

17715 Meeting House Road, Sandy Spring  
[HPC Case # 28/11-12A]  
Sandy Spring Historic District

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	17715 Meetinghouse Road, Sandy Spring	<b>Meeting Date:</b>	1/25/2012
<b>Resource:</b>	Outstanding Resource Sandy Spring Historic District	<b>Report Date:</b>	1/18/2012
<b>Applicant:</b>	Sandy Spring Monthly Meeting (Miche Booz, Architect)	<b>Public Notice:</b>	1/11/2012
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	28/11-12A	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b>	Relocation of and alterations to schoolhouse and alterations to Lyceum		

**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Sandy Spring Historic District  
**STYLE:** Vernacular  
**DATE:** 1859 (with later additions)

**BACKGROUND**

The HPC held a 2nd Preliminary Consultation hearing in December 2011 for the subject property that included the partial demolition to a non-historic portion of the Lyceum (Community House) building and relocation of and alterations to the schoolhouse building. (See attached transcript 33-45 )

There was unanimous consensus from the HPC that the proposed alterations to the Lyceum and relocation of the schoolhouse and associated alterations and site work could be approved if submitted as a HAWP if the following revisions were made to the plans:

1. The guardrail details for the schoolhouse building should only extend 12 inches beyond the last stair riser. This specification was recommended for all stair units for consistency.
2. Consistent with the staff recommendation the HPC advised the applicant to rehabilitate where practicable the existing wooden siding that is currently underneath asbestos siding on the schoolhouse building. Where original wooden siding is beyond repair it must be replaced in-kind.

The applicants HAWP application submission responds directly to the recommendations provided by the HPC at the 2<sup>nd</sup> Preliminary Consultation hearing. The guardrail detail has been revised and the applicant is proposing to rehabilitate the existing wooden siding underneath the asbestos siding on the schoolhouse and in-kind replacement where repair is not practicable.

**PROPOSAL**

**Item #1: Lyceum (Community House), main block constructed in 1859**

The applicant proposes to demolish a portion of the addition constructed in 1985 to accommodate the space requirements needed for placement of the schoolhouse inside the historic district and to create a staging area for the relocation work. The exposed wall of the existing addition that will result from the demolition will be insulated and either clad with salvaged aluminum siding from the 1985 addition or new aluminum siding to match. A new concrete patio area with dimensions roughly the size of the 1985 addition building footprint and a 16-20" high, dry-stack fieldstone retaining wall will be installed in the area where the addition will be removed. The concrete patio and retaining wall will provide an accessible route between the Lyceum and relocated schoolhouse building. The proposed work is viewed as temporary in nature, as future phases of the project will include a more substantial demolition of the non-historic sections of the building, a new addition and development of a permanent circulation network.

As part of the work a new areaway with below-grade stair and associated wooden guardrails will be added to the north elevation of the 1958 addition section for access to a new cellar vault per the requirements of WSSC for fire department access to an onsite sprinkler system. The proposed location was selected because of the minimum proximity requirement to an existing fire hydrant. The existing porch roof of the 1958 addition section will be extended to the west to provide a protective cover over the below-grade areaway.

#### **Item #2: Schoolhouse (constructed 1897, relocated in 1926)**

The subject building contains evidence of having been significantly altered. The proposed undertaking includes relocation of the building from its current location outside the historic district to its approximate original location east of the Lyceum within the historic district, construction of a new basement level classroom underneath the building, and minor fenestration changes to non-original casement windows currently located on the north elevation wing.

The proposed work also includes removal of the exterior asbestos siding and rehabilitation of original wood siding underneath. Any original wood siding that is determined beyond repair will be replaced in-kind to match the existing. A new field-seamed Terne metal roof will replace the existing metal roof. An existing non-original brick furnace exhaust chimney will be removed and non-historic windows located in the addition section of the house will be replaced with all wood SDL windows. Two new below-grade window wells will be installed in the foundation to provide light into the new basement space.

A new areaway stair with a metal roof and wooden railings will be added to the relocated east side and new stained pressure-treated wood accessible ramp will be added to the relocated west side of the existing front porch entry. The ramp handrails will be fabricated from metal and do not require a standard picket detail because the ramp does not exceed 30" in height from grade. A new wooden stair will be added off the non-historic porch (adjacent to the kitchen) to meet the new grades. The new stairs and railings will be fabricated from a color stained pressure-treated wood and replace an existing concrete access in the current building location.

A tar -and- chip walkway will be added in front of the relocated schoolhouse to provide an accessible route to the building.

#### **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Sandy Spring Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

*Montgomery County Code; Chapter 24A*

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

*Secretary of the Interior's Standards for Rehabilitation:*

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION****Item #1: Lyceum (Community House)**

The HPC recommended no changes to the Lyceum (Community House) proposal at the 2<sup>nd</sup> Preliminary

Consultation hearing.

The proposed removal of the 1985 addition is consistent with the proposal reviewed by the HPC at the 1<sup>st</sup> and 2<sup>nd</sup> Preliminary Consultations, which staff and the HPC supported. The proposed demolition of the 1985 addition section will not impact any character-defining features of the building.

Staff supports cladding the exposed wall with either salvaged or new aluminum siding. The installation of aluminum siding is an appropriate treatment given the temporary nature of the work and future rehabilitation of the historic block and construction of a new addition that would begin at this section of the building.

Staff supports the proposed installation of a temporary concrete patio and stone retaining wall. These installations will have negligible impact on the streetscape of the historic district and environmental setting of the property due to their location behind the building and proximity to grade. Furthermore, these installations will be removed as part of the future development of the property.

Staff supports the proposed installation of a below-grade areaway on the north side elevation of the 1958 section of the building. Although the proposed areaway will be visible from the public right-of-way, its impact will be negligible on the streetscape of the historic district and will not impact any character-defining features of the building.

#### **Item #2: Schoolhouse**

Staff supports the proposed relocation of the schoolhouse building to within the historic district. The applicant has determined through written historical documentation the schoolhouse was originally located within what is now the historic district, and directly east of the Lyceum, and then later relocated to outside the historic district in 1926. Although the exact location of the schoolhouse has not been determined, and no original foundations have been located, the proposed relocation of the building east of the Lyceum would return the building to within the historic district and its approximate original location. Staff supports the building relocation finding that it would have no adverse affect on the historic district or setting of the property.

Staff supports the proposed installation of an ADA ramp at the front of the building. Although locating ADA ramps at the rear elevation of a building is generally preferred, the applicant has selected the front elevation for several reasons. First, the front porch will provide principal access to the building for members of the facility, including elderly and those with limited mobility; second, it provides a more direct route between the Lyceum/Community House and the relocated schoolhouse; third, the current kitchen door is dimensionally inadequate and access through the kitchen entrance presents some difficulties due to the interior arrangements of the space; and fourth the existing grade change is favorable for adding a ramp without needing to construct a more traditional picket railing system. Because the grade change is less than 30" high, a simple and more transparent metal pipe rail can be used and still meet code. Furthermore, using the existing front door would not require creating a new opening or modification to an existing one.

Staff supports the proposed removal and replacement of the existing non-historic windows with wooden SDL windows in the addition section of the building. Staff also supports the proposed removal and replacement of the metal roof with a field-seamed metal Terne roof. The proposed material and installation method is compatible in character with the period of the resource and will not substantially alter the building. Similarly, the proposed installation of two window wells in the new foundation will not substantially alter the building or impact the historic district.

The applicant is proposing to remove the asbestos siding and rehabilitate where practicable the existing wooden siding that is currently underneath. If the original wooden siding cannot be rehabilitated it will be

replaced in-kind.

Staff supports the proposed material treatments for the ramp and railing systems for all porches and areaways. The railing design for the front porch and areaways are consistent with a historic porch railing design and will be stained. The installation of a metal pipe railing is more transparent and minimalist to avoid obscuring the front elevation of the building and has less impact on the environmental setting of the immediate context and historic district.

Staff supports the installation of a tar –and- chip material treatment for all pathways and permanent surfaces on the property. Staff supports the installation of asphalt for any pathways categorized as being temporary in nature until a formal circulation network is designed, at which time a more compatible material such as exposed aggregate, tar –and- chip or similar would be required.

Staff supports the proposed removal of the existing non-original brick furnace chimney. Although an exact construction date for the chimney is unknown, it is believed to be associated with a later construction period given its purpose as exhaust for the furnace.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



DPS-#8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

AC 1115272

Contact Person: Miche Booz

Daytime Phone No.: 301-774-6911

Tax Account No.: IEF: 00718340

Name of Property Owner: Sandy Spring Monthly Meeting Daytime Phone No.: 301-774-9792

Address: 17715 Meetinghouse Rd Sandy Spring MD 208160  
Street Number City State Zip Code

Contractor: NA Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Miche Booz Architect Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE

House Number: 17715 Street: Meeting House Rd

Town/City: Sandy Spring Nearest Cross Street: Rt. 108

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 1

Map No.: JT32 Parcel: P553

PART ONE: TYPE OF PERMITS ACTION AND USE

IA. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- |  |  |  |  |                                    |   |  |                               |                               |
|--|--|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct       | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Stab      | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input checked="" type="checkbox"/> Move | <input type="checkbox"/> Install           | <input checked="" type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision        | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input checked="" type="checkbox"/> Other: _____  |  |                               |                               |

B. Construction cost estimate: \$ 550,000

C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENDS/ADDITIONS

A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line     Entirely on land of owner     On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Booz  
Signature of owner or authorized agent

11-16-2011  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

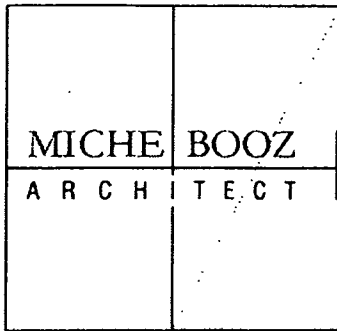
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 584821 Date Filed: 11/16/2011 Date Issued: \_\_\_\_\_

588113

SEE REVERSE SIDE FOR INSTRUCTIONS





Sandy Spring Monthly Meeting  
HAWP Application  
Phase 1: Historic School House  
November 16, 2011  
(Revised 12/07/11)

**General description of existing structures and environmental setting, including historical features and significance.**

The present brick Meetinghouse, the third on this site, was built in 1817 on land which was conveyed in 1753 by James Brooke to Roger, Richard, and Basil Brooke in trust for the Society of Friends. The adjacent historic cemetery contains past generations of Friends, and others from the Sandy Spring community. Friends from the earliest years are buried in unmarked graves close to the Meetinghouse.

On the north side of the cemetery stands the Community House, used for the First Day School and committee and fellowship activities. Built in 1859, it was the Lyceum for the neighborhood until 1927. It was remodeled as the Community House in 1928; the front door was relocated to the south side of the building, a chimney added on the west side, and the building was expanded to the east.

The low east wing of the Community House was added in 1958 to house First Day School classrooms. A larger kitchen and low-sloping addition was also made at this time to the north side of the Lyceum. (See photos of the historic Lyceum and the current Community House.) An additional large classroom was added on the east wing in 1985.

A school house is currently located to the northeast of the classroom wing of the Community House. This building was originally built in 1897, replacing a log structure which was destroyed by a falling tree in the Great Hurricane of 1896. The school house was originally located directly east of the Lyceum building although original foundations have not been located. It was moved to its new location and converted to a house in 1926.

The entire site retains its historic rural character and contains many large trees. The Sandy Spring Monthly Meeting property from the Lyceum building, graveyard and south to the Meeting House are part of the Sandy Spring Historic District.



**General description of the project and its effect on the historic resources, the environmental setting, and the historic district.**

Since 2001, members of the Sandy Spring Monthly Meeting have been involved in a careful assessment and design process to meet the needs of a growing school-age population. The meeting has held a number of internal design charrettes and threshing sessions and has closely consulted with Historic Preservation Commission staff at critical stages in this evolving process.

School House: This HAWP application is for "Phase 1" work, which entails the relocation of the 1897 school house from its current location back to its approximate original location east of the Community House within the boundary of the Sandy Spring Historic District. Site features impacted as a part of this relocation will be minimal. There are two methods being considered for this work: 1) rolling on ground; or 2) crane lifting and placing. The rolling method will only impact scrub trees (under 6" caliper), whereas the crane method will require the removal of one large limb of an adjacent white oak. In either case, root matting will be installed as part of general protections for this tree.

Other scope of work includes:

1. Creating a modern basement classroom underneath the school house, which will help to preserve the building since it now sits on top of a substandard and leaky basement.
2. The exterior asbestos siding and aging metal roofing will be removed; improvements include new cementitious lap siding and new field-seamed Terne II metal roofing.
3. The existing brick furnace exhaust chimney will be removed.
4. Non-historic windows in the kitchen addition will be removed and replaced with more traditional wood SDL windows. Existing historic wood windows will be refinished and repainted.
5. A new area way stair with a metal roof and railings will be added to the relocated east side.
6. A new stained PT wood accessible ramp will be added to the relocated west side of the existing front porch entry. The porch will be sited low to the ground (under 30") so the ramp will not be required to include picketed guard rails. Required hand & curb rails, and associated posts will be minimal 1-1/2" square painted steel, so it will be fairly transparent.

Alternatives considered for the ramp location included the east side of the front porch, and the non-historic porch adjacent to the kitchen. There are no other

existing entry doors. Since the historic front porch will provide principal access to the building for all Meeting members, including the elderly and those with limited mobility, this more direct route from the west is highly preferable and provides equal access per ADA guidelines. The kitchen route is substandard in these terms, as well as dimensionally inadequate.

7. Asphalt or tar/chip walks will be added to provide required accessible routes.
8. Two below-grade window wells will be added to help bring light into the new basement space.
9. A new wood stair will be added off the non-historic porch (adjacent to the kitchen) to meet the new grades. These will replace existing concrete access in the current building location. All new guard rails will be color stained PT wood with pickets inset into top and bottom rails, to match the existing traditional railings. Required hand rails will be 1-1/2" square painted steel.

Interior alterations to the school house, in addition to the new basement, will include a renovated accessible restroom, as well as an upgraded HVAC system and some finish wall and ceiling renovations.

Community House: As part of this HAWP, the eastern-most wing of the Community House structure, dating from 1985, will be demolished. It will be replaced with a concrete patio and 16"-20" high dry-stack fieldstone retaining wall to provide an accessible route to the new school house location, as well as provide a staging area for the school house relocation work. Existing landscape steps and graveyard fence will remain. The new exterior wall will be insulated and sheathed, and sided to match existing aluminum siding exposure. This work is viewed as temporary in nature, as future phases will include a more substantial demolition of these non-historic wings of the Community House.

The north elevation of the circa 1920's addition to the Community house will include a new area way (below-grade level) stair, and associated guardrails, for access to a newly installed cellar vault for WSSC sprinkler room requirements. The existing north porch roof will be extended to the west to keep water out of this area way. This sprinkler room is being installed as part of the new Schoolhouse work, and it must be located under the Community House in order to satisfy the requirement that it is within 80' of the existing fire hydrant. A separate underground vault is not feasible since it cannot be located under asphalt: There is simply not enough area for the required WSSC access easement within 80 feet. The cellar vault will eventually serve sprinkler requirements for the (future) renovated Lyceum and Education buildings, and possibly the Meeting House itself in future; though none of this is being proposed for this HAWP.

