

25/22-04A 11015 Glen Road
MP #25/22 Edward & Ruth Beale Hse




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: 9-23-04

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved

Approved with Conditions

and HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Reza Pahlavi

Address: 11015 Glen Rd. Potomac, MD 20854

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: IRVING ROBINSON

Daytime Phone No.: 2375 3514

Tax Account No.: _____

Name of Property Owner: REZA PAHLAVI Daytime Phone No.: _____
Address: 11015 GLEN ROAD POTOMAC MARYLAND 20854
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: IRVING L. ROBINSON Daytime Phone No.: 2375 3514

LOCATION OF BUILDING/PREMISE

House Number: 11015 Street: GLEN ROAD
Town/City: POTOMAC Nearest Cross Street: PINEY MEETING HOUSE ROAD
Lot: 21 Block: B Subdivision: PINEY FARMS
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 144,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

8/21/04
Date

Approved: 356567 ✓ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 9-23-04

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

25' X 40' ADDITION AT THE REAR OF GARAGE
3' STORY ADDITION

BASEMENT - WITH BATHROOM / KITCHENETTE

1ST FLOOR 1 BATHROOM 3 BEDROOM

2ND FLOOR CONFERENCE ROOM

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

25' X 40' AT THE REAR OF EXISTING GARAGE

ALL CURRENTLY USED MATERIALS I.E SIDING AND

SHINGLES WILL BE THE SAME AS EXISTING

* NO EFFECT ON HISTORIC RESOURCES

* NO EFFECT ON ENVIRONMENTAL SETTING

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

a. the scale, north arrow, and date;

b. dimensions of all existing and proposed structures; and

c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.

b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.

b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

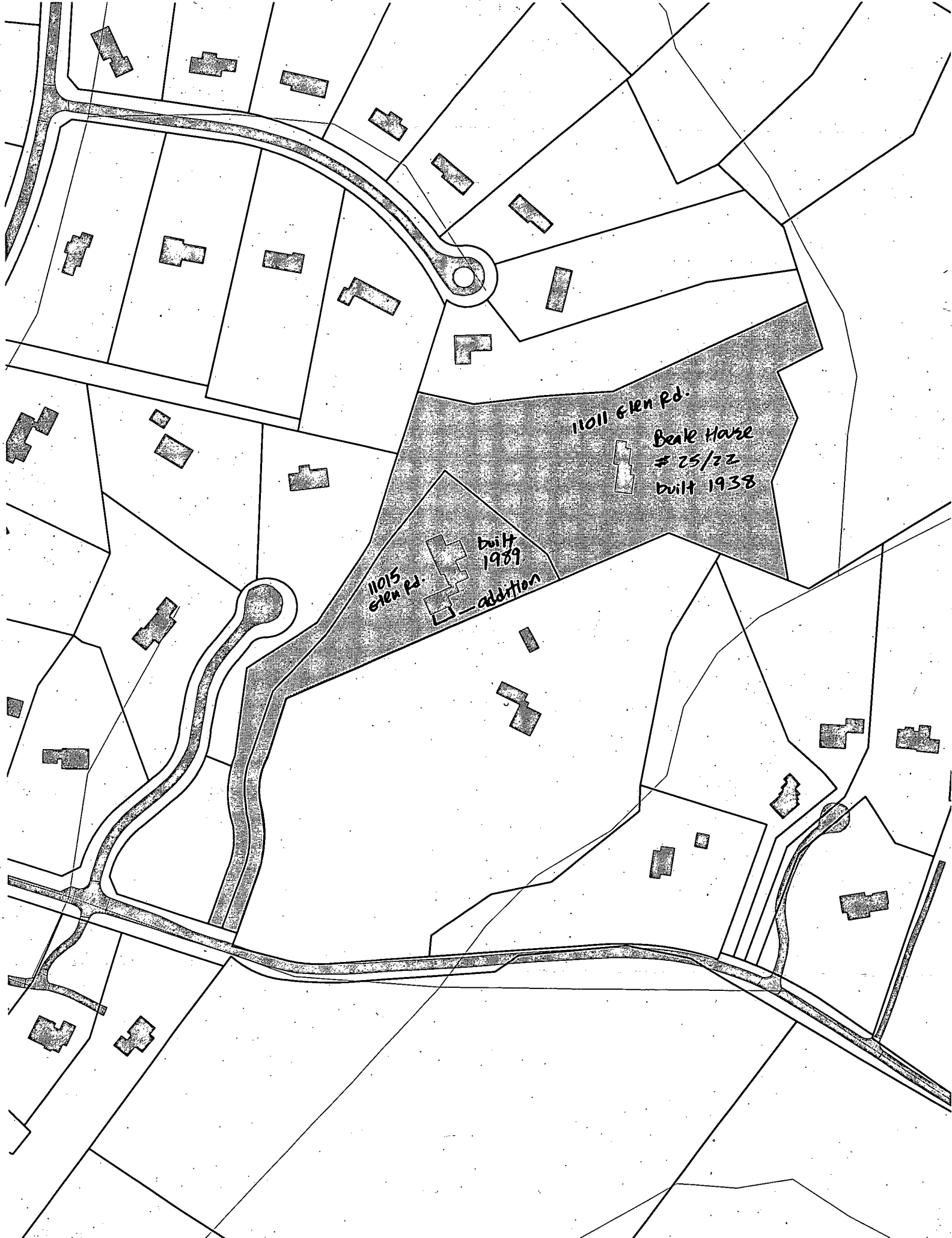
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



