25/22-04A 11015 Glen Road *MP* #25/22 **Edward & Ruth Beale Hse**



Date:_	9-23-04	

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TO:	Robert Hubbard, Director				
FROM:	Gwen Wright, Coordinator Historic Preservation	り			
SUBJECT:	Historic Area Work Permit				
Historic Area	mery County Historic Preservation a Work Permit. This application		as reviewed the	attached applicat	tion for a
App	proved	•		<i>F</i>	
App	proved with Conditions	· · ·			
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	DING PERMIT FOR THIS PROJ	ECT SHALL BE	E ISSUED CONI	OITIONAL UPO	N
ADHEREN	CE TO THE APPROVED HISTO	ORIC AREA WO	ORK PERMIT (F	IAWP).	
Applicant:	Reza Pahlavi		· · · · · · · · · · · · · · · · · · ·	·	<i>:</i>
Address:	1015 Blen Rd.	Potoma	C, MD	20854	
and subject t	o the general condition that, afte	r issuance of the	Montgomery Co	unty Department	t of

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at http://permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work



Edit 6/21/99

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR

Tax Account No.: Daytime Phone No. Contractor: Phone No : Contractor Registration No.: Agent for Owner: _ | RVING (140S) House Number: MEETING HOUSE 21 PART ONE: TYPE OF PERMIT ACTION AND USE 1A. CHECK ALL APPLICABLE: **CHECK ALL APPLICABLE:** □ Construct X Extend ☐ Alter/Renovate ☐ A/C ☐ Slab Room Addition ☐ Porch ☐ Deck ☐ Shed ☐ Move ☐ Instali ☐ Wreck/Raze ☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Revision ☐ Repair ☐ Revocable ☐ Fence/Wall (complete Section 4) 1B. Construction cost estimate: 1C. If this is a revision of a previously approved active permit, see Permit # PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS 02 X Septic 2A. Type of sewage disposal: 01 D WSSC 03 Other: Type of water supply: 01 U WSSC 02 🗆 Well 03 (Other: PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and Thereby acknowledge and accept this to be a condition for the issuance of this permit. nature of owner or authorize Signature: Disapproved: Application/Permit No.

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THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

1. WRITTEN DESCRIPTION OF PROJECT

a.	Description of existing structure(s) and environmental setting, including their historical features and significance:
	3' STORY ADDITION
	BASEMENT - WITH BATHROOM / KITCHENETT
	15 FLOOR 1 BATHROOM 3 BEDROOM
	2ND FLOOR CONFERENCE ROOM

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

25 × 40 AT THE REAR OF EXISTING GARAGE

ALL CURRENTLY USED MATERIALS 1, E SIDING AND

SHINGLES WILL BE THE SAME AS EXISTING

NO EFFECT ON HISTORIC RESOURCES

NO EFFECT ON ENVIRONMENTAL SETTING

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context.

 All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

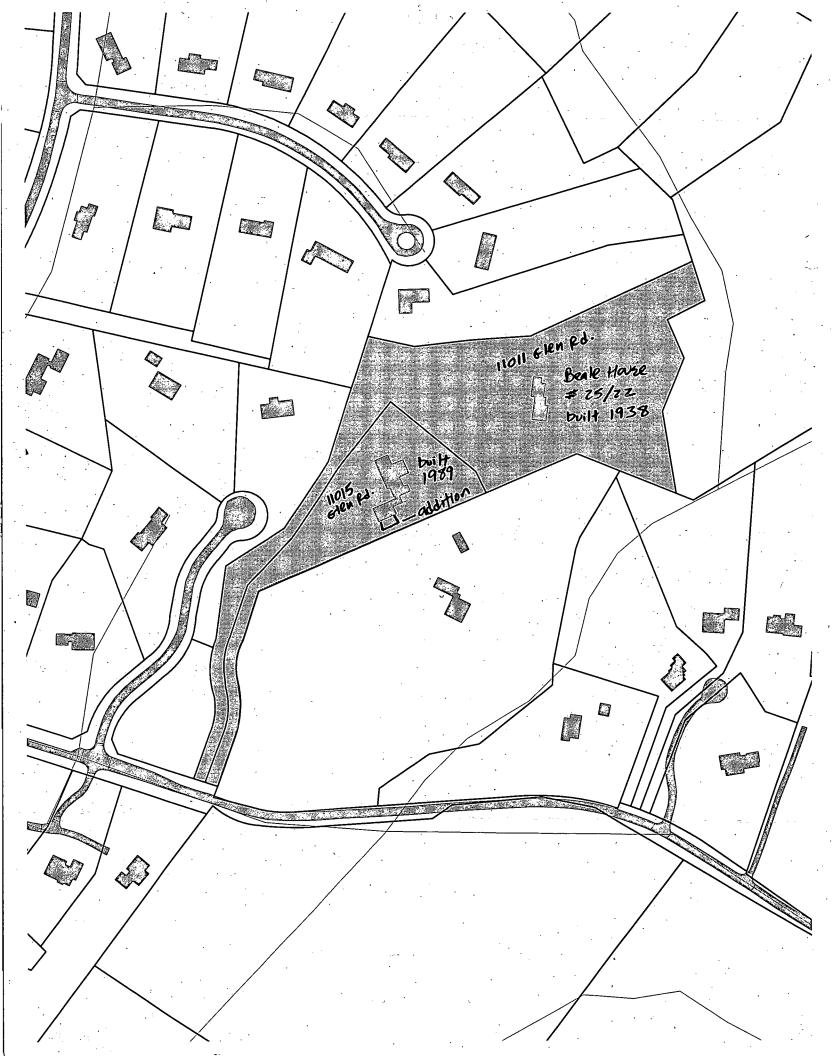
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6° or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