Sandy Spring Monthly Meeting  
Preliminary HAWP: Phase 1 School House

November, 2011 - 12

**Neighboring property addresses:**

MERNICK GEORGE H &  
THENE MARTIN MERNICK  
17617 MEETING HOUSE RD  
SANDY SPRING MD 20860-1017

WRIGHT ALAN M & K V  
17710 MEETING HOUSE RD  
SANDY SPRING MD 20860

STEDMAN BRUCE J &  
ELEANOR M DORSEY  
17714 MEETING HOUSE RD  
SANDY SPRING MD 20860

SANDY SPRING MONTHLY MEETING  
OF THE REL SOCIETY OF FRIENDS  
17715 MEETING HOUSE RD  
SANDY SPRING MD 20860-1024

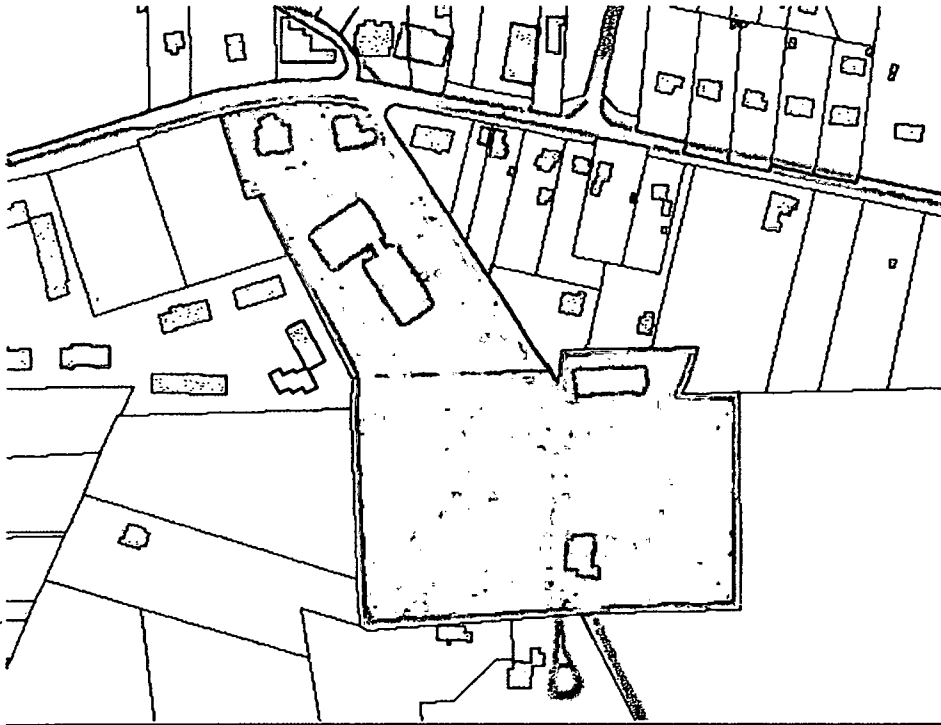
SIDELL JANE L  
17809 MEETING HOUSE RD  
SANDY SPRING MD 20860-1022

STABLER 1848 LLC  
C/O NICHOLS DEV LLC  
18623 BROOKE RD  
SANDY SPRING MD 20860

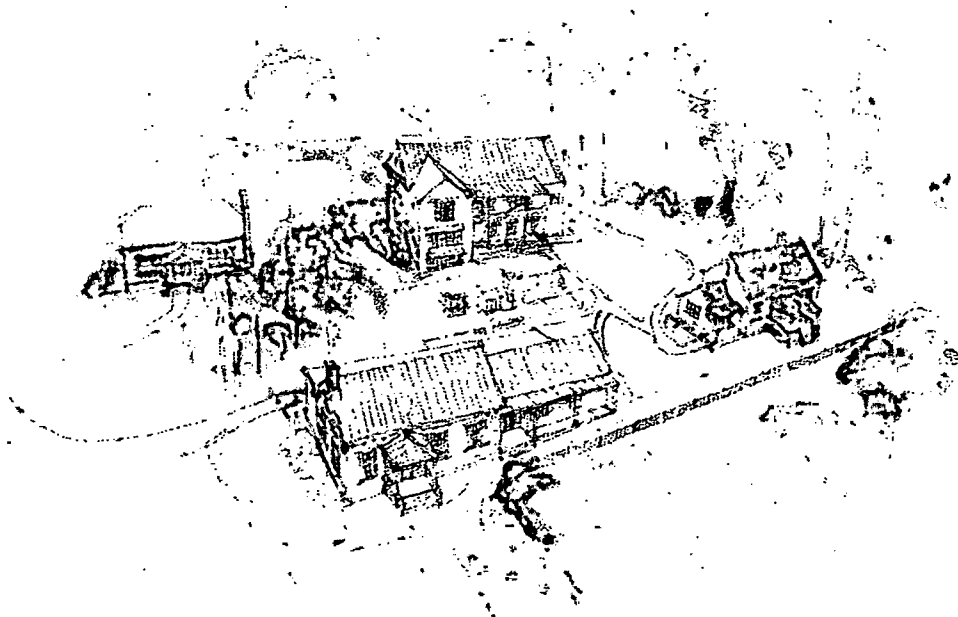
AUBURN VILLAGE HOMEOWNERS ASSOC  
C/O WINCHESTER HOMES INC  
6905 ROCKLEDGE DR STE 800  
BETHESDA MD 20817-1873

BODDY TROY  
140 NORWOOD RD  
SILVER SPRING MD 20905-3878

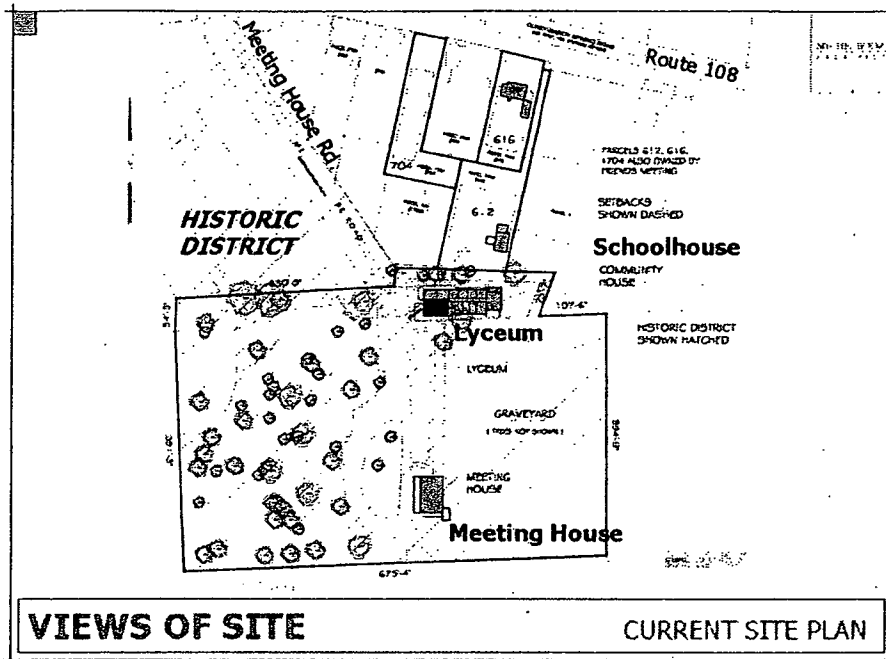
SANDY SPRING VILLAGE  
CONDOMINIUM ASSOC  
WINDRUSH LANE  
SANDY SPRING MD 20860



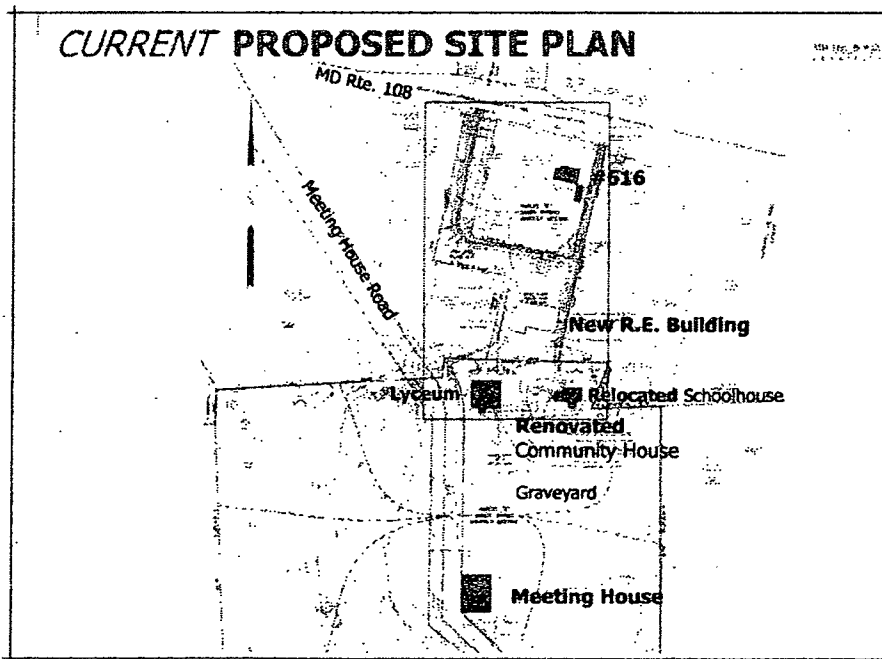
Green portions describe the Sandy Spring Historic District. The Schoolhouse is currently outside of the Historic District, but will be relocated into it as part of this scope of work.



Conceptual sketch of proposed master plan showing the restored Lyceum, the new Community House addition, the relocated school house, and the new Education Building. Only the Schoolhouse relocation, and demolition of the Community House's 1985 east wing are to be considered for this "Phase 1" HAWP.



Current site plan showing location of historic Lyceum (dark blue in plan), current Community House and the current location of the school house.



Proposed master plan showing the historic Lyceum/renovated Community House, the relocated Schoolhouse and the New Education (R.E.) Building. Only the Schoolhouse relocation, and demolition of the Community House's 1985 east wing are to be considered for this "Phase 1" HAWP.

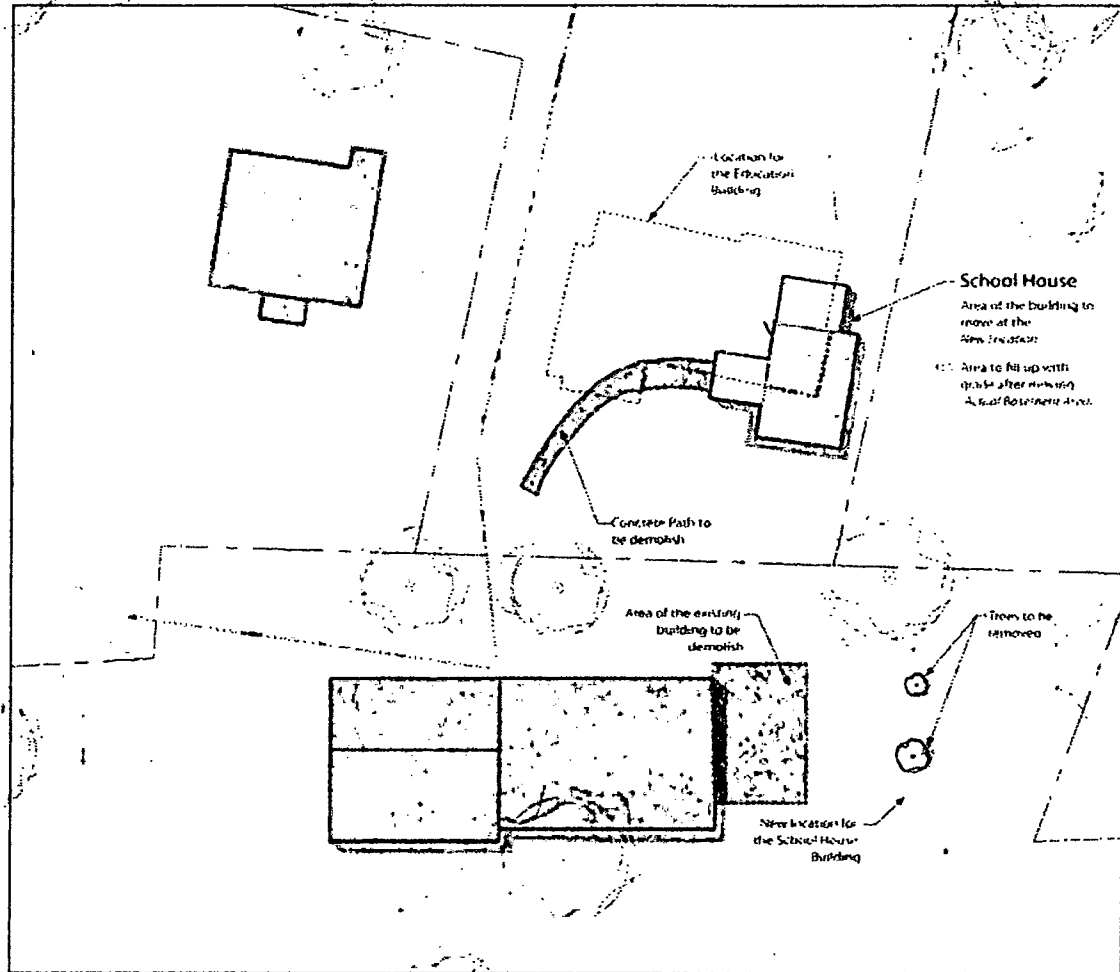
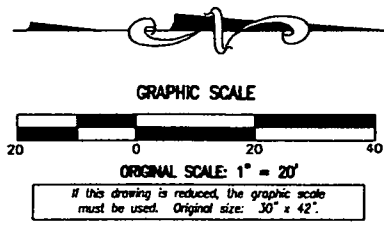
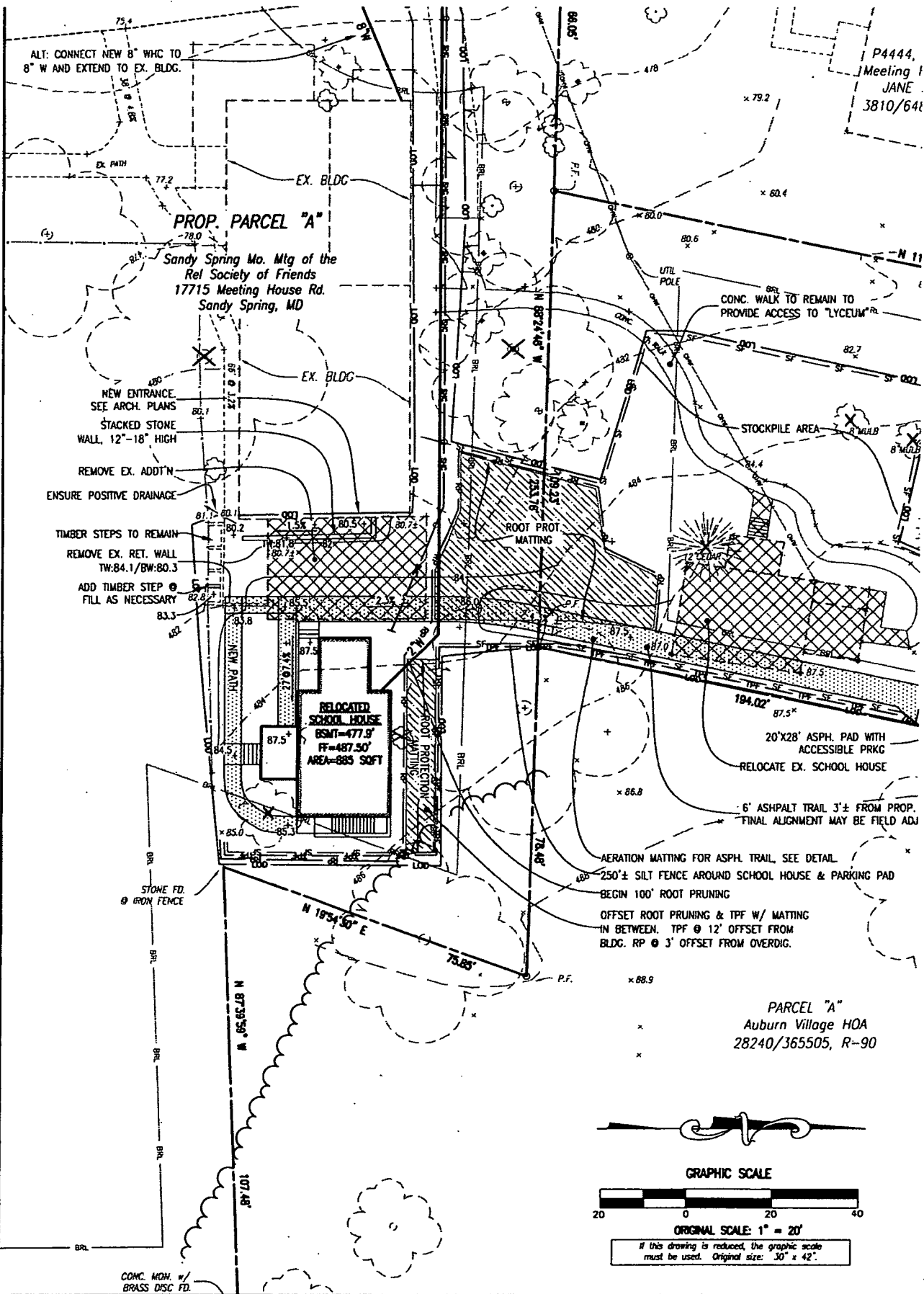


Diagram describing the scope of work for this Historic Area Work Permit.

