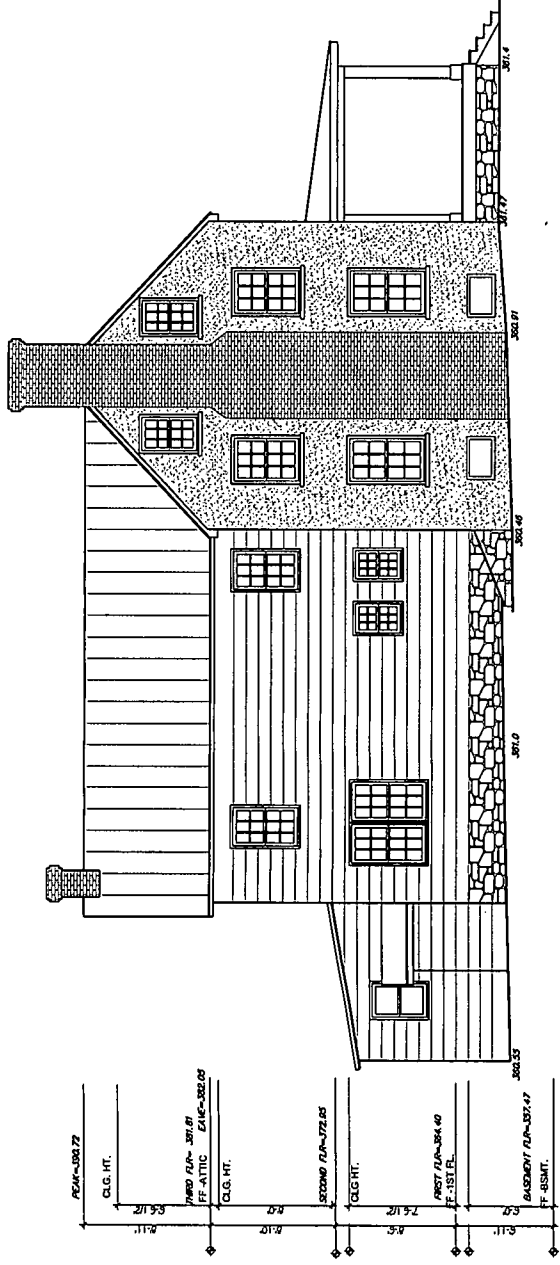


1 Existing Second Floor Plan
 EX.2 Scale: 3/16" = 1'-0"

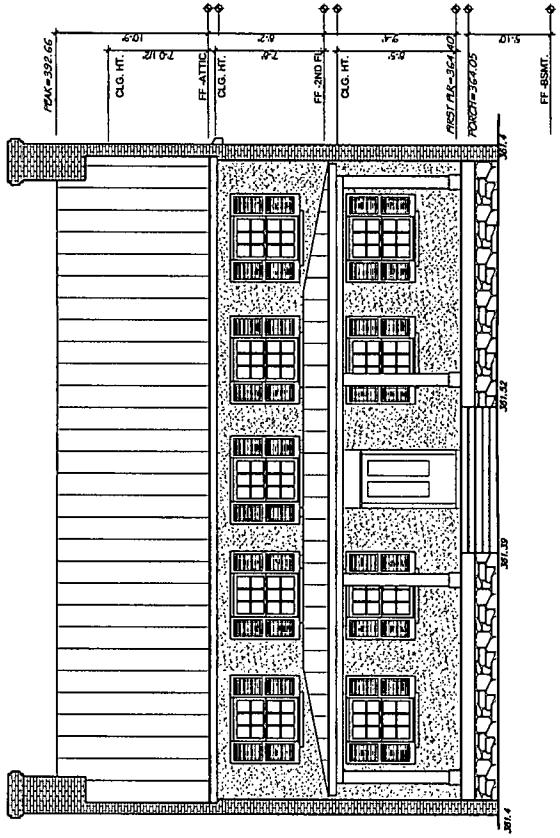


2 Existing Attic Plan
 EX.2 Scale: 3/16" = 1'-0"

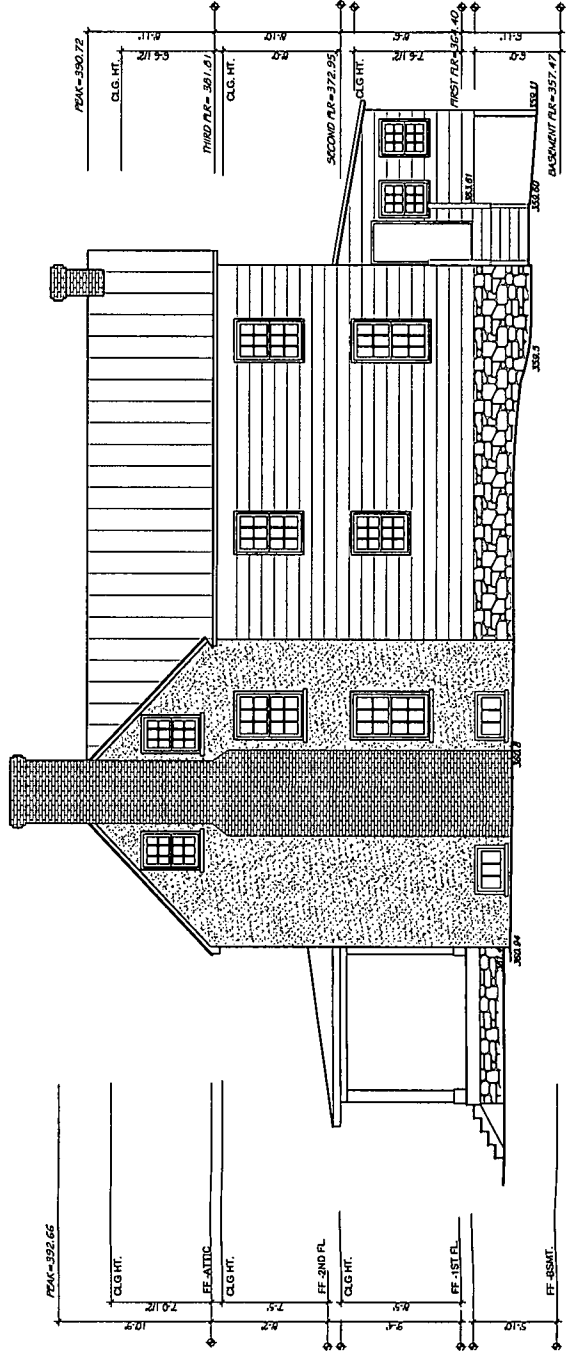
MICHE BOOZ ARCHITECT EX.3	209 Market St Rockville, MD Maryland 20833 (301)774 6811 fax: 774 1908
	Project: RIVERTON- ELLER RESIDENCE 1201 Gold Mine Road Brookeville, MD Montgomery County
Drawings: EXISTING ELEVATIONS	
Dates: PERMIT SET - 08/22/10	
Revisions:	



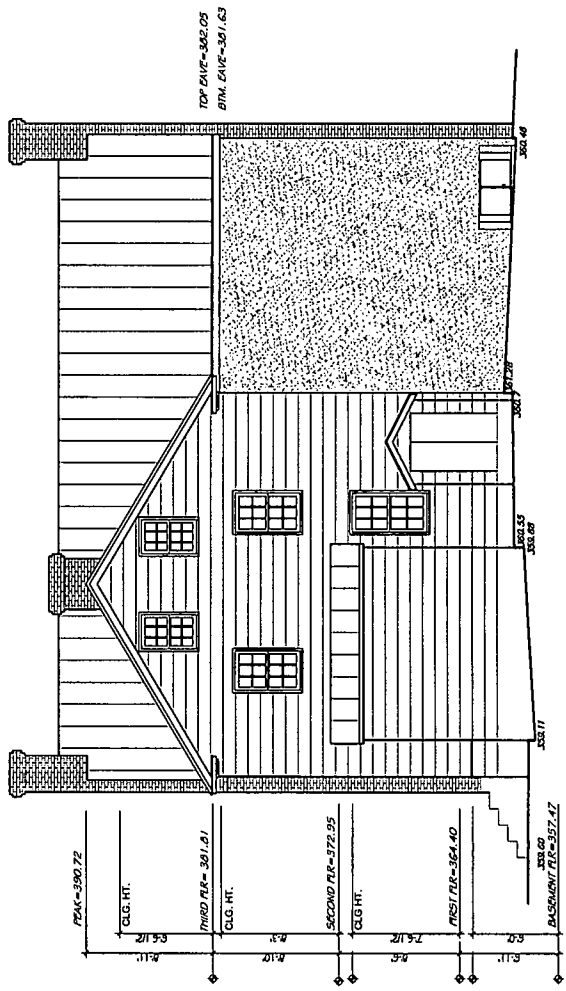
1 Existing West Elevation
 EX.3 Scale: 1/8" = 1'-0"



1 Existing South Elevation
 EX.3 Scale: 1/8" = 1'-0"

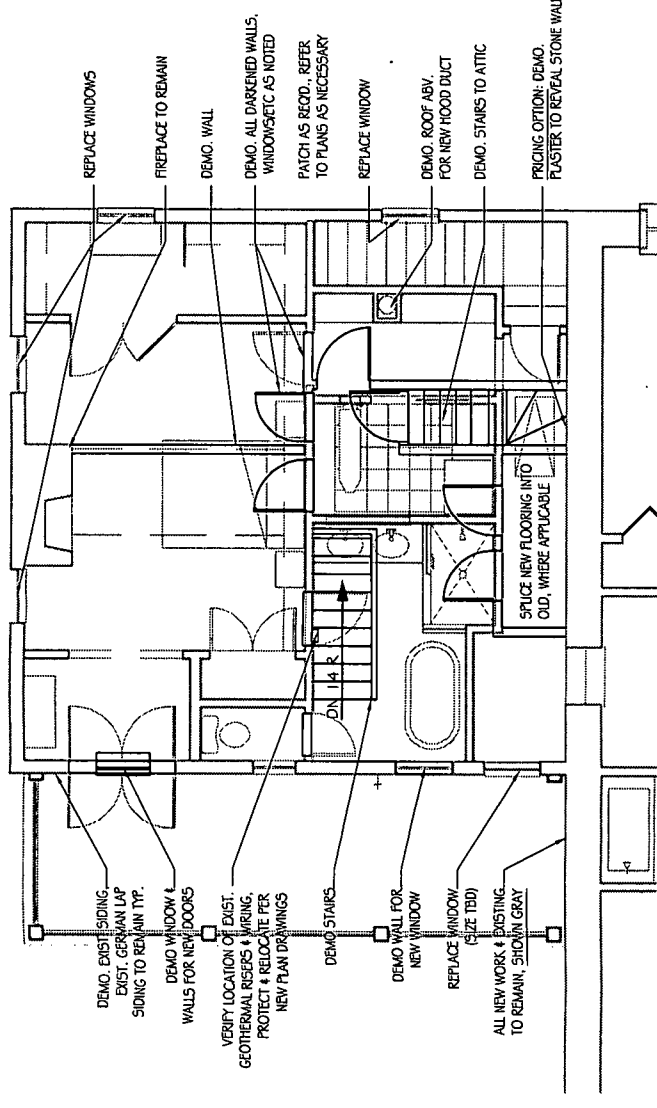


2 Existing East Elevation
 EX.3 Scale: 1/8" = 1'-0"

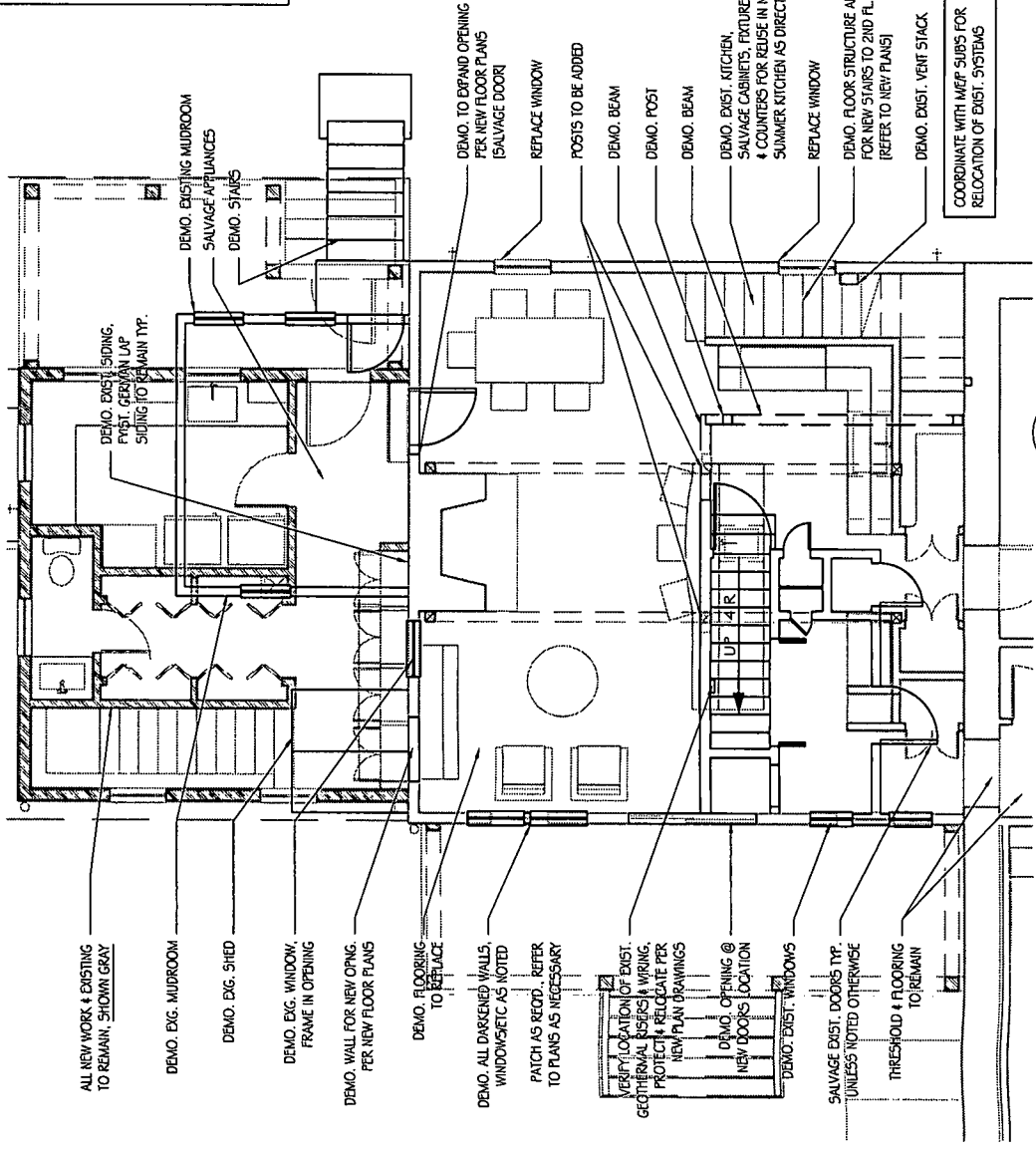


2 Existing North Elevation
 EX.3 Scale: 1/8" = 1'-0"

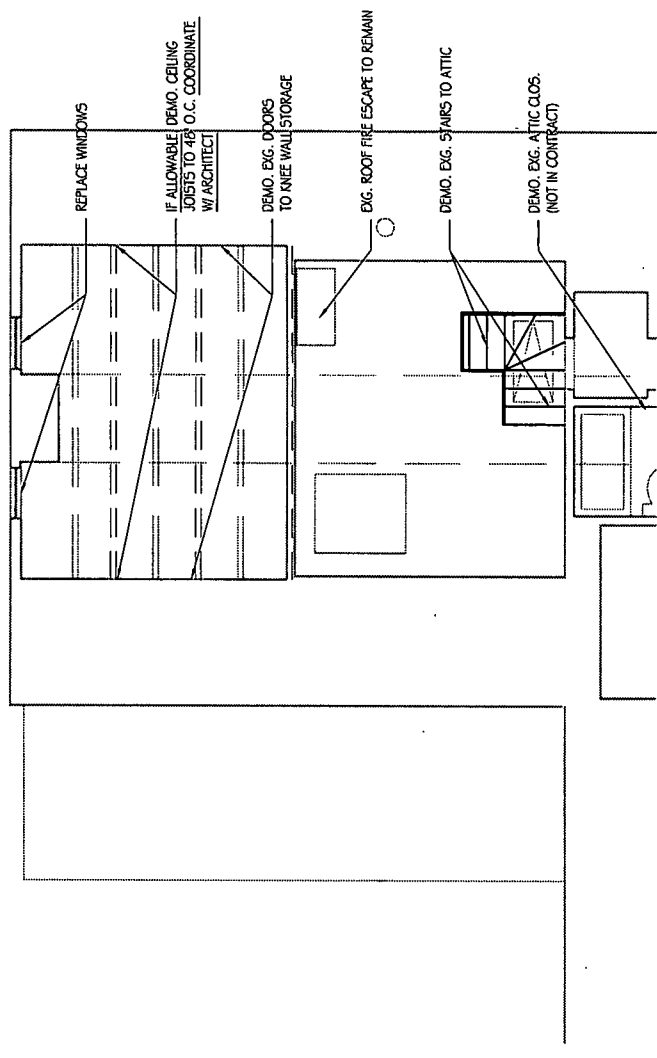
DEMOLITION NOTES:
PATCH AND REPAIR EXISTING CONDITIONS THAT ARE TO REMAIN. COORDINATE WITH ARCHITECT. DEMO WORK SHALL BE MARKED OUT IN SUCH A MANNER THAT THE REMAINING STRUCTURE IS SAFE AND IN ACCORDANCE WITH ALL APPLICABLE CODES.
MATCH EXISTING MATERIALS WITH UNRECOVERABLE AS POSSIBLE. PATCHING WORK IS AS DIRECTED BY ARCHITECT.
REMOVE ALL SIZES AND CONNECTIONS INCLUDING NEW BULAREADS TO RELOCATE EXISTING SYSTEMS TO NEW LOCATIONS AS APPLICABLE. COORDINATE W/ ARCHITECT.



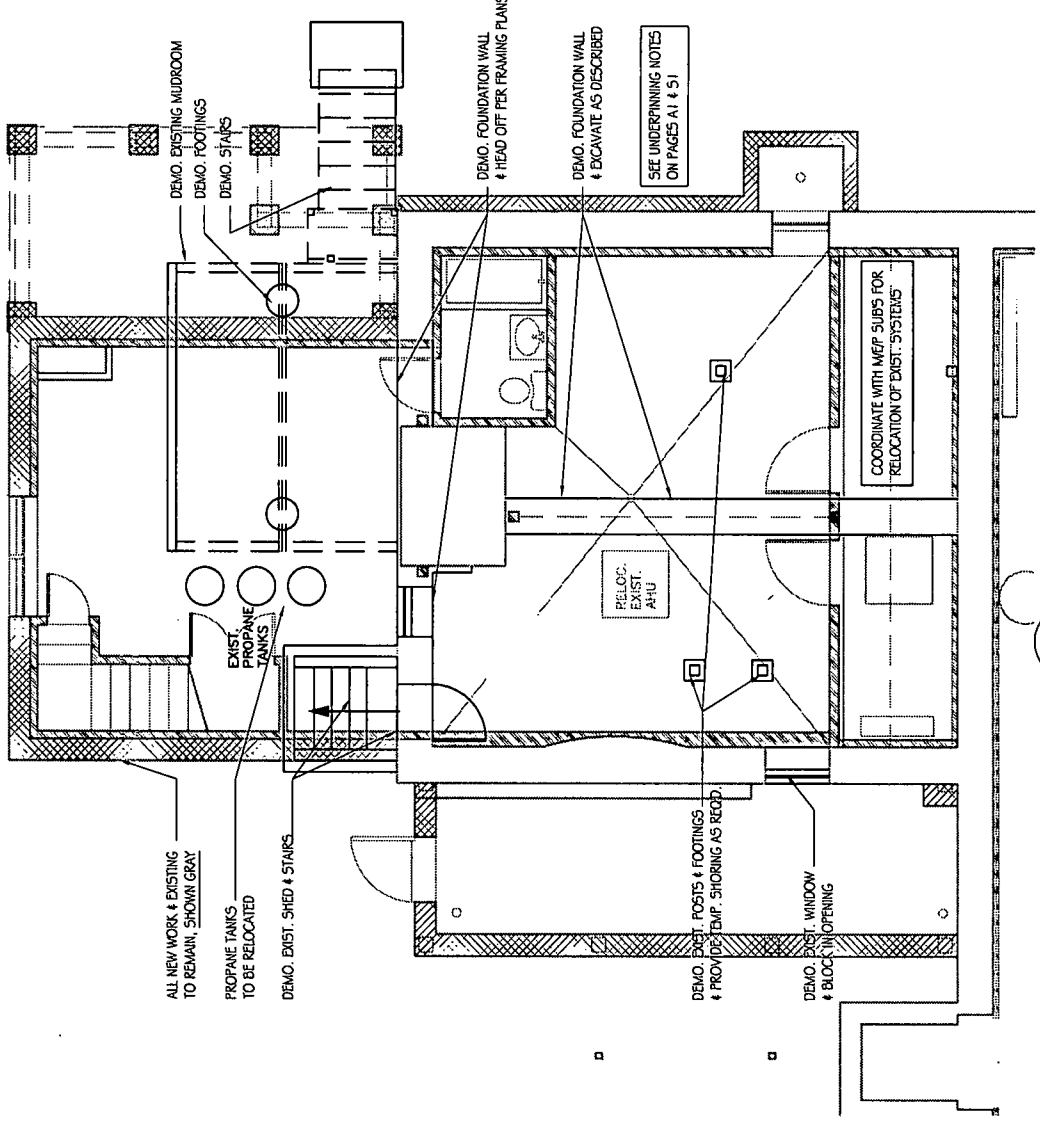
3 New Second Floor Plan
D.1 w/ DEMOLITION NOTES
Scale: 3/16" = 1'-0"



2 New First Floor Plan
D.1 w/ DEMOLITION NOTES
Scale: 3/16" = 1'-0"



4 New Third Floor Plan
D.1 w/ DEMOLITION NOTES
Scale: 3/16" = 1'-0"



1 New Basement Plan
D.1 w/ DEMOLITION NOTES
Scale: 3/16" = 1'-0"

MICHE BOOZ
ARCHITECT
288 Market St
Columbia, MD 21033
(410) 774 6911
fax: 774 1988

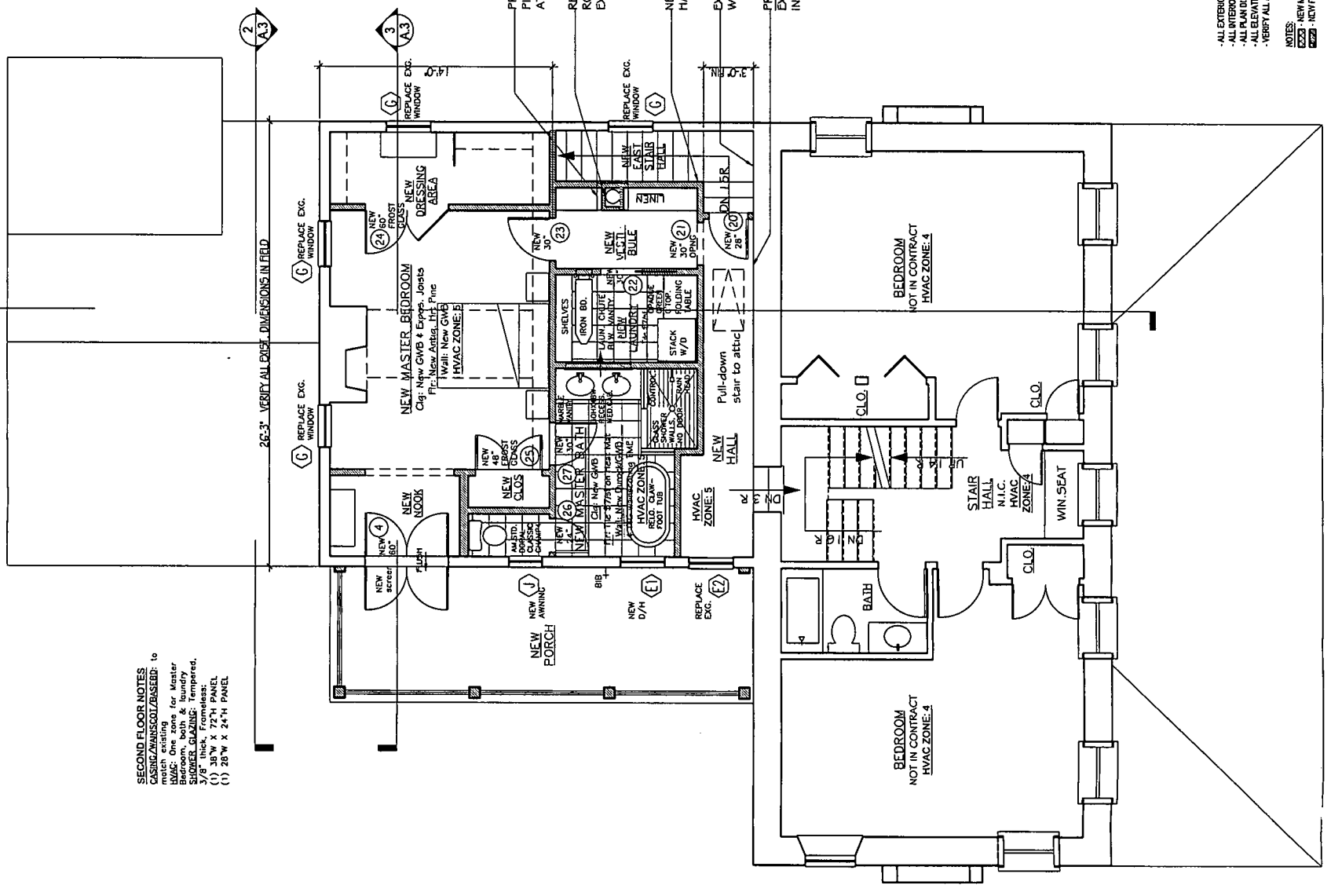
Project:
**RIVERTON-
ELLER
RESIDENCE**
1201 Gold Mine Road
Brookville, MD
Montgomery County

Drawings:
**SECOND & ATTIC
FLOOR PLANS**

Dates:
PERMIT SET - 09/22/10

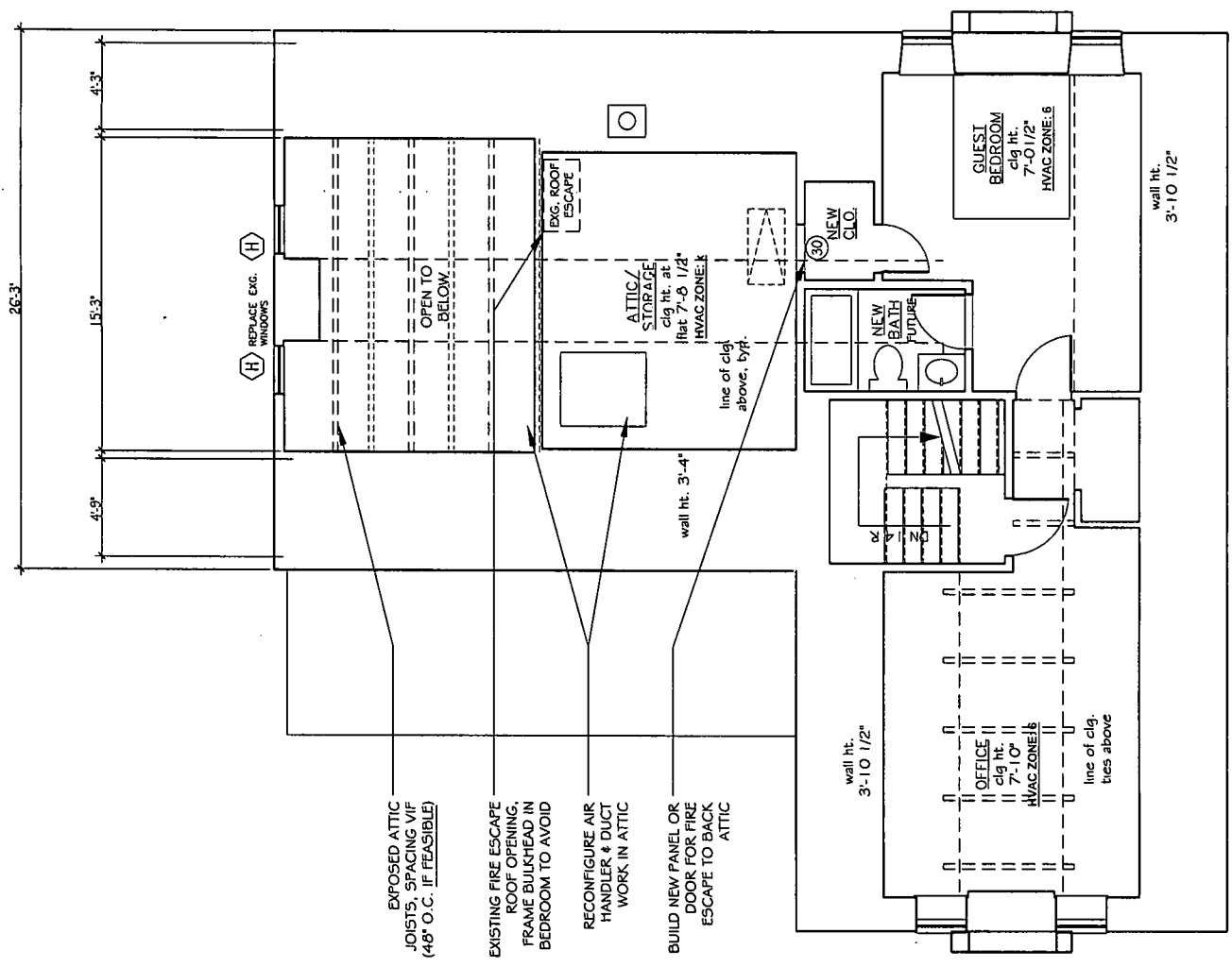
Revisions:

SECOND FLOOR NOTES
CASING/WINDOWS/BASEBD: to match existing for Master Bedroom, both & handy SHOWER GLAZING: Tempered, 3/8" thick, 1/2" FRAMING: (1) 28"W x 24"H PANEL



NOTES:
- ALL EXTERIOR FRAMING TO BE 2 X 6S, UNLESS NOTED OTHERWISE.
- ALL INTERIOR FRAMING TO BE 2 X 4S, UNLESS NOTED OTHERWISE.
- ALL INTERIOR PARTITIONS TO BE 5/8\"/>

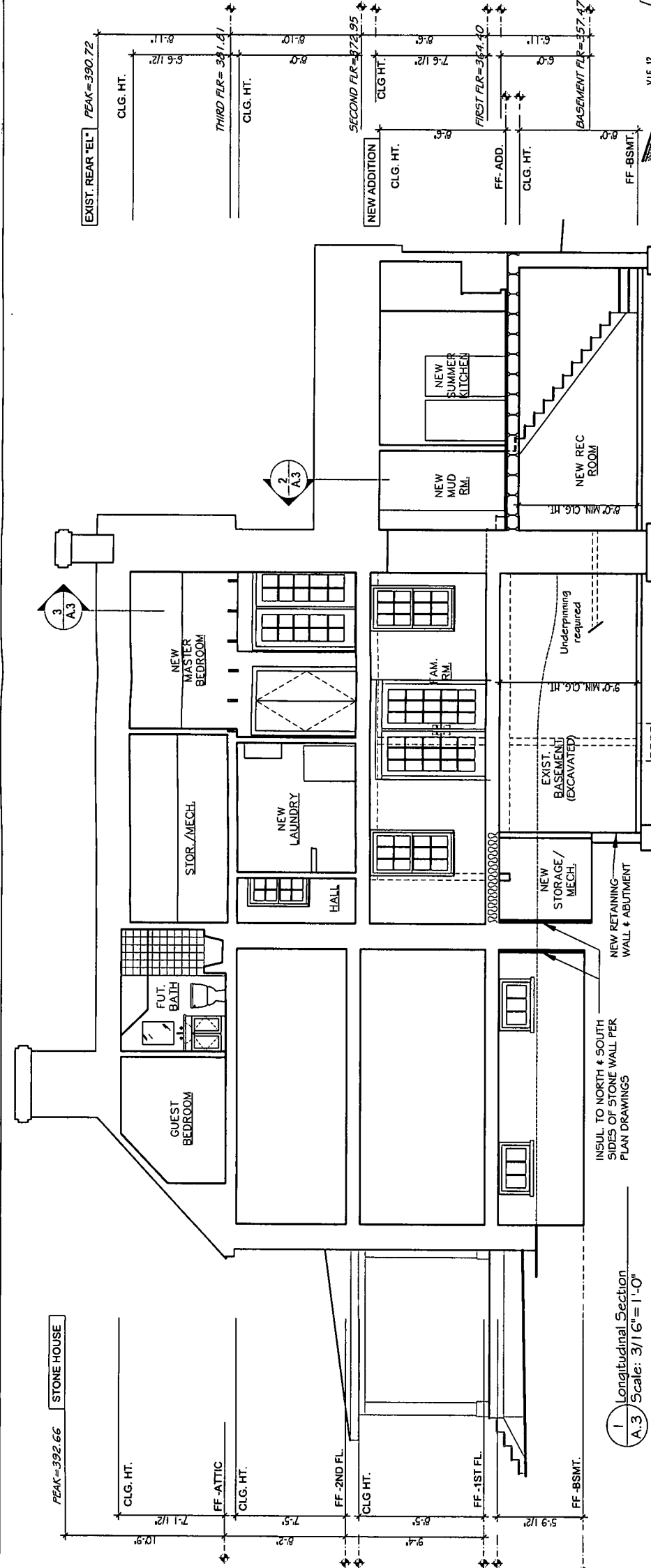
1 Proposed Second Floor Plan
A.2 Scale: 3/16" = 1'-0"



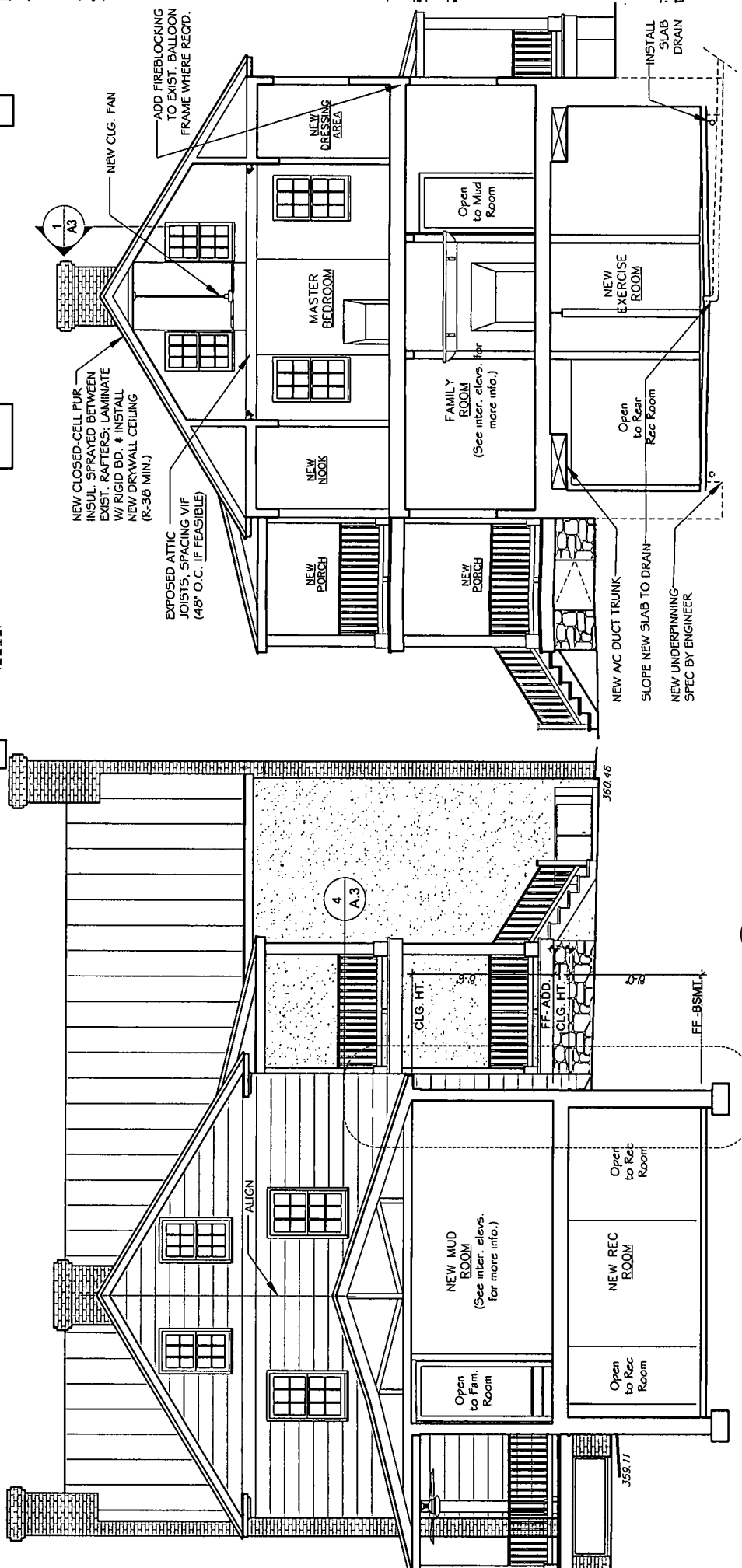
EXPOSED ATTIC JOISTS, SPACING VIF (48" O.C. IF FEASIBLE)
EXISTING FIRE ESCAPE ROOF OPENING FRAME BULKHEAD IN BEDROOM TO AVOID
RECONFIGURE AIR HANDLER & DUCT WORK IN ATTIC
BUILD NEW PANEL OR DOOR FOR FIRE ESCAPE TO BACK ATTIC

2 Proposed Attic Floor Plan
A.2 Scale: 3/16" = 1'-0"

MICHE BOOZ ARCHITECT 209 Arden St Brydenville Maryland 20833 (301)774 6911 fax: 774 1908	A.3
	Project: RIVERTON- ELLER RESIDENCE 1201 Gold Mine Road Brookeville, MD Montgomery County
Drawings: SECTIONS	Dates: PERMIT SET - 08/22/10
Revisions:	

