

(2nd Preliminary) SSMM 17715 Meetinghouse Road,
Sandy Spring
Master Plan Site # 28/11 Sandy Spring Friends
Meeting Hse.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 RUFFIN LANE, PHILADELPHIA, PENNSYLVANIA 19102

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Miche Booz
Daytime Phone No.: 301-774-6911

Tax Account No.: 00718340
Name of Property Owner: Sandy Spring Monthly Meeting Daytime Phone No.: 301-774-9792
Address: 17715 Meetinghouse Road Sandy Spring MD 20860
Street Number City State Zip Code

Contractor: N/A Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: Miche Booz Architect Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE

House Number: 17715 Street: Meetinghouse Road
Town/City: Sandy Spring Nearest Cross Street: Rt. 108
Lot: _____ Block: _____ Subdivision: 1
Liber: Map JT32 Parcel: P553

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Reze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 1,500,000
1C. If this is a revision of a previously approved active permit, see Permit # 584821

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Booz 11.14.12
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signatures: _____ Date: _____
Application/Permit No.: 017728 Date Filed: 11/14/2012 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

Neighboring property addresses:

MERNICK GEORGE H &
THENE MARTIN MERNICK
17617 MEETING HOUSE RD
SANDY SPRING MD 20860-1017

WRIGHT ALAN M & K V
17710 MEETING HOUSE RD
SANDY SPRING MD 20860

STEDMAN BRUCE J &
ELEANOR M DORSEY
17714 MEETING HOUSE RD
SANDY SPRING MD 20860

SANDY SPRING MONTHLY MEETING
OF THE REL SOCIETY OF FRIENDS
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SANDY SPRING MD 20860-1024

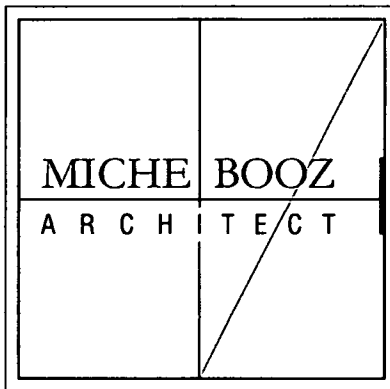
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BODDY TROY
140 NORWOOD RD
SILVER SPRING MD 20905-3878

SANDY SPRING VILLAGE
CONDOMINIUM ASSOC
WINDRUSH LANE
SANDY SPRING MD 20860



Sandy Spring Monthly Meeting HAWP Application

November 14, 2012

General description of existing structures and environmental setting, including historical features and significance.

The present brick Meetinghouse, the third on this site, was built in 1817 on land which was conveyed in 1753 by James Brooke to Roger, Richard, and Basil Brooke in trust for the Society of Friends. The adjacent historic cemetery contains past generations of Friends, and others from the Sandy Spring community. Friends from the earliest years are buried in unmarked graves close to the Meetinghouse.

On the north side of the cemetery stands the Community House, used for the First Day School and committee and fellowship activities. Built in 1859, it was the Lyceum for the neighborhood until 1927. It was remodeled as the Community House in 1928; the front door was relocated to the south side of the building, a chimney added on the west side, and the building was expanded to the east.

The low east wing of the Community House was added in 1958 to house First Day School classrooms. A larger kitchen and low-sloping addition was also made at this time to the north side of the Lyceum. (See photos of the historic Lyceum and the current Community House.) An additional large classroom was added on the east wing in 1985.

A school house is currently located to the northeast of the classroom wing of the Community House. This building was originally built in 1897, replacing a log structure which was destroyed by a falling tree in the Great Hurricane of 1896. The school house was originally located directly east of the Lyceum building although original foundations have not been located. It was moved to its new location and converted to a house in 1926.

The entire site retains its historic rural character and contains many large trees. The Sandy Spring Monthly Meeting property from the Lyceum building, graveyard and south to the Meeting House are part of the Sandy Spring Historic District.

General description of the project and its effect on the historic resources, the environmental setting, and the historic district.

Since 2001, members of the Sandy Spring Monthly Meeting have been involved in a careful assessment and design process to meet the needs of a growing school-age population. The meeting has held a number of internal design charrettes and threshing sessions and has closely consulted with Historic Preservation Commission staff at critical stages in this evolving process.

Community House: This project includes removing portions of the 1958 classroom addition and the entire 1985 classroom addition to the Community House. Some non-historic interior walls will be removed and the kitchen will be moved from its current location into the renovated portion of the 1958 addition. This will make the Lyceum into one large gathering space. The 1958 addition on the north side of the Community House will remain as part of the new gathering space. The 1958 porch will also remain.

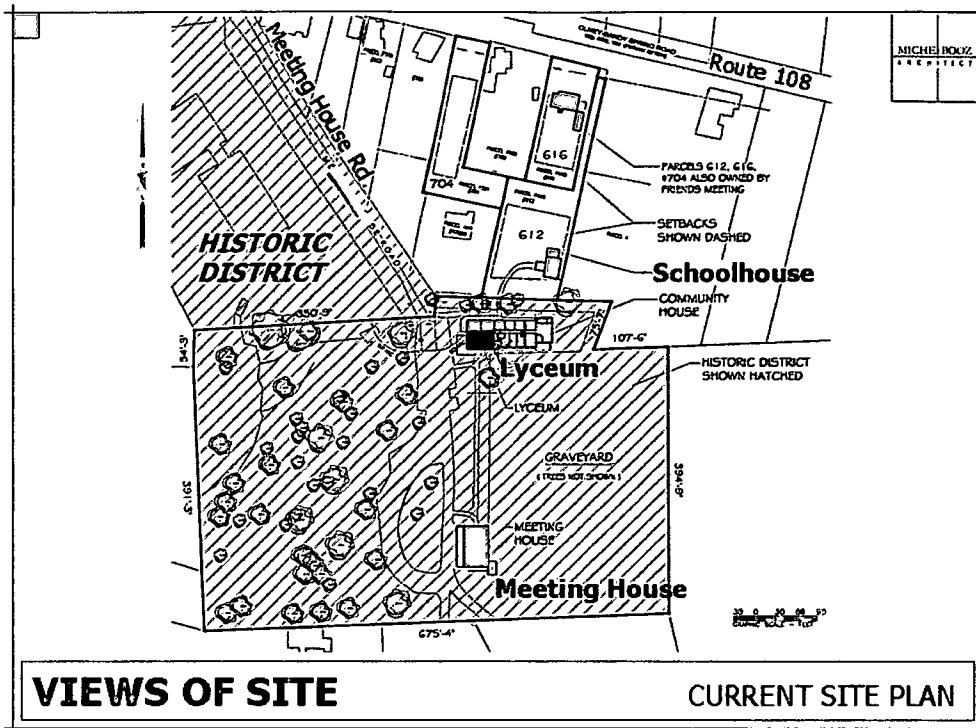
The portions of the 1958 addition that remain will be selectively demolished, refinished and reclad in fiber cement siding to match the appearance of the existing Community House. New wood windows will be installed. A new kitchen, office space, storage, and accessible entry lobby are located in this portion of the building.

Directly to the east of the redone 1958 addition will be a 12-foot-long glassy hyphen connecting the historic Lyceum/ Community House to a new two-story classroom addition.

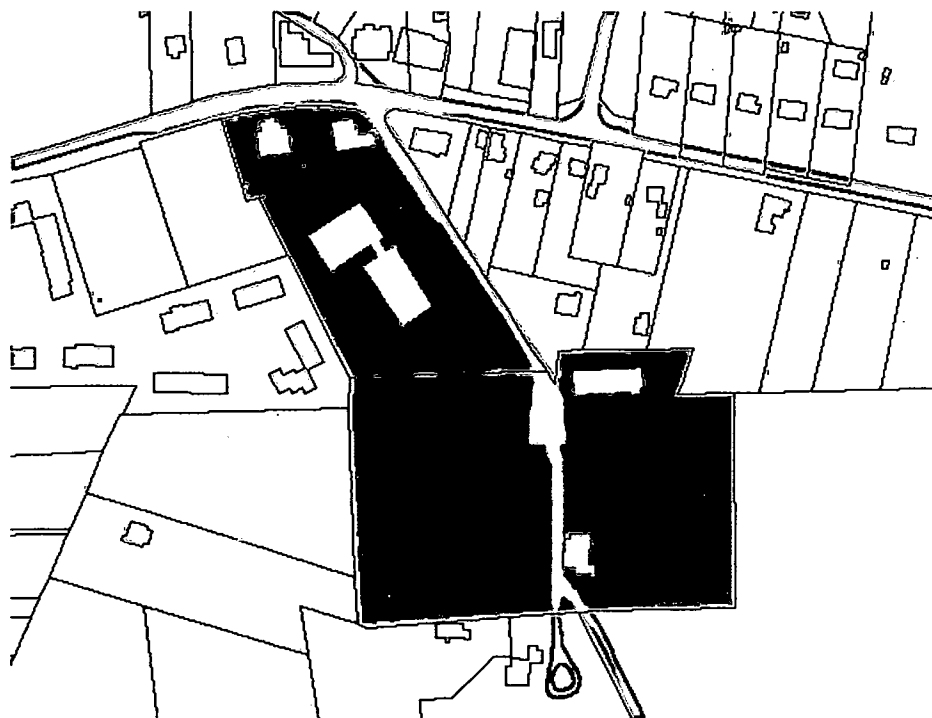
Classroom Addition: The new two-story classroom addition will house new restrooms, an elevator and nine classrooms. The addition will be clad in brick with aluminum-clad wood windows. The roof is standing-seam metal. There is a porch and sunshades on the south side. The addition is meant to echo the character of the historic Meeting House.

Trees and Graveyard Fence: A tulip poplar just north of the graveyard will need to be removed. It is currently disturbing the foundation of the 1958 addition to the Community House and its roots are located the new construction zone. It is too close the building and represents a danger to the new structure.

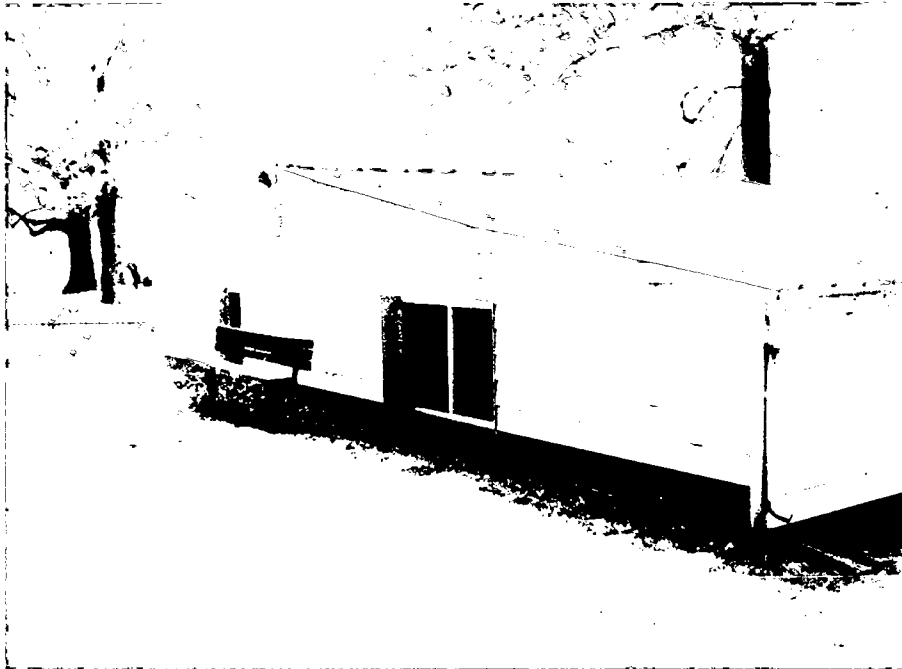
The fence of the graveyard will be chamfered at the northwest corner to allow for accessible access to the new Community House wing addition. One stone fencepost will be replaced by two. No graves or headstones will be disturbed.



Current site plan showing location of historic Lyceum (dark blue in plan), current Community House and the current location of the school house.



Green portions describe the Sandy Spring Historic District.



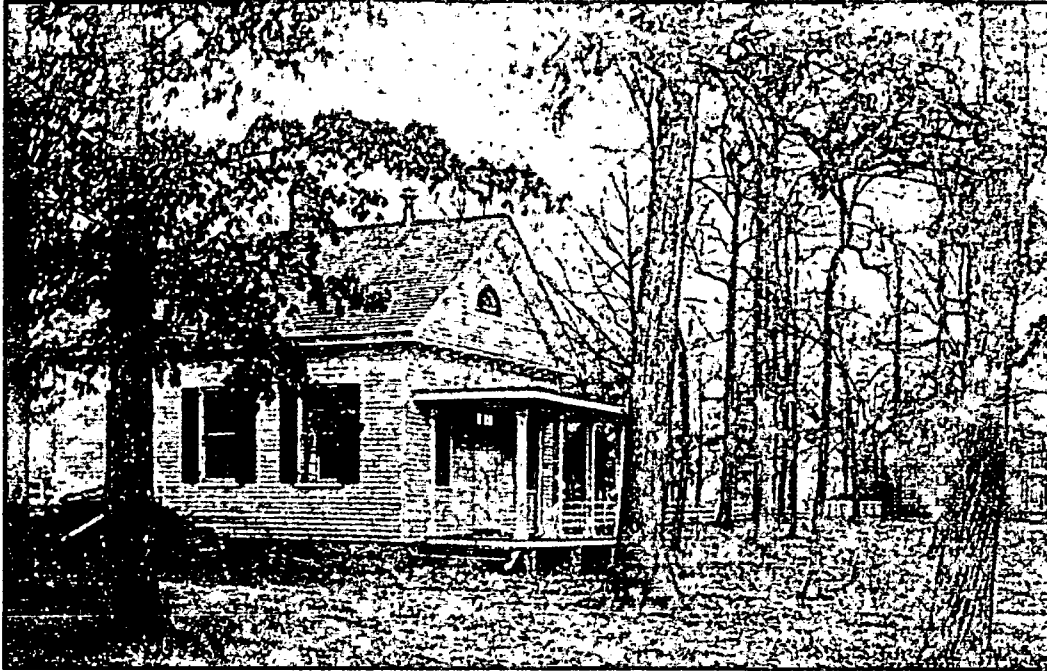
Current east façade of the Community House showing the 1985 classroom addition. This portion will be demolished.



Current view of the Community House from the southwest parking lot showing south and west facades. The recessed east wing of the building visible in the photo will be demolished (built 1978 and 1985). The back low-slope addition on the north side will remain. The visible corner of the graveyard fence will be chamfered (Two stone fence posts will replace the one.) The tulip poplar will be removed.



Existing porch on the north side of the Community House added in 1958. This porch will be kept.

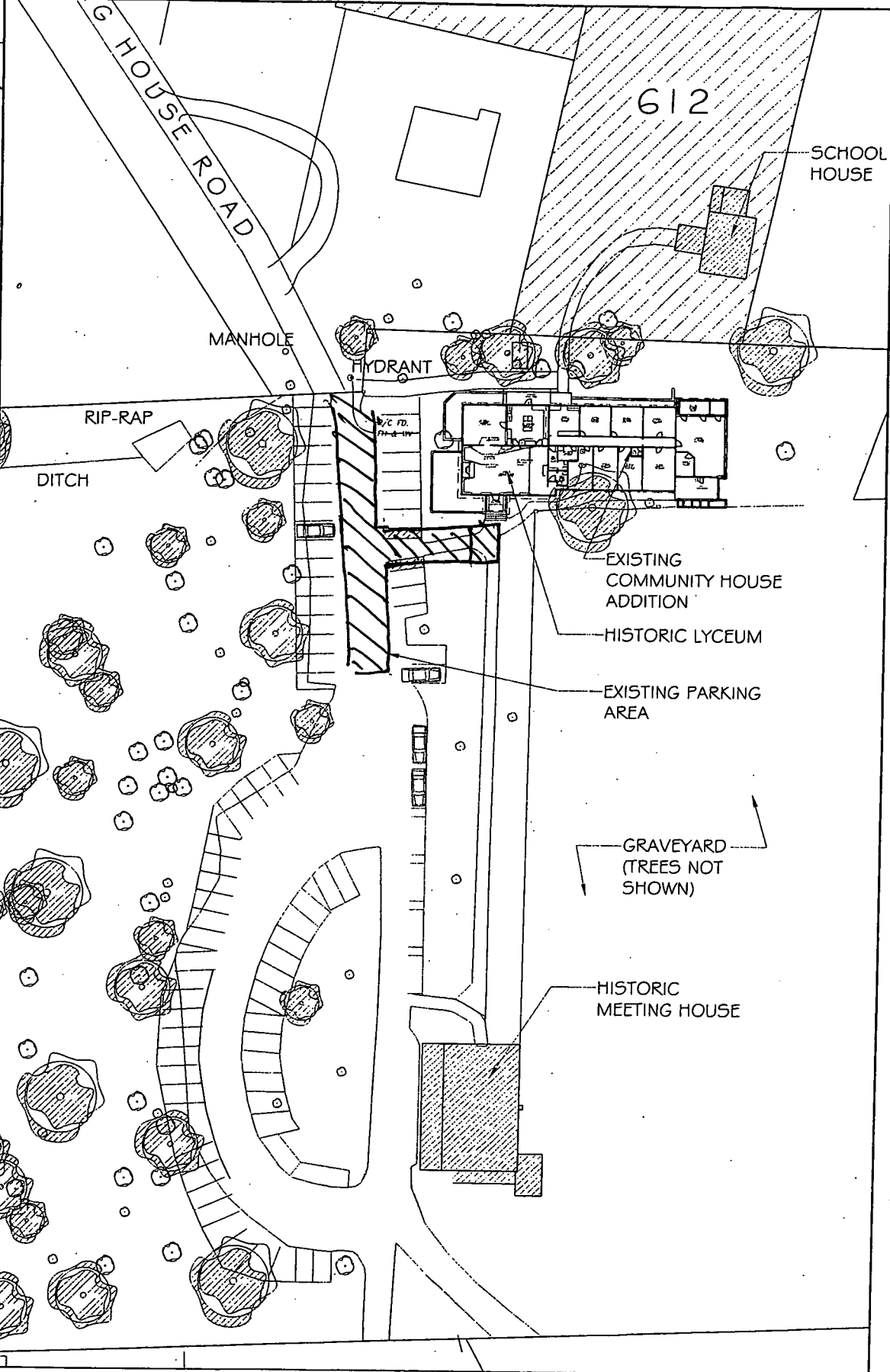


Historic photo of the Lyceum taken from the northwest. The meeting house is visible to the south.



The historic Meeting House and rural road viewed from the northeast. The Meeting House will be untouched by all phases of the proposed project.

MICHEL BOOZ
 P.E. No. 1777
 State of Maryland
 PROFESSIONAL CERTIFICATION



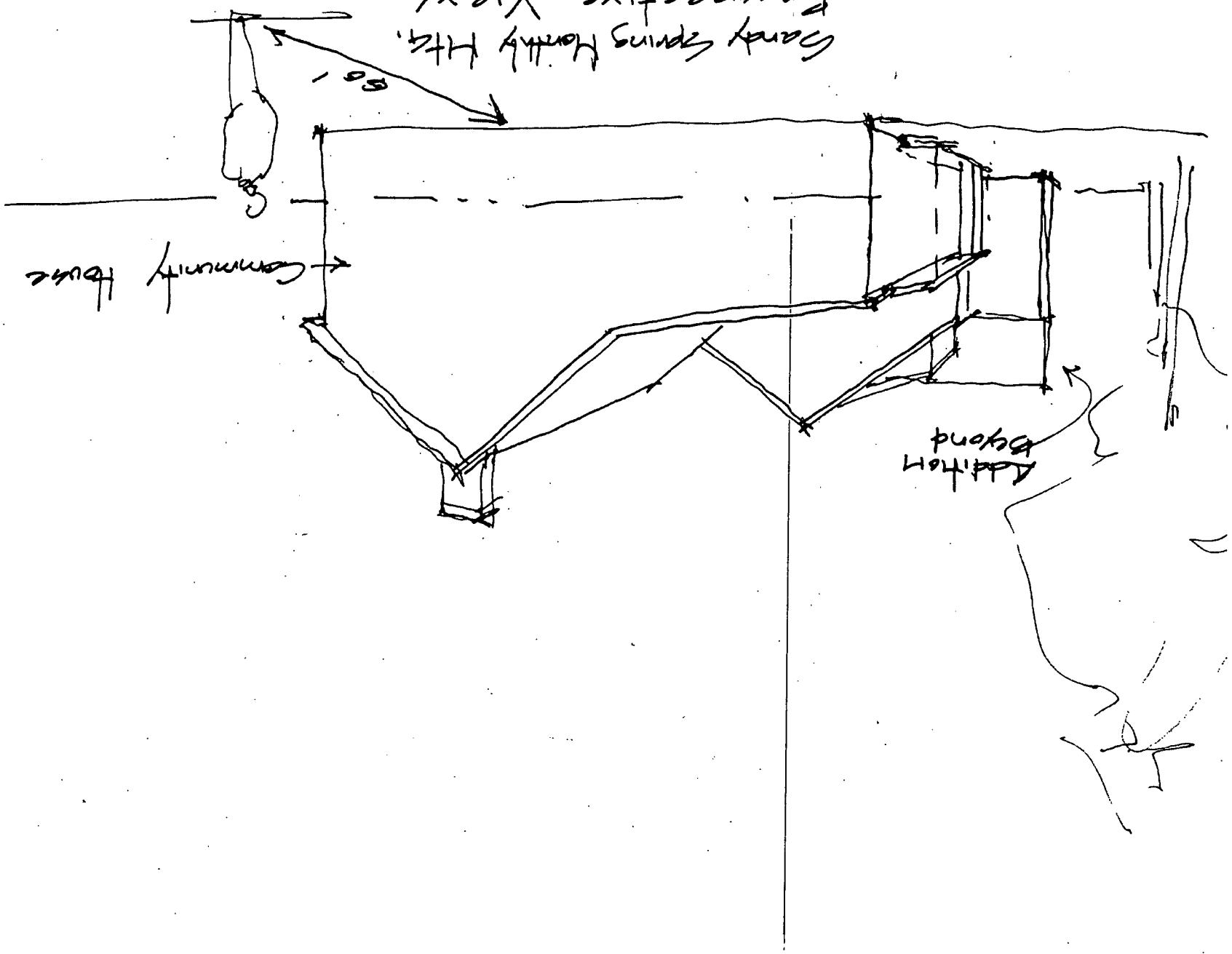
PROJECT:
 Renovated Community House + Addition at
 Sandy Spring Monthly Meeting
 17715 Meeting House Road, Sandy Spring, MD 20880

SCALE (FEET):
 1" = 20'

DATE: 11/14/2012
SHEET: C1

EXISTING CONDITION SITE PLAN

Sandy Springs Monthly Htg.
Perspective View
eye level from far side of
parking lot.



Historic Preservation



SSMM

HEILER: ✓

ROBINSON: ✓, but NO "L" (Revised still "L"),
REMOVE 1958 addition —

WHITNEY: ✓ EXTEND HYPHEN

TRESEDER: ✓ SUPPRESS CONNECTORS, NO ROOF, MAKE
FLAT

KIRWIN: ✓ MORE DELIBERATE HYPHEN

(CORATOLA: ✓ 1)

SWIFT: ✓ LOWER ROOF PITCH 2-STORY SECTION

FURTHER AWAY

MELLS: ✓ NO 1958 ADDITION

AGGESS W/ REST ABOVE
GLASS HYPHEN

STAFF COMMENTS

✓ QUESTIONING RETENTION OF THE 1958 ADDITION → GLASS HYPHEN
MAYBE OK B/C HYPHEN IS INSET BOTH SIDES

✓ WEST ELEVATION (2-D MAKES IT LOOK MASSIVE)
← SOLID-TO-VOID OFF

— FENESTRATION NEEDS TO BETTER REFLECT HIST.
MASSING WINDOW PROPORTIONS

✓ — PARKING MODIFICATIONS

CHECK TO SEE IF BLDG. MOVED

FARTHER EAST (4)

DID 1958 ADDITION GET REMOVED

LARGER HYPHEN 4'

3rd Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	17715 Meetinghouse Road, Sandy Spring	Meeting Date:	7/11/2012
Resource:	Outstanding Resource Sandy Spring Historic District	Report Date:	7/4/2012
Applicant:	Sandy Spring Monthly Meeting (Miche Booz, Architect)	Public Notice:	6/27/2012
Review:	3 rd Preliminary Consultation	Tax Credit:	Partial
Case Number:	N/A	Staff:	Josh Silver
PROPOSAL:	Addition and alterations to building		

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the Historic Preservation Commission (HPC) and submit a Historic Area Work Permit (HAWP) application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Sandy Spring Historic District
STYLE: Vernacular
DATE: 1859 (with later additions)

BACKGROUND

The HPC held a Preliminary Consultation hearing in April 2010 for the subject property. The proposed work considered the relocation of the schoolhouse building from its current location outside the historic district to a location inside the historic district, total and partial demolition of two non-historic addition sections of the Lyceum (Community House) building and construction of a new one-story addition on the east side elevation of the resource. Also considered were modifications to the existing hardscape surfaces on the grounds and tree removal. The HPC responded positively to the applicant's proposal.

The applicants returned for a 2nd Preliminary Consultation in December 2011 to seek further guidance from the HPC on the feasibility of slightly different proposal. The proposal was changed to include a phased approach to the development of the site due to the economics of the total project. Phase 1 consisted of relocation of the schoolhouse and demolition of a non-historic (1985) section of the Lyceum (Community House) and alterations to both buildings. Similarly, the HPC responded positively to the proposal.

In 2012, the HPC approved a HAWP application with revised plans that addressed comments made during the 2nd Preliminary Consultation. This plan was tabled due to the costs of relocating the schoolhouse building.

The applicant is returning for a 3rd Preliminary Consultation with a revised design strategy that uses a one-phase solution for meeting their needs, while in contrast the previous plans proposed a phased

approach to the development of the site.

PROPOSAL

The applicant is requesting conceptual approval from the HPC for the following items:

Lyceum (Community House), main block constructed in 1859

The applicant is proposing to demolish the contiguous non-historic classroom wings to the east (rear) of the structure, dating from 1958 and 1985 respectively and construct a new 1 story hyphen (900 s.f., footprint) and 2 story classroom (3,100 s.f., footprint) addition that will extend to the east (rear) of the existing structure.

The proposed work also includes construction of a new areaway with below-grade stair and associated wooden guardrails at the north elevation of the c.1920s addition section. The stairs will provide access to a new cellar vault, which will hold an onsite sprinkler system that is a requirement of WSSC for fire department access. The existing north porch roof of the 1920s addition section will be extended to the west to provide a protective cover over the below-grade areaway.

The proposal also includes removal of the existing aluminum siding on the historic massing and attempt to restore the original narrow-width wood lap siding. If original siding cannot be restored, new horizontal wooden siding will be installed to match as closely as possible.

Environmental Setting

An existing Tulip Poplar tree located just the north of the graveyard is proposed for removal as part of the proposed work. The tree currently is distributing the foundation of the 1958 addition section and is located within the proposed construction zone for the new addition.

Located south of the existing Community House is an existing graveyard that is enclosed with a metal and stone fence. In order to provide accessible access to the new Community House wing, the fence will be chamfered at the northwest corner and one stone fencepost will be replaced by two. The HPC supported these modifications at the Preliminary Consultation and HAWP reviews.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Sandy Spring Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Item #1: Lyceum (Community House)

The applicant is seeking direction from the HPC on the current one-phase solution.

The proposal has been simplified down to a single phase from a much larger undertaking that included a greater level of site disturbance and engineering, and new construction and relocation of the school house back into the historic district.

Staff supports the proposed demolition of both non-historic additions sections, siding restoration and installation of a below-grade areaway on the north side elevation of the 1920s section of the building. Although the proposed areaway will be visible from the public right-of-way, its impact will be negligible on the streetscape of the historic district.

The Secretary of the Interior's Standards for Rehabilitation recommend designing new exterior additions

to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserves the historic relationship between the building or buildings and the landscape.

The addition as proposed affects the perceived character of the building. Staff's biggest concern is the height of the addition relative to the much smaller scale of the community house. The height of the addition impacts the integrity of the property and its environment, which is characterized by smaller scale detached buildings that are surrounded by natural vegetation. The one exception to smaller scale buildings is the historic Meeting House, a 2 story larger scale building located within the historic district further down the Meeting House Road. Although the addition is separated from the community house by a low, single story connector piece, it remains visually incompatible with the smaller scale of the community house and immediate context.

Staff recommends two alternatives to the current approach.

Alternative #1- Revise the design of the addition to more closely reflect the height/width ratios of the overall building proportions as well as that of doors, windows and porch features found on the community house. Staff's recommendation does not preclude the applicant from proposing an addition that is taller than the community house; however a 2 story addition at a minimum should address these design details. Staff recommends the applicant more closely analyze an alternative that either pushes the building further back from the community house to increase the level of visual separation or perform additional site engineering that places the addition lower in the ground to reduce the perceived height relationship between the buildings.

Alternative #2- Revise the design so the new construction is a completely detached "new" structure. Although a new structure should consider similar design principles to an addition, there is some additional flexibility in terms of how the design relates to the historic resource and context. Whereas an addition makes a physical connection to a building and should reflect those basic visual characteristics of the historic resource, there is less design pressure to replicate the character of the historic resource. A new detached structure similar in size to the schoolhouse that was approved by the HPC for relocation back into the historic district could complement a smaller scale addition to the community house that is more in keeping with the scale, proportions and design details of the building.

Environmental Setting

Staff supports the proposed landscape and fence alterations. The proposed alterations are consistent with what the HPC supported when it considered the project at the Preliminary Consultation phase.

STAFF RECOMMENDATION

Staff recommends that the HPC provide the applicant with guidance and feedback on the following items:

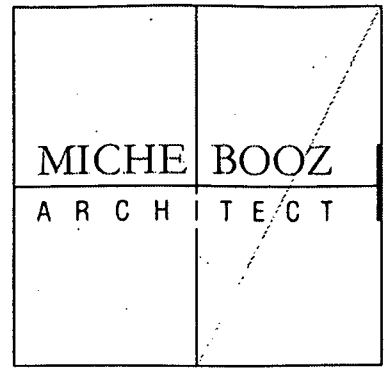
1. *Compatibility of scale, size, massing and design of the addition as proposed in the drawings with the review criteria outlined above.*
2. *If found incompatible, provide direction on the feasibility of alternatives #1 or 2 above in achieving compatibility with the review criteria.*

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and submit a HAWP application.

Prelim

Sandy Spring Friends Meeting House

17715 Meeting House Rd. Sandy Spring



Sandy Spring Monthly Meeting

Preliminary HAWP

June 18, 2012

General description of existing structures and environmental setting, including historical features and significance.

The present brick Meetinghouse, the third on this site, was built in 1817 on land which was conveyed in 1753 by James Brooke to Roger, Richard, and Basil Brooke in trust for the Society of Friends. The adjacent historic cemetery contains past generations of Friends, and others from the Sandy Spring community. Friends from the earliest years are buried in unmarked graves close to the Meetinghouse.

On the north side of the cemetery stands the Community House, used for the First Day School and committee and fellowship activities. Built in 1859, it was the Lyceum for the neighborhood until 1927. It was remodeled as the Community House in 1928; the front door was relocated to the south side of the building, a chimney added on the west side, and the building was expanded to the east.

The low east wing of the Community House was added in 1958 to house First Day School classrooms. A larger kitchen and low-sloping addition was also made at this time to the north side of the Lyceum. (See photos of the historic Lyceum and the current Community House.) An additional large classroom was added on the east wing in 1985.

A school house is currently located to the northeast of the classroom wing of the Community House. This building was originally built in 1897, replacing a log structure which was destroyed by a falling tree in the Great Hurricane of 1896. The school house was originally located directly east of the Lyceum building although original foundations have not been located. It was moved to its new location and converted to a house in 1926.

The entire site retains its historic rural character and contains many large trees. The Sandy Spring Monthly Meeting property from the Lyceum building, graveyard and south to the Meeting House are part of the Sandy Spring Historic District.

General description of the project and its effect on the historic resources, the environmental setting, and the historic district.

Since 2001, members of the Sandy Spring Monthly Meeting have been involved in a careful assessment and design process to meet the needs of a growing school-age population. The meeting has held a number of internal design charrettes and threshing sessions and has closely consulted with the Historic Preservation Commission and staff at critical stages in this evolving process.

School House (Not in Historic District): Due to the cost and complexity of the former plans the historic school house will remain as-is. The previous strategy which involved relocating the historic school house had a final estimate of over \$800,000 for the first phase alone. The cost-benefit analysis couldn't support moving forward in that direction.

Community House: As part of this ~~HAWP~~^{PRELIMINARY}, the contiguous non-historic classroom wings to the east of the Community House structure, dating from 1958 and 1985 respectively, will be demolished. They will be replaced with a new 1-story connector and 2-story classroom addition. Some non-historic interior walls of the 1920's addition would be removed and the kitchen would be moved into the new addition to make the Lyceum into one large multi-purpose gathering space.

A new one-story connector of approximately 900sf (footprint) and a new two-story gabled classroom building addition of approximately 3100sf (footprint) is proposed to the east of the Community House. A south-facing covered breezeway will open to the graveyard. Existing graveyard fence will remain. The new addition will be clad in brick and will have a standing seam metal roof.

The Meeting anticipates that this project will enhance the historic character of the site by removing the substandard and out-of-character additions to the Community House. The new addition is of appropriate character for the historic nature of the site. The Meeting sees this building as an important investment in their future and an opportunity to combine what was previously proposed to be a three-phase multi-year building campaign, which they could not ultimately afford.

The current plan is a one-phase solution. It would have new classrooms, accessible restrooms, accessible entry, a new kitchen and all purpose room. The project will also remove the aluminum siding on the Lyceum/Community House building and attempt to restore the original narrow-width wood lap siding. Window and corner trim will be made to match the dimensions of the historic trim. (See historic photo.)

The north elevation of the circa 1920's addition to the Community house will include a new area way (below-grade level) stair, and associated guardrails, for access to a newly installed cellar vault for WSSC sprinkler room requirements. The existing north porch

roof will be extended to the west to keep water out of this area way. This sprinkler room is being installed as part of the new Schoolhouse work, and it must be located under the Community House in order to satisfy the requirement that it is within 80' of the existing fire hydrant. A separate underground vault is not feasible since it cannot be located under asphalt: There is simply not enough area for the required WSSC access easement within 80 feet. The cellar vault will meet sprinkler requirements for the renovated Lyceum and Education wing (the proposed addition), and possibly the Meeting House itself in future.

Trees and Graveyard Fence: A tulip poplar just north of the graveyard will need to be removed. It is currently disturbing the foundation of the 1958 addition to the Community House and its roots are located the new construction zone. It is too close the building and represents a danger to the new structure.

The fence of the graveyard will be chamfered at the northwest corner to allow for accessible access to the new Community House wing ~~and the relocated school house~~. One stone fencepost will be replaced by two. No graves or headstones will be disturbed.

Neighboring property addresses:

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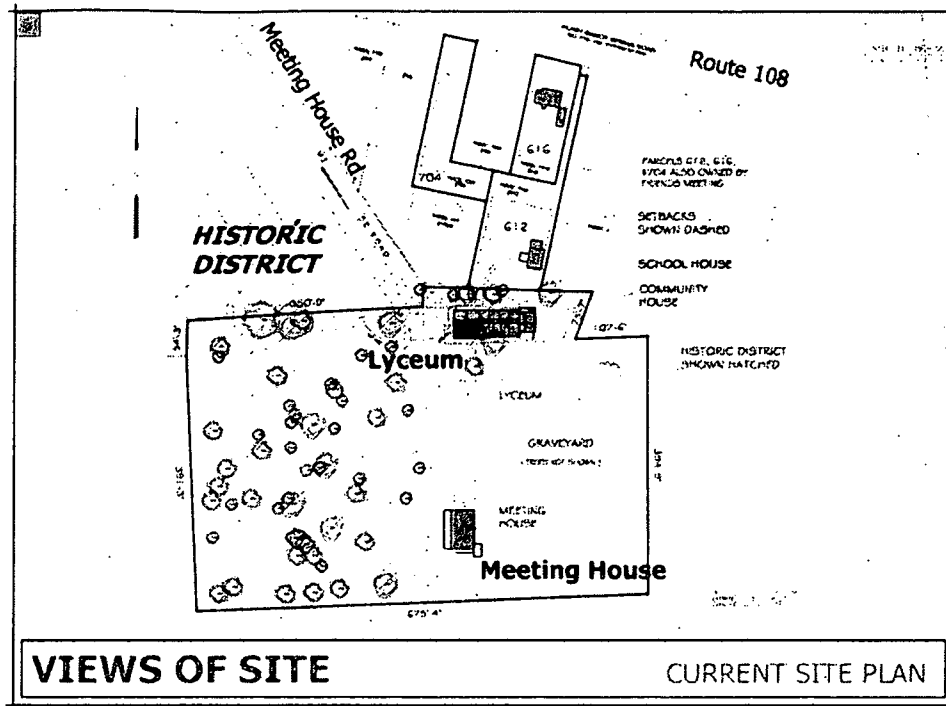
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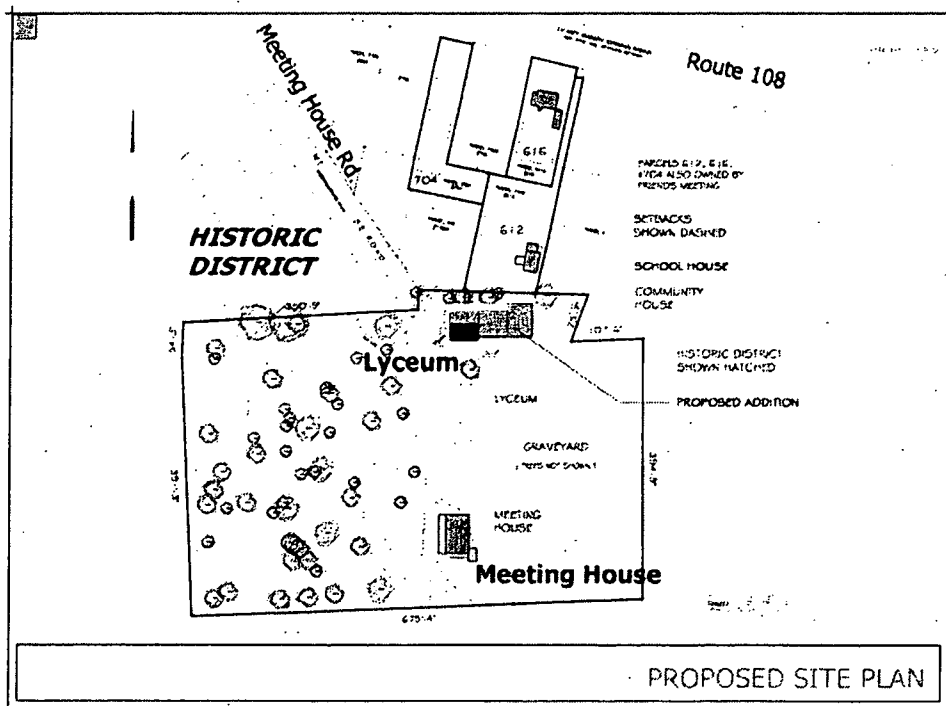
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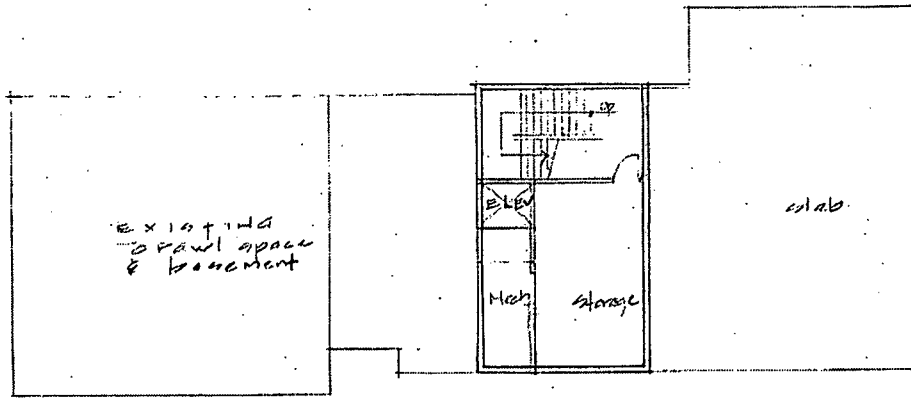


Current site plan showing location of historic Lyceum and current Community House.