SS Mtg House Design\Phase1 Site-SWH-Plan.dwg, 12/2/2011 3:38 PM, Owner

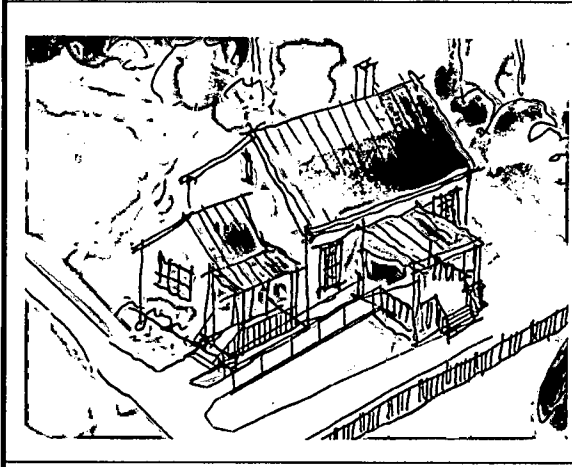


Date:	Revision:	Date:	Revision:
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14

CODES
MD, REHAB CODE & BY REFERENCE: ICC INTERNATIONAL EXISTING BUILDING CODE, 2009 (IEBC) IN ADDITION TO THE IEBC THE FOLLOWING CODES AND STANDARDS SHALL APPLY: -ICC INTERNATIONAL BUILDING CODE, 2009 (WITH LOCAL AMENDMENTS) (IBC) -ICC INTERNATIONAL MECHANICAL CODE, 2009 (WITH LOCAL AMENDMENTS) (IMC) -ICC INTERNATIONAL ENERGY CONSERVATION CODE, 2009 (WITH LOCAL AMENDMENTS) (IECC) -WSSC PLUMBING CODE -NFPA 70 - NATIONAL ELECTRICAL CODE, 2008 (WITH LOCAL AMENDMENTS) (NEC) -NFPA 101 - LIFE SAFETY CODE, 2003 (WITH LOCAL AMENDMENTS) (LSC)
CODE ANALYSIS
OCCUPANCY GROUP: A-3 USE: CLASSROOM (RELIGIOUS FACILITY) FLOOR AREA: 1470 SF CONSTRUCTION TYPE: V-B HEIGHT: 20' (ALLOWABLE: 40') NO. OF STORIES: 1 (ALLOWABLE: 1) AREAS PER FLOOR: BASEMENT- 698; FIRST- 772 (ALLOWABLE: 6,000 SF); DESIGN LIVE LOADS/FLOOR: 30psf ROOF, 100psf FLOOR, 30psf GROUND SNOW SPECIAL USE & OCCUPANCY CONDITIONS: N/A OCCUPANCY CALCULATIONS: USE GROUP "A-3" = 15 NET SF/OCCUPANT, AT 1202 NET SF (656 SF UPPER FLOOR + 546 SF LOWER FLOOR), OCCUPANCY = 91 PERSONS TOTAL (44 FIRST FL. + 37 BASEMENT FL.)
TABULATION OF REQ'D. FIRE-RESISTANCE RATINGS: (SEE IBC CHAP. 6 ANALYSIS BELOW FOR EXISTING SPACES) THE FOLLOWING REFERS TO THE BASEMENT ADDITION ONLY: FIRE WALLS: N/A (2 HRS. REQUIRED) BEARING WALLS: (0 HRS. REQUIRED) NONBEARING WALLS: (0 HR. REQUIRED) ROOF CONSTRUCTION: (1 HR. REQUIRED) ROOF COVERING: CLASS C ROOF ASSEMBLY (REQUIRED) INTERIOR BEARING WALLS: (0 HR. REQUIRED) INTERIOR PRIMARY STRUCTURAL FRAME: (0 HR. REQUIRED) INTERIOR FLOOR CONSTRUCTION: (0 HR. REQUIRED) SHAFT ENCLOSURES: < 4 STORIES = 1 HR. (1 HR. REQUIRED) INTERIOR FINISHES: MIN. FLAME SPREAD CLASSIFICATIONS (SPRINKLERED): EXT. ENCLOSURES/PASSAGEWAYS: CLASS B CORRIDORS: CLASS B ROOMS & ENCLOSED SPACES: CLASS C SEPARATED OCCUPANCIES: NONE FIRE SEPARATION DISTANCE: 25' MAX AREA OF EXT. WALL OPENINGS (UNPROTECTED, SPRINKLERED) = UNLIMITED EXIT ANALYSIS: All landings discharge to walks to public way. FIRST FL.: Two exit doors to landings w/ stair + 1 ramp. BASEMENT: Single exit door to area way, allowed by Table 1021.2.
FIRE PROTECTION: SPRINKLER PROTECTION: The building will be protected throughout with an automatic sprinkler system. FIRE ALARM & DETECTION: The building will be protected throughout with a fire alarm & detection system.
SEE NEXT SHEET FOR IEBC CODE COMPLIANCE ANALYSIS

**SCHEMATIC VIEW, NOT TO SCALE**



ABBREVIATIONS
ABV ABOVE AC AIR CONDITIONING ADJ ADJACENT, ADJUSTABLE AFF ABOVE FINISHED FLOOR ALT ALTERNATE ALUM ALUMINUM APC ACOUSTICAL PANEL CEILING AR AREA OF REFUGE ARCH ARCHITECTURAL ATC ACOUSTICAL TILE CEILING APPROX APPROXIMATE AT AT AVG AVERAGE AWP ACOUSTICAL WALL BTW BETWEEN BD BOARD BLDG BUILDING BLKG BLOCKING BM BEAM BRK BRICK BOT BOTTOM BULK BULKHEAD CAB CABINET CMH CEMENT CAST IN PLACE CJ CONTROL JOINT CL CENTER LINE CLG CEILING CLD CLOSET CT CERAMIC TILE CD CASE OPENING COLL COLLUMIN CONC CONCRETE CONT CONTINUOUS CORR CORRIDOR CORRUGATED CONCRETE MASONRY UNIT CPT CARPET(ED) CT CERAMIC TILE CU FT CUBIC FEET DEMO DEMOLISH DET DETAIL DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DN DOWN DR DOOR DS DOWN SPOUT DWG(S) DRAWING(S) E EAST EA EACH EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMER EMERGENCY EPDM ETHYLENE PROPYLENE DIENE MONOMER
MAS MASONRY MAT MATERIAL MAX MAXIMUM MECH MECHANICAL MED MEDIUM MFR MANUFACTURER MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS MLDG MASONRY OPENING MO METAL NORTH NOT IN CONTRACT NO. # NUMBER NOM NOMINAL NOT TO SCALE ON CENTER OPNG OUTSIDE DIAMETER OPNG OPENING OPS OPPOSITE OWS OPEN WEB STEEL PERFOR(ED), (E) PERFORATED, (E), (ED) PL PLATE PLAM PLASTIC LAMINATE PLASTER PLYWOOD PAINT PNT PAINT(ED) PSF POUNDS (SQUARE FOOT PSI POUNDS (SQUARE INCH PRESSURE TREATED PT PARTITION POLYVINYL CHLORIDE RAD RADIUM RB RUBBER BASE RD ROOF DRAIN RE REFER TO REFR REFRIGERANT, (TOR) REINFOR(ED), (ED), (ING) REINFORCED, (ED), (ING) UNIT RES RESILIENT REV REVISION RM ROOM RO ROUGH OPENING R RISER RT RUBBER TILE S SOUTH SCHED SCHEDULE, (ED) SD STORM DRAIN SEC SECTION SHT SHEET SIM SIMILAR SIP STRUCT. INSUL. PANEL SPEC SPECIAL SQ SQUARE SS STAINLESS STEEL STD STANDARD STL STEEL STN STAINED STRUC STRUCTURAL SUSP SUSPENDED T & G TONGUE AND GROOVE TO BE DETERMINED TO BE SPECIFIED TEL TELEPHONE TERRAZZO THK THICKNESS TO MATCH EXISTING THE TOP OF TOM TOP OF MASONRY TOS TOP OF STEEL TOW TOP OF WALL T TREAD TV TELEVISION TYP TYPICAL UNO UNLESS NOTED OTHERWISE VCT VINYL COMPOSITION TILE VERT VERTICAL VIF VERIFY IN FIELD VN VINYL WEST, WIDE, WIDTH WJ WITH WC WALLCOVERING, WATERCLOSET WD WOOD W/O WITHOUT WP WATER PROOF WT WEIGHT

KEY PLAN
(FOR REFERENCE ONLY. SCALE 1"=30'. SEE CIVIL PAGES FOR SITE REVIEW.) 
SYMBOLS & MATERIALS
(A) DETAIL INDICATOR (S) SECTION INDICATOR (2) DOOR # (A) WINDOW INDICATOR (E) ELEVATION DATUM (H) WOOD FRAMING (M) MASONRY (PLAN) (C) CONCRETE (S) STONE (PLAN) (E) STONE (ELEV.) (SH) WOOD SHINGLES (P) PLYWOOD (B) BLOCKING (E) EARTH (I) BATT INSUL. (F) FOAM INSUL. (R) RIGID INSUL.
GENERAL NOTES
AS-BUILT DIMENSIONS ARE APPROXIMATE, VERIFY IN FIELD UNLESS NOTED OTHERWISE. DISCREPANCIES SHOULD BE BROUGHT TO ATTENTION OF ARCHITECT BEFORE CONSTRUCTION BEGINS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS, COUNTY STANDARDS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND AMENDMENTS. CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY COUNTY OFFICIALS. CONTRACTOR SHALL COMPLY WITH CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION.
SCOPE OF WORK
ARCH.: SEE SPECIFICATIONS STRUCTURAL: SEE APPLICABLE DRAWING PAGES FIRE PROTECT.: SEE APPLICABLE DRAWING PAGES MECHANICAL/PLUMBING: SEE MEP SPECS ELECTRICAL: SEE MEP SPECS CIVIL: SEE CIVIL DRAWING PAGES
PROJECT DESCRIPTION
This project relocates the existing 1-story Historic Schoolhouse building onto new foundations containing a new classroom & support space. Two existing porches will also be moved. The project includes demolition of existing foundations, as well as selective demolition/repair to the east end of adjacent 1-story Community House. The building will contain a new central A/C system and gas-fired furnace. The existing first floor classroom and kitchen spaces will be maintained with upgrades to lighting, HVAC, universal restroom & drinking fountain. A universal unisex restroom will be provided in new basement. Accessible route will be via new ramps/walks to first floor spaces. Means of egress from basement will be via a new covered area way stair.
CONTACTS
<b>Owner's Rep</b> Ned Stowe, Clerk of Trustees nedstowe@erols.com <b>Civil Engineer</b> Oyster, Imus, Petzold, and Associates, LLC 112308 Grandview Ave Wheaton, Maryland 20902 T: (301) 949-2011 Contact: Peter Noursi, P.E., peter.noursi@olpengineering.com <b>Fire Protection Sys.</b> Hughes Associates Inc. 3610 Commerce Drive Suite 817 Baltimore, MD 21227 T: 410.737.8677 Contact: Scott Golly, P.E., sgolly@halfire.com <b>Mechanical-Electrical-Plumbing Engineers</b> SRBR Engineers, Inc. 757 Frederick Road, Suite 300 Catonsville, Md. 21228 T: 410.869.7282 Contact: Don Gray, P.E., dgray@srbr.com <b>Structural Engineer</b> Soil & Structure Consulting, Inc. 2339 Archdale Rd. Reston, VA 20191 T: (703) 391-6911 Contact: Andy Fulmbarcker, PE andy@soilandstructure.com

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A1-2 FLOOR PLANS
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E12 FIRST FLOOR PLAN- ELECTRICAL
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E32-33 ELECTRICAL SPECIFICATIONS

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**SANDY SPRING MONTHLY MEETING**  
17715 Meetinghouse Rd  
Sandy Spring, MD 20860  
Montgomery County

Building:  
**PHASE 1: HISTORIC SCHOOL HOUSE**  
(A RELATED WORK)

Drawings:  
**COVER SHEET**

Dates:  
PROGRESS SET 12/23/11

Revisions:

Architect's Seal:

Professional Certification:  
\*I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/9/12.\*

**ATTACHMENTS**  
#1: PERMIT VALUATION FORM  
#2: COMCHECK FORMS  
#3: ABRIDGED SPECIFICATIONS  
#4: BID & CONTRACT FORMS

**PERMITS**  
SEDIMENT CONTROL: \_\_\_\_\_  
HISTORIC AREA WORK: \_\_\_\_\_  
BUILDING: \_\_\_\_\_  
DEMOLITION/MOVE-USE & OCCUPANCY: \_\_\_\_\_

# RELOCATION OF THE HISTORIC SCHOOLHOUSE AT SANDY SPRING MONTHLY MEETING

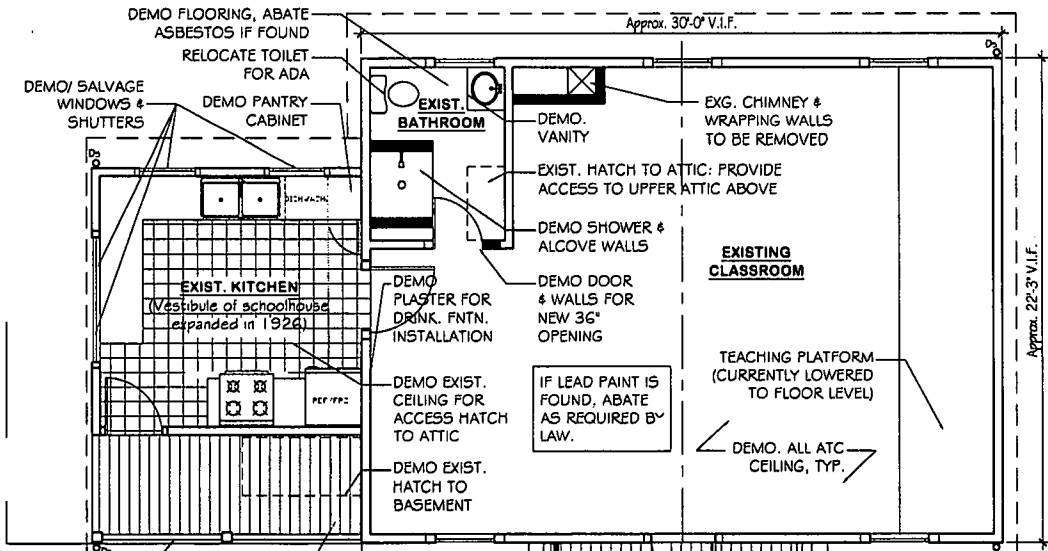
17715 Meetinghouse Rd Sandy Spring, MD 20860

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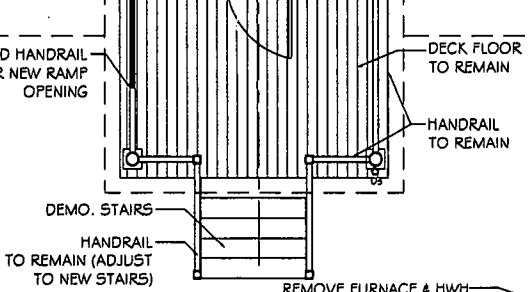
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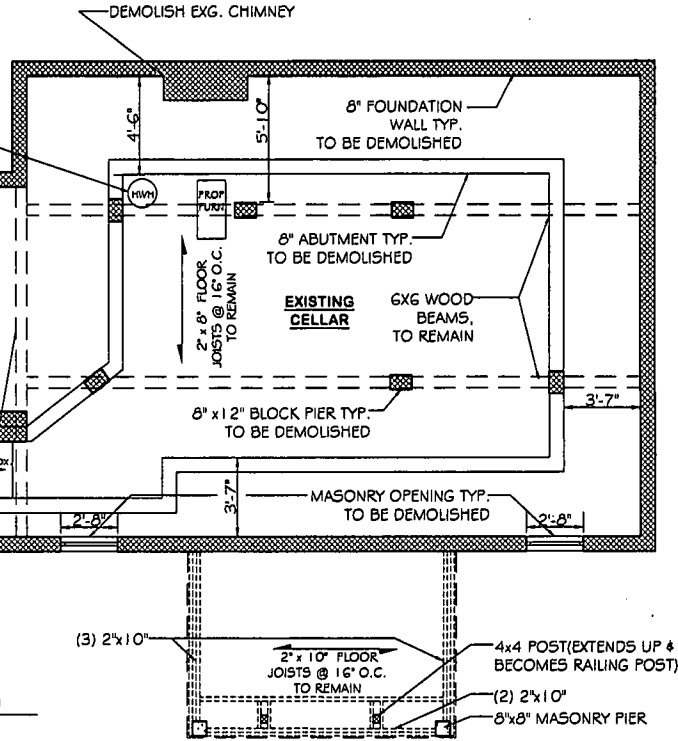


**DEMOLITION NOTES**  
 PATCH AND REPAIR EXISTING CONDITIONS THAT ARE TO REMAIN. COORDINATE WITH ARCHITECT. DEMOLITION TO BE CARRIED OUT IN SUCH A MANNER THAT THE REMAINING STRUCTURE IS SAFE AND IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 MATCH EXISTING MATERIALS WITH NEW MATERIALS SO THAT PATCHING WORK IS AS UNDETECTABLE AS POSSIBLE, UNLESS OTHERWISE DIRECTED BY ARCHITECT.  
 PROVIDE SHUT-OFFS AND CONNECTIONS, INCLUDING NEW BULKHEADS TO RELOCATE EXISTING SYSTEMS TO NEW LOCATIONS, WHERE APPLICABLE, COORDINATE W/ ARCHITECT.  
 COORDINATE HVAC DEMO NOTES.