11011 Glen Rd.
Beale House
25/22
built 1938

11015
Glen Rd.
built
1989
addition

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	11015 Glen Road, Potomac	Meeting Date:	09/22/04
Applicant:	Reza Pahlavi	Report Date:	09/15/04
Resource:	Master Plan Site #25/22 Edward and Ruth Beale House	Public Notice:	09/08/04
Review:	HAWP	Tax Credit:	None
Case Number:	25/22-04A	Staff:	Anne Fothergill

PROPOSAL: Construction of rear addition to garage

RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Master Plan Site #25/22 Edward and Ruth Beale House
STYLE: Colonial Revival
DATE: 1938

The Edward and Ruth Beale House at 11011 Glen Road originally sat on 500 acres of land, but the property has been subdivided over the years and now has approximately 6 ½ acres. In 1989, a new house was built within the Beale House's environmental setting. The current HAWP application is for the house built in 1989, 11015 Glen Road, not the historic house.

PROPOSAL

The applicants are proposing to construct an addition at the rear of their three-car garage which was built at the time the house was built in 1989. The addition would be 3 stories (including basement) and would be 25' deep by 40' wide, the same dimensions as the existing garage. The new roof would be lower than the existing garage roof. The materials for the new addition include siding and shingles to match the existing garage.

STAFF DISCUSSION

Staff used the Secretary of the Interior's *Standards for Rehabilitation* as a guide, specifically:

Standard #1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided;

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

This house at 11015 Glen Road is sited more than 300 feet away from the historic house and sits 22' lower than the historic house. Between the two houses are many mature trees that provide screening between the two buildings. The back of the garage faces away from the historic house so the proposed rear addition would have no effect on this historic resource. Staff is recommending approval.