11015 Glen Road, Potomac

Meeting Date:

09/22/04

Applicant:

Reza Pahlavi

Report Date:

09/15/04

Resource:

Master Plan Site #25/22

Edward and Ruth Beale House

Public Notice:

09/08/04

Review:

HAWP

Tax Credit:

None

Case Number: 25/22-04A

Staff:

Anne Fothergill

PROPOSAL:

Construction of rear addition to garage

RECOMMEND:

Approval

PROJECT DESCRIPTION

SIGNIFICANCE:

Master Plan Site #25/22 Edward and Ruth Beale House

STYLE:

Colonial Revival

DATE:

1938

The Edward and Ruth Beale House at 11011 Glen Road originally sat on 500 acres of land, but the property has been subdivided over the years and now has approximately 6 ½ acres. In 1989, a new house was built within the Beale House's environmental setting. The current HAWP application is for the house built in 1989, 11015 Glen Road, not the historic house.

PROPOSAL

The applicants are proposing to construct an addition at the rear of their three-car garage which was built at the time the house was built in 1989. The addition would be 3 stories (including basement) and would be 25' deep by 40' wide, the same dimensions as the existing garage. The new roof would be lower than the existing garage roof. The materials for the new addition include siding and shingles to match the existing garage.

STAFF DISCUSSION

Staff used the Secretary of the Interior's Standards for Rehabilitation as a guide, specifically:

Standard #1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided;

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

This house at 11015 Glen Road is sited more than 300 feet away from the historic house and sits 22' lower than the historic house. Between the two houses are many mature trees that provide screening between the two buildings. The back of the garage faces away from the historic house so the proposed rear addition would have no effect on this historic resource. Staff is recommending approval.