2 AS-BUILT FIRST FLOOR PLAN  
 D1 w/ DEMOLITION NOTES  
 Scale: 1/4" = 1'-0"



1 AS-BUILT BASEMENT PLAN  
 D1 w/ DEMOLITION NOTES  
 Scale: 1/4" = 1'-0"



18

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D2

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Montgomery County

Building:

**PHASE 1: HISTORIC  
SCHOOL HOUSE**  
(A RELATED WORK)

Drawings:

**SCHOOL HOUSE  
AS-BUILT & DEMO.**

Dates:

PROGRESS SET 12/23/11

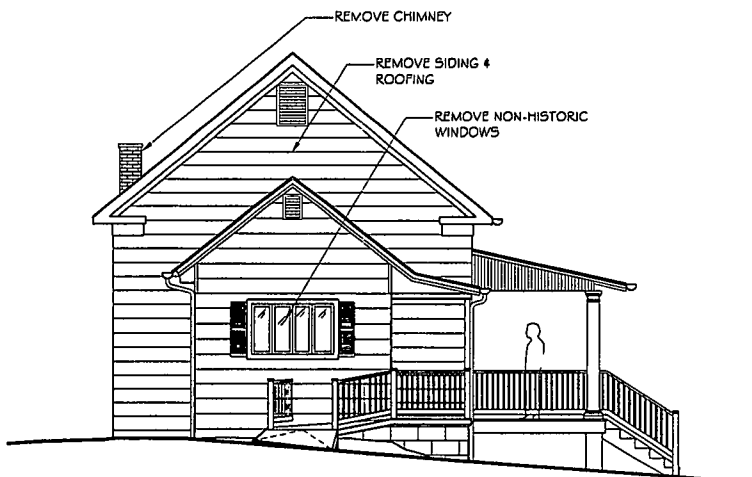
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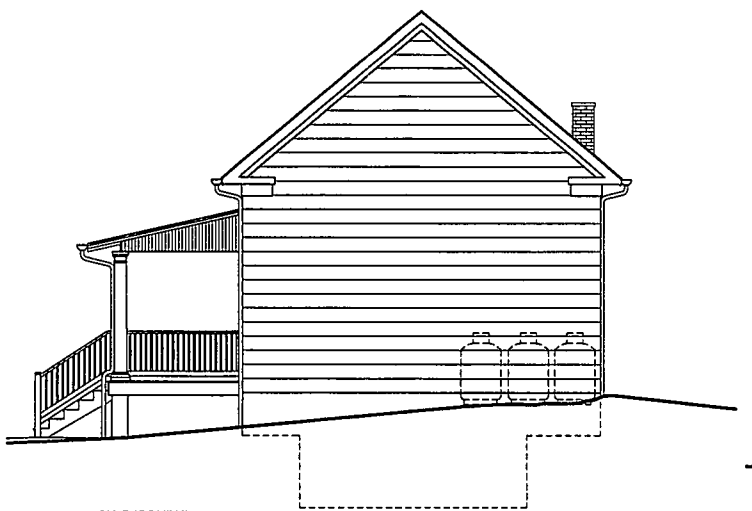
SIDE (NORTH)

1  
D2 AS-BUILT ELEVATIONS  
w/ DEMOLITION NOTES  
Scale: 3/16"=1'-0"



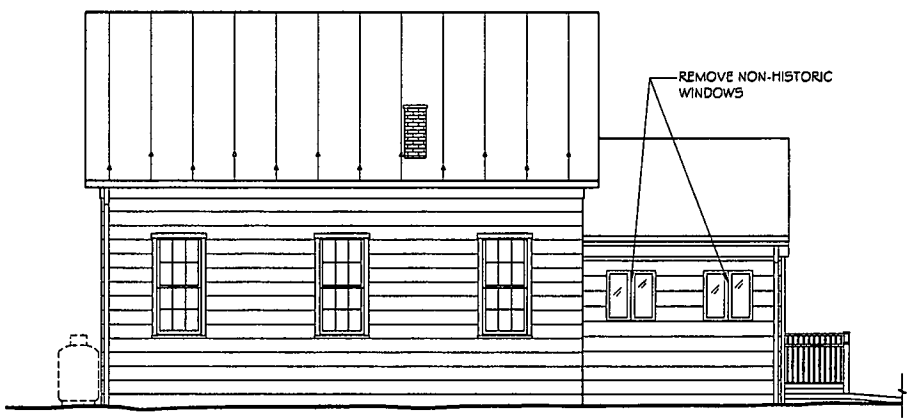
FRONT (WEST)

2  
D2 AS-BUILT ELEVATIONS  
w/ DEMOLITION NOTES  
Scale: 3/16"=1'-0"



SIDE (SOUTH)

3  
D2 AS-BUILT ELEVATIONS  
w/ DEMOLITION NOTES  
Scale: 3/16"=1'-0"



REAR (EAST)

4  
D2 AS-BUILT ELEVATIONS  
w/ DEMOLITION NOTES  
Scale: 3/16"=1'-0"

7-1

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**BASEMENT WALL LEGEND**

**EXISTING WALLS TO REMAIN:**

— NONE

**NEW EXTERIOR WALLS:**

— FIRE WALLS: NONE

— BEARING WALLS: C.I.P. CONC. DIM. AS NOTED. (STC/FR=NOT REQ'D.)

— NON-BEARING: NONE

**NEW INTERIOR WALLS:**

▨ STC WALLS: 2X4 WD. STUDS, 16" O.C. W/ 1/2" GWB EA. SIDE (STC=53, FR=0 HRS.)

▨ OTHER WALLS: 2X4 WD. STUDS, 16" O.C. W/ 1/2" GWB EA. SIDE (STC=0, FR=0 HRS.)

INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O., EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING OR MASONRY, U.N.O. ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.

**BASEMENT CODE NOTES**

IN ADDITION TO THOSE MENTIONED ON THE COVERSHEET, THE FOLLOWING BUILDING CODES SPECIFICALLY APPLY TO THIS WORK AREA:  
APPLICABLE SECTIONS OF IBC CHAPTER 10 "ADDITIONS" AND ADDITIONAL IBC SECTIONS, BY REFERENCE THEREIN.

**BASEMENT EGRESS NOTES**

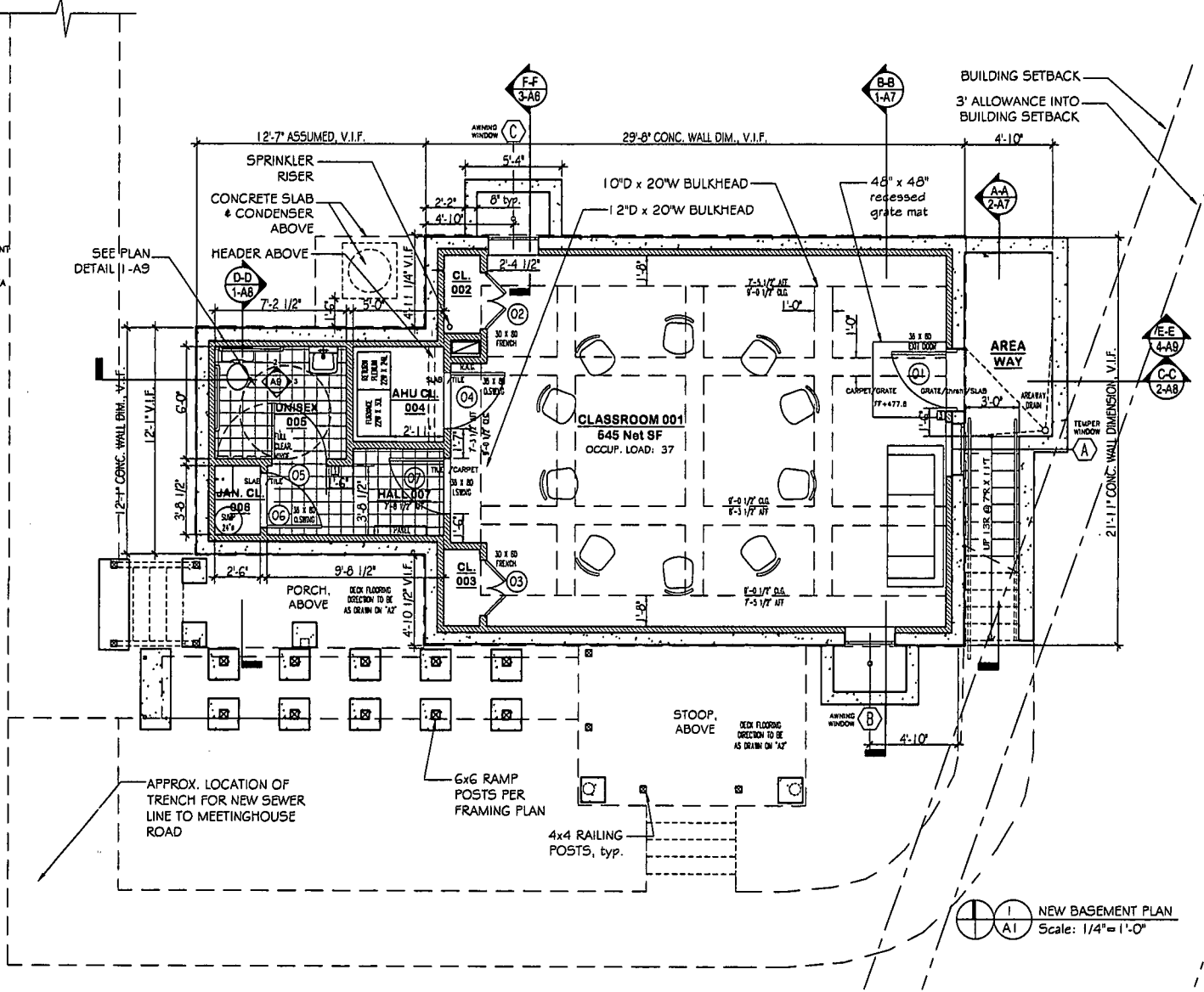
OCCUPANCY LOADS: 155F NET PER OCCUPANT  
EXG: 0 NEW: 37 TOTAL: 37 OCCUPANTS PER ROOM: SEE ROOM NAME NOTES  
MEANS OF EGRESS: EXTERIOR DOOR TO AREA WAY STAIRS TO PATH TO PUBLIC WAY.

**GENERAL FIRE PROTECTION NOTES**

SHOP DRAWINGS FOR THE FIRE PROTECTION SYSTEM (SUPERVISED AUTOMATIC SPRINKLER SYSTEM) SHALL BE SUBMITTED TO INDICATE CONFORMANCE TO THE CODE AND CONSTRUCTION DOCUMENTS AND SHALL BE APPROVED PRIOR TO THE START OF SYSTEM INSTALLATION. SHOP DRAWINGS SHALL CONTAIN THE INFORMATION AS REQUIRED BY THE REFERENCED INSTALLATION STANDARDS IN IBC CHAPTER 9. (DEFERRED SUBMITTAL)

**TO BE REVISED**

**TO BE REVISED**



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Building:	
<b>PHASE 1: HISTORIC SCHOOL HOUSE</b> (A RELATED WORK)	
Drawings:	
<b>NEW BASEMENT PLAN</b>	
Dates:	
PROGRESS SET 12/23/11	
Revisions:	
Architect's Seal:	
Professional Certification:	
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**FIRST FLOOR WALL LEGEND**

- EXISTING WALLS TO REMAIN:**
- EXTERIOR: 2X4 WD. STUDS 16" O.C. (STC=\_\_\_, FR=0 HRS.)
  - INTERIOR: 2X4 WD. STUDS 16" O.C. (STC=\_\_\_, FR=0 HRS.)

**NEW EXTERIOR WALLS:**

- FIRE WALLS: N/A
- BEARING WALLS: N/A
- NON-BEARING: N/A

**NEW INTERIOR WALLS:**

- STC WALLS: 2X4 WD. STUDS, 16" O.C. W/ 1/2" GWB EA. SIDE (STC=53, FR=0 HRS.)
- OTHER WALLS: 2X4 WD. STUDS, 16" O.C. W/ 1/2" GWB EA. SIDE (STC=0, FR=0 HRS.)

INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O. EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING OR MASONRY U.N.O. ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.

**FIRST FLOOR CODE NOTES**

IN ADDITION TO THOSE MENTIONED ON THE COVERSHEET, THE FOLLOWING BUILDING CODES SPECIFICALLY APPLY TO THIS WORK AREA: APPLICABLE SECTIONS OF IBC CHAPTER 8 "ALTERATIONS - LEVEL 1", CHAPTER 11 "HISTORIC BUILDINGS" & CHAPTER 12 "RELOCATED BUILDINGS" AS WELL AS ADDITIONAL IBC SECTIONS, BY REFERENCE THEREIN.

**FIRE RESISTANCE RATINGS**

BEARING WALLS: 0 HOURS REQUIRED  
ROOF COVERING: CLASS C ROOF ASSEMBLY REQUIRED  
SEE SPECIFICATIONS DIVISION 7  
SHAFT ENCLOSURES: 1 HOUR REQUIRED  
SEE SPECIFICATIONS DIVISION 9

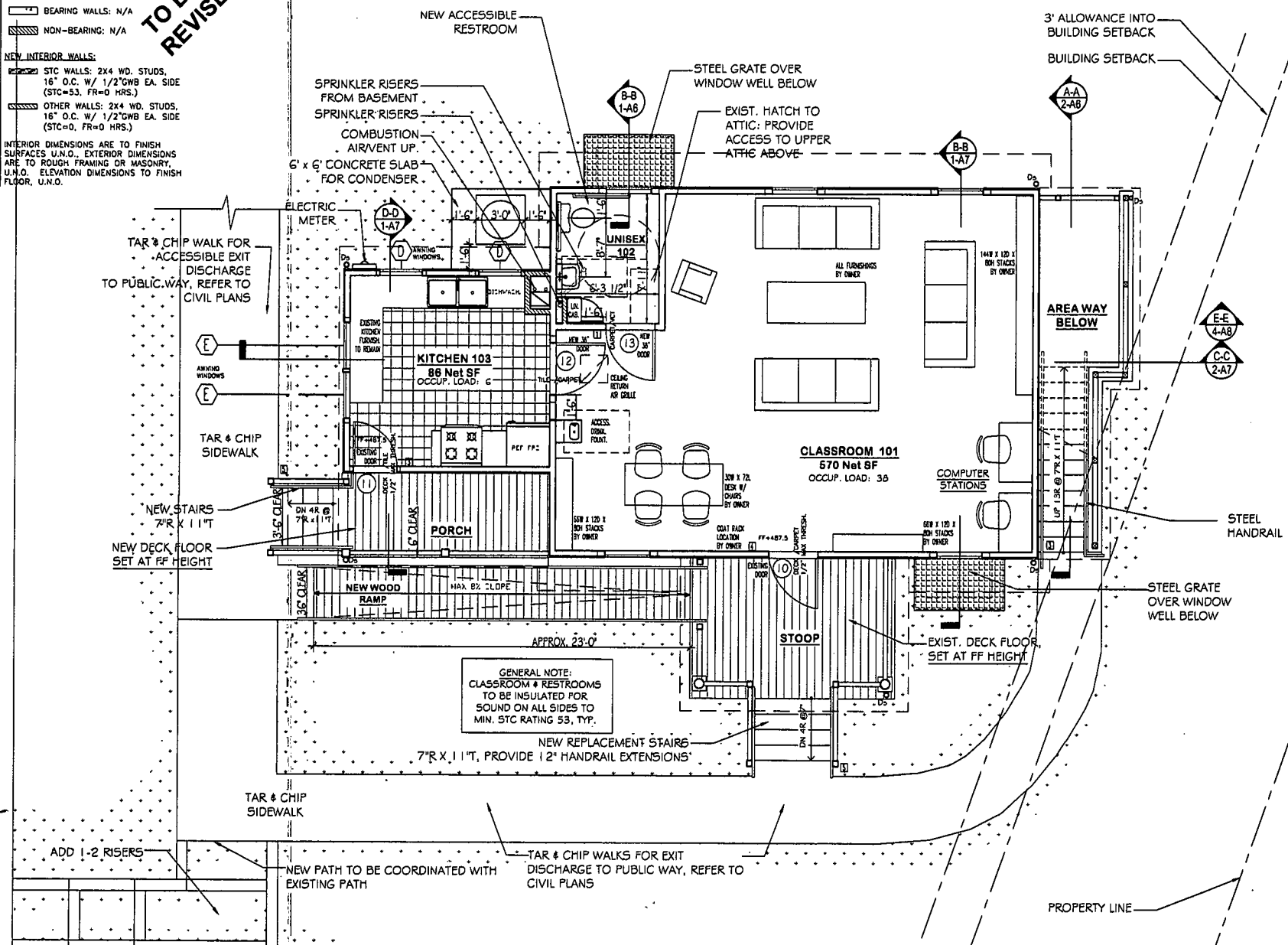
**FIRST FLOOR EGRESS NOTES**

OCCUPANCY LOADS: 155 SF NET PER OCCUPANT  
EXG: 44 NEW; 0 TOTAL: 44 OCCUPANTS  
PER ROOM: SEE ROOM NAME NOTES  
MEANS OF EGRESS: SINGLE EXTERIOR DOOR TO LANDING THAT DISCHARGES TO GRADE VIA RAMP OR STAIRS

**GENERAL FIRE PROTECTION NOTES**

SHOP DRAWINGS FOR THE FIRE PROTECTION (EMERGENCY-SERVICES AUTOMATIC SPRINKLER SYSTEM) SHALL BE SUBMITTED FOR REVIEW IN CONFORMANCE TO THE CODE AND THE CONSTRUCTION DOCUMENTS. THEY SHALL BE APPROVED PRIOR TO THE START OF SYSTEM INSTALLATION. SHOP DRAWINGS SHALL CONTAIN ALL INFORMATION AS REQUIRED BY THE REFERENCED INSTALLATION STANDARDS IN IBC CHAPTER 9. (DEFERRED SUBMITTAL)

**TO BE REVISED**



**GENERAL NOTE:**  
CLASSROOM & RESTROOMS TO BE INSULATED FOR SOUND ON ALL SIDES TO MIN. STC RATING 53, TYP.

NEW REPLACEMENT STAIRS: 7" R X 11" T, PROVIDE 12" HANDRAIL EXTENSIONS

1 NEW FIRST FLOOR PLAN  
A2 Scale: 1/4" = 1'-0"

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Montgomery County

Building:  
**PHASE 1: HISTORIC SCHOOL HOUSE**  
(A RELATED WORK)

Drawings:  
**NEW FIRST FLOOR PLAN**

Date:  
PROGRESS SET 12/23/11

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Montgomery County

Building:

**PHASE 1: HISTORIC  
SCHOOL HOUSE**  
(A RELATED WORK)

Drawing:

**ROOF PLAN**

Dates:

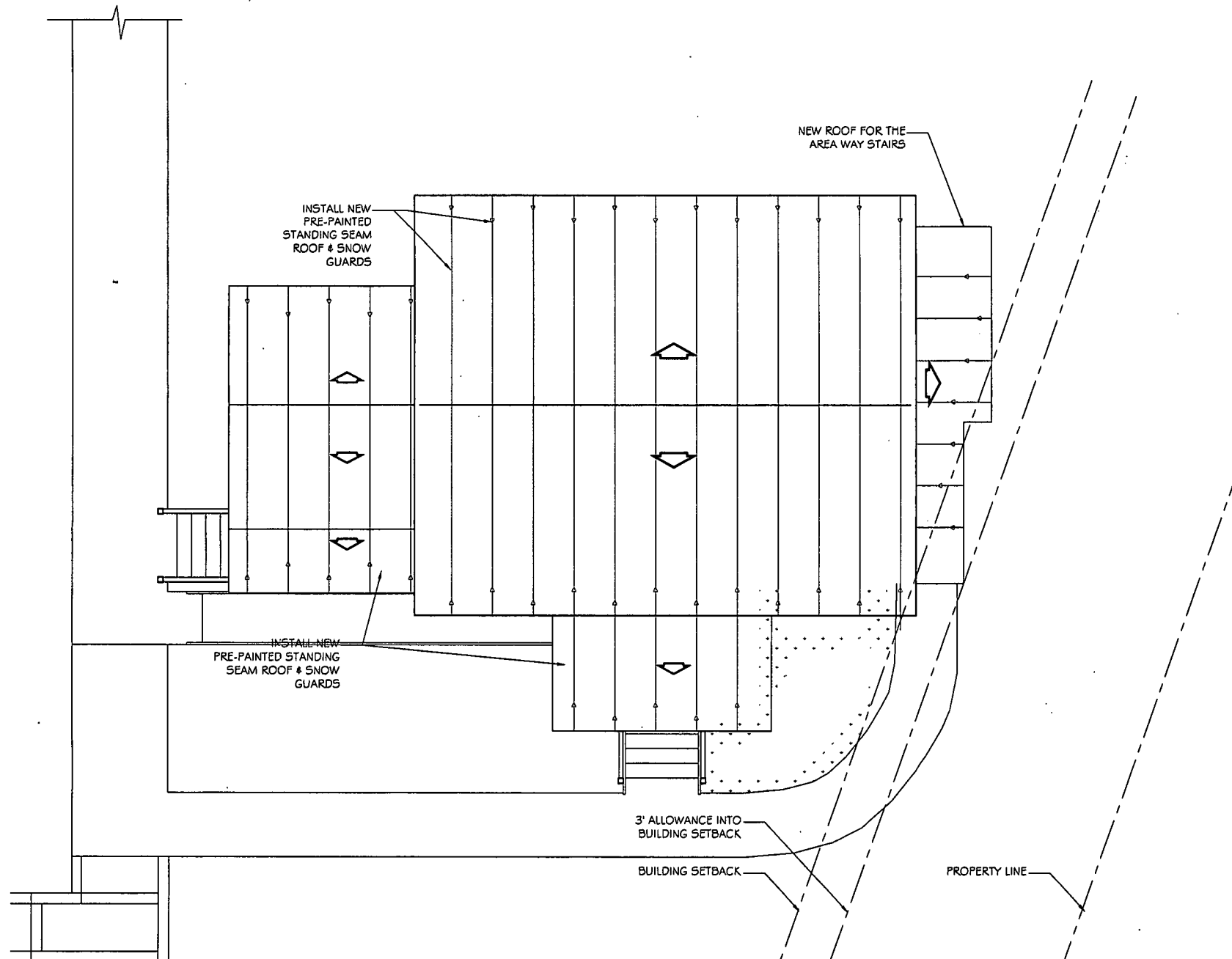
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1 ROOF PLAN  
A3 Scale: 1/8" = 1'-0"

PROGRESS SET - DEC 23, 2011

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Building:

**PHASE 1: HISTORIC  
SCHOOL HOUSE**  
(A RELATED WORK)

Drawings:

**ELEVATIONS**

Dates:

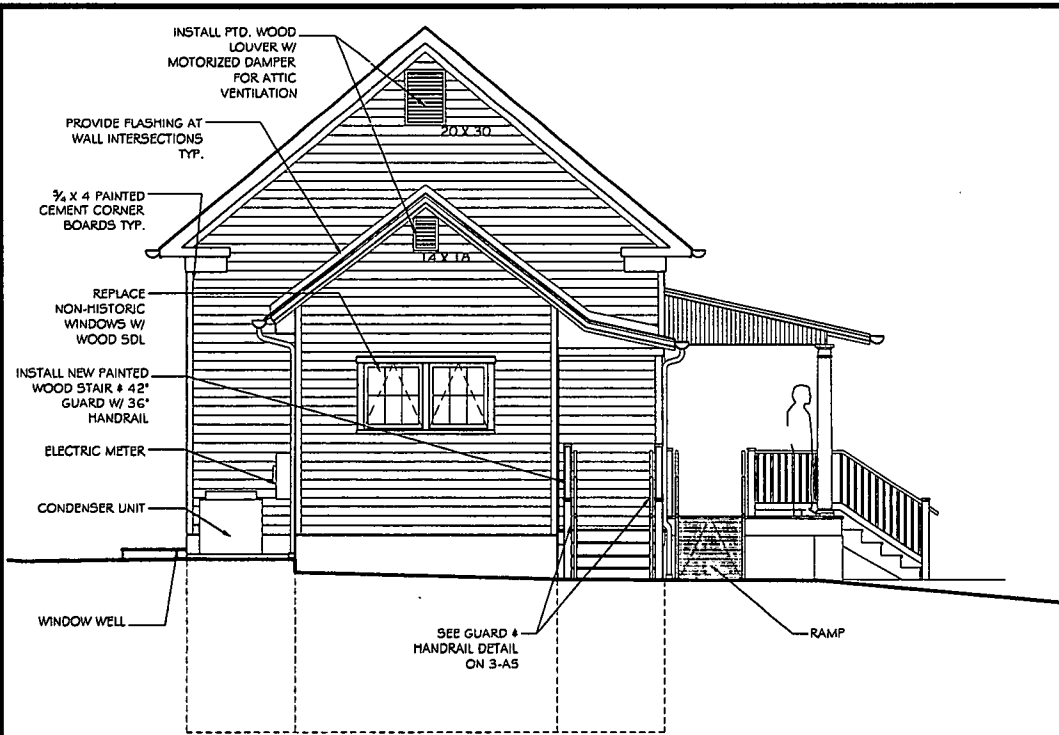
PROGRESS SET 12/23/11

Revisions:

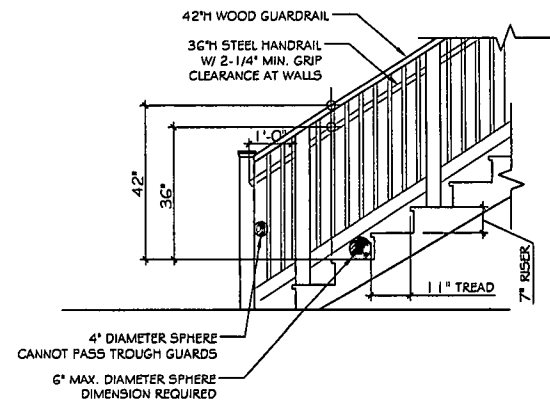
Architect's Seal:

Professional Certification:

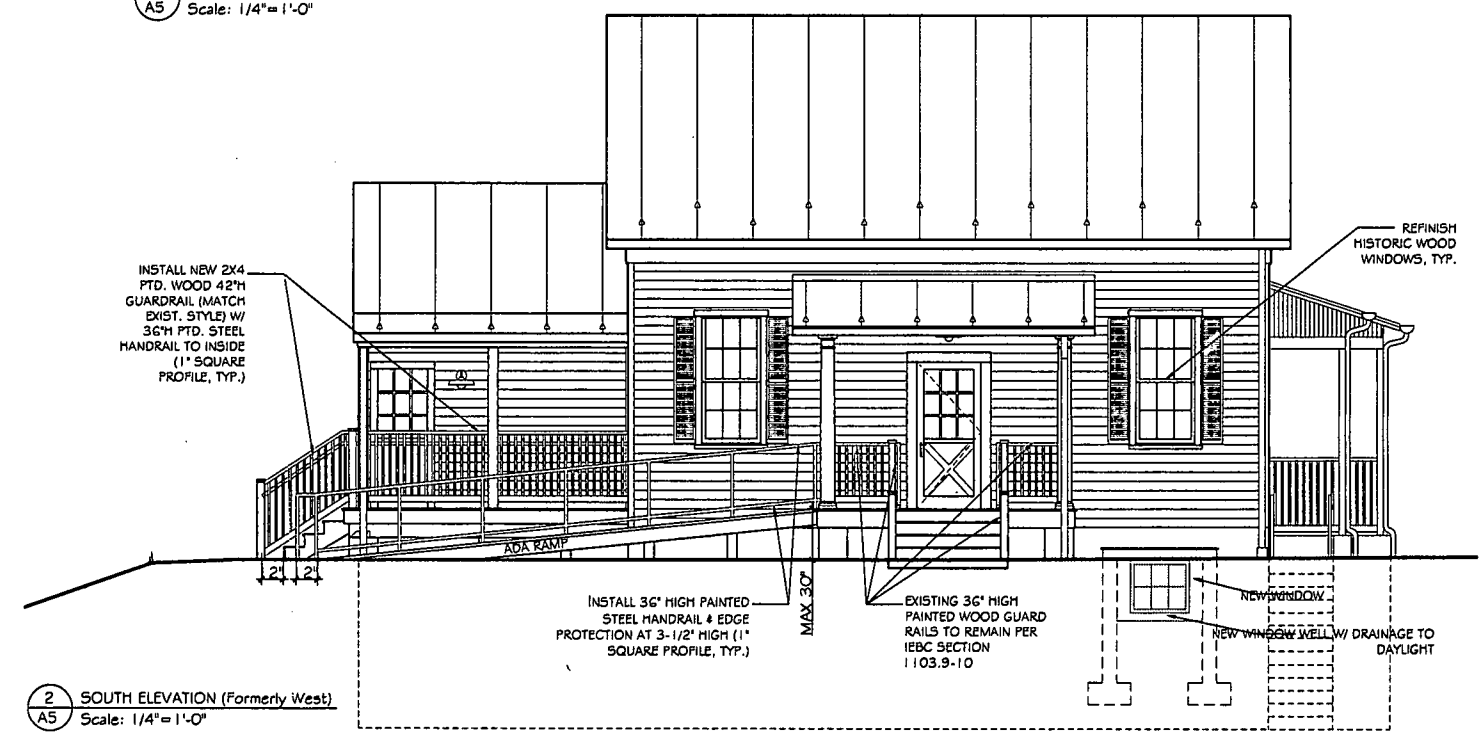
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1 WEST ELEVATION (Formerly North)  
A5 Scale: 1/4" = 1'-0"



3 TYPICAL GUARD & HAND RAIL DETAIL  
A5 Scale: 1/2" = 1'-0"

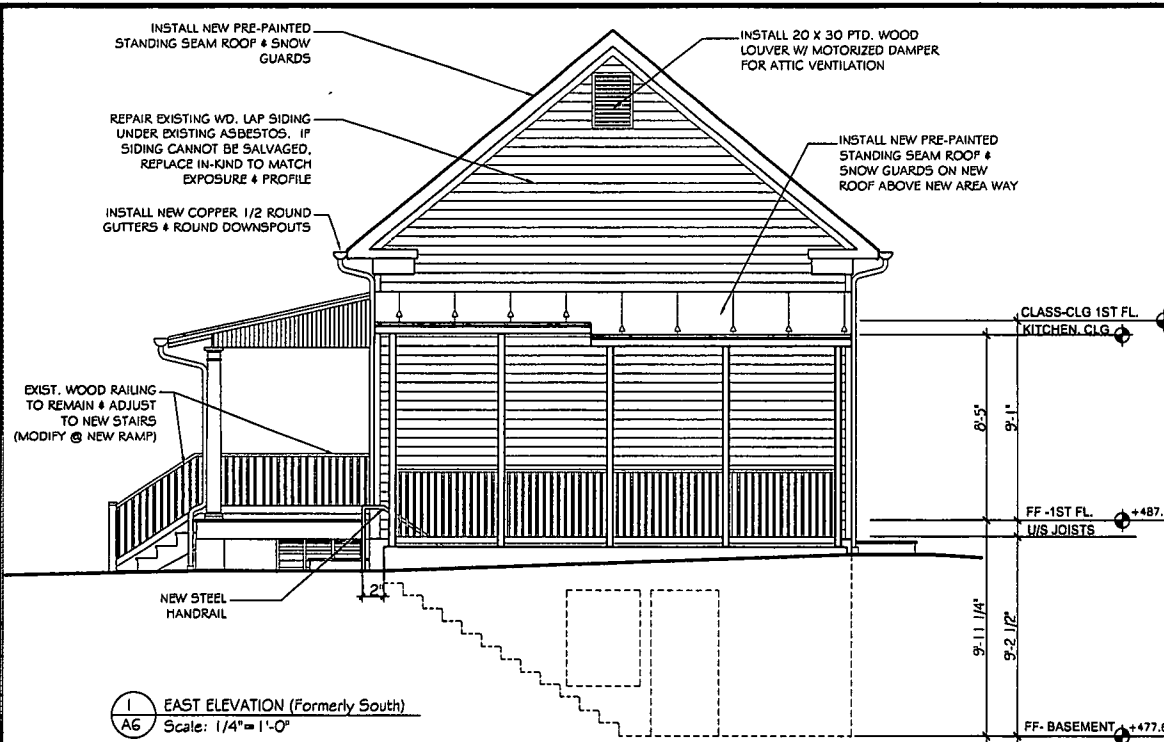


2 SOUTH ELEVATION (Formerly West)  
A5 Scale: 1/4" = 1'-0"

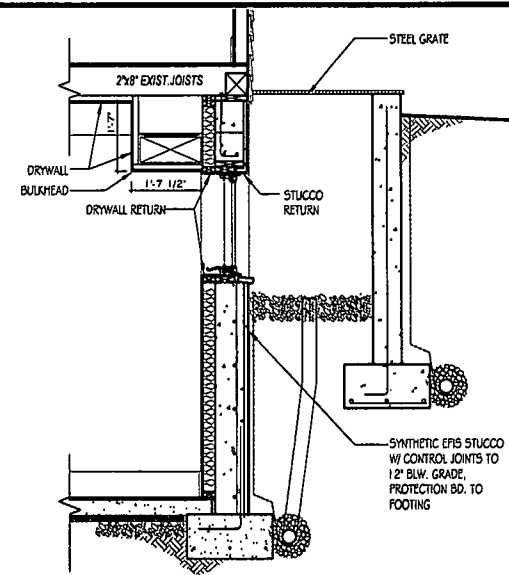
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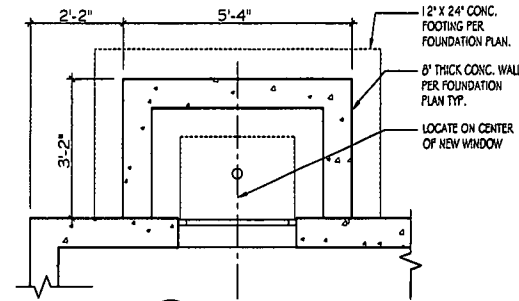
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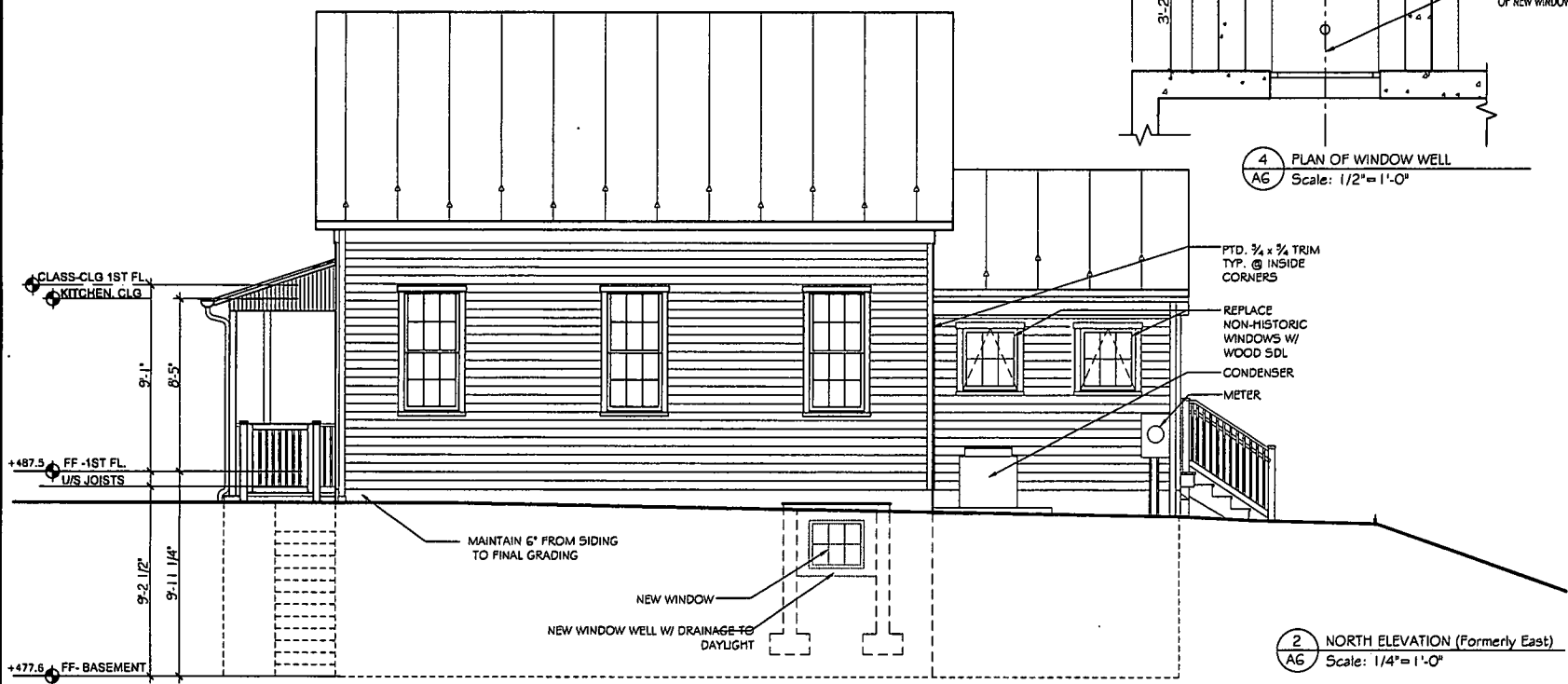
1 EAST ELEVATION (Formerly South)  
A6 Scale: 1/4" = 1'-0"