STAFF RECOMMENDATION

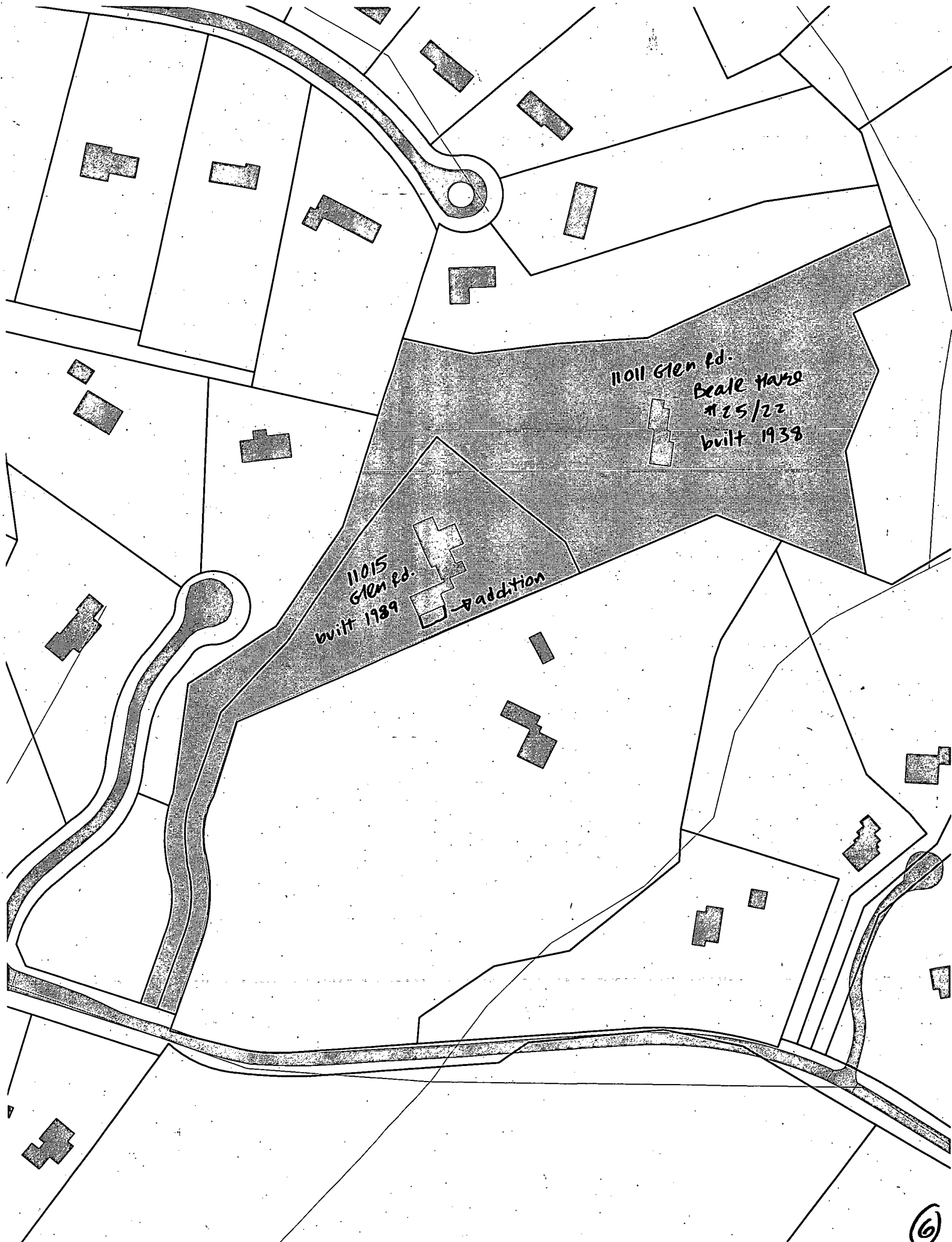
Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation* #9:

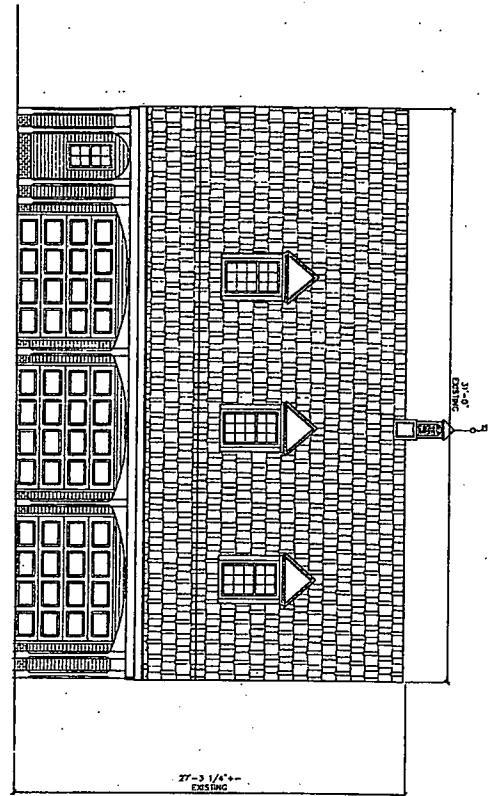
New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