STAFF RECOMMENDATION

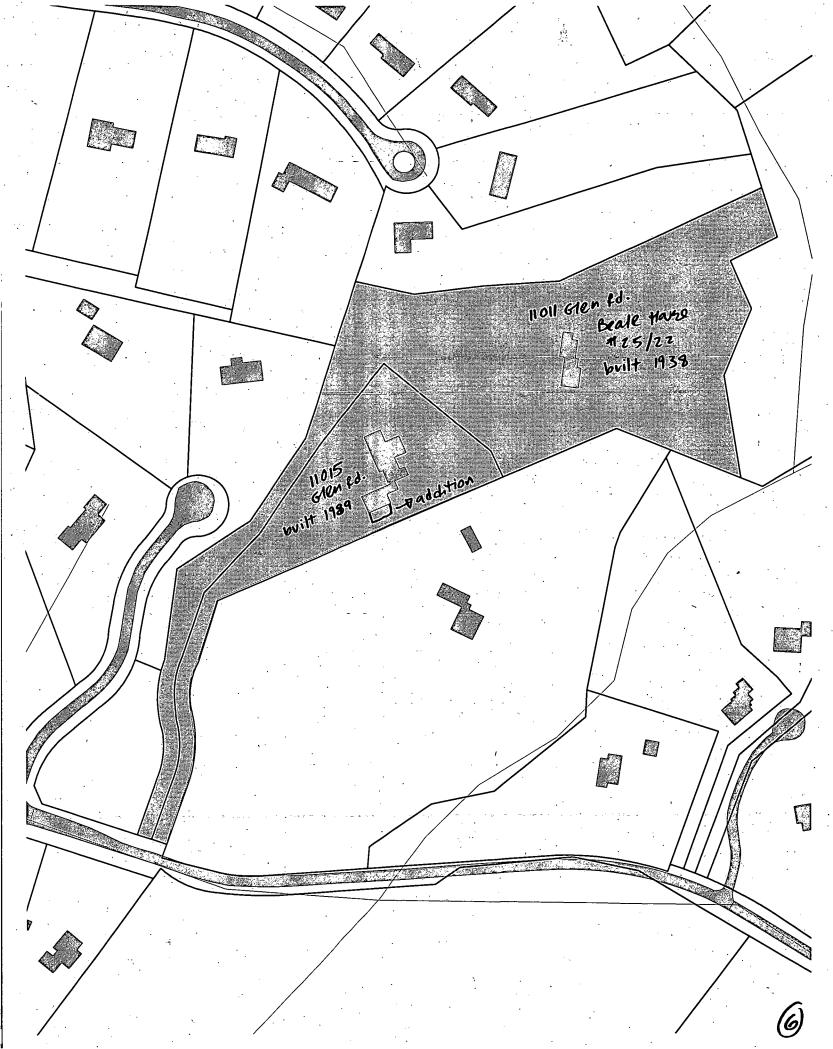
Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's Standards for Rehabilitation #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that the applicant will present <u>3 permit sets of drawings</u> to HPC staff for review and stamping prior to submission for permits (if applicable). After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at <u>www.permits.emontgomery.org</u> prior to commencement of work <u>and</u> not more than two weeks following completion of work.

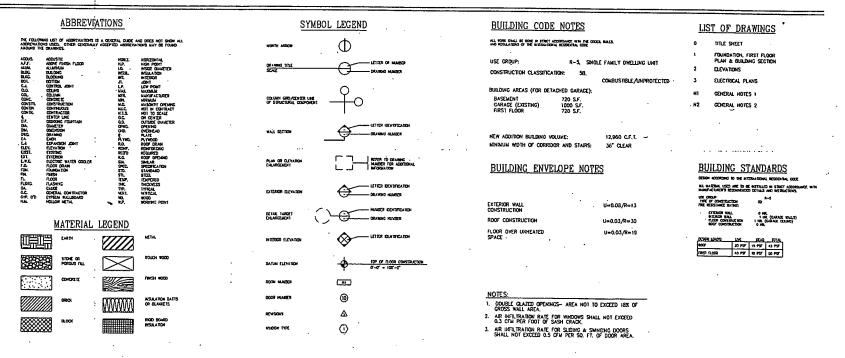


MR. REZA PAHLAVI

BLOCK NO. B LOT NO. 21

POTOMIC DISTRICT, MARYLAND

FRANCOARCHITECTS&PLANNERS,P.A.,P.P. architecturedevelopmentstrategiesplanning 14 HENNESSEY BOULEVARD, ATLANTIC HIGHLANDS, NEW JERSEY 07716