3 SECTION F-F WINDOW WELL DETAIL  
A6 Scale: 1/2" = 1'-0"

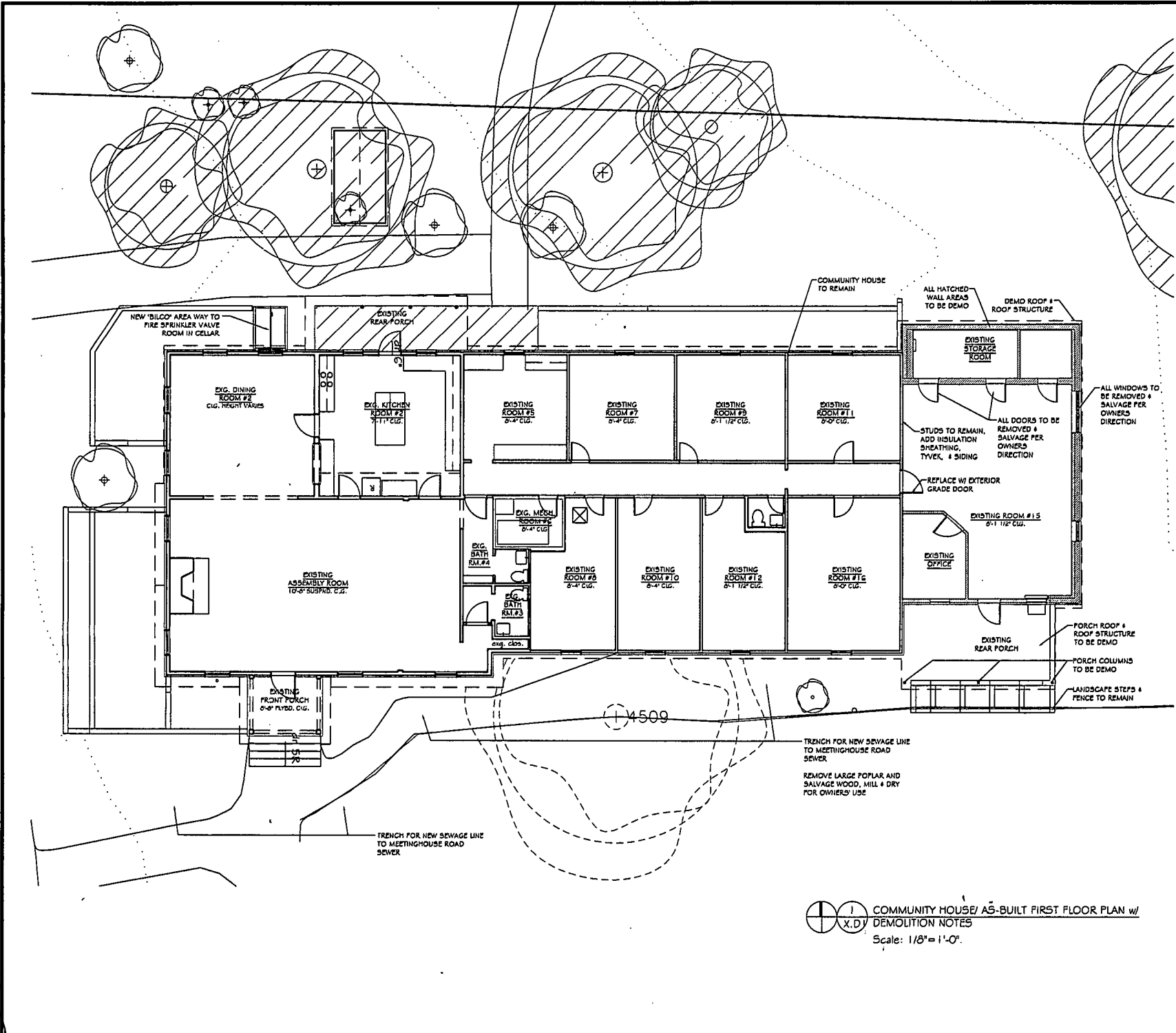


4 PLAN OF WINDOW WELL  
A6 Scale: 1/2" = 1'-0"



2 NORTH ELEVATION (Formerly East)  
A6 Scale: 1/4" = 1'-0"

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**PHASE 1: HISTORIC SCHOOL HOUSE**  
(A-RELATED WORK)

Drawings:  
**COMMUNITY HOUSE AS-BUILT & DEMO.**

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COMMUNITY HOUSE/ AS-BUILT FIRST FLOOR PLAN w/ DEMOLITION NOTES  
Scale: 1/8" = 1'-0"

23



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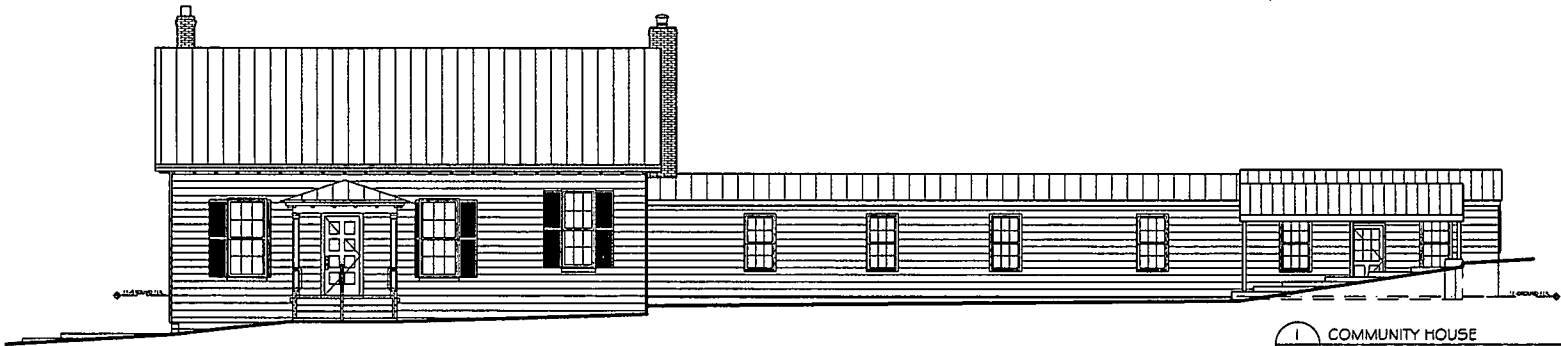
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Architect's Seal:

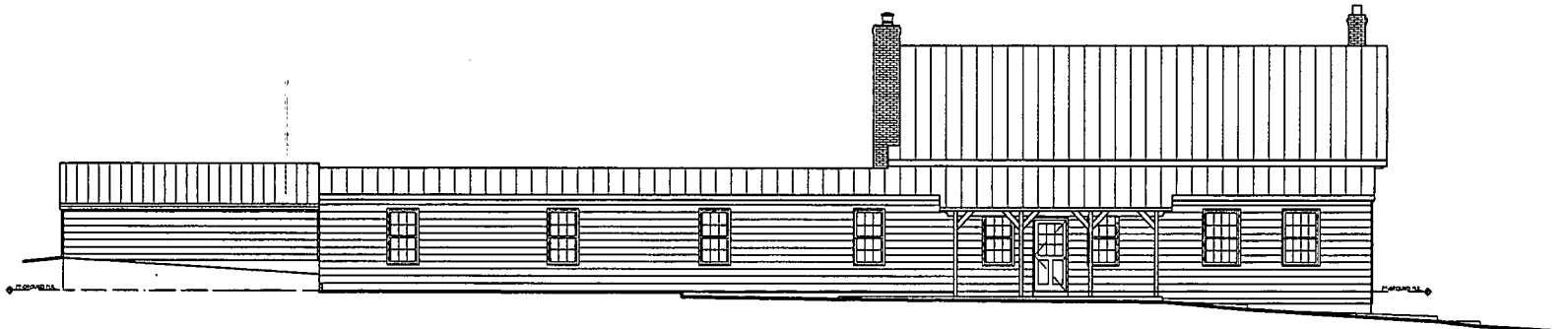
Professional Certification:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/9/12."

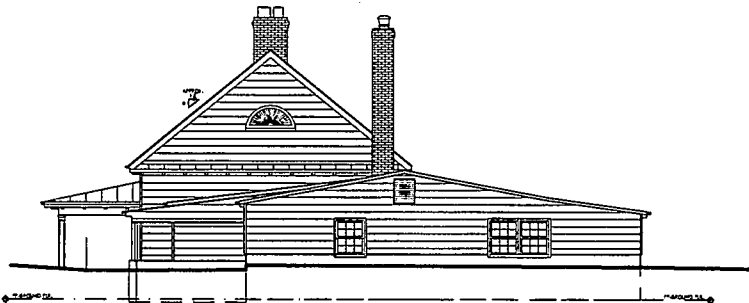
PROGRESS SET - DEC 23, 2011



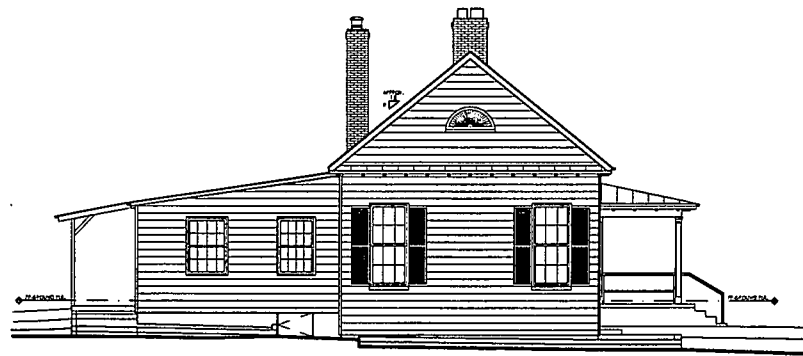
1 COMMUNITY HOUSE  
X.D2 AS-BUILT SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



2 COMMUNITY HOUSE  
X.D2 AS-BUILT NORTH ELEVATION  
Scale: 1/8" = 1'-0"

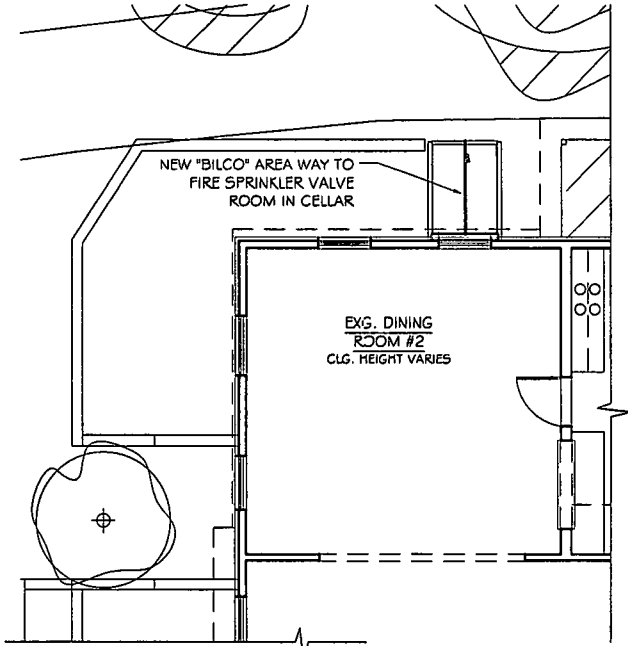


3 COMMUNITY HOUSE  
X.D2 AS-BUILT EAST ELEVATION  
Scale: 1/8" = 1'-0"

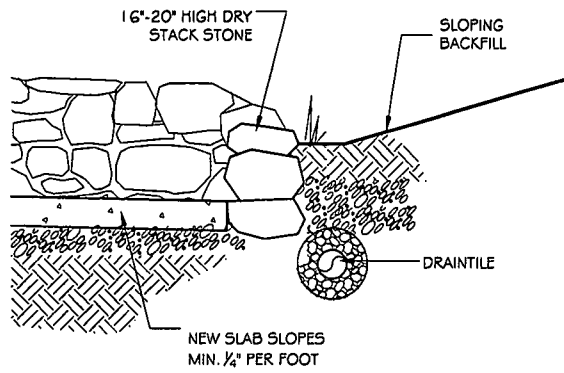


4 COMMUNITY HOUSE  
X.D2 AS-BUILT WEST ELEVATION  
Scale: 1/8" = 1'-0"

717

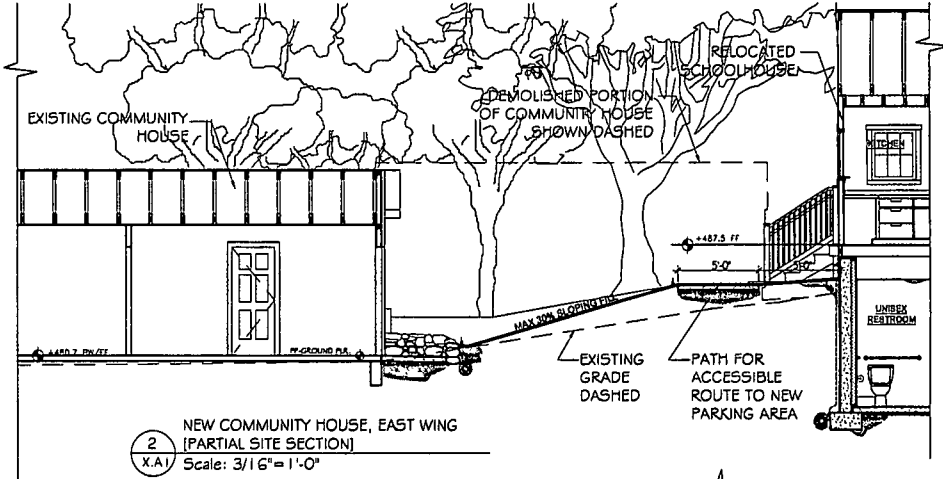


NEW COMMUNITY HOUSE, NORTHWEST CORNER  
[PARTIAL FIRST FLOOR PLAN]  
Scale: 3/16" = 1'-0"

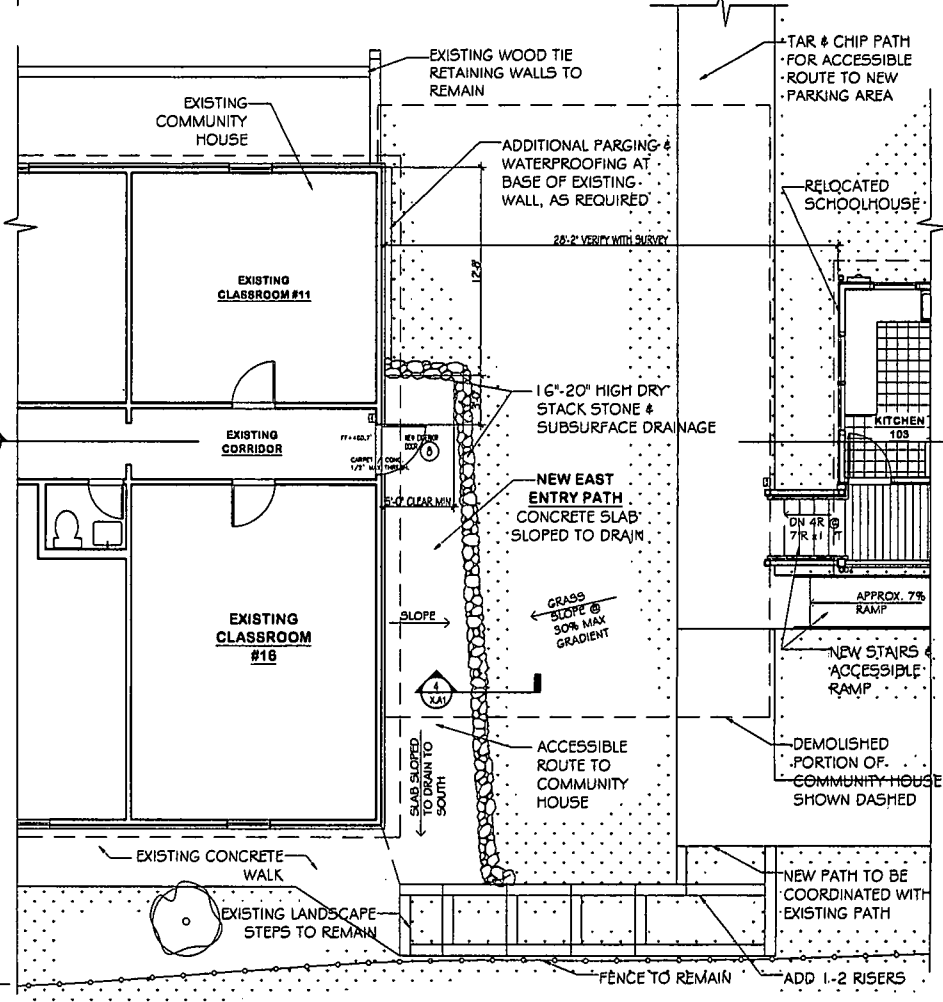


TYP. RETAINING WALL SECTION  
Scale: 1" = 1'-0"

NEW COMMUNITY HOUSE, EAST WING  
[PARTIAL FIRST FLOOR PLAN]  
Scale: 3/16" = 1'-0"



NEW COMMUNITY HOUSE, EAST WING  
[PARTIAL SITE SECTION]  
Scale: 3/16" = 1'-0"



<b>MICHE BOOZ</b> ARCHITECT 208 Market St Brookville Md/20833 (301)774-6911 fax: 774-1908	
Project: <b>SANDY SPRING MONTHLY MEETING</b> 17715 Meetinghouse Rd Sandy Spring, MD 20880 Montgomery County	
Building: <b>PHASE 1: HISTORIC SCHOOL HOUSE</b> <small>(A RELATED WORK)</small>	
Drawings: <b>NEW COMMUNITY HOUSE PARTIAL PLANS &amp; SECTIONS</b>	
Dates: PROGRESS SET 12/23/11	
Revisions:	
Architect's Seal:	
Professional Certification: "I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/9/12."	