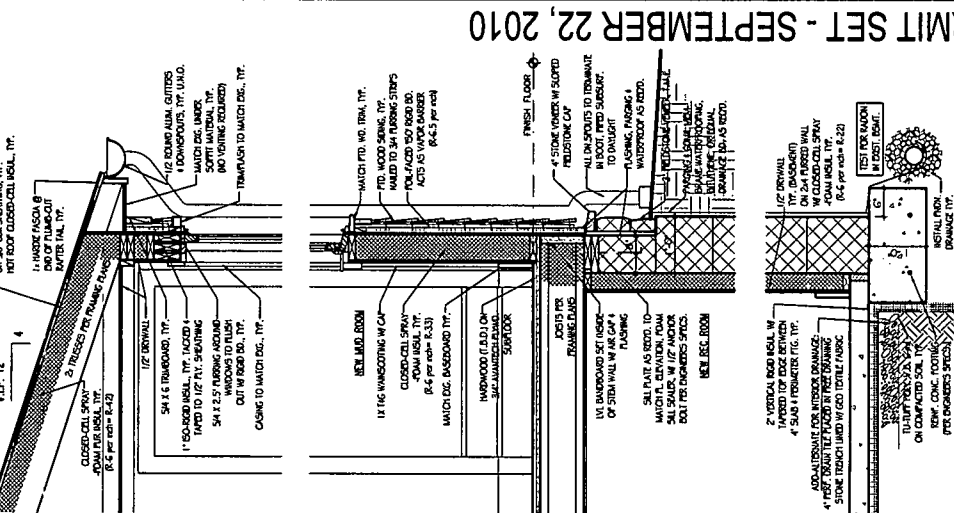


1 Longitudinal Section
 A.3 / Scale: 3/16" = 1'-0"



2 Cross Section @ Addition
 A.3 / Scale: 3/16" = 1'-0"

3 Cross Section @ Master BR
 A.3 / Scale: 3/16" = 1'-0"

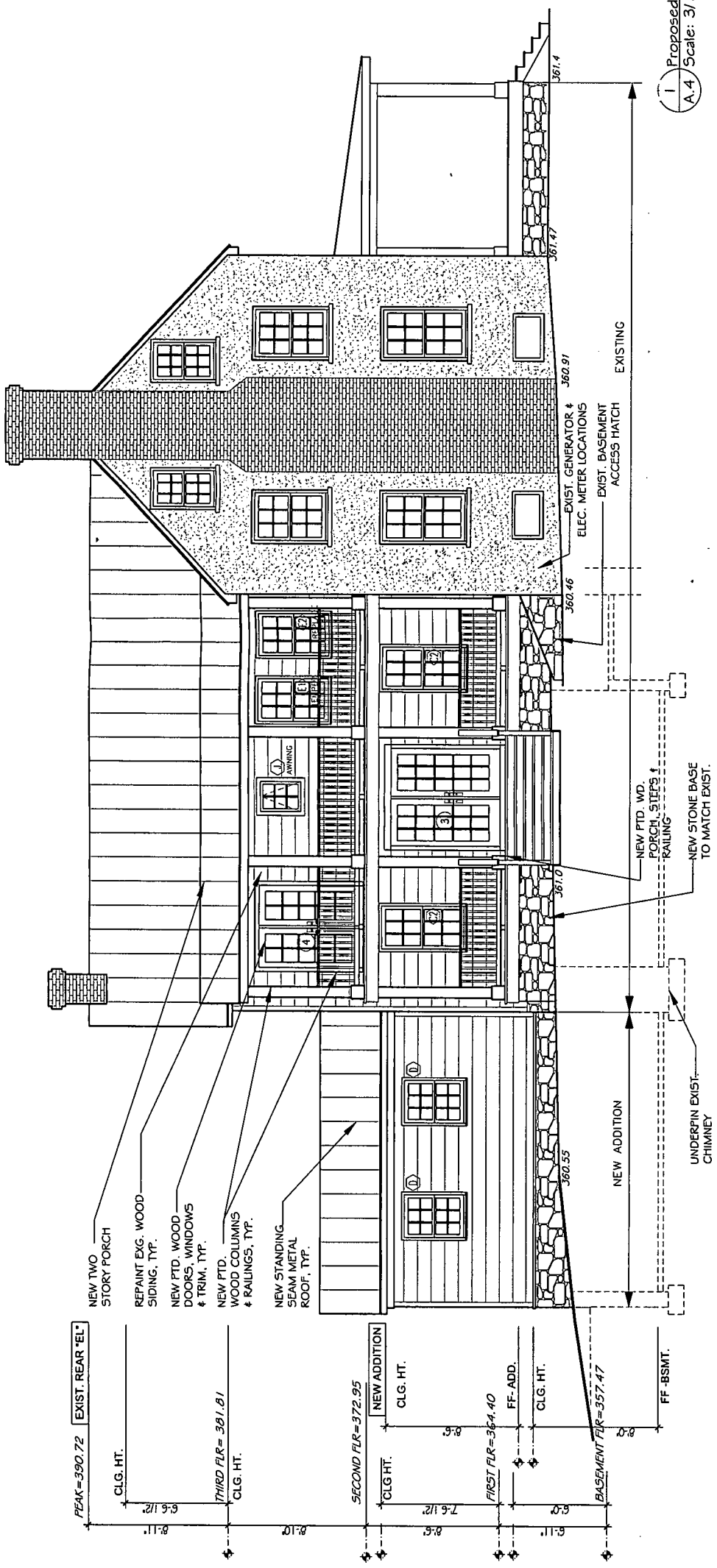


4 Typ. Wall Section
 A.3 / Scale: 1/2" = 1'-0"

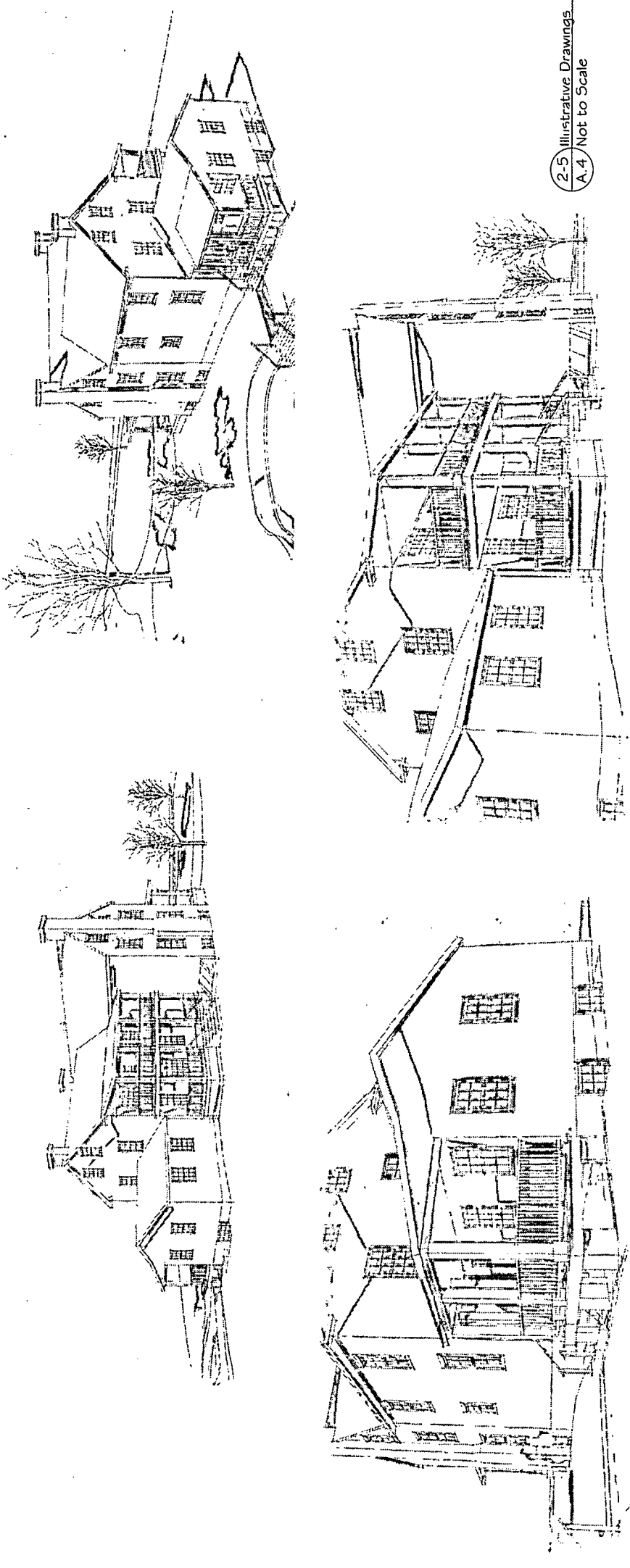
PERMIT SET - SEPTEMBER 22, 2010

MICHE BOOZ ARCHITECT 208 Market St Brooklyn, MD 20833 301.774.8911 fax: 774.1908	A.4
	Project: RIVERTON- ELLER RESIDENCE 1201 Gold Mine Road Brookeville, MD Montgomery County
Drawings: ELEVATIONS	
Dates: PERMIT SET - 09/22/10	
Revisions:	

PERMIT SET - SEPTEMBER 22, 2010



1 Proposed West Elevation
 A.4 Scale: 3/16" = 1'-0"



2-5 Illustrative Drawings
 A.4 Not to Scale

MICHE BOOZ
 ARCHITECT
 209 Market St
 Brykewille
 Maryland 20833
 (301)774 6911
 Fax: 774 1908

A.5

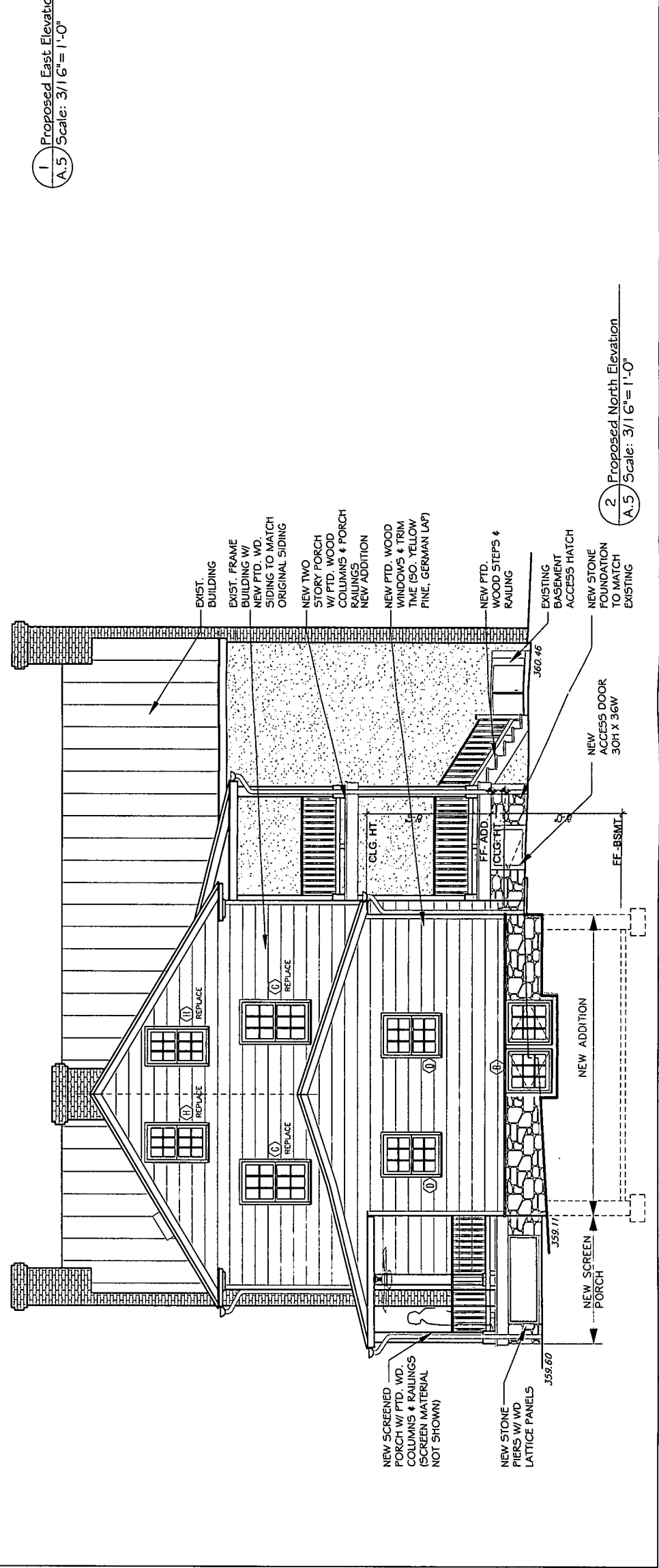
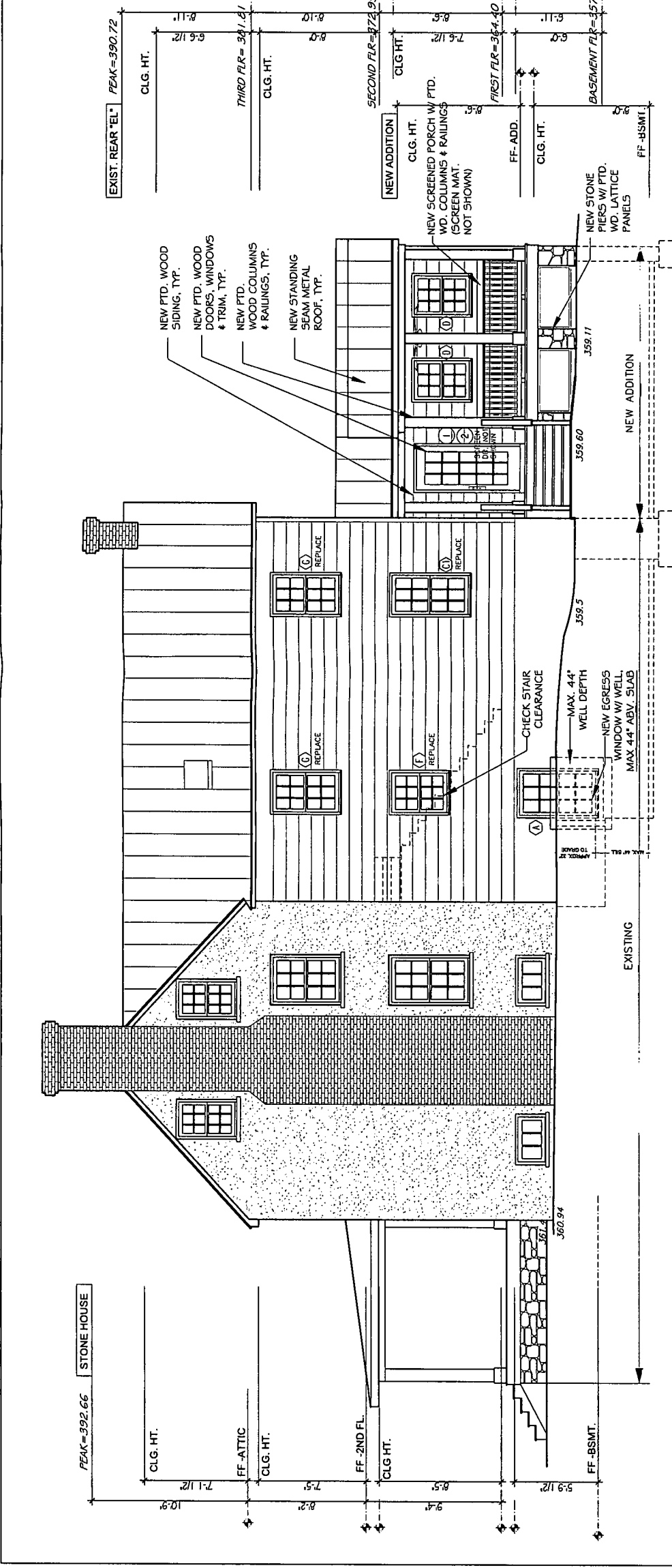
Project:
**RIVERTON-
 ELLER
 RESIDENCE**
 1201 Gold Mine Road
 Brookeville, MD
 Montgomery County

Drawings:
ELEVATIONS

Dates:
 PERMIT SET - 09/22/10

Revisions:

PERMIT SET - SEPTEMBER 22, 2010



1 Proposed East Elevation
 A.5 Scale: 3/16" = 1'-0"

2 Proposed North Elevation
 A.5 Scale: 3/16" = 1'-0"

MICHE BOOZ
 ARCHITECT
 208 Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

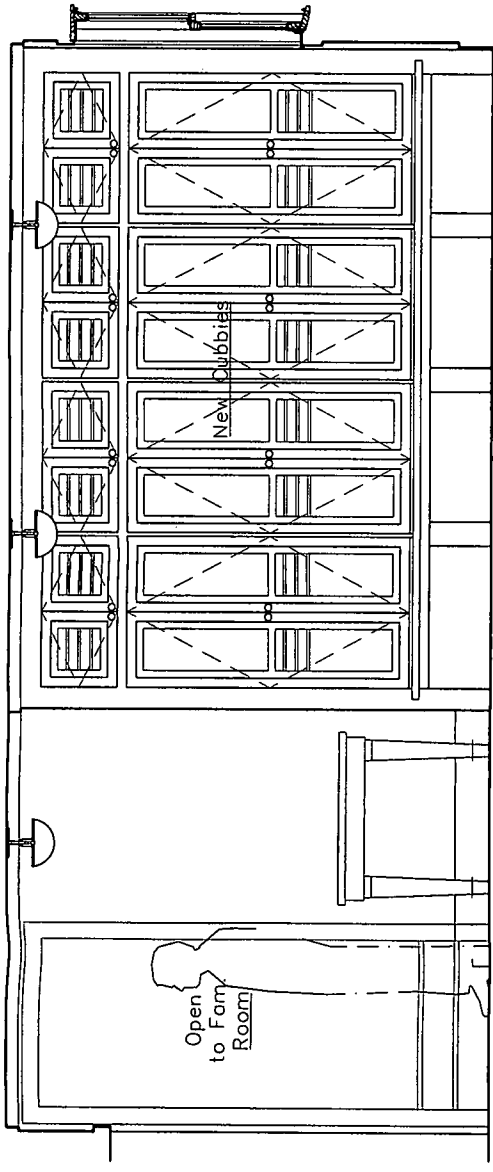
Project:
**RIVERTON-
 ELLER
 RESIDENCE**
 1201 Gold Mine Road
 Brookeville, MD
 Montgomery County

Drawings:
**INTERIOR
 ELEVATIONS**

Dates:
 PERMIT SET - 08/22/10

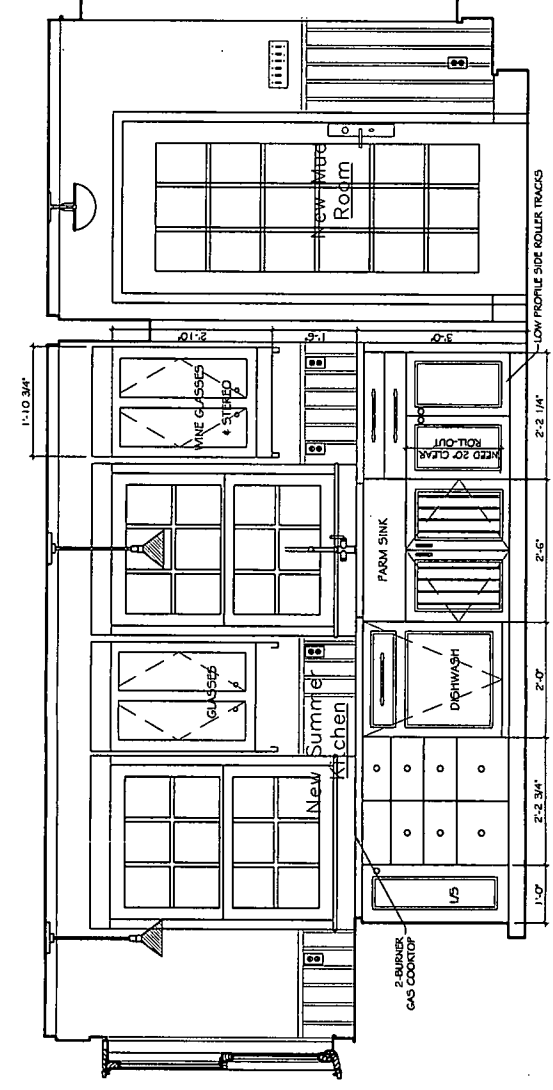
Revisions:

PERMIT SET - SEPTEMBER 22, 2010

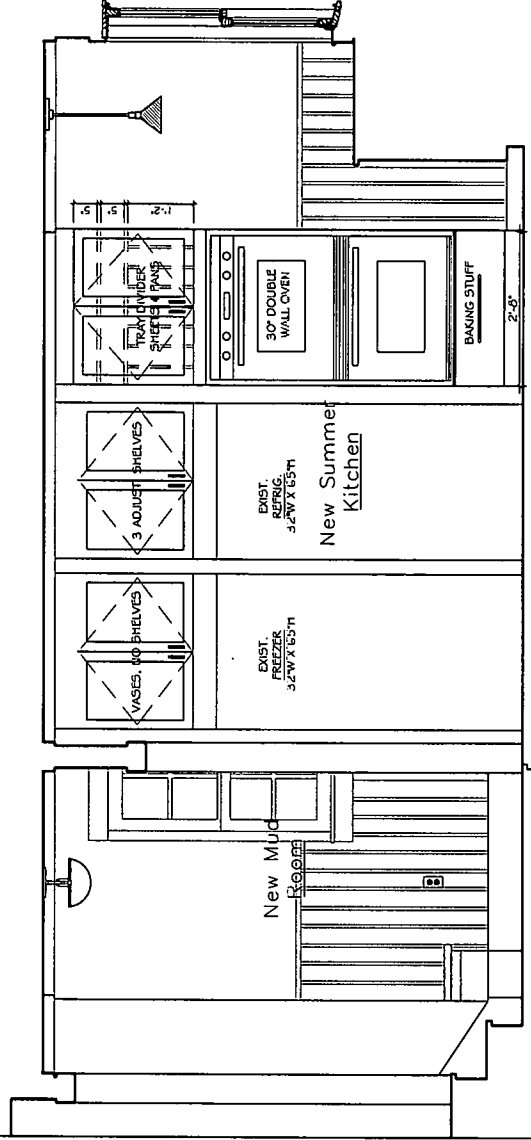


1 New Rear Hall Interior Elev. North
 A.G Scale: 1/2" = 1'-0"

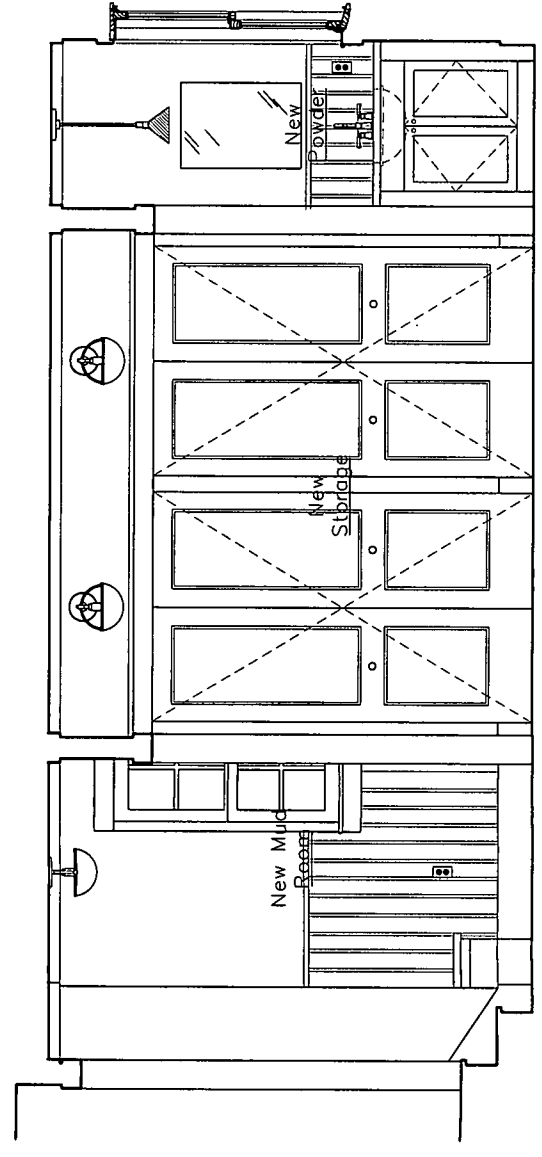
**MORE VIEWS TO BE
 ISSUED BEFORE
 CONSTRUCTION**



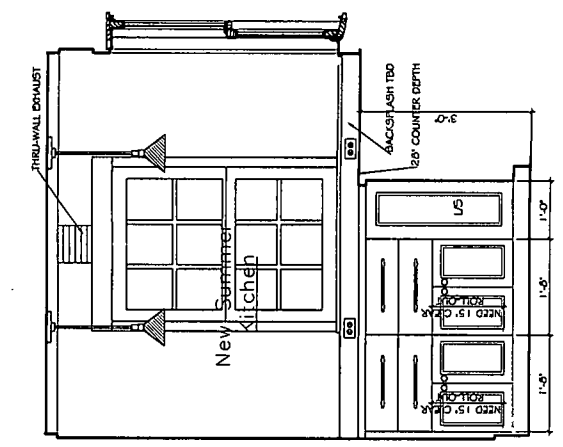
3 New Summer Kit Interior Elev. East
 A.G Scale: 1/2" = 1'-0"



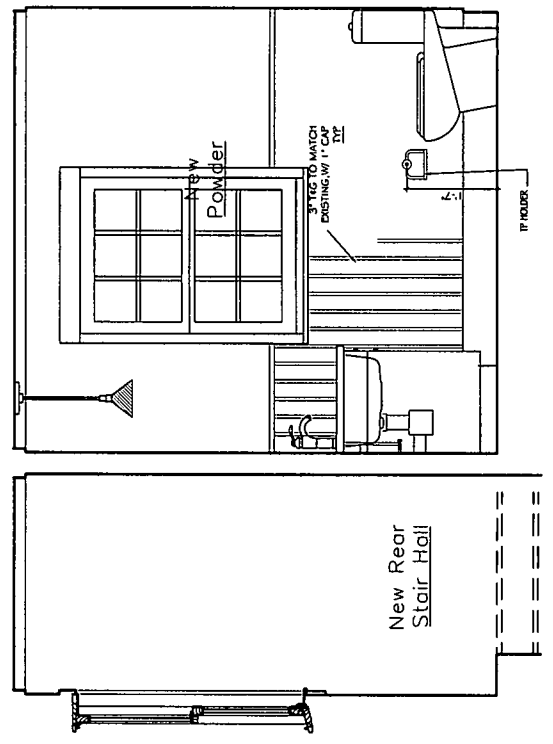
2 New Summer Kit Interior Elev. West
 A.G Scale: 1/2" = 1'-0"



5 New Storage/Powder Interior Elev. West
 A.G Scale: 1/2" = 1'-0"



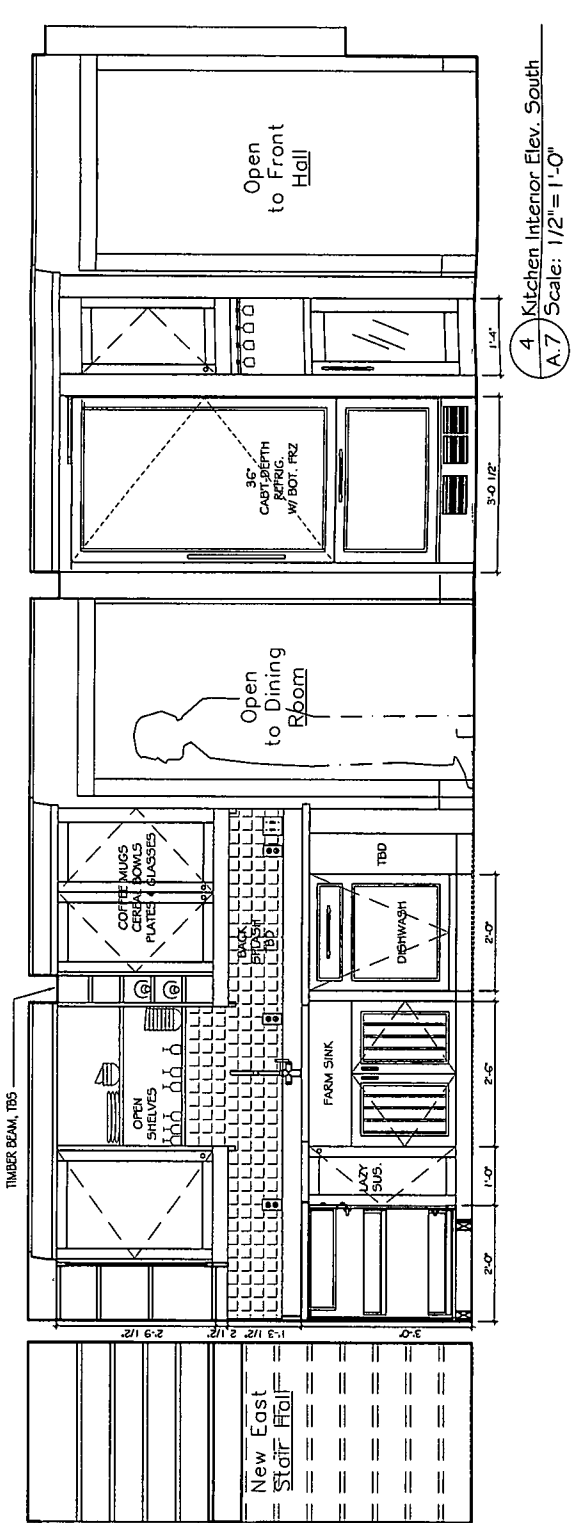
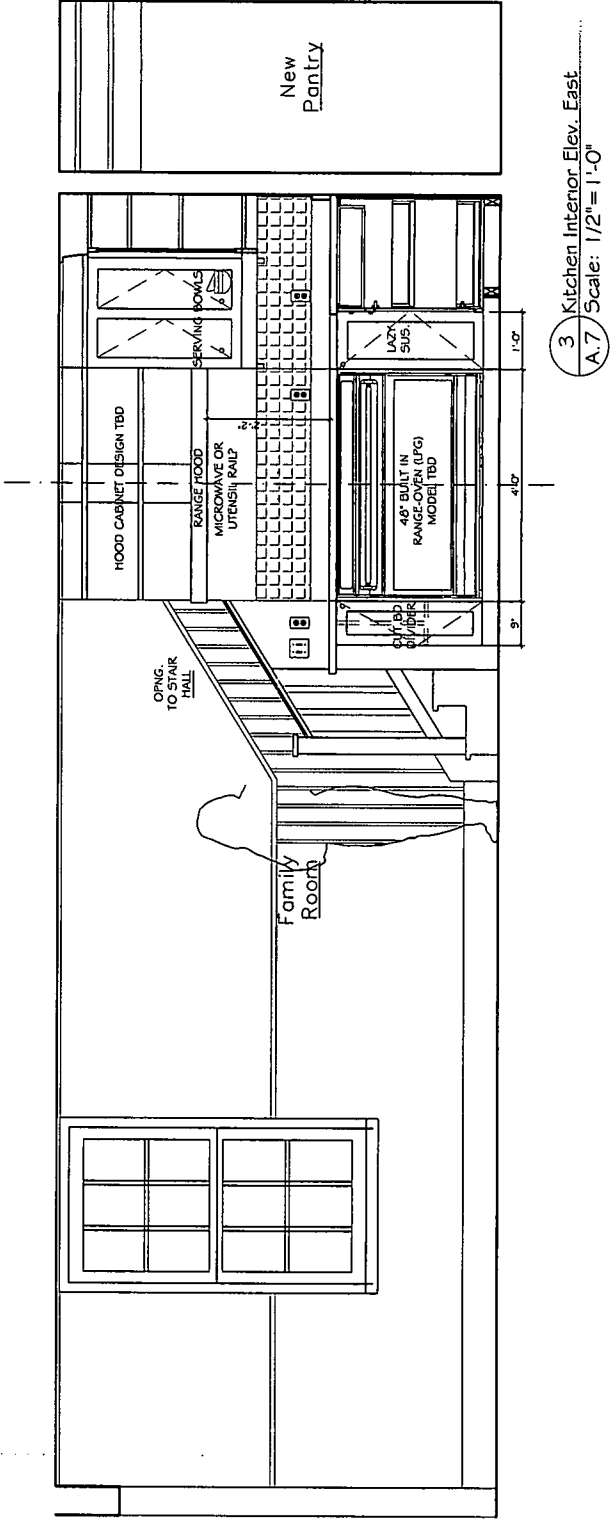
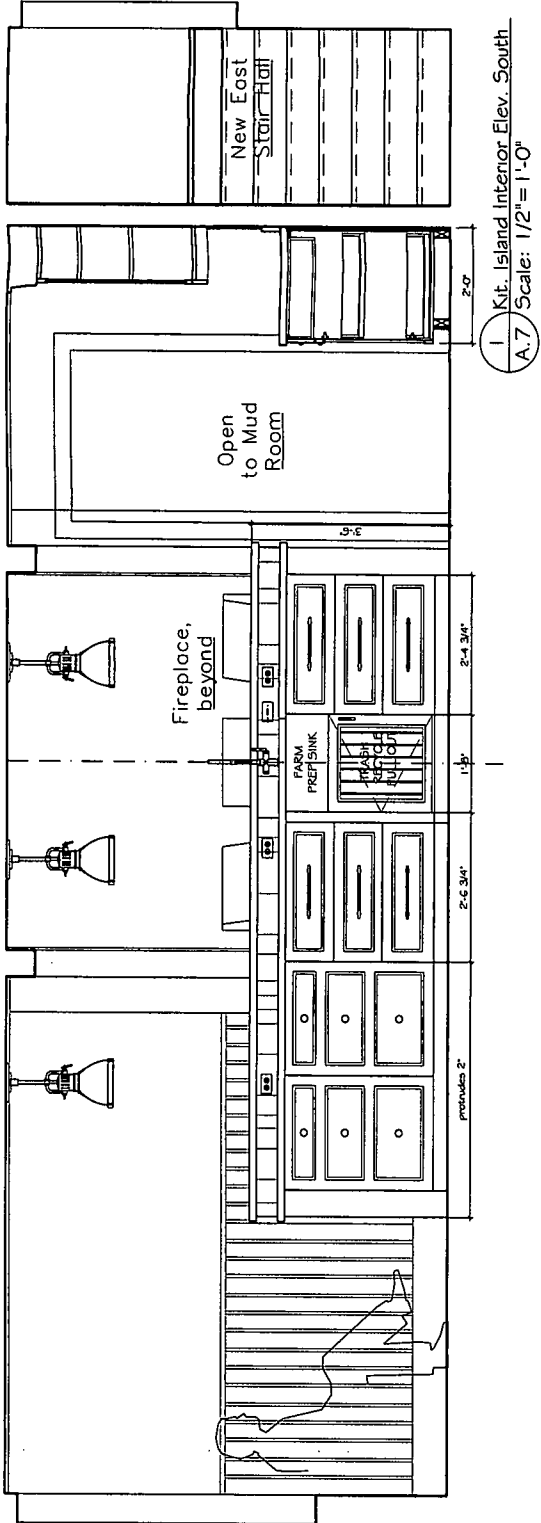
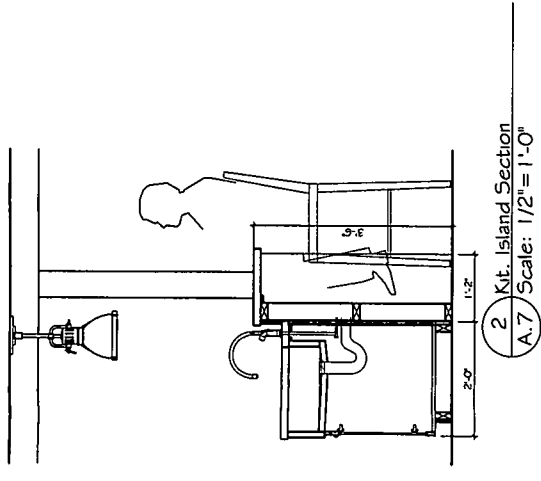
4 New Addition Interior Elev. North
 A.G Scale: 1/2" = 1'-0"



New Rear Stair Hall

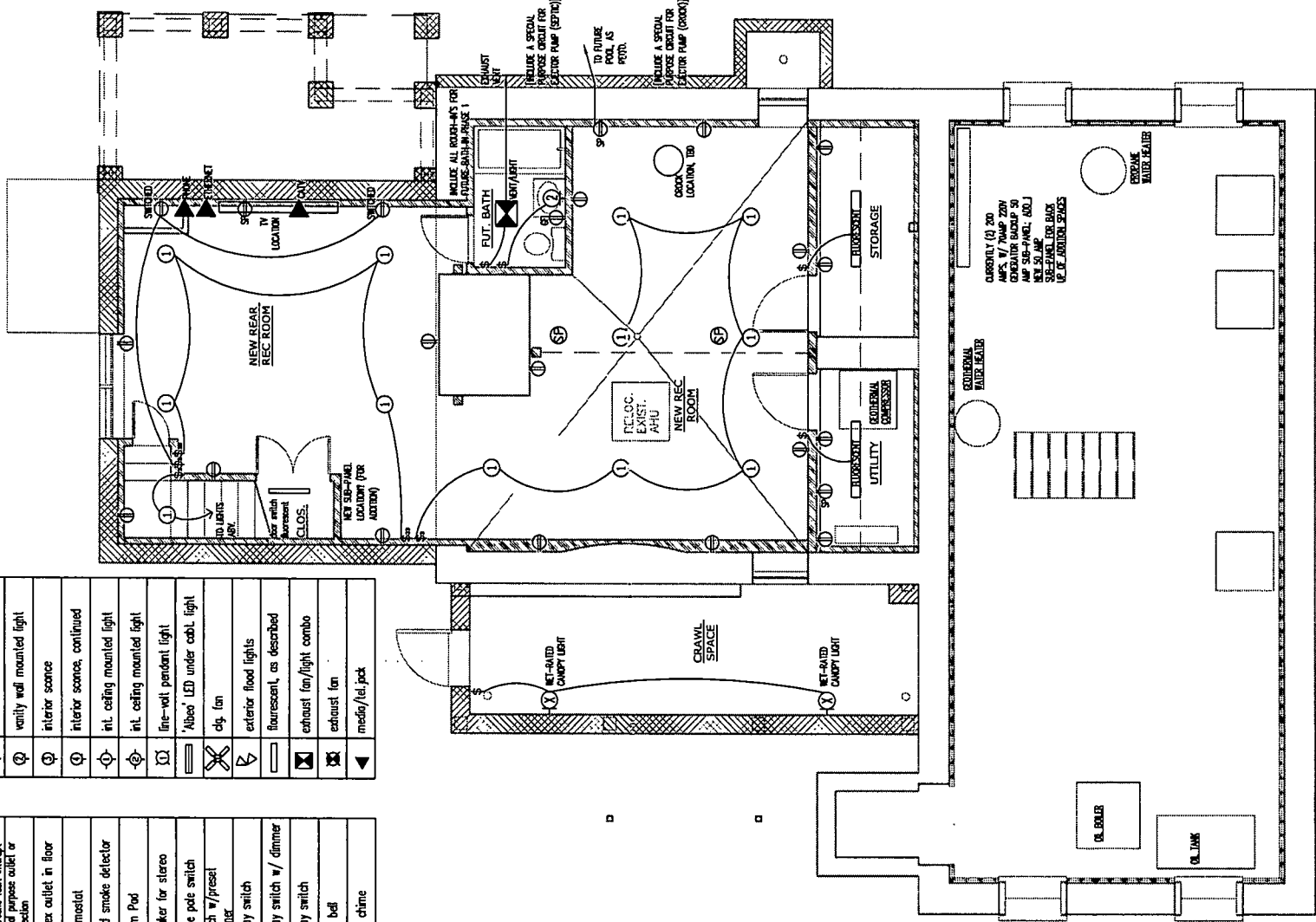
MICHE BOOZ ARCHITECT 209/Market St Brykewille Maryland 20833 (301)774 6911 fax: 774 1908	A.7
	Project: RIVERTON- ELLER RESIDENCE 1201 Gold Mine Road Brookeville, MD Montgomery County
Drawings: INTERIOR ELEVATIONS	
Dates: PERMIT SET - 09/22/10	
Revisions:	

PERMIT SET - SEPTEMBER 22, 2010

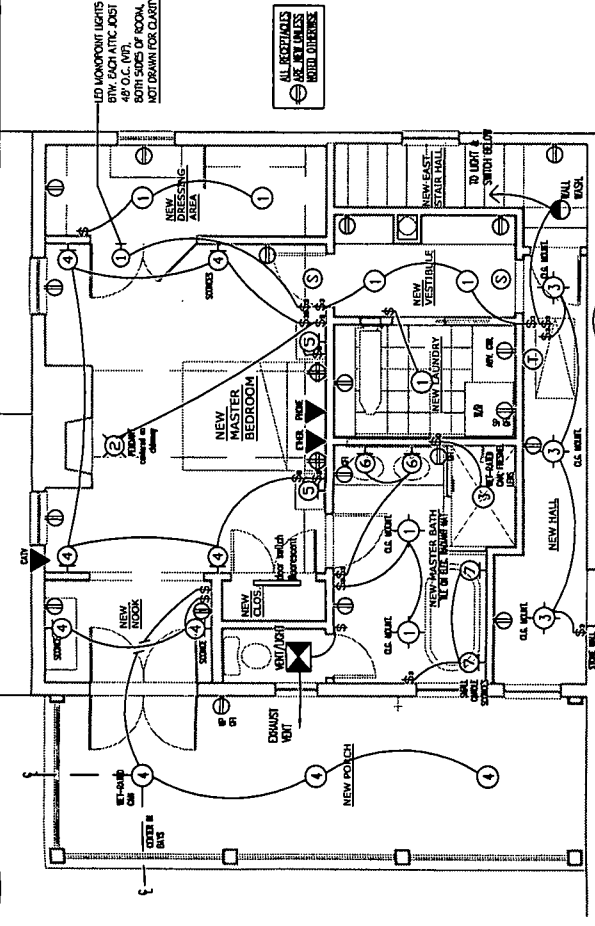


Symbol	Type
⊕	duplex outlet
⊕	quad outlet
⊕	duplex outlet w/ ground fault interrupt
⊕	duplex outlet w/ground fault interrupt
⊕	speed purpose outlet or connection
⊕	duplex outlet in floor
⊕	Thermostat
⊕	Wired smoke detector
⊕	Alarm Pad
⊕	Speaker for stereo
⊕	single pole switch
⊕	switch w/preset dimmer
⊕	3 way switch
⊕	3 way switch w/ dimmer
⊕	4 way switch
⊕	door bell
⊕	door chime

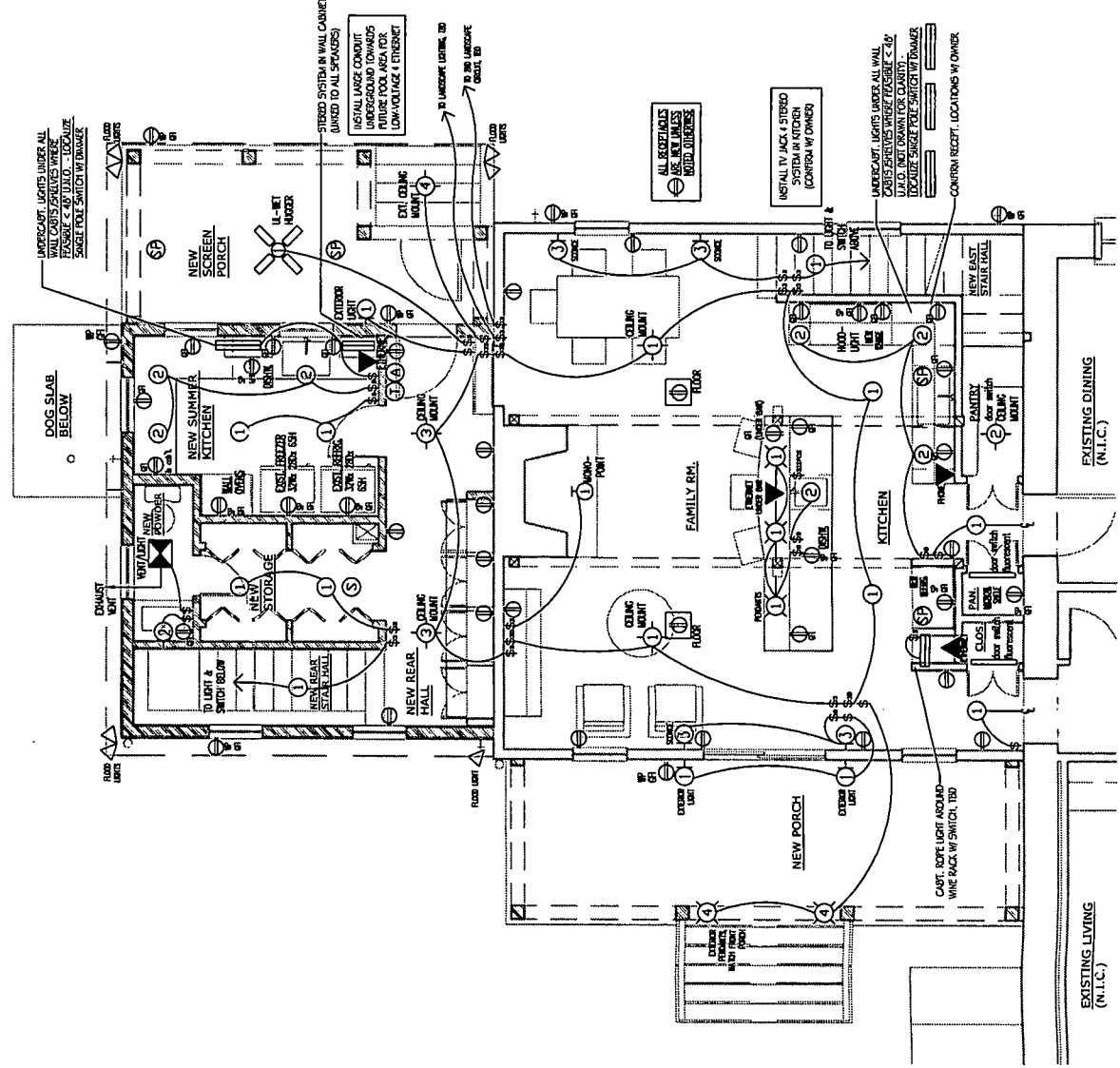
⊕	6" recessed (LED lamp)
⊕	4" recessed (LED lamp)
⊕	6" recessed wall washer
⊕	monopoint fixture
⊕	exterior wall mounted light
⊕	venily wall mounted light
⊕	interior sconce
⊕	interior sconce, continued
⊕	int. ceiling mounted light
⊕	int. ceiling pendant light
⊕	line-well pendant light
⊕	'Alcon' LED under cabl. light
⊕	exh. fan
⊕	exterior flood lights
⊕	fluorescent, as described
⊕	exhaust fan/light combo
⊕	exhaust fan
⊕	media/tel. jack