Plymouth Road Architects

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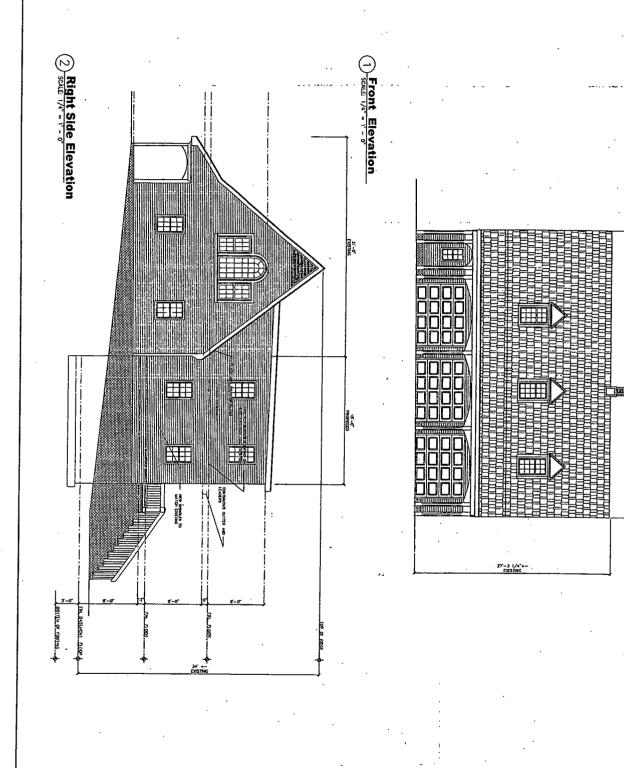
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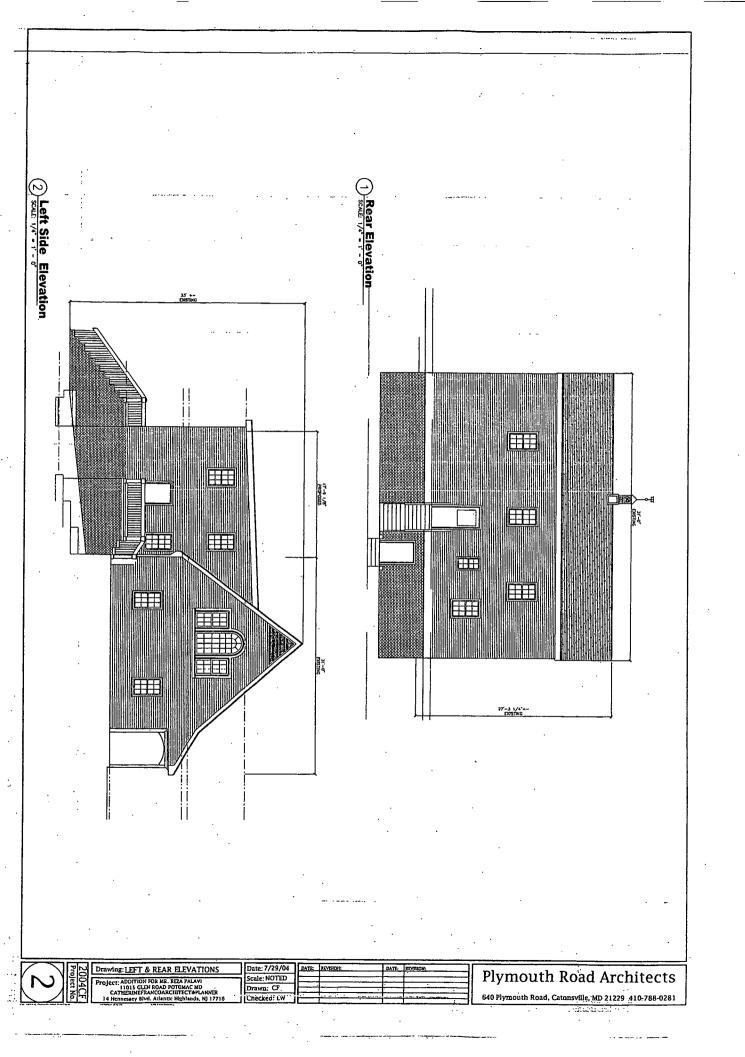