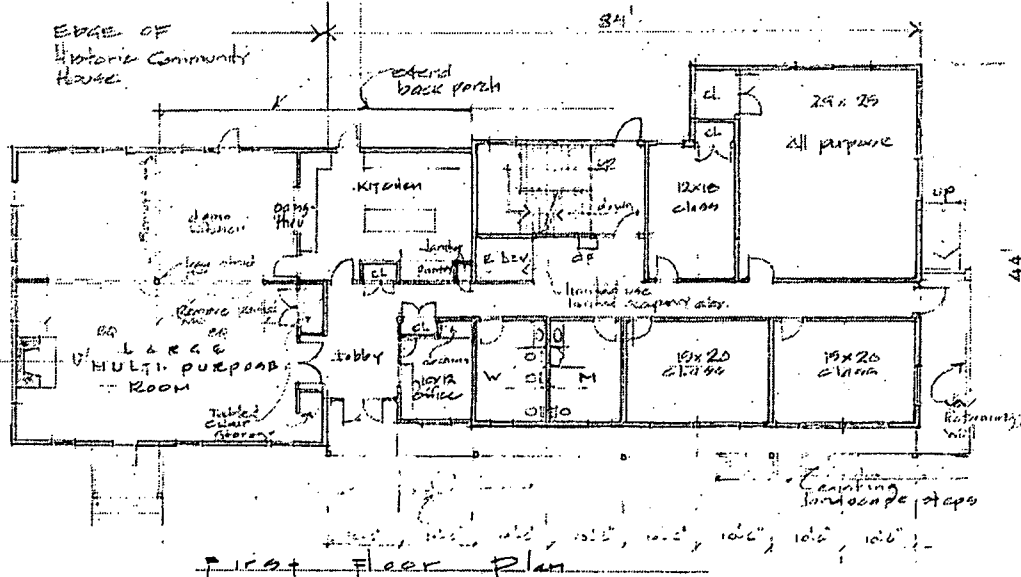


Proposed master plan showing the historic Lyceum/renovated Community House, and the New Education wing addition.

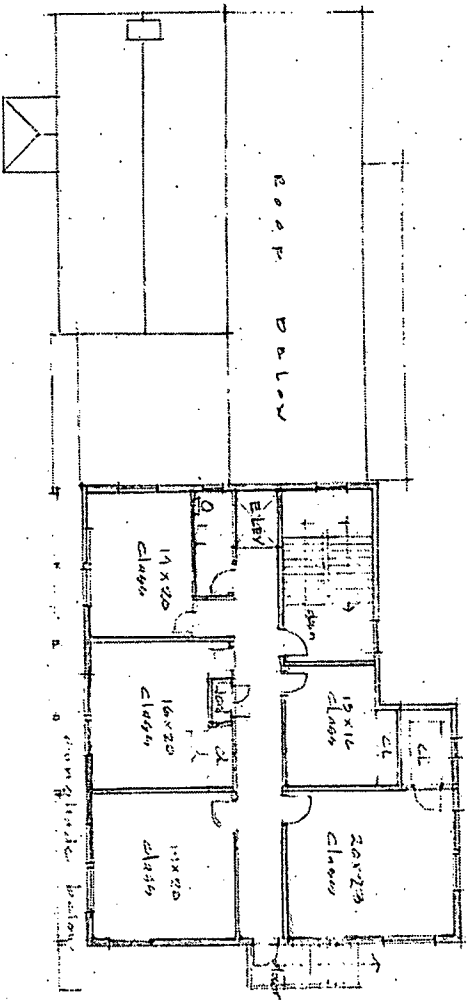
Conceptual sketches of proposed modifications and addition to the Lyceum/Community House:



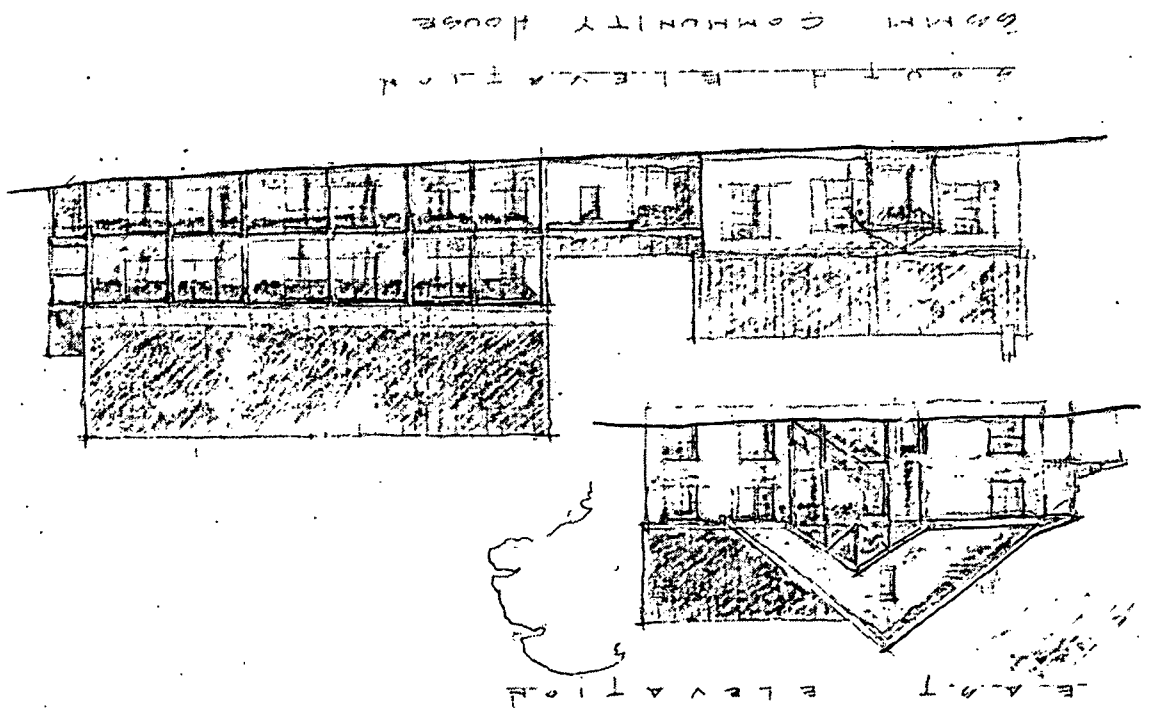
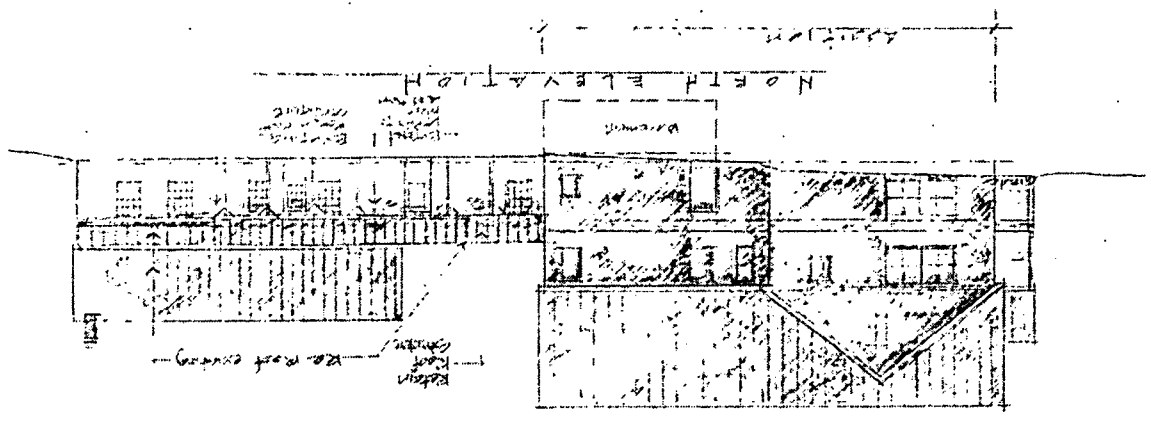
BASEMENT PLAN

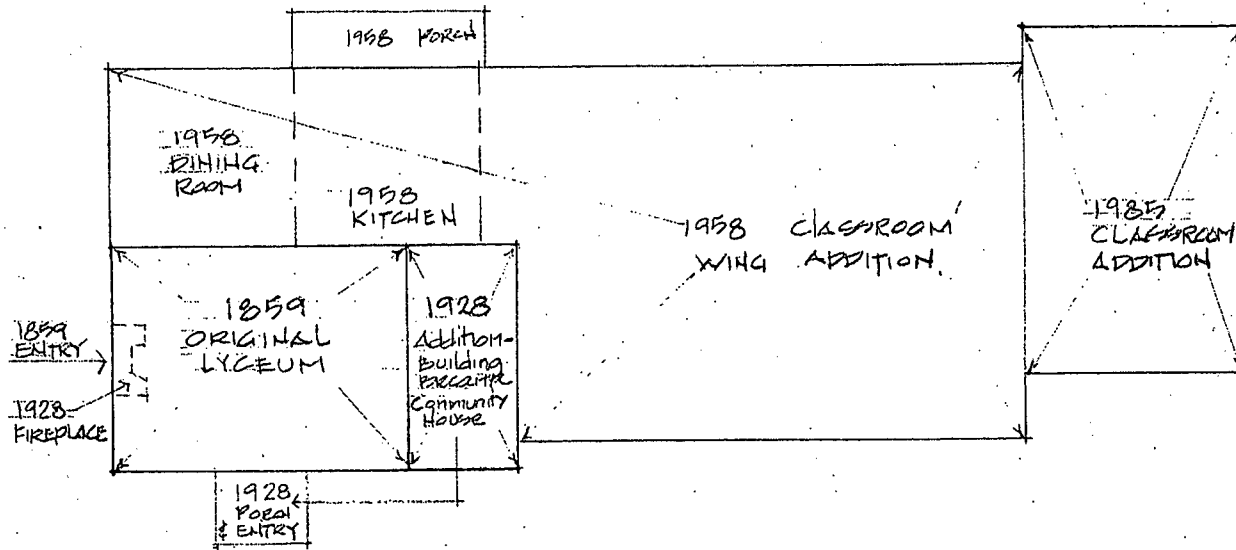


First Floor Plan



Second Floor Plan



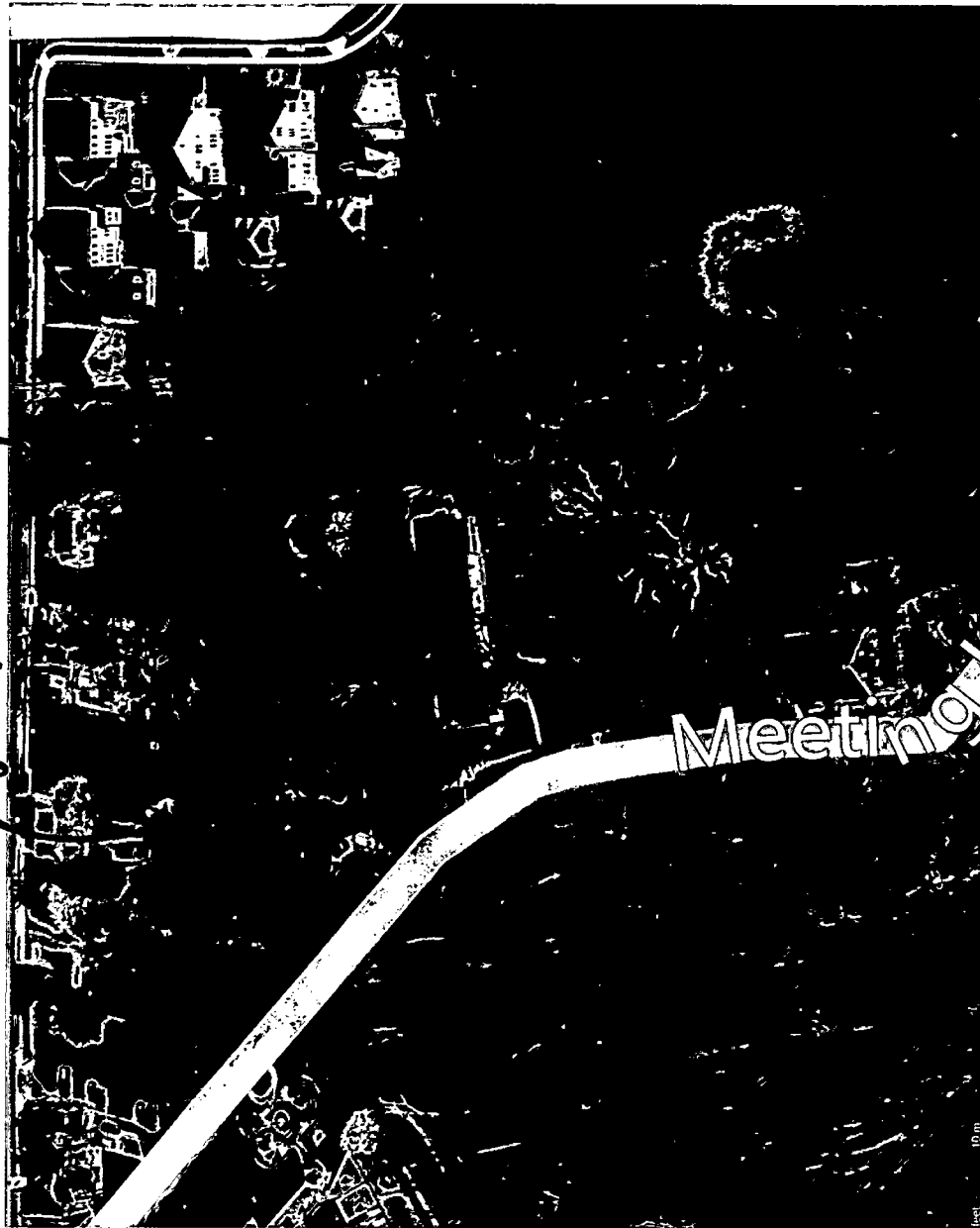


EXISTING COMMUNITY HOUSE PLAN - Historic Diagram



LYCENNA / COMMUNITY HOUSE

Lycem Community House



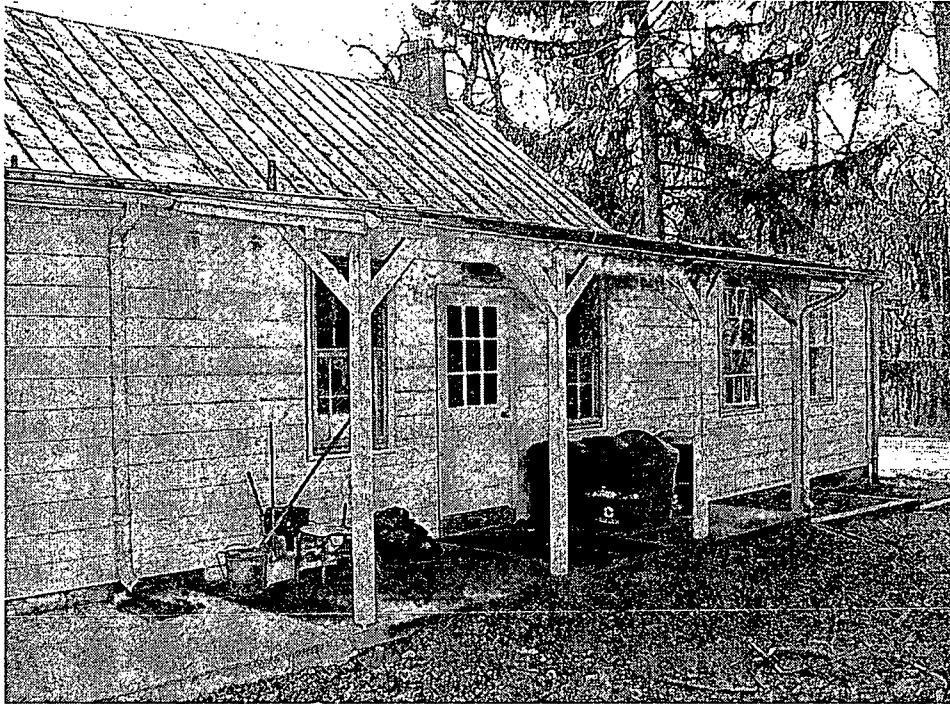
Meeting



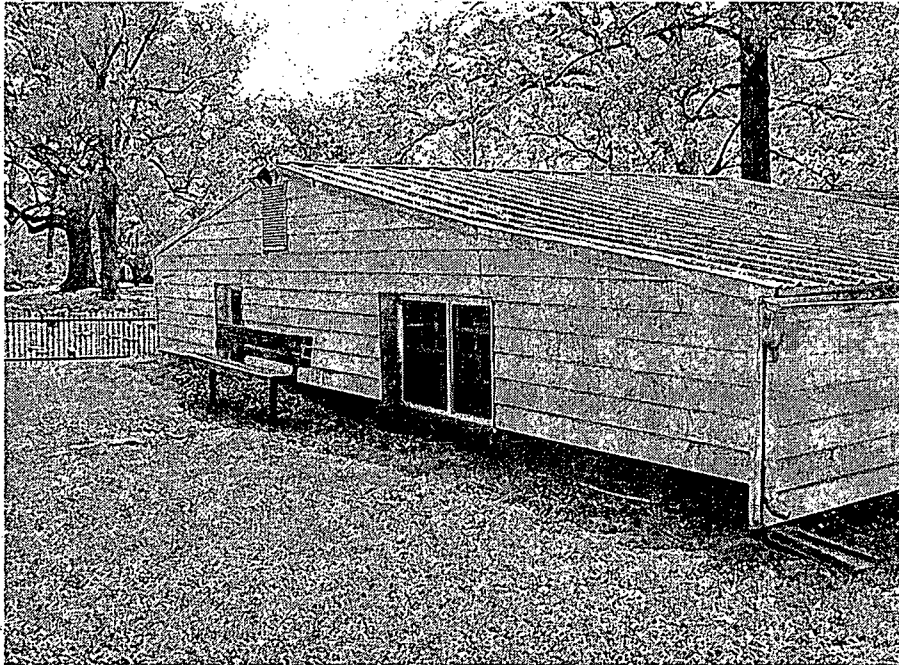
Historic photo of the Lyceum taken from the northwest. The meeting house is visible to the south. If the original lap siding is intact, it will be restored.



Current view of the Community House from the southwest parking lot showing south and west facades. The recessed east wing of the building visible in the photo will be demolished (built 1978 and 1985). The back low-slope addition on the north side will remain. The visible corner of the graveyard fence will be chamfered (Two stone fence posts will replace the one.) The tulip poplar will be removed.



Existing porch on the north side of the Community House added in 1958. This porch will be kept.



Current east façade of the Community House showing the 1985 classroom addition. This portion will be demolished.

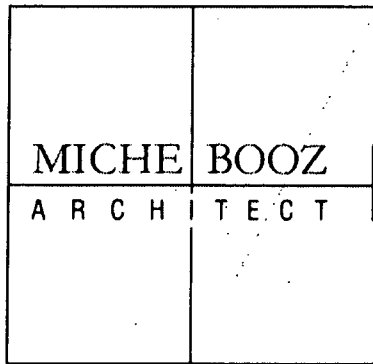


The historic Meeting House and rural road viewed from the northeast. The Meeting House will be untouched by the proposed project.

roof will be extended to the west to keep water out of this area way. This sprinkler room is being installed as part of the new Schoolhouse work, and it must be located under the Community House in order to satisfy the requirement that it is within 80' of the existing fire hydrant. A separate underground vault is not feasible since it cannot be located under asphalt: There is simply not enough area for the required WSSC access easement within 80 feet. The cellar vault will meet sprinkler requirements for the renovated Lyceum and Education wing (the proposed addition), and possibly the Meeting House itself in future.

Trees and Graveyard Fence: A tulip poplar just north of the graveyard will need to be removed. It is currently disturbing the foundation of the 1958 addition to the Community House and its roots are located the new construction zone. It is too close the building and represents a danger to the new structure.

The fence of the graveyard will be chamfered at the northwest corner to allow for accessible access to the new Community House wing, ~~and the relocated school house.~~ One stone fencepost will be replaced by two. No graves or headstones will be disturbed.



Sandy Spring Monthly Meeting Preliminary HAWP

June 18, 2012

General description of existing structures and environmental setting, including historical features and significance.

The present brick Meetinghouse, the third on this site, was built in 1817 on land which was conveyed in 1753 by James Brooke to Roger, Richard, and Basil Brooke in trust for the Society of Friends. The adjacent historic cemetery contains past generations of Friends, and others from the Sandy Spring community. Friends from the earliest years are buried in unmarked graves close to the Meetinghouse.

On the north side of the cemetery stands the Community House, used for the First Day School and committee and fellowship activities. Built in 1859, it was the Lyceum for the neighborhood until 1927. It was remodeled as the Community House in 1928; the front door was relocated to the south side of the building, a chimney added on the west side, and the building was expanded to the east.

The low east wing of the Community House was added in 1958 to house First Day School classrooms. A larger kitchen and low-sloping addition was also made at this time to the north side of the Lyceum. (See photos of the historic Lyceum and the current Community House.) An additional large classroom was added on the east wing in 1985.

A school house is currently located to the northeast of the classroom wing of the Community House. This building was originally built in 1897, replacing a log structure which was destroyed by a falling tree in the Great Hurricane of 1896. The school house was originally located directly east of the Lyceum building although original foundations have not been located. It was moved to its new location and converted to a house in 1926.

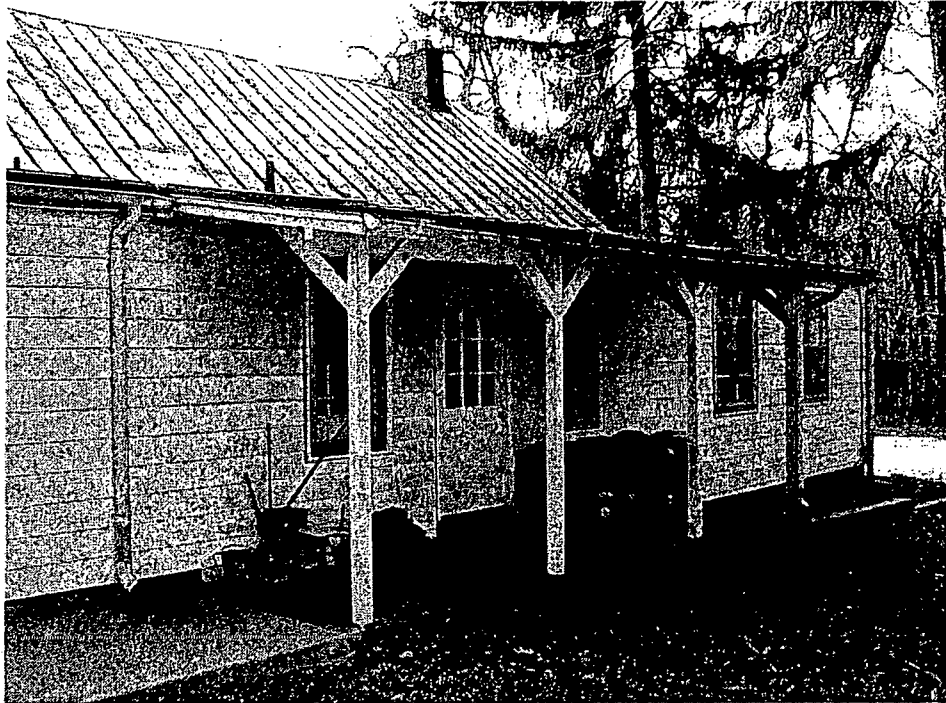
The entire site retains its historic rural character and contains many large trees. The Sandy Spring Monthly Meeting property from the Lyceum building, graveyard and south to the Meeting House are part of the Sandy Spring Historic District.



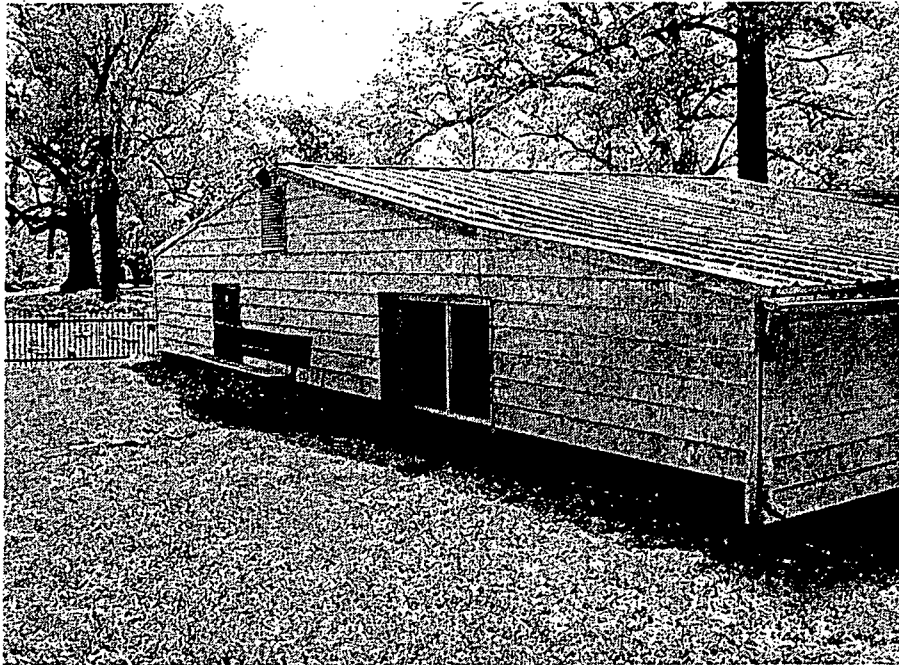
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The historic Meeting House and rural road viewed from the northeast. The Meeting House will be untouched by the proposed project.

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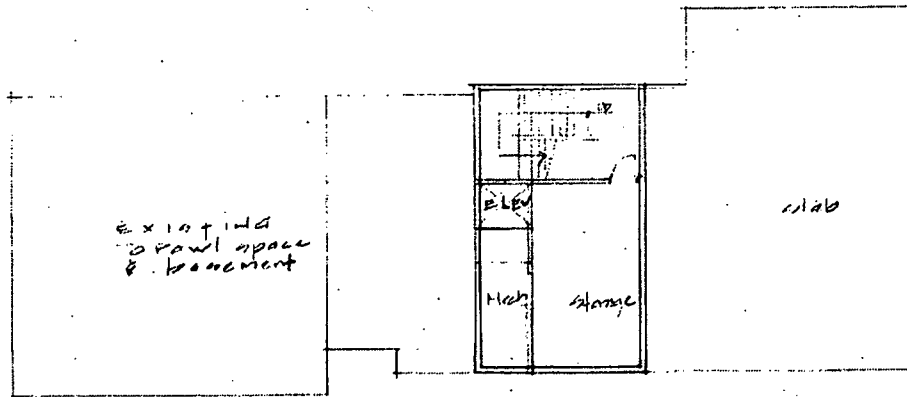
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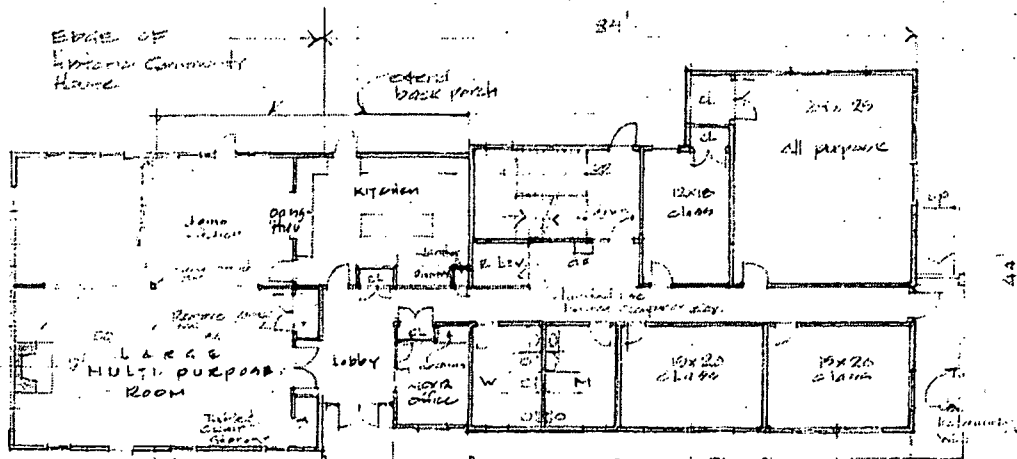
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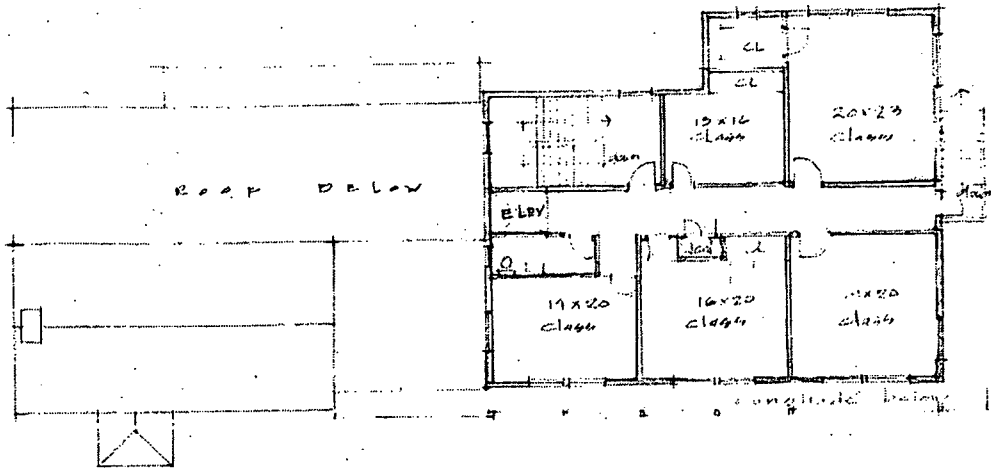
Conceptual sketches of proposed modifications and addition to the Lyceum/Community House:



Basement Plan

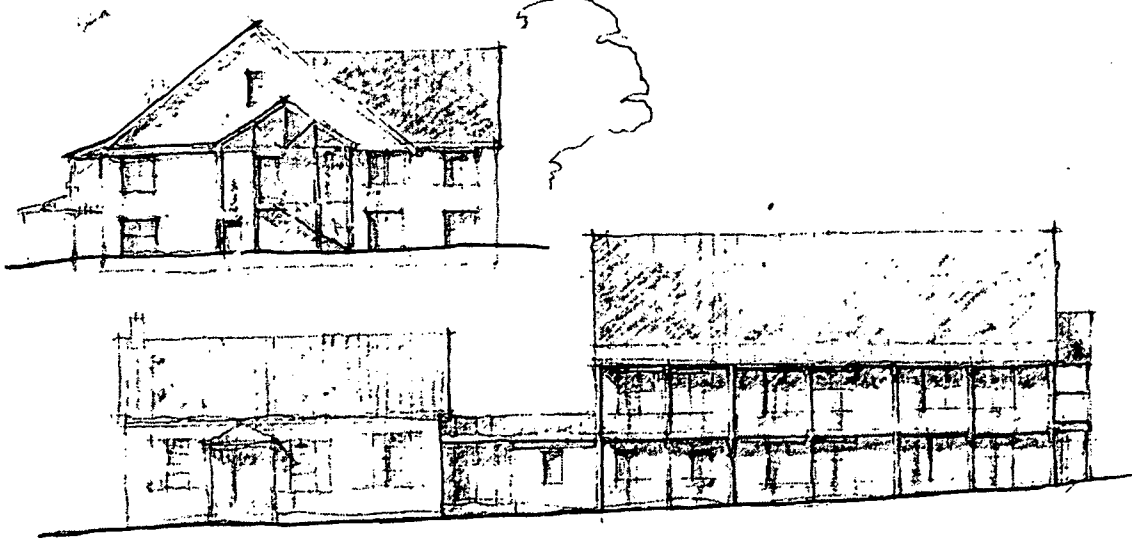


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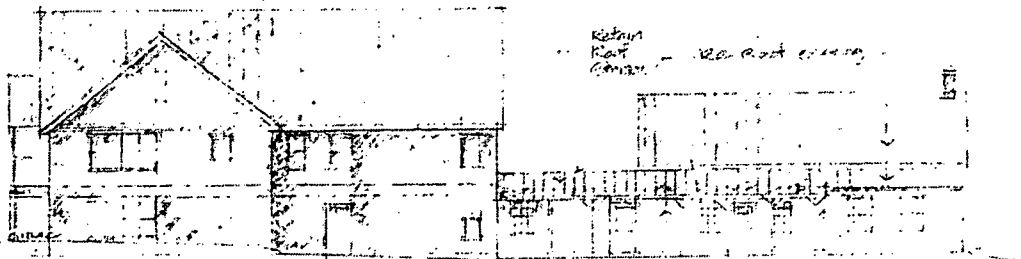


second floor plan

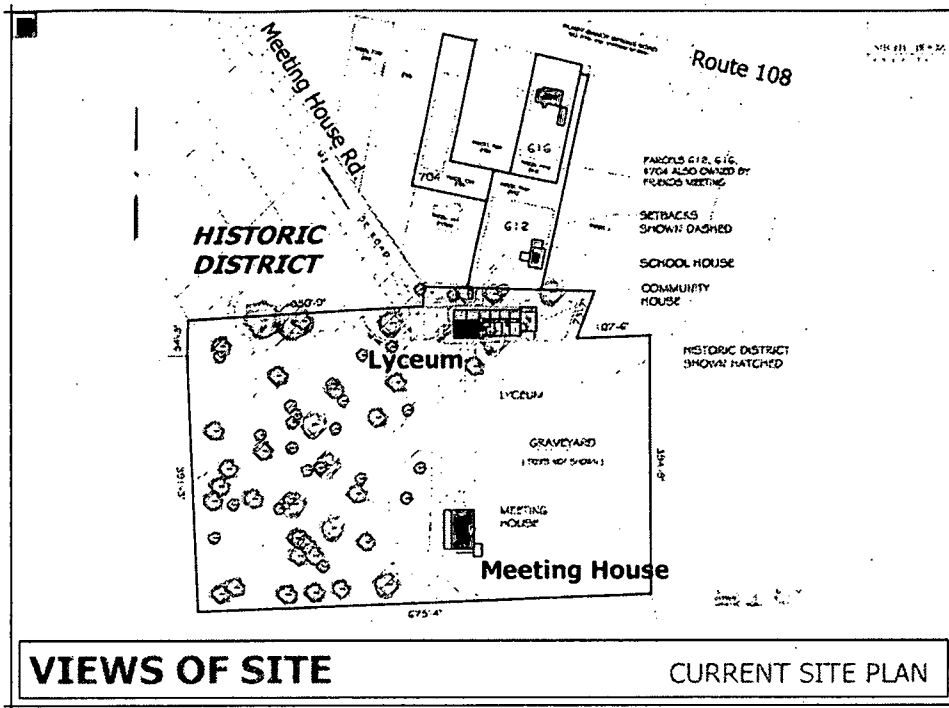
EAST ELEVATION



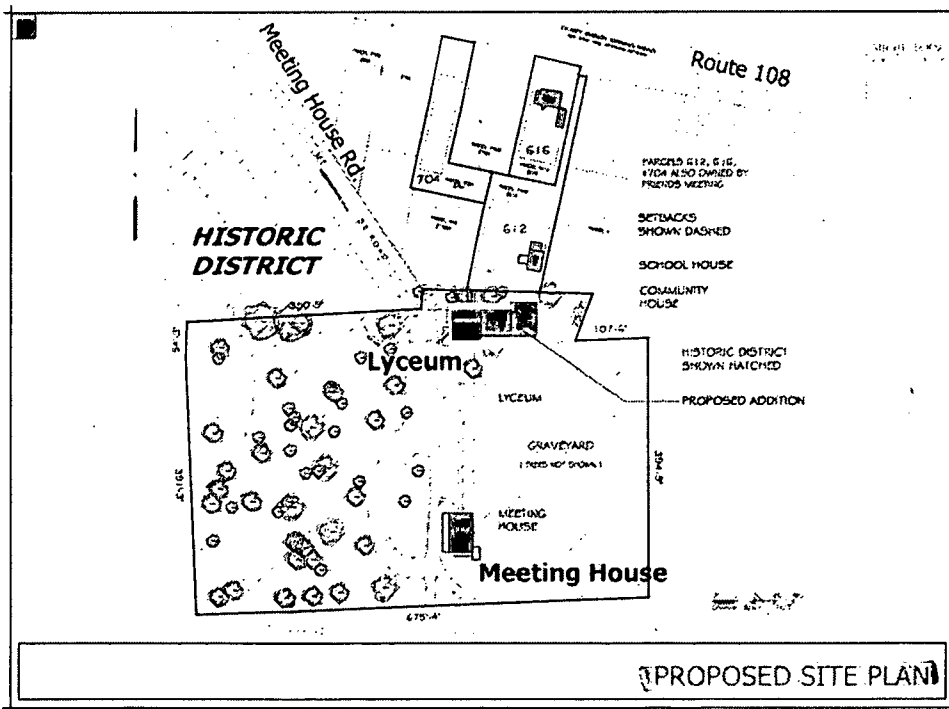
SOUTH ELEVATION
COMMUNITY HOUSE



NORTH ELEVATION



Current site plan showing location of historic Lyceum and current Community House.



Proposed master plan showing the historic Lyceum/renovated Community House, and the New Education wing addition.

General description of the project and its effect on the historic resources, the environmental setting, and the historic district.

Since 2001, members of the Sandy Spring Monthly Meeting have been involved in a careful assessment and design process to meet the needs of a growing school-age population. The meeting has held a number of internal design charrettes and threshing sessions and has closely consulted with the Historic Preservation Commission and staff at critical stages in this evolving process.

School House (Not in Historic District): Due to the cost and complexity of the former plans the historic school house will remain as-is. The previous strategy which involved relocating the historic school house had a final estimate of over \$800,000 for the first phase alone. The cost-benefit analysis couldn't support moving forward in that direction.

PRELIMINARY CONSULTATION

Community House: As part of this HAWP, the contiguous non-historic classroom wings to the east of the Community House structure, dating from 1958 and 1985 respectively, will be demolished. They will be replaced with a new 1-story connector and 2-story classroom addition. Some non-historic interior walls of the 1920's addition would be removed and the kitchen would be moved into the new addition to make the Lyceum into one large multi-purpose gathering space.

A new one-story connector of approximately 900sf (footprint) and a new two-story gabled classroom building addition of approximately 3100sf (footprint) is proposed to the east of the Community House. A south-facing covered breezeway will open to the graveyard. Existing graveyard fence will remain. The new addition will be clad in brick and will have a standing seam metal roof.

The Meeting anticipates that this project will enhance the historic character of the site by removing the substandard and out-of-character additions to the Community House. The new addition is of appropriate character for the historic nature of the site. The Meeting sees this building as an important investment in their future and an opportunity to combine what was previously proposed to be a three-phase multi-year building campaign, which they could not ultimately afford.

The current plan is a one-phase solution. It would have new classrooms, accessible restrooms, accessible entry, a new kitchen and all purpose room. The project will also remove the aluminum siding on the Lyceum/Community House building and attempt to restore the original narrow-width wood lap siding. Window and corner trim will be made to match the dimensions of the historic trim. (See historic photo.)