1 Basement Electrical Plan
E.1 Scale: 3/16" = 1'-0"



3 Second Floor Electrical Plan
E.2 Scale: 3/16" = 1'-0"



2 First Floor Electrical Plan
E.1 Scale: 3/16" = 1'-0"

MICHE BOOZ
ARCHITECT
208 Market St
Brookville, MD
20733
(301)774 6911
fax: 774 1908

Project:
RIVERTON-ELLER RESIDENCE
1201 Gold Mine Road
Brookville, MD
Montgomery County

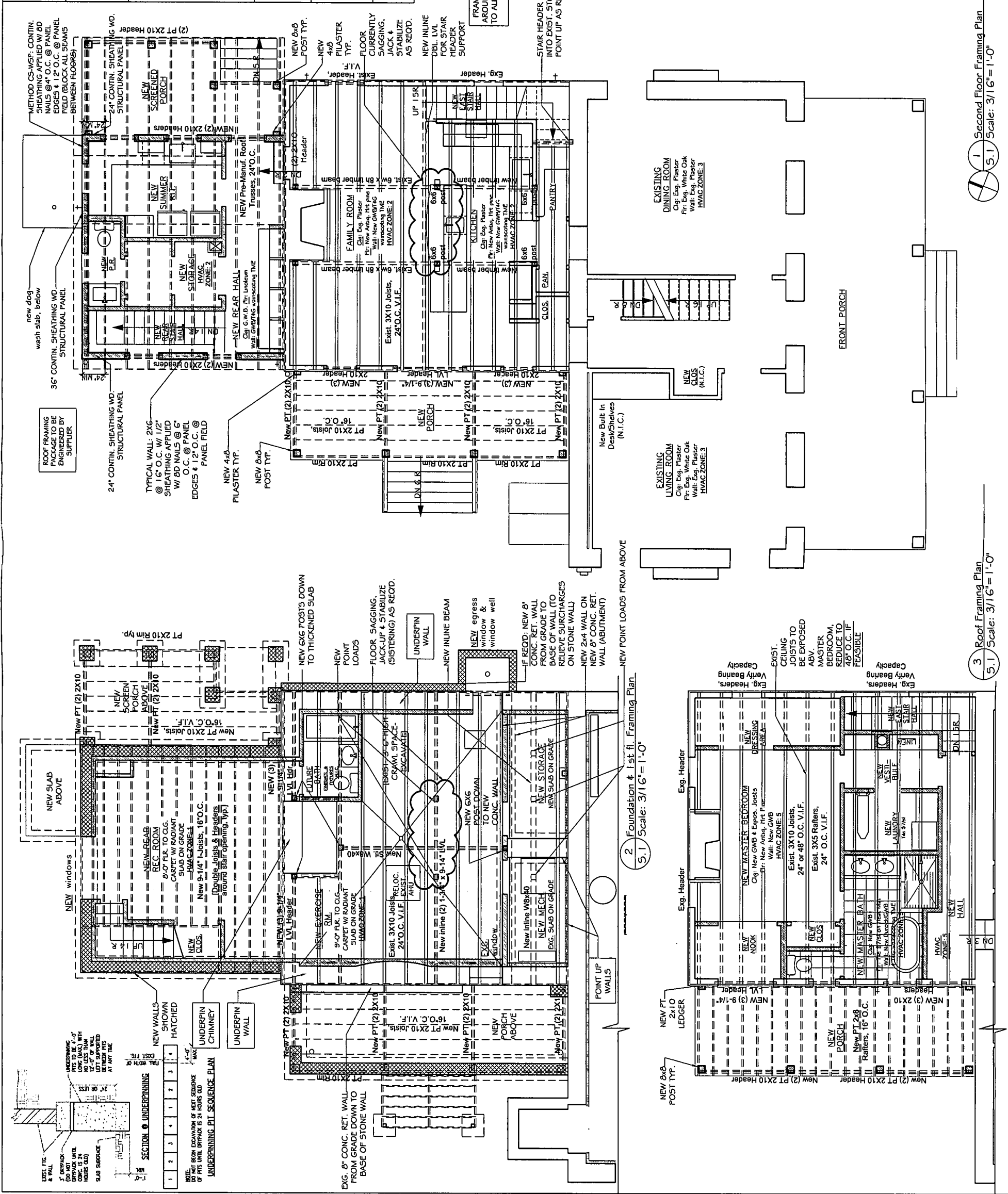
Drawings:
ELECTRICAL PLANS

Dates:
PERMIT SET - 08/22/10

Revisions:

IN CASE OF DISCREPANCY, ELECTRICAL CODES SUPERCEDE DRAWINGS
LIGHTING LOCATIONS TO BE APPROVED BY OWNER IN WALK-THROUGH PRIOR TO ELECTRICAL ROUGH-IN
PLEASE DISCUSS CENTER-LINES & CRIT. ALIGNMENTS WITH ARCHITECT BEFORE BEGINNING ROUGH-INS

PERMIT SET - SEPTEMBER 22, 2010



SECTION @ UNDERPINNING

1	2	3	4
---	---	---	---

UNDERPINNING PIT SEQUENCE PLAN

NOTE: BEGIN REMOVAL OF FIRST COURSE OF PITS UPON APPROX. 24 HOURS CO.

1 Foundation & 1st fl. Framing Plan
S.1 Scale: 3/16" = 1'-0"

2 Roof Framing Plan
S.1 Scale: 3/16" = 1'-0"

3 Second Floor Framing Plan
S.1 Scale: 3/16" = 1'-0"

Fothergill, Anne

From: Fothergill, Anne
Sent: Tuesday, July 27, 2010 11:23 AM
Subject: Staff item #3 - Proposed Changes to Riverton HAWP
Attachments: 2010.07.13_Riverton_Revised_A1.pdf; 2010.07.13_Riverton_Revised_A2.pdf; 2010.07.13_Riverton_Revised_A4.pdf; 2010.07.13_Riverton_Revised_A5.pdf; Riverton existing elevations.pdf; HPC approved plans 2007.PDF; IMG_0347_2.jpg; IMG_0349_2.jpg; IMG_0351_2.jpg; IMG_0348_2.jpg

This is staff item # 3 for tomorrow night. The applicants are proposing a revision to their plans that makes fewer changes to the historic house than what the HPC approved in 2007. See below for an explanation from the architect and attached are photos and existing, approved and proposed plans. I will bring copies tomorrow.

thanks, Anne

From: Joe Harris [mailto:jharris@michebooz.com]
Sent: Tuesday, July 27, 2010 10:06 AM
To: Fothergill, Anne
Cc: mbooz@michebooz.com; 'Stephen Eller'
Subject: Memorandum: Proposed Changes to Riverton HAWP



MEMORANDUM: Proposed Changes to Riverton HAWP

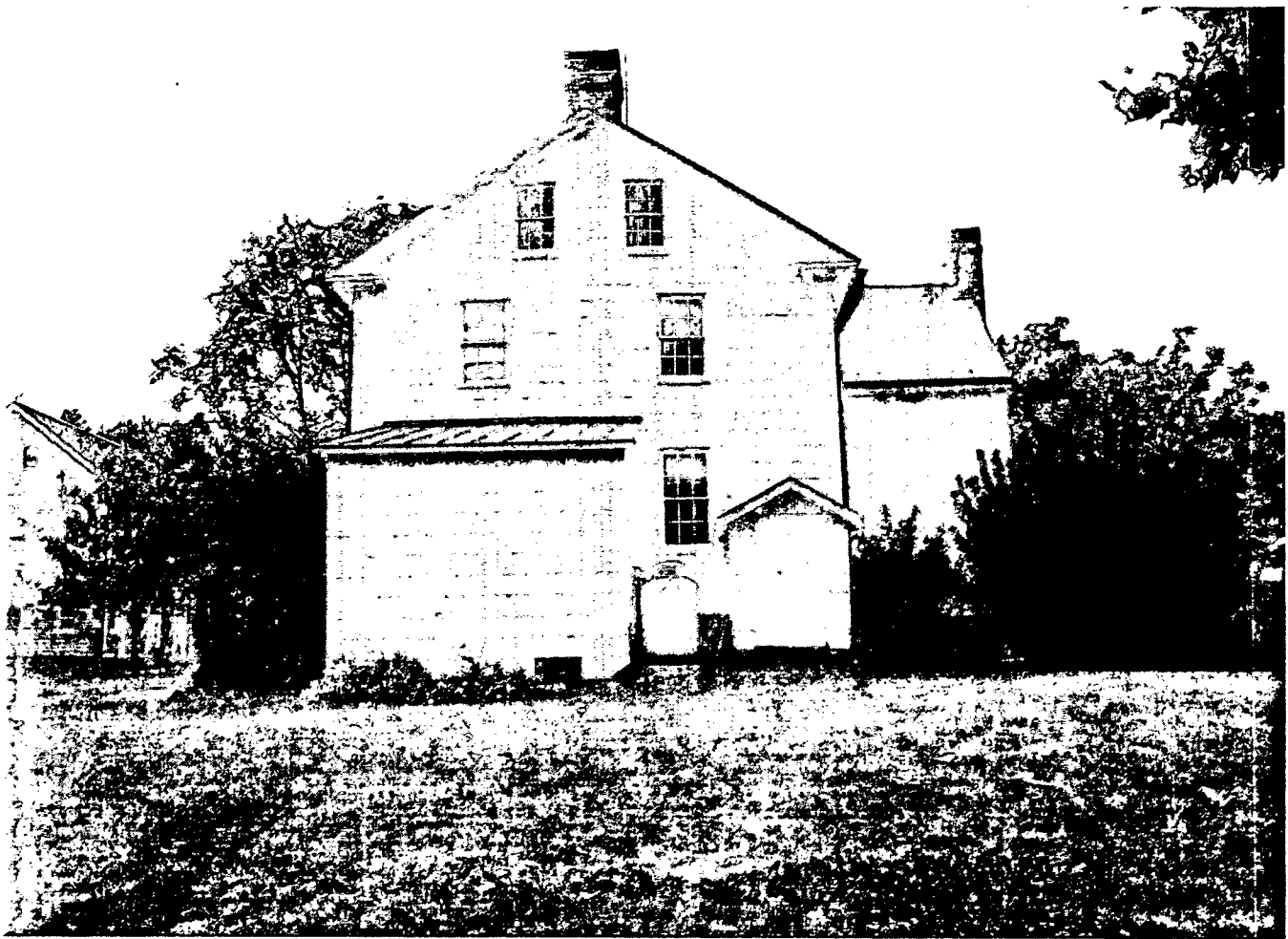
Anne:

After further design discussions with the owners of Historic Riverton, we're proposing to reduce the amount of windows in this previously approved HAWP. The principal reason for these changes is to reduce the heating and cooling loads to improve the energy-efficiency of the house. The amount of glazing was something the commissioners discussed in detail, so we're assuming these will be welcomed changes.

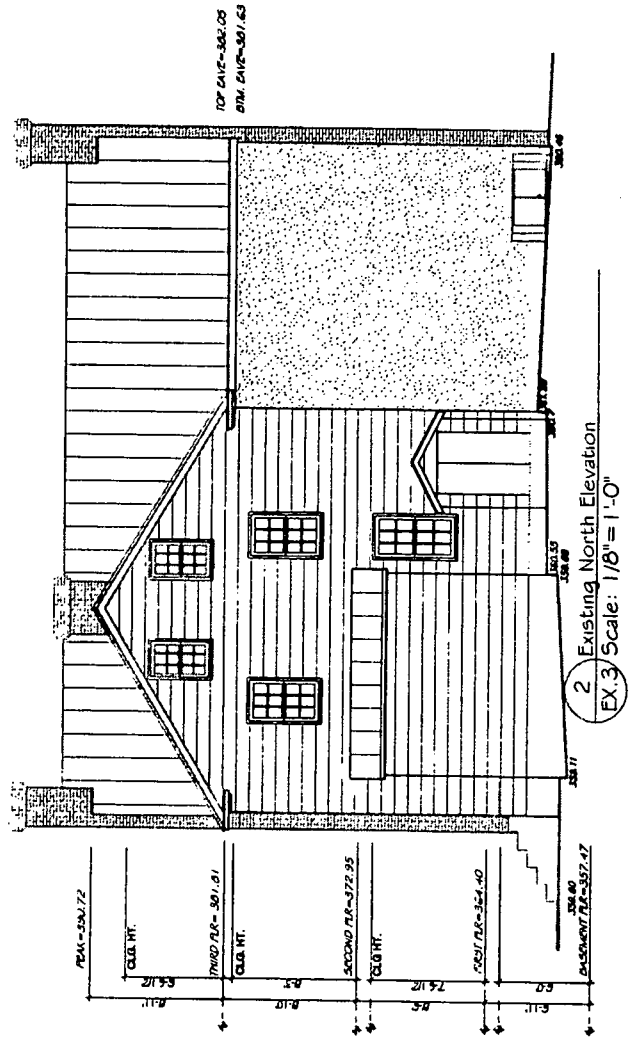
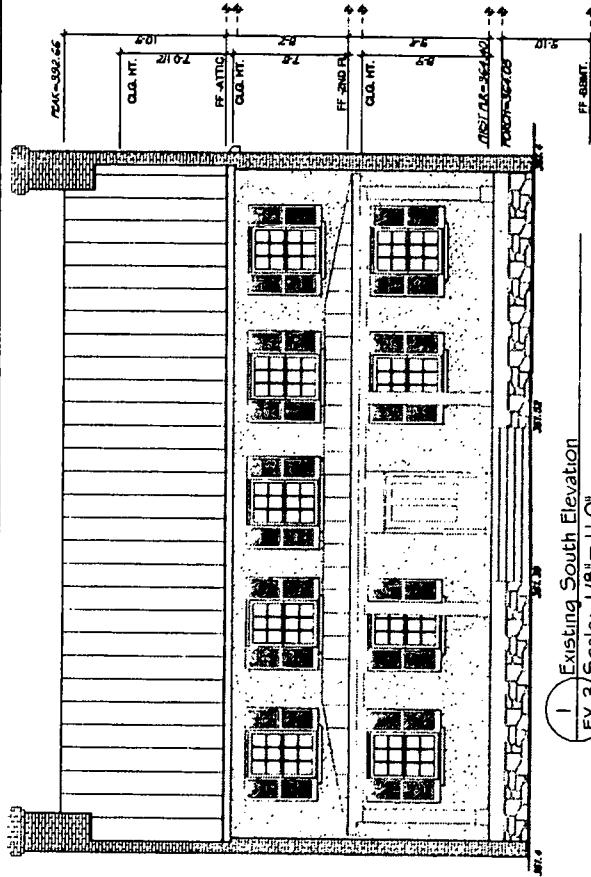
Here is a complete list of the revisions we are proposing (see drawings attached):

1. Windows in the original 1848 massing: Unchanged.
2. c.1880 wing windows:
 - a. North wall: Unchanged.
 - b. East wall:
 1. One new window previously approved: Now wish to remove (so we'll be keeping the existing 'historic' window locations).
 2. All others remain as originally approved.
 - c. West wall (behind the approved 2-story porch):
 1. Lower floor: 4 new windows reduced to 2 new windows. French door remains as originally approved.
 2. Upper floor: New 22w x 30h rectangular awning window added in center of composition. This is the only new window we're proposing.
3. New rear addition windows:
 - a. North wall: 4 new windows reduced to 2 new windows.
 - b. West wall: 3 new windows reduced to 2 new windows.
 - c. East wall: Unchanged.



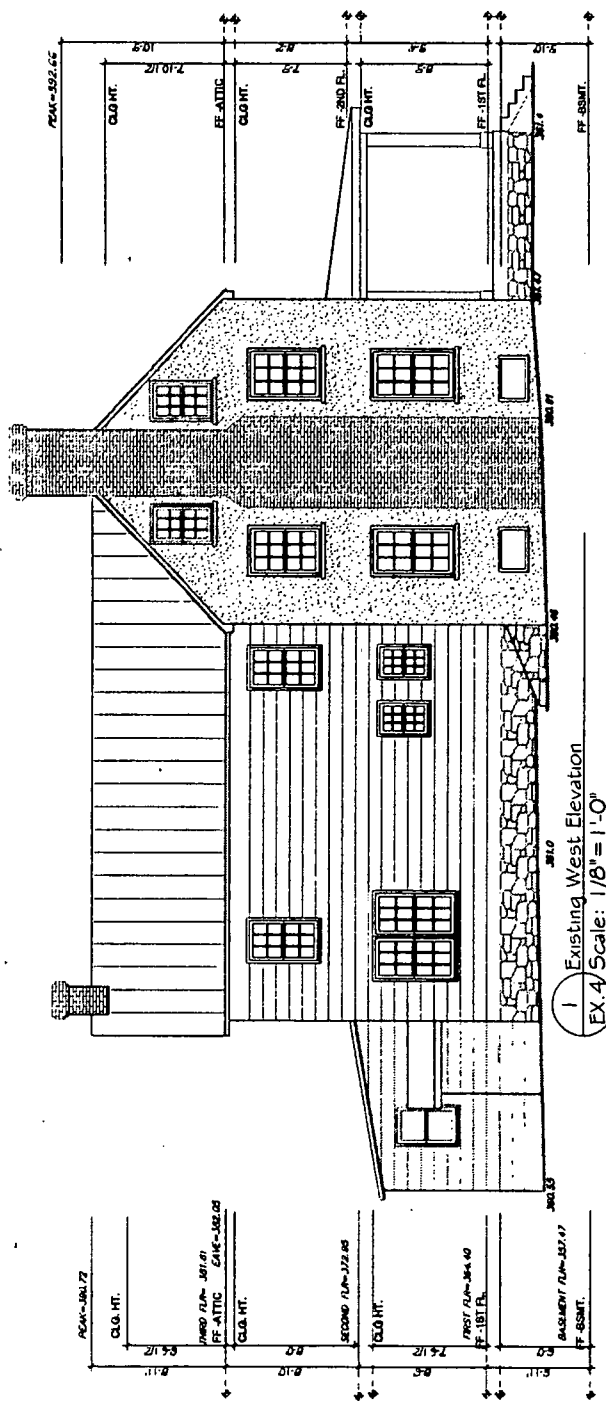


MICHE BOOZ ARCHITECT EX.3	250 Grand St Baltimore, MD 21201 Tel: 774 1800	Project: RIVERTON- ELLER RESIDENCE	1201 Gold Mine Road Brookville, MD Montgomery County	Drawing: EXISTING ELEVATIONS	Date: 10/20/07 HWBP & Associates
	1201 Gold Mine Road Brookville, MD Montgomery County				

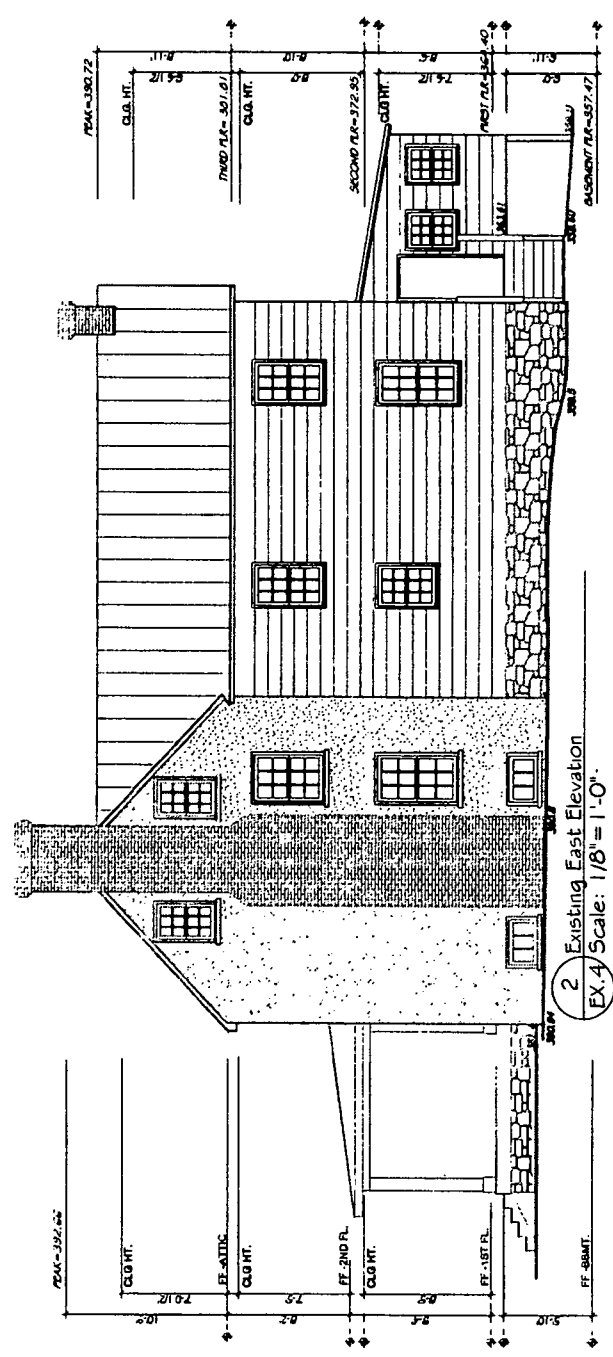


existing

MICHELLE BOOZ ARCHITECT EX.4	2500 20033 201774 0011 442 774 1088
	Project: RIVERTON- ELLER RESIDENCE 1201 Gold Mine Road Brooksville, MD Montgomery County
Drawings/EXISTING ELEVATIONS	
Date: 10/20/20 HWB/MB	



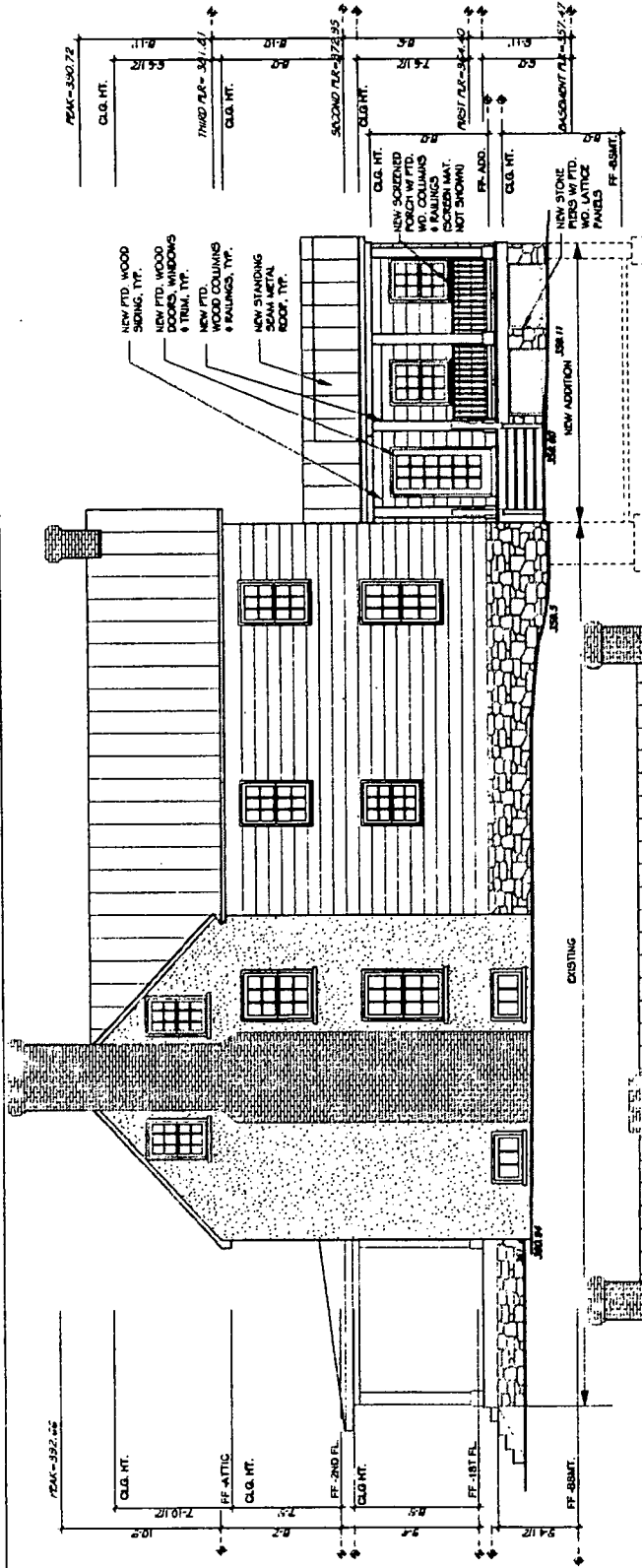
1 Existing West Elevation
 EX.4 Scale: 1/8" = 1'-0"



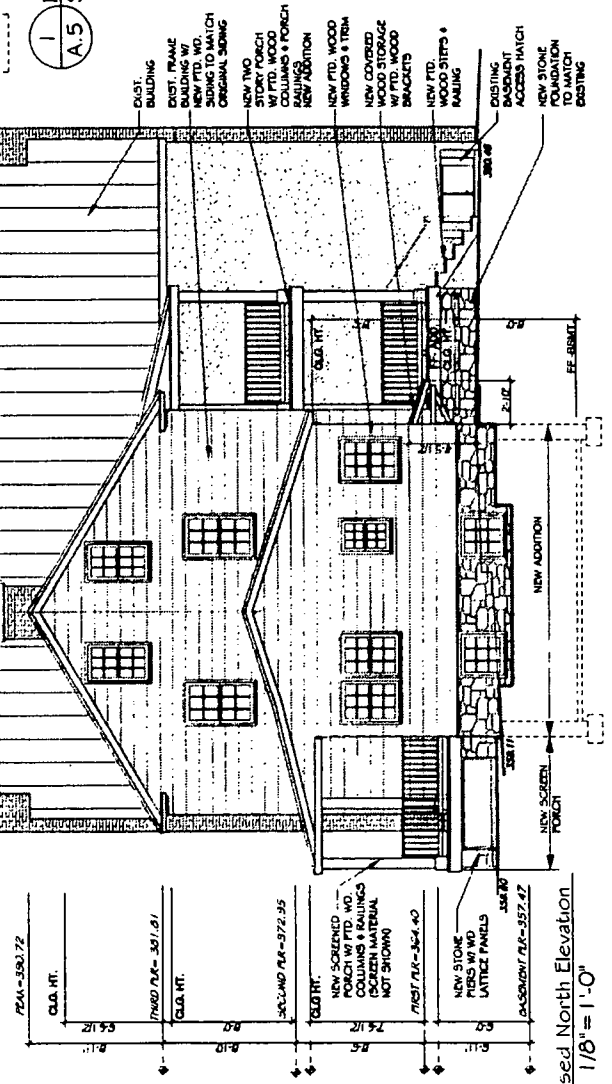
2 Existing East Elevation
 EX.4 Scale: 1/8" = 1'-0"

Existing

MICHE BOOZ ARCHITECT	300 Avenue 54 Baltimore, MD 21201 Phone: 781-1111 Fax: 774-1888
	A.5
Project:	RIVERTON- ELLER RESIDENCE
	1201 Gold Mine Road Brookville, MD Montgomery County
Drawings:	ELEVATIONS
Date:	10/20/07 HAPP/Robinson



1 Proposed East Elevation
A.5 Scale: 1/8" = 1'-0"

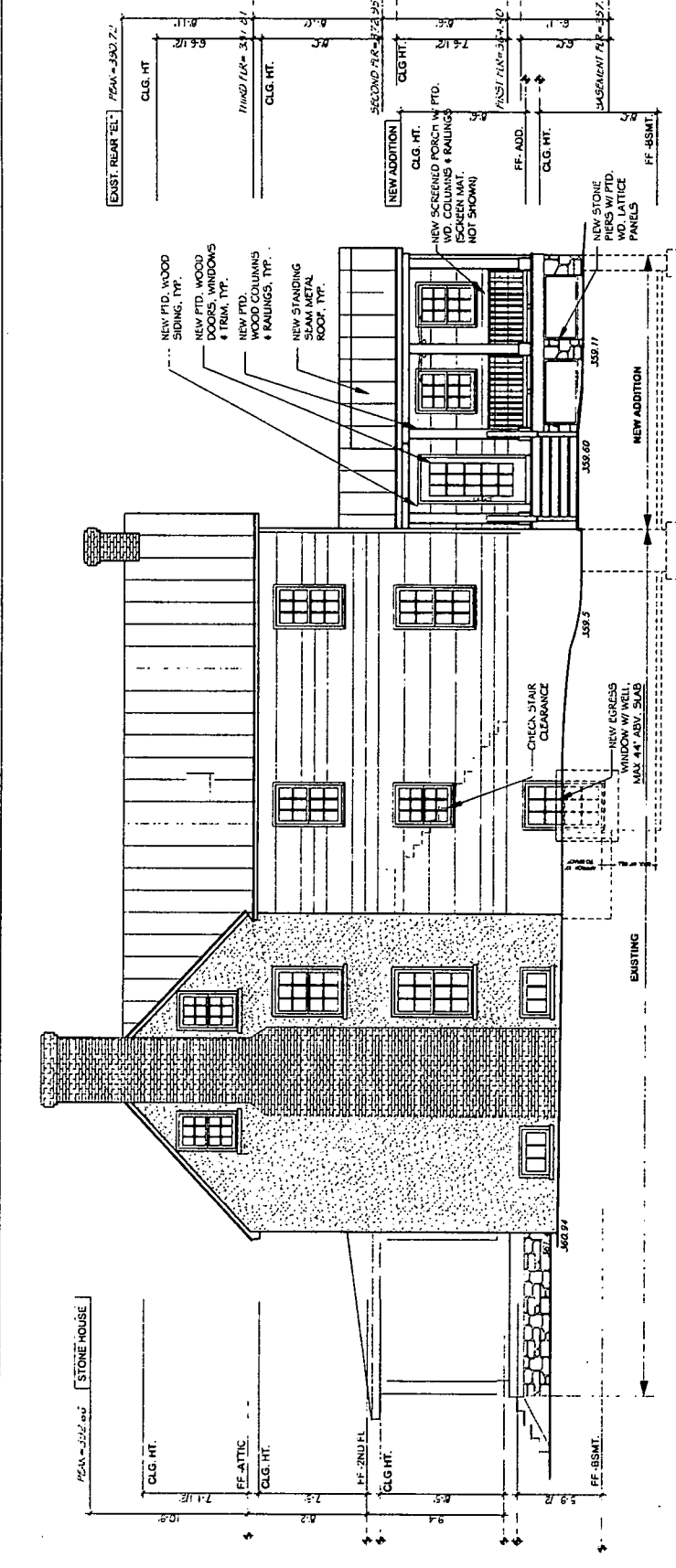


2 Proposed North Elevation
A.5 Scale: 1/8" = 1'-0"

MPC approved

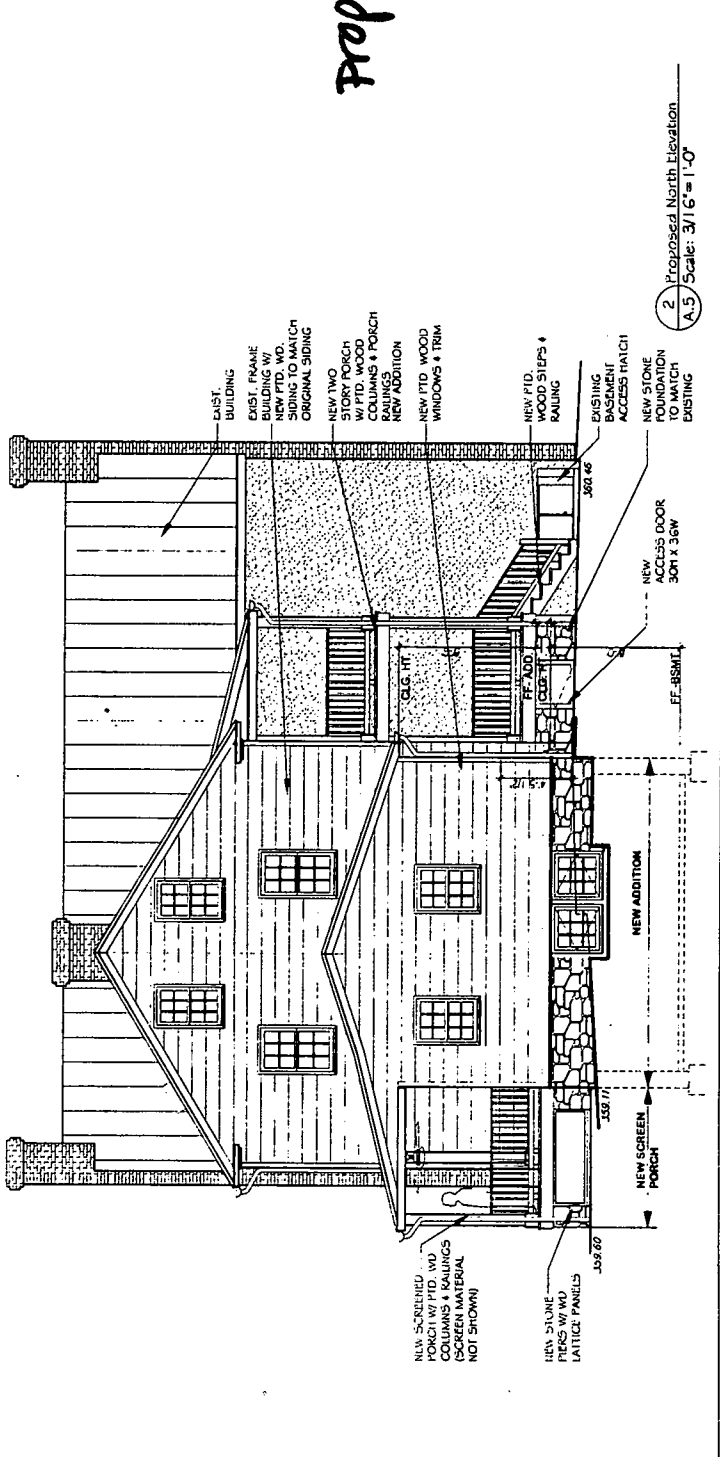
MICHE BOOZ ARCHITECT	205 Mount St Baltimore, MD 21201 Tel: 410.774.8011 Fax: 774.9888
	A.5
Project: RIVERTON-ELLER RESIDENCE 1201 Cold Mine Road Brookville, MD Montgomery County	
Drawings: ELEVATIONS	
Date: REVISED ELEVATIONS: 07/13/10	
Revision:	

REVISED ELEVATIONS - JULY 13, 2010 - NOT FOR CONSTRUCTION -



1 Proposed East Elevation
A.5 / Scale: 3/16" = 1'-0"

Proposed



2 Proposed North Elevation
A.5 / Scale: 3/16" = 1'-0"

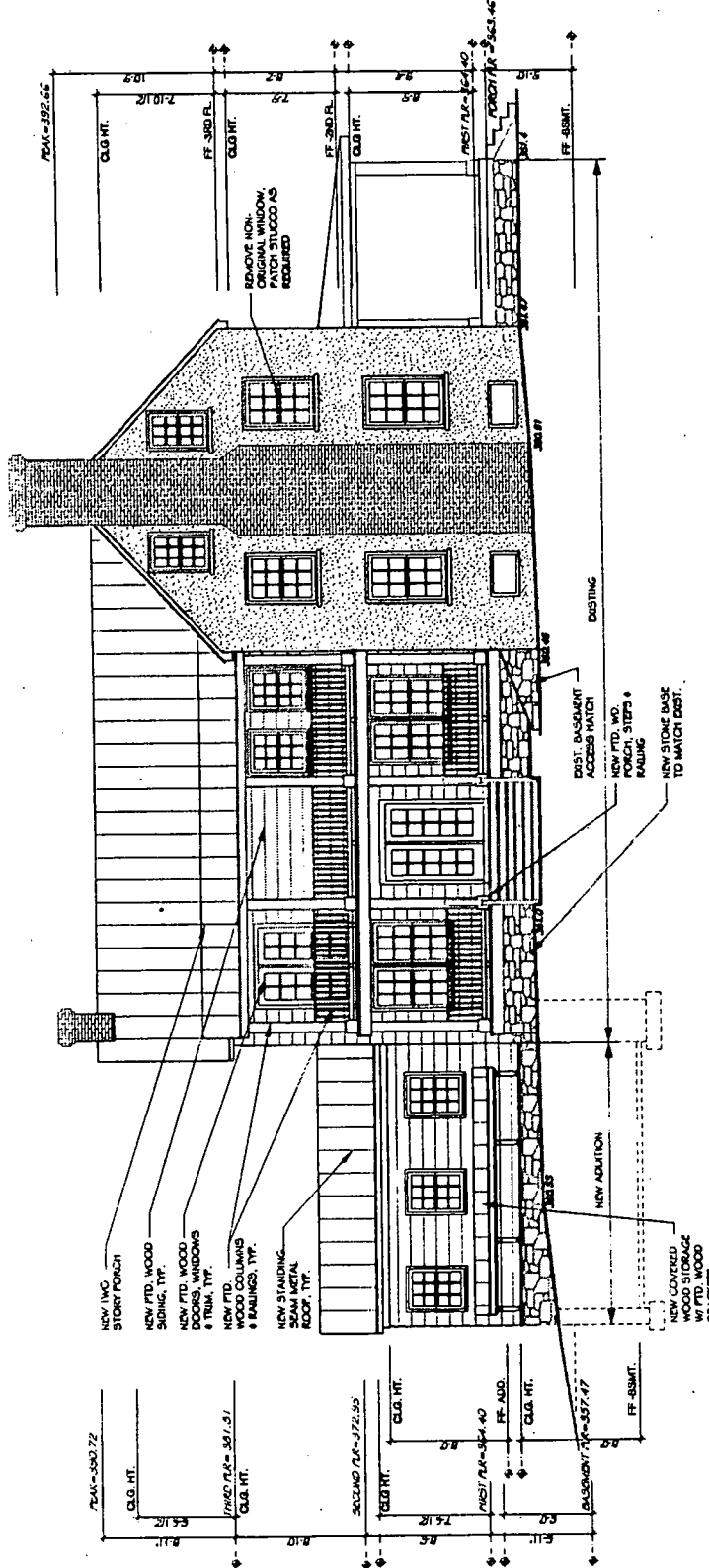
MICHE BOOZ
 ARCHITECT
 A.4

Project:
**RIVERTON –
 ELLER
 RESIDENCE**

1201 Gold Mine Road
 Brooksville, MD
 Montgomery County

Drawings:
 ELEVATIONS

Date:
 10/20/11
 HELIP ROOM

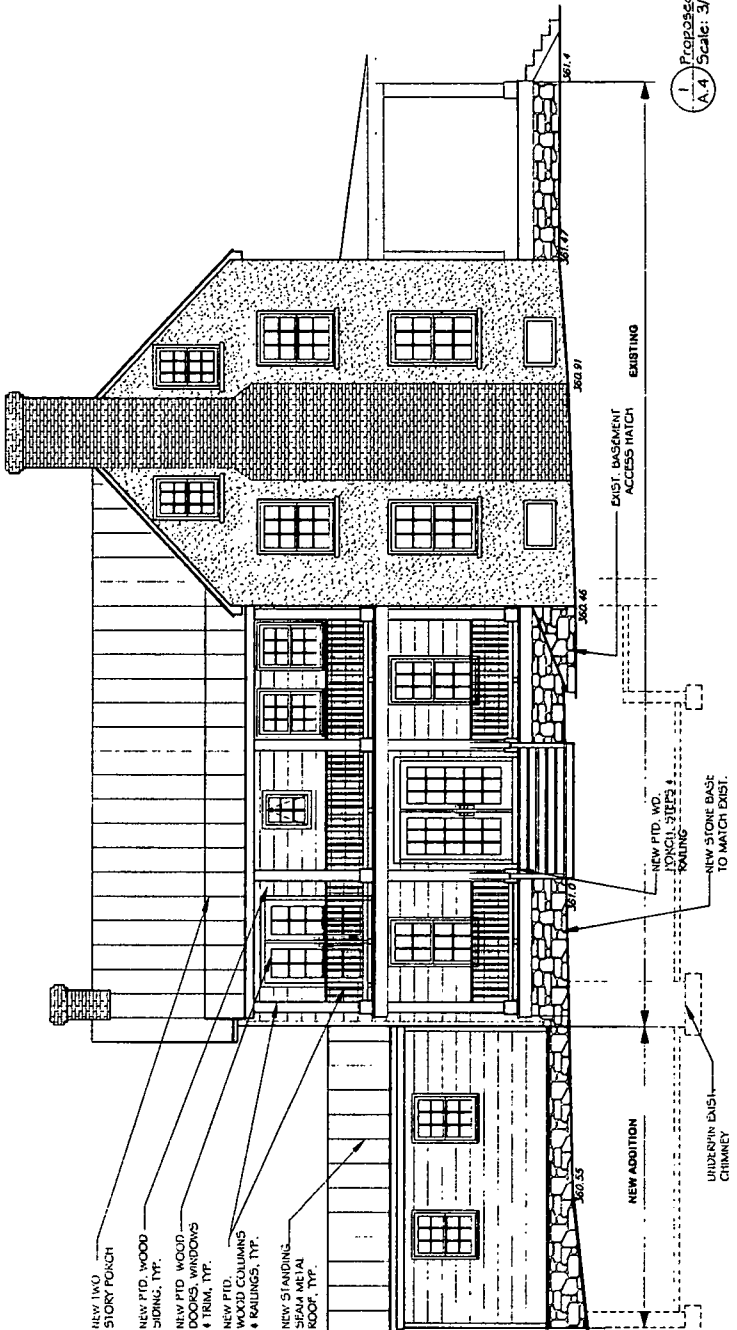


1 Proposed West Elevation
 A.4 Scale: 1/8" = 1'-0"

HPC approved

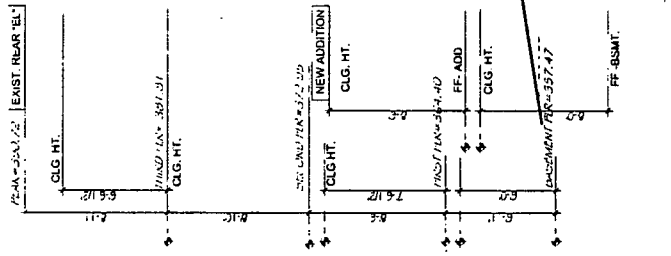
MICHE BOOZ ARCHITECT	209 Avenue S Baltimore, MD 21201 Tel: 774 1000
	Project: RIVERTON- ELLER RESIDENCE 1201 Gold Mine Road Brookville, MD Montgomery County
A.4	Drawings: ELEVATIONS
	Date: REVISED ELEV'S - 07/13/10
	Revisions:

REVISED ELEVATIONS - JULY 13, 2010 - NOT FOR CONSTRUCTION --

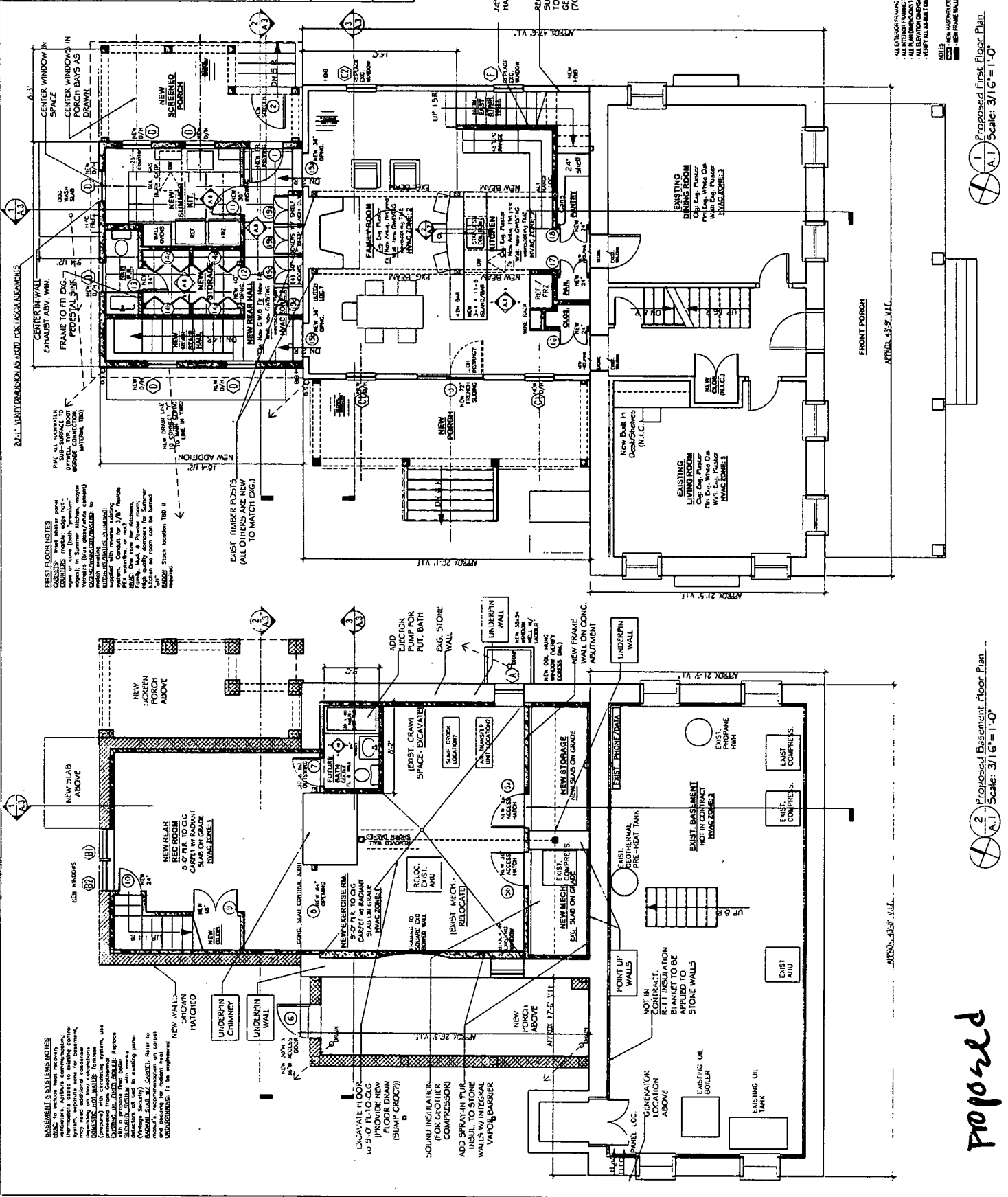


1 Proposed West Elevation
A.4 Scale: 3/16" = 1'-0"

Proposed



MICHELE BOOZ ARCHITECT 200 Market St Baltimore, MD 21201 410.774.6311 Fax: 410.774.1906	A.1	Project:	RIVERTON-ELLER RESIDENCE	
		Address:	1201 Cold Mine Road Brookville, MD Montgomery County	
Drawing:		Basement & First Floor Plans	Date:	REVISED ELEV. - 07/13/10
Revisions:				



- ALL EXISTING DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
- ALL EXISTING DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
- ALL EXISTING DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
- ALL EXISTING DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
- ALL EXISTING DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

1 Proposed First Floor Plan
Scale: 3/16" = 1'-0"

2 Proposed Basement Floor Plan
Scale: 3/16" = 1'-0"

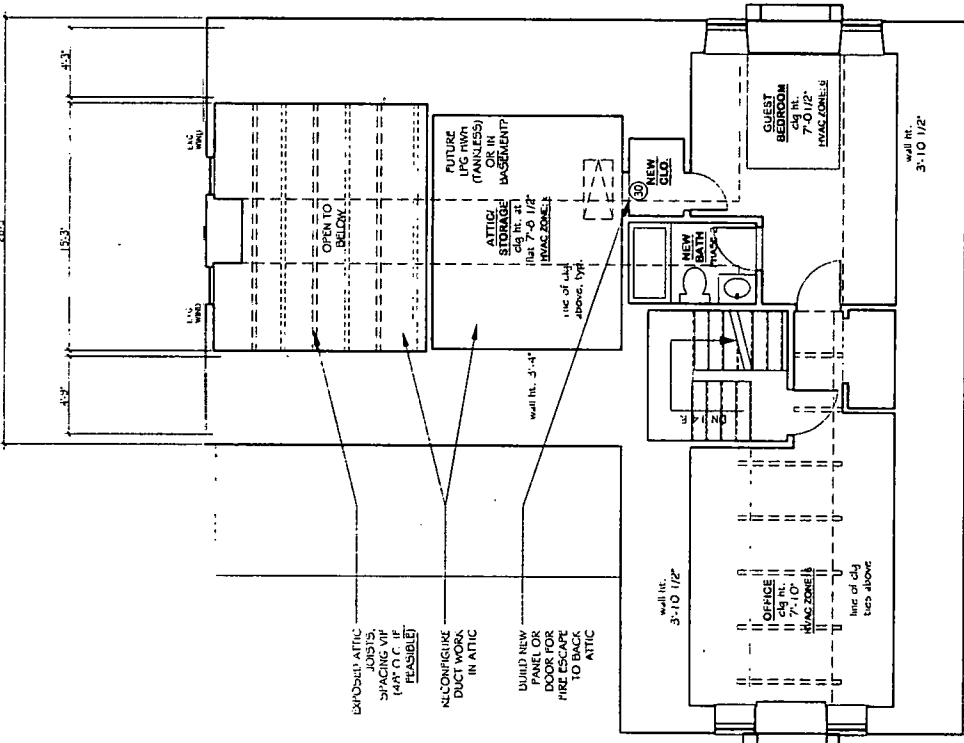
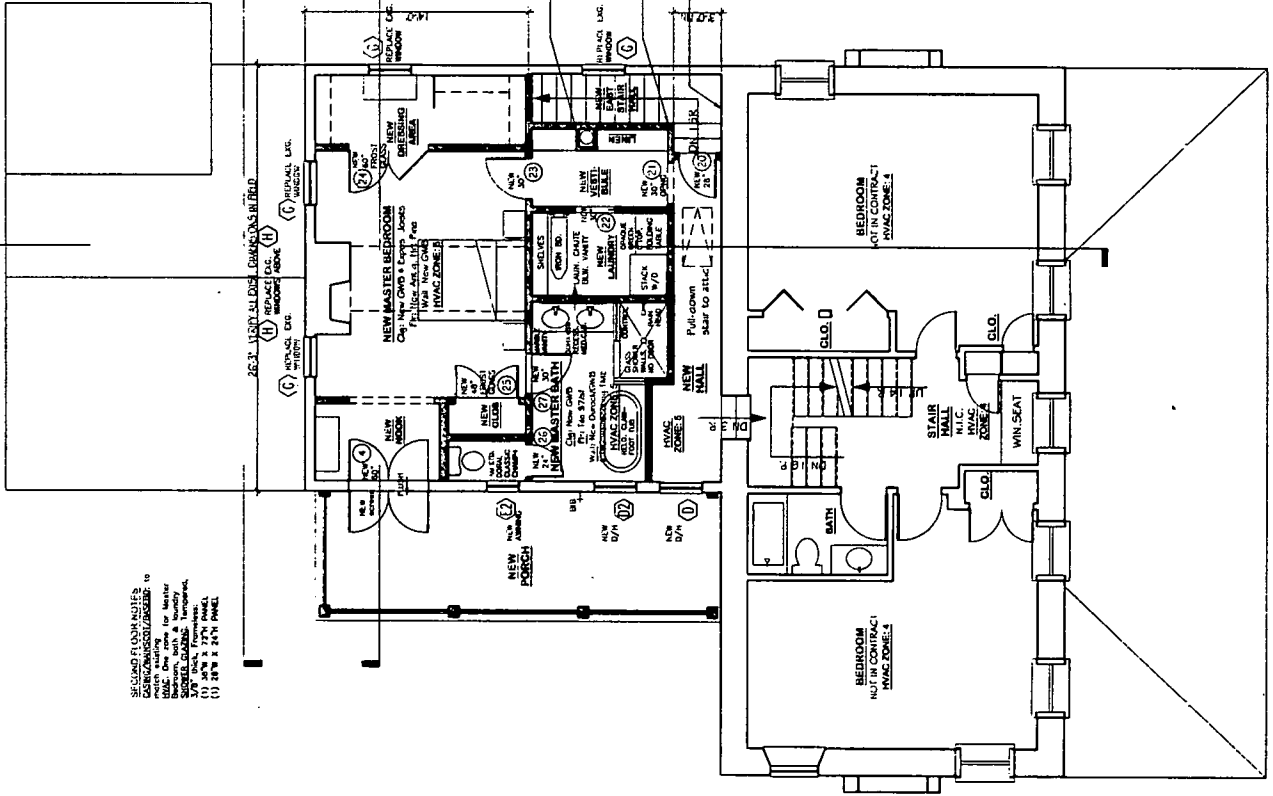
Proposed

ALL ELEVATIONS SHALL BE IN FEET AND INCHES UNLESS NOTED OTHERWISE.
 ALL INTERIOR FINISHES TO BE 1/2" GYP BOARD OR GYP BOARD OVER 5/8" OSB SHEATHING UNLESS NOTED OTHERWISE.
 ALL EXTERIOR FINISHES TO BE 1/2" GYP BOARD OVER 5/8" OSB SHEATHING UNLESS NOTED OTHERWISE.
 -VERIFY ALL EXISTING CONDITIONS IN FIELD.
 NOTES:
 (1) NEW MASONRY CONCRETE
 (2) NEW TIME WALLS

1 Proposed Second Floor Plan
 A.2 Scale: 3/16" = 1'-0"

2 Proposed Attic Floor Plan
 A.2 Scale: 3/16" = 1'-0"

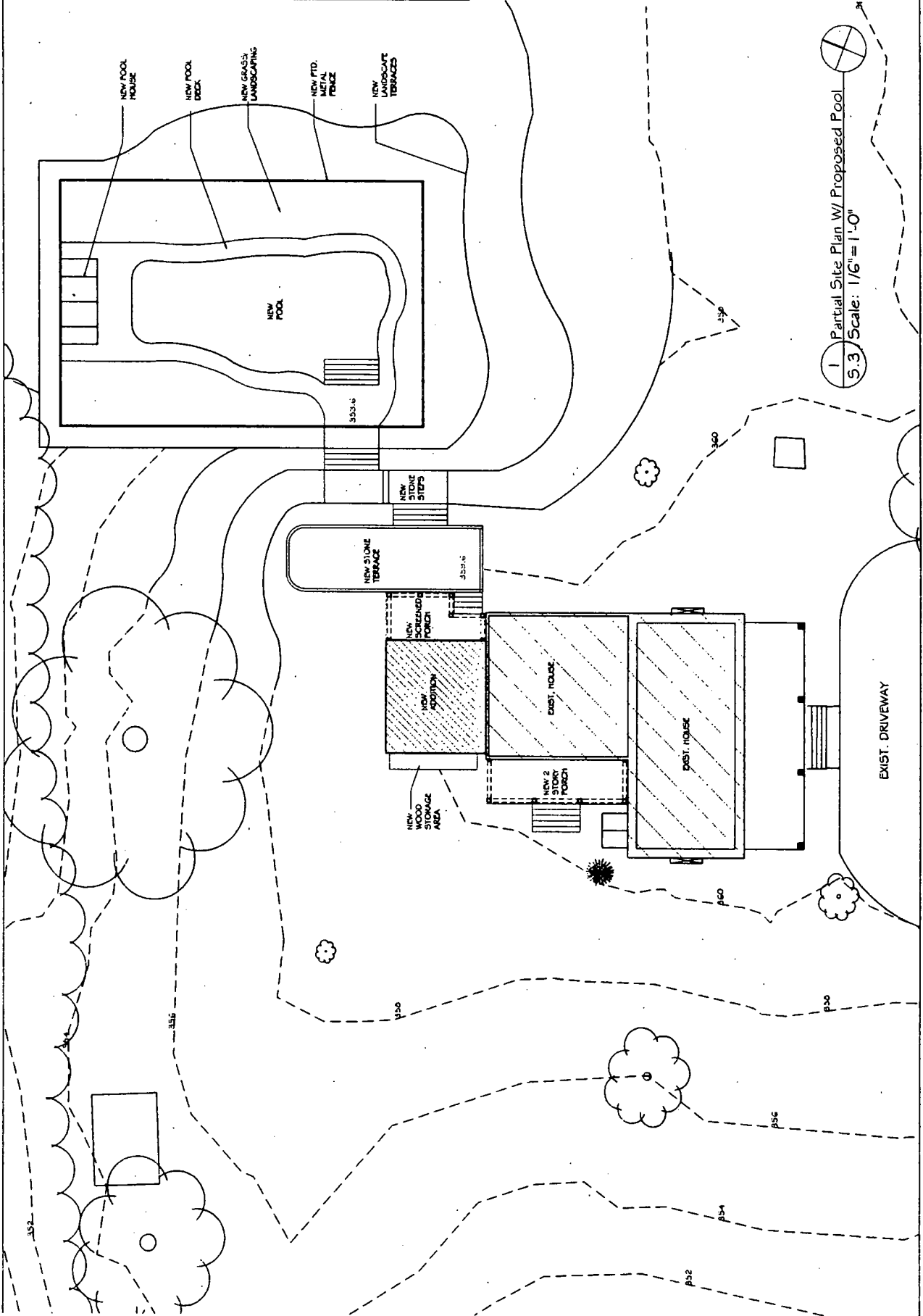
Proposed



MICHELLE BOOZ ARCHITECT 2021 Rock Hill St. Brooksville, MD 21033 Phone: 410-774-6911 Fax: 410-774-1088	A.2
	Project: RIVERTON-ELLER RESIDENCE 1201 Gold Mine Road Brooksville, MD Montgomery County
Overview: SECOND & ATTIC FLOOR PLANS	
Dates: REVISED ELEV. - 07/13/10	
Revisions:	

REVISIONS TO CONTRACT SETS:
 1. ALL INTERIOR FINISHES TO BE 1/2" GYP BOARD OR GYP BOARD OVER 5/8" OSB SHEATHING UNLESS NOTED OTHERWISE.
 2. ALL EXTERIOR FINISHES TO BE 1/2" GYP BOARD OVER 5/8" OSB SHEATHING UNLESS NOTED OTHERWISE.
 3. VERIFY ALL EXISTING CONDITIONS IN FIELD.
 4. NEW MASONRY CONCRETE
 5. NEW TIME WALLS

MICHE BOOZ ARCHITECT	220/Annapolis St Annapolis, MD 21403 (410) 774-0811 Fax: (410) 774-1888
	S.3
Project: RIVERTON - ELLER RESIDENCE	
1201 Gold Mine Road Brooksville, MD Montgomery County	
Drawings: PARTIAL SITE PLAN W/ PROPOSED POOL	Date: 12/28/07 HWP/Summation



1 Partial Site Plan w/ Proposed Pool
S.3 Scale: 1/8" = 1'-0"

HPC approved

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	1201 Gold Mine Road, Brookeville	Meeting Date:	12/19/2007
Resource:	Riverton - Master Plan Site #23/90	Report Date:	12/12/2007
Applicant:	Stephen and Jennifer Eller (Miche Booz, Architect)	Public Notice:	12/05/2007
Review:	HAWP	Tax Credit:	Partial
Case Number:	23/90-07A	Staff:	Anne Fothergill
PROPOSAL:	Rear addition, side porch, pool and fencing		

STAFF RECOMMENDATION

Staff recommends that the HPC approve this HAWP application.

BACKGROUND

The applicants came to the HPC for a Preliminary Consultation on September 26, 2007. At that meeting, the Commission supported the proposed plans and recommended that the applicants submit an application for a Historic Area Work Permit. The transcript is in Circles 28-36.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Designated Master Plan Site #23/90
STYLE: Vernacular Greek Revival
DATE: 1848

Excerpt from Places in the Past:

23/90 Riverton (1848) 1201 Gold Mine Road

Riverton provides important information about Montgomery County's pre-Civil War history and heritage. Joshua Peirce and his son, Edward Peirce, built Riverton in 1848. Prominent local Quaker farmers, the Peirce family came to Sandy Spring from Pennsylvania in the 1820s. The property is directly associated (through the destruction by fire of Joshua Peirce's barn in 1844) with the formation of the Mutual Fire Insurance Company of Montgomery County in 1848. The company was started by area farmers (many of whom were Quakers) as a way to support area farming. The concept of fire insurance for a rural area was a progressive development for its time and important in the development of the county.

Constructed in 1848, Riverton is a five-bay, center-passage house constructed of stone and covered with a pebble dash stucco finish. It is set upon a low stone foundation and is covered with a gable roof, clad with standing seam metal. A two-story rear service wing was constructed circa 1880 to replace an earlier log kitchen on the site. The Claysville Mill, a gristmill built c1880 and in use until c1930, was moved from the Laytonsville area to this site in 2000.

PROPOSAL

The applicants are proposing the following changes to the house and property:

- Remove non-historic mud room and shed at rear of house
- Remove one non-original second story window on left side elevation
- Remove asbestos siding from historic house and restore original wood siding if possible/install new wood siding if necessary
- Construct one-story rear addition the addition will have wood siding, wood trim, wood windows and door with true divided lights, stone foundation, standing seam metal roof, and a wood overhang for wood storage
- Construct screened porch off right side of the addition with steps to grade; porch will have wood columns, standing seam metal roof, stone piers with wood lattice, and wood stairs to new stone terrace at grade
- Construct a two-story porch on the left side of the rear-ell (based on previous porch) with inset picket wood railings, wood columns and trim, wood steps to grade; replace non-original windows with wood true divided light windows and doors
- Install a pool with flagstone decking at rear right side of house
- Install metal fencing around pool
- Construct 14' x 6' pool shed with wood siding and standing seam metal roof

No trees will be removed for this project. See existing and proposed plans in Circles 8-18 and photos of existing conditions in Circles 23-27.

APPLICABLE GUIDELINES

When reviewing alterations to a *Master Plan* site two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents are *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

Standard #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environments would be unimpaired.

STAFF DISCUSSION

This is an individually-designated *Master Plan* site and any proposed changes receive the highest level of scrutiny from staff and the Commission. The applicants have been good stewards of this house and have done some very thoughtful interior restoration and rehabilitation work. For this proposal they have worked with their architect to minimize any adverse impacts to the house and the surrounding property.

When the applicants came to the HPC for a preliminary review, the HPC supported the proposed plans and recommended that they submit an application. The one change what was recommended was that there should be no Hardie Plank on this house, and the applicants have responded to that as shown in this submission.

The proposed rear addition is small and compatible with the house. The proposed left side porch is based on anecdotal and physical evidence that there was originally a 2nd story porch in this location. The fenestration changes on the left side of the historic massing are allowable since they are not original windows/doors or original openings. The removal of the second story window in front of the chimney is allowable since there was no window in that location originally and the applicants will be returning that section to its original design. The applicants are proposing wood true divided light windows, wood doors, and wood siding which are appropriate for this resource. They will restore the wood siding under the asbestos siding if possible.

The applicants have strategically sited the pool behind the house where it will be lower and barely visible from the front. The pool, pool equipment shed, decking, and fencing have been designed to be unobtrusive and to create a naturalistic setting with grass and plantings and a small amount of decking. The applicants have not submitted detailed plans for the pool shed and they are aware that they will need to submit their plans to staff for stamping before applying for building permits.

The proposed changes meet the *Standards for Rehabilitation*, were supported by the Commission, and staff recommends approval of the application.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation*,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



RECEIVED MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION 10/31/07

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Miche Booz
Daytime Phone No.: 301.774.6911

Tax Account No.: 08-01709022
Name of Property Owner: Stephen + Jennifer Eller Daytime Phone No.: 301.774.6468
Address: 1201 Gold Mine Rd. Brookeville, MD 20833
Contractor: Phone No.:
Contractor Registration No.:
Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 1201 Street: Gold Mine Road
Town/City: Brookeville Nearest Cross Street: New Hampshire Ave.
Lot: Block: Subdivision: 501
Liber: 20601 Folio: 344 Parcel: P784

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct [X] Extend [] Alter/Renovate [X] Wreck/Raze [X]
Move [] Install [] Revision [] Repair [] Revocable []
CHECK ALL APPLICABLE:
A/C [] Slab [] Room Addition [X] Porch [X] Deck [] Shed []
Solar [] Fireplace [] Woodburning Stove [] Single Family []
Fence/Wall (complete Section 4) [] Other: pool [X]

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [] WSSC 02 [X] Septic 03 [] Other:
2B. Type of water supply: 01 [] WSSC 02 [X] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 10.30.07

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 469779 Date Filed: 10/31/07 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

ATTACHED

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ATTACHED.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS - ALREADY SUBMITTED**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

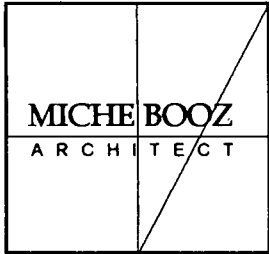
6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



PROJECT: RIVERTON RENOVATION & ADDITION
OWNER: STEPHEN & JENNIFER ELLER
1201 GOLD MINE ROAD
BROOKEVILLE, MD

APPLICANT: MICHE BOOZ, ARCHITECT
DATE: August 21, 2007

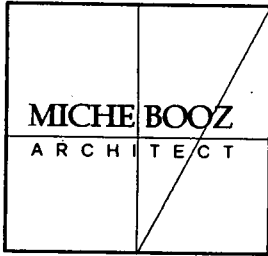
ADJACENT PROPERTIES MAILING ADDRESSES:

HONAKER, DOROTHY J & CHARLIE E
1112 GOLD MINE RD
BROOKEVILLE MD 20833-2218

EATON, LINDA M
1111 GOLD MINE RD
BROOKEVILLE MD 20833-2221

SCHAUFFLER, WILLIAM B & JENNIFER W R SCHAUFFLER
1121 GOLD MINE RD
BROOKEVILLE MD 20833-2221

(HAWLINGS HILLS PARK)
MONTGOMERY COUNTY
GOLD MINE ROAD
BROOKEVILLE, MD
PARCEL N840
L. 5959 F. 445



PROJECT: RIVERTON RENOVATION & ADDITION
OWNER: STEPHEN & JENNIFER ELLER
1201 GOLD MINE ROAD
BROOKEVILLE, MD

APPLICANT: MICHE BOOZ, ARCHITECT
DATE: October 26, 2007

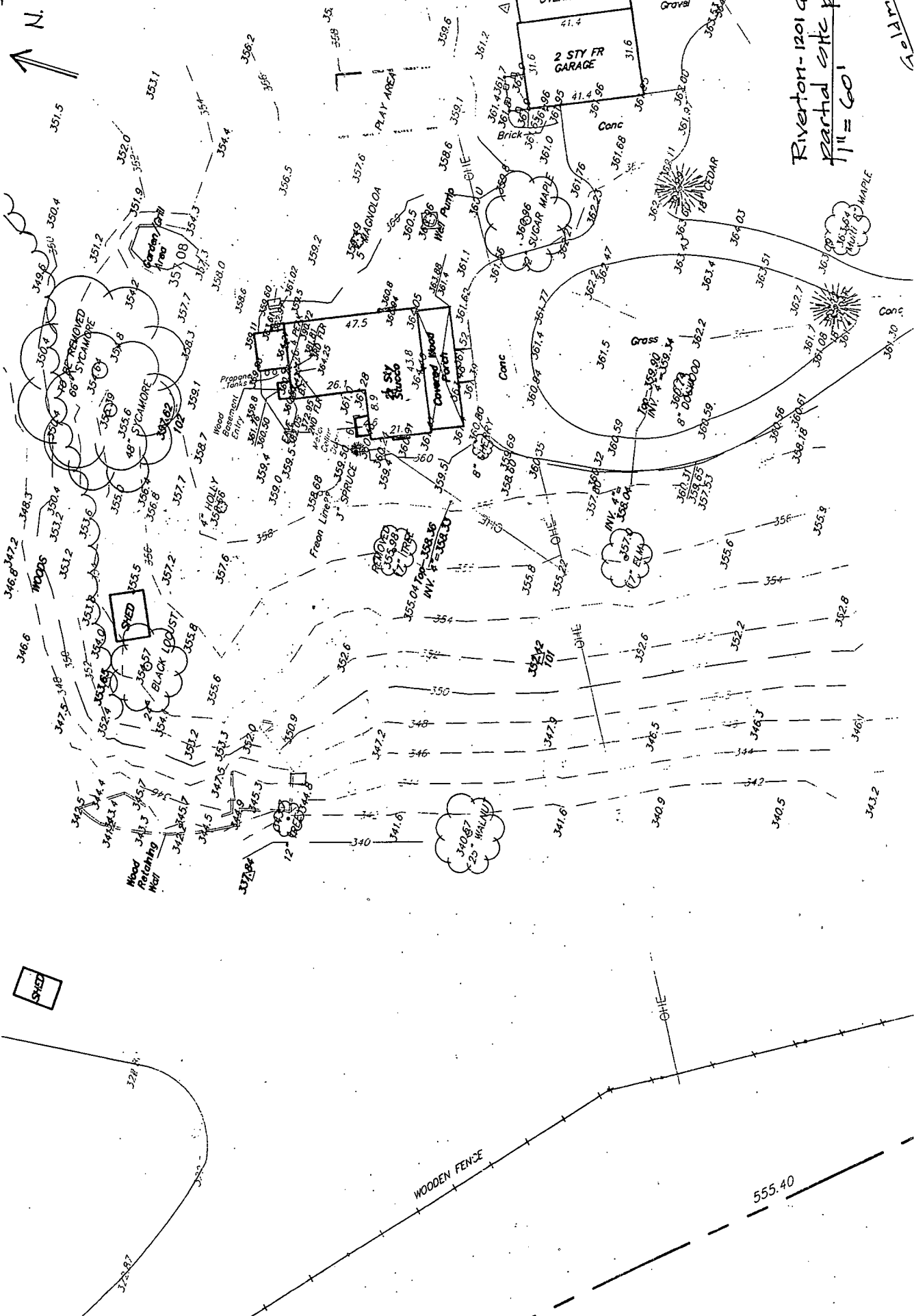
NARRATIVE

"Edward Pierce built Riverton before building Fairfield, probably just before sailing off in the 1849 California gold rush. His parents Joshua and Hannah had lived in a log cabin on the site in "this land of hills" since 1822. Here their barn burned in 1841, leading to formation of the Mutual Insurance Company... In 1860 Riverton was purchased by the Janney's, who lived there for nearly three-quarters of a century. It passed then to the Leishears and in 1955 to Mary and Roger Brooke Farquhar III. Today it is owned by Tim and Sally Eller."

(Source: Sandy Spring Legacy, by Thomas Y. Canby and Elie S. Rogers, p.167, Copyright 1999, Sandy Spring Museum)

The new work submitted for the Historic Area Work Permit includes demolition of a dilapidated shed to the rear and a non-historic window on the 2nd floor west elevation; construction of a 1-story gabled addition; construction of a two-story porch on the west side of the rear ell (based on a previous porch); interior renovation/remodeling, and landscape improvements including a pool and associated hardscape.

MICHE BOOZ ARCHITECTS 200 North S Washington Blvd Arlington, VA (703) 774-8811 Fax: 774-180	Project:	RIVERTON - ELLER RESIDENCE
	1201 Gold Mine Road Brookville, MD Montgomery County	Drawings: PARTIAL EXIST. SITE PLAN
Date: 10/08/07 HWFP Submission		



Riverton-1201 Goldmine Rd.
Partial Site Plan
1" = 60'

MICHE BOOZ
ARCHITECT

200 Walnut St
Brookville, MD 21033
301/774-8811
Fax: 301/774-1908

S.3

Project:

RIVERTON -
ELLER
RESIDENCE

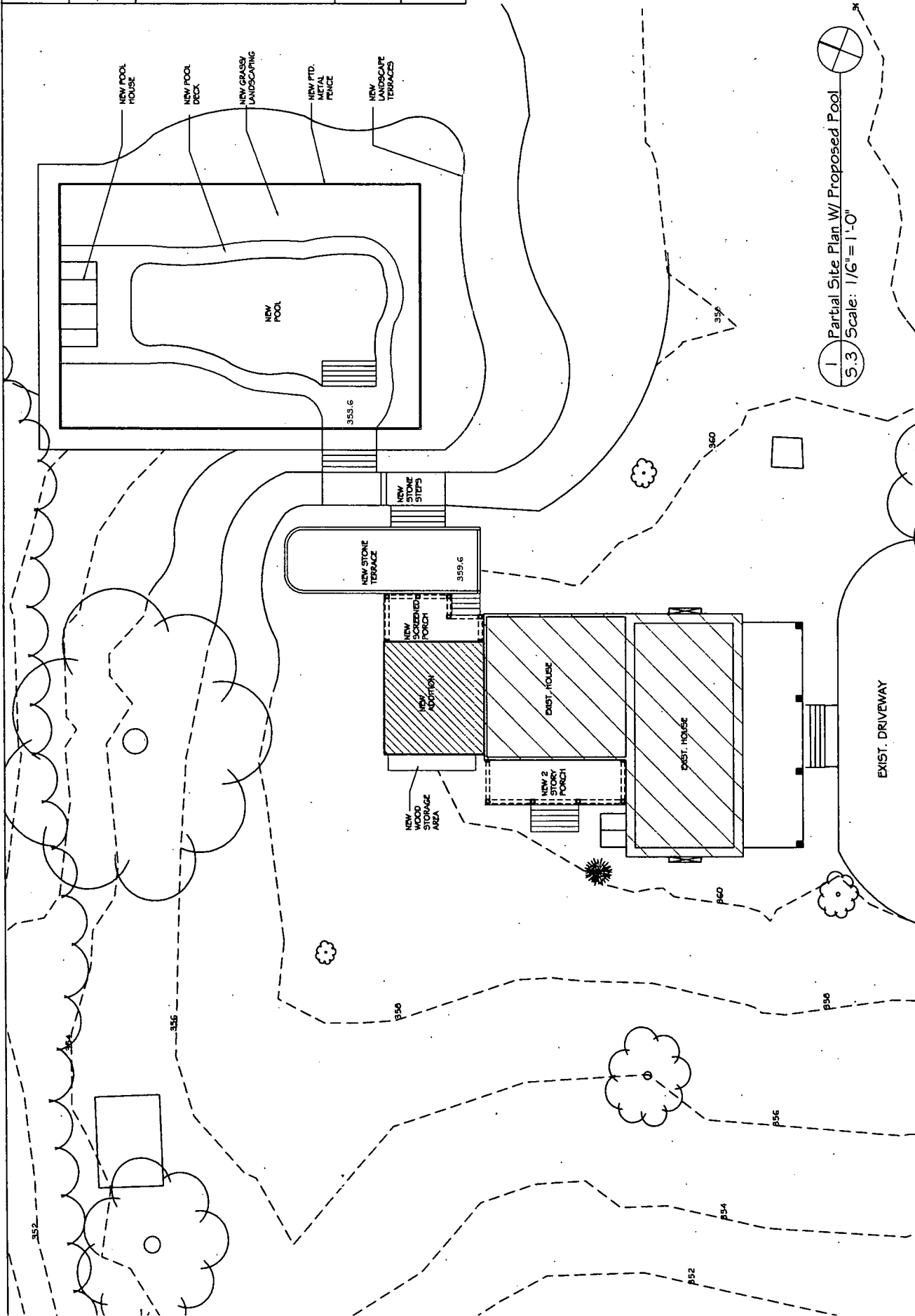
1201 Gold Mine Road
Brookville, MD
Montgomery County

Drawing:

PARTIAL SITE PLAN
W/ PROPOSED POOL

Date:

10/26/07
MWP Submission

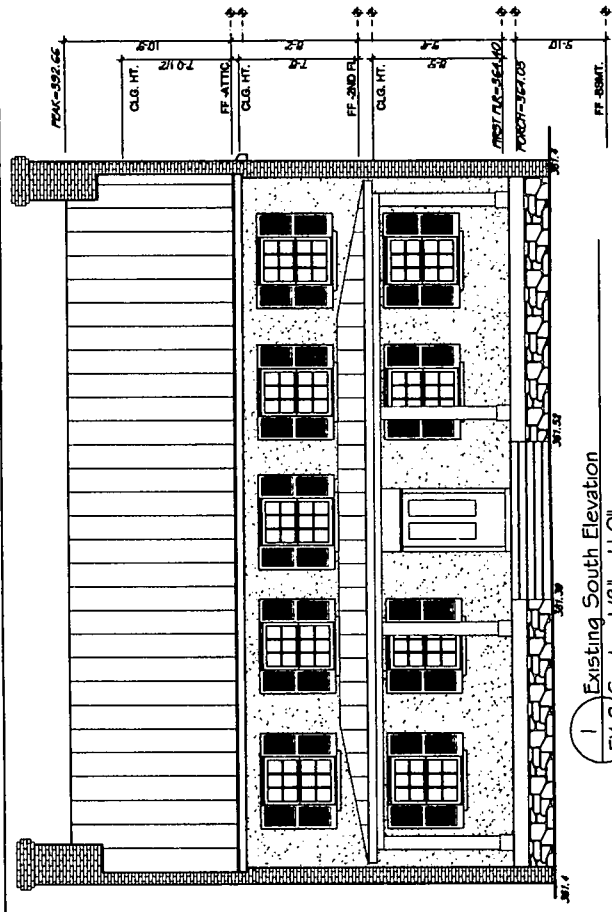


1 Partial Site Plan W/ Proposed Pool
S.3 Scale: 1/8" = 1'-0"

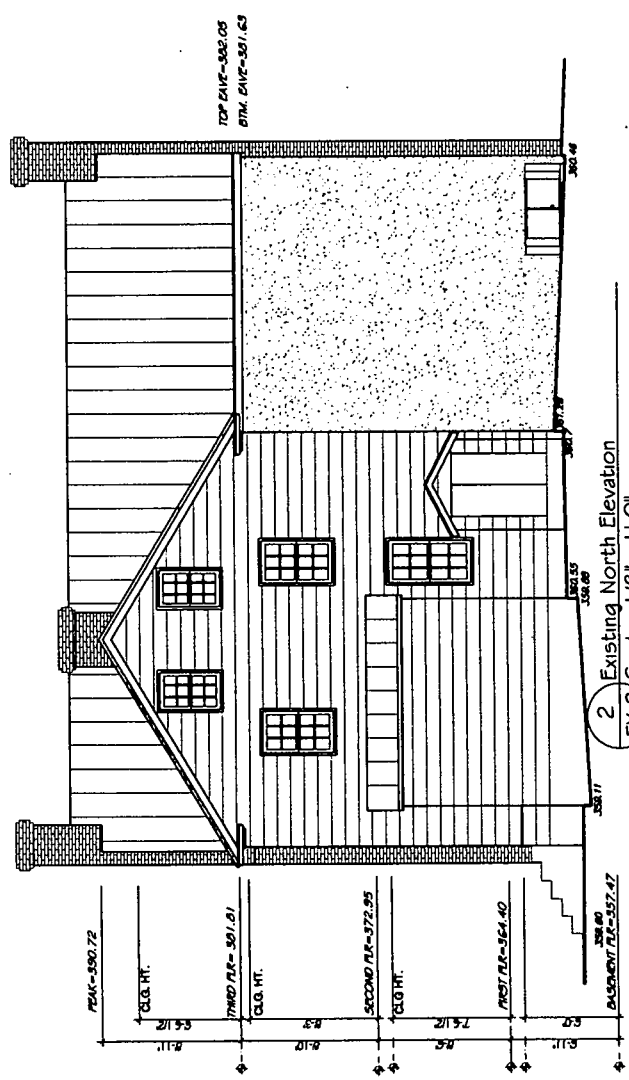
Project:
**RIVERTON –
 ELLER
 RESIDENCE**
 1201 Gold Mine Road
 Brookville, MD
 Montgomery County

Drawing:
 EXISTING
 ELEVATIONS

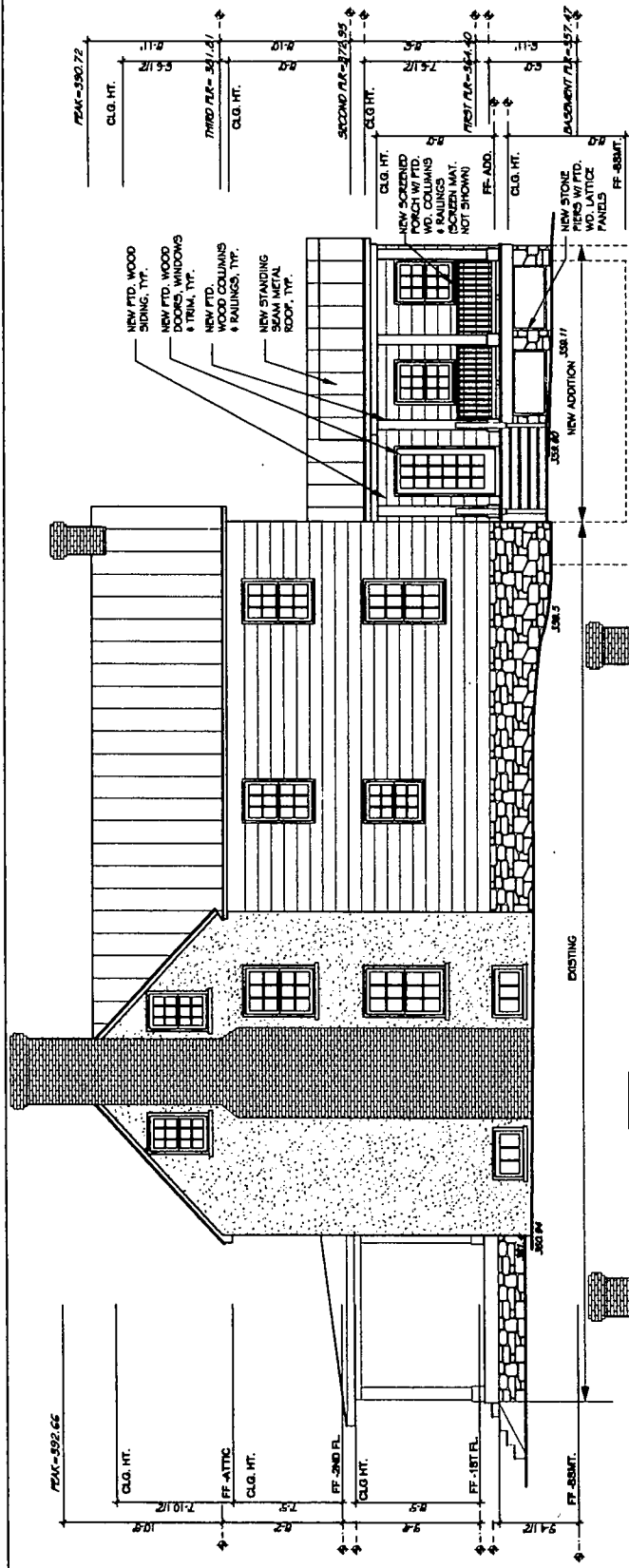
Date:
 10/26/07
 HWP Submission



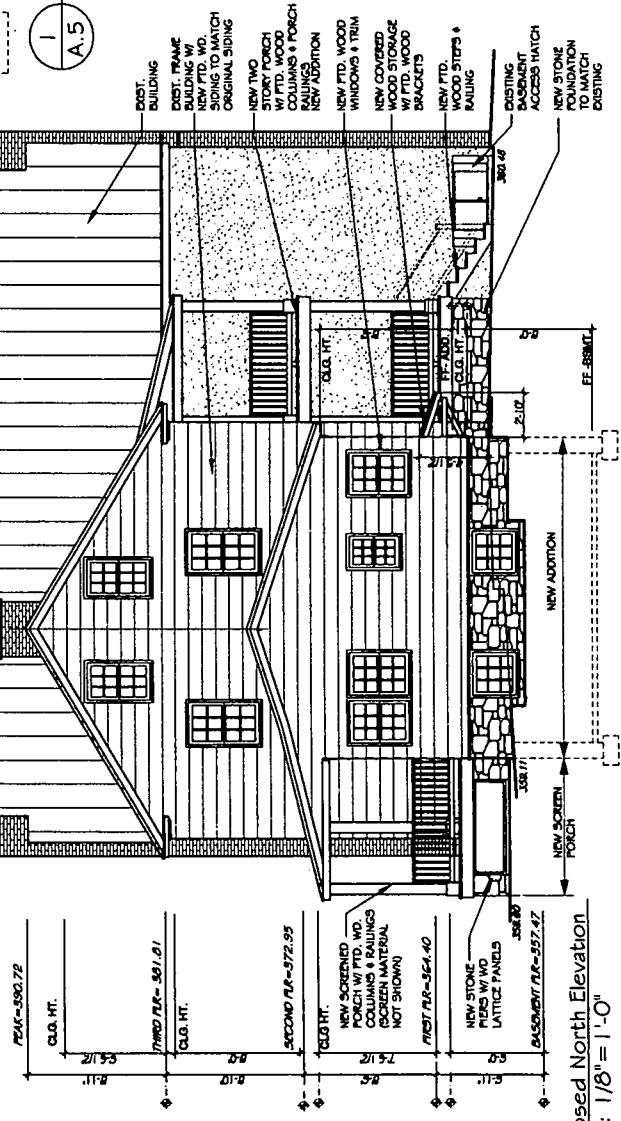
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2 Existing North Elevation
 EX.3 Scale: 1/8" = 1'-0"