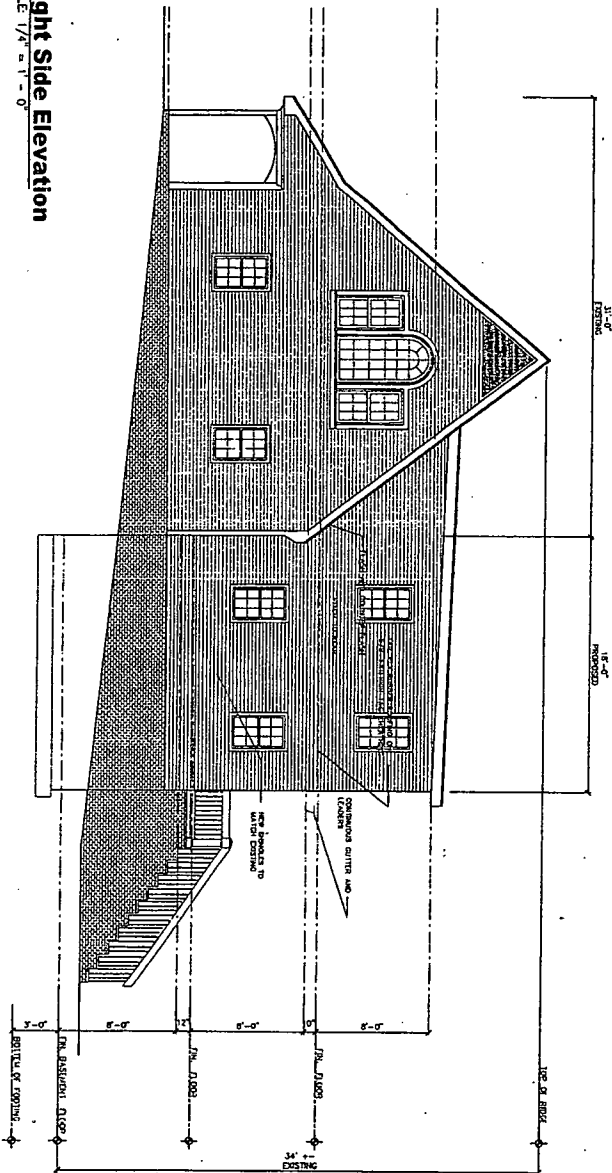


11011 Glen Rd.
Beale House
#25/22
built 1938

11015
Glen Rd.
built 1989
- addition



1 Front Elevation
SCALE 1/4" = 1'-0"

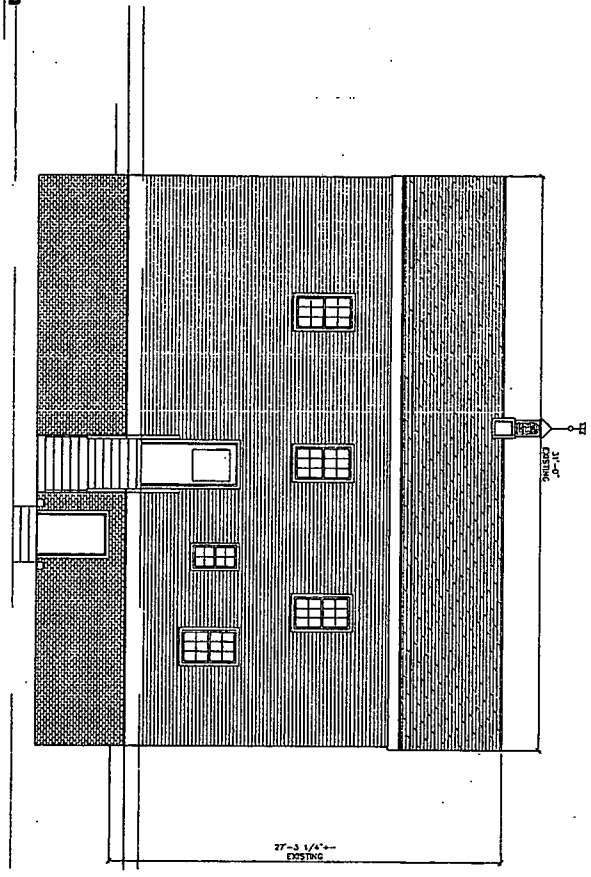


2 Right Side Elevation
SCALE 1/4" = 1'-0"

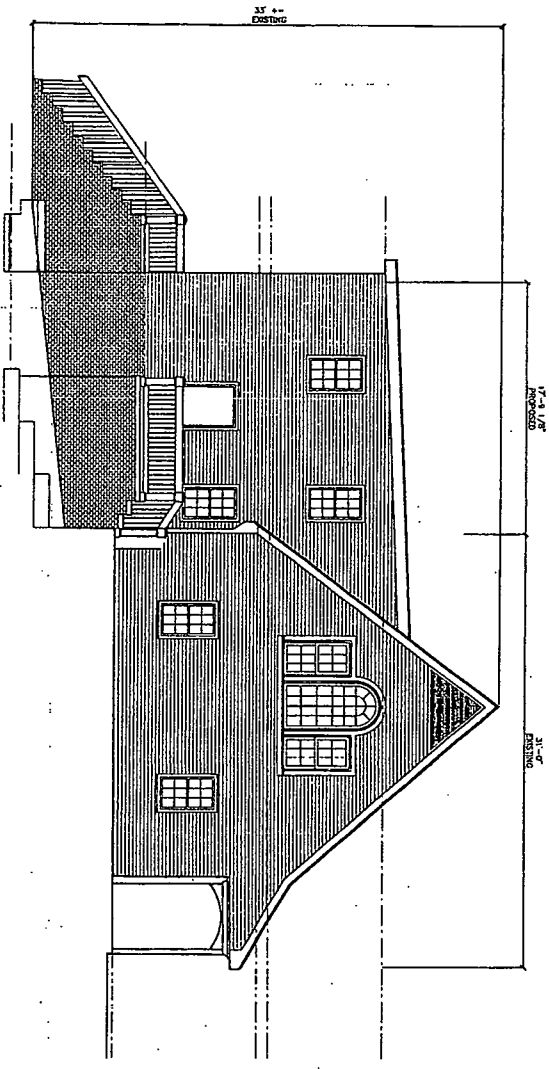
1	2004CF	Drawing: RIGHT & FRONT ELEVATIONS	Date: 7/29/04	DATE	REVISION	DATE	REVISION
	Project No.	Project: ADDITION FOR MR. REZA PALAVI 11015 GLEN ROAD POTOMAC MD CATHERINEFRANCOARCHITECT&PLANNER 14 Hennessey Blvd, Atlantic Highlands, NJ 07716	Scale: NOTED	Drawn: CF			
		Checked: LW					