The north elevation of the circa 1920's addition to the Community house will include a new area way (below-grade level) stair, and associated guardrails, for access to a newly-installed cellar vault for WSSC sprinkler room requirements. The existing north porch

3rd Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	17715 Meetinghouse Road, Sandy Spring	Meeting Date:	7/11/2012
Resource:	Outstanding Resource Sandy Spring Historic District	Report Date:	7/4/2012
Applicant:	Sandy Spring Monthly Meeting (Miche Booz, Architect)	Public Notice:	6/27/2012
Review:	3 rd Preliminary Consultation	Tax Credit:	Partial
Case Number:	N/A	Staff:	Josh Silver
PROPOSAL:	Addition and alterations to building		

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the Historic Preservation Commission (HPC) and submit a Historic Area Work Permit (HAWP) application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Sandy Spring Historic District
STYLE: Vernacular
DATE: 1859 (with later additions)

BACKGROUND

The HPC held a Preliminary Consultation hearing in April 2010 for the subject property. The proposed work considered the relocation of the schoolhouse building from its current location outside the historic district to a location inside the historic district, total and partial demolition of two non-historic addition sections of the Lyceum (Community House) building and construction of a new one-story addition on the east side elevation of the resource. Also considered were modifications to the existing hardscape surfaces on the grounds and tree removal. The HPC responded positively to the applicant's proposal.

The applicants returned for a 2nd Preliminary Consultation in December 2011 to seek further guidance from the HPC on the feasibility of slightly different proposal. The proposal was changed to include a phased approach to the development of the site due to the economics of the total project. Phase 1 consisted of relocation of the schoolhouse and demolition of a non-historic (1985) section of the Lyceum (Community House) and alterations to both buildings. Similarly, the HPC responded positively to the proposal.

In 2012, the HPC approved a HAWP application with revised plans that addressed comments made during the ~~2nd Preliminary Consultation~~. This plan was tabled due to the costs of relocating the schoolhouse building.

The applicant is returning for a 3rd Preliminary Consultation with a revised design strategy that uses a one-phase solution for meeting their needs, while in contrast the previous plans proposed a phased

approach to the development of the site.

PROPOSAL

The applicant is requesting conceptual approval from the HPC for the following items:

Lyceum (Community House), main block constructed in 1859

The applicant is proposing to demolish the contiguous non-historic classroom wings to the east (rear) of the structure, dating from 1958 and 1985 respectively and construct a new 1 story hyphen (900 s.f., footprint) and 2 story classroom (3,100 s.f., footprint) addition that will extend to the east (rear) of the existing structure.

The proposed work also includes construction of a new areaway with below-grade stair and associated wooden guardrails at the north elevation of the c.1920s addition section. The stairs will provide access to a new cellar vault, which will hold an onsite sprinkler system that is a requirement of WSSC for fire department access. The existing north porch roof of the 1920s addition section will be extended to the west to provide a protective cover over the below-grade areaway.

~~The proposal also includes removal of the existing aluminum siding on the historic massing and attempt to restore the original narrow-width wood lap siding. If original siding cannot be restored, new horizontal wooden siding will be installed to match as closely as possible.~~

Environmental Setting

An existing Tulip Poplar tree located just ~~the~~ north of the graveyard is proposed for removal as part of the proposed work. The tree currently is distributing the foundation of the 1958 addition section and is located within the proposed construction zone for the new addition.

Located south of the existing Community House is an existing graveyard that is enclosed with a metal and stone fence. In order to provide accessible access to the new Community House wing, the fence will be chamfered at the northwest corner and one stone fencepost will be replaced by two. The HPC supported these modifications at the Preliminary Consultation and HAWP reviews.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Sandy Spring Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserves the historic relationship between the building or buildings and the landscape.

The addition as proposed affects the perceived character of the building. Staff's biggest concern is the height of the addition relative to the much smaller scale of the community house. The height of the addition impacts the integrity of the property and its environment, which is characterized by smaller scale detached buildings that are surrounded by natural vegetation. The one exception to smaller scale buildings is the historic Meeting House, a 2 story larger scale building located within the historic district further down the Meeting House Road. Although the addition is separated from the community house by a low, single story connector piece, it remains visually incompatible with the smaller scale of the community house and immediate context.

Staff recommends two alternatives to the current approach.

Alternative #1- Revise the design of the addition to more closely reflect the height/width ratios of the overall building proportions as well as that of doors, windows and porch features found on the community house. Staff's recommendation does not preclude the applicant from proposing an addition that is taller than the community house; however a 2 story addition at a minimum should address these design details. Staff recommends the applicant more closely analyze an alternative that either pushes the building further back from the community house to increase the level of visual separation or perform additional site engineering that places the addition lower in the ground to reduce the perceived height relationship between the buildings.

Alternative #2- Revise the design so the new construction is a completely detached "new" structure. Although a new structure should consider similar design principles to an addition, there is some additional flexibility in terms of how the design relates to the historic resource and context. Whereas an addition makes a physical connection to a building and should reflect those basic visual characteristics of the historic resource, there is less design pressure to replicate the character of the historic resource. A new detached structure similar in size to the schoolhouse that was approved by the HPC for relocation back into the historic district could complement a smaller scale addition to the community house that is more in keeping with the scale, proportions and design details of the building.

Environmental Setting

Staff supports the proposed landscape and fence alterations. The proposed alterations are consistent with what the HPC supported when it considered the project at the Preliminary Consultation phase.

STAFF RECOMMENDATION

Staff recommends that the HPC provide the applicant with guidance and feedback on the following items:

1. *Compatibility of scale, size, massing and design of the addition as proposed in the drawings with the review criteria outlined above.*
2. *If found incompatible, provide direction on the feasibility of alternatives #1 or 2 above in achieving compatibility with the review criteria.*

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and submit a HAWP application.

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
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STAFF DISCUSSION

Item #1: Lyceum (Community House)

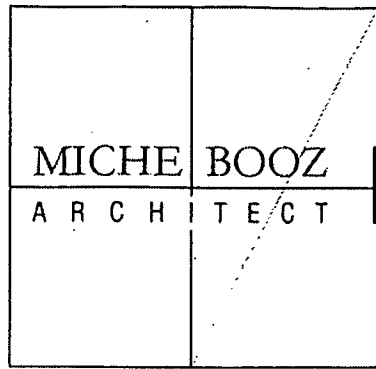
The applicant is seeking direction from the HPC on the current one-phase solution.

The proposal has been simplified down to a single phase from a much larger undertaking that included a greater level of site disturbance and engineering, and new construction and relocation of the school house back into the historic district.

Staff supports the proposed demolition of both non-historic additions sections, siding restoration and installation of a below-grade areaway on the north side elevation of the 1920s section of the building. Although the proposed areaway will be visible from the public right-of-way, its impact will be negligible on the streetscape of the historic district.

The Secretary of the Interior's Standards for Rehabilitation recommend designing new exterior additions

Sandy Spring Friends Meeting House
17715 Meeting House Rd. Sandy Spring



Sandy Spring Monthly Meeting
Preliminary HAWP
June 18, 2012

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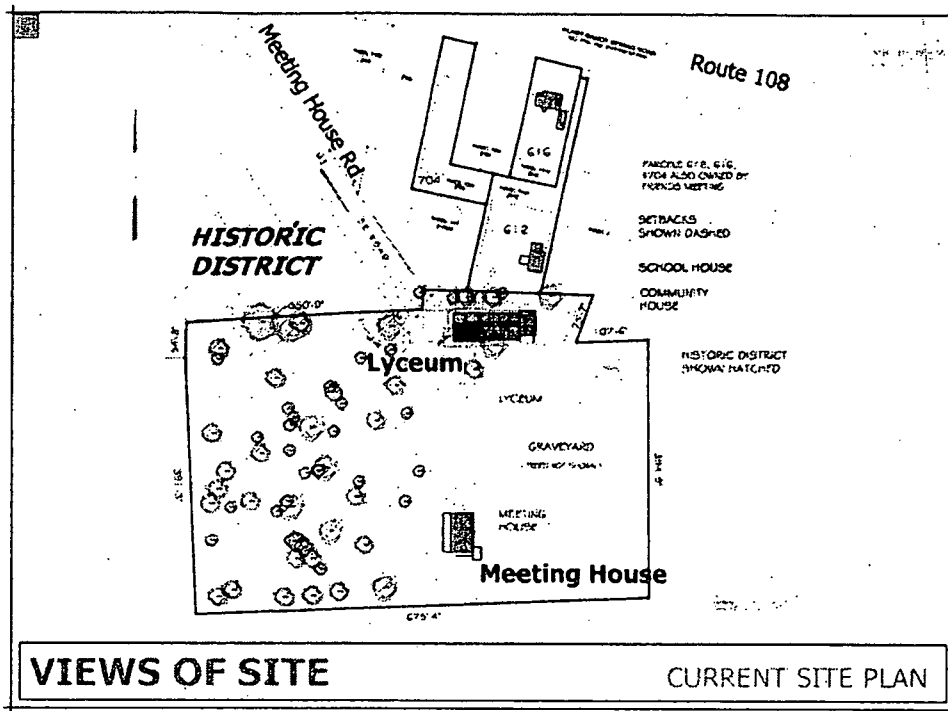
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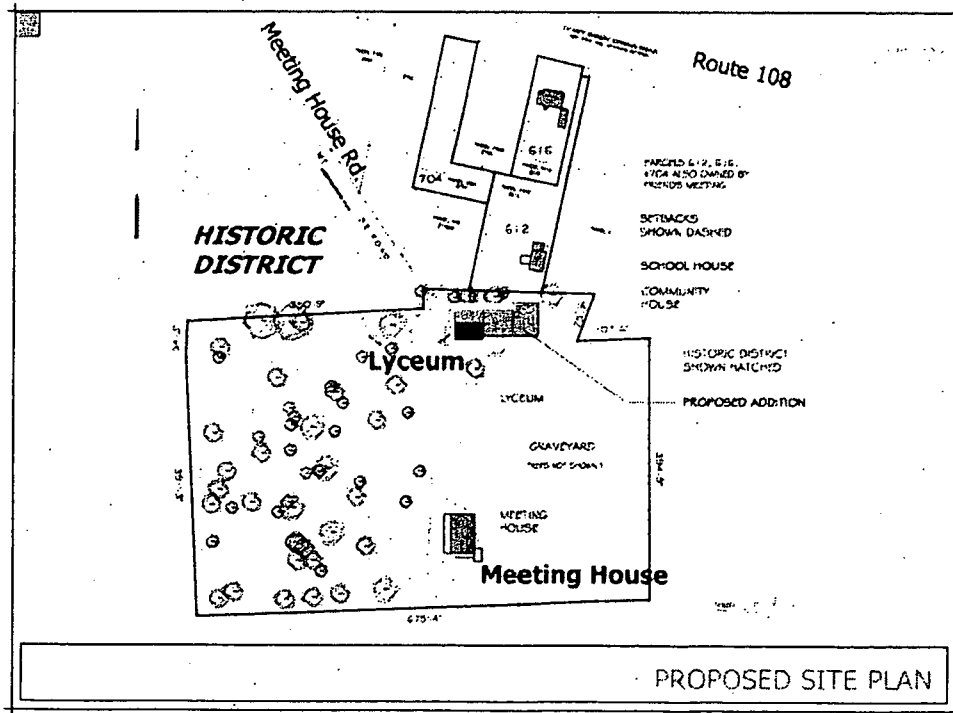
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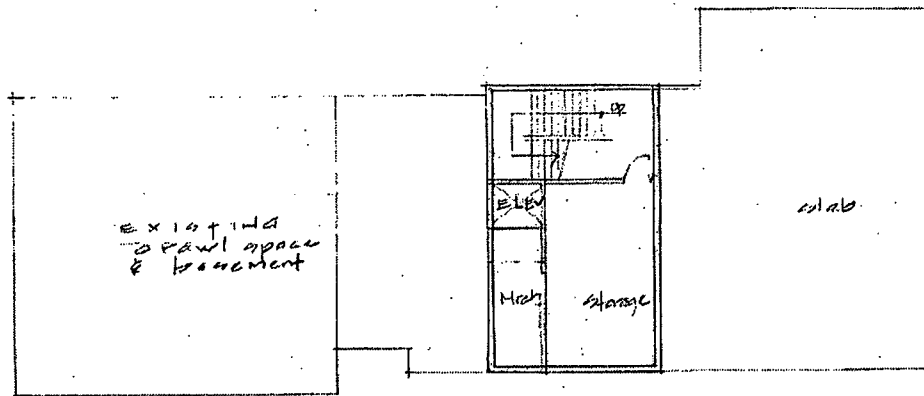


Current site plan showing location of historic Lyceum and current Community House.

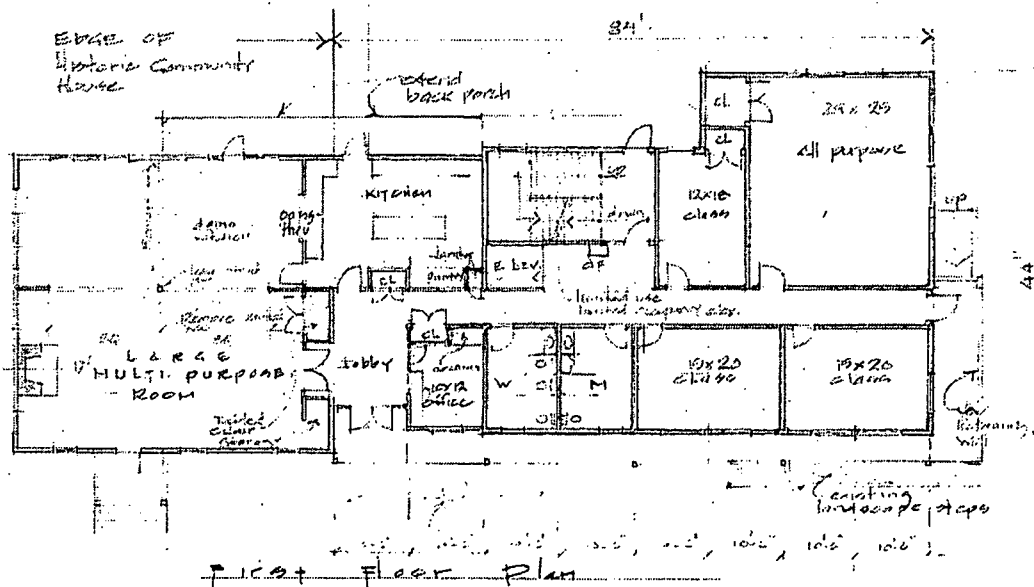


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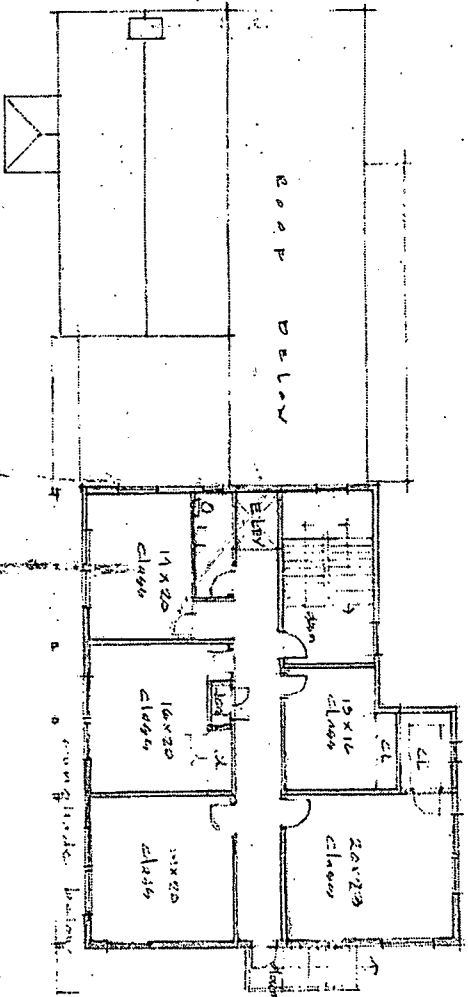
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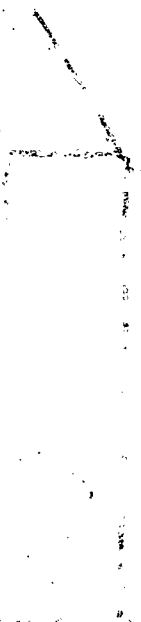
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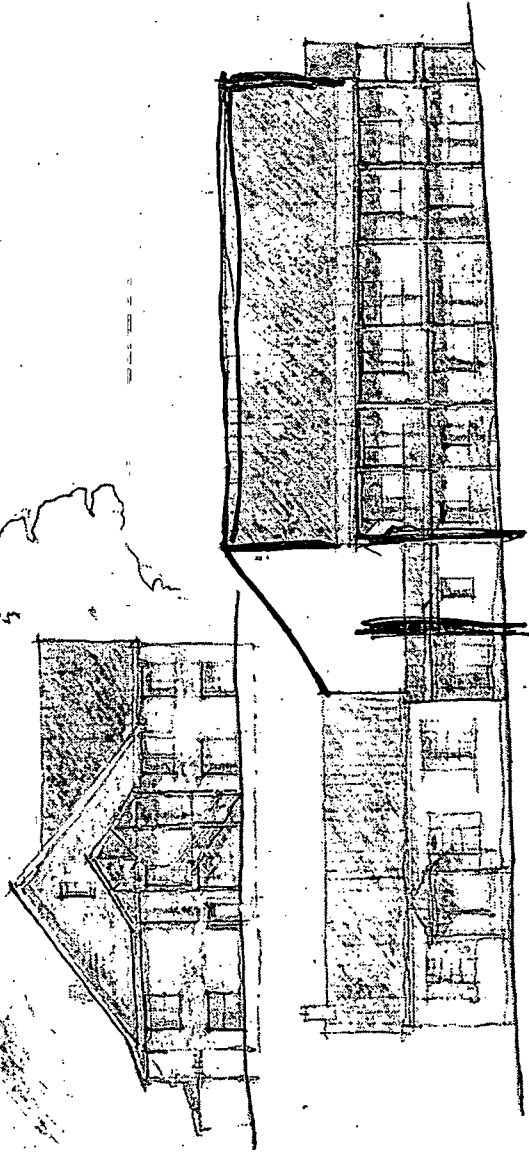
FIRST FLOOR PLAN



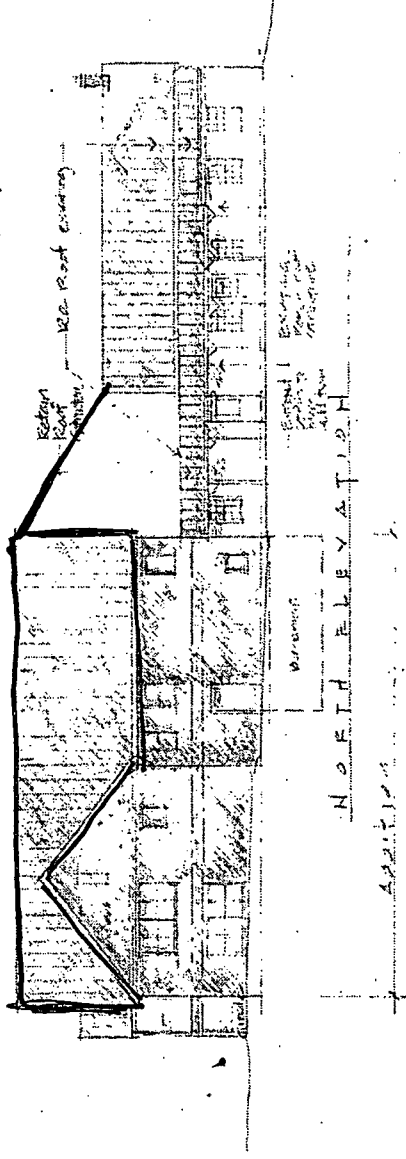
Second Floor Plan

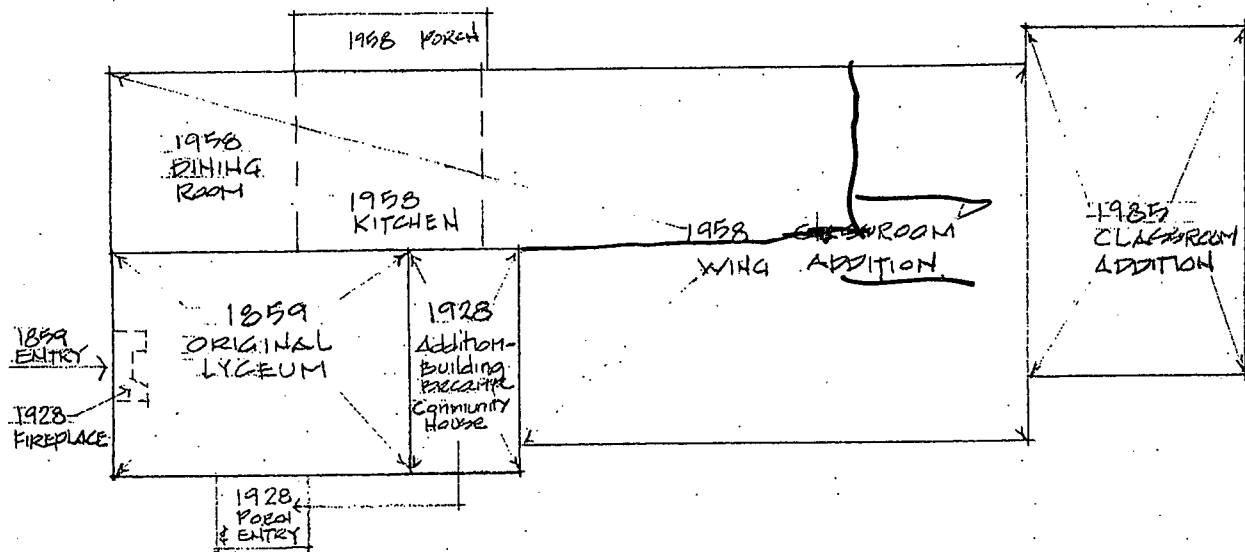
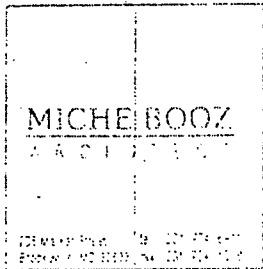


EAST ELEVATION



SOUTH ELEVATION
SANDY SPRING COMMUNITY HOUSE



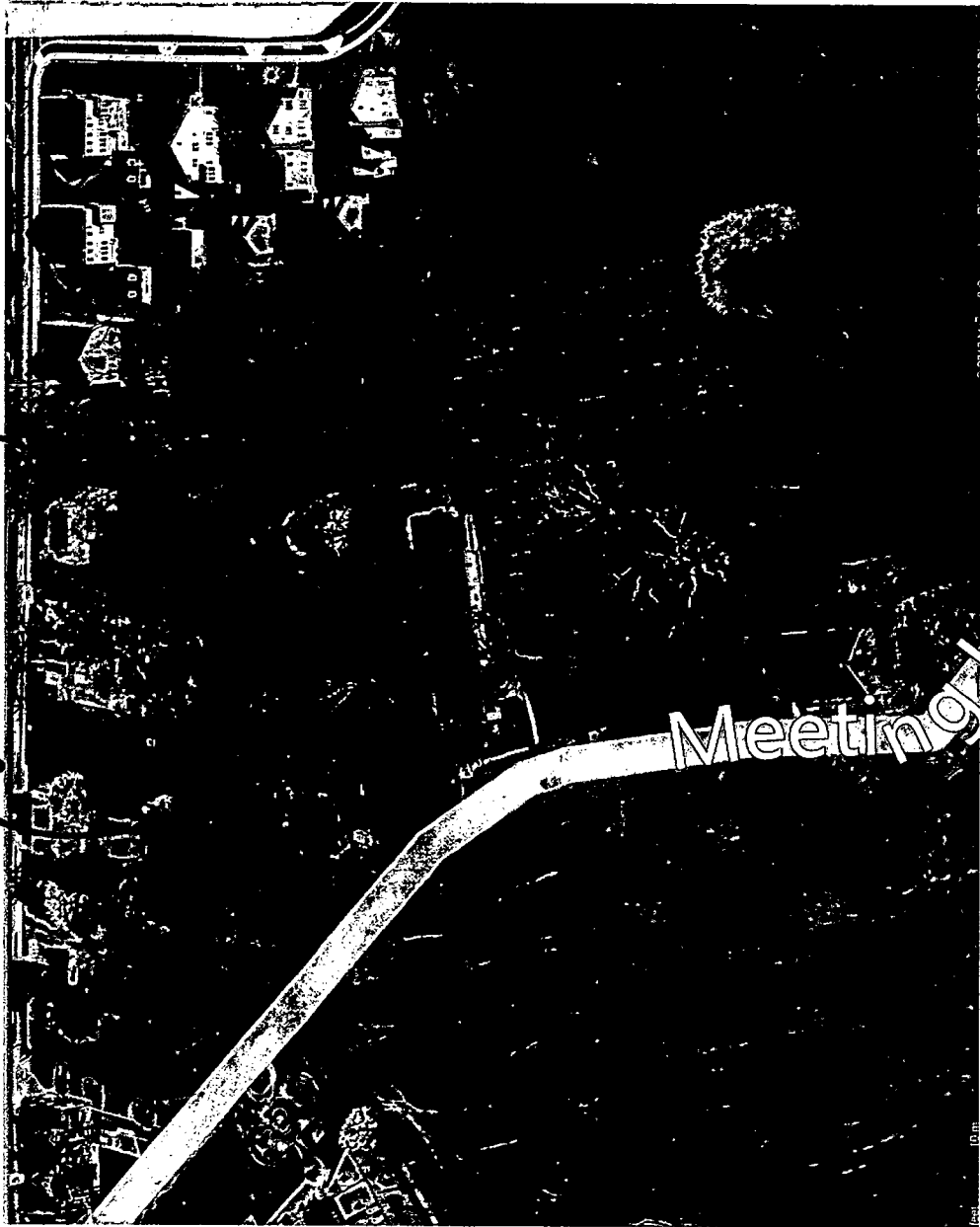


EXISTING COMMUNITY HOUSE PLAN - Historic Diagram

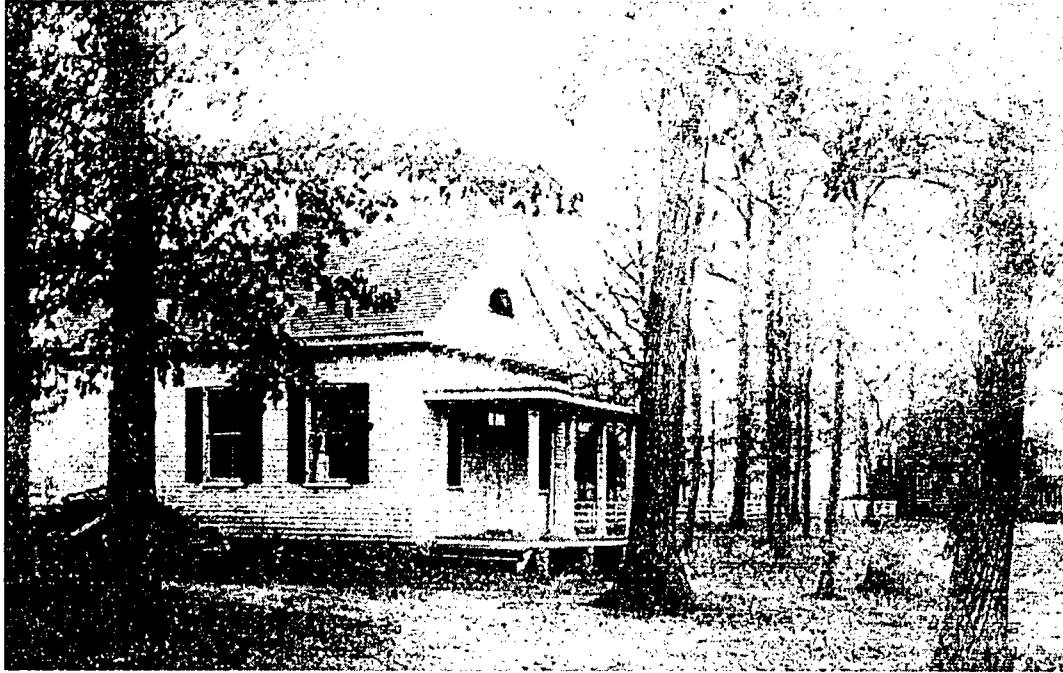


Lyceum/Community House

LYCENH/COMMUNITY HOUSE



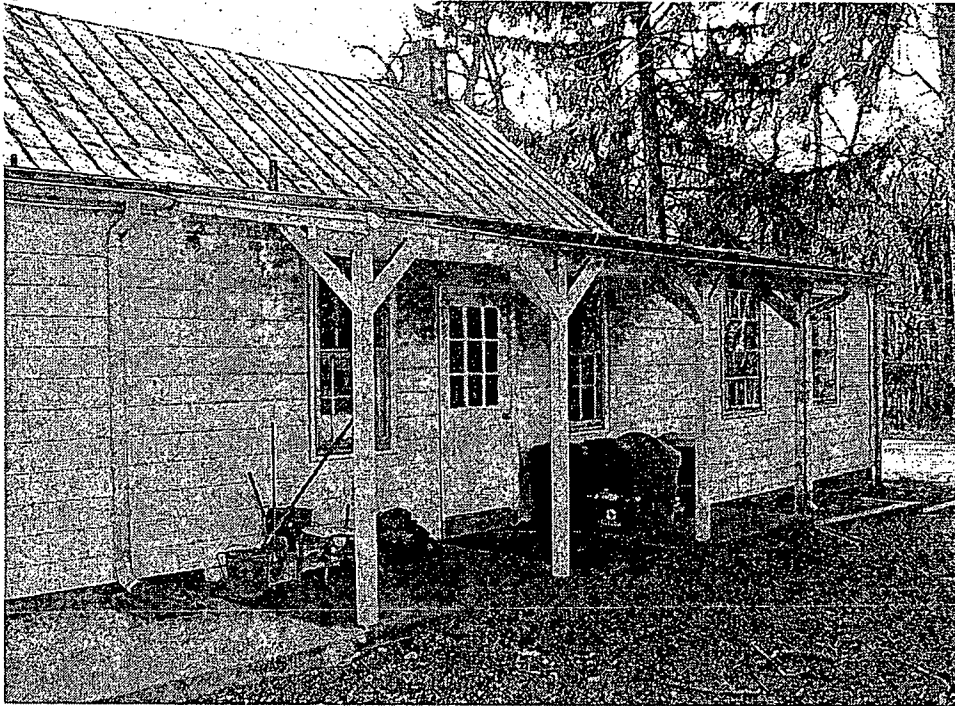
Meeting



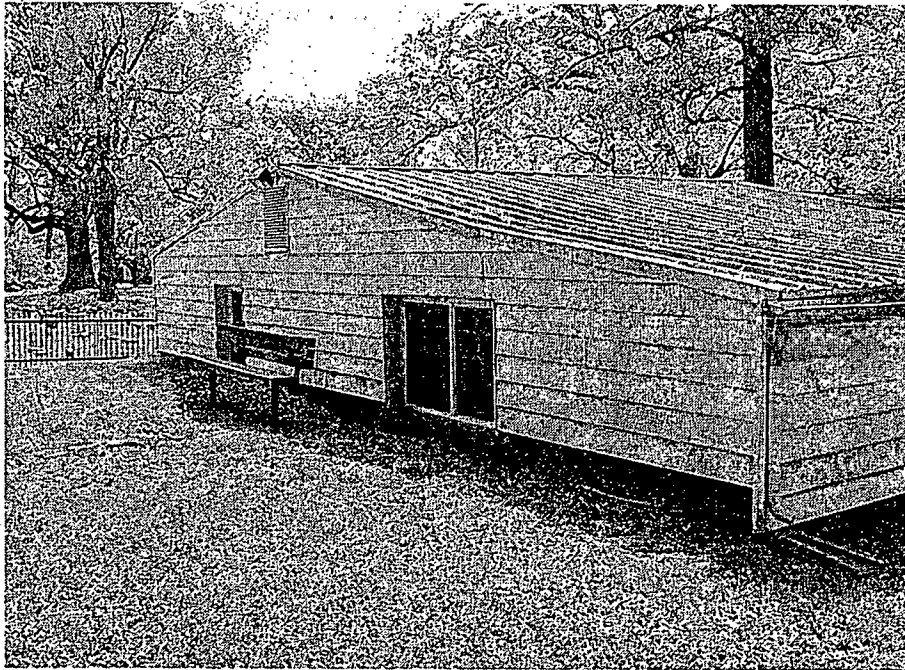
Historic photo of the Lyceum taken from the northwest. The meeting house is visible to the south. If the original lap siding is intact, it will be restored.



Current view of the Community House from the southwest parking lot showing south and west facades. The recessed east wing of the building visible in the photo will be demolished (built 1978 and 1985). The back low-slope addition on the north side will remain. The visible corner of the graveyard fence will be chamfered (Two stone fence posts will replace the one.) The tulip poplar will be removed.



Existing porch on the north side of the Community House added in 1958. This porch will be kept.



Current east façade of the Community House showing the 1985 classroom addition. This portion will be demolished.

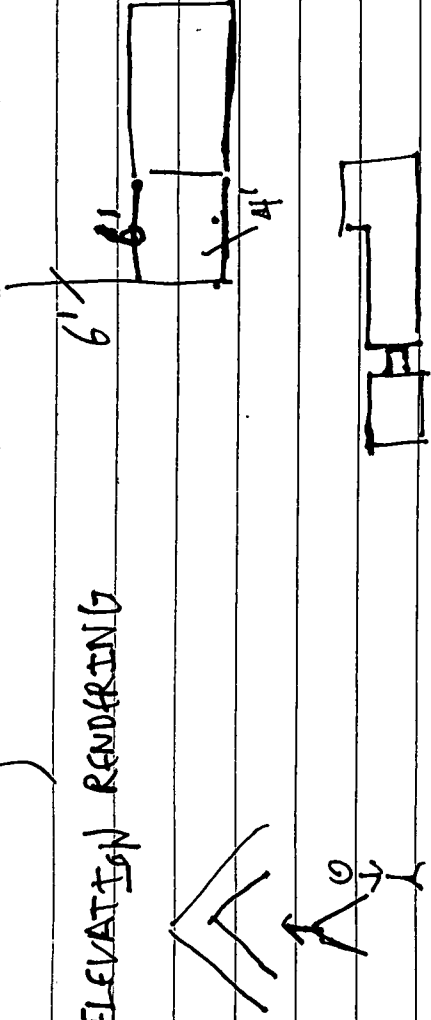


The historic Meeting House and rural road viewed from the northeast. The Meeting House will be untouched by the proposed project.

7/11/12

SSMM PRELIMINARY

FRONT ELEVATION RENDERING



HEILER: SUPPORTS PROPOSED

RODRIQUEZ: " SCALE

REDUCE ROOF HEIGHT | BLDG. TONGE?

ARCHITECT?

WHITNEY: SUPPORTS PROPOSED

EXTEND HYPHEN MORE

ENGULFS IT

LOWER IT

TRIGSDER: LONGER HYPHEN

SUPPORTS HYPHEN MORE FOR SEPARATION

KIRWIN: AGREES w/ STAFF

HYPHEN MORE DETERMINATE LONGER; TO EXPRESS MORE DIFFER.

CORATOLA: AGREES w/ TRIGSDER AND HYPHEN

SWEET: " " KIRWIN

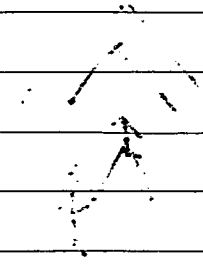
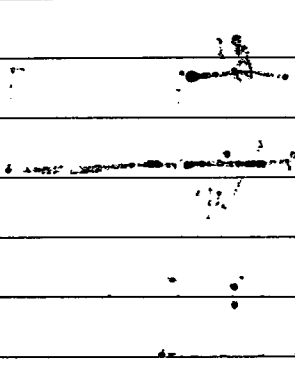
LOWER ROOF

NOTES: GLASS = INVISIBLE HYPHEN

PUSH ROOF DOWN

COMMUNICATIONS SECTION

COMMUNICATIONS SECTION



COMMUNICATIONS SECTION

COMMUNICATIONS SECTION

COMMUNICATIONS SECTION

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COMMUNICATIONS SECTION

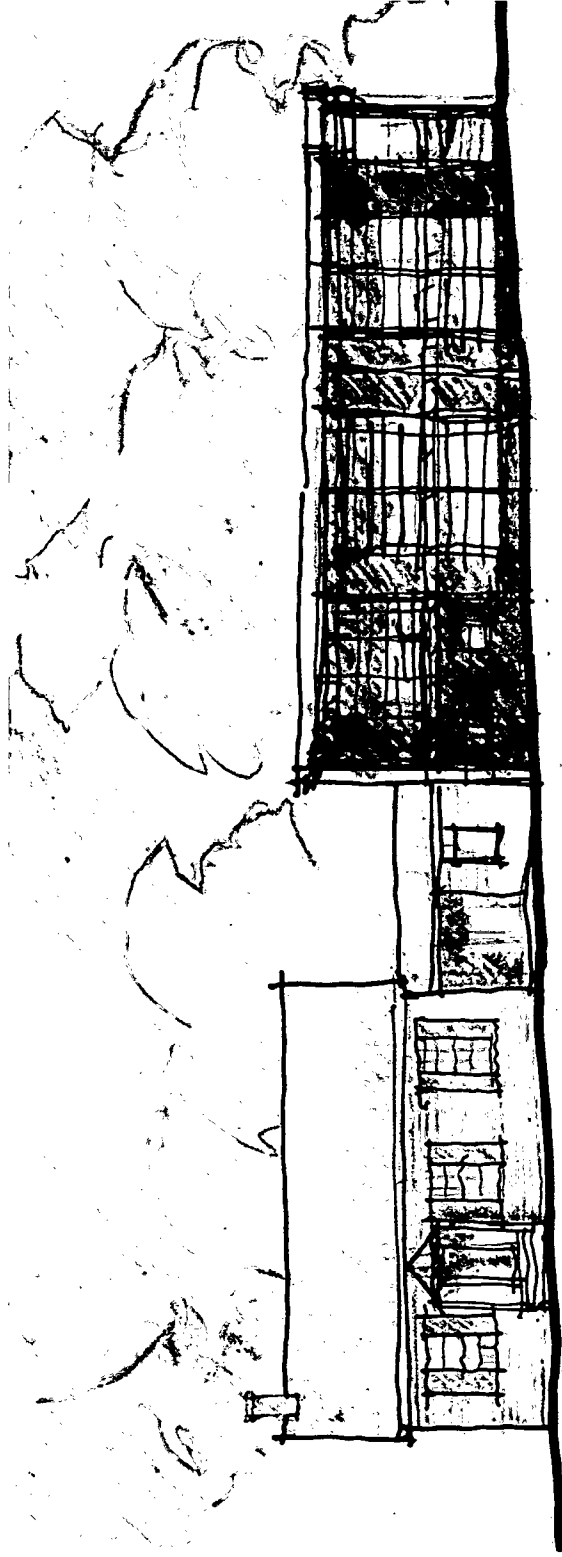
COMMUNICATIONS SECTION

COMMUNICATIONS SECTION

Option A



Option B



S O U T H E L E V A T I O N

Option C



COMMUNITY HOUSE ELEVATION

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	17715 Meetinghouse Road, Sandy Spring	Meeting Date:	12/19/2012
Resource:	Outstanding Resource Sandy Spring Historic District	Report Date:	12/12/2012
Applicant:	Sandy Spring Monthly Meeting (Miche Booz, Architect)	Public Notice:	12/5/2012
Review:	HAWP	Tax Credit:	Partial
Case Number:	28/11-12A	Staff:	Josh Silver
PROPOSAL:	Addition and alterations to building		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Sandy Spring Historic District
STYLE: Vernacular
DATE: 1859 (with later additions)

BACKGROUND

The HPC held a Preliminary Consultation hearing in April 2010 for the subject property. The proposed work considered the relocation of the schoolhouse building from its current location outside the historic district to a location inside the historic district, total and partial demolition of two non-historic addition sections of the Lyceum (Community House) building and construction of a new one-story addition on the east side elevation of the resource. Also considered were modifications to the existing hardscape surfaces on the grounds and tree removal. The HPC responded positively to the applicant's proposal.