1 Proposed East Elevation
A.5 Scale: 1/8" = 1'-0"

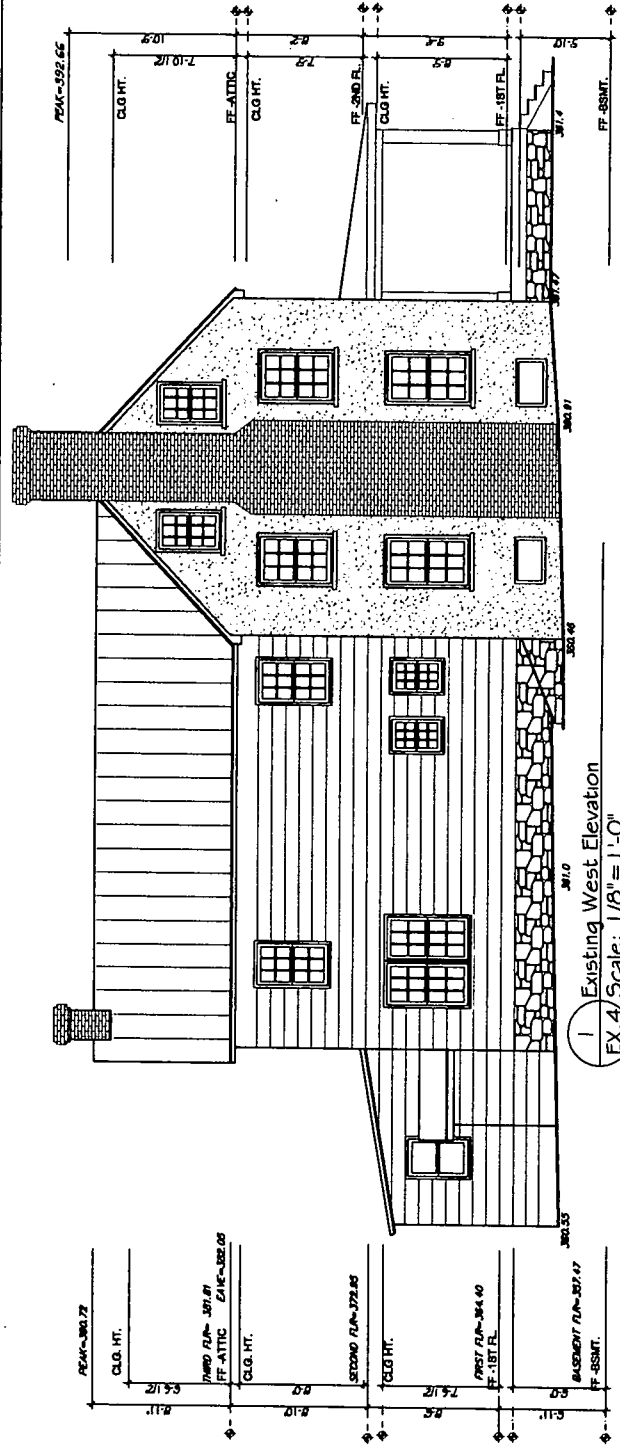


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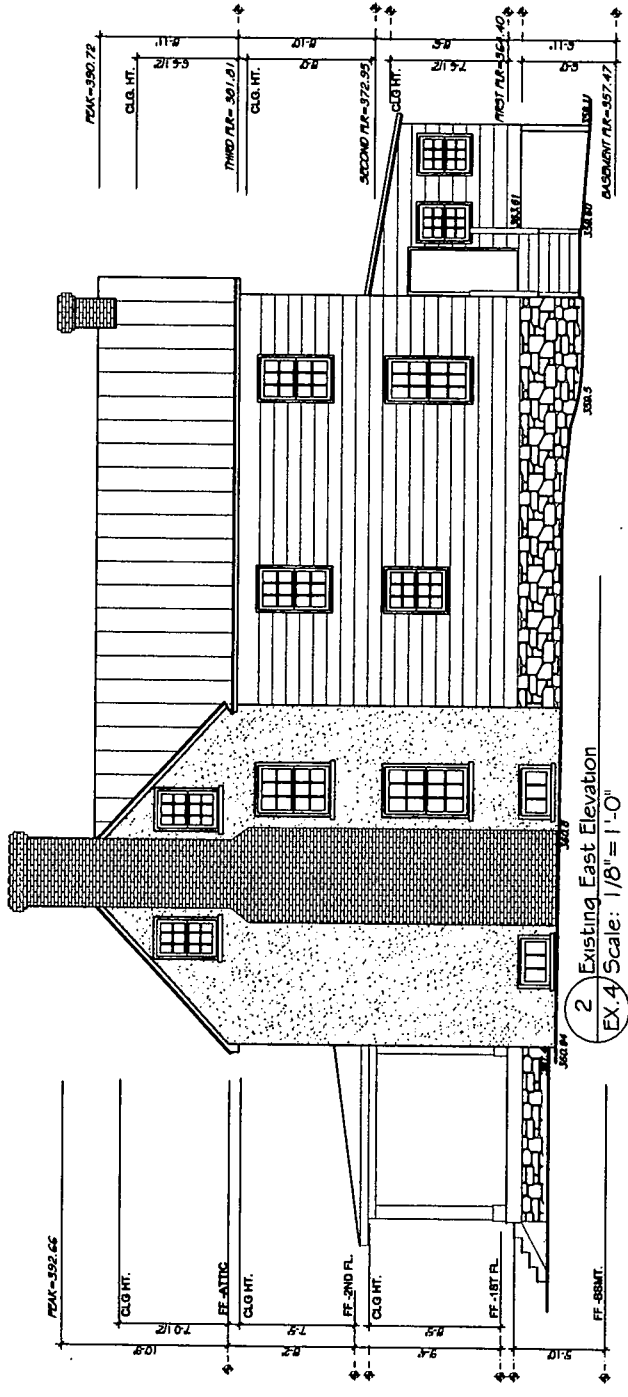


MICHE BOOZ
 ARCHITECT
EX.4

Project:
**RIVERTON -
 ELLER
 RESIDENCE**
 1201 Gold Mine Road
 Brookeville, MD
 Montgomery County
 Develop EXISTING
 ELEVATIONS
 Date:
 10/26/07
 H/W/P Submission



1 Existing West Elevation
 EX.4 Scale: 1/8" = 1'-0"



2 Existing East Elevation
 EX.4 Scale: 1/8" = 1'-0"

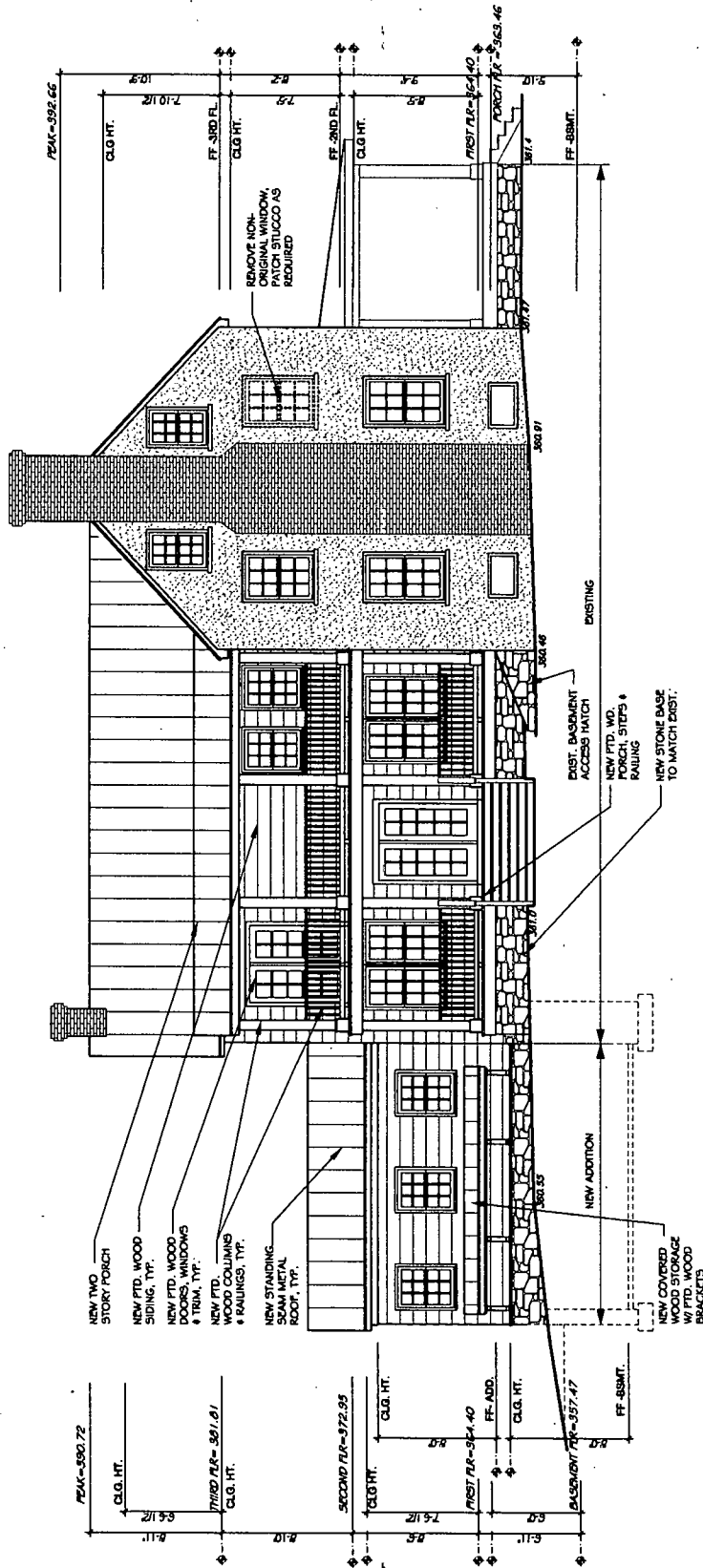
MICHEL BOOZ
 ARCHITECT
 200/Arden St
 Baltimore, MD 21201
 (410) 774-8911
 Fax: 774-1908

A.4

Project:
**RIVERTON-
 ELLER
 RESIDENCE**
 1201 Gold Mine Road
 Brookville, MD
 Montgomery County

Drawings:
 ELEVATIONS

Date:
 10/28/07
 HWP Submission

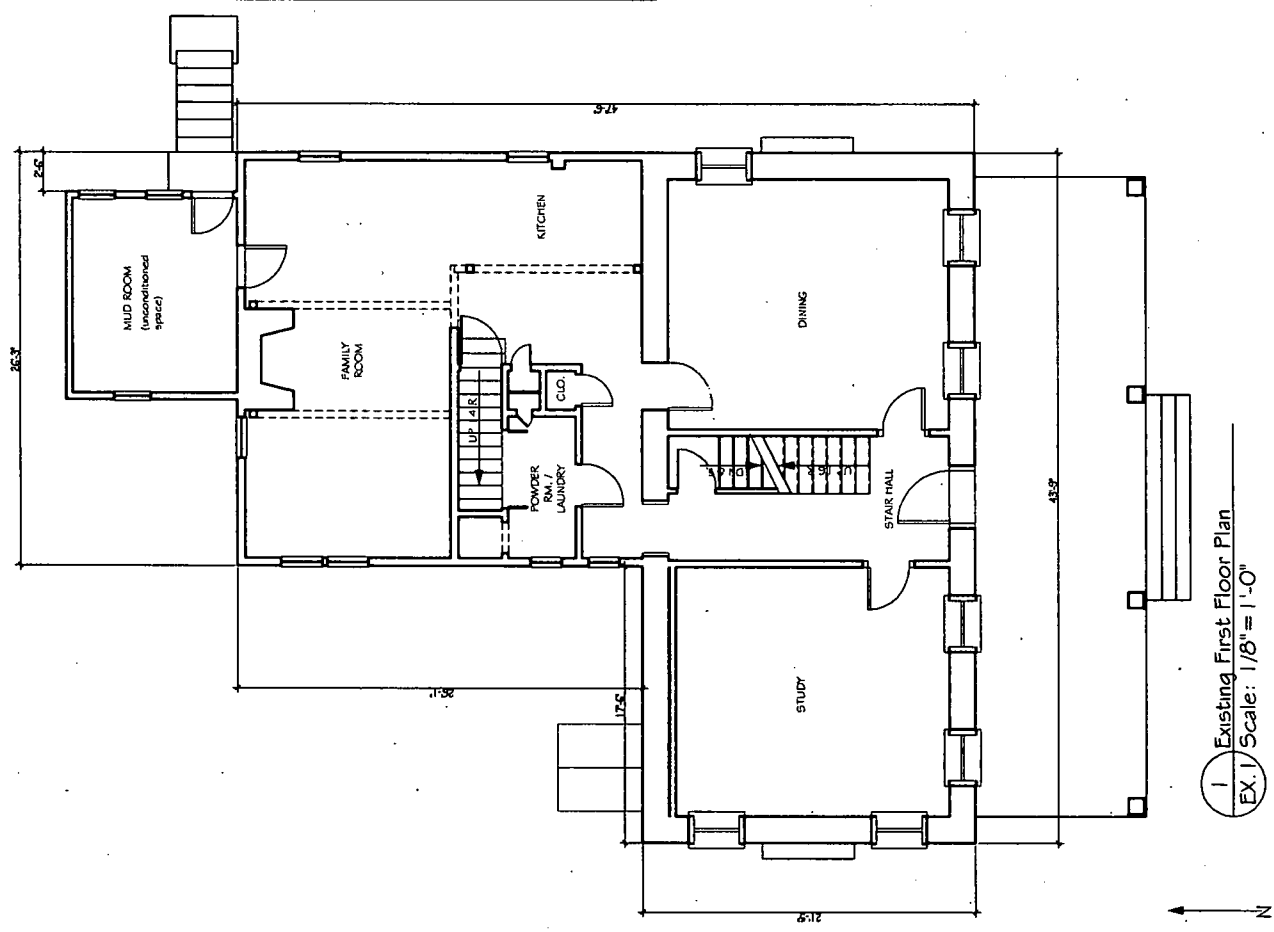


1 Proposed West Elevation
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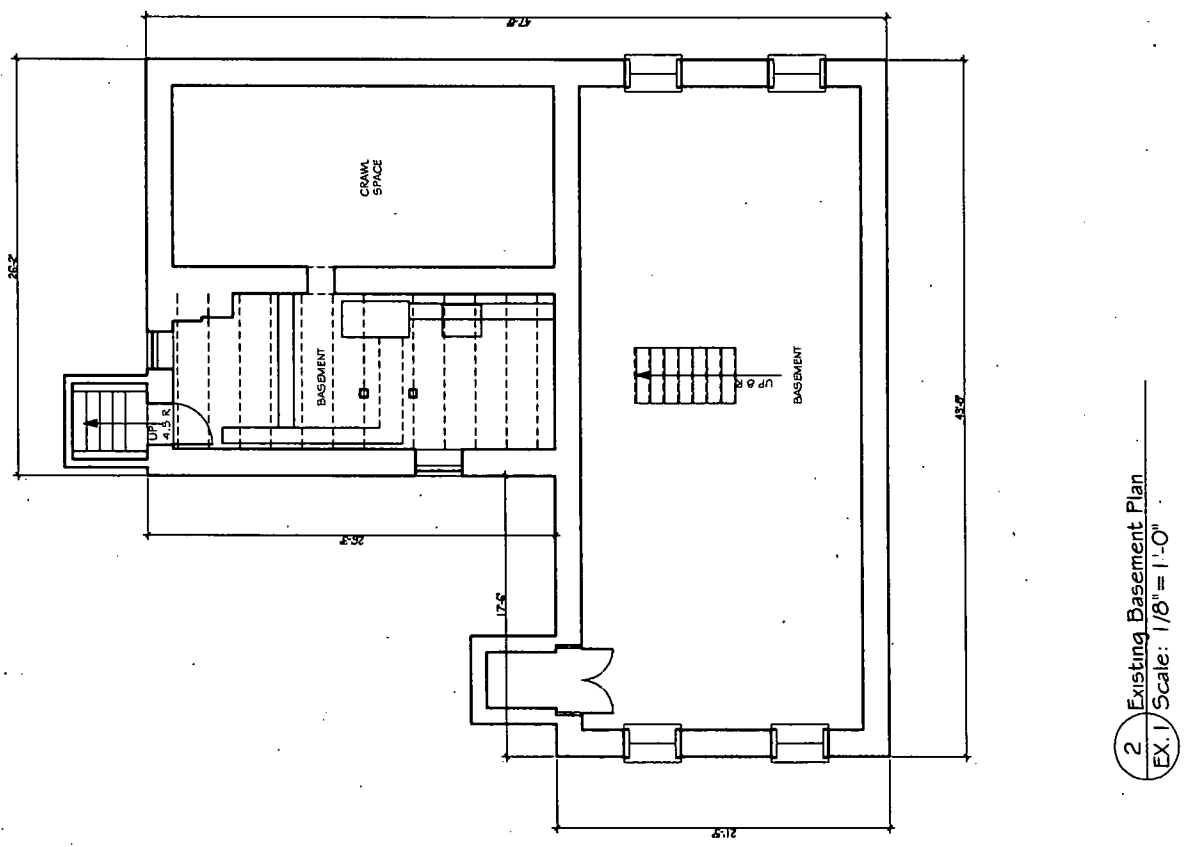
Project:
**RIVERTON-
 ELLER
 RESIDENCE**
 1201 Cold Mine Road
 Brooksville, MD
 Montgomery County

Developer:
 EXISTING
 BASEMENT &
 FIRST FLOOR
 PLANS

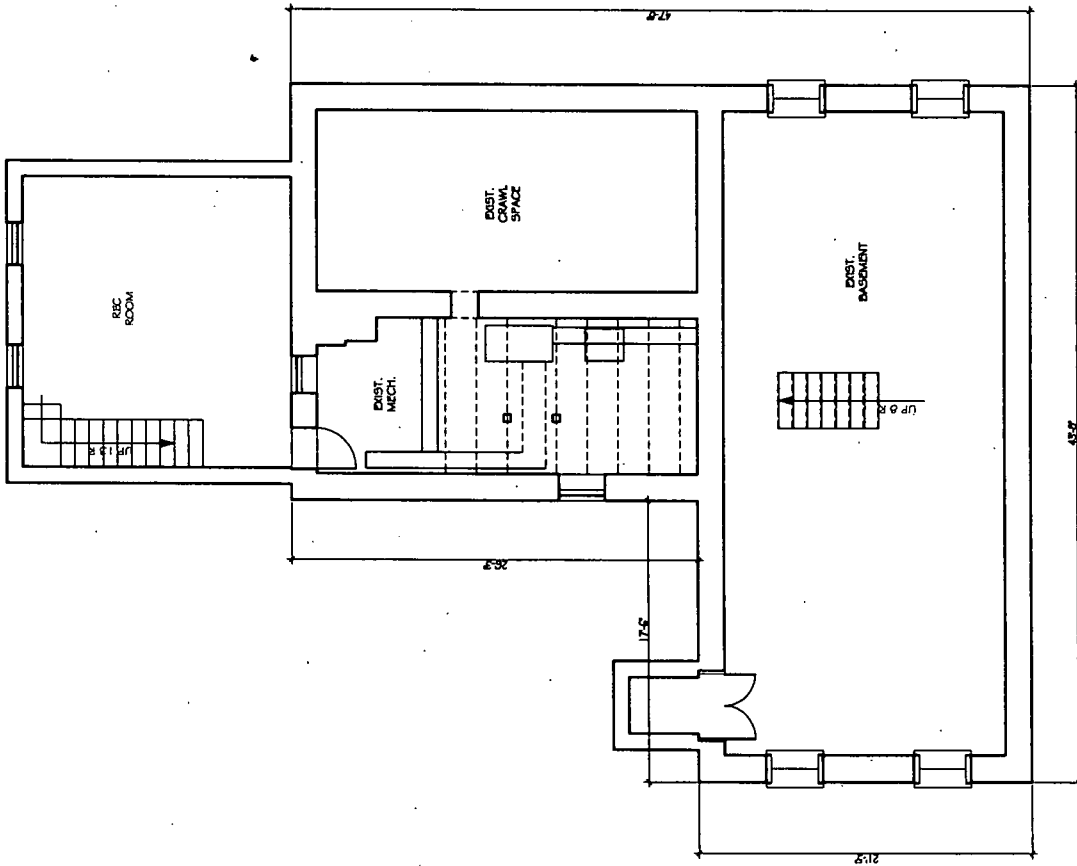
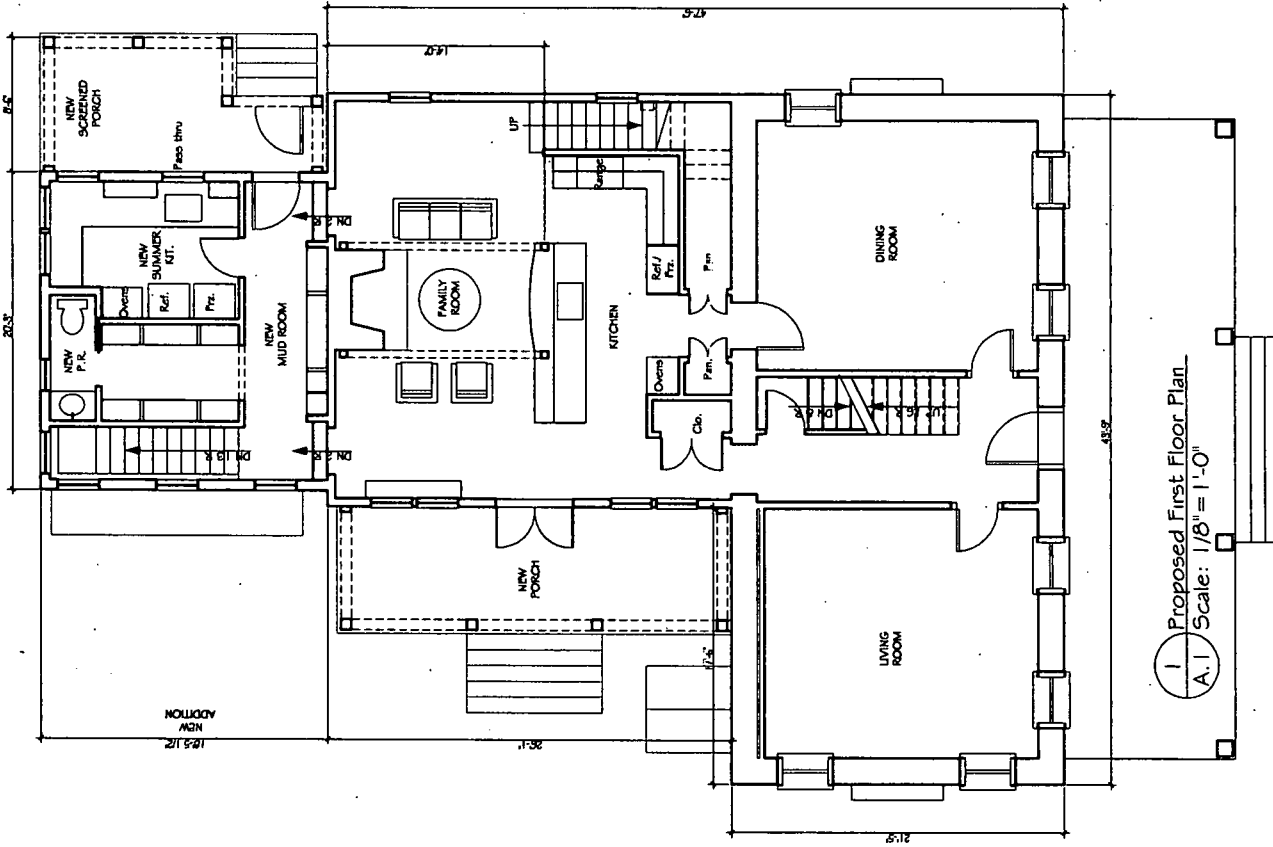
Date:
 10/26/07
 HWF Schuchman



1 Existing First Floor Plan
 EX.1 Scale: 1/8" = 1'-0"



2 Existing Basement Plan
 EX.1 Scale: 1/8" = 1'-0"

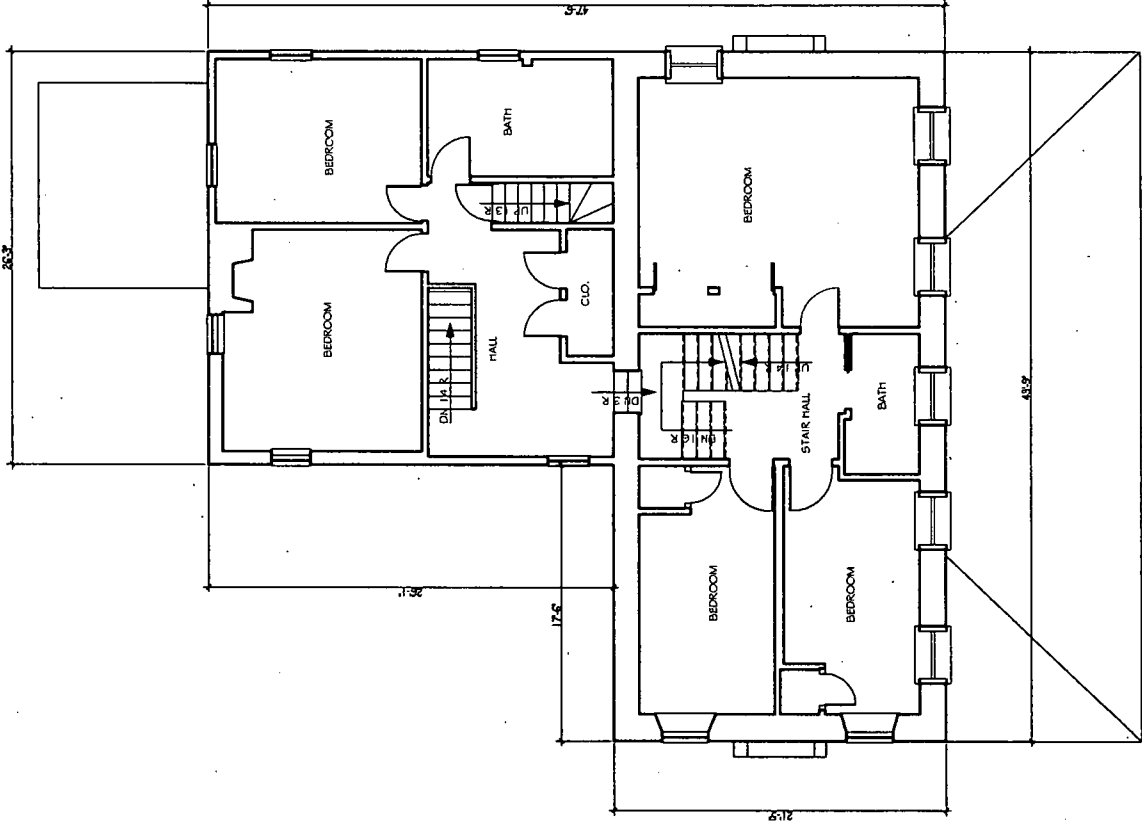


MICHE BOOZ
 ARCHITECT
EX.2

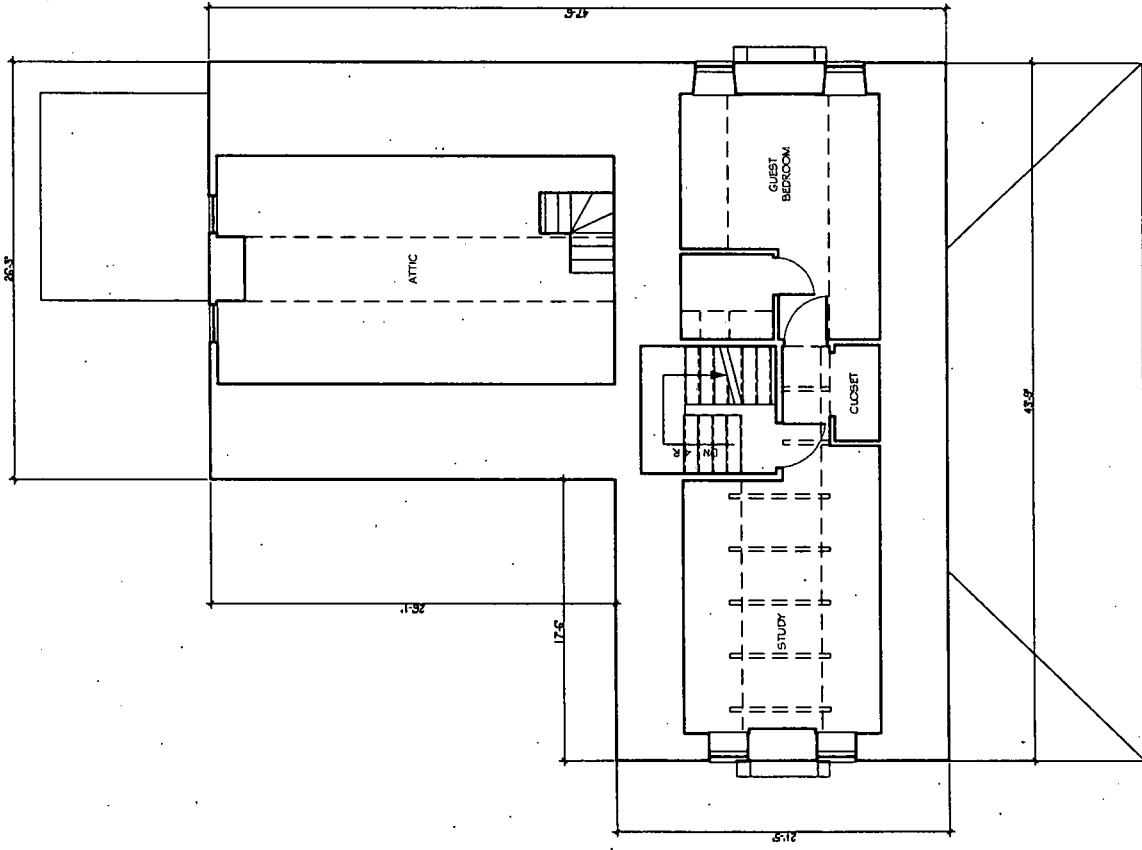
Project:
**RIVERTON -
 ELLER
 RESIDENCE**
 1201 Gold Mine Road
 Brookeville, MD
 Montgomery County

Drawing:
 EXISTING SECOND
 FLOOR & ROOF
 PLANS

Date:
 10/26/07
 HWB/abm



1 Existing Second Floor Plan
 EX.2 Scale: 1/8" = 1'-0"



2 Existing Attic Plan
 EX.2 Scale: 1/8" = 1'-0"

MICHE BOOZ
ARCHITECT
A.2

300/Arden St
Baltimore, MD 21201
Tel: 771 8631
Fax: 771 1808

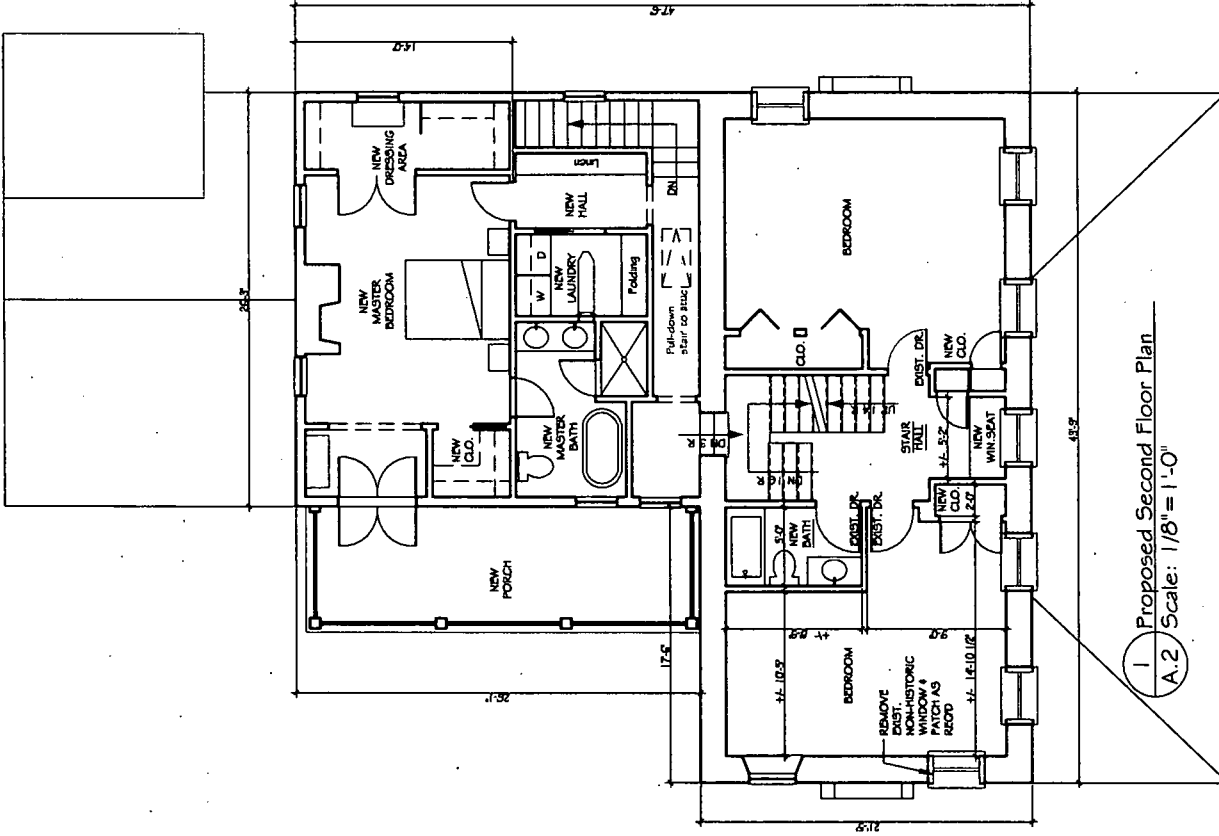
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**RIVERTON-
ELLER
RESIDENCE**

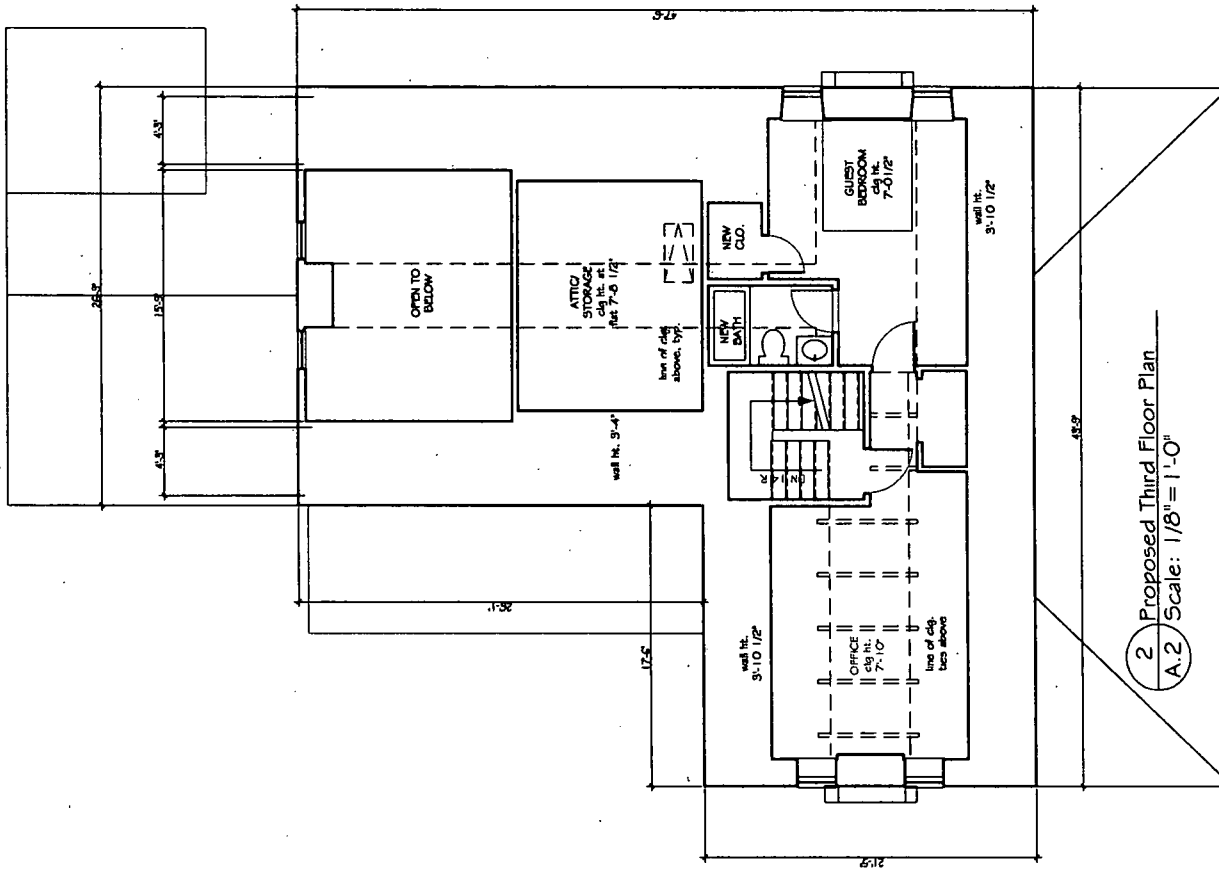
1201 Cold Mine Road
Brookerville, MD
Montgomery County