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

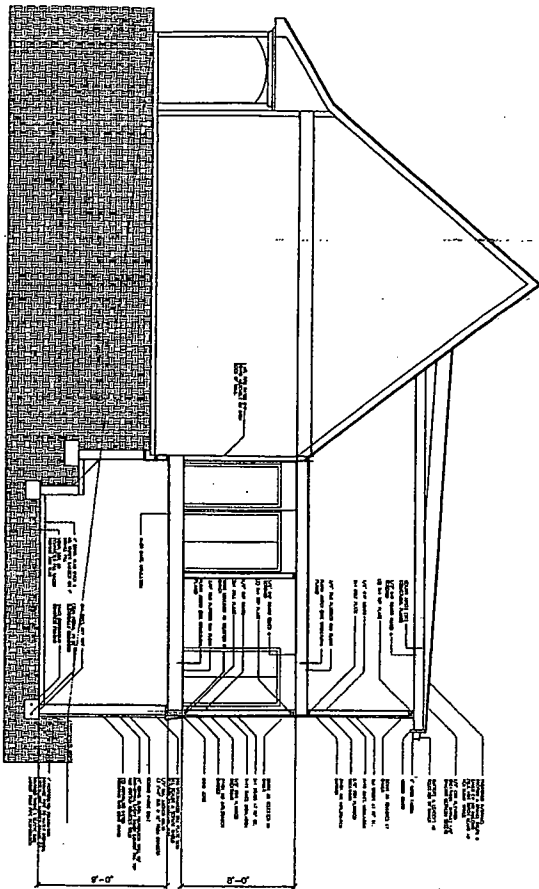
1 Rear Elevation
SCALE: 1/8" = 1'-0"



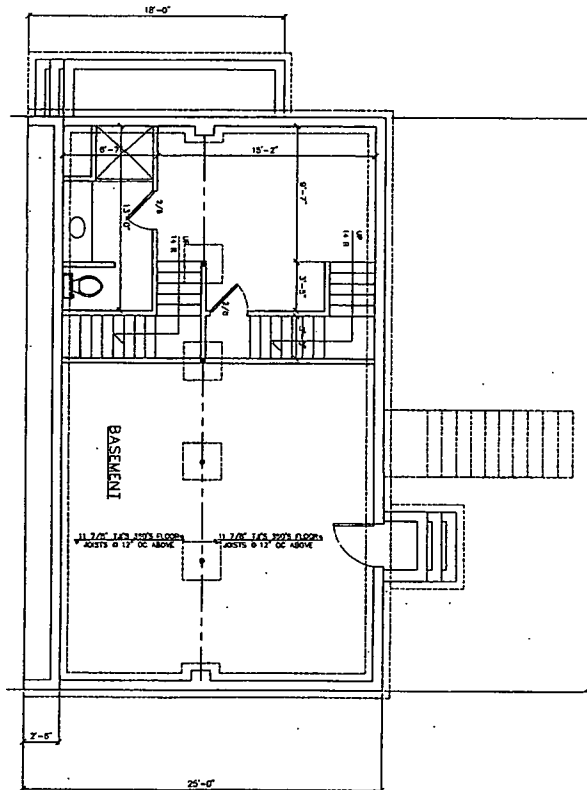
2 Left Side Elevation
SCALE: 1/8" = 1'-0"



2	2004E	Drawing: LEFT & REAR ELEVATIONS	Date: 7/29/04	DATE	REVISOR	DATE	REVISION
	Project No.	Project: ADDITION FOR MR. REZA PALAVI 11015 GLEN ROAD POTOMAC MD CATHERINE FRANCO ARCHITECT & PLANNER 14 Hennessey Blvd. Atlantic Highlands, NJ 07718	Scale: NOTED Drawn: CF Checked: LW				
Plymouth Road Architects			640 Plymouth Road, Catonsville, MD 21229 410-788-0281				