PROGRESS SET - DEC 23, 2011

50

MICHE BOOZ

ARCHITECT

X.A2

208 Market St  
Baltimore, MD 21201  
(410) 774-6911  
fax: 774-1908

Project:

**SANDY SPRING  
MONTHLY  
MEETING**

17715 Meetinghouse Rd  
Sandy Spring, MD 20860  
Montgomery County

Building:

**PHASE 1: HISTORIC  
SCHOOL HOUSE**  
(A RELATED WORK)

Drawings:

**NEW COMMUNITY  
HOUSE PLANS**

Dates:

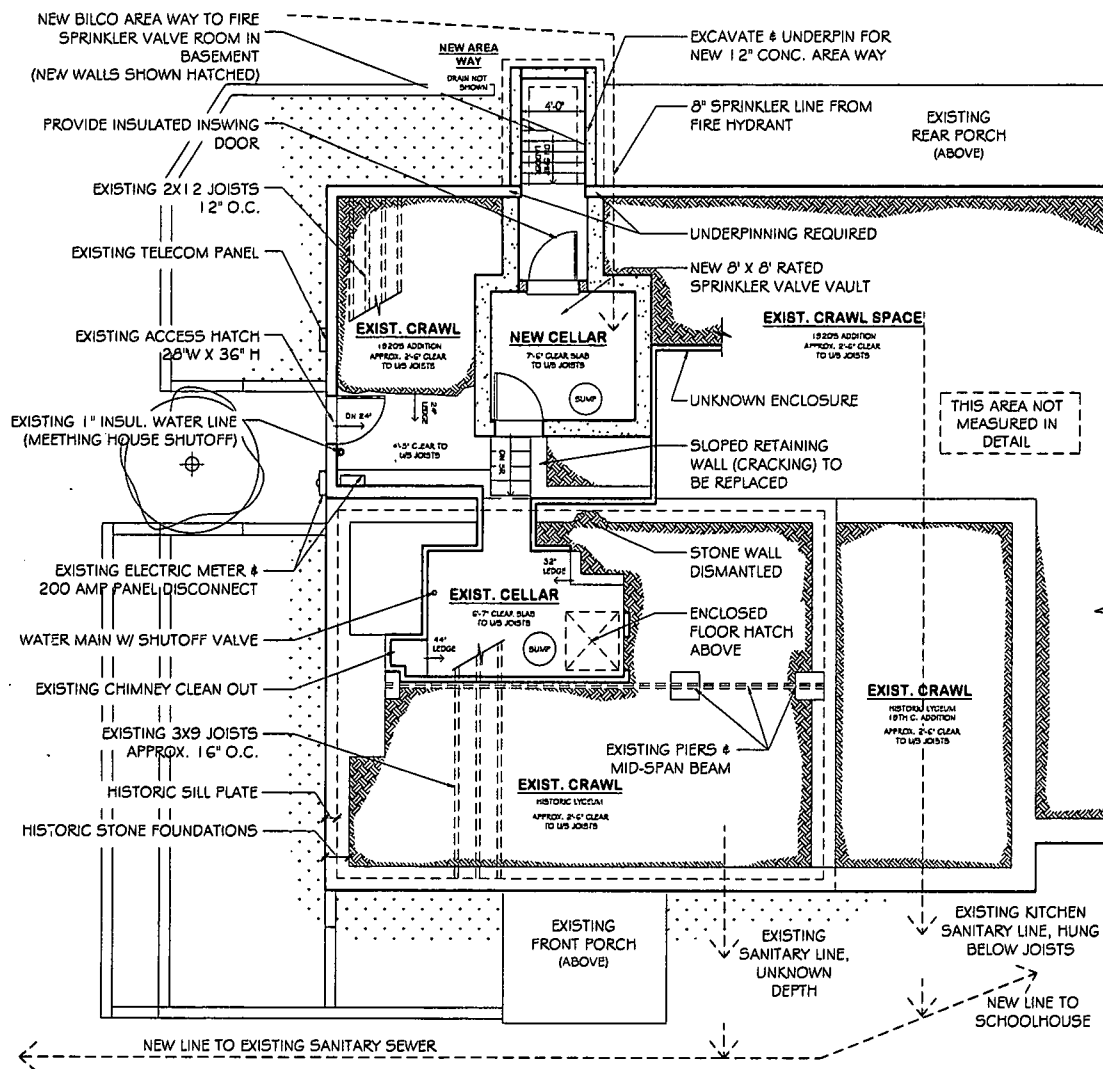
PROGRESS SET 12/23/11

Revisions:

Architect's Seal:

Professional Certification:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/9/12."



COMMUNITY HOUSE CELLAR PLAN  
Scale: 3/16" = 1'-0"

PROGRESS SET - DEC 23, 2011

26

PRINT PLOTS AT 100% TO KEEP SCALE

MICHE BOOZ

ARCHITECT

X.A3

208 Market St  
Brykewille  
Baltimore, MD 21201  
(410) 774-6911  
fax: 774-1908

Project:

**SANDY SPRING  
MONTHLY  
MEETING**

17715 Meetinghouse Rd  
Sandy Spring, MD 20860  
Montgomery County

Building:

**PHASE 1: HISTORIC  
SCHOOL HOUSE**

(& RELATED WORK)

Drawings:

**NEW COMMUNITY  
HOUSE ELEVATIONS**

Dates:

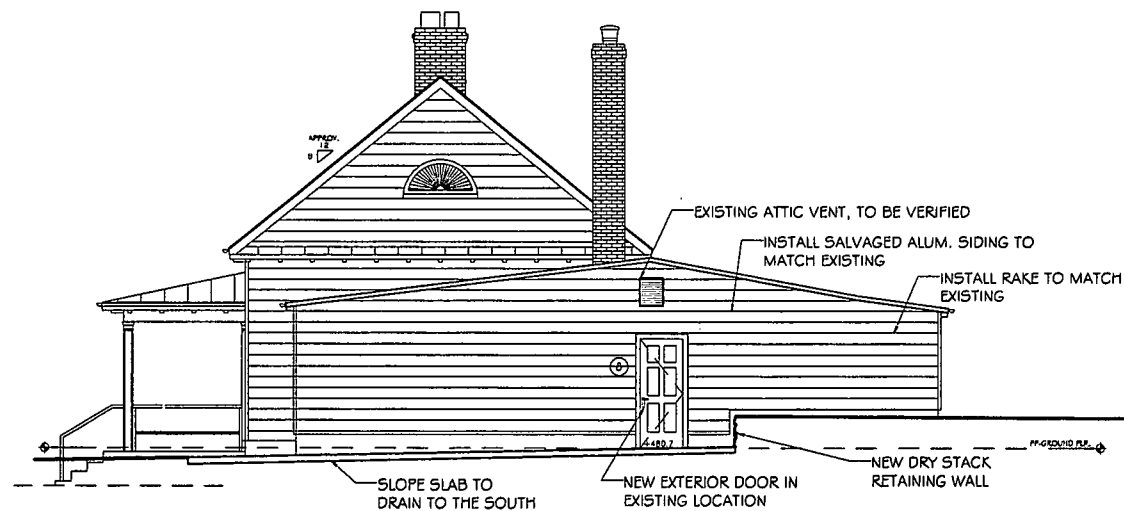
PROGRESS SET 12/23/11

Revisions:

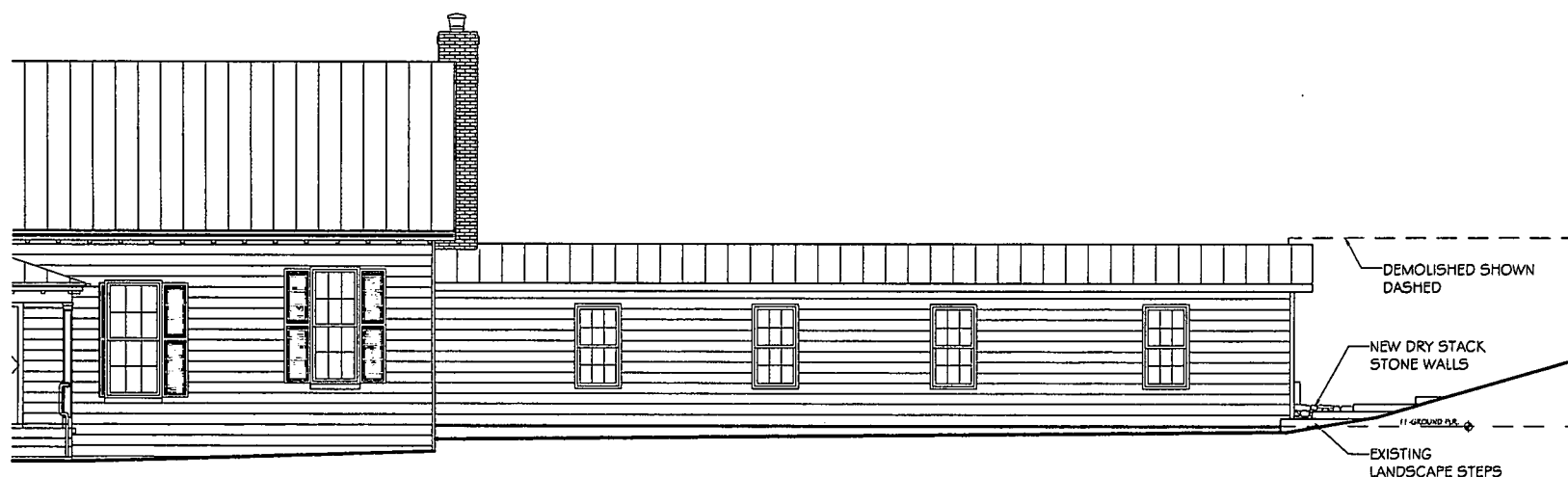
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1  
X.A3  
COMMUNITY HOUSE, EAST WING  
[NEW EAST ELEVATION]  
Scale: 3/16" = 1'-0"



2  
X.A3  
COMMUNITY HOUSE, EAST WING  
[PARTIAL SOUTH ELEVATION]  
Scale: 3/16" = 1'-0"

PROGRESS SET - DEC 23, 2011

27

PRINT PLOTS AT 100% TO KEEP SCALE

MICHE BOOZ

ARCHITECT

X.A4

208 Market St  
Brykewille  
Brykewille 20833  
(301)774-0911  
fax: 774-1908

Project:

**SANDY SPRING  
MONTHLY  
MEETING**

17715 Meetinghouse Rd  
Sandy Spring, MD 20860  
Montgomery County

Building:

**PHASE 1: HISTORIC  
SCHOOL HOUSE**  
(RELATED WORK)

Drawings:

**NEW COMMUNITY  
HOUSE ELEVATIONS**

Dates:

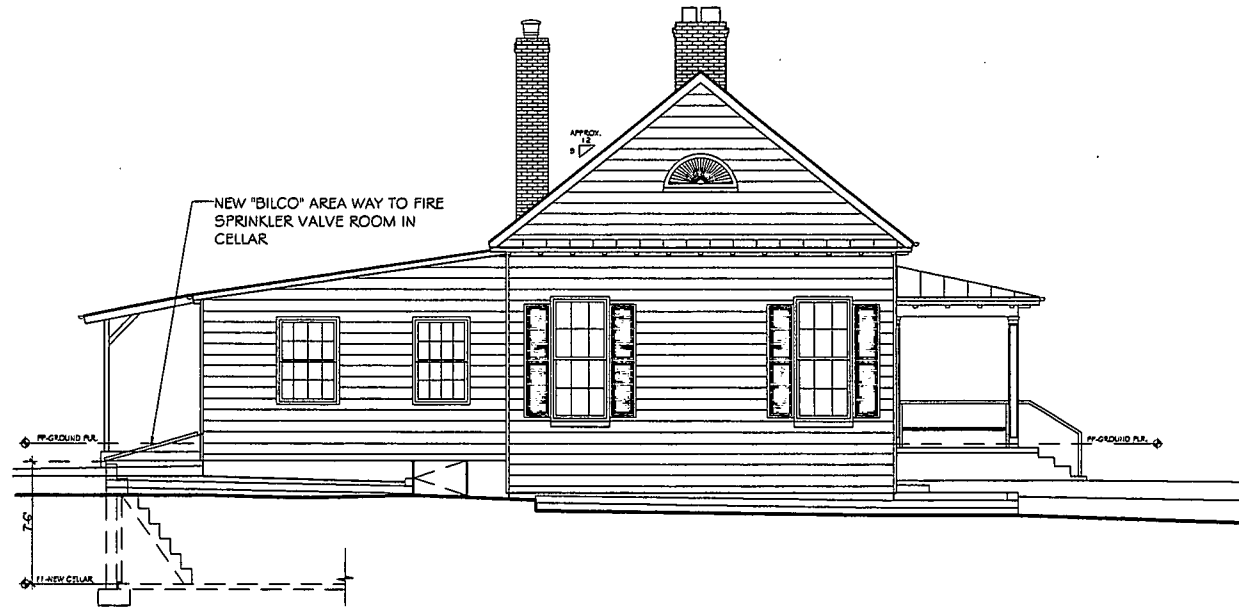
PROGRESS SET 12/23/11

Revisions:

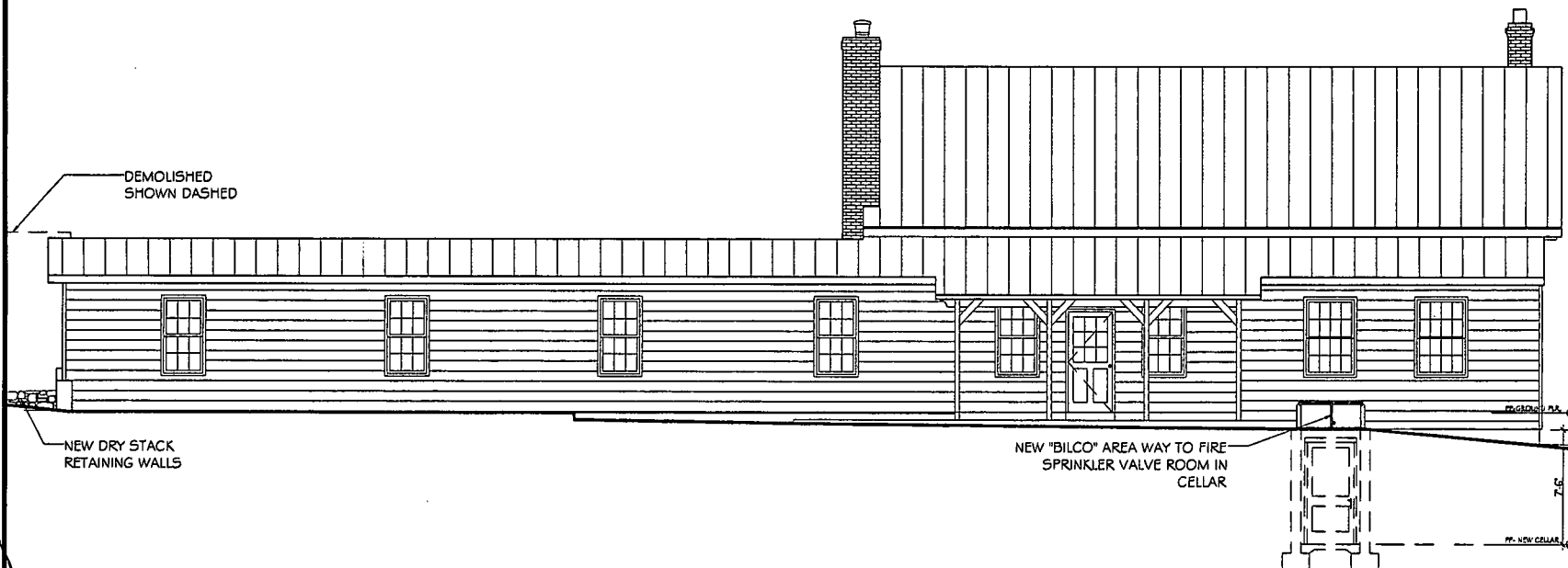
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1 COMMUNITY HOUSE (WEST ELEVATION)  
X.A4 Scale: 3/16"=1'-0"



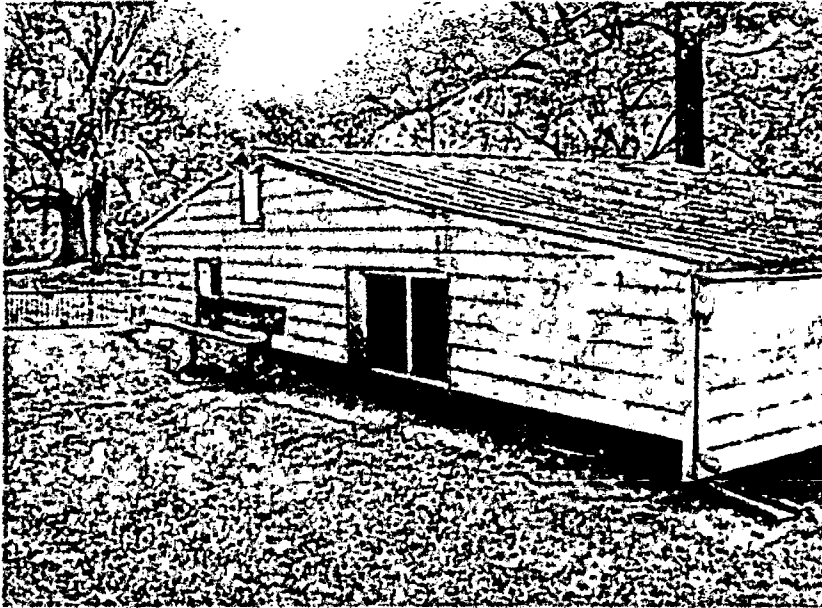
2 NEW COMMUNITY HOUSE (NORTH ELEVATION)  
X.A4 Scale: 3/16"=1'-0"



The front of the school house in its current location.