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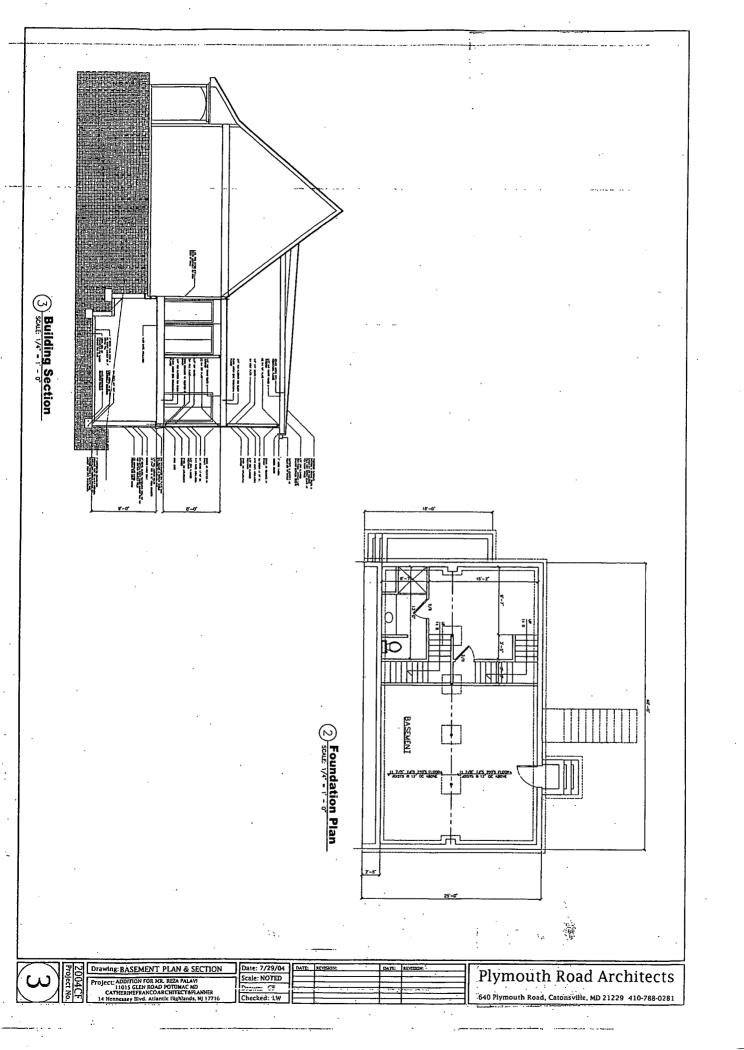
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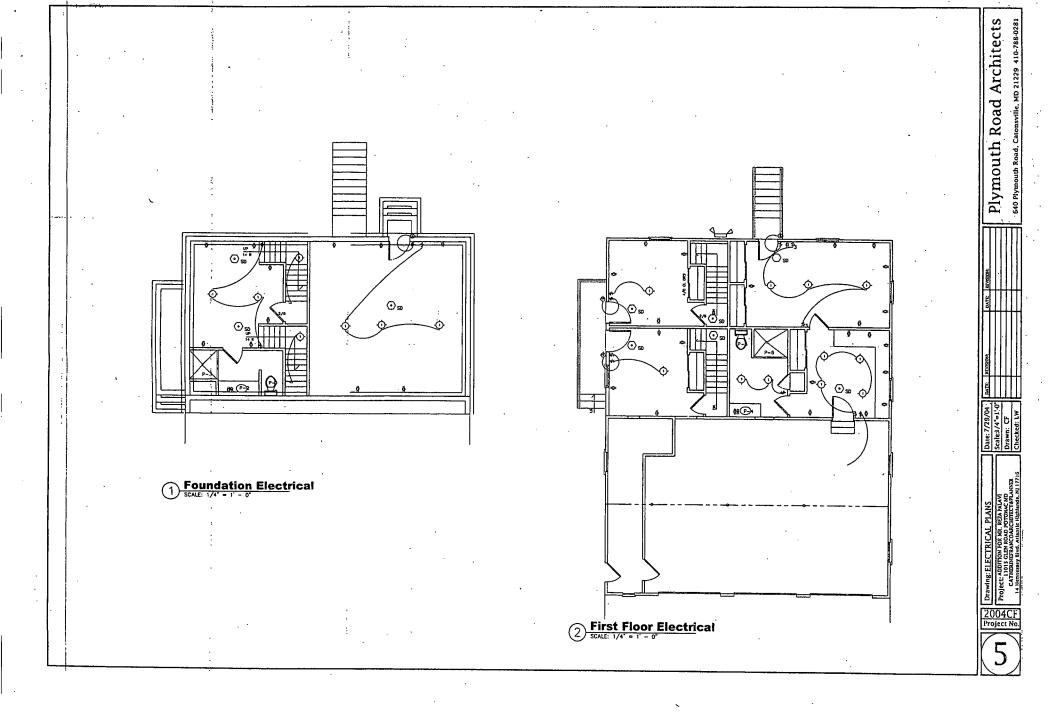