The applicants returned for a 2nd Preliminary Consultation in December 2011 to seek further guidance from the HPC on the feasibility of slightly different proposal. The proposal was changed to include a phased approach to the development of the site due to the economics of the total project. Phase 1 consisted of relocation of the schoolhouse and demolition of a non-historic (1985) section of the Lyceum (Community House) and alterations to both buildings. Similarly, the HPC responded positively to the proposal.

In 2012, the HPC approved a HAWP application with revised plans that addressed comments made during the 2nd Preliminary Consultation. This plan was tabled due to the costs of relocating the schoolhouse building.

The applicants returned for a 3rd Preliminary Consultation in July 2012 with a revised design strategy. The revised strategy included a one-phase approach for meeting the applicant's needs, while in contrast the previous proposals included a multi-phase approach to development and new construction at the subject property.

The HPC unanimously supported the proposed concept recommending only minor revisions to the plan. The HPC recommended revisions to the design consider extending the length of the hyphen and lowering its roof to express additional differentiation between the historic resource and proposed addition. Some Commissioners recommended the applicant consider eliminating the 1958 addition section for the purpose of creating a cleaner break between the existing historic structure and new addition. The applicants have chosen to retain the 1958 addition in the current proposal due to the programmatic needs of the project.

The revised proposal as described below responds to the HPC's feedback at the preliminary consultation in July 2012. The revised proposal now includes an extended hyphen with a lower roof pitch to express more differentiation. [The full HPC meeting transcript can be found on page 29.]

PROPOSAL

The applicant is requesting approval from the HPC for the following items:

Lyceum (Community House), main block constructed in 1859

The applicant is proposing to demolish (select demolition of certain sections), the contiguous non-historic classroom wings to the east (rear) of the structure, dating from 1958 and 1985 respectively and construct a new 1 story hyphen (900 s.f., footprint) and 2 story classroom (3,100 s.f., footprint) addition that will extend to the east (rear) of the existing structure.

Environmental Setting

An existing Tulip Poplar tree located north of the graveyard is proposed for removal as part of the proposed work. The tree currently is distributing the foundation of the 1958 addition section and is located within the proposed construction zone for the new addition.

Located south of the existing Community House is an existing graveyard that is enclosed with a metal and stone fence. In order to provide accessible access to the new Community House wing, the fence will be chamfered at the northwest corner and a stone fencepost will be replaced with two new posts. The HPC supported these modifications at the Preliminary Consultation and HAWP reviews.

An existing concrete pathway that connects the Community House and parking area will be extended to accommodate access to the proposed 2 story classroom.

The applicants are in negotiations with the County Fire & Rescue office about how to provide sufficient access to the buildings for emergency services. The County Fire & Rescue office has recommended altering the existing parking area and road to accommodate emergency vehicle access to both buildings. It is not expected that any future parking area and/or road modifications will impact the proposed construction and site development. The applicants will return to the HPC for alterations to the parking area and road if necessary.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Sandy Spring Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION**Item #1: Lyceum (Community House)**

Staff supports the proposal as submitted. The revised proposal responds to the general feedback the HPC

provided the applicants with at the July 2012 preliminary consultation.

Environmental Setting

Staff supports the proposed, hardscape, landscape and fence alterations. The proposed alterations are consistent with what the HPC supported when it considered the project at the Preliminary Consultation phase.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



DEPARTMENT OF PERMITTING SERVICES
RESIDENCE FIRE INSURANCE BOARD, ETC. 101 7th St
24 201 201

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Miche Booz
Daytime Phone No.: 301-774-6911

Tax Account No.: 00718340
Name of Property Owner: Sandy Spring Monthly Meeting Daytime Phone No.: 301-774-9792
Address: 17715 Meetinghouse Road Sandy Spring MD 20860
Street Number City State Zip Code

Contractor: N/A Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: Miche Booz Architect Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE

House Number: 17715 Street: Meetinghouse Road
Town/City: Sandy Spring Nearest Cross Street: Rt. 108
Lot: _____ Block: _____ Subdivision: 1
Liber: _____ Parcel: P.553
Map JT32

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 1,500,000
1C. If this is a revision of a previously approved active permit, see Permit # 584821

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Booz 11.14.12
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 017728 Date Filed: 11/14/2012 Date Issued: _____

Neighboring property addresses:

MERNICK GEORGE H. &
THENE MARTIN MERNICK
17617 MEETING HOUSE RD
SANDY SPRING MD 20860-1017

WRIGHT ALAN M & K V
17710 MEETING HOUSE RD
SANDY SPRING MD 20860

STEDMAN BRUCE J &
ELEANOR M DORSEY
17714 MEETING HOUSE RD
SANDY SPRING MD 20860

SANDY SPRING MONTHLY MEETING
OF THE REL SOCIETY OF FRIENDS
17715 MEETING HOUSE RD
SANDY SPRING MD 20860-1024

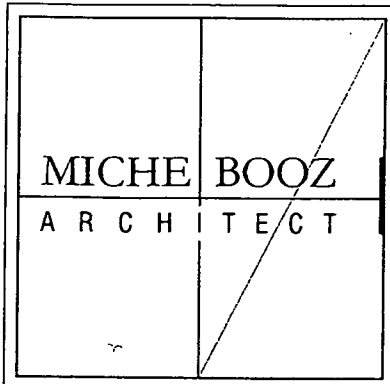
SIDELL JANE L
17809 MEETING HOUSE RD
SANDY SPRING MD 20860-1022

STABLER 1848 LLC
C/O NICHOLS DEV LLC
18623 BROOKE RD
SANDY SPRING MD 20860

AUBURN VILLAGE HOMEOWNERS ASSOC
C/O WINCHESTER HOMES INC
6905 ROCKLEDGE DR STE 800
BETHESDA MD 20817-1873

BODDY TROY
140 NORWOOD RD
SILVER SPRING MD 20905-3878

SANDY SPRING VILLAGE
CONDOMINIUM ASSOC
WINDRUSH LANE
SANDY SPRING MD 20860



Sandy Spring Monthly Meeting HAWP Application

November 14, 2012

General description of existing structures and environmental setting, including historical features and significance.

The present brick Meetinghouse, the third on this site, was built in 1817 on land which was conveyed in 1753 by James Brooke to Roger, Richard, and Basil Brooke in trust for the Society of Friends. The adjacent historic cemetery contains past generations of Friends, and others from the Sandy Spring community. Friends from the earliest years are buried in unmarked graves close to the Meetinghouse.

On the north side of the cemetery stands the Community House, used for the First Day School and committee and fellowship activities. Built in 1859, it was the Lyceum for the neighborhood until 1927. It was remodeled as the Community House in 1928; the front door was relocated to the south side of the building, a chimney added on the west side, and the building was expanded to the east.

The low east wing of the Community House was added in 1958 to house First Day School classrooms. A larger kitchen and low-sloping addition was also made at this time to the north side of the Lyceum. (See photos of the historic Lyceum and the current Community House.) An additional large classroom was added on the east wing in 1985.

A school house is currently located to the northeast of the classroom wing of the Community House. This building was originally built in 1897, replacing a log structure which was destroyed by a falling tree in the Great Hurricane of 1896. The school house was originally located directly east of the Lyceum building although original foundations have not been located. It was moved to its new location and converted to a house in 1926.

The entire site retains its historic rural character and contains many large trees. The Sandy Spring Monthly Meeting property from the Lyceum building, graveyard and south to the Meeting House are part of the Sandy Spring Historic District.

General description of the project and its effect on the historic resources, the environmental setting, and the historic district.

Since 2001, members of the Sandy Spring Monthly Meeting have been involved in a careful assessment and design process to meet the needs of a growing school-age population. The meeting has held a number of internal design charrettes and threshing sessions and has closely consulted with Historic Preservation Commission staff at critical stages in this evolving process.

Community House: This project includes removing portions of the 1958 classroom addition and the entire 1985 classroom addition to the Community House. Some non-historic interior walls will be removed and the kitchen will be moved from its current location into the renovated portion of the 1958 addition. This will make the Lyceum into one large gathering space. The 1958 addition on the north side of the Community House will remain as part of the new gathering space. The 1958 porch will also remain.

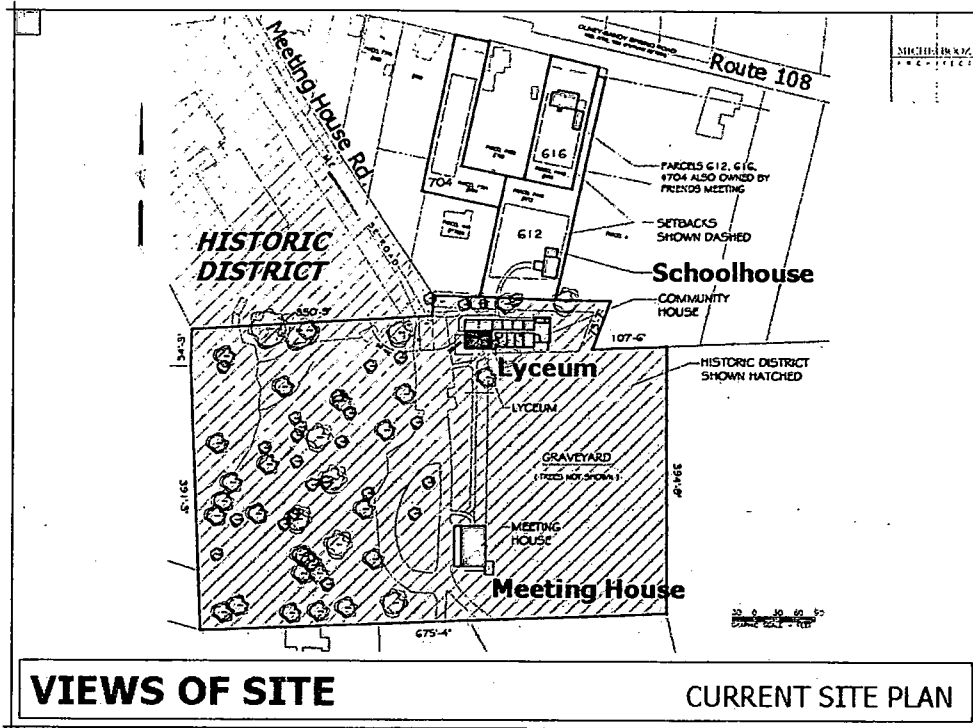
The portions of the 1958 addition that remain will be selectively demolished, refinished and reclad in fiber cement siding to match the appearance of the existing Community House. New wood windows will be installed. A new kitchen, office space, storage, and accessible entry lobby are located in this portion of the building.

Directly to the east of the redone 1958 addition will be a 12-foot-long glassy hyphen connecting the historic Lyceum/ Community House to a new two-story classroom addition.

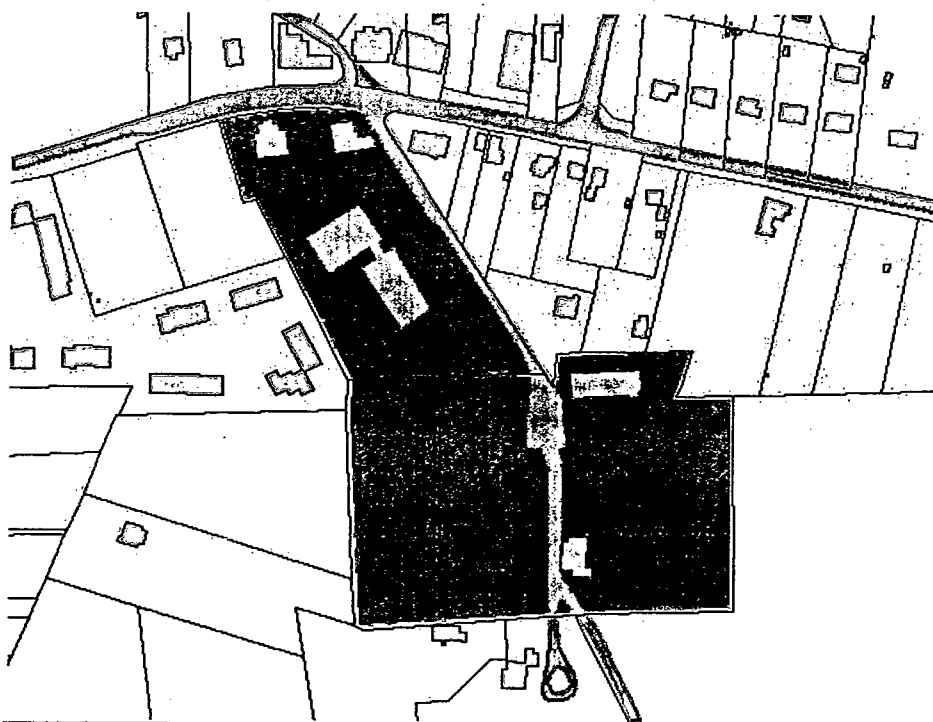
Classroom Addition: The new two-story classroom addition will house new restrooms, an elevator and nine classrooms. The addition will be clad in brick with aluminum-clad wood windows. The roof is standing-seam metal. There is a porch and sunshades on the south side. The addition is meant to echo the character of the historic Meeting House.

Trees and Graveyard Fence: A tulip poplar just north of the graveyard will need to be removed. It is currently disturbing the foundation of the 1958 addition to the Community House and its roots are located the new construction zone. It is too close the building and represents a danger to the new structure.

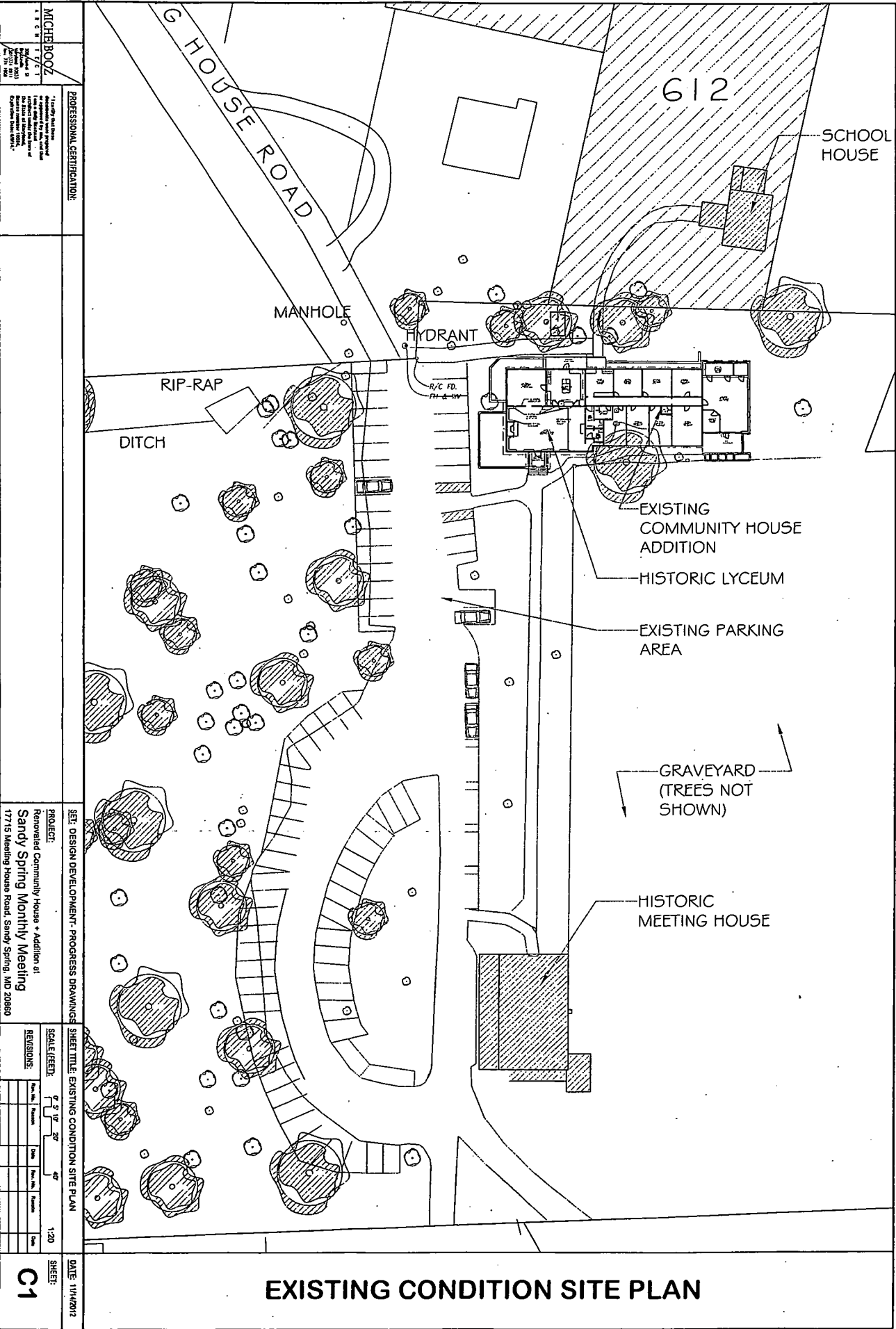
The fence of the graveyard will be chamfered at the northwest corner to allow for accessible access to the new Community House wing addition. One stone fencepost will be replaced by two. No graves or headstones will be disturbed.



Current site plan showing location of historic Lyceum (dark blue in plan), current Community House and the current location of the school house.



Green portions describe the Sandy Spring Historic District.



MICHE BOZ
 1718 G HOUSE ROAD
 SANDY SPRING, MD 20886
 (301) 271-1818

PROFESSIONAL CERTIFICATION:
 I, MICHE BOZ, a duly Licensed Professional Engineer in the State of Maryland, hereby certify that I am the author of the design and drawings herein, and that I am a duly Licensed Professional Engineer in the State of Maryland, and that I am duly Licensed in the State of Maryland, and that I am duly Licensed in the State of Maryland, and that I am duly Licensed in the State of Maryland.

PROJECT:
 Renewed Community House - Addition at
 Sandy Spring Monthly Meeting
 1718 Meeting House Road, Sandy Spring, MD 20886

SCALE/FEET:
 1" = 20'

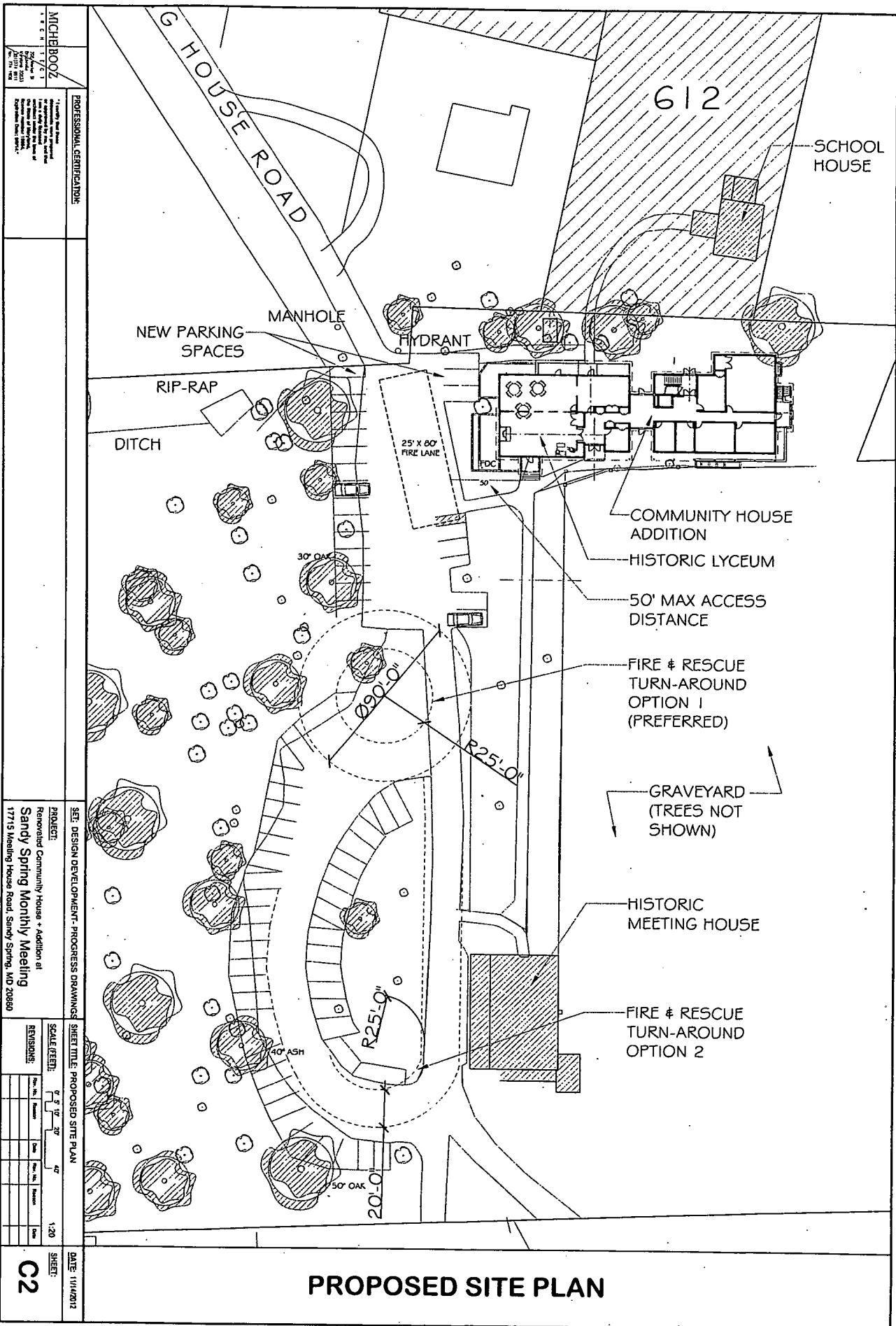
REVISIONS:

No.	Date	By	Check	Reason

SHEET:
 C1

DATE: 11/14/2012

EXISTING CONDITION SITE PLAN



MICHEROZ
 11/7/1
 PROFESSIONAL CERTIFICATION

1. I am a duly Licensed Professional Engineer in the State of Maryland, No. 17115, and I am duly Licensed Professional Engineer in the State of Maryland, No. 17115.

PROJECT:
 Renewed Community House + Addition at
 Sandy Spring Monthly Meeting
 17715 Meeting House Road, Sandy Spring, MD 20860

SCALE (FEET):
 1" = 20'

REVISIONS:

No.	Description	Date

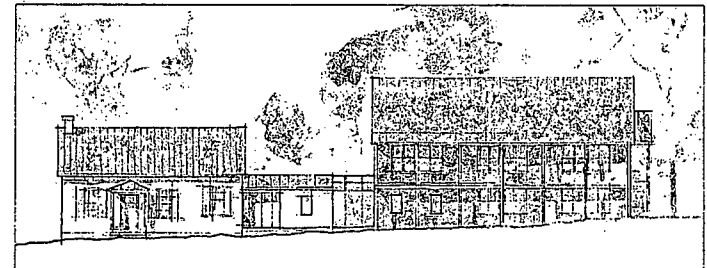
SHEET TITLE: PROPOSED SITE PLAN
 SHEET NO.: C2
 DATE: 11/14/2012

PROPOSED SITE PLAN

CODES MARYLAND REHAB CODE & BY REFERENCE: ICC INTERNATIONAL EXISTING BUILDING CODE, 2012 EDITION (IEBC) ICC INTERNATIONAL BUILDING CODE, 2012 EDITION (WITH LOCAL AMENDMENTS) (IBC) ICC INTERNATIONAL MECHANICAL CODE, 2012 EDITION (WITH LOCAL AMENDMENTS) (IMC) ICC INTERNATIONAL ENERGY CONSERVATION CODE, 2012 EDITION (WITH LOCAL AMENDMENTS) (IECC) WSSC PLUMBING CODE NFPA 70 - NATIONAL ELECTRICAL CODE, 2008 EDITION (WITH LOCAL AMENDMENTS) (NEC) COMAR NFPA 101 - LIFE SAFETY CODE, 2009 EDITION (WITH LOCAL AMENDMENTS) (LSC) COMAR NFPA 72/2007 - FIRE ALARM CODE COMAR NFPA 13/2007 - COMMERCIAL SPRINKLER CODE FIRE SAFETY CODE OF MONTGO. COUNTY MONTGOMERY COUNTY CODE, CHAPTER 22 MARYLAND ACCESSIBILITY CODE - COMAR 05.02.02 & BY REFERENCE: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADAAG) & FINAL FAIR HOUSING ACCESSIBILITY GUIDELINES (FFHAG)	INT'L. EXIST. BUILDING CODE, 2012
	INT'L. BUILDING CODE, 2012
	NFPA 101 LIFE SAFETY CODE, 2009

The Religious Society of Friends
SANDY SPRING MONTHLY MEETING
 RENOVATED COMMUNITY HOUSE + ADDITION
 17715 Meeting House Road, Sandy Spring, MD 20860

**DESIGN DEVELOPMENT
 PROGRESS SET
 NOV. 14, 2012**



COMMUNITY HOUSE SKETCH (ILLUSTRATIVE ONLY)

SSHM Representatives: Tom Kummer, Construction Manager | (301) 330-3220 | tomkummer@comcast.net | Ned Stowe, Clerk of Trustees | (301) _____ | 21214dettrmring@gmail.com

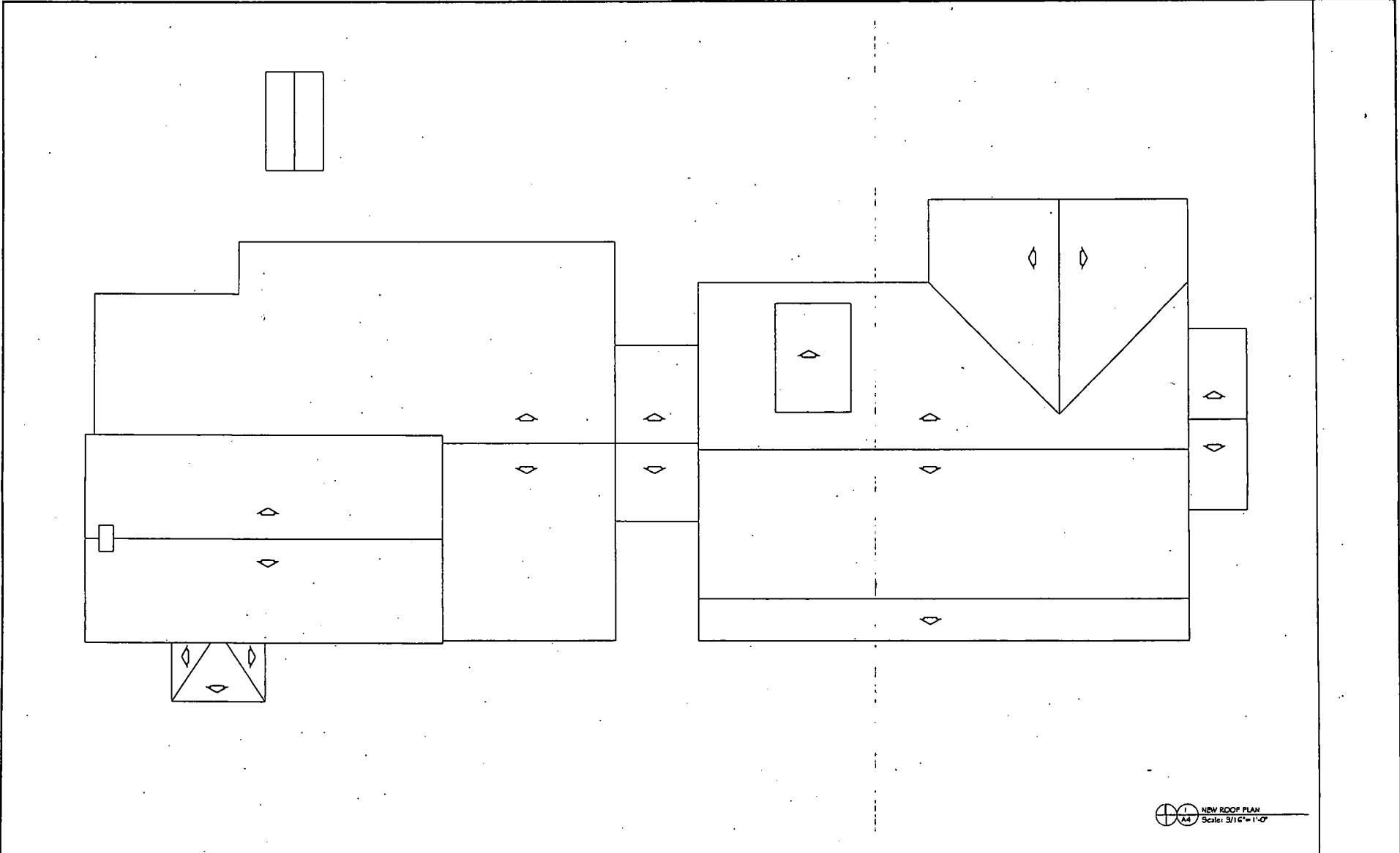
VICINITY MAP	REVIEW APPROVALS Montgomery County Department of Permitting Services M-NCPPC Historic Preservation Commission Sediment Control Perm No. _____ Storm Water Management File No. _____ Historic Area Work Permit No. _____ Demolition/Move Permit No. _____ Use+Occupancy Permit No. _____
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PROJECT DESCRIPTION	INDEX																																																																																		
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GENERAL NOTES AS-BUILT DIMENSIONS ARE APPROXIMATE, VERIFY IN FIELD UNLESS NOTED OTHERWISE. DISCREPANCIES SHOULD BE BROUGHT TO ATTENTION OF ARCHITECT BEFORE CONSTRUCTION BEGINS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS, COUNTY STANDARDS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND AMENDMENTS. CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY COUNTY OFFICIALS. CONTRACTOR SHALL COMPLY WITH CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION.	ATTACHMENTS PROJECT SPECIFIC ATTACHMENTS INCLUDE: TECHNICAL SPECIFICATIONS, PERMIT APPLICATIONS, PERMIT VALLATION FORMS, ENERGY CERTIFICATION FORMS, COMCHECK FORMS, ROADSIDE AFFIDAVIT, ADA COMPLIANCE FORM.																																																																																		
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MICHE BOOZ
 ARCHITECT
 200 North 13
 Boulevard
 Silver Spring, MD 20913
 301.778.0211
 Fax: 771.1928

I certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the laws of the State of Maryland. License number: 10094, Expiration Date: 06/30/14.

12



1
A4 NEW ROOF PLAN
Scale: 3/16" = 1'-0"

PROFESSIONAL CERTIFICATION:

MICHEL BOOZ
ARCHITECT

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 20834, license number 20834, expiration date 10/31/14."

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

SHEET TITLE: NEW ROOF PLAN

DATE: 11/14/2012

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

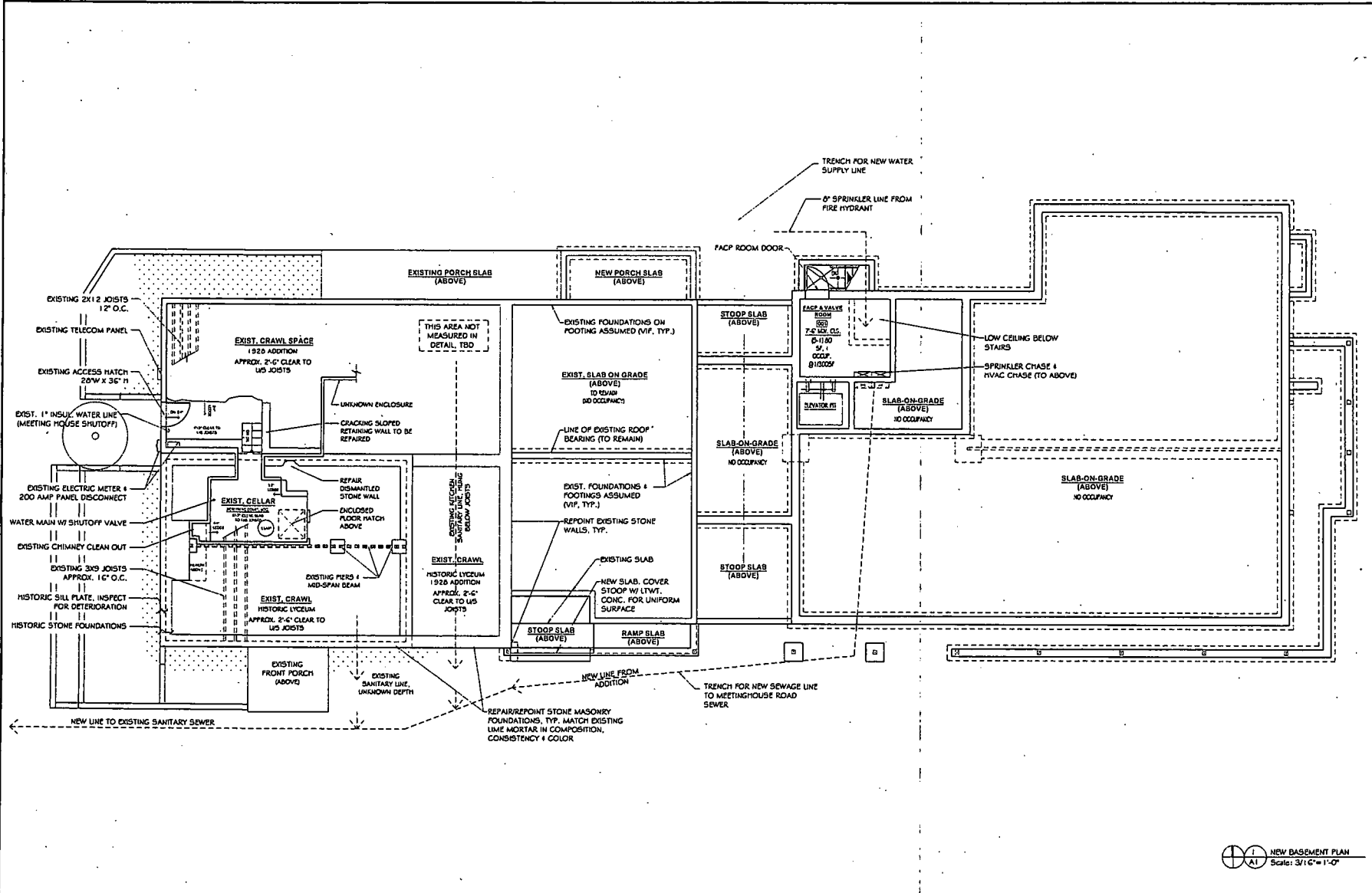
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Rev. No.	Reason	Date	Rev. No.	Reason	Date

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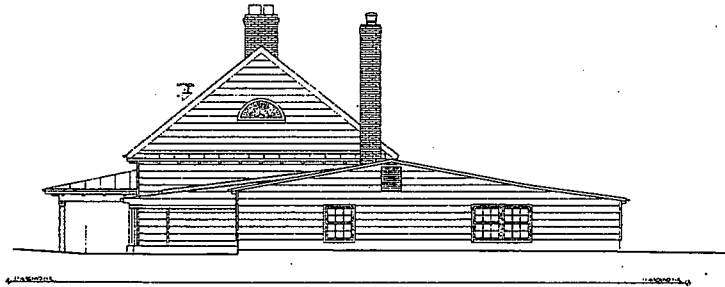


- BASEMENT WORK NOTES**
- EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD. TYP. (V.A.F.) DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE ARCHITECT.
 - INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O.
 - REPAIR & REPOINT CRACKS AND PRESSURES IN EXISTING WALLS.
 - EXTERIOR FRAMING TO BE 2 X 4'S, UNLESS NOTED OTHERWISE.
 - INTERIOR FRAMING TO BE 2 X 4'S U.N.O.
 - PLAN DIMENSIONS TO ROUGH FRAMING OR MASONRY, U.N.O.
 - ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.
 - PROVIDE SCHEDULING OF WALLS FOR ALL EQUIPMENT, ACCESSORIES & STORAGE, INCLUDING THOSE ITEMS NOTED "N.I.C."
 - PROVIDE INSULATION VALUES ACCORDING TO CURRENT REPORTS, ATTACHED.

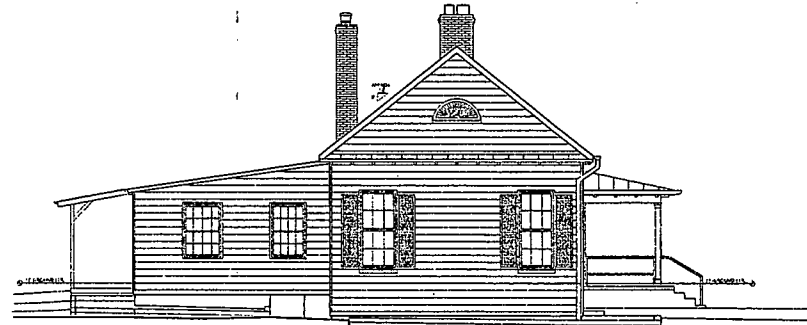
NEW BASEMENT PLAN
Scale: 3/16" = 1'-0"

	PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number: 19854. Expiration Date: 10/31/14.	SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS	SHEET TITLE: NEW BASEMENT PLAN	DATE: 11/14/2012											
	PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860	SCALE (FEET): 1 0 1/2 4 8 16	REVISIONS: <table border="1"> <thead> <tr> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev. No.	Reason	Date	Rev. No.	Reason	Date						
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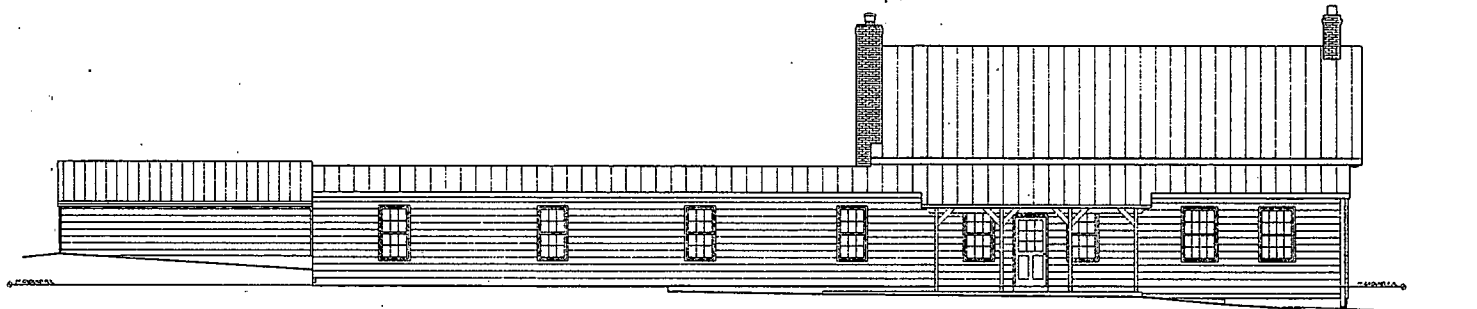
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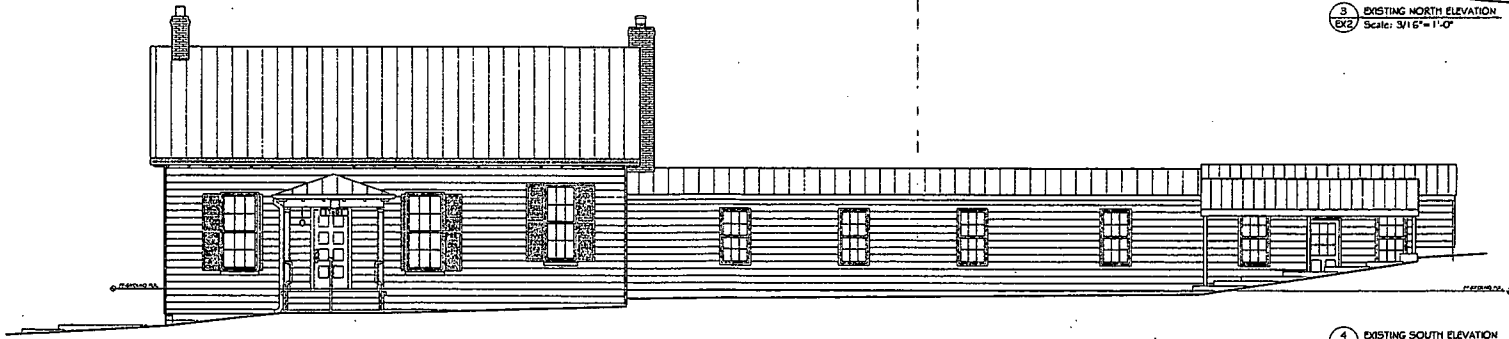
1 EX2 EXISTING EAST ELEVATION
Scale: 3/16" = 1'-0"



2 EX2 EXISTING WEST ELEVATION
Scale: 3/16" = 1'-0"



3 EX2 EXISTING NORTH ELEVATION
Scale: 3/16" = 1'-0"



4 EX2 EXISTING SOUTH ELEVATION
Scale: 3/16" = 1'-0"

**EXISTING
CONDITION
NOTES**

- 1: EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD. TYP. (U.A.O.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE CONSTRUCTION MANAGER.
- 2: INTERIOR DIMENSIONS ARE TO FINISH SURFACES (U.A.O.). EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING OR MASONRY (U.A.O.). ELEVATION DIMENSIONS ARE TO FINISH FLOOR, (U.A.O.).
- 3: ALL NOTES REFER TO EXISTING CONDITIONS UNLESS NOTED OTHERWISE (U.A.O.).