Drawings:
SECOND & THIRD
FLOOR PLANS

Date:
1/28/07
HWB Submission



1 Proposed Second Floor Plan
A.2 Scale: 1/8" = 1'-0"



2 Proposed Third Floor Plan
A.2 Scale: 1/8" = 1'-0"

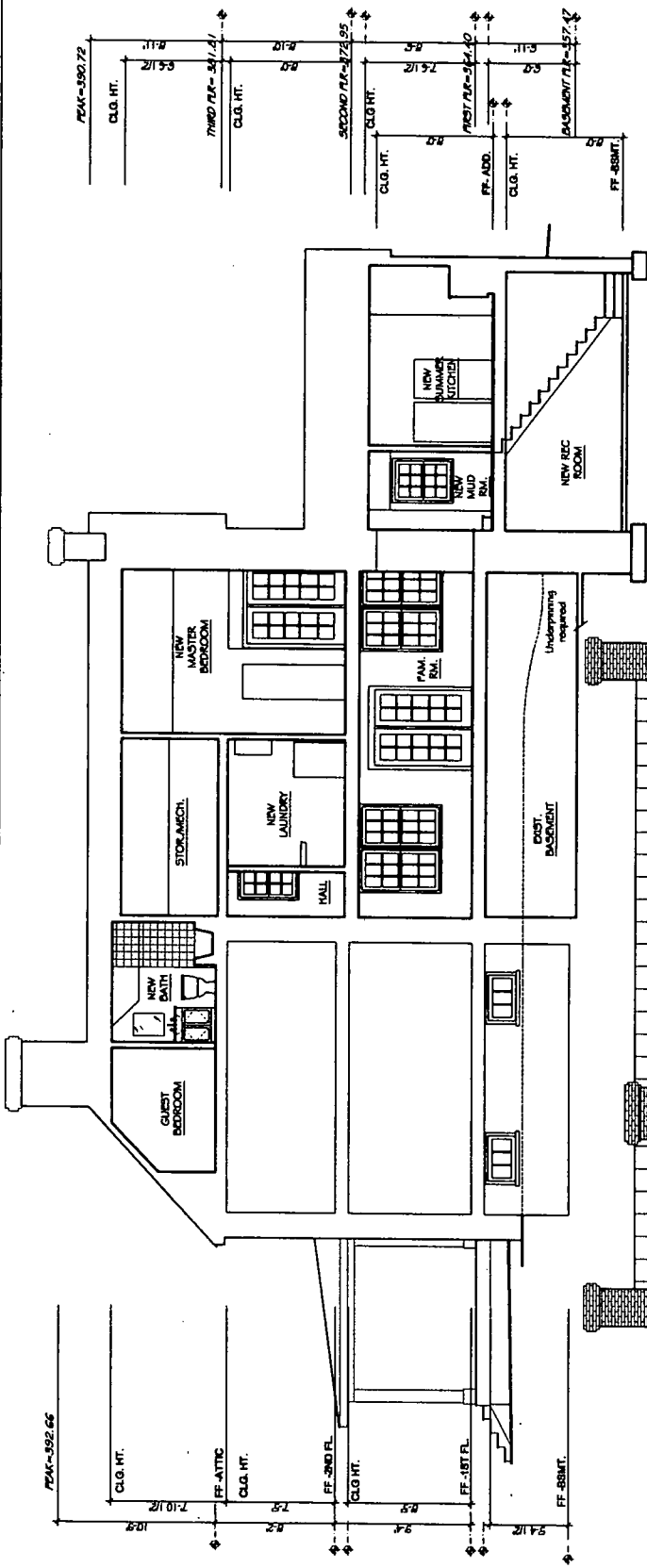
MICHEL BOOZ
 ARCHITECT
 228/2nd St
 Bryansville, TN 37615
 Phone: 615/774-1931
 Fax: 615/774-1930

A.3

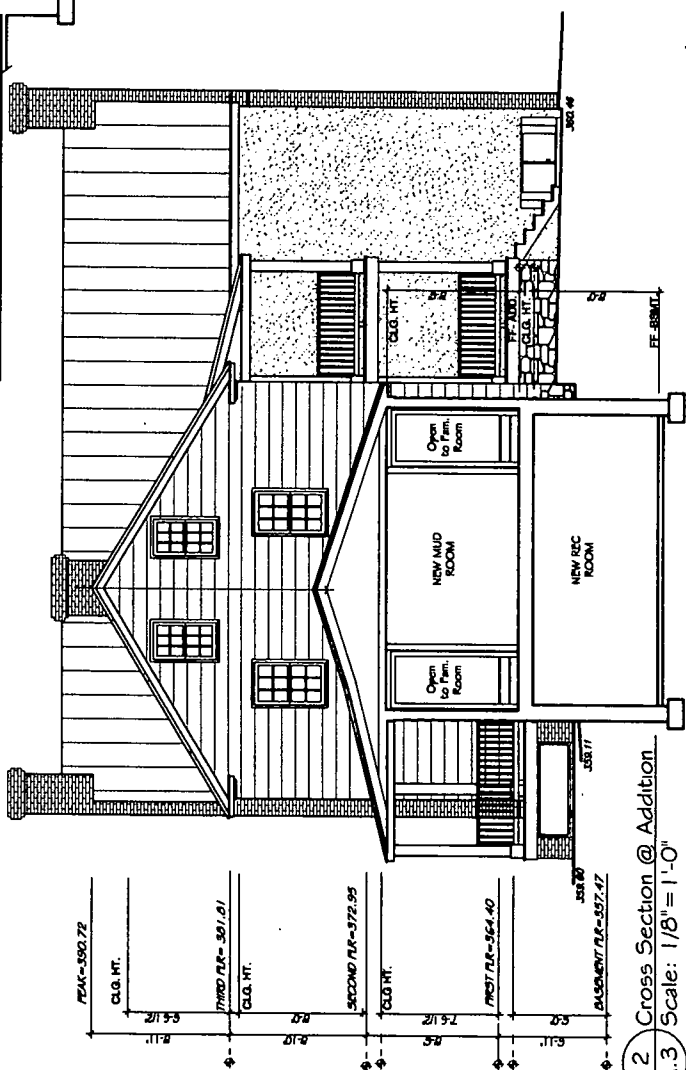
Project:
**RIVERTON-
 ELLER
 RESIDENCE**
 1201 Gold Mine Road
 Brookville, MD
 Montgomery County

Drawings:
 SECTIONS

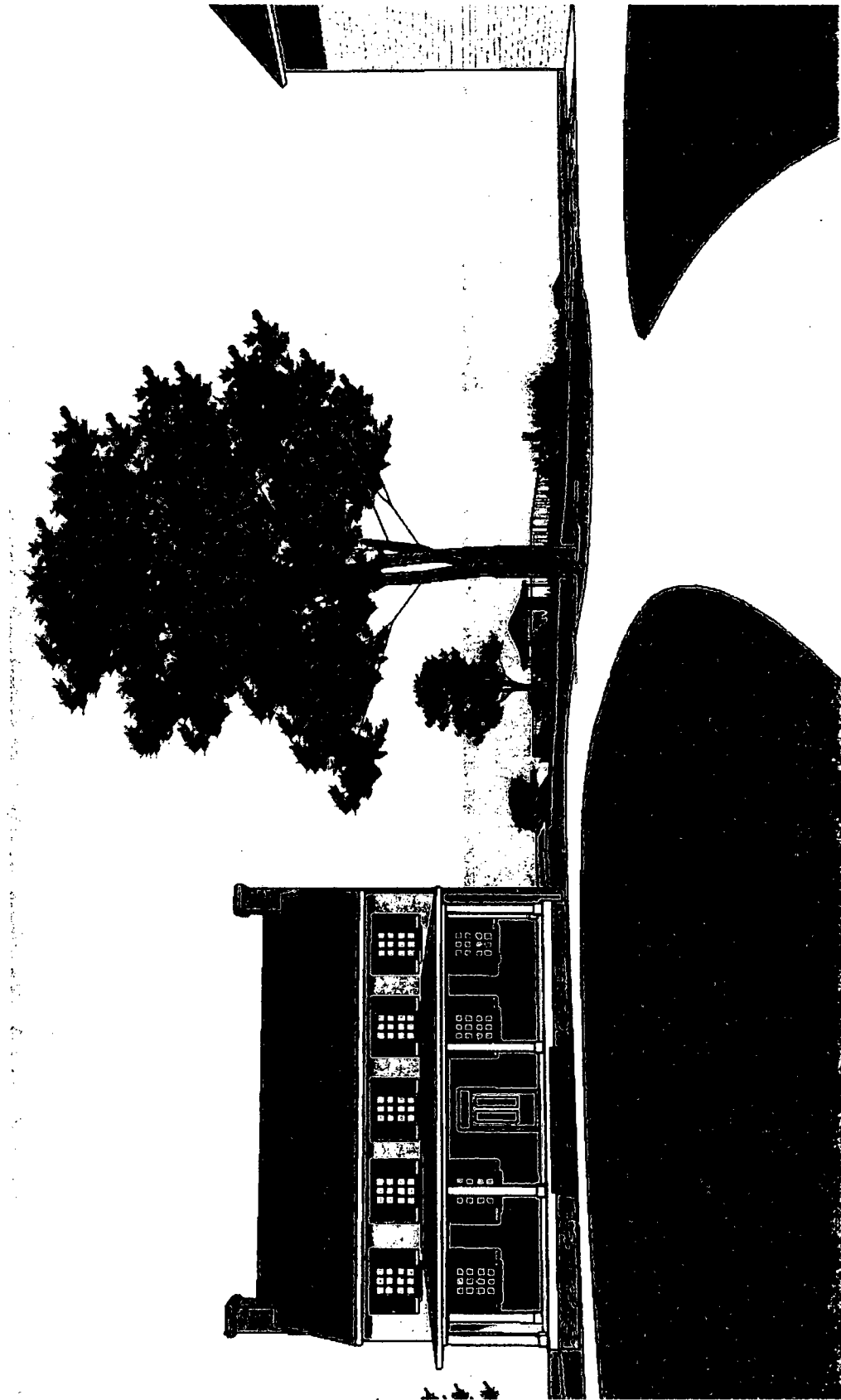
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 NHP Submission

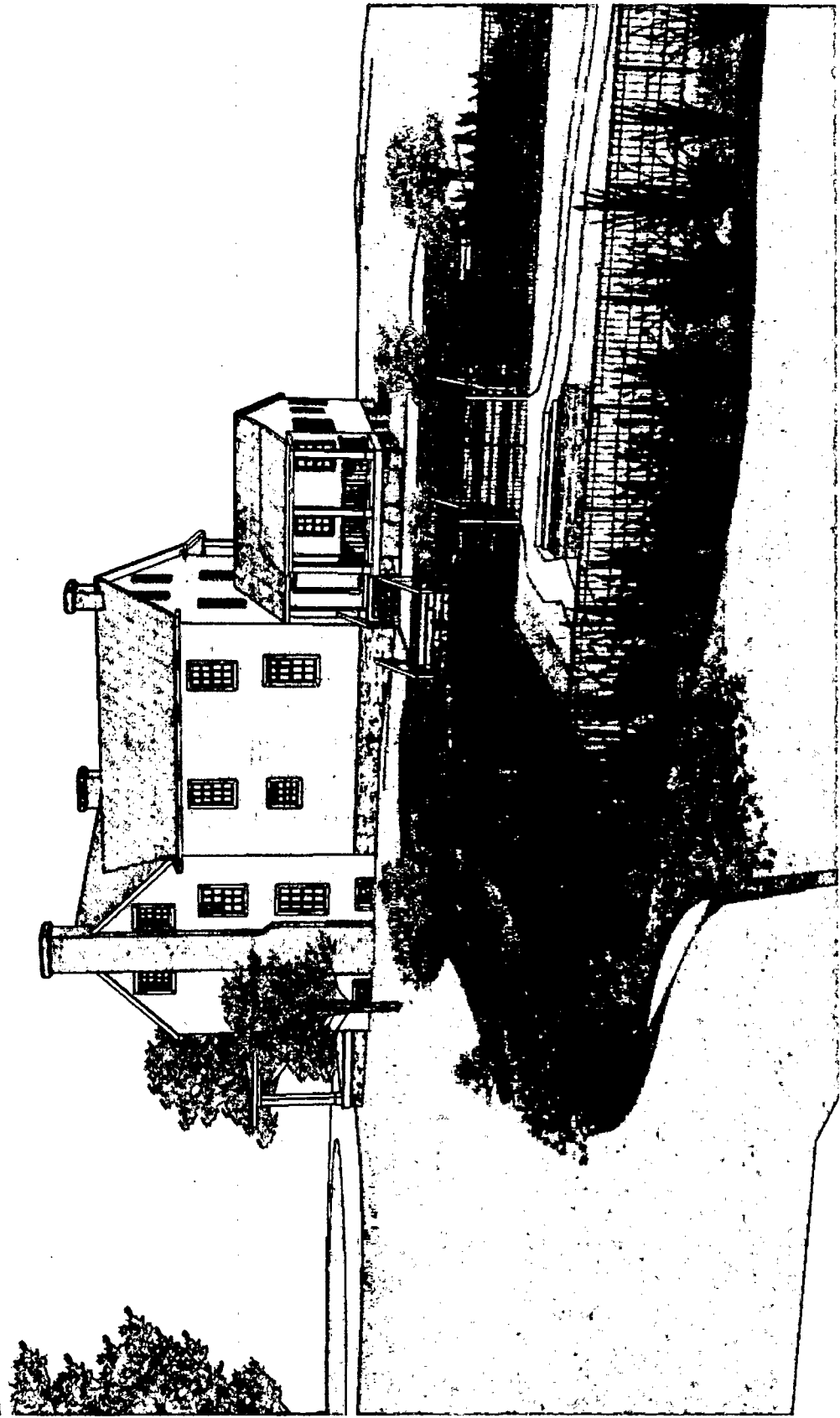


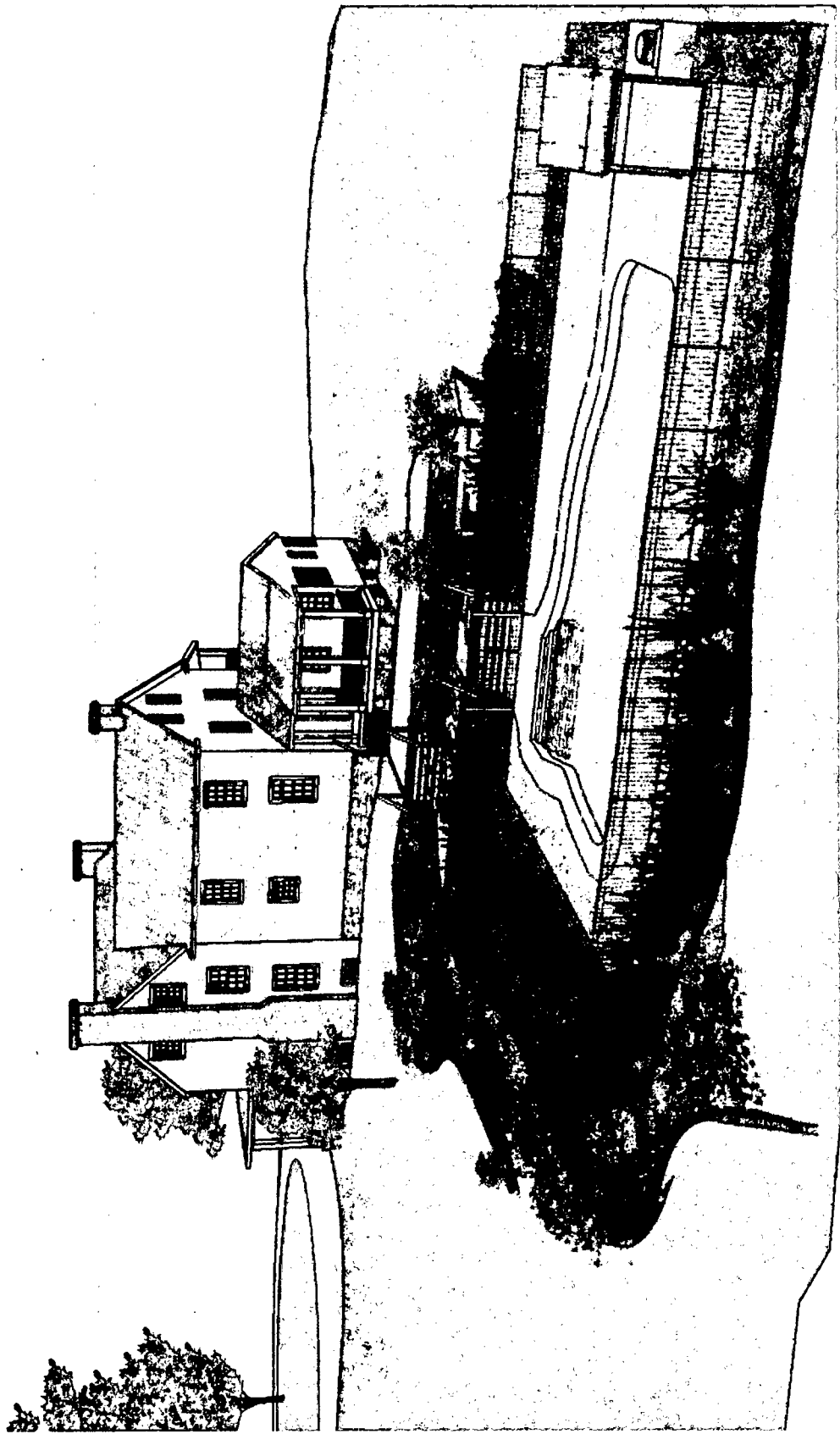
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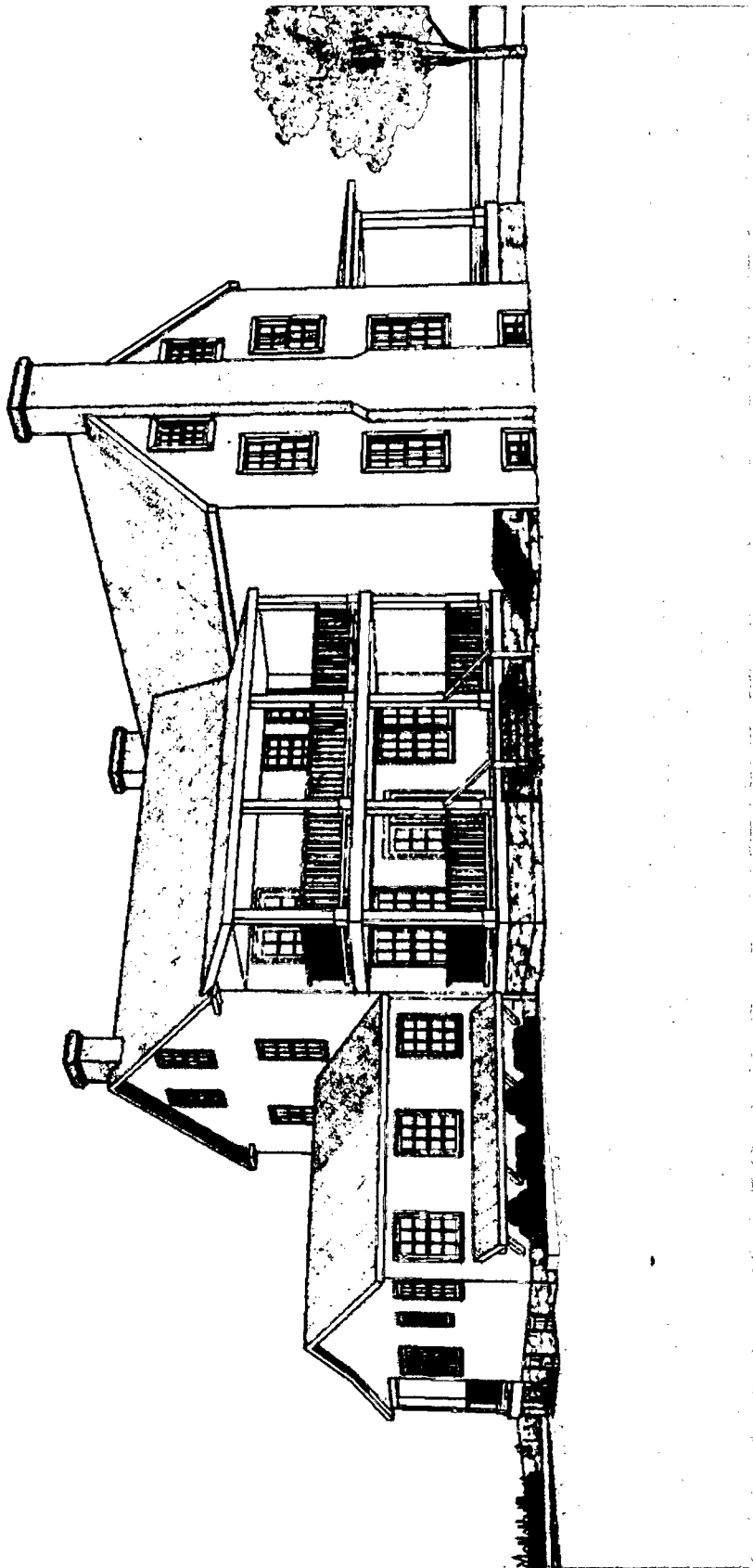


2 Cross Section @ Addition
 A.3 Scale: 1/8" = 1'-0"











pool location





Riverton





September 26, 2007 HPC Meeting

The first Preliminary A is at 1201 Gold Mine Road in Brookeville, Maryland. Do we have a staff report?

MS. FOTHERGILL: We do. This is a Master Plan Site, Riverton in Brookeville, and you can see the excerpt from Places In the Past in your staff report, it was built in 1848, and it is a five bay center passage house constructed of stone covered with a pebble-stucco finish.

There was a two story rear service wing constructed around 1880 to replace an earlier log kitchen on the site, and one interesting feature of this site is that the Claysville Mill, which was a gristmill built around 1880 and then used until around 1930 was moved from Laytonsville to this site in 2000. You'll see a slide of that.

The property is also directly associated with the formation of the Mutual Fire Insurance Company of Montgomery County in 1848, and you can see an explanation of that, but that's an interesting piece of its history.

The applicants are proposing some changes to this house and the property. They are proposing to remove a non-historic mud room and shed at the rear of the house and construct in that location a one story rear addition with a side screen porch and steps to grade.

They are proposing to more one non-original second story window on the left side elevation, and also on the left side elevation they're proposing to construct a two story porch which is based on a previous porch in that location. And then at the rear of the house they're proposing to install a pool and decking, a small pool shed and fencing.

And I'll show you the property. This is as you approach the house. The front of the house. And this is the left side. The window on the second story to the right of the chimney was not original and that's the window that they're proposing to remove. That rear 1880's wing is where they are proposing the two story porch, and they have provided both anecdotal evidence and also there was physical evidence that there was a

porch there originally, and they would like to put that feature back.

On this elevation you can see that rear mud room that will be removed and they'll be a one story addition. That's the rear. And this is looking toward where the pool will be. And as you can see, it is lower and behind the house. This is the area for the pool. And this is looking back from the pool towards the house, and there you can see the building that was moved in 2000.

The staff went through the proposal with the applicants and their architect, and they are coming for a sort of preliminary comments from you to get a sense of if this is something you would support. The proposed rear addition is small and the removal of those non-historic additions would be allowable, and so staff supported that.

The pool in its location and with its sort of naturalistic decking, plantings and open fencing, supports it. That left side porch, while generally staff wouldn't support a new feature, they have provided this evidence and one concern staff has is you can see in Circle 17 that in adding the porch there were some changes to the existing windows beyond just gaining access to the porch, beyond changing a window to a door, and staff was concerned about those changes to that rear wing.

But overall, staff finds the proposal meets the Secretary of Interior's Guidelines and recommended that the applicant come to you and see if you concur.

MR. FULLER: Are there questions for staff?

MR. ROTENSTEIN: I have one. Anne, back on that other slide with the rear yard, what's that stone feature? Is that a millstone just placed as a sculptural element?

MS. FOTHERGILL: That's my understanding.

MR. ROTENSTEIN: Was that placed recently?

MS. FOTHERGILL: Yes. I mean, we can ask the applicants who are here, but that's my understanding is it created a little stone garden that's been put there.

MR. ROTENSTEIN: Okay, thanks.

MR. FULLER: Would the applicants please come forward. Good evening and welcome. If you

would please state your name for the record.

MR. ELLER: Steve Eller.

MR. BOOZ: Miche Booz, I'm the architect.

MS. ELLER: Jennifer Eller.

MR. FULLER: Do you have a presentation you would like to make? Questions you'd like to ask?

Comments on the staff report? All of the above.

MR. BOOZ: Does everybody understand what the project is? It's essentially an addition to, we're tearing off a shed addition that's not historic, putting on an addition that's going to have some very important things in it.

Just to make sure I have them all. I know one of them is the new summer kitchen and powder room. It's gone through a few iterations, but, and it also includes a screen porch. And below it a family room. In the basement, which actually contributed to the size of it, because it had to be a useful room, as well as getting a stair down to it. So those are really the design constraints.

And then the other two major features that affect the building, obviously the second story porch, the side, but also the new pool and landscaping that are associated with that. We'd be happy to answer any questions.

MR. FULLER: Questions or comments?

MR. JESTER: Miche, do you have a plan that shows the location of the pool? I don't see it in the packet we have.

MR. FULLER: Circle 10 was a perspective.

MR. BOOZ: There is a perspective. It is actually in the rear yard because Montgomery County thinks that pools are accessory structures. So the actual pool has to be in the backyard. So it is behind the plane of the new addition which is the new description of the rear yard. Which describes the new rear yard by its rear plane. So it is approximately, I would say it's probably about 50 feet east of that corner. It begins there, and the pool is approximately 40 feet long, maybe a little shorter. We have standard size, although not, it was designed

to be not a rectangle, but to be a little more naturalistic, and to have landscaping around it. Also to be lowered within the landscape so it's not visible from the front, or barely visible from the front.

And I think that the perspectives we did actually indicate that fact you can't really see all that much of it from the front.

MR. FULLER: Do you think you actually have the fall to do what you've shown in the perspective? I mean, I like the idea of hiding the security fence behind the grading, but --

MR. BOOZ: That's actually based on an accurate survey. Our sketch out model was based on these elevations.

MS. MILES: My main concern is with the substantial addition and fenestration on the proposed west elevation. There's going to be almost twice as many windows and glass doors, and I'm wondering if any of the other commissioners share my concern that that dramatically alters the historic facade that's going to be behind that new porch?

MR. DUFFY: I wonder, it's the same concern that staff has expressed, and I thought maybe before the commission discussed it, I was wondering about your reactions to the concern staff has expressed about the window changes on the left side.

MR. BOOZ: I think that's what she's talking about.

MR. DUFFY: Right, right. She was asking the commissioners, but I was wondering what your thoughts were first.

MR. BOOZ: I appreciate that. Well, probably the best view on this farmlet, it's a small, certainly the property is not totally intact anymore, but one of the nicest views obviously is off to the west here. It falls away, it's beautiful. And my clients would like to maximize their view as to that side, which is what we're trying to do.

Currently there are two doors that were there, that are no longer there, because there were two doors, one on the second floor and one on the first floor out to what was a two story porch, it's not there anymore. So the two doors were added, but instead of single doors, we're making them French doors.

MR. FULLER: Where were those existing original doors?

MR. BOOZ: The original doors were more or less in the center between the two windows and below. Again, I think, just below. Is that right, Steve?

MR. ELLER: That's correct.

MR. BOOZ: And the framing, I mean underneath all that, those doors are still French so, that are there. They just aren't showing.

MS. ALDERSON: So what you're saying is there were more openings originally than we see now?

MR. BOOZ: There were more openings. Correct.

MS. ALDERSON: So it's not an original condition as is?

MR. BOOZ: Right. And, you know, when this was a farmhouse they didn't care about the views.

MR. DUFFY: So there was originally a door or a pair of doors roughly where you're showing the doors? What about other, -- and the reason I wanted to ask you is, I tend to share staff's concerns, but that's what you're saying is pretty significant. If there was originally an opening there. Were there any other openings there originally or are there any, -- the elevation that we see as the existing west elevation, do you have any other evidence that anything was different originally besides this one door?

MR. BOOZ: Well, we think that there were perhaps some cure windows. There have been windows added since before the Ellers moved there. I don't know what the condition of the two small, there are two small windows that are hidden by that new bush, whatever that is. And I don't think that, I think they've been altered, the two that are, the left of that have been altered. So that facade has been altered significantly, not to mention that it has asbestos siding all over the roof.

MR. DUFFY: Are the two at second story in original locations and sizes as much as you --

MR. ELLER: I believe so.

MR. BOOZ: They look like they would be the right size.

MR. JESTER: Do you have any historic photos of the property?

MR. BOOZ: Unfortunately, we don't have any photos of the two story porch. I wish we did. But

Ms. Liger lives across the street, and she lived there. She remembers it.

MR. ELLER: She doesn't recall a lot of detail, but she remembers a two story porch there.

MR. BOOZ: And that second story door would, is usually a pretty good tip off.

MR. ELLER: Right, when we moved in there the door was simply locked so you could open it and step out to nothing. That's why it was covered over.

MR. BURSTYN: Are all the windows 12 over 12 now? I mean, 6 over 6 now, because your drawing shows the 6 over 6. So is that the intent? Is that what's there now?

MR. ELLER: Yes.

MR. BOOZ: Yeah, that's the general pattern of the house is 6 over 6 windows. So we're adding windows back that are consistent with the house, although it does alter that facade. We might also add that we plan to remove the asbestos siding. Depending upon what we find, we would ask that we could clad this with Hardiplank. Barring that, if the siding underneath it is saveable, to save it.

MS. FOTHERGILL: The commission may want to comment on what Miche just said, because in general you don't support Hardiplank on the historic massing, so you want to comment on that.

MS. MILES: Yes, I would comment on that. Yes, it's historic facade, and it should not have Hardiplank on it. I don't think you're going to like to see the Hardiplank up there when we're going to require you to have all wood pickets and all wood trims, and you wouldn't like Hardiplank next to wood.

MR. JESTER: I'm going to voice the opinion that I'm a little bit less concerned about the openings and the porch. I think the perspective on Circle 11 shows that the proposed porch addition actually I think helps mitigate the new window openings a little bit. And I think it'll actually work, so I'm not going to say that I would definitely require you to change that or to deny it if you proposed it in the application.

MS. ALDERSON: I agree. I think the porch is very organic and it's very sympathetic. And I would certainly urge that this is a house that deserves wood.

MR. FULLER: Well, why don't we go ahead and just walk down the line; if you would and give your comments.

MS. ALDERSON: I'd just like to add one thing. I'm very pleased to see, I don't know if anybody commented, but it's great to see you're willing to dig down to get additional space. We often urge that to keep the massing down, so that's a commendable move and I think the results are great.

MR. JESTER: I made my comment about the porch and I can see you've gone to great effort to really make the pool blend in, but that's the one thing where I would actually prefer not to see it, but I don't think I would necessarily deny it. I just find it, I think you've got a great environmental setting and I think that as much as it's a nice feature, I think I'd prefer to see it not there.

MR. FULLER: Neither of you two commented on either the one story addition or the pool. Either of you have any concerns on either of those two or are they okay as proposed?

MS. ALDERSON: The only one for me is I think since it is kind of plopped there, that's one thing it's not sort of organic in that way and that you might want to give further thought to additional landscaping that might work that into the property a little more. I think the idea of screening is a great start.

MR. JESTER: I don't have any objection to the one story addition on the rear. I've already commented on the other parts.

MS. ALDERSON: That was my comment, the comment about going down to minimize the size. I think it's a very successful approach.

MS. ANAHTAR: I think my only comment is about the one story addition. When you look at the north elevation, I can understand why the roof pitch is lower than the original building, you're trying to clear the windows basically. But that makes the addition height to be too low, and also the window proportions change due to that and they become shorter.

I was wondering what would have happened if you had continued with maybe same railing and flat roof over the addition, rather than having a pitched roof.

MR. BOOZ: You mean a shed roof?

MS. ANAHTAR: No, no. Flat roof. More like a deck type of wood with the same railing detailing. It just looks too small, too different proportion wise.

MR. FULLER: Any comments on any of the other parts? The side porch? Pool? Anything else or are you good?

MS. ANAHTAR: No, I'm good.

MR. ROTENSTEIN: Nothing further to add. I also would rather not see Hardiplank on a resource like this.

MS. MILES: Yes, no Hardiplank. I think the one story addition looks good. I like the porch. I was just commenting. I think that when you have a lot of windows like this it makes it look like a much more modern element, and, you know, highly symmetrical and you know, a lot of glass makes it look a lot newer. You know, obviously, French door are a pretty contemporary looking element.

But I wouldn't not approve it for that. And yes, it would be nice if your pool could be an old fishing hole, but I'm cool with it being a pool.

MR. BOOZ: We're trying to make it look that way.

MR. BURSTYN: I would reiterate just the pool comment instead of a look that's turquoise and white that you see -- I've seen pools that are more of a naturalistic setting. In fact, even the internal part of the pool itself done in a darker tile so they don't look turquoise or blue, and they would blend in possibly with the setting and not stand out as a "modern feature".

MR. FULLER: Commissioner Duffy?

MR. DUFFY: I might have missed this, but what is the low shed roof on the one story addition doing?

MR. BOOZ: It's over the screen porch. The one story addition, the low roof. Oh, I'm sorry, on the side, the shed? That's actually, you don't like our rendition of the pieces of wood?

MR. DUFFY: It's unusual.

MR. BOOZ: They look a little bit like oil cans in this one, I don't know why.

MR. DUFFY: What is it though?

MR. BOOZ: It's to cover wood. It's a wood pile.

MS. MILES: You know that putting raw wood against the house introduces wood boring insects into your house.

MR. BOOZ: I assume the new addition can have Hardiplank on it.

MR. DUFFY: My comments would be, I think it's a very good proposal in general. Having heard what you said about the fenestration at the porch and looking at the perspective, I think it's acceptable. I think on a Master Plan Site, such as this, ordinarily we would want to have everything built out of wood, and I'm fine with everything I'm seeing except that I think everything should be built out of wood.

MR. BOOZ: Even the new addition?

MR. DUFFY: On a Master Plan Site, yes.

MR. FULLER: Basically, I don't think I have any real comments to add to the rest of the commission, so just sort of summarizing things, I think I've heard fairly clearly that you're hearing nobody wants Hardiplank. The side porch as proposed in general is okay. There's a little bit of a mixed emotion as it relates to the percentage of windows, but it sounded slightly more favorable than less.

That the one story element addition to the north is acceptable in general configuration, maybe to do something to solve the roof, make it maybe a little bit more sympathetic one way or the other, and a slightly more organic pool. But I think other than, I think we'd be willing to see this as a HAWP. Thank you.

MR. BOOZ: Thank you very much.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	1201 Gold Mine Road, Brookeville	Meeting Date:	9/26/2007
Resource:	<i>Master Plan</i> Site #23/90 Riverton	Report Date:	9/19/2007
Applicant:	Stephen and Jennifer Eller (Miche Booz, Architect)	Public Notice:	9/12/2007
Review:	Preliminary Consultation	Tax Credit:	Partial
Case Number:	N/A	Staff:	Anne Fothergill
PROPOSAL:	Rear addition, side porches, pool and fencing		

STAFF RECOMMENDATION

Staff recommends that the applicants revise based on any comments from the HPC and return for a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Designated *Master Plan* Site #23/90
STYLE: Vernacular Greek Revival
DATE: 1848

Excerpt from Places in the Past:

23/90 Riverton (1848) 1201 Gold Mine Road

Riverton provides important information about Montgomery County's pre-Civil War history and heritage. Joshua Peirce and his son, Edward Peirce, built Riverton in 1848. Prominent local Quaker farmers, the Peirce family came to Sandy Spring from Pennsylvania in the 1820s. The property is directly associated (through the destruction by fire of Joshua Peirce's barn in 1844) with the formation of the Mutual Fire Insurance Company of Montgomery County in 1848. The company was started by area farmers (many of whom were Quakers) as a way to support area farming. The concept of fire insurance for a rural area was a progressive development for its time and important in the development of the county.

Constructed in 1848, Riverton is a five-bay, center-passage house constructed of stone and covered with a pebble dash stucco finish. It is set upon a low stone foundation and is covered with a gable roof, clad with standing seam metal. A two-story rear service wing was constructed circa 1880 to replace an earlier log kitchen on the site. The Claysville Mill, a gristmill built c1880 and in use until c1930, was moved from the Laytonsville area to this site in 2000.

PROPOSAL

The applicants are proposing a number of changes to this house and property:

- Remove non-historic mud room and shed at rear of house
- Construct one-story rear addition with side screened porch and steps to grade
- Remove one non-original second story window on left side elevation
- Construct a two-story porch on the left side of the rear-ell (based on previous porch)
- Install a pool, decking, pool shed, and fencing at rear right side of house

No trees will be removed for this project. See existing and proposed plans in Circles 9-20 and photos of existing conditions in Circles 21-25.

APPLICABLE GUIDELINES

When reviewing alterations to a *Master Plan* site two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents are *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

Standard #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environments would be unimpaired.

STAFF DISCUSSION

This is an individually-designated *Master Plan* site and any proposed changes receive the highest level of scrutiny from staff and the Commission. The applicants have been good stewards of this house and have done some very thoughtful interior restoration and rehabilitation work. For this proposal they have worked with their architect to minimize any adverse impacts to the house and the surrounding property.

The proposed rear addition is small and compatible with the house and the removal of the non-historic additions is allowable. The porch extends out slightly beyond the right side plane of the house but it is all the way at the rear and is a porch and not a solid massing.

The applicants have strategically sited the pool where it will be lower and behind the house and therefore barely visible from the front. The pool, pool equipment shed, decking, and fencing have been designed to be unobtrusive and to create a naturalistic setting with lots of grass and plantings and a small amount of decking.

The applicants understand that the Commission generally doesn't support new installations on a historic massing, but the proposed left side porch is based on both anecdotal and physical evidence that there was originally a 2nd story porch in this location. Previous owners found a door on the second floor that led to what would have been a porch and a neighbor who has known the house for decades recalls a porch in that location. Based on this evidence as well as the photos of similar houses with similar porches (see Circles 27-30), the applicants and their architect feel this is a sympathetic and appropriate addition to this house.

While the two side porches may be allowable, one concern staff has is with the number of window changes on that left side elevation where the porches will be built. Staff recommends that the applicants change one window to a door to access the new porch, but that other original windows and window openings be retained. The removal of the second story window in front of the chimney is allowable since there was no window in that location originally and the applicants will be returning that section to its original design.

Materials were not included as part of this submission but staff recommends that the highest quality materials be used on any additions to this important house and property-- including wood true divided light windows, wood doors, and wood siding.

STAFF RECOMMENDATION

Staff recommends that the applicants revise their plans based on any comments of the HPC and return to the HPC for a Historic Area Work Permit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Nancy McCarren / Miche Booz
Daytime Phone No.: 301-774-6911

Tax Account No.: 160801709022
Name of Property Owner: Stephen & Jennifer Elker Daytime Phone No.: 301-774-6468
Address: 1201 Gold Mine Rd. Brookeville, MD State: MD Zip Code: 20833

Contractor: _____
Contractor Registration No.: _____ Daytime Phone No.: 301-774-6911
Agent for Owner: Miche Booz

LOCATION OF BUILDING/PREMISE
House Number: 1201 Street: Gold Mine Road
Town/City: Brookeville Nearest Cross Street: New Hampshire Avenue
Lot: _____ Block: _____ Subdivision: _____
Liber: 20601 Folio: 344 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct
 - Extend
 - Alter/Renovate
 - Move
 - Install
 - Wreck/Raze
 - Revision
 - Repair
 - Revocable
- 1B. Construction cost estimate: \$ 500,000
- 1C. If this is a revision of a previously approved active permit, see Permit # _____

- CHECK ALL APPLICABLE:
- A/C
 - Slab
 - Room Addition
 - Porch
 - Deck
 - Shed
 - Solar
 - Fireplace
 - Woodburning Stove
 - Single Family
 - Fence/Wall (complete Section 4)
 - Other: _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

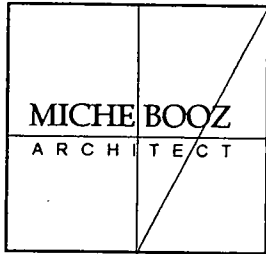
- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line
 Entirely on land of owner
 On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent
Date: 8-21-07

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 463718 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



PROJECT: RIVERTON RENOVATION & ADDITION
OWNER: STEPHEN & JENNIFER ELLER
1201 GOLD MINE ROAD
BROOKEVILLE, MD

APPLICANT: MICHE BOOZ, ARCHITECT
DATE: August 21, 2007

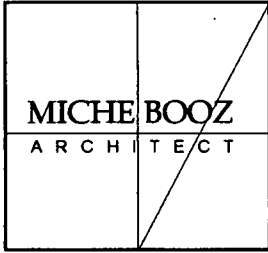
ADJACENT PROPERTIES MAILING ADDRESSES:

HONAKER, DOROTHY J & CHARLIE E
1112 GOLD MINE RD
BROOKEVILLE MD 20833-2218

EATON, LINDA M
1111 GOLD MINE RD
BROOKEVILLE MD 20833-2221

SCHAUFFLER, WILLIAM B & JENNIFER W R SCHAUFFLER
1121 GOLD MINE RD
BROOKEVILLE MD 20833-2221

(HAWLINGS HILLS PARK)
MONTGOMERY COUNTY
GOLD MINE ROAD
BROOKEVILLE, MD
PARCEL N840
L. 5959 F. 445



PROJECT: RIVERTON RENOVATION & ADDITION
OWNER: STEPHEN & JENNIFER ELLER
1201 GOLD MINE ROAD
BROOKEVILLE, MD

APPLICANT: MICHE BOOZ, ARCHITECT
DATE: August 21, 2007

NARRATIVE

“Edward Pierce built Riverton before building Fairfield, probably just before sailing off in the 1849 California gold rush. His parents Joshua and Hannah had lived in a log cabin on the site in “this land of hills” since 1822. Here their barn burned in 1841, leading to formation of the Mutual Insurance Company... In 1860 Riverton was purchased by the Janney’s, who lived there for nearly three-quarters of a century. It passed then to the Leishears and in 1955 to Mary and Roger Brooke Farquhar III. Today it is owned by Tim and Sally Eller.”

(Source: Sandy Spring Legacy, by Thomas Y. Canby and Elie S. Rogers, p.167, Copyright 1999, Sandy Spring Museum)

The new work submitted for the Historic Area Work Permit includes demolition of a dilapidated shed to the rear and a non-historic window on the 2nd floor west elevation; construction of a 1-story gabled addition, interior renovation/remodeling, and landscape improvements including a pool and associated hardscape.