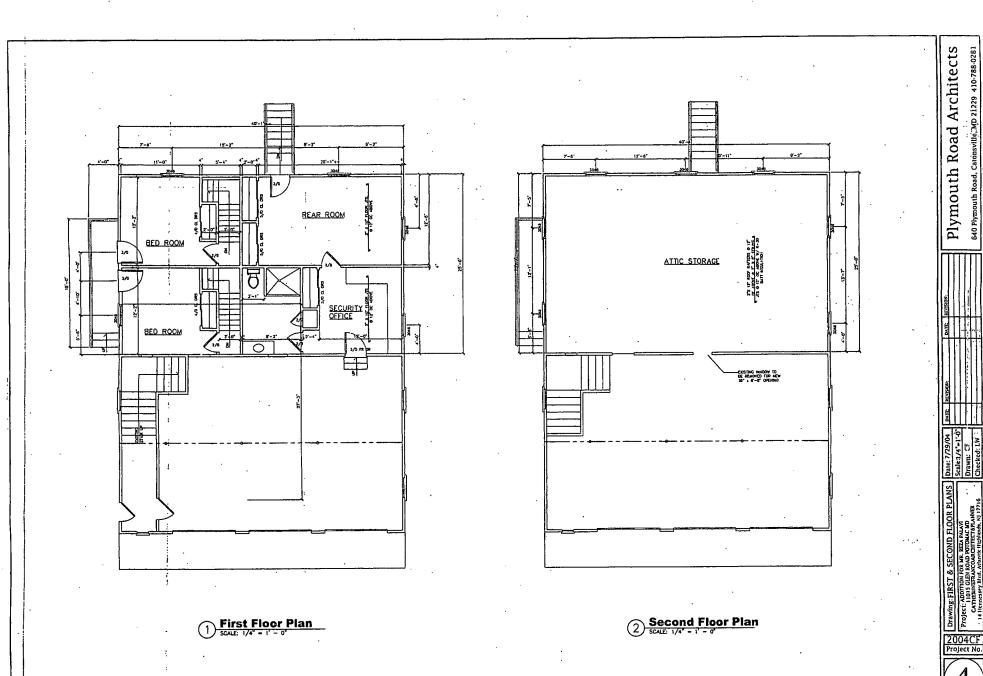


| Drawling: RIGHT & FRONT ELEVATIONS | Date: 7/29/04 | Date: |









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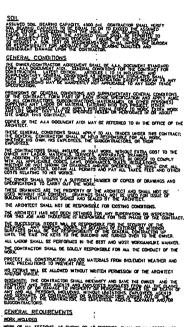
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Plymouth Road Architects

640 Plymouth Road, Catonsville, MD 21229 410-788-0281

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US NOT ALLOW ANY OF THE WORK PURFORMED OR INSTALLED TO BE COVERED PROPERTY OF ALL RECORDS INSPECTIONS TESTS AND APPROVALS. SHOULD ANY OF THE MORE SECTIONS TO SECTION APPROVALS, MICHIGAN ALL SUCH WORK AT MIS ADDITIONAL COLUMN THE MORE AT MIS ADDITIONAL COLUMN THE MORE AT MIS ADDITIONAL COLUMN TO ADDITIONAL COLUMN THE ADDITIONAL C COMPLAYING TO YEARY ALL PHINS GRACES AT PRIBONG CORNETS. THE DOLLTON OF ALL POWERS CHIEF TOO HAVE ON BELL AT MILE BROWN PHINS OF BROKE. FOOLINGS TO BE STOPPED AS PINE COME WHERE HEAVIRED TO CONTOME TO THE BROWNES SIE. THE CONTRACTOR SHALL GENIC THE FUSSIED CRACES TO THE LARTS SHOWN ON THE GRAWNICS ALL CHARMS SHALL BY DOWN TO DIRECT WILL BURNAY WATER WATER AWAY FROM THE BURNAY WITH A HUMBHUR STOP OF THE FEET OF THE GRADE SHALL BY CLEAN, FREL OF ROOTS, DEBRIS, ETC. AND SHALL BE RAVED TO A SHADOW SHOWN PARKING AND DRIVEWAY MATERIAL TO BE SUPPLIED BY OWNER, UNLESS OTHERWISE STATED IN COMPACT DOCUMENT, GRADING SHALL BY THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED ON THE DRAINING OF THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED ON MATERIALS AND LEDGE FOR PLANING WILL BE SUPPLIED BY THE OWNER ON THE STATES OTHER STATES AT THE CONTRACTOR THE GENERAL CONTRACTOR WILL CONTRACTOR.

SHALL COORDINATE WINT THE LANDSCAME CONTRACTOR WITH REQUIRED. ALL LABOR, WATERIALS, EQUIPMENT AND SERVICES TO COMPLETE ALL THE WORM AS REQUIRED BY THE SPECIFICATION AND THE ACCOMPANYING DRAWINGS. CONCRETE REINFORCEMENT ALL RENFORCING STEEL SHALL BE DEFORMED HI-BOND BARS TO CONFORM TO THE LATEST ASIM SPECIFICATIONS ASIS GRADE 80. ALL INTERIOR FLOOR SLABS SHALL BE 4" TIGCK, GARACE SLAB TO BE 4" THICK, REINFORCED WITH 6X5, 10/10 WILDED WIRE MESH (ASIM A185) MINIMUM CAP OF 8" SIDEWALK SLABS TO BE BROOM FINISHED. 4" COMPACTED THOCOCKS OF CRUSHED STONE UNDER ALL CONCRETE SLABS ON GRADE AS SHOWN ON DRAWINGS. GRAYD, BASE MAY BE ELEMINATED IF FIRM SAND BASE EDISTS. AFRICA CINCA CINCA CAND AFTER LET BOOK STORAGE AFTER CONTROL AFTER CONTR WILDED WASDING ROMONCEWOH! TRUSSED DIACONAL DESCRIPTION OF SERVICE TO SERVICE TO SERVICE COMPANIES.