MICHE BOOZ
ARCHITECT
200 Mount St.
Baltimore, MD 21201
(410) 524-1200
Fax: 774-1928

PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 18824, Registration Date: 03/24/04."

EXISTING PLAN

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20880

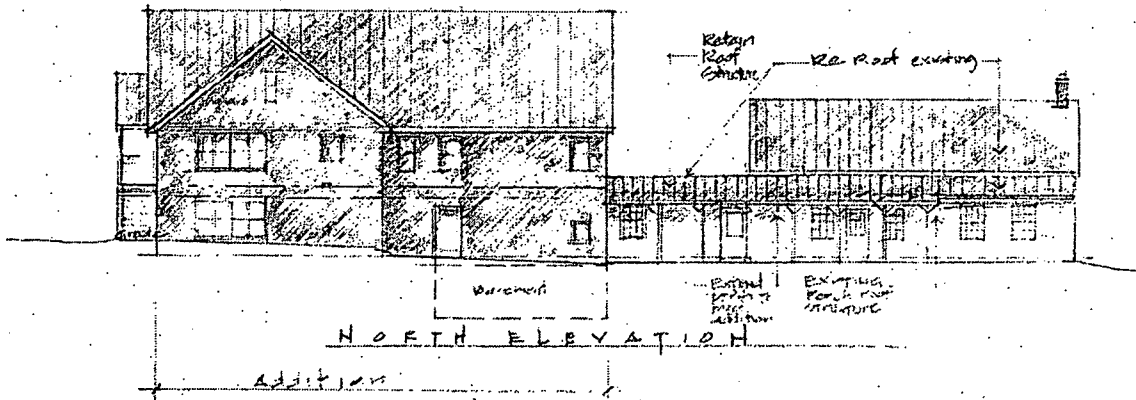
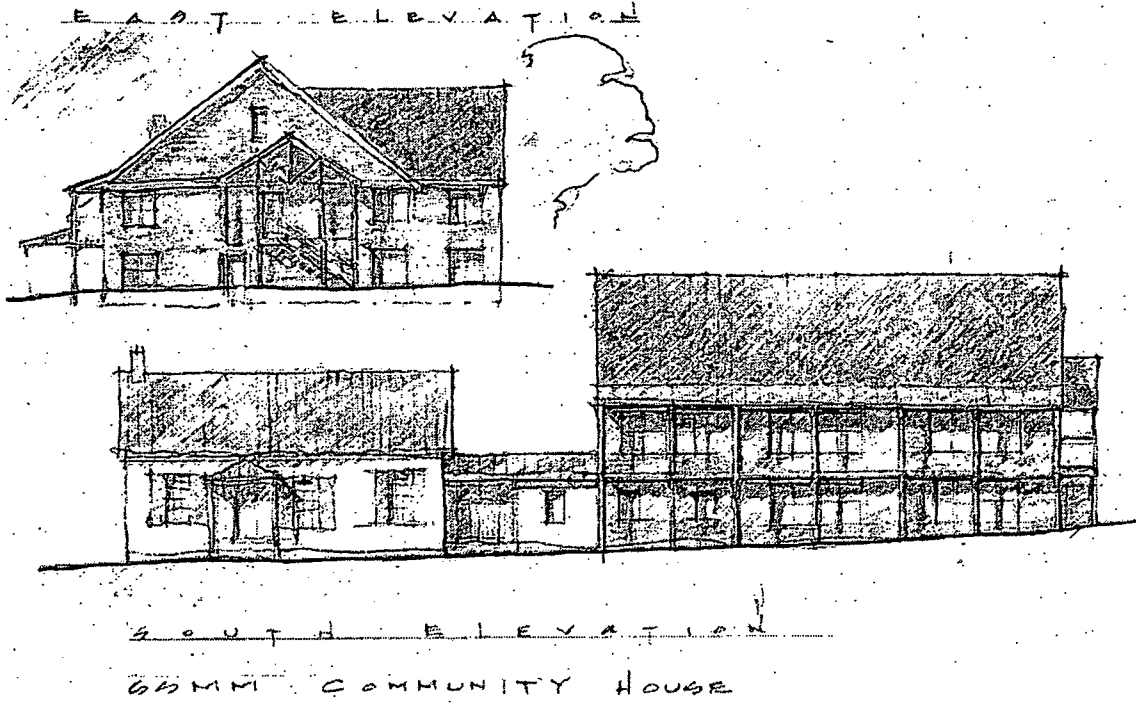
SHEET TITLE: EXISTING CONDITION ELEVATIONS

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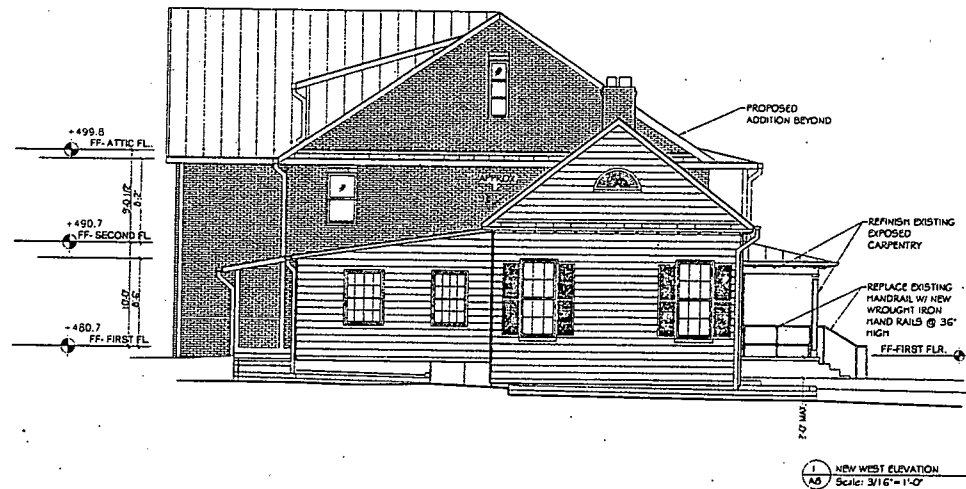
DATE: 11/14/2012

SHEET:
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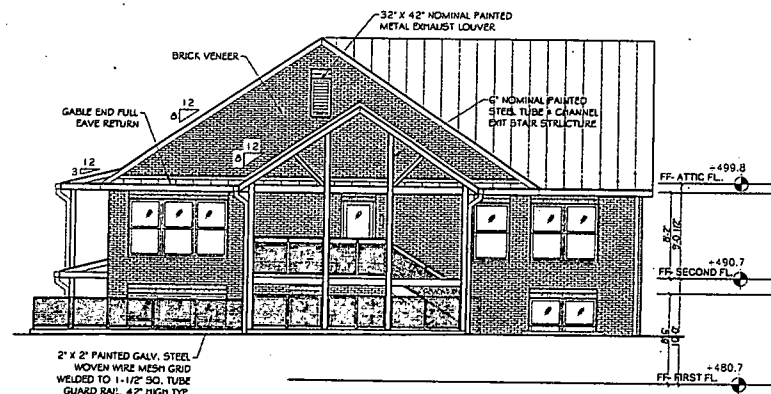
19



PRELIMINARY PROPOSAL



1 NEW WEST ELEVATION
Scale: 3/16" = 1'-0"



2 NEW EAST ELEVATION
Scale: 3/16" = 1'-0"

CURRENT PLAN

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

SHEET TITLE: NEW ELEVATIONS

DATE: 11/14/2012

PROJECT:
Renovated Community House + Addition at
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SCALE (FEET): 1 0 1 2 4 8 16

SHEET:

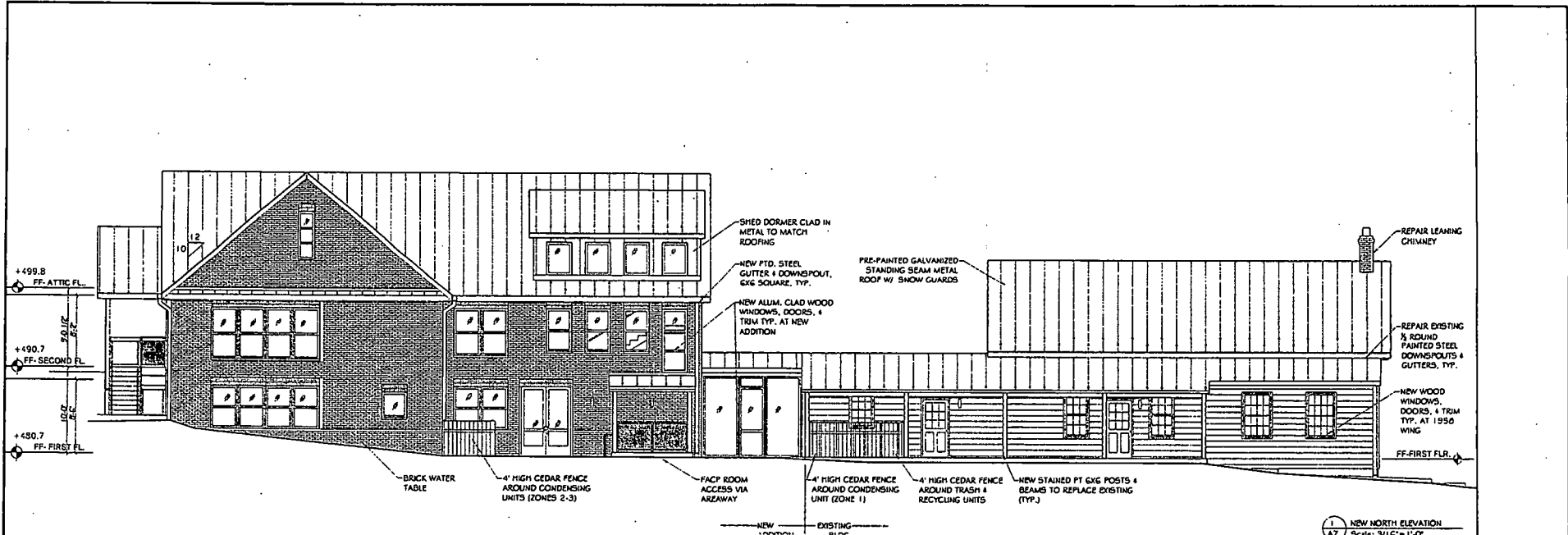
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Rev. No.	Revised	Date	Rev. No.	Revised	Date

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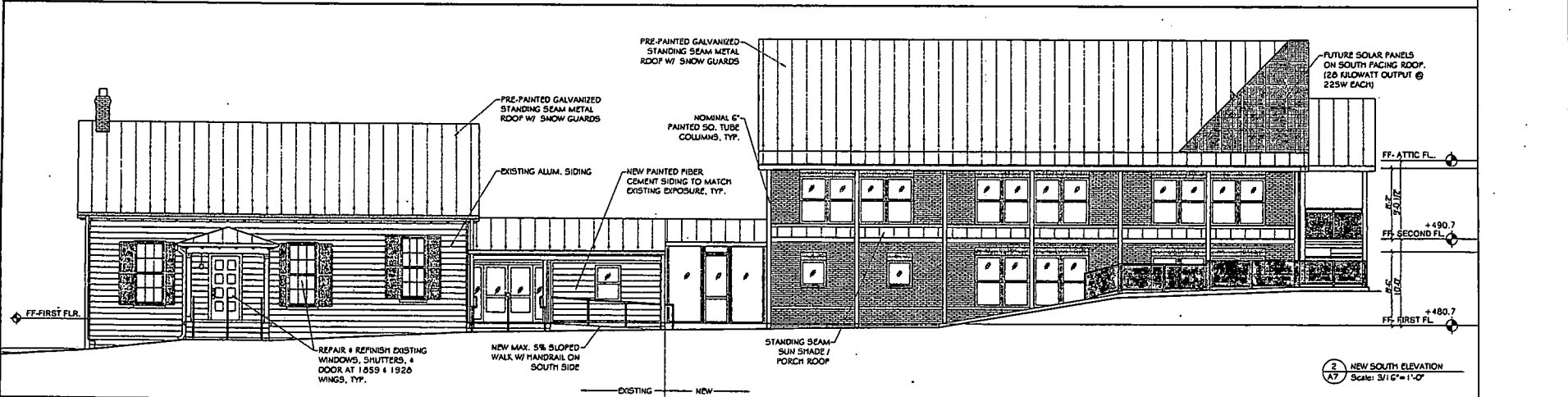
PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the laws of the State of Maryland, License No. 10001, Expiration Date: 6/30/14."

MICHE BOOZ
ARCHITECT
122 Forest St
Baltimore, MD 21202
Tel: 410-528-1011
Fax: 410-528-1008



1 NEW NORTH ELEVATION
Scale: 3/16" = 1'-0"



2 NEW SOUTH ELEVATION
Scale: 3/16" = 1'-0"

PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License Number: 98524. Expiration Date: 12/31/14."

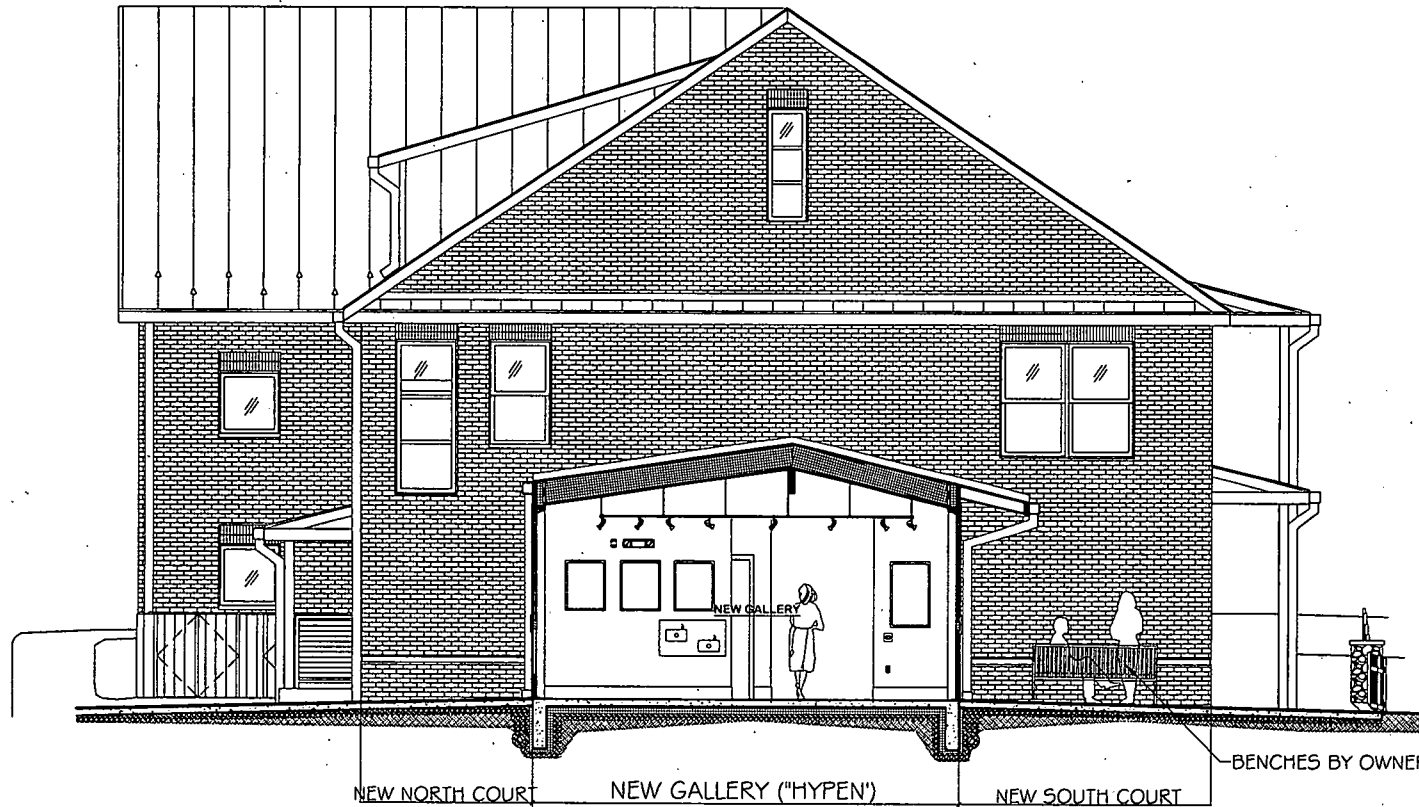
MICHE BOOZ
ARCHITECT
300 North D
Baltimore
Maryland 21201
(410) 521-8111
www.mbooz.com

CURRENT PLAN

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS
PROJECT:
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SHEET TITLE: NEW ELEVATIONS		DATE: 11/14/2012	
SCALE (FEET):		SHEET:	
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REVISIONS:			
Rev. No.	Reason	Date	Rev. No.

22



4 D-D SECTION
A9 Scale: 3/16" = 1'-0"

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

SHEET TITLE: NEW SECTIONS

DATE: 11/14/2012

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

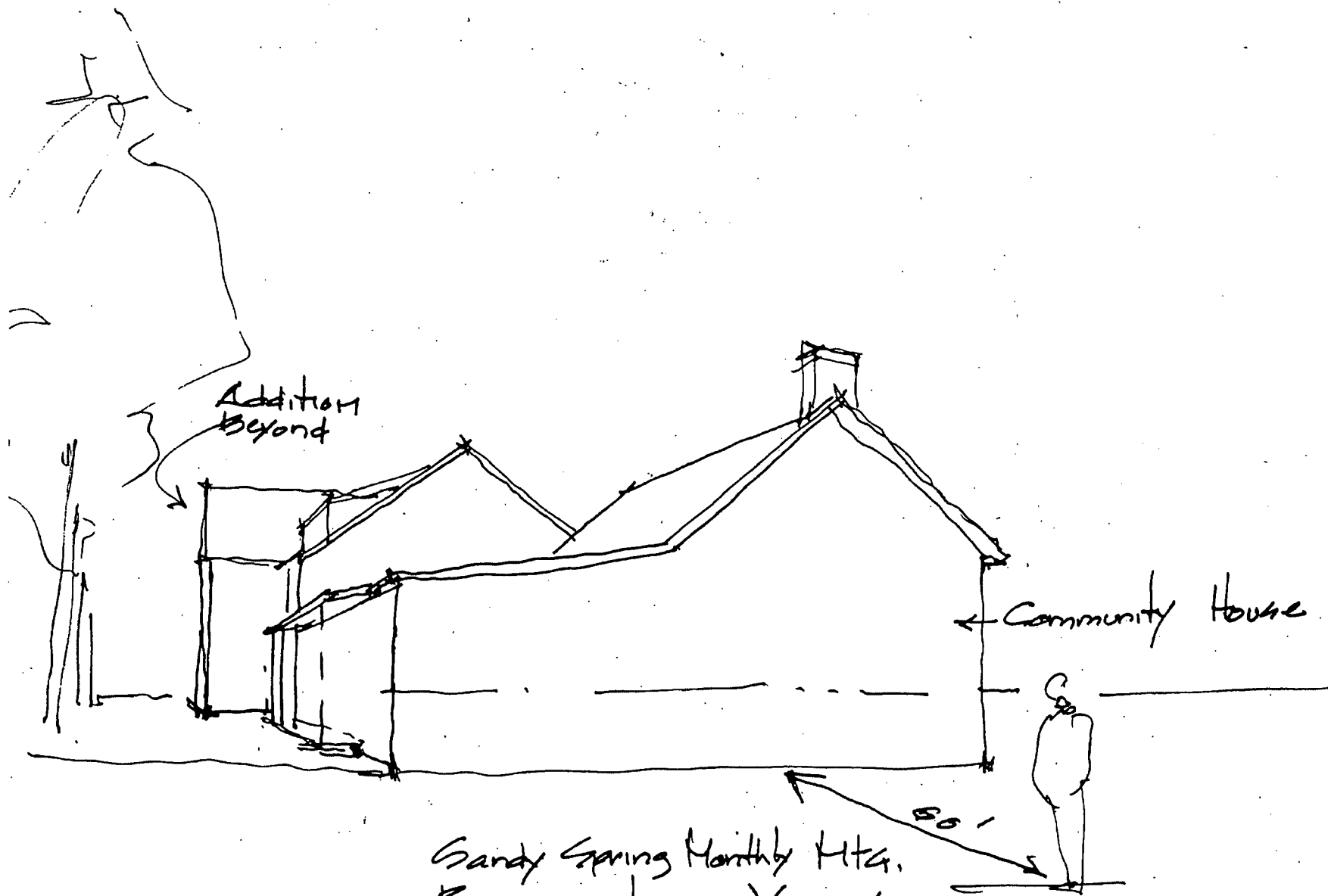
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SHEET:
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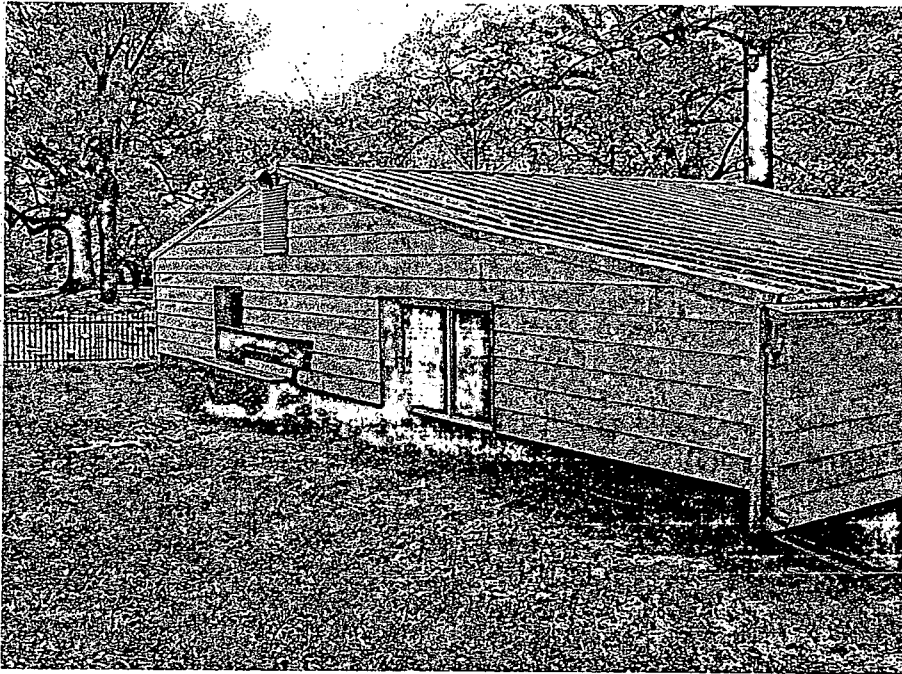
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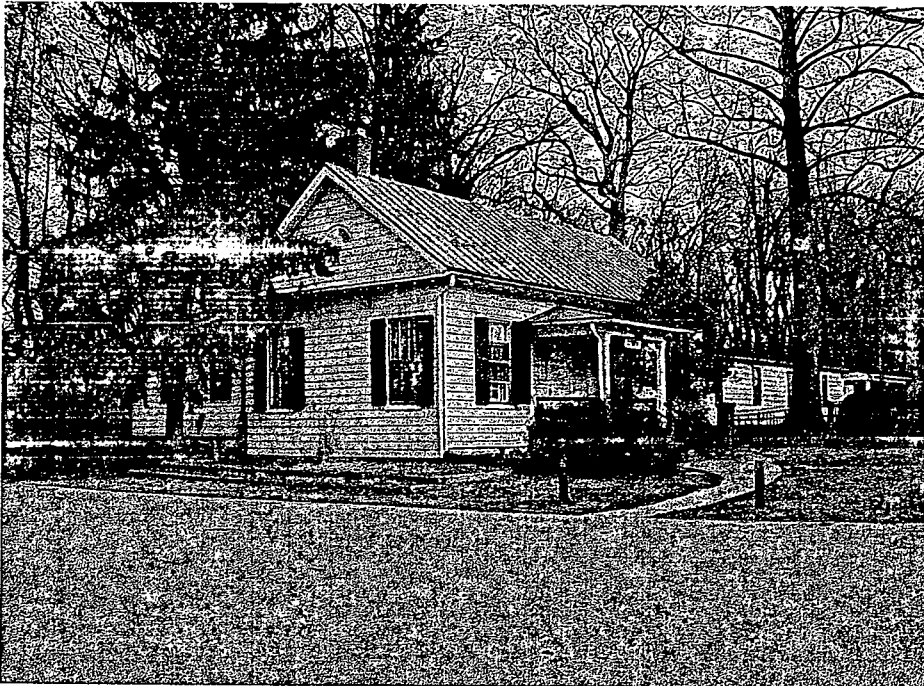
CURRENT PLAN



Gandy Spring Monthly Mtg.
Perspective View
eye level from far side of
parking lot.



Current east façade of the Community House showing the 1985 classroom addition. This portion will be demolished.



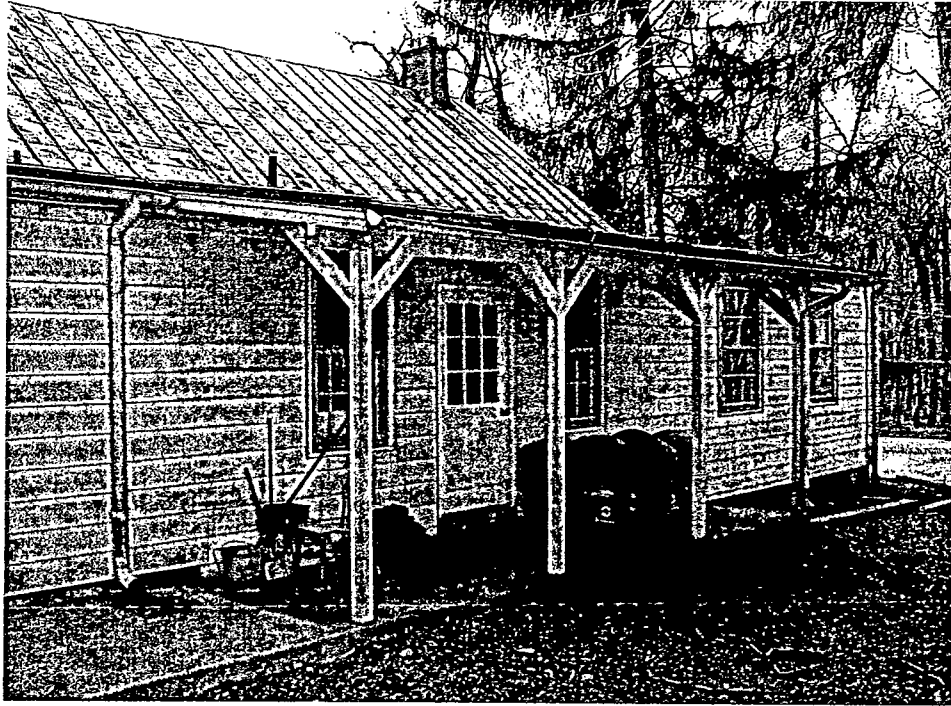
Current view of the Community House from the southwest parking lot showing south and west facades. The recessed east wing of the building visible in the photo will be demolished (built 1978 and 1985). The back low-slope addition on the north side will remain. The visible corner of the graveyard fence will be chamfered (Two stone fence posts will replace the one.) The tulip poplar will be removed.



Historic photo of the Lyceum taken from the northwest. The meeting house is visible to the south.



The historic Meeting House and rural road viewed from the northeast. The Meeting House will be untouched by all phases of the proposed project.



Existing porch on the north side of the Community House added in 1958. This porch will be kept.

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MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

----- X
:
PRELIMINARY CONSULTATION - :
7 Newlands Street :
:
----- :
:
PRELIMINARY CONSULTATION - :
17715 Meeting House Road :
:
----- X

A meeting in the above-entitled matter was held on
July 11, 2012, commencing at 7:33 p.m., in the MRO
Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
20910, before:

COMMISSION MEMBERS

- Leslie Miles, Chair
- William Kirwan, Vice Chair
- Sandra Heiler
- Paul Treseder
- Jorge Rodriguez
- M'Lisa Whitney
- Craig Swift
- Joe Coratola

ALSO PRESENT:

Scott Whipple

Anne Fothergill

Joshua Silver

APPEARANCES

STATEMENT OF:

PAGE

Del Wilber

9

Ned Stowe

22

Miche Booz

23

Christian Zapatka

50

1 amending the recommendations of staff. We will accept the
2 fence and gate across the north side yard be lowered to four
3 feet tall and the fence along -- let's see, hold on a
4 second -- we will require that the fencing and gate across
5 the north side yard be lowered to four feet tall and the
6 fencing along the north side property line be lowered to
7 four feet tall until it hits the tree the applicant has
8 indicated on the site, and at that point it can jump up to
9 the six feet tall line for the rest of the way back into the
10 rear property.

11 MR. RODRIGUEZ: Second.

12 MS. MILES: Any discussion? All in favor?

13 Unanimously approved. Thank you very much for coming in.

14 MR. WILBER: Thank you.

15 MS. MILES: Now you can tell your wife you served
16 her needs. Can you turn your microphone off? Thank you
17 very much.

18 Okay, we're going to go slightly out of order on
19 the agenda, and we're going to hear the application for a
20 preliminary at 17715 Meeting House Road in Sandy Spring, the
21 Sandy Spring Meeting House, not the Meeting House. And do
22 we have a staff report?

23 MR. SILVER: Yes, we do. 17715 Meeting House Road
24 is an outstanding resource in the Sandy Spring historic
25 district. I've provided a somewhat cursory background

1 section to re-familiarize the Commission with the history of
2 this project, which I do believe the applicants and
3 architect are going to speak a little bit about this
4 evening. But as I said at the work session, I would advise
5 that you treat this as a sort of fresh preliminary
6 consultation, despite the fact that I've given a nod to it
7 being a third one, but worth noting that you approved a
8 historic area work permit for this project in 2012 with some
9 plans that were fairly consistent with what you gave support
10 for at a second preliminary consultation. So what we have
11 before us this evening is the applicant is seeking your
12 guidance and feedback on a one-phase approach, which
13 includes alterations to what I'm going to call the Community
14 House. It historically was the Lyceum. Pardon me. The
15 applicant is proposing to demolish the contiguous non-
16 historic classroom wings in the east -- dating from '58 and
17 '85, respectively -- and construct a new one-story hyphen
18 and two-story classroom addition that will extend to the
19 east or to the rear, what is currently the rear, of the
20 structure. As you might recall, the original, sort of,
21 entrances have changed over the course of time with this
22 building. But staff is characterizing that as the rear. It
23 includes the construction also of a new areaway with lower
24 grade stair and associates wooden guard rails on the north
25 elevation at the 1920 addition section. As was the case at

1 the approved historic area work permit review, the need to
2 have a sprinkler or a vault to hold a sprinkler in the lower
3 level of this building to provide appropriate fire
4 department access, as is the case as we are at currently.
5 In order to do that, they would like to also extend the
6 porch roof of the 1920's addition section to cover over the
7 new areaway, the proposed below grade areaway. As was the
8 case at the approval, as well as the historic area work
9 permit, they are looking to remove the existing aluminum
10 siding on the historic massing and attempt to restore the
11 original siding if possible. If not, of course they are
12 proposing to replace it in kind. And the environmental
13 setting alterations, which are spelled out in the staff
14 report, would require the removal of a tree and some
15 alterations to the -- can we try to turn that down a little
16 bit -- alterations to the fence of the graveyard that is
17 adjacent to the Community House. Again, the Commission
18 supported the -- those alterations, I do believe, are
19 identical to what the Commission had provided support for
20 and analyzed in the previous iterations of the project. In
21 terms of the staff discussion, again this is a one-phase
22 solution to meeting the applicant's needs for additional
23 classroom space and teaching areas versus what included
24 before, again, relocating a building from outside the
25 district to inside the district, some demolition, new

1 construction. And at one point in time, way back in 2010 I
2 believe, also included a fairly large two-story building
3 that was actually just outside the district but very, very
4 visible, which the HPC didn't have jurisdiction but the
5 applicant provided some information about to give a sense of
6 context. Again, it's been simplified down to this phase
7 from a much larger undertaking that included a greater level
8 of site disturbance, engineering, and new construction and
9 relocation. Staff does support the demolition of those non-
10 historic sections which were part of the early approval, and
11 as well as the installation or construct of the below-grade
12 areaway. Moving to staff's concerns or issues with this,
13 I've provided two different alternatives. I've cited the
14 Secretary of the Interior standard that is, speaks to the
15 staff's issue with respect to the historical relationship
16 and compatibility of the character of this. In alternative
17 1 was, is to revise the design of the addition to more
18 closely reflect the height and width ratios of the overall
19 building's proportions as well that of doors, windows, and
20 porch features found on the Community House. Staff looking
21 at the proposed addition on the three sides felt that there
22 wasn't this -- they were disconnected or there wasn't enough
23 of a relationship between the three sides of this building,
24 in addition to some of the issues of scale that I've already
25 pointed out. And also I had recommended -- and the

1 applicant will speak to this because one thing that the
2 staff report doesn't talk about, but which was presented to
3 you orally before by the applicants, was that this site
4 presents a number of different constraints. Obviously,
5 there's the cemetery that is there immediately to the south
6 of the property. The property line is close. There's a
7 grade change that is going to what I'm calling the rear of
8 the building now, where the addition is proposed. And the
9 applicant can speak to those if the Commission has any
10 concerns. Alternative 2 is to revise the design so that it
11 reads as a completely -- or is, excuse me, not reads, but is
12 a completely detached new structure. And although it should
13 have some similar design principles to the addition, I do
14 think, as the staff feels, that there is some additional
15 flexibility in terms of how the design relates to the
16 historic resource because it is a detached new structure
17 unlike having a physical connection with the building. And
18 then staff would also recommend that they pursue some
19 smaller-scaled addition to the Community House section to
20 accommodate what it is their programmatic needs are for the
21 additional classroom space, kitchen areas, and other uses.
22 In terms of the environmental setting, as I already said,
23 you have given your thumbs up for that previously, and that
24 includes removal of a tree as well as some modifications to
25 the fence and stone posts. And the purpose of that, to

1 remind you, is that it would be ultimately to provide
2 access, a path of access to the Community House addition.
3 And I want to focus on something else. And so let me just
4 quickly run you through some of the slides that I have here.
5 I did tell you at the work session I'm not going to show
6 those now, but the applicant has provided to me and they are
7 in the PowerPoint if we get to that point of discussion, a
8 couple different options that are, let's just say greatly
9 under consideration at this point, definitely not fully
10 fleshed out. Again, realizing that these plans, too,
11 they're conceptual. That's what we're here for. They are
12 missing some big details. I ask that you don't probably
13 spend a lot of time discussing materials tonight. This is
14 really about location, massing, those sorts of things.

15 So this was from an older submission, but it is
16 accurate that the schoolhouse shown in the lighter blue is
17 not being relocated; but that was, in fact, its approximate
18 location, which is where it was going to go. I adapted this
19 presentation from an earlier one and with some updates.
20 Sorry about the resolution. This is in your packet. It's
21 clearer. But this is the proposed site plan that was
22 included with the submission. And just to give you some
23 photos and angles, you can see in the bottom right photo
24 that is the tree, that is the fence area that needs to be
25 altered or modified. You can see in the top right photo the

1 later additions that are going to be removed as is in the
2 top middle photo, same thing. The top left photo would be
3 standing on Meeting House Road looking at what is the front
4 side elevation currently, front side elevation of the
5 Community House. And again the bottom left would be the
6 demolition section there of the later addition. And then
7 this was also in your staff packet, but just to give you a
8 sense of the evolution of this building, some of the '28,
9 '58, '85 classroom additions, the things that would be, some
10 of the things that would be removed. And this is the
11 proposed east and south elevations. Same thing that is in
12 your packet. And then the north elevation. And I'll stop
13 there before I slip and go to option A, B, and C that we're
14 not ready to talk about yet. That's all I have.

15 MR. TRESEDER: Actually, Josh, I may have one
16 question relating on Circle 9 on the site plans. It's a
17 little hard to read. The graveyard is a constraint, and is
18 there some way we could describe sort of what the
19 constraints are, of what the sort of non-buildable parts of
20 the site, that we see?

21 MR. SILVER: Absolutely. But I'm going to defer
22 to the applicant. They're going to be able to answer that
23 much more specifically than I am.

24 MR. TRESEDER: Okay.

25 MS. MILES: Are there any other questions for

1 staff? Okay. You can either speak for seven minutes,
2 respond to questions, however you'd like to handle it, but
3 just please raise your microphones and turn them on and
4 identify yourselves for the record, again.

5 MR. STOWE: I'm Ned Stowe. I'm Clerk of the
6 Trustees at Sandy Spring Monthly Meeting.

7 MR. BOOZ: And I'm Miche Booz. I'm the architect.

8 MR. STOWE: I just wanted to thank the Commission
9 for hearing us for a third preliminary consultation. We are
10 a community of 550 members and attenders, including 125
11 kids. We have been involved in this building project for
12 about 10 years or more in terms of developing the building
13 program, as it were, and assessing what our needs are. And
14 we're anxious to move forward as soon as we can as our
15 community ages. And Miche has been at this a long time.
16 The building program remains the same as it has been for the
17 past few years. Obviously the design has changed
18 significantly from our last presentation. Back in January,
19 we ran up against a bit of a brick wall when we assessed the
20 total cost of the three-phase project and started looking,
21 decided we needed to pause and pivot. It's been a very
22 difficult fund raising environment, as you might know in
23 this economy, and so we were looking for ways to economize
24 but also meet our full building program objectives, which
25 include everything from larger meeting spaces, classroom

1 spaces, better spaces, better accessibility for our
2 membership, reducing our environmental footprint, which the
3 one-phase project really helped that; but also maintaining
4 the historic character of our property as well. We are --
5 and then of course the obvious thing is we want it to be
6 affordable, to be able to afford it within our means. And
7 that's what brought us to last January, when we came up
8 against a bit of a reality check and saw the budget numbers
9 coming in way beyond what we could afford; and we decided to
10 pause a minute and look for a way to accomplish our building
11 program for perhaps 60 percent of the original cost.
12 Anyways, I think that's where we're at, that's what brings
13 us to you tonight to discuss our concept once again. Miche,
14 do you want to add.--

15 MR. BOOZ: Yeah, I guess the only thing I would
16 say is that we did talk at length with staff and thought a
17 lot about exactly how this building could be expressed. And
18 with the program we had, and we may show you some sketches
19 of other ideas that essentially have the same program, we
20 did a very contemporary looking addition. We did one that
21 was much more contextual, that is mimic materials and window
22 sizes and elements of the existing Lyceum and eventually
23 settled on looking back at the meeting house itself that
24 Friends don't build often and they like to build well when
25 they do. And I guess in the end we sought our inspiration

1 from that building, which this proposal tries to not copy
2 but to emulate on a level of quality and perhaps a little
3 materials as well, but massing and I think appropriateness
4 for the site. So it took us in a direction that I wouldn't
5 perhaps have guessed earlier because it is, from a massing
6 standpoint, it's bigger. Yes, it does overshadow the
7 original structure. It does lots of things that, you know,
8 sort of traditional no-no's, but in another way I feel like
9 it's an appropriate response. So that's where we are right
10 now. I'd like to -- I'm very curious to hear comments and
11 suggestions.