The rear of the school house.



Current east façade of the Community House showing the 1985 classroom addition. This portion will be demolished as part of Phase 1 work.



Schoolhouse building in its current location. There will be only minor improvements to the exterior of the building, but the ramping will be changed in the new location.



Historic photo of the Lyceum taken from the northwest. The meeting house is visible to the south. If the original lap siding is intact, it will be restored during future phase work.

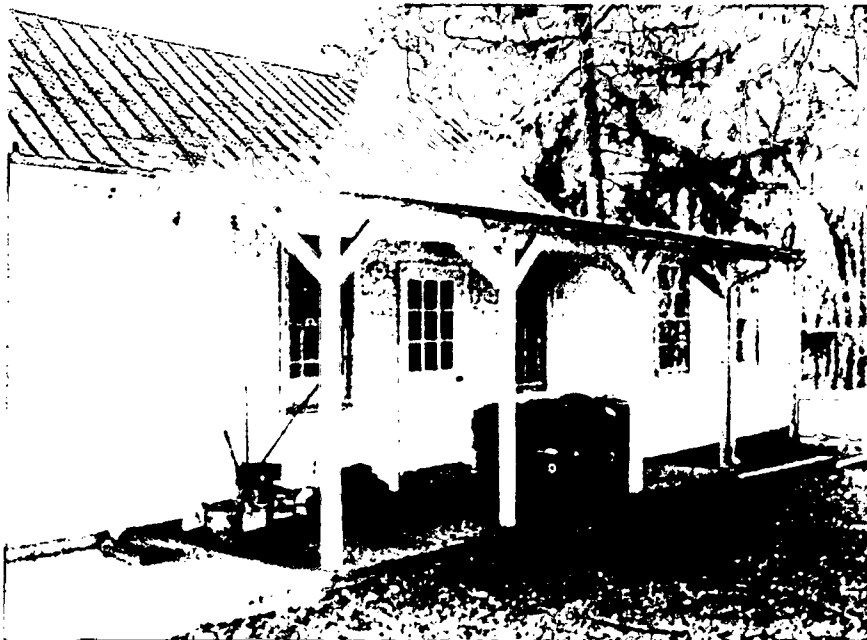


The historic Meeting House and rural road viewed from the northeast. The Meeting House will be untouched by all phases of the proposed project.





Current view of the Community House from the southwest parking lot showing south and west facades. The recessed east wing of the building visible in the photo will be demolished (built 1978 and 1985). The back low-slope addition on the north side will remain. The visible corner of the graveyard fence will be chamfered (Two stone fence posts will replace the one.) The tulip poplar will be removed.



Existing porch on the north side of the Community House added in 1958. This porch will be kept.

**HPC Meeting Transcript**

**December 21, 2011**

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MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

----- X  
:  
PRELIMINARY CONSULTATION - :  
17715 Meetinghouse Road :  
Sandy Spring :  
:  
----- X

A meeting in the above-entitled matter was held on  
December 21, 2011, commencing at 7:32 p.m., in the MRO  
Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland  
20910, before:

COMMISSION CHAIRMAN

Leslie Miles

COMMISSION MEMBERS

Sandra Heiler  
William Kirwan  
Paul Treseder  
Craig D. Swift

ALSO PRESENT:

Scott Whipple, Director  
Anne Fothergill, Staff  
Josh Silver, Staff

APPEARANCES

STATEMENT OF:

PAGE

Miche Booz, Architect  
Ned Stowe

7

1 preliminary consultation for the Sandy Spring Monthly  
2 Meeting. These folks can come up and sit at the table. And  
3 do we have a brief staff report?

4 MR. SILVER: We sure do. This is at 17715  
5 Meetinghouse Road. It's an outstanding resource. The main  
6 property is an outstanding resource in the Sandy Spring  
7 historic district. This is the second preliminary  
8 consultation. The HPC provided comments and feedback on the  
9 overall concept on development for this property. This is a  
10 phased approach due to the economics, the challenges  
11 associated with the project.

12 So what this includes is -- let me try and fix  
13 this microphone for a second. Hold on. Is that any better?  
14 It's not. It's resonating. Okay.

15 This still includes the relocation, there are sort  
16 of two primary things for you to review here this evening  
17 and provide feedback on. One is the relocation of the  
18 school house which the HCP already supported, but now  
19 includes a few alterations which include adding an area way  
20 at the right side elevation, and an ADA compliant ramp on  
21 the front elevation, as well as removal and replacement of  
22 the roof with a metal roof and a removal of the siding and  
23 installation of the fiber cement, or composite material  
24 siding.

25 It also includes some work to the Lyceum or better

1 known as the Community House. With the first preliminary  
2 consultation you reviewed there was, the proposal was to  
3 demolish the non-historic sections, or one complete section  
4 of the non-historic section, and the partial demolition of  
5 another non-historic section and construct a new addition.  
6 That will likely hopefully happen at a later date.

7           But what this includes is removal of a 1980's  
8 period addition in order to provide sufficient space for the  
9 replacement or the placement of schoolhouse from outside the  
10 district to inside the district, as well as some residing of  
11 the newly exposed elevation of the non-historic section,  
12 which includes an aluminum siding treatment, which they hope  
13 to put back onto the wall that's exposed as a result of this  
14 demolition of the 80's section.

15           It also includes the installation of a Bilco hatch  
16 door to the front of the resource to provide access to a  
17 required below grade sprinkler system that the Fire  
18 Department and WSSC are requiring.

19           I believe that's all, sort of the major components  
20 of the project. It does include -- I'm sorry, there is  
21 another thing. Forgive me. It is an installation of a dry  
22 stack stone retaining wall and a concrete or asphalt patio  
23 area which will provide space for staging of the relocation  
24 of the schoolhouse back into the district.

25           And these are temporary measures that will be

1 presumably removed in the future as this site continues to  
2 be developed. And they include six points in circle 5 of  
3 the staff report.

4 I will point out the one item that I would like to  
5 have the Commission discuss, which is, would fall under, I  
6 guess, number five, excuse me, number four would be the  
7 siding treatments to the schoolhouse building. And I can go  
8 through those, or would you rather just move into the  
9 presentation?

10 MS. MILES: Why don't we just move into the  
11 presentation.

12 MR. SILVER: Okay. And the architect is here and  
13 he's actually going to go through the presentation up here  
14 on the laptop. This was a collaborative effort.

15 MS. MILES: Thank you, Josh. Are there any  
16 questions for staff? Okay. If the applicant would please  
17 come forward and make a brief presentation.

18 MR. BOOZ: Good evening. I'm Miche Booz, and I'm  
19 here with Ned Stowe from the Sandy Spring Monthly Meeting.  
20 And I guess we'll just go through the presentation. I did  
21 bring a pointer. Let's see.

22 This is the Community House as it is today. This  
23 map just shows the historic district shown here, the Lyceum  
24 Community House. You're going to hear that called two  
25 things. It was the Lyceum, but it's now called the

1 Community House. But this is, you can see, just barely, the  
2 long low roof, and then the section we are proposing to  
3 remove.

4           The actual historic Meeting House is here, which  
5 we are not doing anything to. This is just pretty much the  
6 same map showing the plan of the site itself. Again, this  
7 is the section to be removed. And this is the new location  
8 for the schoolhouse. The schoolhouse presently is here.  
9 Yet another diagram, and we have to go through all this  
10 again, but we are removing that and there is the schoolhouse  
11 and it is going over here.

12           Just photos of the historic buildings on the site.  
13 There's the Meeting House from 1817, the schoolhouse as it  
14 is now, again, the Lyceum Community House. This is a house  
15 the Meeting owns that's on 108. This is just a streetscape  
16 of Sandy Spring.

17           This is an image that goes to phase three of this  
18 whole project. I don't know how many of you were part of  
19 that presentation, but we're, this evening, just really  
20 talking about phase one of the three phase project. This  
21 was the final phase, which was the Community House Lyceum,  
22 and it's a new addition once all of these classrooms come  
23 off and the new classroom building is built in the rear.  
24 What is happening now is the removal of this 1980's  
25 addition, non-historic addition.



1           These are photos of the Lyceum Community House,  
2 and you've seen the piece that we would like to remove.  
3 We'll do this again. This is it again, and it's way down  
4 there.

5           This is the historic graveyard, here. Some  
6 elevations showing the building with the piece actually  
7 removed, and the grade as it comes down from where the  
8 schoolhouse will be over here.

9           This is the end that will now be exposed from the  
10 removal of this classroom. And we're asking to simply  
11 reclad that, sort of moth balling this until this gets  
12 removed in phase three. And we just would like to put back  
13 something that matches what's there, which is aluminum  
14 siding right now, which we'd like to replace and have wood  
15 siding on the building once we're finally finished with the  
16 project.

17           This is the schoolhouse as it is now. You can see  
18 that it's nicely landscaped. It has asbestos shingles on  
19 it, and some non-historic windows which we are proposing to  
20 replace with some simulated divided light windows. We'll be  
21 removing this ramp which currently serves the building, but  
22 we're going to pick it up in either one piece or three  
23 pieces. We don't know quite yet. And roll it down the hill  
24 over to here.

25           This is the, you know, all three phases complete,

1 phase one, phase two, and phase three.

2 MS. MILES: Thank you. Does anyone have any  
3 questions for the applicant?

4 MR. KIRWAN: I have one. On circle 23 in the  
5 staff report, there is, for the schoolhouse relocation,  
6 there is a typical wood guardrail detail which is showing  
7 what I believe to be an older code requirement where the  
8 rail has to extend one tread plus 12 inches beyond the last  
9 riser.

10 And I believe the current code requirement only  
11 requires 12 inches beyond the last riser. And it seems to  
12 be consistent with other things in your drawing. And I  
13 think it would actually be, that old code detail looks very  
14 funky on stairs.

15 MR. BOOZ: I totally agree with you.

16 MR. KIRWAN: And so I think the 12-inch  
17 requirement would be, I just wanted to make sure is done  
18 consistently, if that's the intention.

19 MR. BOOZ: We were just going to do what the code  
20 requires. The last project we did, I think, we probably had  
21 to do the former, but I prefer to do the better one.

22 MR. KIRWAN: Yes, I believe this is the new code  
23 requirement. Yes. But, I mean, you should check on that.

24 MR. BOOZ: 2009.

25 MR. KIRWAN: And it also only applies to the

1 handrail, too, not the guardrail sections. But sometimes  
2 it's even nicer just to let the pipe rail --

3 MR. BOOZ: Just extend.

4 MR. KIRWAN: -- be the 12 inches extension and  
5 return to the newel, so that the newel can sort of be in its  
6 more traditional position on the bottom, the bottom track.

7 MR. BOOZ: We agree.

8 MR. KIRWAN: Good. Thanks.

9 MS. MILES: If there are no other questions,  
10 rather than have everyone speak, I'm going to go through the  
11 six items on which the applicant has asked for guidance and  
12 just ask if anyone has any objections to what is proposed.  
13 So just speak up if anyone objects to the installation of  
14 the Bilco hatch, which is not what's in the staff report,  
15 but as amended today, the Bilco hatch on the north elevation  
16 of the Lyceum Community House? Any concerns? No.

17 Installation of the temporary concrete patio and  
18 stone retaining wall on the east side elevation of the  
19 Lyceum Community House? No concerns.

20 Relocation of the existing schoolhouse to within  
21 the historic district? No concerns.

22 Removal and replacement of asbestos wood siding  
23 with cementitious siding product on the schoolhouse  
24 building?

25 MR. KIRWAN: Yes. I mean, I do agree with the

1 staff's recommendation on the placement, in common with wood  
2 or what even with salvage that is existing, if that's  
3 possible.

4 MS. MILES: Okay. Does anyone else have any  
5 comment on that subject?

6 MR. TRESEDER: I would just comment that the  
7 shutters should also be salvaged if possible.

8 MS. MILES: Okay.

9 MR. TRESEDER: It looks from the photos like they  
10 are original shutters on the building.

11 MR. BOOZ: Yes, the intention is to salvage them.

12 MS. MILES: It sounds like you are getting some  
13 guidance to salvage what is salvageable. Construction of a  
14 new area way on the east side, and the ADA ramp on the south  
15 side of the schoolhouse building. No concerns. And  
16 approvable material treatments for all permanent walkways  
17 and services.

18 I see no concerns. It looks like you are on track  
19 for approval. If you want to come back for a HAWP, we would  
20 love to see you do so. This is listing all the elements and  
21 all the staged pieces, right?

22 MR. BOOZ: Yes.

23 MS. MILES: Okay.

24 MR. BOOZ: Yes, the only, I mean, I'll just say,  
25 the only reason that we were proposing fiber cement siding

1 was obviously for maintenance reasons. And the Meeting had  
2 asked me to do that. So I hear your concerns.

3 MS. MILES: Okay. Very good. Thank you very  
4 much.

5 MR. BOOZ: Thank you.

6 MS. MILES: Okay. Do we have minutes for  
7 November 15th, 2011?

8 MS. FOTHERGILL: No, I believe Kevin just sent  
9 them out this week.

10 MR. KIRWAN: I did receive them on Tuesday and I  
11 haven't had time to look at them.

12 MS. MILES: Then I assume not December 7th. Okay.  
13 do we have any Commission items? I believe we have one or  
14 two staff items.

15 MR. SILVER: There is one staff item for the  
16 installation of flagstone for the front walkway at 22 West  
17 Irving Street in lieu of concrete, and that's for your  
18 approval.

19 MS. MILES: And I believe that was given upstairs.

20 MR. SILVER: That's correct.

21 MS. MILES: Okay.

22 MR. SILVER: Thanks.

23 MS. MILES: And do you have a brief announcement?

24 MR. WHIPPLE: Yes. I would just like to announce  
25 that the Planning Department has received an award from the

1 Maryland Historic Trust, the State Historic Preservation  
2 Office, for our work on historic preservation mapping GIS,  
3 the mapping tool that's on our website. And so we will be  
4 recognized at a ceremony in January in Annapolis.

5 MS. MILES: Congratulations. And I'm going to  
6 volunteer to do the minutes tonight.

7 MS. HEILER: Oh, we all wanted to volunteer.

8 MR. TRESEDER: Chairman prerogative.

9 MS. MILES: If there are no other items, we are  
10 adjourned.

11 (Whereupon, at 7:46 p.m., the hearing was  
12 concluded.)

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C E R T I F I C A T E

45



DPS-88

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

AC 115272

Contact Person: Miche Booz

Daytime Phone No.: 301-774-6911

Tax Account No.: ITF: 00718340

Name of Property Owner: Sandy Spring Monthly Meeting Daytime Phone No.: 301-774-9792

Address: 17715 Meetinghouse Rd Sandy Spring MD 20860  
Street Number City State Zip Code

Contractor: NA Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Miche Booz Architect Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE

House Number: 17715 Street: Meeting House Rd

Town/City: Sandy Spring Nearest Cross Street: Rt. 108

Block: \_\_\_\_\_ Subdivision: 1

Map Folio: JT32 Parcel: P553

ANY ONE: TYPE OF PERMIT ACTION AND USE

- I. A. CHECK ALL APPLICABLE:**
- |  |  |  |  |                                    |   |  |                               |                               |
|--|--|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct       | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input checked="" type="checkbox"/> Move | <input type="checkbox"/> Install           | <input checked="" type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision        | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input checked="" type="checkbox"/> Other: _____  |  |                               |                               |

B. Construction cost estimator: \$ 550,000

C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

ANY TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

ANY THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Booz  
Signature of owner or authorized agent

11-16-2011  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 584821 Date Filed: 11/16/2011 Date Issued: \_\_\_\_\_

dit 6/21/99  
588113

**SEE REVERSE SIDE FOR INSTRUCTIONS**

5

**Silver, Joshua**

---

**From:** Joe Harris [jharris@michebooz.com]  
**Sent:** Tuesday, November 22, 2011 2:08 PM  
**To:** Silver, Joshua  
**Cc:** 'Miche Booz'  
**Subject:** SSMM Schoolhouse HAWP

Josh,  
After discussing the Schoolhouse HAWP, I feel we need to postpone this review, consolidate some of the loose ends, and reschedule our HAWP review to the December commission meeting.

In the interim, let's try to get together Friday Dec. 2 at 1pm at your offices.

Thanks,

Joe

Joe Harris, Associate  
Miche Booz Architect, Inc.  
208 Market Street  
Brookeville, MD 20833  
p 301.774.6911  
f 301.774.1908  
[www.michebooz.com](http://www.michebooz.com)