STRUCTURAL METALS FRANCIO ALL STEEL BEAMS, LIMTELS, CROPPS, COLUMNS, LTC. SHALL BE FABRICATED AND EFFECTED IN COMPONIUMICS WITH THE LATEST MISC SPECIFICATION FOR THE FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR DURDINGS. WORK INCLUDED ALL WOOD, MAIS, BOLTS, SCREWS, FRANCIC ANCHORS, AND OTHER ROUGH HANDWARE, AND ALL OFFICE ITEMS REEDED TO COMPLETE THE ROUGH AND THIS CAMPONING AS REQUIRED FOR THIS WORK AS INDICTED ON THE ORANICS AND SPECIFED HEREIN. ALL LIAMER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE WOLMANIZED. AL FRANCE LIMBER SHALL BE COURSE IR STREETS GRADE IN 1500 CH. E. 1600 CH. E. 1 EVIT EAT STAND THE TONE STANDS AND THE TONES ALL PARALLEL, PARTITIONS AND EDGES OF KITCHEN CARDIETS, VANITIES AND TUBS. PROVIDE (2) 2" X 12" HEADER OVER ALL WINDOW AND DOOR OPENINGS IN 2" = 4"
STUD WALLS WHICH DO NOT HAVE HEADER SPECIFICALLY NOTED ON PLAN. erong (4) at a 15 maps of the all supportand door openings in 2° x 6° compone to MPG. Histalladian octals when the frames. ALL PRAYING CHAPTER SHALL BE INSTALLED TRUE, LEVEL IN CHIE PLUMBED IN SOUTHERN WILL SAND WAS MALED, PROPERLY BRACED AND WILL SECURED IN GROUP SPUCE JOINT SHALL BE 48" O.C. MIN. AND SHALL BE 24" MAX. FROM HEMBERS INDICATED ON PLAN AS LA ARE LAMINATED VENEER LUNGER SECTIONS AS LAMINATED AND APPROVED BY THE PERSON OF APPROVED BY THE PERSON OF APPROVED BY THE PERSON OF THE PE HEMBERS DEPENDED ON PLANTAS POSTA SELECTIONS STRANDAL STRANDAL SECTIONS KEWBERS CONSISTING OF TWO BEAMS SHALL BE FASTENED TOOLTHER WITH A MINIMUM OF TWO ROWS OF 18d HALLS AT 12' ON CENTER. WOOD STAP BEARBAS PARTITIONS AND ISCLATED POSTS IN HON-BEARBAS PARTITIONS NOT FACTO WITH A TANGED SHALL BE BRACED WITH SOLID BLOCKING AT MICHAELE NOT EXCHEDING A TANGED SHALL BE BRACED WITH SOLID BLOCKING PROVIDE CROSS BRIDGING BETWEEN SAWN LUMBER PLOOR JOISTS SPACED NOT MORE THAN 8-0" ON CLUTTER. BORE IN A G-U CATION.

ROOS SHATAGHO TO GE 1/2" APA RATED 24/A, C-D STRUCTURAL 1. EXPOSURE 1.

ROOS SHATAGHO TO GE 3/2" APA RATED STUBD-1-LOOR EXPOSURE 1.

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ROOS SHATAGHO TO GE 1/2" APA RATED STUBD-1-LOOR EXPOSITE 1. AND IT AND TO STATE THE THE THE STATE OF THE SAME ALL THESE CONNECTIONS POST CAPS POST CAPS ASSET ASSET MICHAEL ETC. ALL CARPENTRY WORK THROUGHOUT SHALL BE FIRST CLASS, PERFORMED BY SKILLED MECHANICS IN ACCORDANCE WITH BEST MODERN PRACTICES. SHORT LENGTHS OF SPHENOLOG SASINGE IREA, BASES LITE THE MOT BE INTELLIGE MODD THEM SHALL BE MADE HAVE BYZE 3 M. X R. DOOK WINDOW INTERIOR STAIR TREADS SHALL BE 5/4" DAK, RISERS SHALL BE 3/4" PINE. EXTERIOR: TRAIL DOOR AND WHIPDOW FRAMES LOUVERS SHUTTERS, AND EXTERIOR POSTS AND OTHER SPECIALTY WILLMORK HIGHS SHALL BE WOMENED STATEMENT OF THE PROPERTY NOTED. ALL DECEMBED ENTEROR LOAD BEARDING COLUMNS AS MAILUFACTURED BY FIRSH TO BE STATED BY STATED BY FIRSH TO BE FRACTURED BY FIRSH THE WAY WAS MAD TO BE FRACTURED BY FIRSH THE WAY WAS MAD THE WAY WAS TAKED BY THE FRACTURED BY FIRSH THE WAY WAS TAKED BY THE FRACTURED BY FIRSH THE WAY WAS TAKED BY THE FRACTURED BY FIRSH THE WAY WAS TAKED BY THE WAY WAS THE WAY WA