12 MS. MILES: Thank you. Josh, I am going to ask
13 that you quickly put up the alternatives that were presented
14 to you today. I realize they're not fleshed out, but just
15 so we have some sense of what your alternatives are moving
16 toward.

17 MR. RODRIGUEZ: Meanwhile, can I, may I ask a
18 question?

19 MS. MILES: Certainly.

20 MR. RODRIGUEZ: What is the reason to maintain the
21 1928 addition? What is special about that? Or is it just
22 an issue of the construction is solid enough to maintain it?
23 Is there are any particular feature that the building
24 contains that cannot be removed?

25 MR. BOOZ: The 1928 addition?

1 MR. RODRIGUEZ: Yes.

2 MR. BOOZ: Maybe you mean -- you mean this block
3 on -- no, that's 1958.

4 MR. RODRIGUEZ: The 1928 addition.

5 MR. BOOZ: The 1928 addition's actually contiguous
6 to the original Lyceum.

7 MR. RODRIGUEZ: Not in volume.

8 MR. BOOZ: I think you -- do you mean the long low
9 piece? Okay. That's 1958.

10 MR. RODRIGUEZ: If you look back to your proposal.

11 MR. BOOZ: Yeah.

12 MR. RODRIGUEZ: The elevation.

13 MR. BOOZ: I think I know what you're saying now.
14 Is there any reason to hang on to that long low piece? The
15 reason we hung on to a piece of it, which behaves a bit as a
16 hyphen between the two, the historic piece and the proposed
17 new piece, is that the hyphen actually, the back side of its
18 gable is contiguous with a portion of the Lyceum, which is
19 actually the dining room and is part of its larger room that
20 we would like to in fact make larger by removing the kitchen
21 out of it. And if you look at the floor plan, you'll see
22 that the historic piece, which is to the left, has this 1958
23 addition on the back of it.

24 MR. RODRIGUEZ: Okay.

25 MR. BOOZ: That now has a dining room and a

1 kitchen in it. But we're removing the kitchen and
2 essentially making a large all-purpose room out of what is
3 there, keeping the roof line intact and it becomes sort of a
4 central part of the program. It is already a large all-
5 purpose room but not as big as it could be and not as big as
6 we would like.

7 MS. MILES: Okay. Having briefly seen alternative
8 A, can I ask were you -- in creating these options, were
9 these responsive to comments by staff, or were they things
10 that you were already thinking through?

11 MR. BOOZ: There may be another one that we
12 showed. Not that one. This one. This one we showed first,
13 even though it's shown as option C. This is one that
14 suppressed the roof line to below the roof line of the
15 Lyceum. And unfortunately I don't have the end view, which
16 is not as attractive because it's a very low-sloped roof
17 with a shed dormer that essentially is pretending to be a
18 dormer when in fact it's a second floor. I think that it's,
19 I think it's sort of appropriate from a maybe a massing
20 standpoint. I don't -- it looked like we couldn't fall in
21 love with it, I guess. I think it's sort of a, you know, an
22 understated possibility for this.

23 MR. TRESEDER: Here's what I'd like to ask about
24 the constraints. The cemetery constrains you along the,
25 that elevation.

1 MR. BOOZ: That's right.

2 MR. TRESEDER: What about if you go back to that
3 elevation you've just shown, to the right. It looked to me
4 for instance that that scheme you showed us was longer, it
5 extruded out further to the right.

6 MR. BOOZ: We have room to the right.

7 MR. TRESEDER: You have room to the right? Okay.
8 So for instance in this scheme, the massing of the new
9 structure could slide further away from the historic
10 structure.

11 MR. BOOZ: It could. And it might. I think that
12 I mentioned that I -- maybe to -- before we jump to a new
13 building idea, though, I had a preliminary discussion with
14 the fire folks, the fire and rescue, Montgomery County Fire
15 and Rescue. If we make this a separate building, we get
16 into the whole horseshoe driveway, a road into the back, a
17 lot of infrastructure that was part of the first project
18 that we're trying to avoid in this project because it
19 becomes a separate building and the fire access. At least
20 our preliminary meetings with them seemed to think that we'd
21 have to go back and, you know, go through getting a
22 connection to a state highway because it's not a school
23 house like in the previous plan was if you remember that
24 plan they allowed us to simply have a path down, have a work
25 area by the old, by the new religious education building and

1 just have a path down this because it's a larger building it
2 required a full road down to it. So, one thought, I had,
3 which -- maybe I'm a little slow, but the -- would be to
4 actually do -- and hopefully not in a clichéd way -- but a
5 more glassy hyphen if we actually pulled that building away
6 a little further --

7 MR. TRESEDER: That's exactly, was exactly my
8 reaction. Maybe if that building could be made to seem
9 like, even though it wasn't technically a separate building,
10 ~~the more that would be done to make it seem like a separate~~
11 ~~building,~~ then on a large piece of land like that, the idea
12 of having a series of separate buildings obviously the
13 contrast in mass is less important. Yeah.

14 MR. BOOZ: So, you know, as I said, I was a little
15 slow coming to that. But you don't have much -- we have
16 lots of constraints, sort of, north-south. We have the
17 graveyard on the south and we have the building restriction
18 line on the north. But we do have some room to the east.
19 So that I suppose the proposed structure could slide and
20 appear much more of a free standing building. I -- there
21 are some internal programmatic issues that may arise. I
22 mean one of the things that we get out of this that we
23 didn't with -- shared bathrooms, for instance, for the
24 school and for the all-purpose room for the meeting. Then,
25 the accessible entry. These things that are badly needed

1 right now but could serve both functions, the education wing
2 and also the all-purpose room. So if you put the bathrooms
3 on the other side of the glassy partition or, you know,
4 hyphen, then people have to actually sort of leave the
5 building and go to the bathrooms. I think we could solve
6 that problem if that appeared as a way forward here.

7 MS. WHITNEY: Can you help me understand in Circle
8 13 exactly what is remaining and which additions are being
9 torn down? You're keeping -- I understand. You're keeping
10 some of the 1958 addition but not all of the addition?
11 You're keeping the 1859 and the 1928 -- can you, can you
12 help clarify that for me, please?

13 MR. BOOZ: Sure. We're keeping, facing the
14 building at the end of the 1928 addition, keeping about 22
15 feet of the -- we're keeping about this much of it. It's 22
16 feet, about that. And we're tearing all that off.

17 MR. RODRIGUEZ: It's about that?

18 MR. BOOZ: About that, yes.

19 MR. RODRIGUEZ: Yes?

20 MR. BOOZ: Uh-huh.

21 MS. WHITNEY: So we're keeping --

22 MS. MILES: Because we're only partly on the
23 record this way, Commissioners Rodriguez and Whitney,
24 there's been a drawing that approximates the retention of
25 the additions and showing what the new construction would

1 look like. Thank you. Are there any other questions? Can
2 we just briefly look at the A and B alternatives again, just
3 put them up quickly and --

4 MR. BOOZ: A, B, and C?

5 MS. MILES: Well, C we did talk about.

6 MR. BOOZ: Okay.

7 MS. MILES: So I would like to talk briefly about
8 A and B and tell me what your issues are with either or
9 both.

10 MR. BOOZ: Do you want me to describe this, or --

11 MS. MILES: If you could just describe the ways in
12 which these options differ from what you've presented to us
13 and why those changes were made and the ways in which if
14 they don't meet your programmatic needs, they don't.

15 MR. BOOZ: They all meet our programmatic needs.
16 They're no smaller in terms of footprint, square footage at
17 all. Except for the fact that, except the fact that there
18 is a small difference in this one is that we've actually
19 lengthened the hyphen by about 10 feet to actually push the
20 larger mass away from the Lyceum by about 10 feet. So we
21 did in fact -- I'm correcting myself -- we did in fact add
22 some square footage to this one. We pushed the roof down as
23 a lower slope pitch. That's another difference. We changed
24 the materials to board and batten and wood siding. We kept
25 the standing seam roof. We did note sunscreens in the front

1 facing south, which is similar actually to the brick
2 version. Those are the differences essentially. But also
3 the projection off the back is a shed roof, not a gable
4 roof. And B is, as you can see, and now for something
5 completely different. It's a contemporary glassy, colorful,
6 playful school.

7 MS. MILES: That is reminding me of the architect
8 sketch, and I'm going to have to try not to make that
9 comment. All right. Does anyone have any further questions
10 for the applicant, or shall we begin deliberations?

11 MR. CORATOLA: I have one question in the study
12 and the concept. Did you ever look at dropping the addition
13 level down into the grade further so that first floor level
14 was closer to the sidewalk grade? And in doing so, I think
15 it would bring the massing down.

16 MR. BOOZ: We did consider it. And the problem
17 with that is you start producing all sorts of internal
18 ramps. For every foot you drop it, you've got 12 foot of
19 ramp. So you end up dropping it two feet, you've got 24
20 feet of ramps. And before you know it, you've got lots of
21 ramps and not as much building, so --

22 MR. CORATOLA: Because I think one of the options
23 in lieu of doing a ramp would be an internal lift.

24 MR. BOOZ: It's true. I guess we have a lot of
25 older people in the meeting, too. And that this idea of

1 this sort of a bottleneck, essentially a, like, level
2 bottleneck, in a real sense doesn't meet the program.

3 MS. HEILER: Looking at materials in your option
4 A, is the material the same as what's used on the Lyceum?

5 MR. BOOZ: Right now the Lyceum has aluminum
6 siding on it.

7 MS. HEILER: Oh.

8 MR. BOOZ: So we presume that there is wood
9 underneath it.

10 MS. HEILER: Okay. But --

11 MR. BOOZ: It would be --

12 MS. HEILER: So whenever it's done it would look
13 like the liceum--

14 MR. BOOZ: We have presumed that there is wood
15 underneath it. There would be --

16 MS. HEILER: And then in the option that takes its
17 cue from the meeting house, is that a brick --

18 MR. BOOZ: We assume its wood clapboard.

19 MS. HEILER: Okay.

20 MS. MILES: If there aren't any other questions,
21 I'm going to ask that we have some deliberating and comment.
22 Commissioner Heiler, I'm going to start on my left. It's
23 been a while since you've been in the hot seat. I think
24 it's your turn.

25 MS. HEILER: I guess I do have comments on -- is

1 it option C, which is brick, taking a cue from the meeting
2 house? I don't know what option to call it. But I think
3 it's quite successful in being able to put a large massing
4 near this because of the change of material that, you know,
5 this is a site that has a collection of buildings on it.
6 The meeting house is totally different material from the
7 Lyceum, and I think by repeating some of that you make it
8 acceptable to attach a larger building to the higher,
9 greater massing and the higher roof line to the small
10 Lyceum. It doesn't look like you've just added more of the
11 same to it. So in fact I think that option is quite
12 successful.

13 MR. SILVER: Commissioner Heiler, before we move
14 on, are you -- you said option C, but I think you actually
15 meant what is being proposed is what you're referring to,
16 right? This is option C that was submitted.

17 MS. HEILER: I don't mean option C.

18 MR. SILVER: Just --

19 MS. HEILER: I mean whether we --

20 MR. SILVER: What was submitted --

21 MS. HEILER: The proposed option.

22 MR. SILVER: What was submitted with the
23 preliminary plans.

24 MS. HEILER: Excuse me.

25 MR. SILVER: Thank you.

1 MS. HEILER: The proposed option.

2 MS. MILES: Thank you. Commissioner Rodriguez?

3 MR. RODRIGUEZ: Well, I do have -- I think the
4 work is really nice in terms of the scale, but ~~I do have~~
5 ~~concerns regarding the massing and how it relates to the~~
6 ~~existing building.~~ I think the fact of trying to retain a
7 big piece of the 1958 works in the economics of the project,
8 but I think it doesn't work in the terms of the building.
9 It's a piece that is left in between two things that, it's
10 not connecting them, it's not helping them, it's not related
11 to any of, neither to the old building nor to the new
12 building. And I think the suggestion that I would make is
13 that maybe this is a small, long building, not a building
14 that ends with a short "L". That would help a lot for you
15 to control the massing and the height of the building. I
16 think it -- if the roof height comes down and the
17 relationship between the two is in a better tone, I think it
18 will be quite successful. I don't have any problem seeing
19 this as a very modern building. And when you were talking
20 about this and some of the graphics, it makes me think of
21 this very 1930's German architect, Heinrich Tessenow, which
22 has these buildings with these long colonnades, they are
23 kind of interesting in this modernistic with certain, they
24 are very classic. ~~So my suggestion will be I wouldn't turn~~
25 ~~the "L" -- I would make a building the most farther east,~~

1 that's longer and probably that will help to reduce the
2 scale. I will -- I definitely have -- I react to what is in
3 the screen at this moment. I don't think the two buildings
4 are talking very well, and I think that part in between is a
5 leftover that is not related to any of them.

6 MS. WHITNEY: Thank you for spending 10 years
7 working on this, and I hope your congregation is quite
8 patient as I understand they have been thus far. I actually
9 like the concept of having the hyphen which is at a
10 different time period in essence the modern building, the
11 hyphen, and then the Lyceum sort of steps back in time so
12 you don't have one much older time period that just
13 immediately jumps into a modern facility. And I would -- on
14 that note, though, I would like to see the hyphen extended a
15 bit as far away from the Lyceum as you can easily get.
16 Perhaps that is where your bathrooms need to go. The
17 proposed structure, I feel that the aesthetics are
18 compatible with the original structure but it simply engulfs
19 the original by just too much. If perhaps when you are --
20 you do have that extra space on the east side and as
21 Commissioner Jorge said that perhaps you can lower it and
22 elongate it a little bit. But you certainly are on the
23 right track with all of your options.

24 MR. TRESEDER: I agree with most of the previous
25 comments. I think that both schemes A and B you've shown us

1 are both quite workable. And you come up with a solution of
2 maybe it's a combination of the two. I definitely like the
3 larger, the longer hyphen in scheme B. And I would
4 encourage you to look for ways to suppress the connector
5 even more than you already have, perhaps not try to retain
6 the roof structure, be more of a flat roof, maybe even a
7 green roof, somehow make it feel more like part of the
8 landscape, make it disappear more so that do everything
9 possible to make the second building read as a separate
10 building. But then, you know, whether you go toward the
11 brick or the frame, I think those are the kinds of judgments
12 that the architect and the congregation need to work out
13 between them. But the massing I think would be improved by
14 stretching it out more.

15 MR. SILVER: Can I interrupt again? Staff here.
16 Let me just make sure we're all on the same page.
17 Commissioner Treseder, you just said that you would support
18 option A or B. Option A, this is the -- let's call this the
19 proposed scheme. Option A is this.

20 MR. TRESEDER: Oh, I'm sorry. I'm sorry.

21 MR. SILVER: I'm just making sure that we're all
22 on the same page.

23 MR. TRESEDER: I'm sorry. I was -- you're
24 right -- I was --

25 MR. SILVER: Okay.

1 MR. TRESEDER: Actually, the modern would be
2 really cool, too. I just know it's going to cost -- I know
3 for a fact it's going to cost your client a lot more money,
4 you know, and if budget's an issue I don't think that's
5 going to be the one.

6 MR. SILVER: Your comments were directed at this
7 scheme, correct?

8 MR. TRESEDER: Yes, they were. I'm sorry.

9 MR. SILVER: Thanks.

10 MR. TRESEDER: Yes.

11 MS. MILES: So to clarify, the proposed scheme and
12 option A, correct?

13 MR. TRESEDER: Yes, exactly. I'm sorry.

14 MS. MILES: Thank you.

15 MR. KIRWAN: I do agree with the staff's concerns
16 about the project, and I think Commissioner Treseder's
17 original comments were very good ones. I think the idea --
18 I also like the use of the meeting house as sort of the
19 inspiration for this two-story volume. I think it does
20 allow you to bridge that gap between the scale of the
21 original structure and the two-story scale that you need.
22 But I ~~do agree that I think the hyphen needs to be a little~~
23 ~~more deliberate.~~ I mean, these are more obvious as a
24 hyphen, then pushed back as far as you can so that the
25 juncture with the addition is very clear, distinct, the

1 relationship between the hyphen and that corner of the new
2 classroom wing. And again I think the materials and the
3 general scale could work if we get that two-story building
4 as far away from the Lyceum as possible. So I think
5 Commissioner Treseder was right on target with all of his
6 comments and the direction that would make this work with
7 us. Thanks.

8 MR. CORATOLA: I don't need to add anything. I
9 agree with Commissioner Kirwan and Commissioner Treseder,
10 you know, with -- the two-story structure definitely would
11 need to move further away, so I can't -- and the same with
12 the hyphen.

13 MR. SWIFT: I don't have any overall problems with
14 the proposal. I think I'd prefer to see a lower slope on
15 the roof, just because of how high this reaches over the
16 existing structure. And I'd be okay with -- I think you're
17 trying to match the roof slope, and I think I'd prefer to
18 see it lower and maybe with dormers as needed. But in
19 general I agree with most of the previous comments now.

20 MS. MILES: Well, we were asked to only comment on
21 the scale and massing essentially and location, so I would
22 say I would agree that it should be as far away from the
23 Lyceum as possible. The hyphen should not, in my opinion,
24 be composed of a sort of remnant of the 1958 addition. I
25 think it ought to be a glass or otherwise essentially

1 invisible hyphen so that to the degree possible it looks
2 like it's not even a connected building. And I think
3 pushing the roof down so that it's subordinate to the Lyceum
4 is also an important element in making the building look
5 less imposing on the site. So I think you've had pretty
6 consistent comments from the Commission. Do you have any
7 questions?

8 MR. BOOZ: No. I think that was pretty clear, and
9 I think we were sort of, as I said, sort of slowly getting
10 there. So thank you for that.

11 MS. MILES: Okay. Thank you. We'll look forward
12 to seeing you again.

13 MR. BOOZ: And I'm sure you will.

14 MS. MILES: No doubt. All right. We'll now hear
15 preliminary at 7 Newlands Street in Chevy Chase. And the
16 applicants can come forward and do we have a staff report?

17 MS. FOTHERGILL: We do. This is an outstanding
18 resource in the Chevy Chase Village historic district. Here
19 is an aerial photo. As you can -- this house was built in
20 1906, and as you can see it has a large side and rear
21 addition as well as a large outbuilding, garage, behind it.
22 And also what you can see in this aerial photo is -- but it
23 is -- it has a large side yard to the east, which will be
24 part of the discussion tonight. The applicants are
25 proposing a number of changes to this house. They're



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

William Kirwan
Chairman

Date: July 25, 2014

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Scott Whipple *SN*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #617728: Additions and Alterations to Building

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved at the December 19, 2012 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Sandy Spring Monthly Meeting
Address: 17715 Meetinghouse Road, Sandy Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Scott Whipple at 301.563.3404 or scott.whipple@montgomeryplanning.org to schedule a follow-up site visit.





DEPARTMENT OF PERMITS AND INSPECTION
200 RIVER WALK DRIVE SUITE 100B ROCKVILLE, MD 20850
301-774-2000

DPS-#8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Miche Booz
Daytime Phone No.: 301-774-6911

Tax Account No.: 00718340

Name of Property Owner: Sandy Spring Monthly Meeting Daytime Phone No.: 301-774-9792

Address: 17715 Meetinghouse Road Sandy Spring MD 20860
Street Number City State Zip Code

Contractor: N/A Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Miche Booz Architect Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE

House Number: 17715 Street: Meetinghouse Road
Town/City: Sandy Spring Nearest Cross Street: Rt. 108
Lot: _____ Block: _____ Subdivision: 1
Liber: _____ Folio: Map JT32 Parcel: P553

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 1,500,000

1C. If this is a revision of a previously approved active permit, see Permit # 584821

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Booz 11.14.12
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 7/25/14
Application/Permit No.: 017728 Date Filed: 11/14/2012 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

5

General description of the project and its effect on the historic resources, the environmental setting, and the historic district.

Since 2001, members of the Sandy Spring Monthly Meeting have been involved in a careful assessment and design process to meet the needs of a growing school-age population. The meeting has held a number of internal design charrettes and threshing sessions and has closely consulted with Historic Preservation Commission staff at critical stages in this evolving process.

Community House: This project includes removing portions of the 1958 classroom addition and the entire 1985 classroom addition to the Community House. Some non-historic interior walls will be removed and the kitchen will be moved from its current location into the renovated portion of the 1958 addition. This will make the Lyceum into one large gathering space. The 1958 addition on the north side of the Community House will remain as part of the new gathering space. The 1958 porch will also remain.

The portions of the 1958 addition that remain will be selectively demolished, refinished and reclad in fiber cement siding to match the appearance of the existing Community House. New wood windows will be installed. A new kitchen, office space, storage, and accessible entry lobby are located in this portion of the building.

Directly to the east of the redone 1958 addition will be a 12-foot-long glassy hyphen connecting the historic Lyceum/ Community House to a new two-story classroom addition.

Classroom Addition: The new two-story classroom addition will house new restrooms, an elevator and nine classrooms. The addition will be clad in brick with aluminum-clad wood windows. The roof is standing-seam metal. There is a porch and sunshades on the south side. The addition is meant to echo the character of the historic Meeting House.

Trees and Graveyard Fence: A tulip poplar just north of the graveyard will need to be removed. It is currently disturbing the foundation of the 1958 addition to the Community House and its roots are located the new construction zone. It is too close the building and represents a danger to the new structure.

The fence of the graveyard will be chamfered at the northwest corner to allow for accessible access to the new Community House wing addition. One stone fencepost will be replaced by two. No graves or headstones will be disturbed.

SUBJECT: Revision to approved HAWP (HPC Case No. 28/11-14A), for construction of addition and alterations to building

DATE: May 21, 2014

BACKGROUND: On December 19, 2012 the HPC approved construction of an addition and alterations to the building at the subject property.

REVISED PROPOSAL: The applicant is requesting approval to:

- Remove the north dormer
- Reduce by approximately one quarter (1/4), the number of fire rated windows on the east (rear) elevation
- Add one window in the west elevation of the approved addition section.
- Change the wire mesh exterior railing at the east (rear) elevation to steel pickets.

STAFF RECOMMENDATION: Staff recommends that the Commission approve the revised proposal described above finding it as being consistent with Chapter 24A-8(b)(1) & (2):

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

HPC DECISION:

SSMM MEETING, JAN. 30, 2013

(75) PARKING SPACES [EXISTING]
(15) LOSE "

PERCEPTIVE REQ.

FIRE LANE

CAN BE 20' x 60'

TRUCK NEEDS TO PASS

PARKED TRUCKS NEED ~~10'~~ 10'+ PAVING LANE

PERFORMANCE BASED

- 20' WIDE TO MEET CODE
- COMPLIANT TURNAROUND

CRUSH N' RUN

F+R PREFERRED

SURFACE TREATMENT

Staff recommendation:

Approve if submitted as a HAWP.

STAFF RECOMMENDATIONS

The HPC must determine if design option A or B is more compatible with the resource and provide the applicant with feedback on items (1 – 5) below.

1. Construction of a two-story rear addition
2. Construction of side porch roof and enclosure
3. Roof replacement
4. Demolition, rehabilitation and infill construction at the right (south) elevation
5. Construction of a two-car garage.

Staff recommends that the applicants make revisions to the plans based on comments and feedback from the HPC and staff and return for a Historic Area Work Permit.

lot set 5' off from the property line setbacks. Materials for the garage consist of a stone foundation, wooden siding and wooden swinging carriage doors, and a flat seam copper roof.

Other alterations:

- Reset all loose stone work and repoint all mortar joints (No HAWP required)
- Rebuild front porch stone walls, remove and replace floor and roof framing, install new porch ceiling board, remove, strip and reinstall the existing wooden columns, and install red slate roof. (HAWP required)
- Strip, reglaze, and paint all existing wooden windows. Replace sash weights and chain as needed. Replace broken glass and rehabilitate existing window sashes, framing and trim as needed using salvaged lumber. (No HAWP required).

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little

SANDY SPRING MEETING

1-30-2013

<u>NAME</u>	<u>FOR</u>	<u>CONTACT</u>
LESLIE SAVILLE	M-NCPPC, AREA 3	LESLIE.SAVILLE@MNCPPC.MC.ORG
CALLUM MURRAY	"	CALLUM.MURRAY@MONTGOMERYPLANNING.ORG
JOSH SILVER	HPC	JOSHUA.SILVER@MONTGOMERYPLANNING.ORG
Lance Ball	OIPA	lance.ball@oipengineering.com
Marie Labaw	MCFRS	marie.labaw@montgomerycountymd.gov
Catherine Stratton Treadway	MBA	CATHER cstrattontreadway@michebooz.com
Katherine Holt	M-NCPPC, Area 3	Katherine.Holt@montgomeryplanning.org
Miche Booz	MBA	mbooz@michebooz.com
PETER NOURSI	OIPA	peter.noursi@oipengineering.com

CODES	INT'L. EXIST. BUILDING CODE, 2012
MARYLAND REHAB CODE & BY REFERENCE: ICC INTERNATIONAL EXISTING BUILDING CODE, 2012 EDITION (IEBC)	
ICC INTERNATIONAL BUILDING CODE, 2012 EDITION (WITH LOCAL AMENDMENTS) (IBC)	
ICC INTERNATIONAL MECHANICAL CODE, 2012 EDITION (WITH LOCAL AMENDMENTS) (IMC)	
ICC INTERNATIONAL ENERGY CONSERVATION CODE, 2012 EDITION (WITH LOCAL AMENDMENTS) (IECC)	
WSSC PLUMBING CODE	
NFPA 70 - NATIONAL ELECTRICAL CODE, 2008 EDITION (WITH LOCAL AMENDMENTS) (NEC)	
COMAR NFPA 101 - LIFE SAFETY CODE, 2009 EDITION (WITH LOCAL AMENDMENTS) (LSC)	
COMAR NFPA 72/2007 - FIRE ALARM CODE	
COMAR NFPA 13/2007 - COMMERCIAL SPRINKLER CODE	
FIRE SAFETY CODE OF MONTGO. COUNTY MONTGOMERY COUNTY CODE, CHAPTER 22	
MARYLAND ACCESSIBILITY CODE - COMAR 05.02.02 & BY REFERENCE: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADAAG) & FINAL FAIR HOUSING ACCESSIBILITY GUIDELINES (FFHAG)	
	INT'L. BUILDING CODE, 2012
	NFPA 101 LIFE SAFETY CODE, 2009

The Religious Society of Friends
SANDY SPRING MONTHLY MEETING
 RENOVATED COMMUNITY HOUSE + ADDITION
 17715 Meeting House Road, Sandy Spring, MD 20860

**DESIGN DEVELOPMENT
 PROGRESS SET
 NOV. 14, 2012**



COMMUNITY HOUSE SKETCH (ILLUSTRATIVE ONLY)

SMM Representatives: Tom Kummer, Construction Manager | (301) 330-3220 | tomkummer@comcast.net | Ned Stowe, Clerk of Trustees | (301) _____ | 21214dettmering@gmail.com

VICINITY MAP	REVIEW APPROVALS												
	<table border="1"> <tr> <td>Montgomery County Department of Permitting Services</td> <td>M-NCPPC Historic Preservation Commission</td> </tr> <tr> <td>Sediment Control Permit No. _____</td> <td></td> </tr> <tr> <td>Storm Water Management File No. _____</td> <td></td> </tr> <tr> <td>Historic Area Work Permit No. _____</td> <td></td> </tr> <tr> <td>Demolition/Move Permit No. _____</td> <td></td> </tr> <tr> <td>Use+Occupancy Permit No. _____</td> <td></td> </tr> </table>	Montgomery County Department of Permitting Services	M-NCPPC Historic Preservation Commission	Sediment Control Permit No. _____		Storm Water Management File No. _____		Historic Area Work Permit No. _____		Demolition/Move Permit No. _____		Use+Occupancy Permit No. _____	
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PROJECT DESCRIPTION	INDEX					
	NO.	TITLE				
	CS1-2	COVERSHEETS				
	CIVIL ENGINEERING					
	C1	EXIST. CONDITIONS				
	C2	SITE-SWM + SC PLAN				
	C3	SITE-SWM + SC DETAILS				
	C4	SITE UTILITIES				
	C5	TREE SAVE				
	ARCHITECTURAL					
	EX1-2	EXISTING CONDITIONS				
	EX3	DEMO. PLANS				
	A1-4	FLOOR PLANS				
	A5-6	R.C. PLANS				
	A7-8	ELEVATIONS				
	A8-11	SECTIONS				
	A21	INTERIORS				
	A31	DETAILS: @ EXIST. LOC'S.				
	A32-33	DETAILS: @ NEW LOC'S.				
	A41-42	ARCH. SCHEDULES				
A51-54	ARCH. SPECS.					
STRUCTURAL						
S0-S0A	STRUCTURAL COVERSHEET					
SCOPE OF WORK						
S1-3	STRUC. PLANS					
SD1-4	STRUCTURAL DETAILS					
FIRE PROTECTION						
F1	FIRE ALARM PLANS					
F2	SPRINKLER PLANS					
GENERAL NOTES						
AS-BUILT DIMENSIONS ARE APPROXIMATE, VERIFY IN FIELD UNLESS NOTED OTHERWISE.						
DISCREPANCIES SHOULD BE BROUGHT TO ATTENTION OF ARCHITECT BEFORE CONSTRUCTION BEGINS.						
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS, COUNTY STANDARDS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND AMENDMENTS.						
CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY COUNTY OFFICIALS.						
CONTRACTOR SHALL COMPLY WITH CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION.						
ATTACHMENTS						
PROJECT SPECIFIC ATTACHMENTS INCLUDE: TECHNICAL SPECIFICATIONS, PERMIT APPLICATIONS, PERMIT VALUATION FORMS, ENERGY CERTIFICATION FORMS, COMCHECK FORMS, ROADSIDE AFFIDAVIT, ADA COMPLIANCE FORM,						
M/E/P ENGINEERING						
M11-14	MECH. PLANS					
MP31-2	MECH./PLUMB. DETAILS					
MP41-2	MECH./PLUMB. SCHEDULES					
MP51-2	MECH./PLUMB. SPECS.					
P11-14	PLUMB. PLANS					
P21	PLUMB. RISER DIAGRAMS					
E01	ELEC. SYMBOLS & ABBREVS.					
E11-14	ELEC. PLANS					
E21-22	ELEC. SCHEDULES					
E31-32	ELEC. RISER DIAGRAM & SCHEDULES					
E51-52	ELEC. SPECS.					
MISCELLANEOUS						
MSC1	BLDG. SECUR. PLANS					
SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS	SHEET TITLE: COVER SHEET 1	DATE: 11/14/2012				
PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860	SCALE (FEET):	SHEET: CS1				
PROFESSIONAL CERTIFICATION:	REVISIONS:					
<p>* I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10024, Expiration Date: 9/30/14.</p>	Rev. No.	Reason	Date	Rev. No.	Reason	Date

MICHE BOOZ
 ARCHITECT
 208 Market St
 Brookeville, MD 20833
 (301) 774-6911
 Fax: 774-1908

CODE ANALYSIS (IBC, 2012)

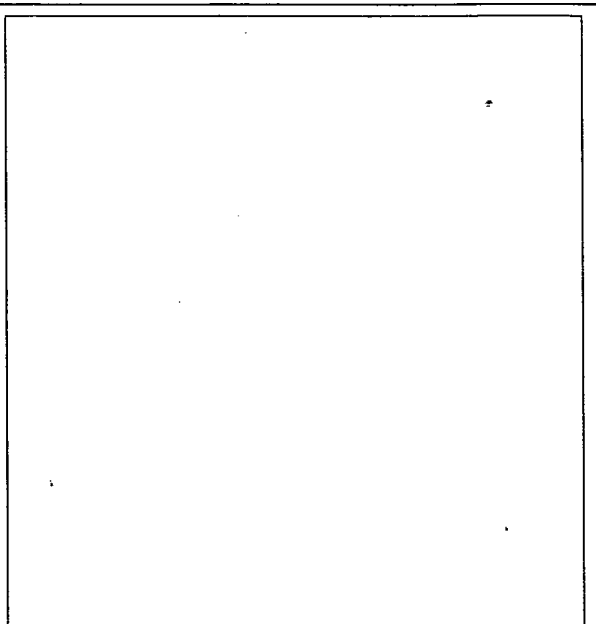
PROPOSED CONDITION OCCUPANCY GROUP: A-3 USE: RELIGIOUS EDUCATION W/ NONSEPARATED MIXED OCCUPANCIES: 51-STORAGE SPECIAL USE/OCCUP.: N/A CHANGE OF USE: N/A	REQUIRED/ALLOWABLE	CODE SECTION OR TABLE CHAPTER 3 IEBC 1101.3 508
OCCUPANCY CALCULATIONS: First Floor: • Assembly=1620sf=230 occup's. • Classroom=1586sf=81 occup's. • B'ness Areas=159sf=2 occup's. • Kitchen=458sf=3 occup's ••• Sub-total=316 occupants Second Floor: • Classroom=1806sf=91 occup's. Attic Floor: • Storage/HVAC=1775sf= 6occup's. TOTALS: 316 + 91 + 6 respectively= TOTAL 413 occupants	MAX. FLOOR AREA PER OCCUPANT: • Assembly function: 7 sf net (Concentrated: chairs, only) • Classrooms: 20 sf net • Business office: 100 sf gross • Kitchen: 200 sf gross • Storage/HVAC: 300 gross	TABLE 1004.1.1
CONSTRUCTION TYPE: V-B	Entire building meets all requirements of this construction type.	CHAPTER 6
BUILDING HEIGHT Existing construction: V-B Feet: 25' (See Grade Plane Dlag.) Stories: 2	ALLOWABLE HEIGHT Existing construction: V-B Feet: 60' (w/ sprinkler) Stories: 2 (w/ sprinkler)	DEFINITIONS PER 502.1, TABLE 503, SPECIAL ALLOWANCES PER 504-509
BUILDING AREA PER STORY: First Floor: 5,615 sf Second Floor: 2,700 sf Attic: 1,925 sf (Non-Occupiable)	ALLOWABLE AREA: Per Story: 6000 sf	DEFINITIONS PER 502.1, TABLE 503, SPECIAL ALLOWANCES PER 504-509
STRUCTURAL ENGINEERING DESIGN LOADS:		CHAPTERS 16-23
FLOOR LIVE LOADS: 1) SLAB ON GRADE 100 PSF 2) STAIRS 100 PSF 3) OFFICES 50 PSF 4) LOBBY/CORRIDORS 100 PSF 5) ASSEMBLY AREAS 100 PSF	ROOF LIVE LOADS: 1) MIN. LIVE LOAD 30 PSF 2) GROUND SNOW LOAD (Pg) 30 PSF 3) FLAT ROOF SNOW LOAD (Pf) 21 PSF 4) SNOW EXPOSURE FACTOR (Ce) 1.0 5) SNOW LOAD IMPORTANCE FACTOR (Is) 1.0 6) THERMAL FACTOR (Ct) 1.0	
WIND LOAD: 1) BASIC WIND SPEED (3 SEC. GUST) 90 MPH 2) WIND LOAD IMPORTANCE FACTOR (Iw) 1.0 3) WIND EXPOSURE B 4) INTERNAL PRESSURE COEFFICIENT 0.18	SEISMIC LOAD: 1) DESIGN CATEGORY B 2) SITE CLASS D	
FLOOD HAZARD: NONE		
MEANS OF EGRESS: 1) EXIT ACCESS WIDTHS (AT EACH FLOOR): LOWER FLOOR OTHER (OL*0.2)= 24* .2 = 4.8" OR NOT LESS THAN 36" FOR <50 OCCUPANT FLOOR		CHAPTER 10 1005
2) EXIT LOCATIONS/QUANTITIES: 2 exits at grade level; TRAVEL DISTANCE: N/A COMMON PATH OF TRAVEL: N/A		1015, TABLE 1015.1 TABLE 1016.1 1014.3
3) EXIT DISCHARGE PATHS TO PUBLIC WAY: All exits discharge directly to paths to public way.		1027

PROPOSED CONDITION ACTIVE FIRE PROTECTION: SPRINKLER PROTECTION: The building will be protected with NFPA-13 automatic sprinkler system (wet pipe). SPECIFIC SPRINKLER SYSTEM REQ'S (PER OCCUPANCY GROUP): N/A FIRE AREA SEPARATION AS SPRINKLER ALTERNATIVE: N/A FIRE ALARM & DETECTION: The building will be protected throughout with an NFPA 72 fire alarm & detection system. SPECIFIC FIRE ALARM SYSTEM REQ'S (PER OCCUPANCY GROUP): N/A ADDITIONAL FIRE EXTINGUISHING REQ'S: The building will be provided w/ A-B-C extinguishers within 75' travel.	REQUIRED	CODE SECTION OR TABLE CHAPTER 9 903-905 NFPA 13 903.2, 707.3.9, 901.7 907-915 NFPA 72 906 TABLES 601/602 & CHAPTER 7 706 705, TABLE 601/602 705.5, TABLES 601/602 705.5, TABLE 602 202, TABLE 601 1505 202, TABLE 601 TABLE 601 TABLE 601 708.2-4 CHAPTER 8 (NONSEPARATED: 508.3.1) TABLE 508.4 TABLE 508.2.5 TABLE 602, TABLE 705.8 719 ANSI 117.1/ADA 2010 (3) Existing handicapped parking spaces are provided. A route from this parking will be provided at <4.7% gradient (w/ 1.8% cross slopes) to all spaces in the lower (main) level of the building. 1007.1 EXCEPTION 1 Not required in alterations to existing buildings. However Accessible means of egress will be provided at lower level of addition. These spaces are at grade, with exits that discharge directly to paths to public way. Refer to Civil Sheets.
TABULATION OF REQ'D. FIRE-RESISTANCE RATINGS:	MINIMUM REQUIREMENTS:	
FIRE WALLS: N/A	N/A	
EXTERIOR PROTECTION: BEARING WALLS: 0 HRS. NON-BEAR. WALLS: 0 HRS. ROOF CONSTRUCT.: 0 HRS. ROOF COVERING: CLASS C	0 HRS. 0 HRS. (>30' FSD) 0 HRS. CLASS C	
INTERIOR PROTECTION: INTER. BEAR. WALLS: 0 HRS. INTERIOR PRIMARY STRUCTURAL FRAME: 0 HRS. INTERIOR FLOOR CONSTRUCTION: 0 HRS.	0 HRS. 0 HRS. 0 HRS.	
SHAFT ENCLOSURES: < 4 STORIES 1 HR.	1 HR.	
INTERIOR FINISHES: MIN. FLAME SPREAD CLASSIFICATIONS (SPRINK.) EXIT ENCLOSURES/PASSAGEWAYS: CLASS C CORRIDORS: CLASS B ROOMS & ENCLOSED SPACES: CLASS C	CLASS C CLASS B CLASS C	
SEPARATED OCCUPANCIES: SEPARATION/OPNG. PROTECT: N/A INCIDENTAL ACCESSORIES	Non-Separated None/ Not Req'd.	
FIRE SEPARATION DIST.: >30' MAX AREA OF EXT. WALL OPENINGS (UNPROTECTED, SPRINKLERED)	UNLIMITED	
ACOUSTICAL SEPARATION: PROVIDE STC RATING MIN. 53 AT ALL WALLS, FLOORS, CEILINGS, & DOORS IN CLASSROOMS, RESTROOMS, & ASSEMBLY SPACES. REFER TO SPECIFICATIONS.		
ACCESSIBLE ROUTE DESCRIPTION: (3) Existing handicapped parking spaces are provided. A route from this parking will be provided at <4.7% gradient (w/ 1.8% cross slopes) to all spaces in the lower (main) level of the building.		
ACCESSIBLE MEANS OF EGRESS: Not required in alterations to existing buildings. However Accessible means of egress will be provided at lower level of addition. These spaces are at grade, with exits that discharge directly to paths to public way.		
PARKING SPACE ANALYSIS: Refer to Civil Sheets.		