3 Building Section
SCALE: 1/4" = 1'-0"



2 Foundation Plan
SCALE: 1/4" = 1'-0"

3

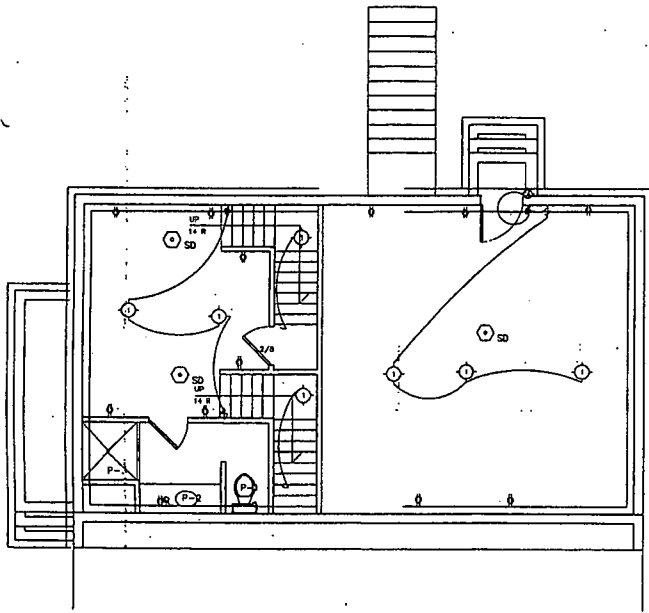
2004CF
Project No.

Drawing: BASEMENT PLAN & SECTION
Project: ADDITION FOR MR. REZA PALAVI
11015 GLEN ROAD POTOMAC MD
CATHERINE FRANCO ARCHITECT/PLANNER
14 Hennessey Blvd. Atlantic Highlands, NJ 17716

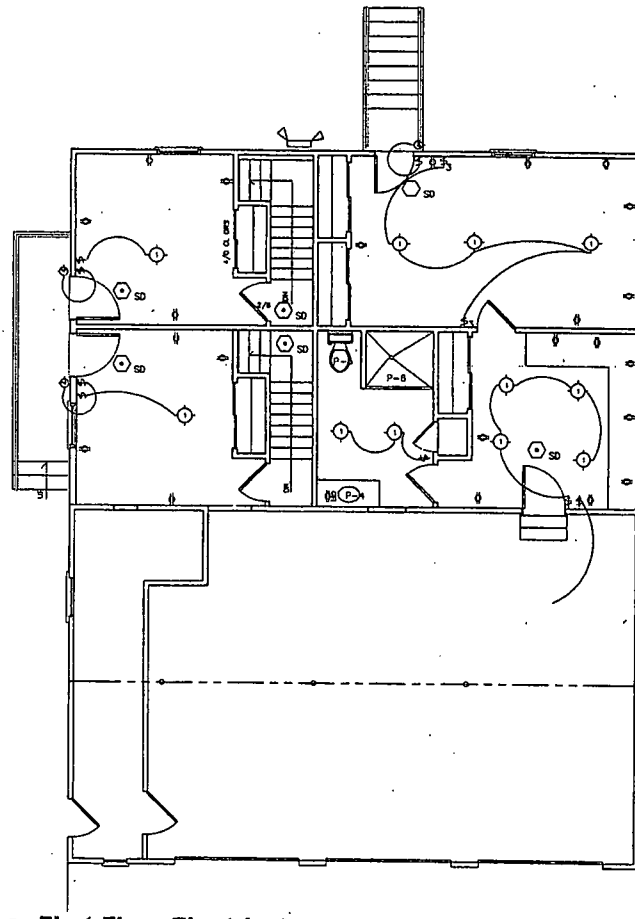
Date: 7/29/04
Scale: NOTED
Drawn: CF
Checked: LW

DATE	REVISION	DATE	REVISION

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281



① **Foundation Electrical**
SCALE: 1/4" = 1' - 0"



② **First Floor Electrical**
SCALE: 1/4" = 1' - 0"

DATE:	REVISION:
DATE:	REVISION:

Date: 7/29/04
 Scaled: 1/4" = 1'-0"
 Drawn: CF
 Checked: LW

2004CF
 Project No.

5

Drawing: ELECTRICAL PLANS
 PROJECT: ADDITION FOR MR. BEZA PALANI
 11012 CLAY ROAD, POTOMAC, MD
 CATHERINE FRANCO ARCHITECT & PLANNER
 14 WILKINSON BLVD., ANNAPOLIS, MARYLAND 21403

GENERAL NOTES

SOIL

ASSUMED SOIL BEARING CAPACITY 4500 P.S.F. CONTRACTOR SHALL VERIFY...