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EXCAVAIT AS REQUIRED FOR FOUNDATIONS ID UNDSTURBED WARDIN SOIL. THE COMMISSION SHALL DO ALL EXCAVATING AS MAY BE DIDICATED NECESSARY ON THE CRAINLOS. EARTH BAIKS SHALL BE BRACED ACAINST CAVING IN THE WORKING! AREA. WAKE PROPER PROVISIONS TO DRAIN EXCAVATED AREAS. ALL EARTH AROUND AND ABOVE FOOTING AND BELOW SLAB SHALL BE PLACED ON 8 LAYERS AND TAMP DURING BACGRILLING UP TO 95 % DRY DENSITY COMPACTION IN ACCORDANCE WITH ASTA D-808. NO DADIFILING SHALL BE PROTORNED UNITE FIRST FLOOR DECK IS COMPLETE.

DO ALL COMPACTING OF BADGISLING AS EXQUIRED TO MINUTES STITLINGT OF
BACKFILL AT FLOOR AND WAS AND AVIOUR DAMAGE TO WALLS AND OTHER
WORK OF PLACE MISTALL AND/OR COMPACT ALL FILL UNDER CONCRETE FLOOR
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SUBSECULTED FROM THE PROPERTY OF THE

TREAT SOIL TO PROMOE TERMITE PROTECTION

ALL CONCRETE SHALL BE PLANT MORE AND PROVIDE A 29 DAY STRENGTH OF 1000

RAT SLAB IN CRANL SPACE SHALL BE 2' THICK ON W.P. MEMBRANE THATERPROOF MEMBRANE UNDER ALL INTERIOR CONCRETE SLABS ON GRADE TO BE 6 Mm. POLYETKYLENE ON 1 1/2" OF CLEAN DRY SAND. SEE THERMAL PROTECTION. ALL INTERIOR FLOOR SLABS LESS THAN 3'-O" BELOW GRADE SHALL HAVE I" X 24" RIGID PERSHETER INSULATION PLACED HORIZONTALLY AND VERTICALLY. PROVIDE N° PREMOLOED EXPANSION JOINTS AT ALL FOUNDATION WALLS AND AT JOINTS BETWEEN SLAB AREAS NOT TO EXCEED 400 SQ.FT.

ALL SLABS TO BE TROWN, PARSHED

CRAVEL BASE COURSE

CLASS CONTINUES AND SECURITION OF THE SECURITIES ALL HASOMRY WORK SHALL BE FIRST CLASS, DISTALLED TO LINE, TRUE, LEVEL AND PLUMB.

ANCHORS AND TES SHALL BE ZIMC COATED FERROUS METAL CONFORMING TO ASIN SPECIFICATION 4-153 CLASS D.I. B.? OR 9-1. BECAMOS AND SISTAIT N. DIY X 18, FONG VICTOR BOTLES 4,-0, O'C' WHO 15, BECAMOS WITH THE WAR THE TOWN THE TOWN THE WORLD BOTTE TO BE SENT TO SECURITY T

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PLACE ALL UNITS IN WORTAR WITH FULL SHOVED HEAD AND BED JOINTS.
BUTTERED JOINTS WILL NOT BE PERMITTED. FIRST BLOCK COURSE OF FOUNDATION WALLS TO BE KEYED TO FOOTINGS FILLED SOLID WITH MORTAR.

MOSK INCLUDED

ALL LABOR, MATERIALS, ECURPLENT AND SERVICES NECESSARY TO COMPLETE THE MORK AS RECURRED BY THESE SPECIFICATION AND DRAWINGS.

ALL STEEL SHALL BE ASTN A36 CARBON GRADE STEEL METAL FINISHES

PROVIDE A SHOP COAT OF RED OXIDE PAINT ON ALL NEWBERS. PROVIDE A FIELD COAT OF COAL TAR DIAMEL ON ALL STRUCTURAL STEEL ELEMENTS.

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