ABBREVIATIONS

ABV ABOVE	AC AIR CONDITIONING	MFR MANUFACTURER
ADJ ADJACENT, ADJUSTABLE	AFF ABOVE FINISHED FLOOR	MIN MINIMUM
ALT ALTERNATE	ALUM ALUMINUM	MIR MIRROR
APC ACOUSTICAL PANEL CEILING	AR AREA OF REFUGE	MISC MISCELLANEOUS
ARCH ARCHITECT(URAL)	ATC ACOUSTICAL TILE CEILING	MLDG MOLDING
AT APPROX.	AT APPROXIMATE	MO MASONRY OPENING
AVG AVERAGE	AWP ACOUSTICAL WALL PANEL	MTL METAL
BD BOARD	BTW BETWEEN	N NORTH
BLDG BUILDING	BM BEAM	NC NON-CONTRIBUTING RESOURCE
BLKG BLOCKING	BRK BRICK	NIC NOT IN CONTRACT
BM BEAM	BOT BOTTOM	NO # NOMINAL
BRK BRICK	CAB CABINET	NTS NOT TO SCALE
BOT BOTTOM	CBM CEMENT	OC ON CENTER
CAB CABINET	CIP CAST IN PLACE	OD OUTSIDE DIAMETER
CBM CEMENT	CJ CONTROL JOINT	OPNG OPENING
CIP CAST IN PLACE	CL CENTER LINE	OPP OPPOSITE
CJ CONTROL JOINT	CLG CEILING	OVS OPEN WEB STEEL
CL CENTER LINE	CLO CLOSET	PERF PERFORAT(E), (ED)
CLG CEILING	CM CONSTRUCTION MANAGER	PL PLATE
CLO CLOSET	CTSK CERAMIC TILE	PLAM PLASTIC LAMINATE
CM CONSTRUCTION MANAGER	CO COUNTERSINK/COUNTERSUNK	PLAS PLASTER
CTSK CERAMIC TILE	COL COLUMN	PLYWD PLYWOOD
CO COUNTERSINK/COUNTERSUNK	CONC CONCRETE	PNT PANEL
COL COLUMN	CONR CONTINUOUS	PNT PAINT(ED)
CONC CONCRETE	CORR CORRIGATED	PSF POUNDS PER SQUARE FOOT
CONR CONTINUOUS	CONM CONCRETE MASONRY UNIT	PSI POUNDS PER SQUARE INCH
CORR CORRIGATED	CARPET(ED)	PT PARTITION
CONM CONCRETE MASONRY UNIT	CT CERAMIC TILE	PTN POLYVINYL CHLORIDE
CARPET(ED)	CU FT CUBIC FEET	PVC RADIUS
CT CERAMIC TILE	CU FT CUBIC FEET	RB RUBBER BASE
CU FT CUBIC FEET	DEM DEMOLISH	RD ROOF DRAIN
DEM DEMOLISH	DET DETAIL	RE REFER TO
DET DETAIL	DIA DIAMETER	REFR REFRIGERANT, (TOR)
DIA DIAMETER	DIAG DIAGONAL	REINP REINFORC(E), (ED), (ING)
DIAG DIAGONAL	DIM DIMENSION	REQD REQUIRED
DIM DIMENSION	DN DOWN	RES RESILIENT
DN DOWN	DR DOOR	REV REVISION
DR DOOR	DS DOWN SPOUT	RM ROOM
DS DOWN SPOUT	DWG(S) DRAWING(S)	RT RUBBER TILE
DWG(S) DRAWING(S)	E EAST	S SOUTH
E EAST	EA EACH	SCHED SCHEDULED, (ED)
EA EACH	EJ EXPANSION JOINT	SD STORM DRAIN
EJ EXPANSION JOINT	EL ELEVATION	SEC SECTION
EL ELEVATION	ELEC ELECTRICAL	SHT SHEET
ELEC ELECTRICAL	ELEV ELEVATOR	SIM SIMILAR
ELEV ELEVATOR	EMER EMERGENCY	SIP STRUCT. INSUL. PANEL
EMER EMERGENCY	EPDM ETHYLENE PROPYLENE DIENE MONOMER	SPEC SPECIAL
EPDM ETHYLENE PROPYLENE DIENE MONOMER	EQUIP EQUIPMENT	SQ SQUARE
EQUIP EQUIPMENT	EQ EQUAL	S/S STAINLESS STEEL, SOLID SURFACE
EQ EQUAL	EXT EXISTING	STD STANDARD
EXT EXISTING	FT FEET	STL STEEL
FT FEET	FF FINISHED FLOOR	STN STRUCTURAL
FF FINISHED FLOOR	FNDN FOUNDATION	STRUC STRUCTURAL
FNDN FOUNDATION	GALV GALVANIZED	SUSP SUSPENDED
GALV GALVANIZED	GR GRADE	T & G TONGUE AND GROOVE
GR GRADE	GWB GYPSUM WALL BOARD	TBD TO BE DETERMINED
GWB GYPSUM WALL BOARD	HT HEIGHT	TO TO BE SPECIFIED
HT HEIGHT	ID INSIDE DIAMETER	TEL TELEPHONE
ID INSIDE DIAMETER	IN INCH	TERR TERRAZZO
IN INCH	INCL INCLUDE(E), (ED), (ING)	THK THICK(NESS)
INCL INCLUDE(E), (ED), (ING)	INSUL INSULAT(E), (TION), (ION)	TME TO MATCH EXISTING
INSUL INSULAT(E), (TION), (ION)	INT INTERIOR	TO TOP OF MASONRY
INT INTERIOR	JAN JANITOR	TOF TOP OF STEEL
JAN JANITOR	JOINT JOINT	TOW TREAD
JOINT JOINT	KIT KITCHEN	TV TELEVISION
KIT KITCHEN	KNOCK OUT KNOCK OUT	TYP TYPICAL
KNOCK OUT KNOCK OUT	LEN LENGTH	UG, U/G UNDERGROUND
LEN LENGTH	LAB LABORATORY	UNO UNLESS NOTED OTHERWISE
LAB LABORATORY	LAM LAMINATE(E), (ED), (ION)	VCT VINYL COMPOSITION TILE
LAM LAMINATE(E), (ED), (ION)	LAV LAVATORY	VERT VERTICAL
LAV LAVATORY	LINO LINOLEUM	VIF VERIFY IN FIELD
LINO LINOLEUM	LT LIGHT	VIN VINYL
LT LIGHT	MAS MASONRY	W WEST, WIDE, WIDTH
MAS MASONRY	MAT MATERIAL	W/ WITH
MAT MATERIAL	MAX MAXIMUM	WC WALLCOVERING, WATERCLOSET
MAX MAXIMUM	MECH MECHANICAL	WD WOOD
MECH MECHANICAL	MED MEDIUM	W/O WITHOUT
MED MEDIUM		WP WATER PROOF
		WT WEIGHT
		W/W WHITENASH

SITE PLAN (FOR KEY REFERENCE ONLY)



SYMBOLS

	PLAN DATUM
	DOOR #
	WINDOW INDICATOR
	DETAIL INDICATOR
	SECTION INDICATOR
	NEW WOOD FRAMING
	EXISTING WOOD FRAMING
	CONCRETE
	WOOD SHINGLES
	FOAM INSUL.
	DEMOLITION (PLAN)
	MASONRY (PLAN)
	STONE (PLAN)
	STONE (ELEVATION)
	RIGID INSUL.
	PLYWOOD, LAM. WOOD
	BLOCKING
	EARTH (ELEVATION)
	EARTH (PLAN)
	BATT INSUL.

CONTACTS

Owners Representatives See Cover Sheet

Civil Engineer
Oyster, Imus, Petzold, and Associates, LLC
T: (301) 949-2011 F: (301) 949-2013
Contact: Peter Noursi, P.E.
peter.noursi@oipengineering.com

Architect
Miche Booz Architect, Inc.
T: 301-774-6911 F: 301-774-1908
Contact: Joe Harris, Associate
jharris@michebooz.com

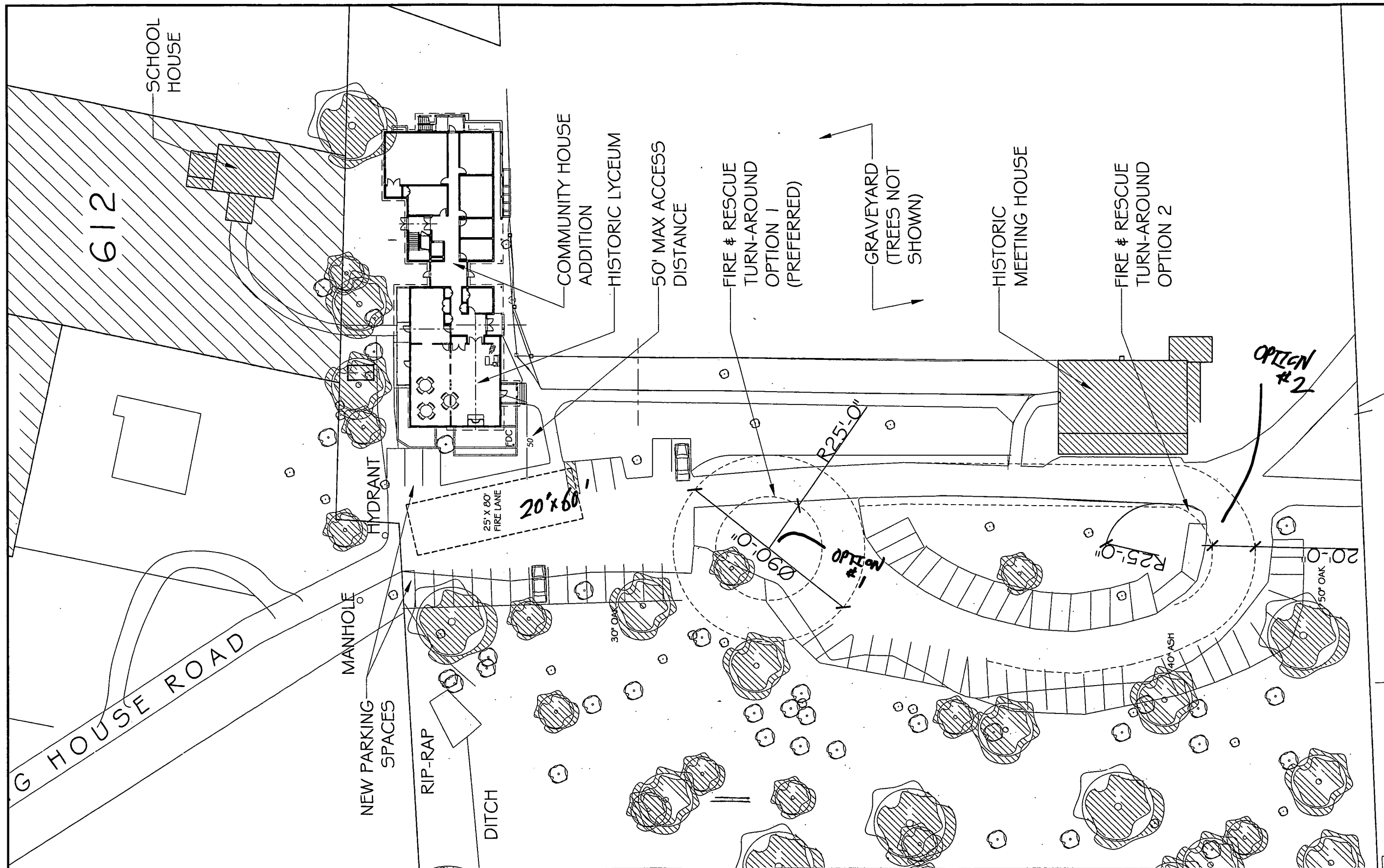
Structural Engineer
Soil & Structure Consulting, Inc.
T: (703) 391-8911
Contact: Andy Fulumbarker, PE
andy@soilandstructure.com

Fire Protection Services
Hughes Associates Inc.
T: 410.737.8677
Contact: Scott Golly, P.E.,
sgolly@halfire.com

Mechanical-Electrical-Plumbing Engineers
SRBR Engineers, Inc.
T: 410.869.7282
Contact: Don Gray, P.E.
dgray@srbr.com

**SANDY SPRING MONTHLY MEETING
COMMUNITY HOUSE + ADDITION**

 MICHE BOOZ ARCHITECT 206 Market St Baltimore, MD 21201 (410) 774-6911 Fax: 774-1908	PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/31/14.	SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS	SHEET TITLE: COVER SHEET 2	DATE: 11/14/2012											
	PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860	SCALE (FEET):	REVISIONS: <table border="1"> <tr> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	Rev. No.	Reason	Date	Rev. No.	Reason	Date						
Rev. No.	Reason	Date	Rev. No.	Reason	Date										



PROPOSED SITE PLAN

MICHE BOOZ
ARCHITECT
208 Market St
Baltimore, MD 21201
Tel: 774 6911
Fax: 774 1908

PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 09/14."

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

SHEET TITLE: PROPOSED SITE PLAN

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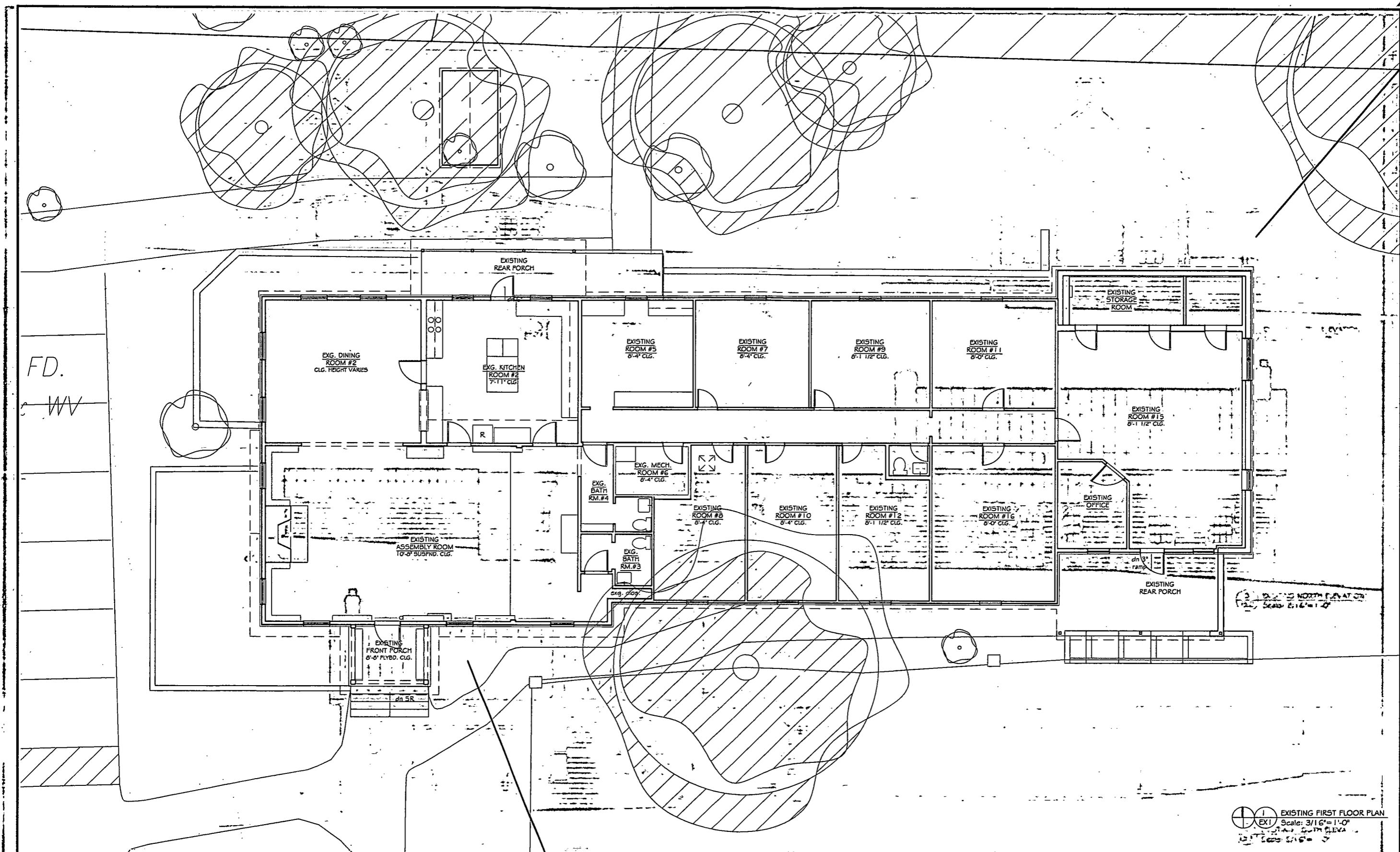
REVISIONS:

Rev. No.	Reason	Date	Rev. No.	Reason	Date

DATE: 11/14/2012

SHEET:

C2



EXISTING CONDITION NOTES

1: EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.L.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE CONSTRUCTION MANAGER.

2: INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O. EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING OR MASONRY U.N.O. ELEVATION DIMENSIONS ARE TO FINISH FLOOR, U.N.O.

3: ALL NOTES REFER TO EXISTING CONDITIONS UNLESS NOTED OTHERWISE (U.N.O.).

WALL LEGEND
EXISTING TO REMAIN:

EXISTING FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"
DATE: 11/14/2012

MICHE BOOZ
ARCHITECT
202 Market St
Baltimore, MD 21201
(301)774-6911
fax: 774-1908

PROFESSIONAL CERTIFICATION:

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SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

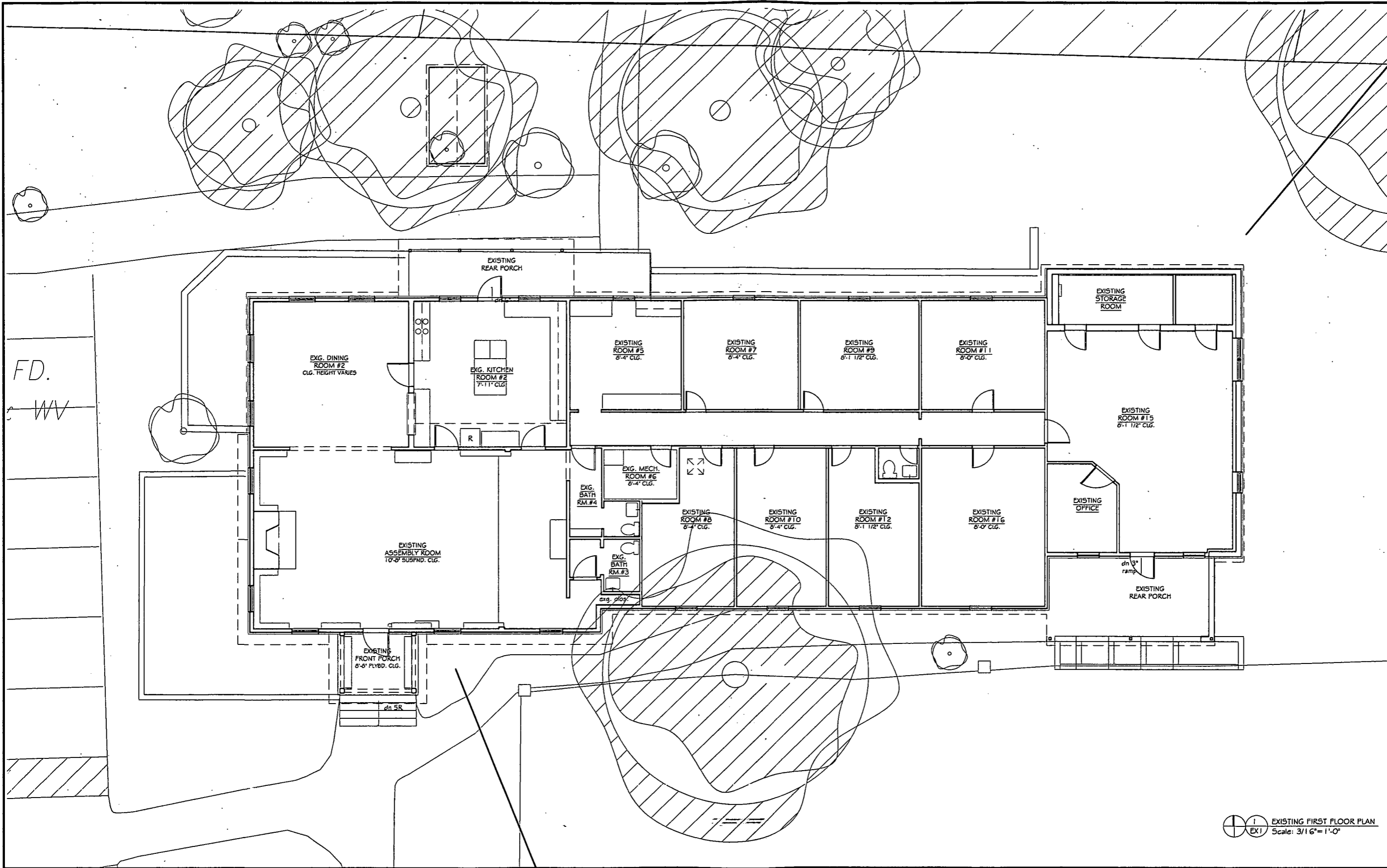
SHEET TITLE: EXISTING CONDITION PLANS

SCALE (FEET): 0 1 2 4 8 16

REV. NO.	REASON	DATE	REV. NO.	REASON	DATE
1					
2					
3					
4					
5					

DATE: 11/14/2012

SHEET:
EX1



EXISTING CONDITION NOTES

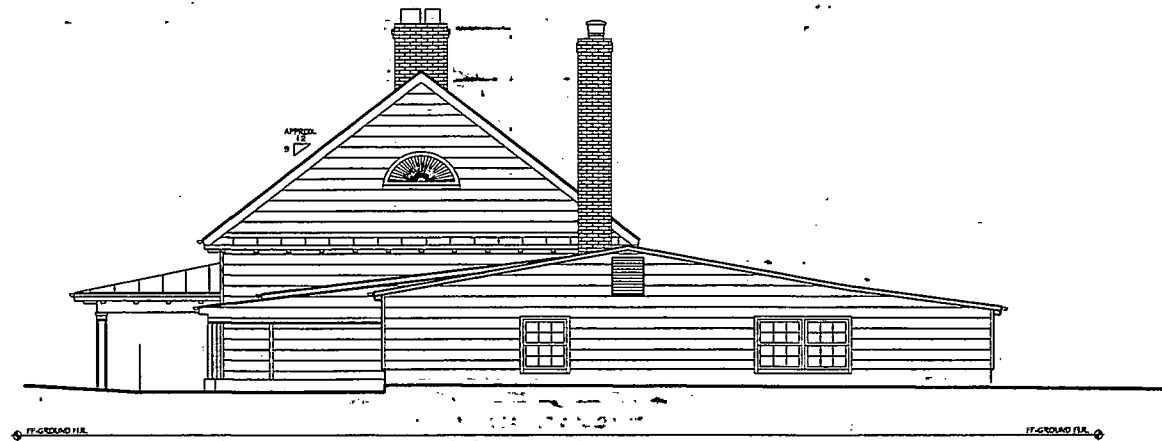
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- 3: ALL NOTES REFER TO EXISTING CONDITIONS UNLESS NOTED OTHERWISE (U.N.O.).

WALL LEGEND
EXISTING TO REMAIN:

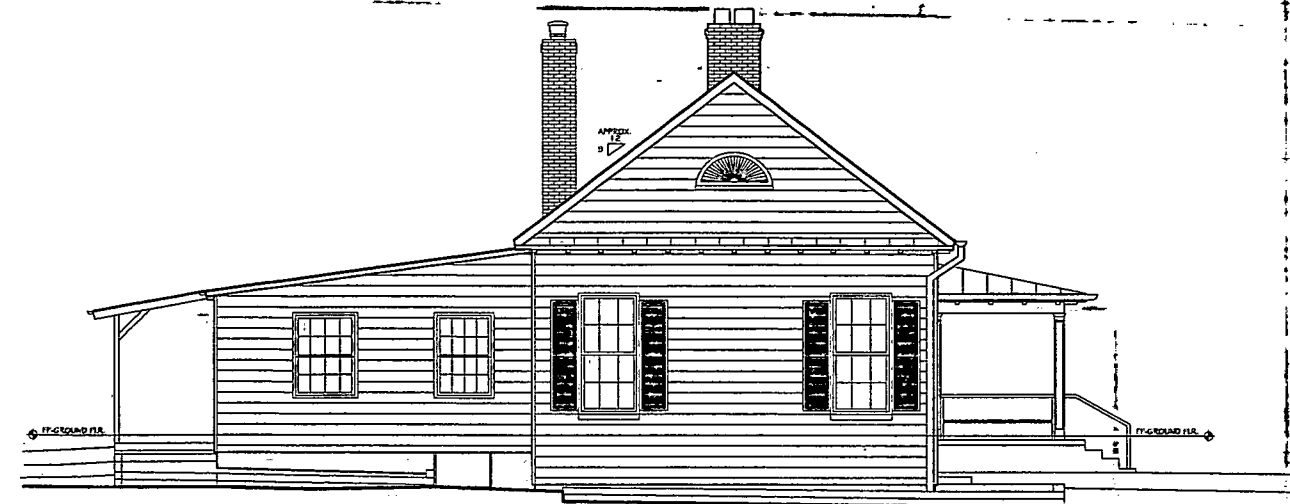
FD.
WV

EXISTING FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"

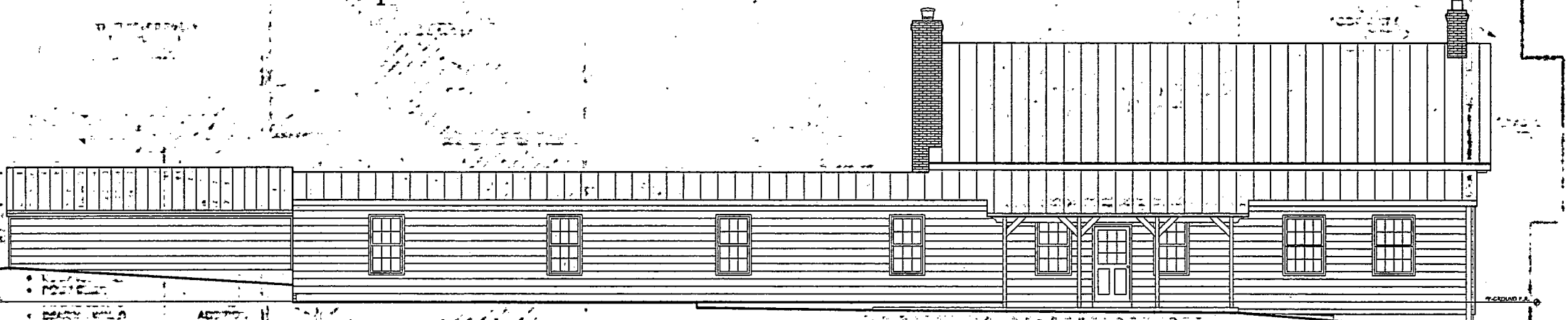
<p>MICHE BOOZ ARCHITECT</p> <p>208 Market St Baltimore, MD 21201 (410) 528-8911 fax: 774 1908</p>	<p>PROFESSIONAL CERTIFICATION:</p> <p>"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 09/14."</p>	<p>SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS</p> <p>PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860</p>	<p>SHEET TITLE: EXISTING CONDITION PLANS</p> <p>SCALE (FEET): 1 0 2 4 8 16</p> <p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev. No.	Reason	Date	Rev. No.	Reason	Date							<p>DATE: 11/14/2012</p> <p>SHEET: EX1</p>
Rev. No.	Reason	Date	Rev. No.	Reason	Date											



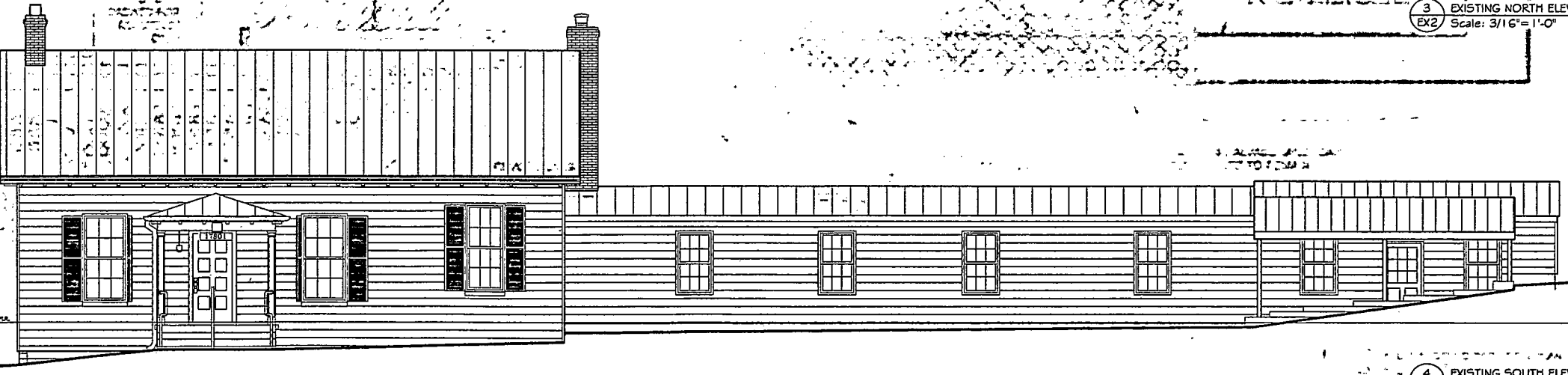
1 EXISTING EAST ELEVATION
EX2 Scale: 3/16"=1'-0"



2 EXISTING WEST ELEVATION
EX2 Scale: 3/16"=1'-0"



3 EXISTING NORTH ELEVATION
EX2 Scale: 3/16"=1'-0"



4 EXISTING SOUTH ELEVATION
EX2 Scale: 3/16"=1'-0"

EXISTING CONDITION NOTES

- 1: EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE CONSTRUCTION MANAGER.
- 2: INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O. EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING OR MASONRY U.N.O. ELEVATION DIMENSIONS ARE TO FINISH FLOOR, U.N.O.
- 3: ALL NOTES REFER TO EXISTING CONDITIONS UNLESS NOTED OTHERWISE (U.N.O.).

MICHE BOOZ
ARCHITECT
208 North St
Baltimore, MD 21201
Tel: 774 1908

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10384, Expiration Date: 9/31/14.

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

SHEET TITLE: EXISTING CONDITION ELEVATIONS

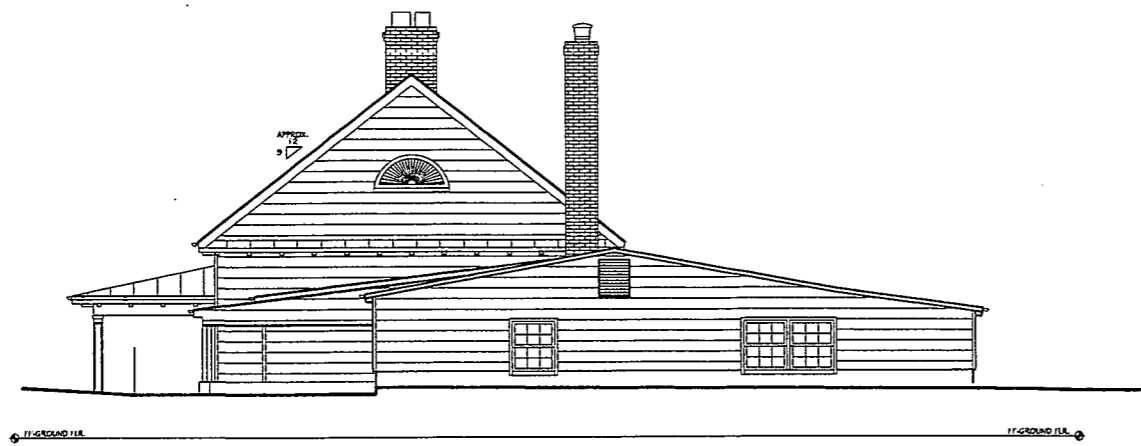
DATE: 11/14/2012

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

SCALE (FEET): 1 1/2 2 4 8 16

REVISIONS:		
Rev. No.	Reason	Date

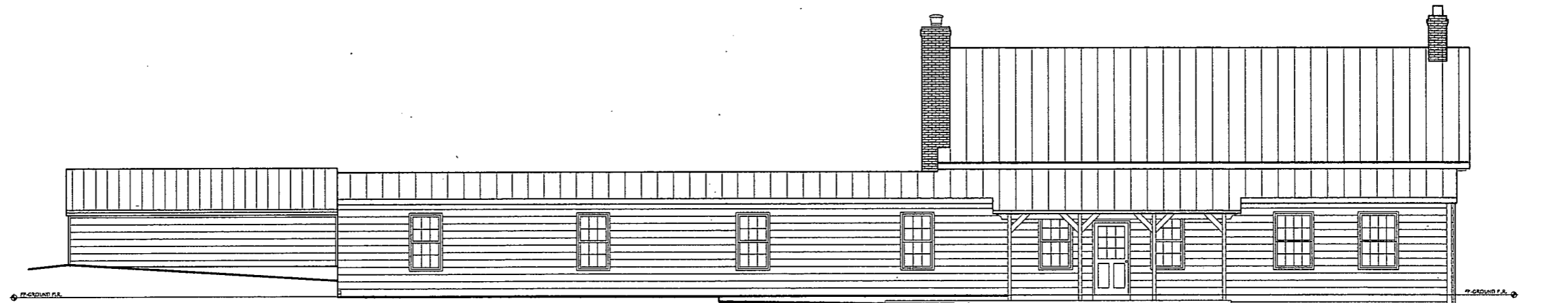
SHEET:
EX2



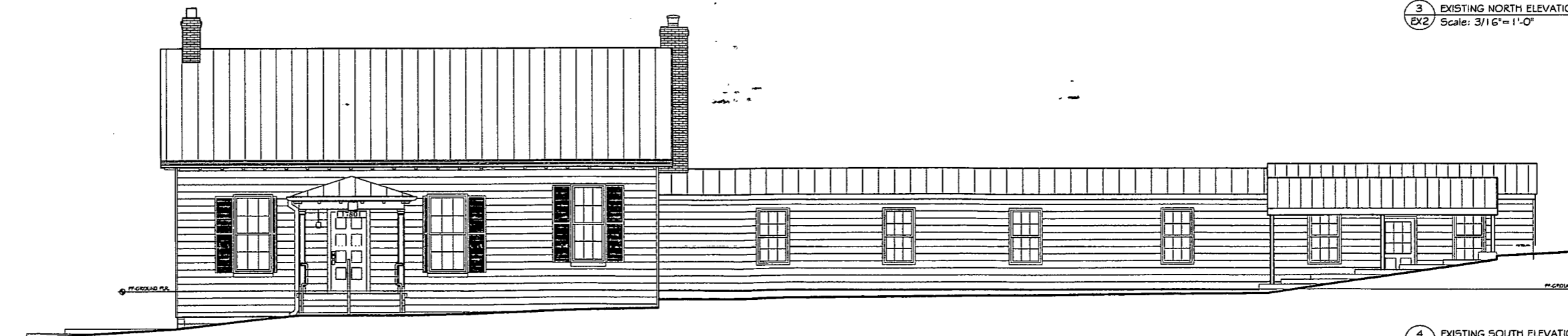
1
EX2
EXISTING EAST ELEVATION
Scale: 3/16" = 1'-0"



2
EX2
EXISTING WEST ELEVATION
Scale: 3/16" = 1'-0"



3
EX2
EXISTING NORTH ELEVATION
Scale: 3/16" = 1'-0"



4
EX2
EXISTING SOUTH ELEVATION
Scale: 3/16" = 1'-0"

**EXISTING
CONDITION
NOTES**

1: EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE CONSTRUCTION MANAGER.

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3: ALL NOTES REFER TO EXISTING CONDITIONS UNLESS NOTED OTHERWISE (U.N.O.).