GENERAL CONDITIONS

THE OWNER/CONTRACTOR AGREEMENT SHALL BE A.A.A. DOCUMENT STANDARD...

PROVISIONS OF GENERAL CONDITIONS AND SUPPLEMENTAL GENERAL CONDITIONS...

COPIES OF THE A.A.A. DOCUMENT A101 MAY BE REFERRED TO IN THE OFFICE OF THE ARCHITECT.

THESE GENERAL CONDITIONS SHALL APPLY TO ALL TRADES UNDER THIS CONTRACT.

THE CONTRACTORS SHALL INCLUDE IN BIDS WITHOUT EXTRA COST TO THE OWNER...

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR EXISTING CONDITIONS.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDUCT OF THE WORK.

PROTECT ALL CONSTRUCTION AND/OR MATERIALS FROM INCLEMENT WEATHER AND TAKE PRECAUTIONS TO PREVENT THEFT.

NO EXTRA SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

GENERAL REQUIREMENTS

WORK OF ALL SECTIONS AS SHOWN OR AS SPECIFIED SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODES APPLICABLE TO THE WORK TO BE DONE.

ALLOWANCES WILL BE MADE AS PER ARCHITECT OR OWNER INSTRUCTION, IF A MATERIAL IS NOT SPECIFIED ON DRAWINGS...

PAINTS, FINISHES AND GUARANTEES

CONTRACTOR TO PROVIDE AND PAY FOR ALL PERMITS AND INSPECTION FEES AS REQUIRED BY THE ARCHITECT.

WORKMANSHIP CONSIDERATION: EACH CONTRACTOR SHALL CARRY PUBLIC LIABILITY INSURANCE.

ALTERNAIVES/ALTERNATIVES

THE ARCHITECT WILL CONSIDER PROPOSALS FOR SUBSTITUTION OF MATERIALS...

ALTERATION OF EXISTING WORK

DRAWINGS AND GENERAL PROVISIONS OF THIS CONTRACT, INCLUDING GENERAL CONDITIONS AND ALL OTHER WORKS COVERED BY THIS SECTION.

CONTRACTOR TO VERIFY ALL FINISH GRADES AT PLUMBING CORNERS...

LANDSCAPING

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE SLABS ON FRAME

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

DO NOT ALLOW ANY OF THE WORK PERFORMED OR INSTALLED TO BE COVERED BEFORE ALL REQUIRED INSPECTIONS, TESTS AND APPROVALS...

GRADING

LANDSCAPING

CONCRETE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

CONCRETE SLABS ON GRADE

CONCRETE REINFORCEMENT

STRUCTURAL METALS FRAMING

WOOD AND PLASTICS

ROUGH CARPENTRY AND LUMBER

FINISH CARPENTRY AND MILLWORK

FASTENERS AND ADHESIVES

FINISH CARPENTRY AND MILLWORK

FASTENERS AND ADHESIVES

FINISH CARPENTRY AND MILLWORK

FASTENERS AND ADHESIVES

FINISH CARPENTRY AND MILLWORK

FASTENERS AND ADHESIVES

FINISH CARPENTRY AND MILLWORK

FASTENERS AND ADHESIVES

FINISH CARPENTRY AND MILLWORK

FASTENERS AND ADHESIVES

FINISH CARPENTRY AND MILLWORK

FASTENERS AND ADHESIVES

Plymouth Road Architects

640 Plymouth Road, Catonsville, MD 21229 410-788-0281

Table with columns: DATE, REVISION, and rows for tracking changes.

Date: 7/29/04

Scale: NONE

Drawn: CF

Project: 11010 REZALYND

Project: 11010 REZALYND

Project No. 2004CF



RICHARD L. ARNTZ
Landscape Architect
1007 Q Street, Suite 200
Washington, D.C. 20007
Phone: 202-331-9911

Topographic work sheet
Lot 21 Block B
PINEY GLEN FARMS
Potomac (CD) District
Montgomery County, Maryland

Pahlavi Residence
11015 Glen Road, Potomac, MD