COORDINATES TABLE
 N 12 58' 00" E 100.00' 00" = 100.00' 00"
 S 77 00' 00" E 100.00' 00" = 100.00' 00"
 S 12 58' 00" W 100.00' 00" = 100.00' 00"
 N 77 00' 00" W 100.00' 00" = 100.00' 00"

STORM/SEWER TABLE

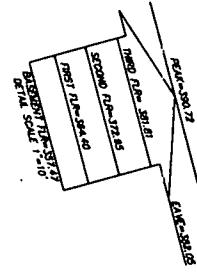
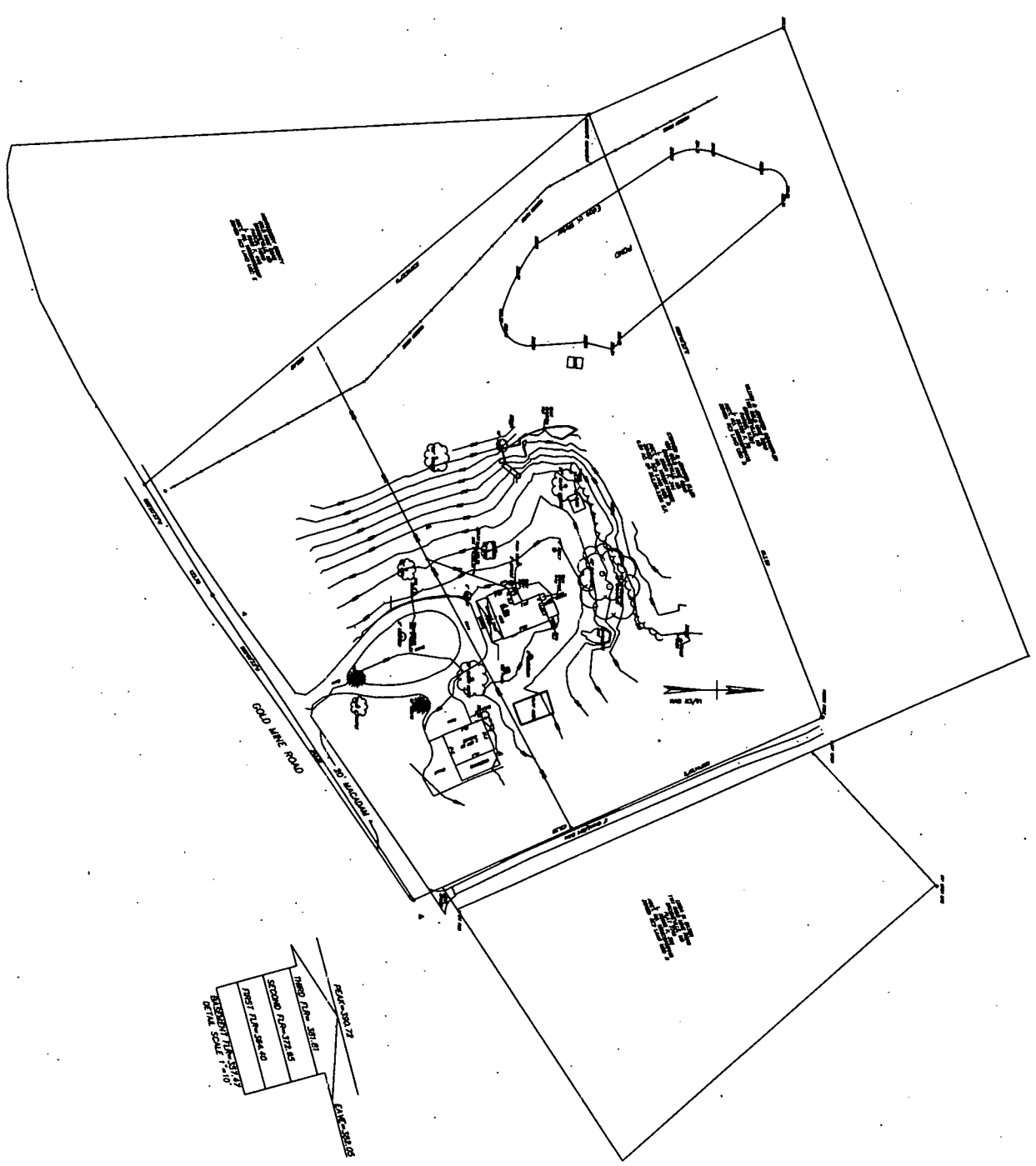
GRAPHIC SCALE

1 inch = 30 ft.



LEGEND

---	Proposed Storm Sewer
---	Proposed Sewer
---	Proposed Water Main
---	Proposed Gas Main
---	Proposed Electric Main
---	Proposed Telephone Main
---	Proposed Cable Main
---	Proposed Fire Main
---	Proposed Gas Valve
---	Proposed Electric Valve
---	Proposed Telephone Valve
---	Proposed Cable Valve
---	Proposed Fire Valve
---	Proposed Gas Meter
---	Proposed Electric Meter
---	Proposed Telephone Meter
---	Proposed Cable Meter
---	Proposed Fire Meter
---	Proposed Gas Stop
---	Proposed Electric Stop
---	Proposed Telephone Stop
---	Proposed Cable Stop
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---	Proposed Fire State
---	Proposed Gas Country
---	Proposed Electric Country
---	Proposed Telephone Country
---	Proposed Cable Country
---	Proposed Fire Country
---	Proposed Gas World
---	Proposed Electric World
---	Proposed Telephone World
---	Proposed Cable World
---	Proposed Fire World



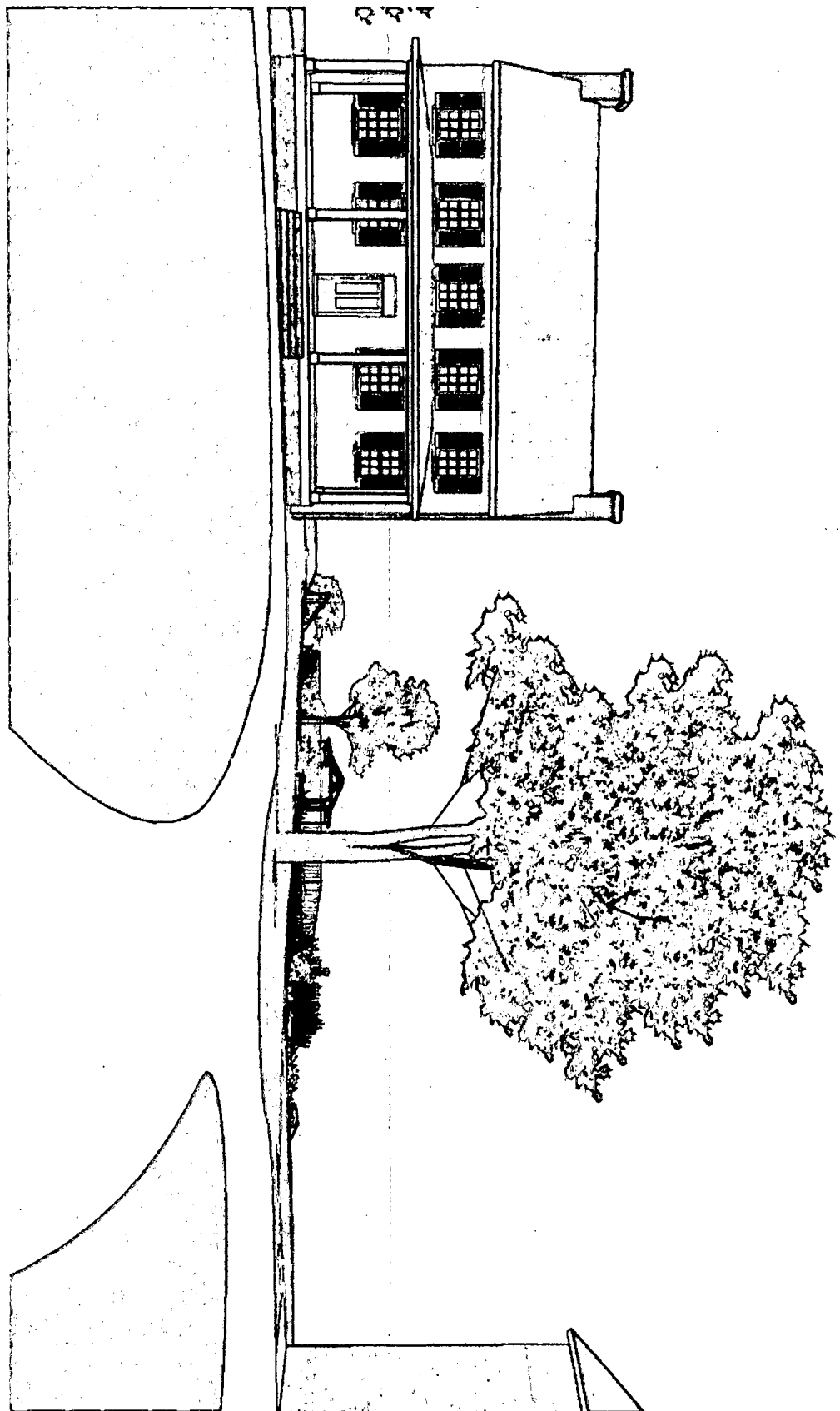
MICHEL BOOZ
 ARCHITECT
 200 Kessler St
 Gaithersburg, MD 20878
 Phone: 774 1800

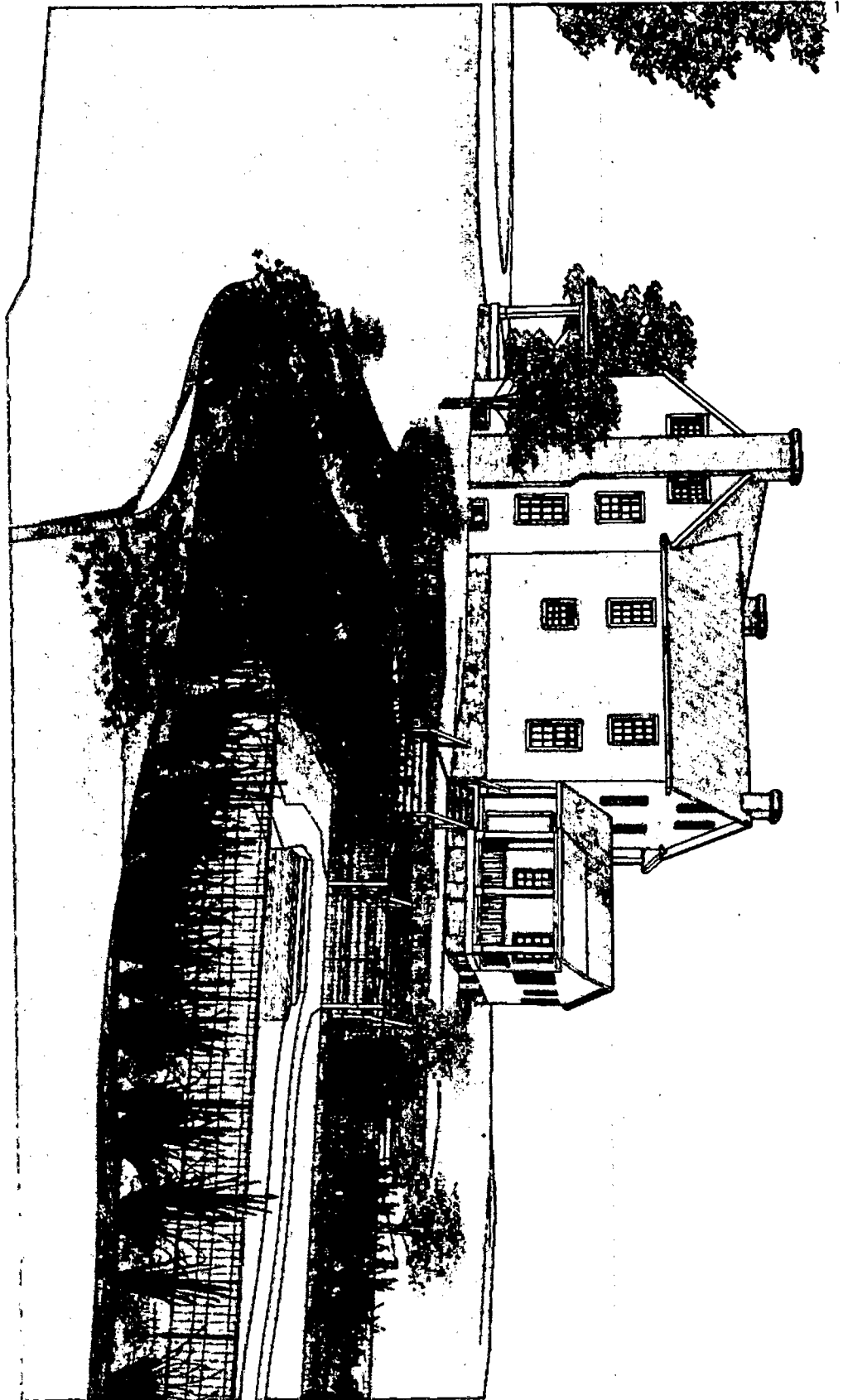
Project:
**RIVERTON -
 ELLER
 RESIDENCE**

1201 Gold Mine Road
 Brookeville, MD
 Montgomery County

Drawings:

Sheet:
 01/07







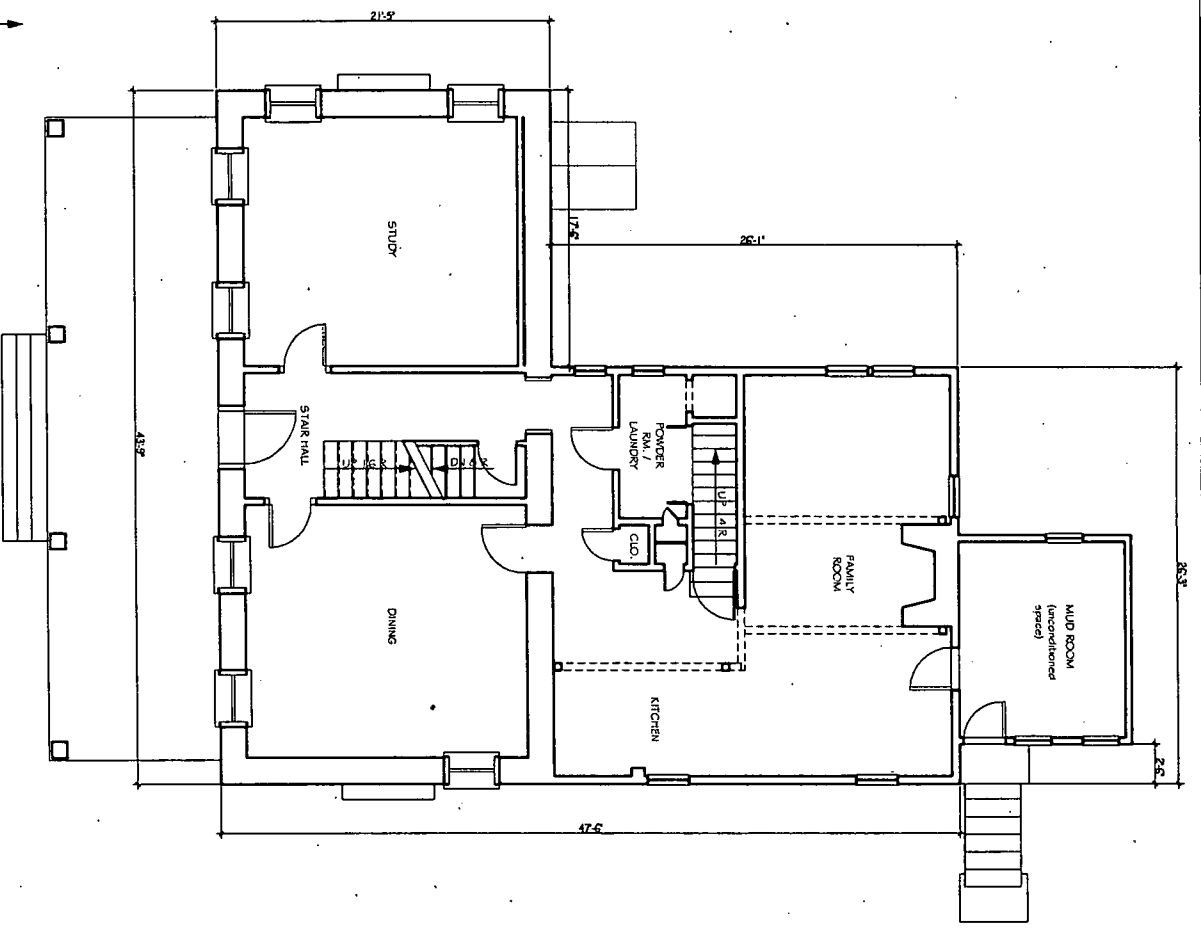
MICHE BOOZ
 ARCHITECT
 209 Market St
 Maryland 20633
 (301) 774-6811
 Fax: 774-1906

Project: **RIVERTON-
 ELLER
 RESIDENCE**

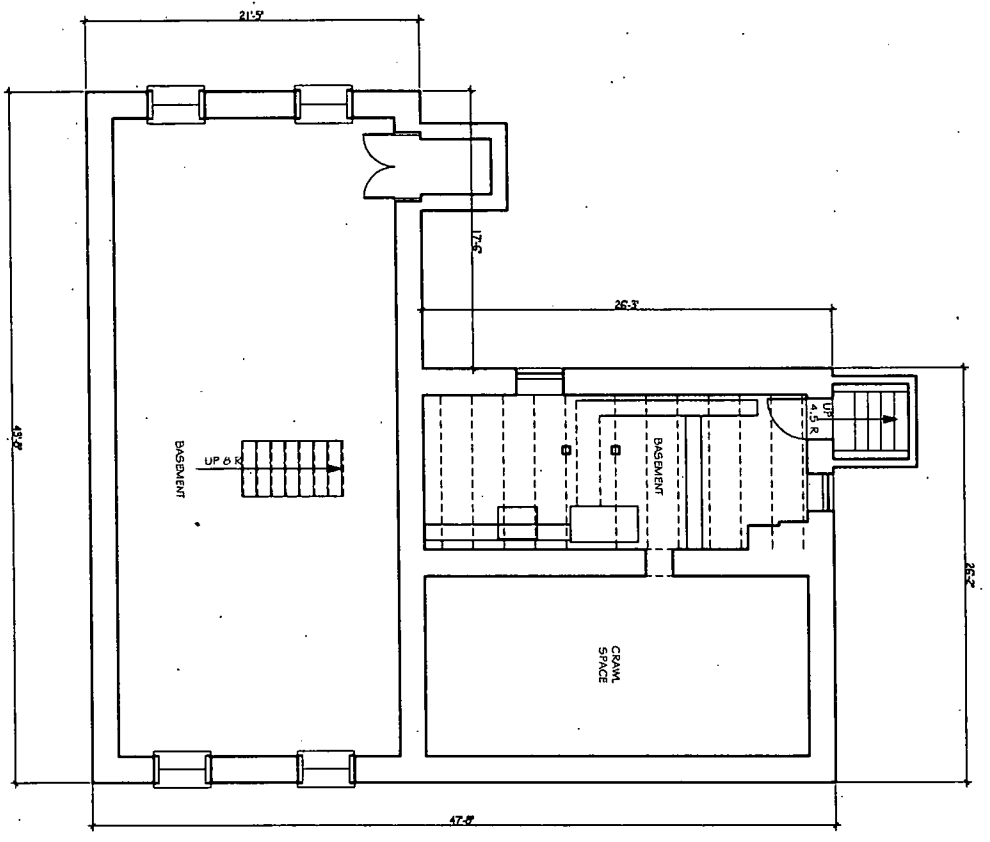
1201 Cold Mine Road
 Brooksville, MD
 Montgomery County

Drawn by:
 EXISTING &
 FIRST FLOOR
 PLANS

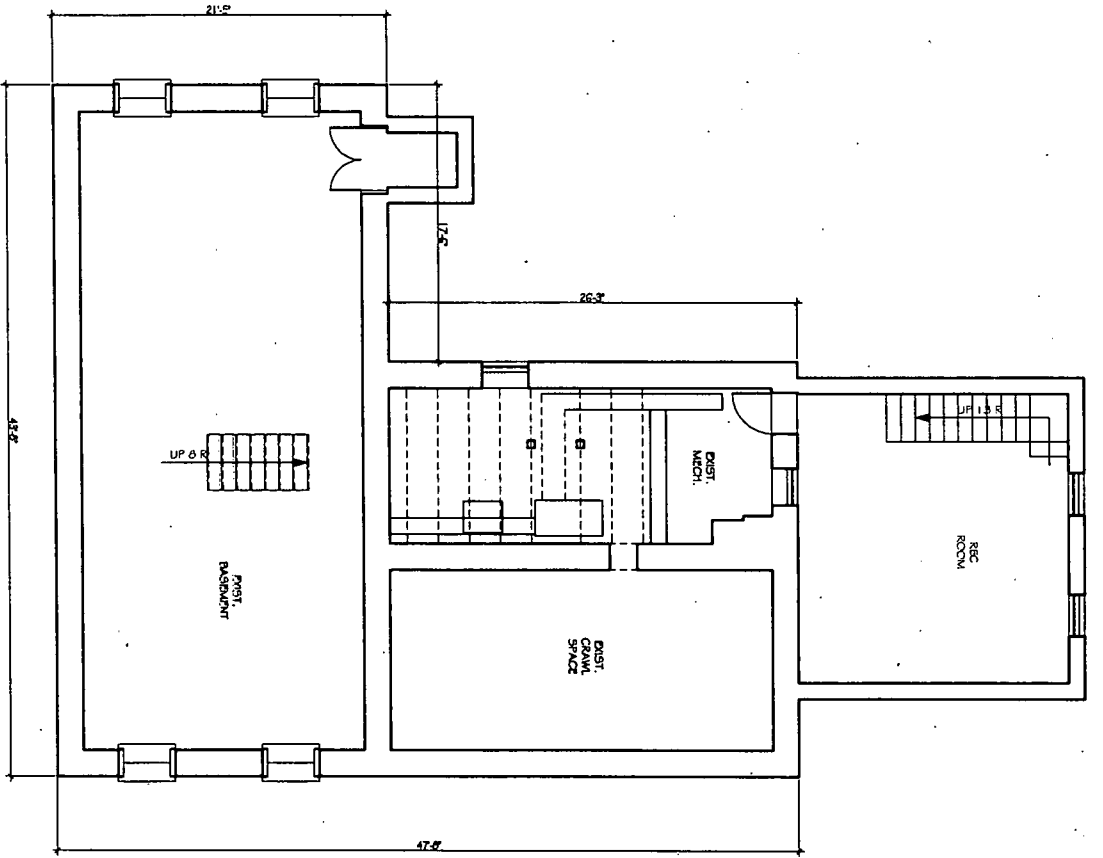
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 07/97



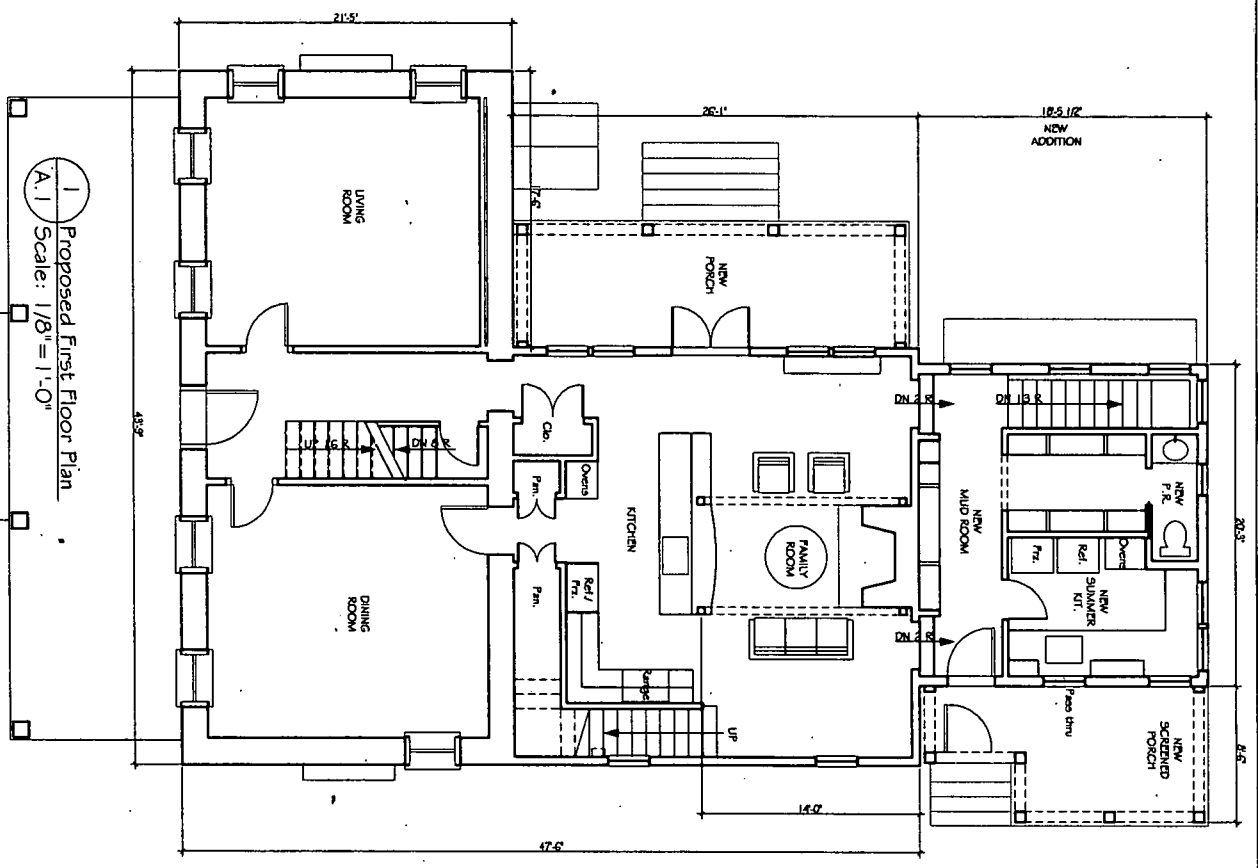
1 Existing First Floor Plan
 EX.1 Scale: 1/8" = 1'-0"



2 Existing Basement Plan
 EX.1 Scale: 1/8" = 1'-0"



2 Proposed Basement Floor Plan
 A.1 Scale: 1/8" = 1'-0"



1 Proposed First Floor Plan
 A.1 Scale: 1/8" = 1'-0"

MICHE BOOZ
 ARCHITECT
 209 Ansel St
 Silver Spring, MD 20914
 Tel: 774 1800

Project:
**RIVERTON -
 ELLER
 RESIDENCE**

1201 Gold Mine Road
 Brooksville, MD
 Montgomery County

Drawn:
 BASEMENT & FIRST
 FLOOR PLANS

Date:
 01/07

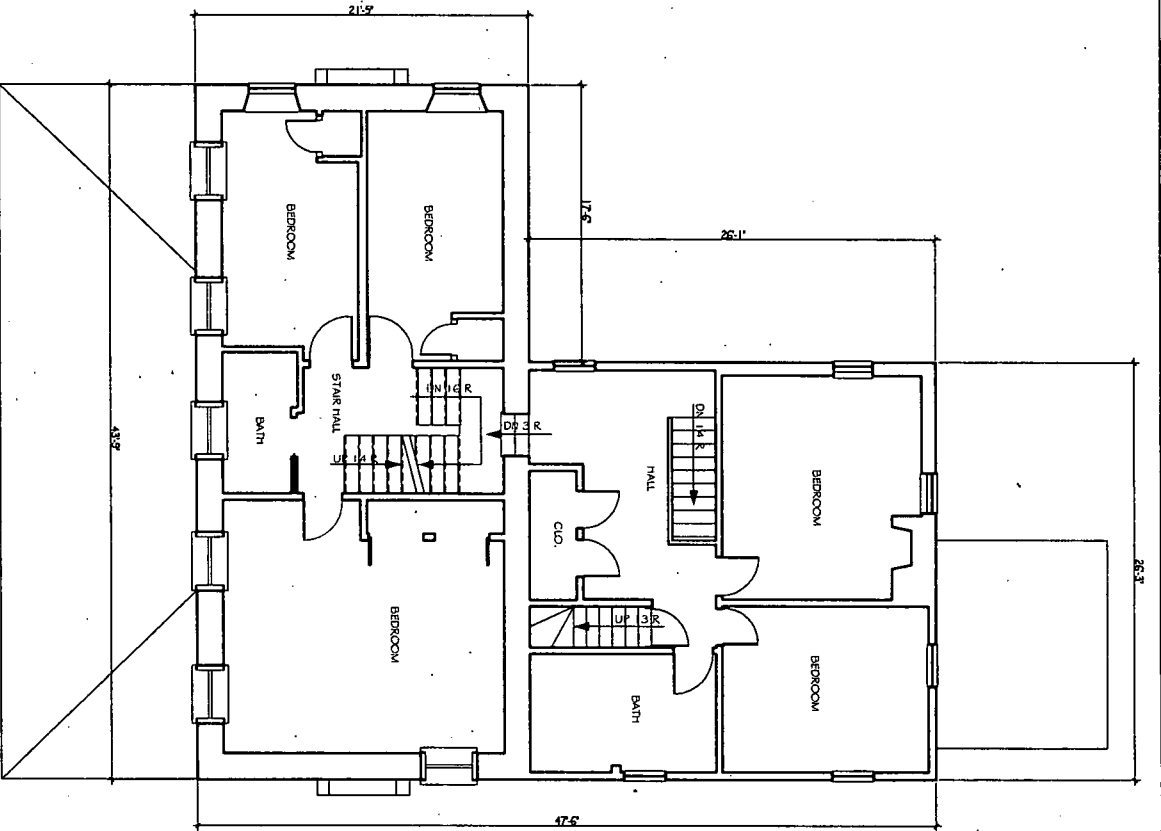
MICHE BOOZ
ARCHITECT
200 Kentland St
Baltimore, MD 21214
Tel: 774 1900

Project:
**RIVERTON -
ELLER
RESIDENCE**

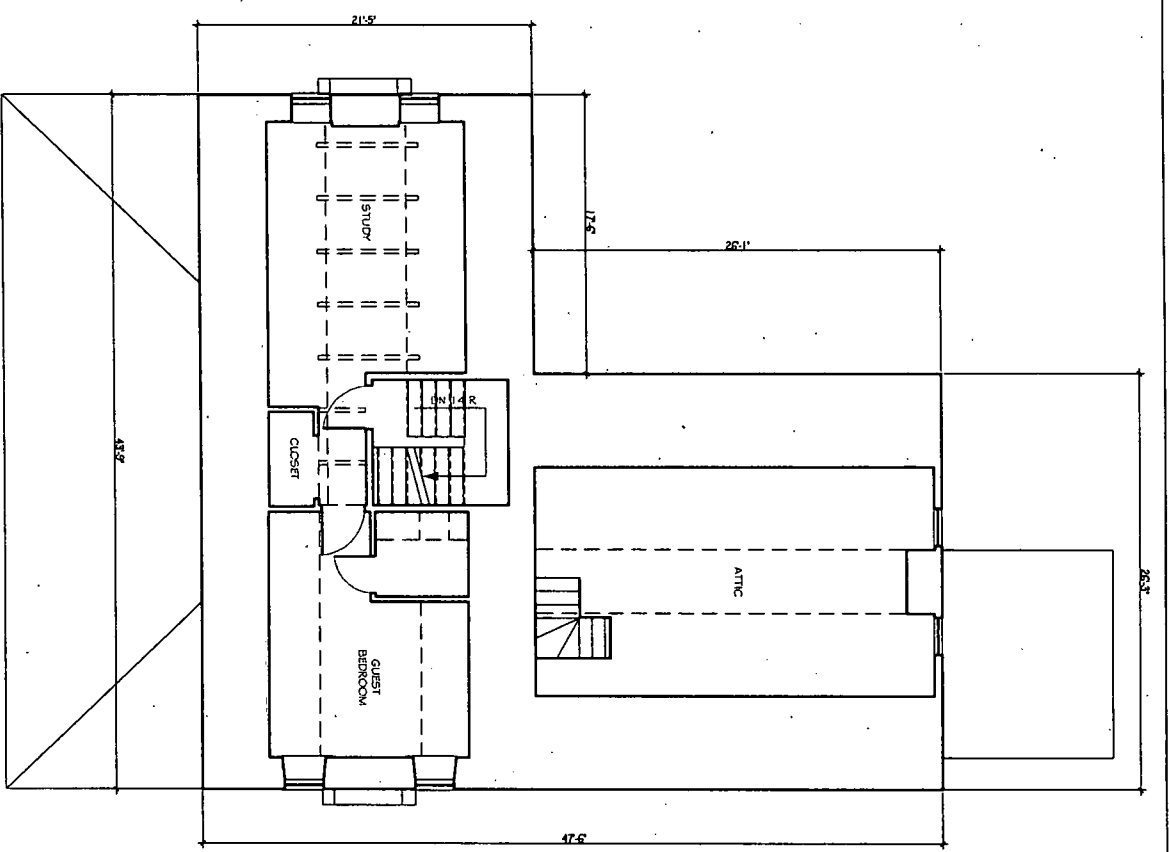
1201 Gold Mine Road
Brooksville, MD
Montgomery County

Dwgs:
EXISTING SECOND
FLOOR & ROOF
PLANS

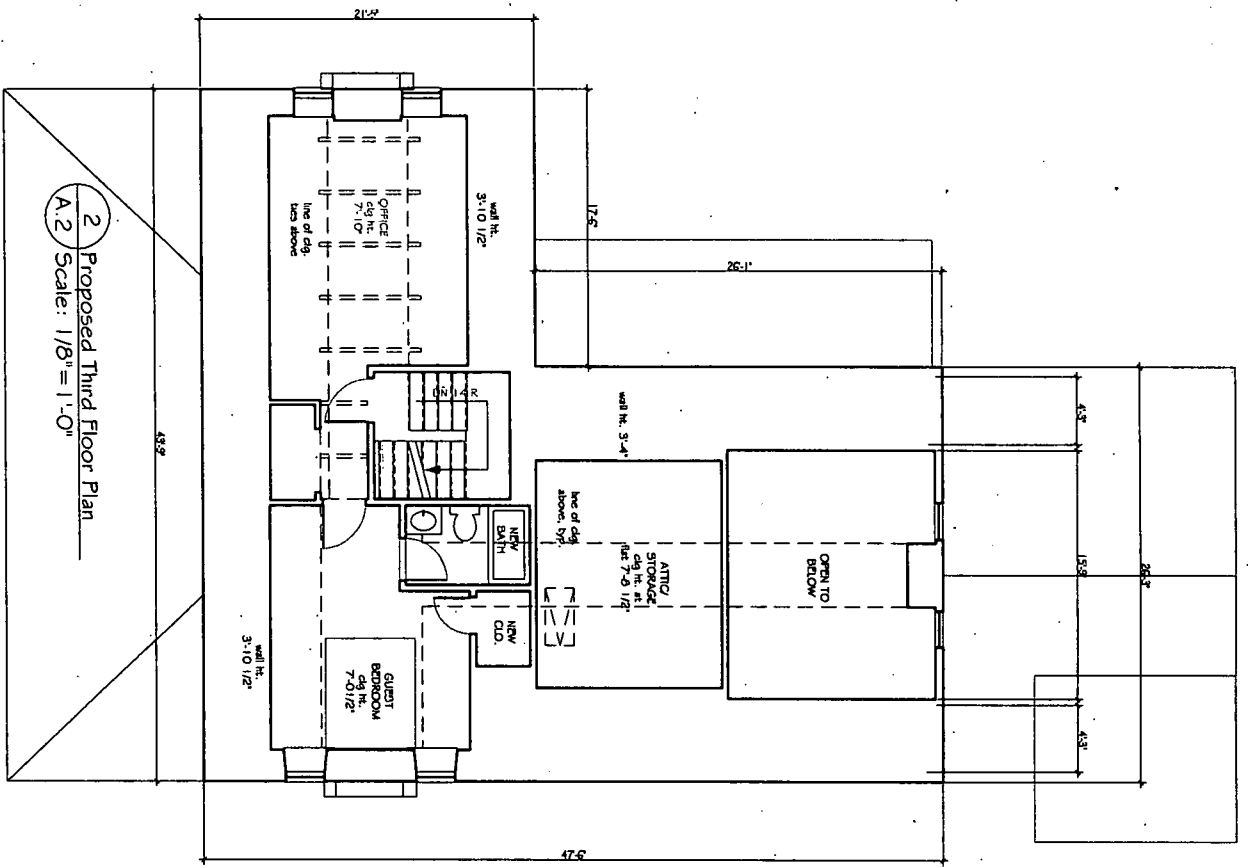
Date:
01/97



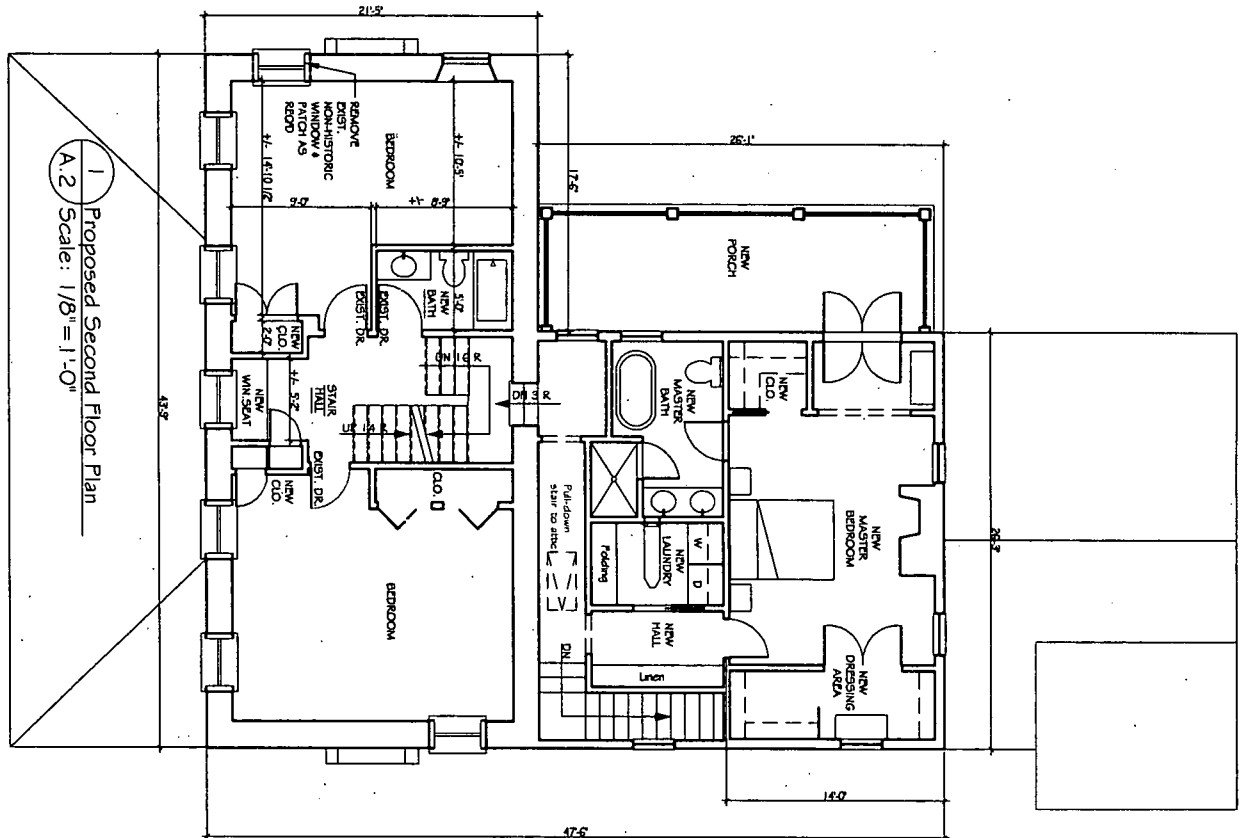
1 Existing Second Floor Plan
EX. 2 Scale: 1/8" = 1'-0"



2 Existing Attic Plan
EX. 2 Scale: 1/8" = 1'-0"

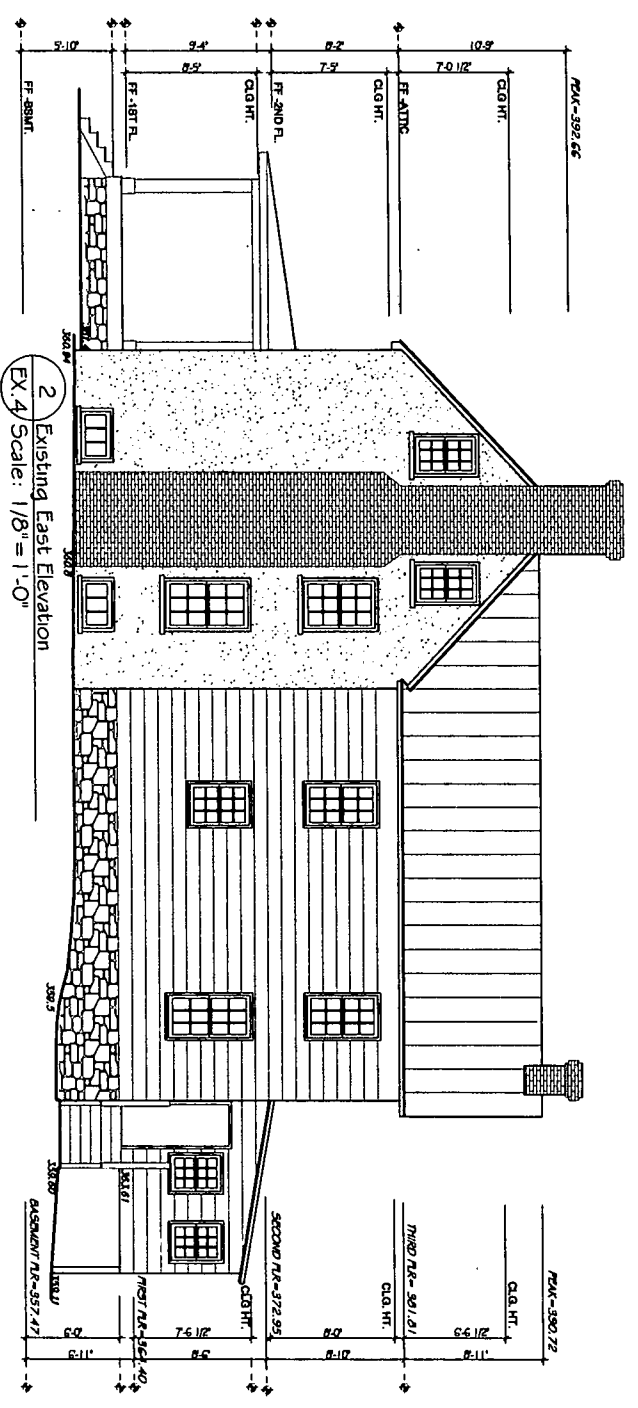
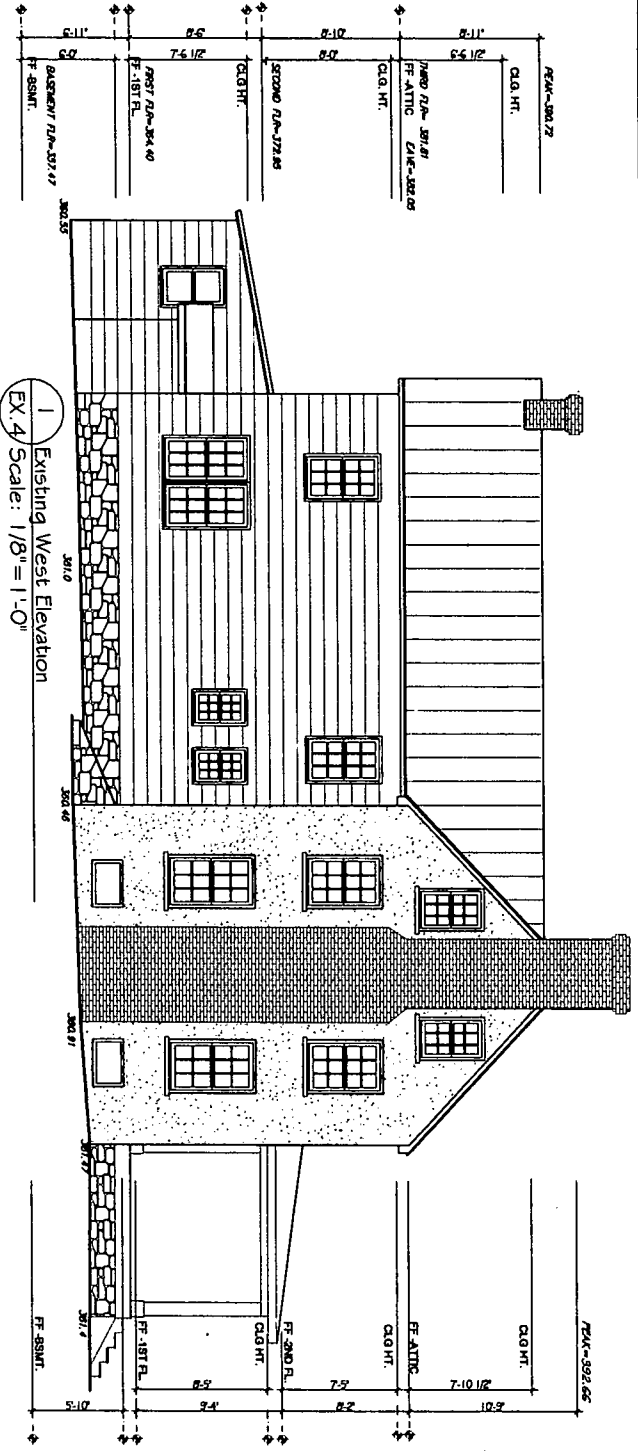


2 Proposed Third Floor Plan
 A.2 Scale: 1/8" = 1'-0"

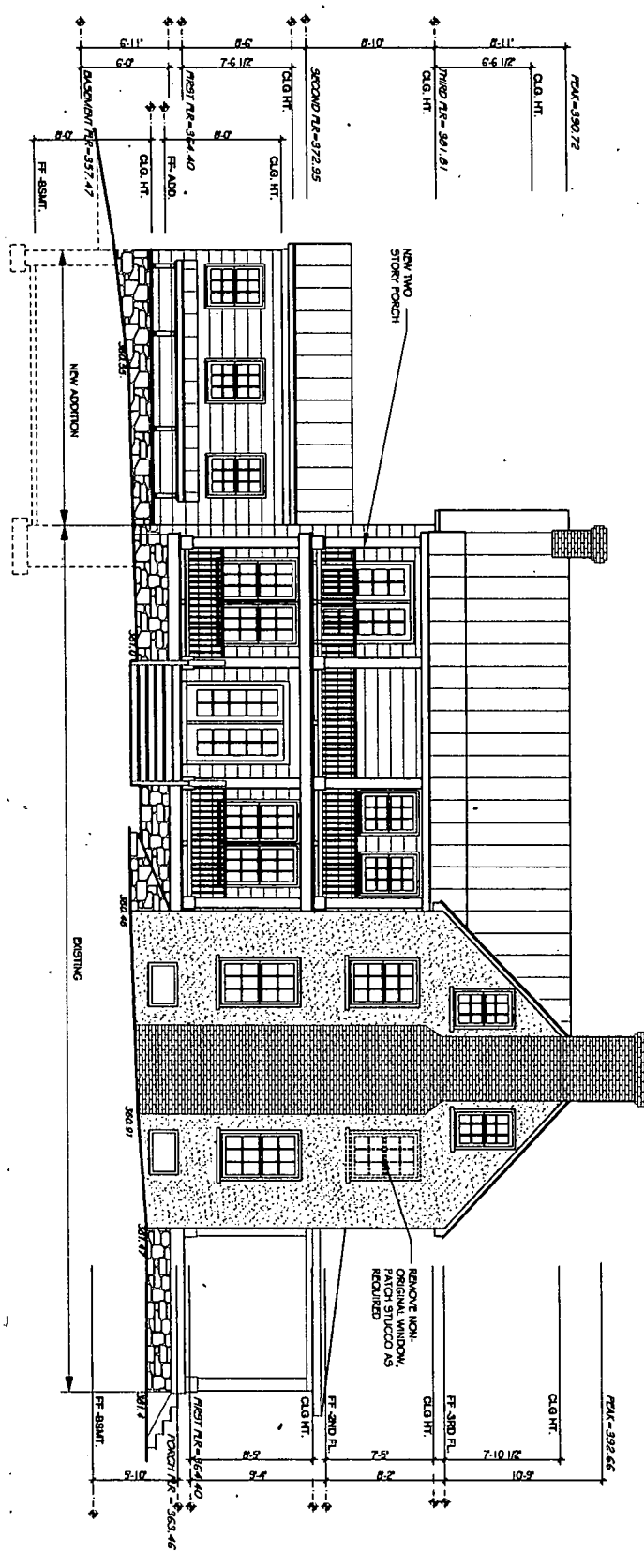


1 Proposed Second Floor Plan
 A.2 Scale: 1/8" = 1'-0"

MICHE BOOZ ARCHITECT 200 Annapolis St. Bethesda, MD 20814 Tel: 301-774-8911 Fax: 301-774-1889	Project: RIVERTON - ELLER RESIDENCE
	1201 Gold Mine Road Brooksville, MD Montgomery County
Drawing: SECOND & THIRD FLOOR PLANS	Date: 8/19/87

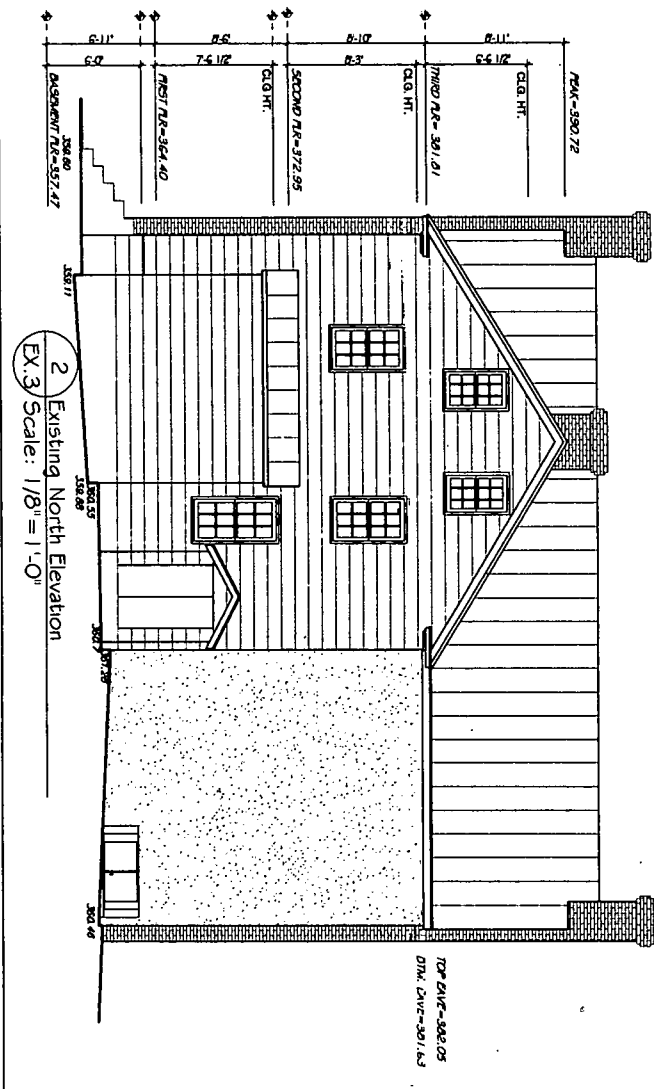
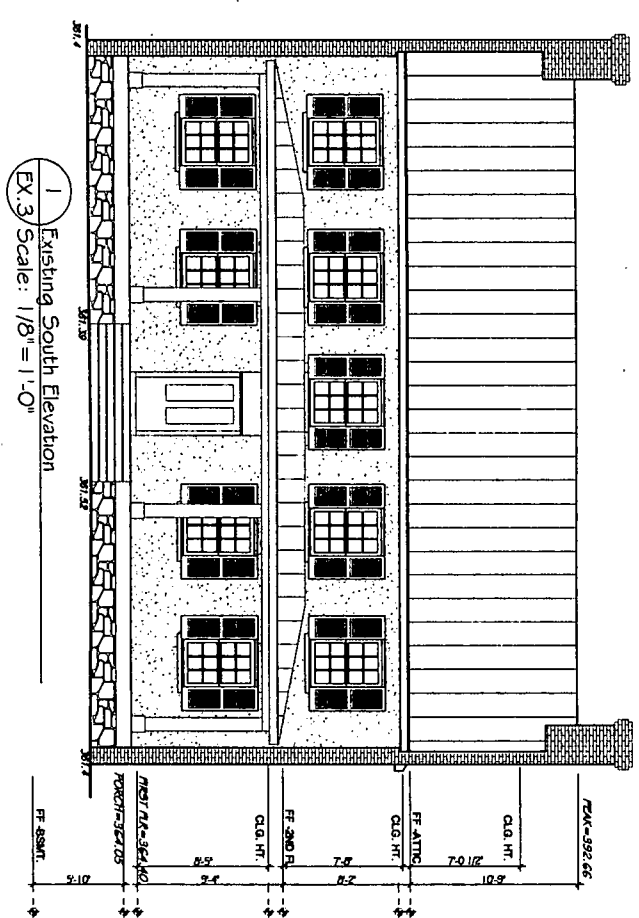


MICHE BOOZ ARCHITECT 200 Market St Brooksville, MD 21037-9011 Tel: 774 1906	Project: RIVERTON- ELLER RESIDENCE
	1201 Gold Mine Road Brooksville, MD Montgomery County
Drawing: EXISTING ELEVATIONS	Date: 6/16/07



1 Proposed West Elevation
 A.4 Scale: 1/8" = 1'-0"

MICHE BOOZ ARCHITECT 200 Market St Baltimore, MD 21201 Tel: 774 1800	Project:
	RIVERTON - ELLER RESIDENCE
1201 Bold Line Road Brooksville, MD Montgomery County	Drawing: ELEVATIONS
Date: 01/07	Scale: 1/8" = 1'-0"



MICHE BOOZ
 ARCHITECT
 200 Maryland St
 Baltimore, MD 21201
 Phone: 774 1800

Project:
 RIVERTON -
 ELLER
 RESIDENCE

1201 Gold Mine Road
 Brookville, MD
 Montgomery County

Drawing:
 EXISTING
 ELEVATIONS

Date:
 01/30/07

MICHE BOOZ
A R C H I T E C T

200 Laurel St
Brooksville, FL 34609
Tel: 813 774 1800

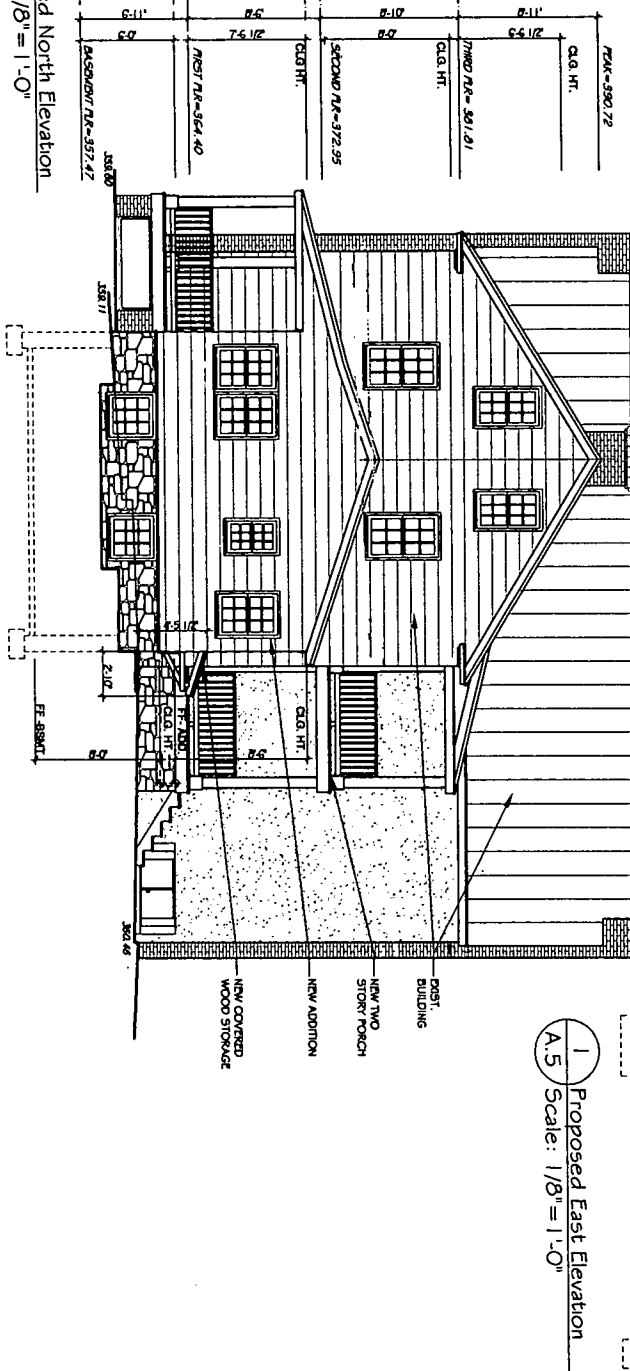
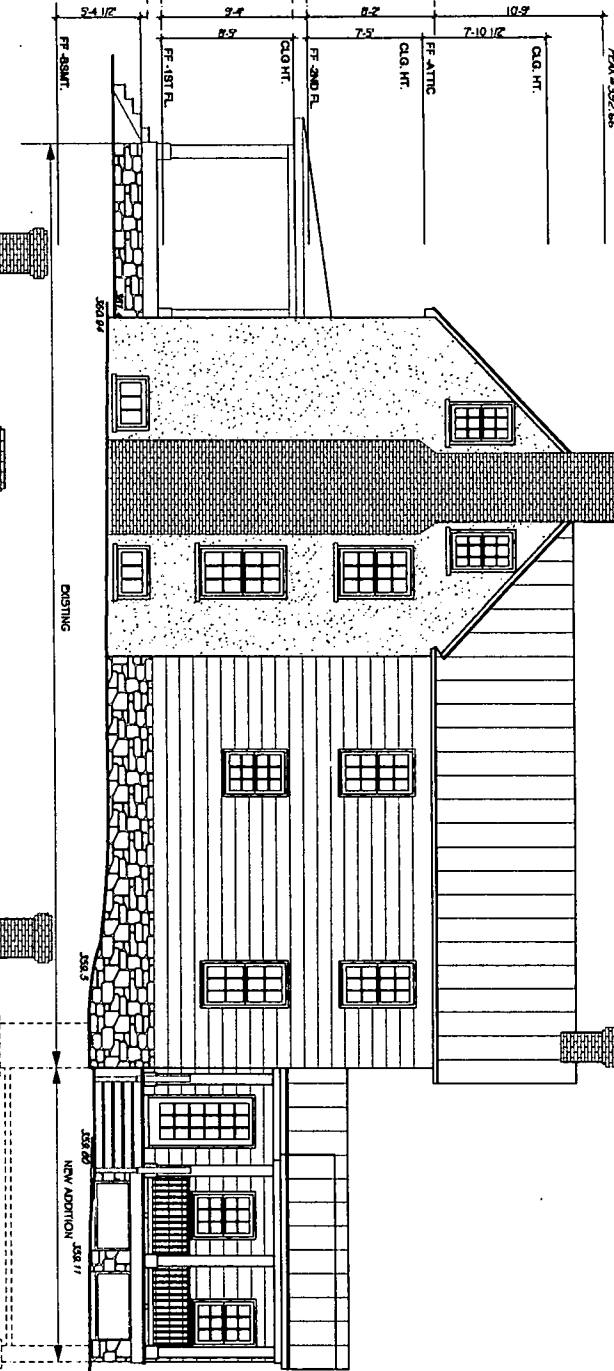
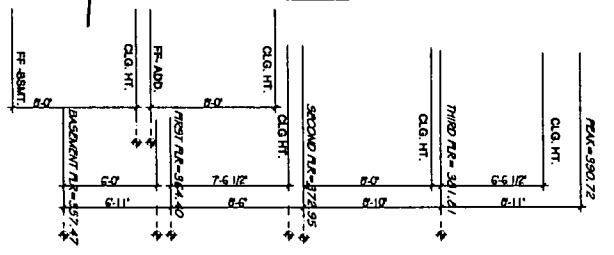
Project:
RIVERTON -
ELLER
RESIDENCE

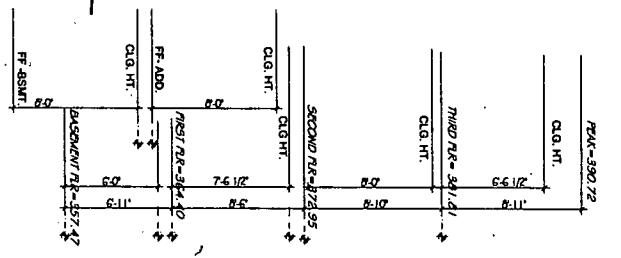
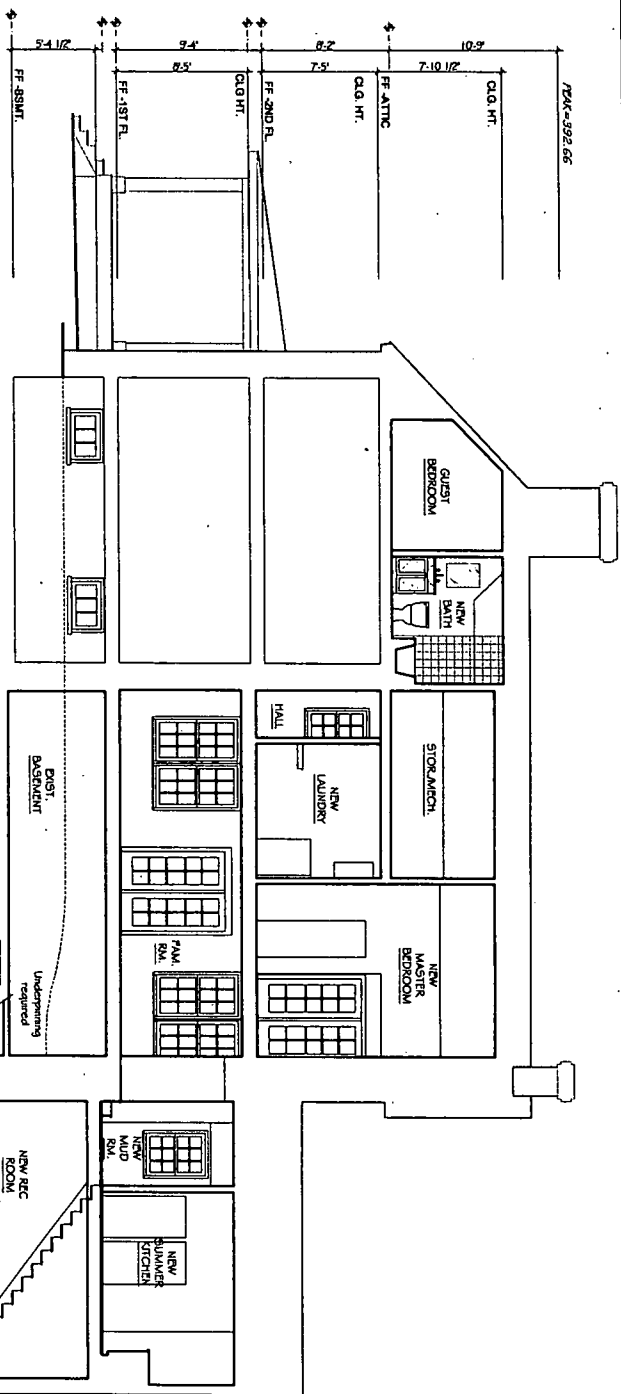
1201 Gold Mine Road
Brooksville, MD
Montgomery County

Drawings:
ELEVATIONS

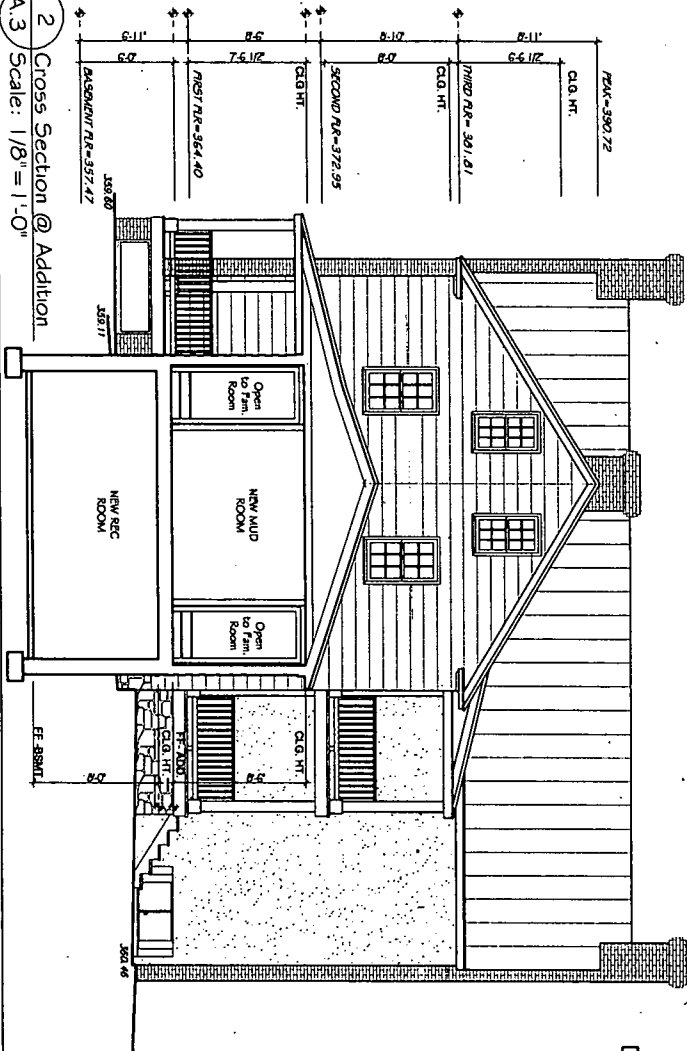
Date:
6/15/07

19





1 Longitudinal Section
 A.3 Scale: 1/8" = 1'-0"



2 Cross Section @ Addition
 A.3 Scale: 1/8" = 1'-0"

MICHEL BOOZ ARCHITECT 208 North St Baltimore, MD 21201 Tel: 774 1898	Project: RIVERTON - ELLER RESIDENCE
	1201 Gold Mine Road Brookeville, MD Montgomery County
Drawn: SECTIONS	Date: 8/18/07

Fothergill, Anne

From: michebooz@aol.com
Sent: Monday, August 27, 2007 3:54 PM
To: Fothergill, Anne
Cc: stepheneller@gmail.com; nmccarren@michebooz.com
Subject: Fwd: Porch

Anne-

Here's the support you asked for regarding the Riverton 2nd story porch restoration. (See attached images and text below)

Miche

-----Original Message-----

From: Stephen Eller <stepheneller@gmail.com>
To: nmccarren@michebooz.com <nmccarren@michebooz.com>; MICHEBOOZ@aol.com <michebooz@aol.com>; Jennifer Eller <jennyeller@gmail.com>
Sent: Mon, 27 Aug 2007 1:15 pm
Subject: Porch

Please let me know if you need more than this.

The evidence that Riverton had a two-story porch on the "inside" of the L shape is as follows. A neighbor, Mrs. Leishear, now living at 1112 Gold Mine Road remembers the existence of the porch, but does not recall more details. When Tim and Sally Eller purchased the house there were two doorways, one on the first floor and one in the second that lead to the outside where the porch previously was. The doorways are no longer there. While the doors were locked to prevent someone from falling out, the Eller's felt it was more safe to remove the doorways.

Stephen Eller

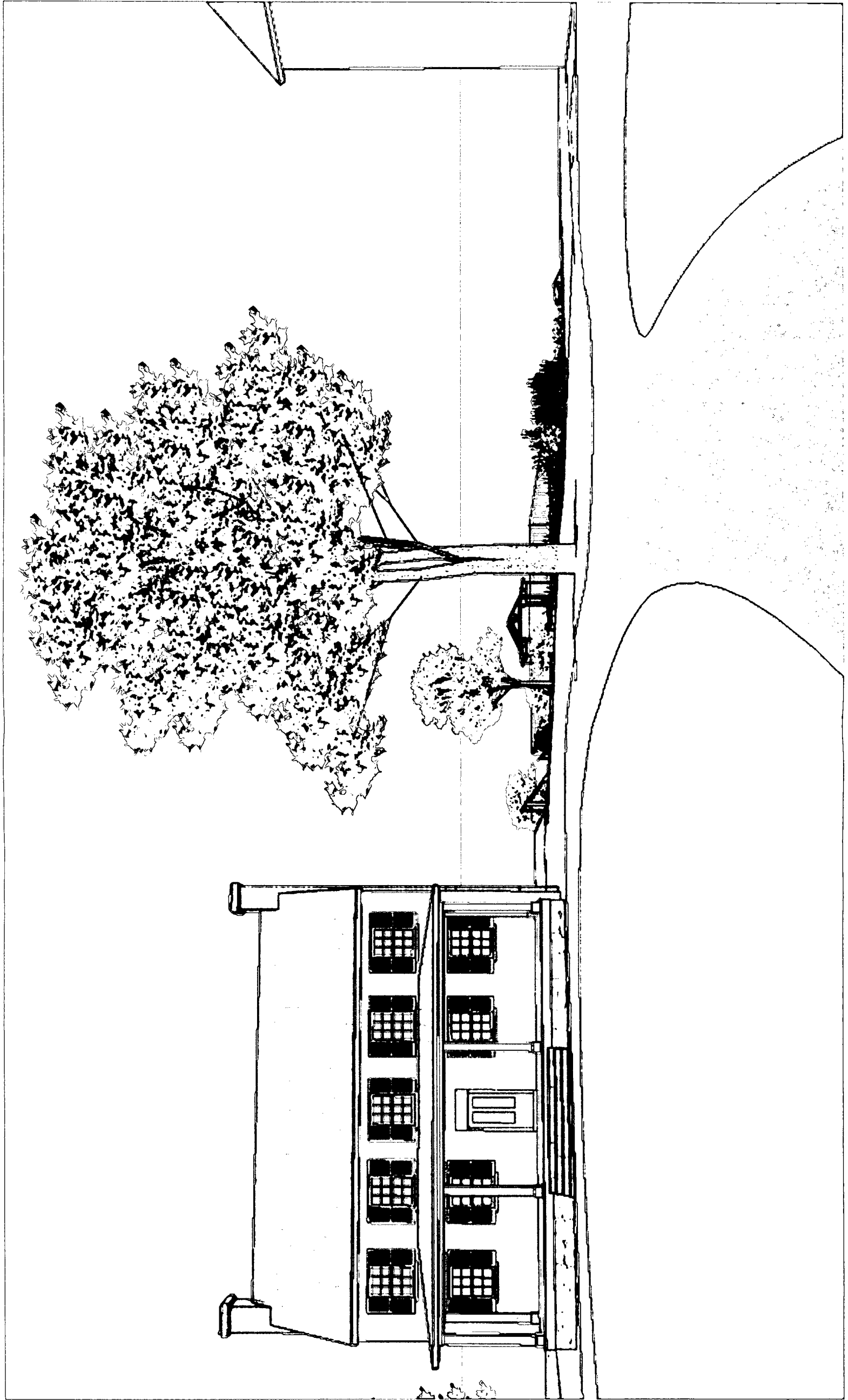
Email and AIM finally together. You've gotta check out free [AOL Mail!](#)

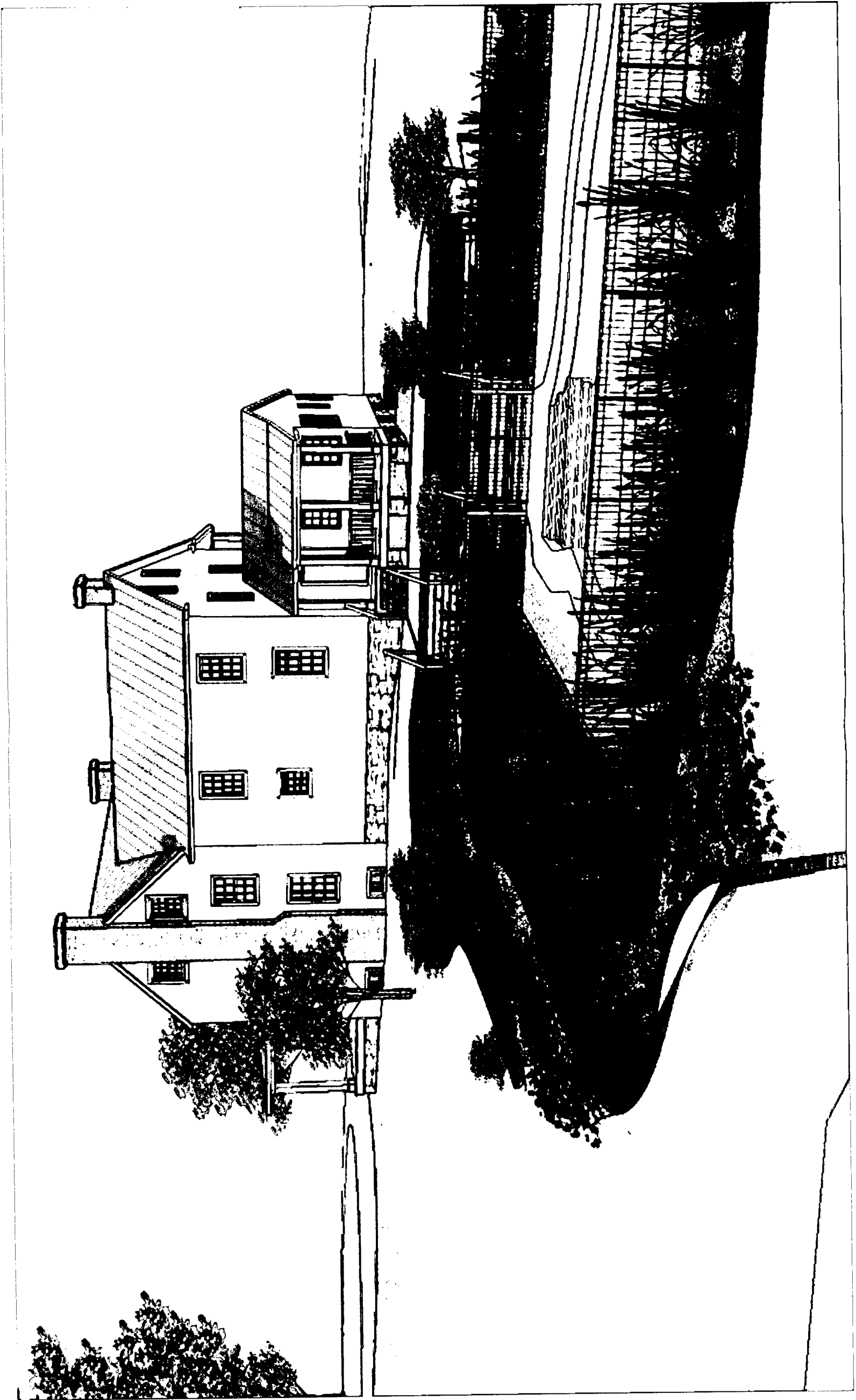


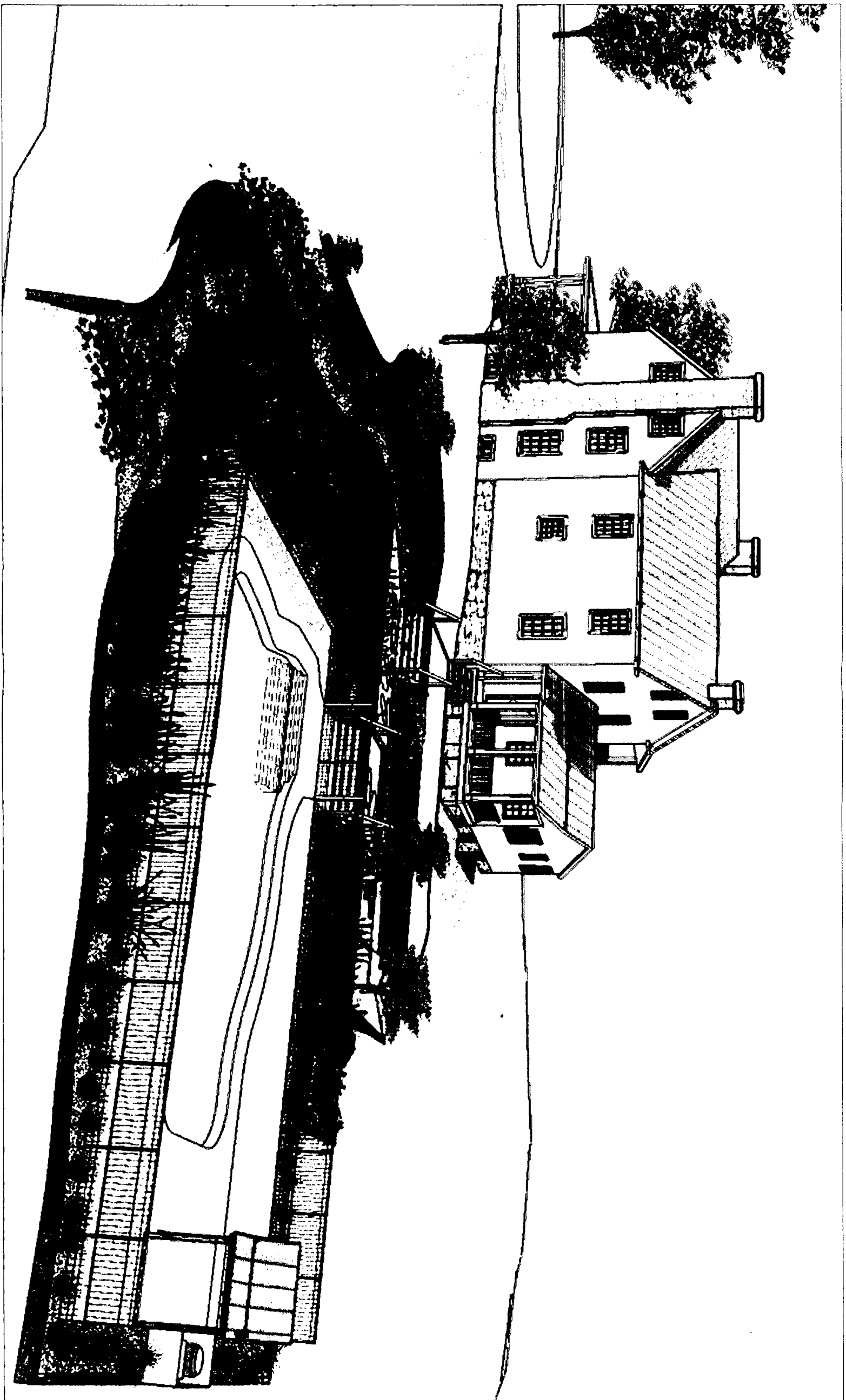


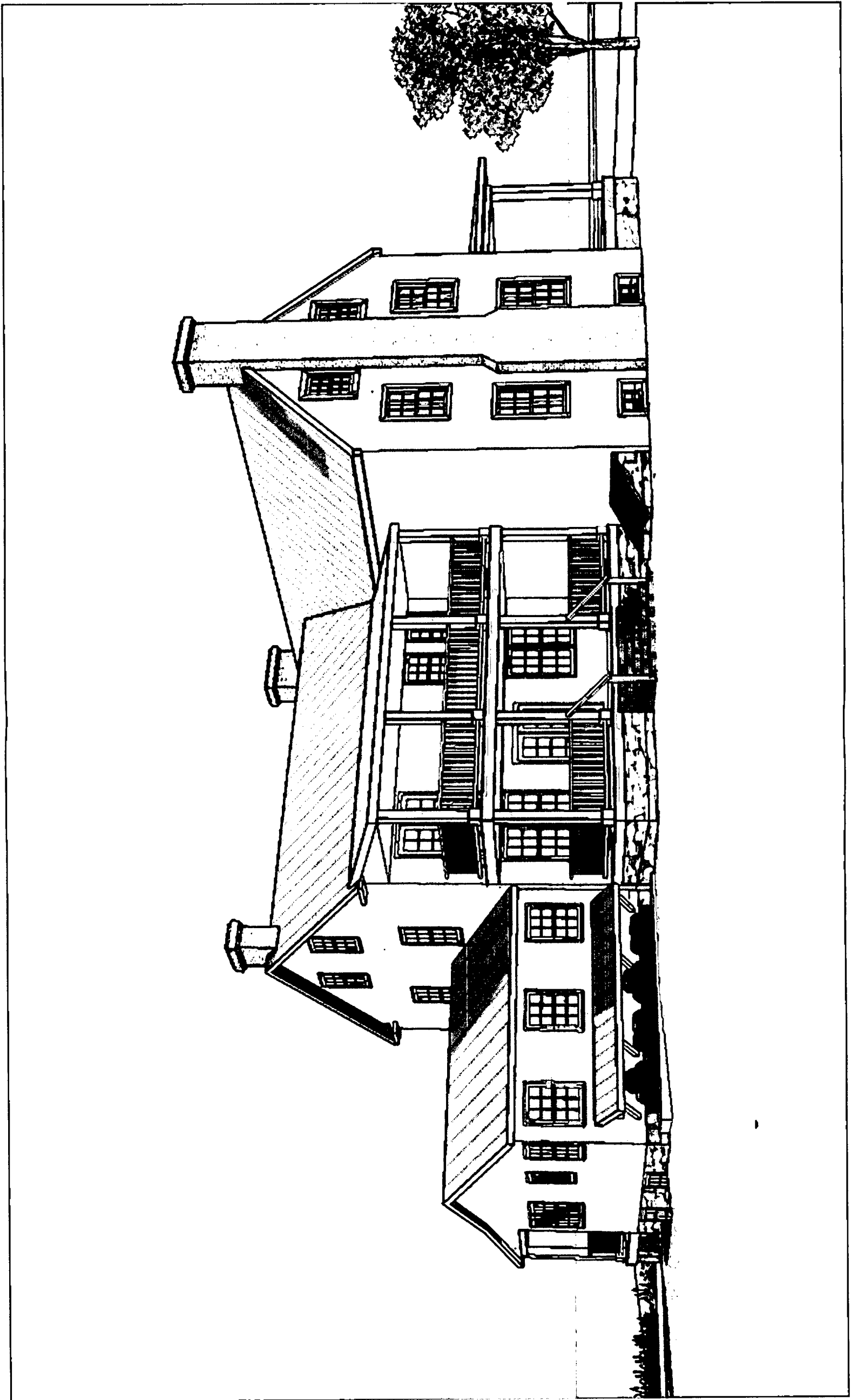












HISTORIC PRESERVATION

Accession Number:

17-10

Box Number:

4

Contents:
Poolesville

18/23 -- 2004
18/39 Prelim 2001

16510 Sugarland Road
14525 Montevideo Road

Pleasant Fields

19/01-11A

12585 Milestone Manor Lane

Neelsville Presbyterian Church

19/05-11A

20701 Frederick Road

Bussard Farm

22/7-12B
22/7-12A
22/7-11C

18400 Muncaster Road
18400 Muncaster Road
18400 Muncaster Road

Samuel F. Robertson House

22/34 Prelim 2009

6825 Needwood Road

Conrad Royer House

23/05 Prelim

5900 Damascus Road

Falling Green

23/57-05A

4501 Olney-Laytonsville Road

Locust Hill

23/59-11A

4415 Brookeville Road

Brookeville Historic District

23/65 Prelim
23/65 Prelim
23/65-13D
23/65-12A
23/65 Prelim
23/65-13B
23/65 Prelim 2011
23/65-12D
23/65-11C
23/65-11A
23/65-13A
23/65-10D
23/65-10A
23/65-14A
23/65 Prelim
23/65-13C
23/65-12F
23/65 Prelim 2011
23/65-11D
23/65-10C
23/65-12C
23/65-10E

Parcel 700 Brookeville
Parcel 700 Brookeville
5 High Street
203 Market Street
203 Market Street
205 Market Street
205 Market Street
209 Market Street
210 Market Street
301 Market Street
306 Market Street
309 Market Street
312 Market Street
313 Market Street
1 North Street
1 North Street
2 North Street
4 North Street
4 North Street
9 North Street
13 North Street
17 North Street

Brookeville Woolen Mill & House

23/69-12A
23/69 Prelim 2002

1903 Brighton Dam Road
1903 Brighton Dam Road

Riverton

23/90 Prelim

1201 Gold Mine Road