MICHE BOOZ
ARCHITECT
208 Market St
Baltimore, MD
21201
Tel: 774 1908

PROFESSIONAL CERTIFICATION:

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SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

SHEET TITLE: EXISTING CONDITION ELEVATIONS

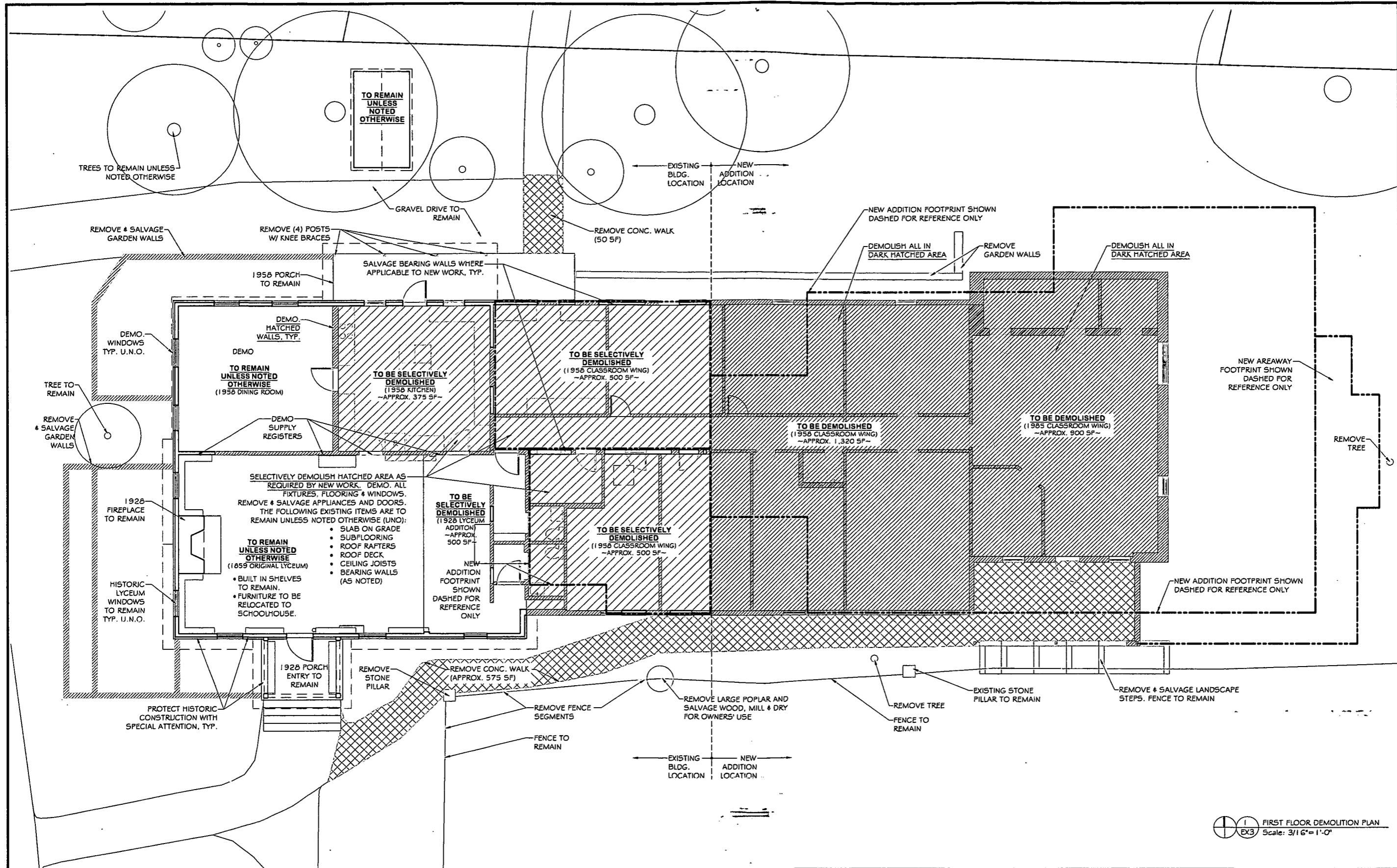
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REVISIONS:					
Rev. No.	Reason	Date	Rev. No.	Reason	Date

DATE: 11/14/2012

SHEET:

EX2



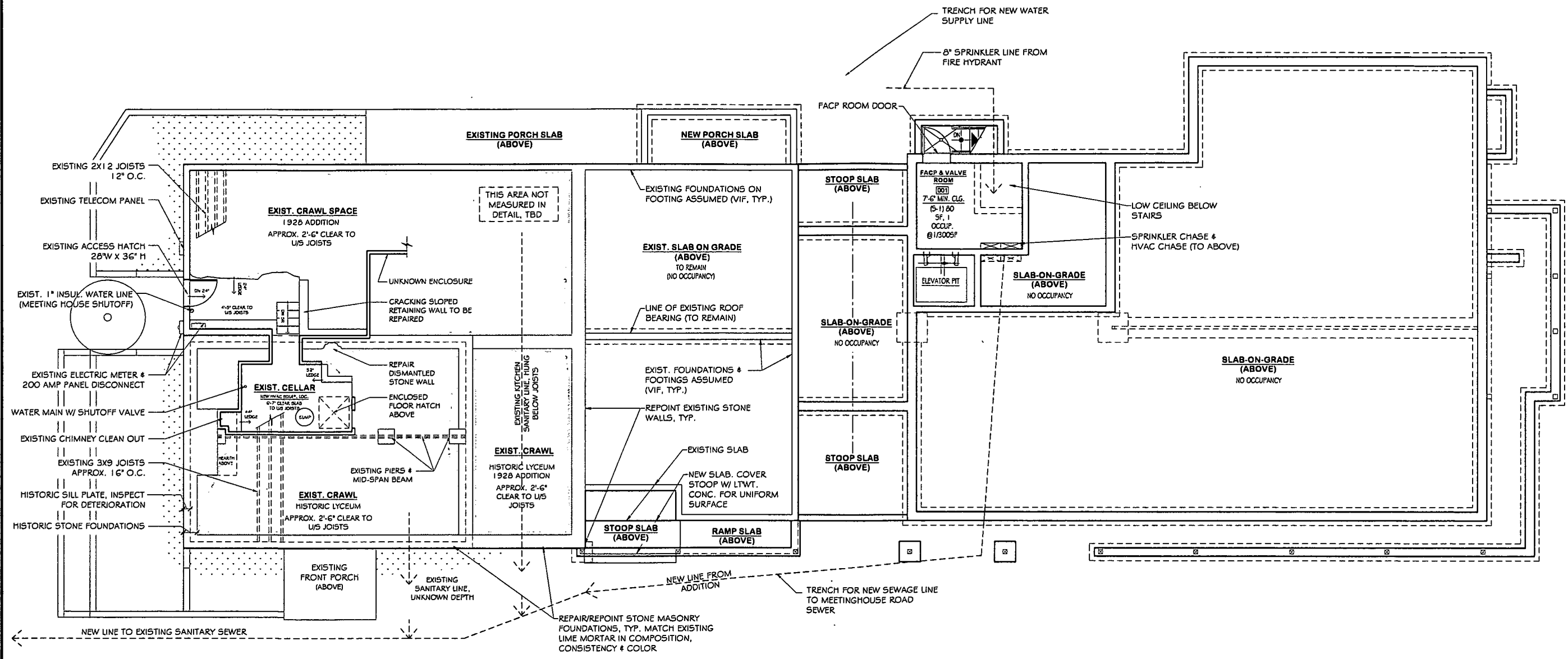
DEMOLITION NOTES

- 1: DEMOLITION TO BE CARRIED OUT IN SUCH A MANNER THAT THE REMAINING STRUCTURE IS SAFE AND IN ACCORDANCE WITH ALL APPLICABLE CODES.
- 2: REFER TO SPECIFICATIONS FOR ADDITIONAL HISTORIC DEMOLITION REQUIREMENTS.
- 3: REFER TO ARCHITECTURAL SECTIONS AND STRUCTURAL NOTES FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- 4: REMOVE ALL EXISTING WIRING AND ELECTRIC FIXTURES AND EQUIPMENT UNLESS NOTED OTHERWISE. DO NOT REMOVE WIRING AND DEVICES ASSOCIATED WITH EXISTING FIRE ALARM, DETECTION, AND FIRE SUPPRESSION SYSTEMS TO REMAIN.

WALL LEGEND
EXISTING TO REMAIN:

1 FIRST FLOOR DEMOLITION PLAN
EX3
Scale: 3/16" = 1'-0"

<p>MICHE BOOZ ARCHITECT</p> <p>208 Market St Baltimore Maryland 20833 (301) 774 9911 fax: 774 1908</p>	<p>PROFESSIONAL CERTIFICATION:</p> <p>"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 8/31/14."</p>	<p>SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS</p>	<p>SHEET TITLE: FIRST FLOOR DEMOLITION PLANS</p>	<p>DATE: 11/14/2012</p>												
	<p>PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860</p>	<p>SCALE (FEET): 1 0 1 2 4 8 16</p> <table border="1"> <thead> <tr> <th>REVISONS:</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REVISONS:	Rev. No.	Reason	Date	Rev. No.	Reason	Date							
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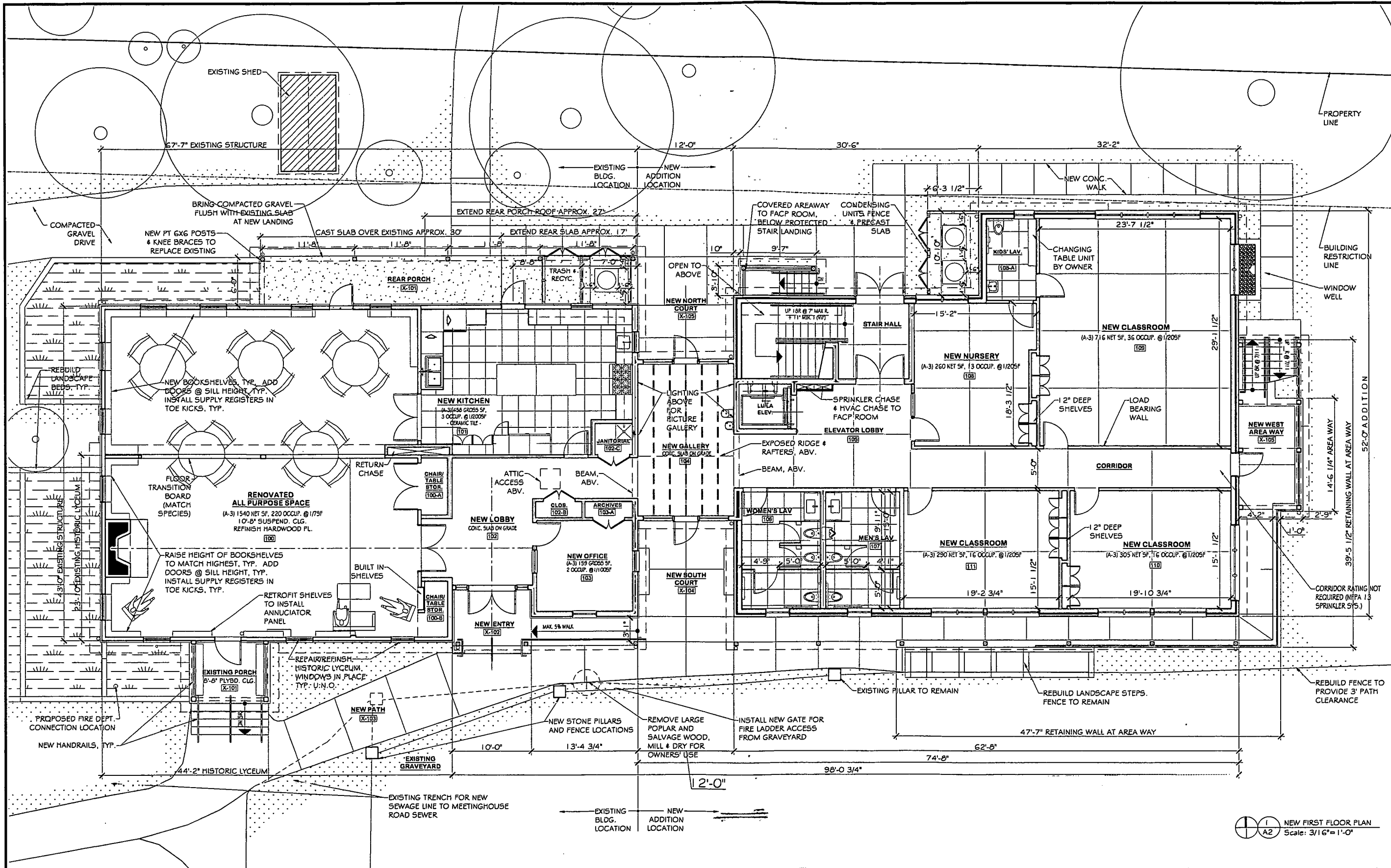


BASEMENT WORK NOTES

- EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE ARCHITECT.
- INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O.
- REPAIR & REPOINT CRACKS AND FISSURES IN EXISTING WALLS.
- EXTERIOR FRAMING TO BE 2 X 6'S, UNLESS NOTED OTHERWISE.
- INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- PLAN DIMENSIONS TO ROUGH FRAMING OR MASONRY, U.N.O.
- ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.
- PROVIDE BLOCKING IN WALLS FOR ALL EQUIPMENT, ACCESSORIES & SIGNAGE, INCLUDING THOSE ITEMS NOTED "N.I.C."
- PROVIDE INSULATION VALUES ACCORDING TO COMcheck REPORT(S), ATTACHED.

NEW BASEMENT PLAN
Scale: 3/16" = 1'-0"

MICHE BOOZ ARCHITECT 208 North St Brykewille Maryland 20833 (301)774-6911 Fax: 774-1908	PROFESSIONAL CERTIFICATION: "I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number: 10084, Expiration Date: 9/30/14."	SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS	SHEET TITLE: NEW BASEMENT PLAN	DATE: 11/14/2012
	PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860	SCALE (FEET): 1 0 1 2 4 8 16	SHEET: A1	



FIRST FLOOR WORK NOTES

- EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE ARCHITECT.
- INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O.
- REPAIR & REPOINT CRACKS AND FISSURES IN EXISTING WALLS.
- EXTERIOR FRAMING TO BE 2 X 6'S, UNLESS NOTED OTHERWISE.
- INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- PLAN DIMENSIONS TO ROUGH FRAMING OR MASONRY, U.N.O.
- ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.
- PROVIDE BLOCKING IN WALLS FOR ALL EQUIPMENT, ACCESSORIES & SIGNAGE, INCLUDING THOSE ITEMS NOTED "N.I.C."
- 1/2" MAX. THRESHOLD HEIGHT AT ALL ENTRANCES, U.N.O.
- PROVIDE INSULATION VALUES ACCORDING TO COMcheck REPORT(S), ATTACHED.

EGRESS NOTES

OCCUPANCY LOADS:
 262 Net SF First Fl. (A-3 use = 19 occupants) + 114 Gross SF First Fl. (B use = 2 occupants) + 280 Andlry SF (A-3 restrooms = 0 occupants) = 19 + 2 + 0 respectively = TOTAL 21 occupants

OCCUPANCY GROUP: A-3

MEANS OF EGRESS:
 1) EXIT ACCESS WIDTHS
 2) EXIT LOCATIONS/QUANTITIES: 2 exits at grade level;
 3) EXIT DISCHARGE PATHS TO PUBLIC WAY: All exits discharge directly to paths to public way.

NEW FIRST FLOOR PLAN
 Scale: 3/16" = 1'-0"

PROFESSIONAL CERTIFICATION:

MICHE BOOZ
 ARCHITECT

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10094, Expiration Date: 8/31/14."

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
 Renovated Community House + Addition at
 Sandy Spring Monthly Meeting
 17715 Meeting House Road, Sandy Spring, MD 20860

SHEET TITLE: NEW FIRST FLOOR PLAN

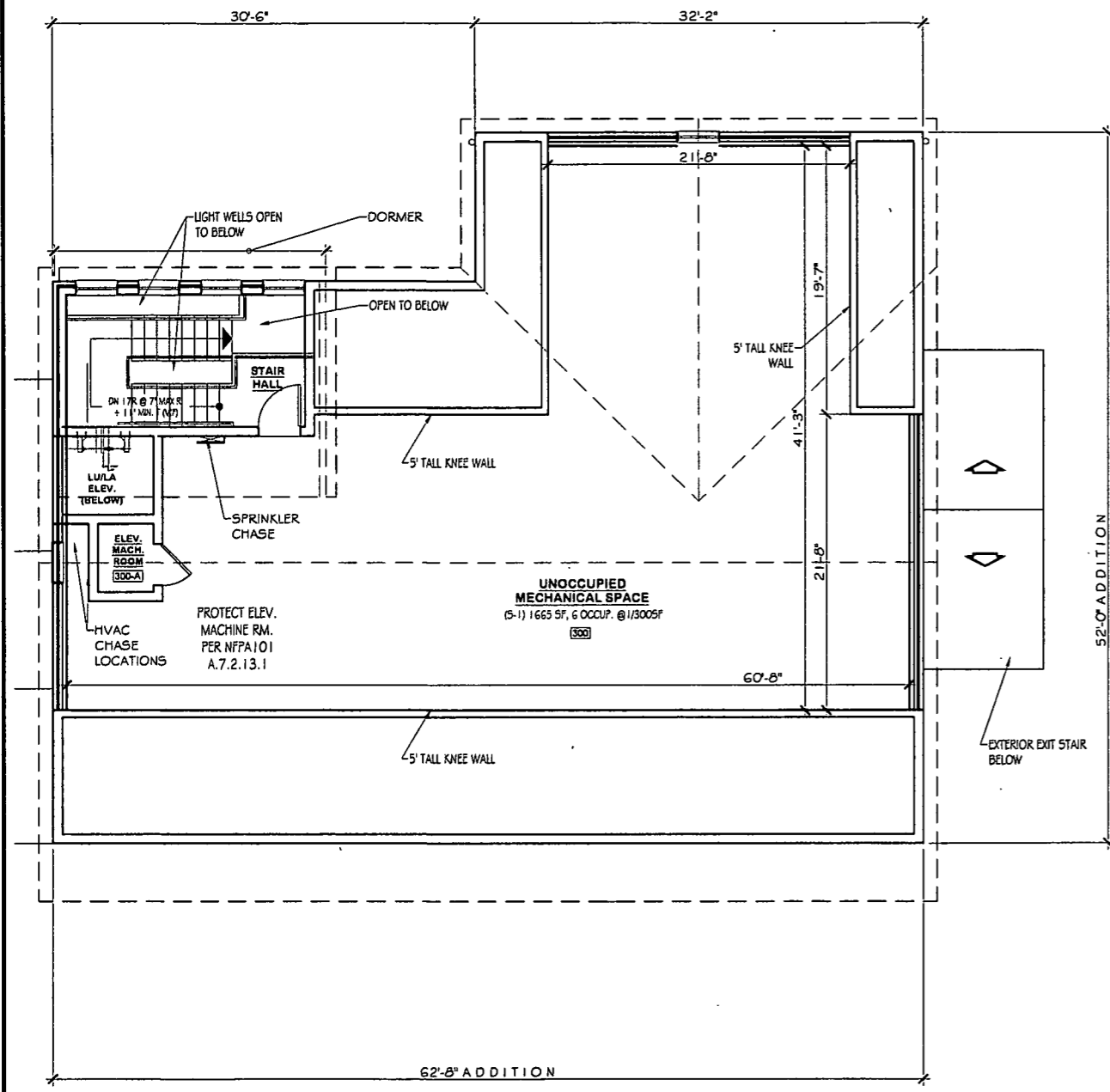
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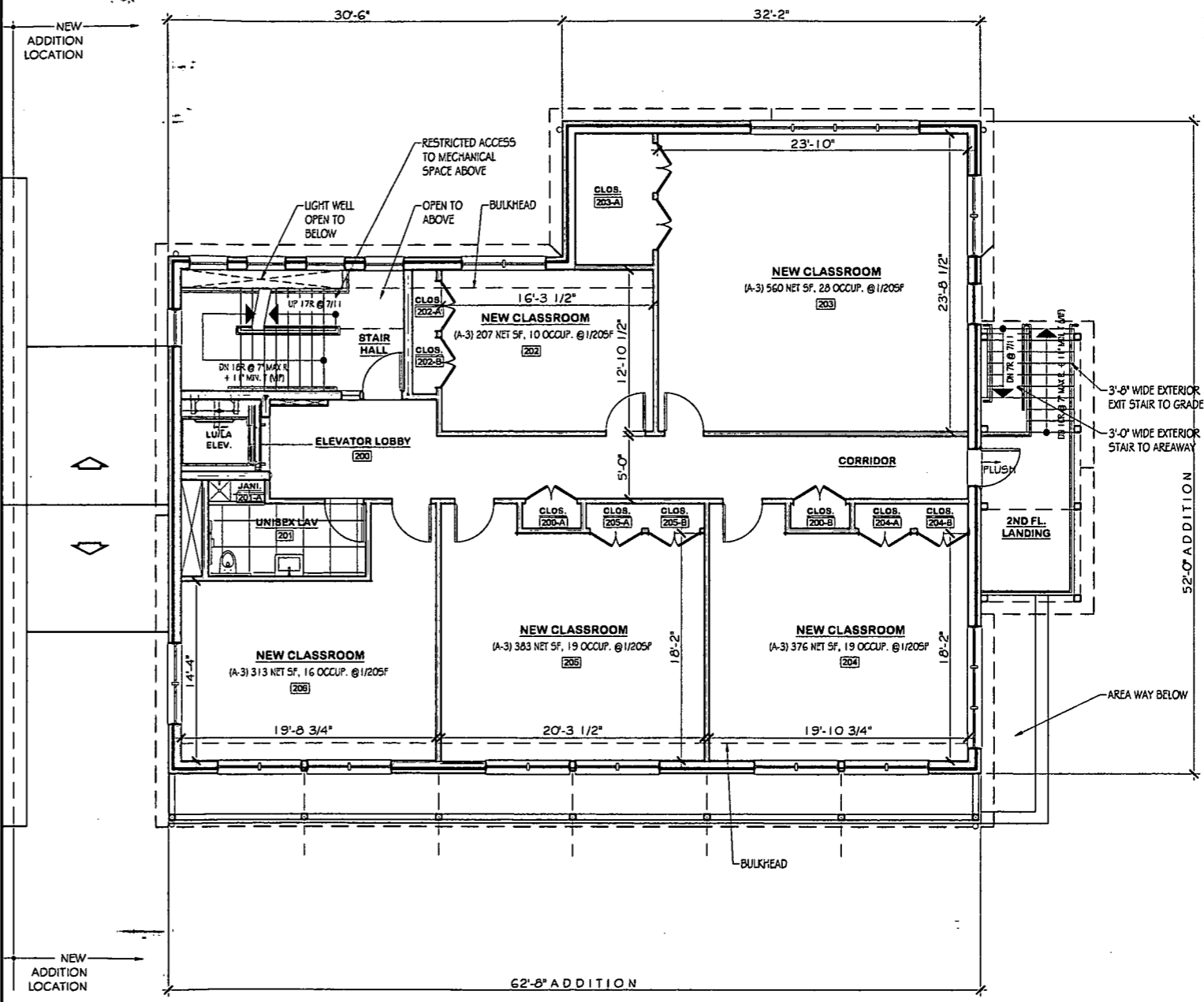
Rev. No.	Reason	Date	Rev. No.	Reason	Date

DATE: 11/14/2012

SHEET:
A2



1
A3
NEW ATTIC FLOOR PLAN
Scale: 3/16" = 1'-0"



2
A3
NEW SECOND FLOOR PLAN
Scale: 3/16" = 1'-0"

SECOND FLOOR WORK NOTES

- 1: EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (N.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE ARCHITECT.
- 2: INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O.
- 3: REPAIR & REPOINT CRACKS AND FISSURES IN EXISTING WALLS.
- 4: EXTERIOR FRAMING TO BE 2 X 6'S, UNLESS NOTED OTHERWISE.
- 5: INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- 6: PLAN DIMENSIONS TO ROUGH FRAMING OR MASONRY, U.N.O.
- 7: ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.
- 8: PROVIDE BLOCKING IN WALLS FOR ALL EQUIPMENT, ACCESSORIES & SIGNAGE, INCLUDING THOSE ITEMS NOTED "N.I.C."
- 9: 1/2" MAX. THRESHOLD HEIGHT AT ALL ENTRANCES, U.N.O.
- 10: PROVIDE INSULATION VALUES ACCORDING TO CMCheck REPORT(S), ATTACHED.

EGRESS NOTES

OCCUPANCY LOADS:
 262 Net SF First Fl. (A-3 use = 19 occupants) +
 114 Gross SF First Fl. (B use = 2 occupants) +
 280 Ancillary SF (A-3 restrooms = 0 occupants)
 =
 19 + 2 + 0 respectively =
 TOTAL 21 occupants

OCCUPANCY GROUP: A-3

MEANS OF EGRESS:
 1) EXIT ACCESS WIDTHS
 2) EXIT LOCATIONS/ QUANTITIES: 2 exits at grade level;
 3) EXIT DISCHARGE PATHS TO PUBLIC WAY: All exits discharge directly to paths to public way.

MICHE BOOZ
 ARCHITECT
 206 Mount St
 Spokane
 Maryland 20833
 (301) 774 6911
 Fax: 774 1908

PROFESSIONAL CERTIFICATION:
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SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
 Renovated Community House + Addition at
Sandy Spring Monthly Meeting
 17715 Meeting House Road, Sandy Spring, MD 20860

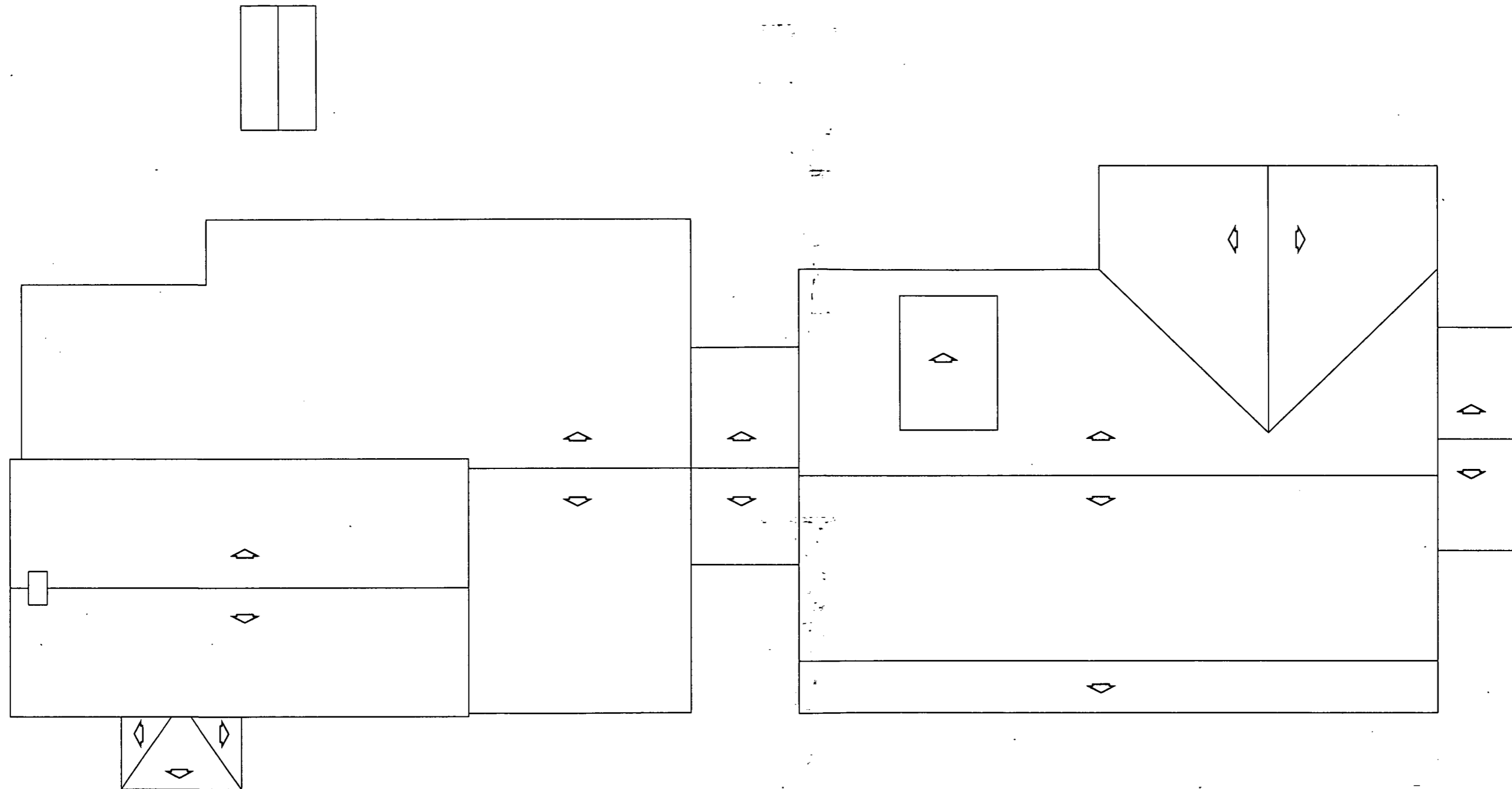
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SCALE (FEET): 1 0 1 2 4 8 16

REVISONS:	Rev. No.	Reason	Date	Rev. No.	Reason	Date

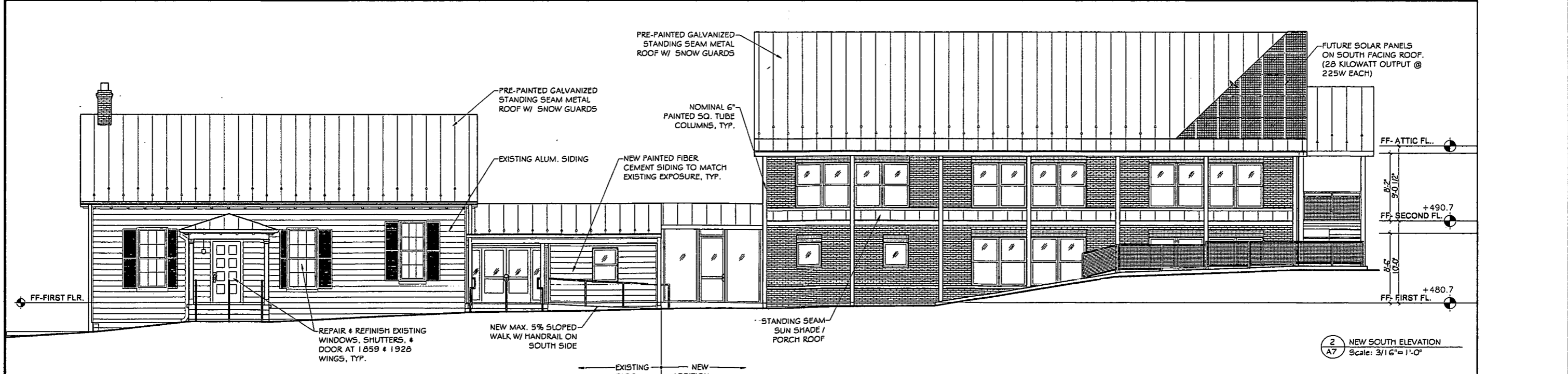
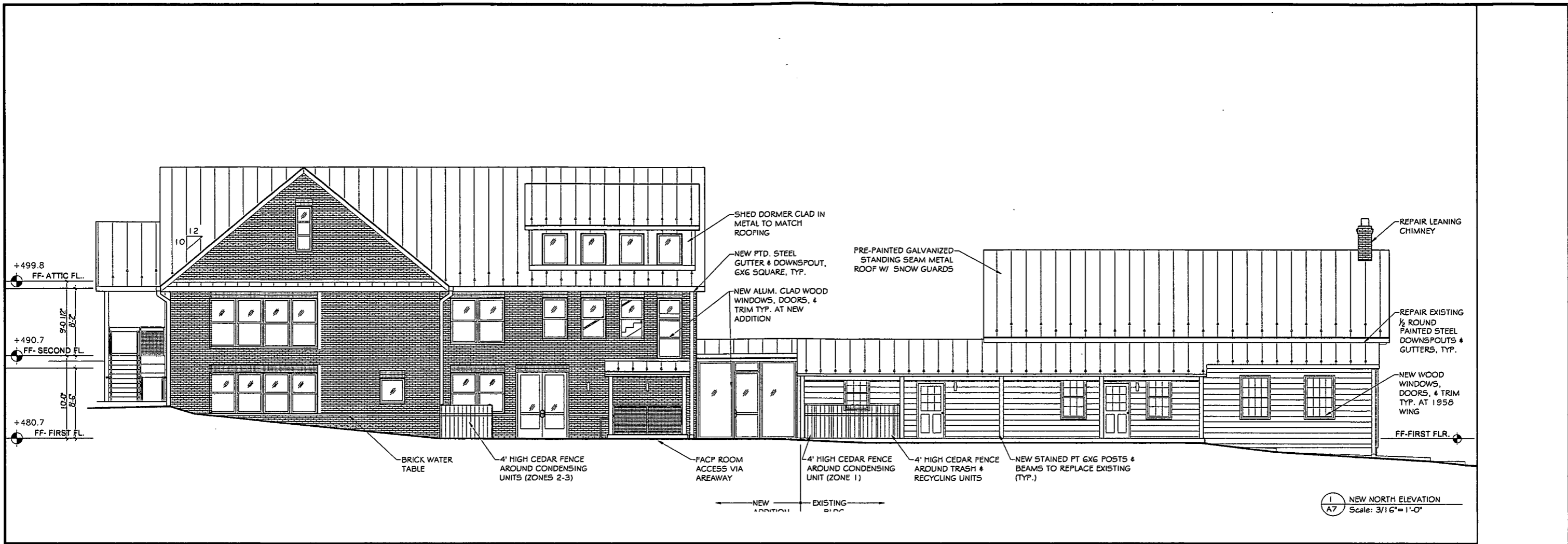
DATE: 11/14/2012

SHEET:
A3



NEW ROOF PLAN
Scale: 3/16" = 1'-0"

MICHE BOOZ ARCHITECT 208 Market St Brylerville Maryland 20833 (301) 774-6911 Fax: 774-1908	PROFESSIONAL CERTIFICATION: *I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number: 10084, Expiration Date: 9/30/14.*	SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS	SHEET TITLE: NEW ROOF PLAN	DATE: 11/14/2012																	
	PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860	SCALE (FEET): 1 0 1 2 4 8 16	REVISIONS: <table border="1"> <thead> <tr> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev. No.	Reason	Date	Rev. No.	Reason	Date												
Rev. No.	Reason	Date	Rev. No.	Reason	Date																



MICHE BOOZ ARCHITECT 208 Market St Bryansville Maryland 20833 (301)774-6911 Fax: 774-1968	PROFESSIONAL CERTIFICATION: "I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 8/31/14."	SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860	SHEET TITLE: NEW ELEVATIONS SCALE (FEET): 1 0 1 2 4 8 16 REVISIONS: <table border="1"> <thead> <tr> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev. No.	Reason	Date	Rev. No.	Reason	Date							DATE: 11/14/2012 SHEET: A7
	Rev. No.	Reason	Date	Rev. No.	Reason	Date										

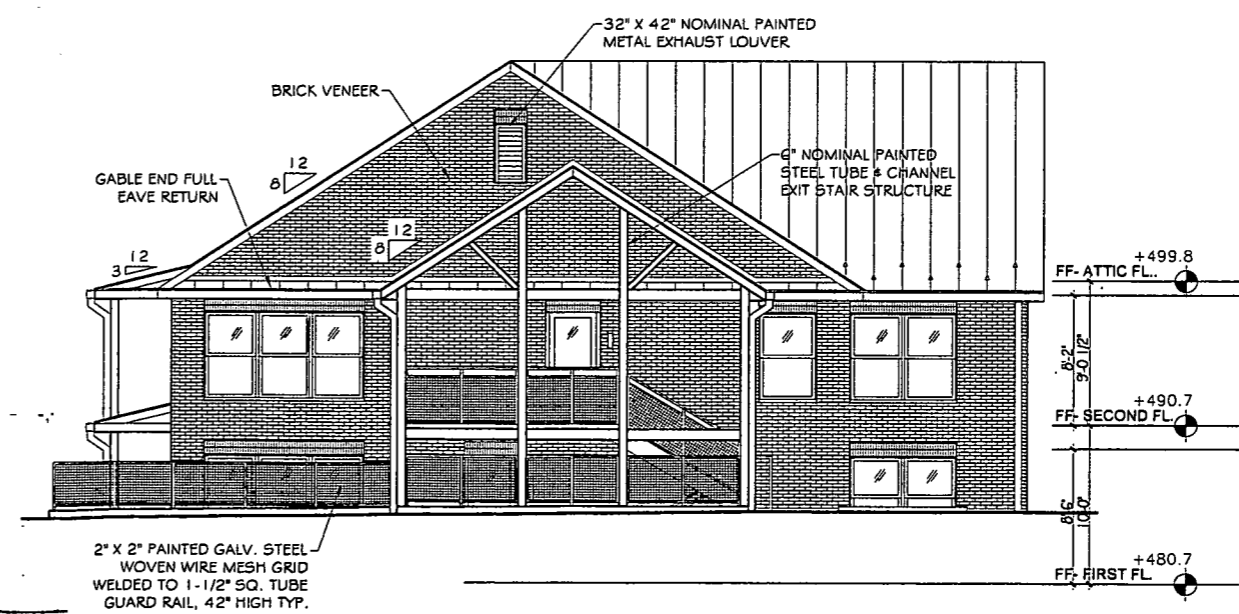


+499.8
FF- ATTIC FL.

+490.7
FF- SECOND FL.

+480.7
FF- FIRST FL.

1 NEW WEST ELEVATION
Scale: 3/16" = 1'-0"



+499.8
FF- ATTIC FL.

+490.7
FF- SECOND FL.

+480.7
FF- FIRST FL.

2 NEW EAST ELEVATION
Scale: 3/16" = 1'-0"

MICHE BOOZ
ARCHITECT

206 Market St.
Baltimore, MD 21201
(410) 774-6911
fax: 774-1908

PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number: 10034. Expiration Date: 9/8/14."

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

SHEET TITLE: NEW ELEVATIONS

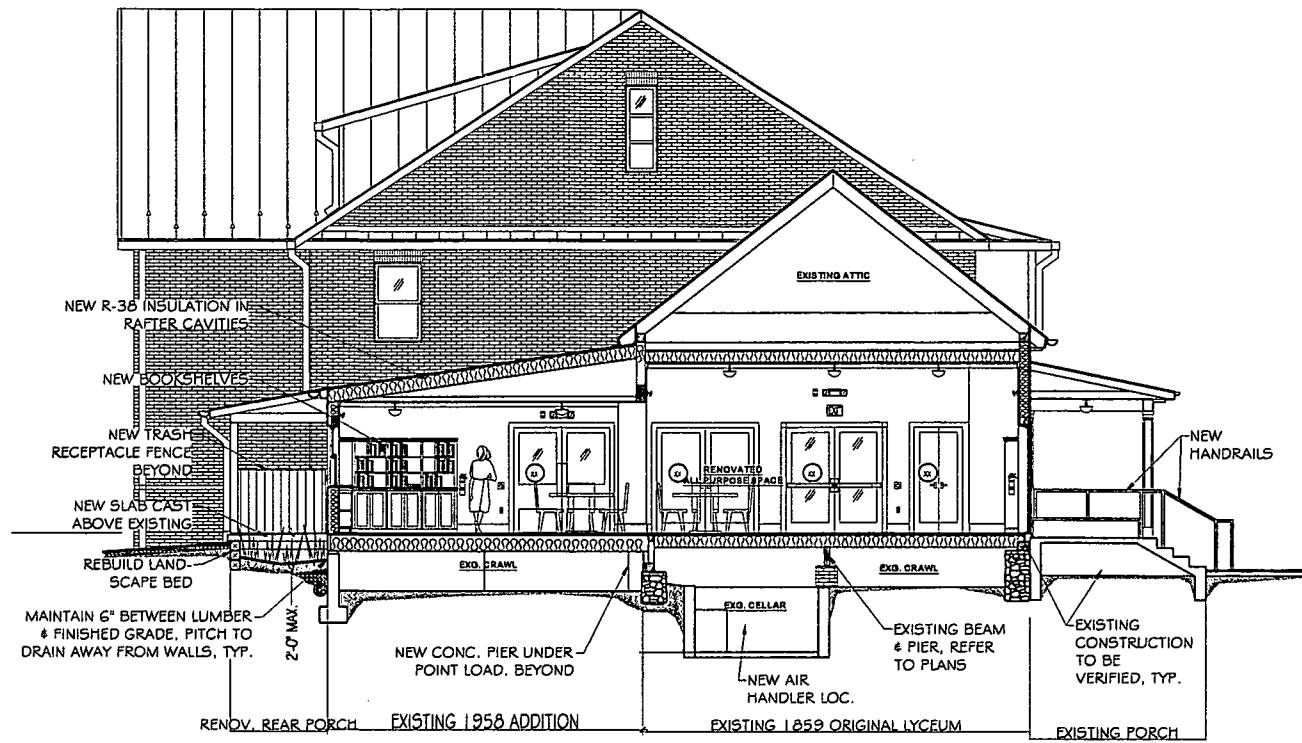
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REVISIONS:

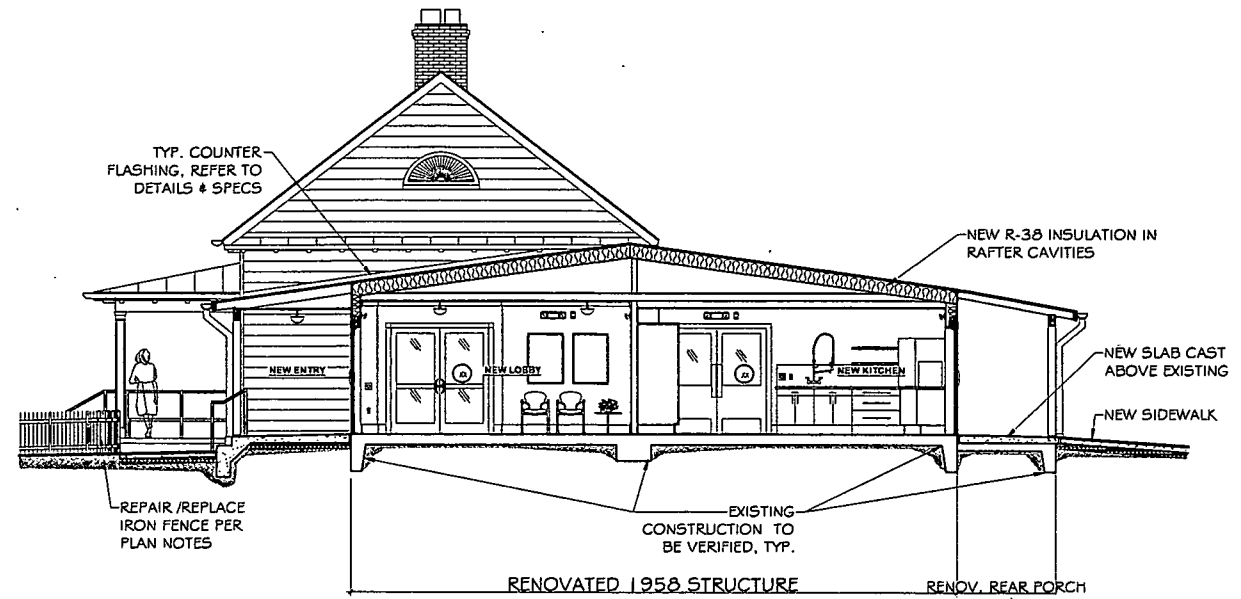
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DATE: 11/14/2012

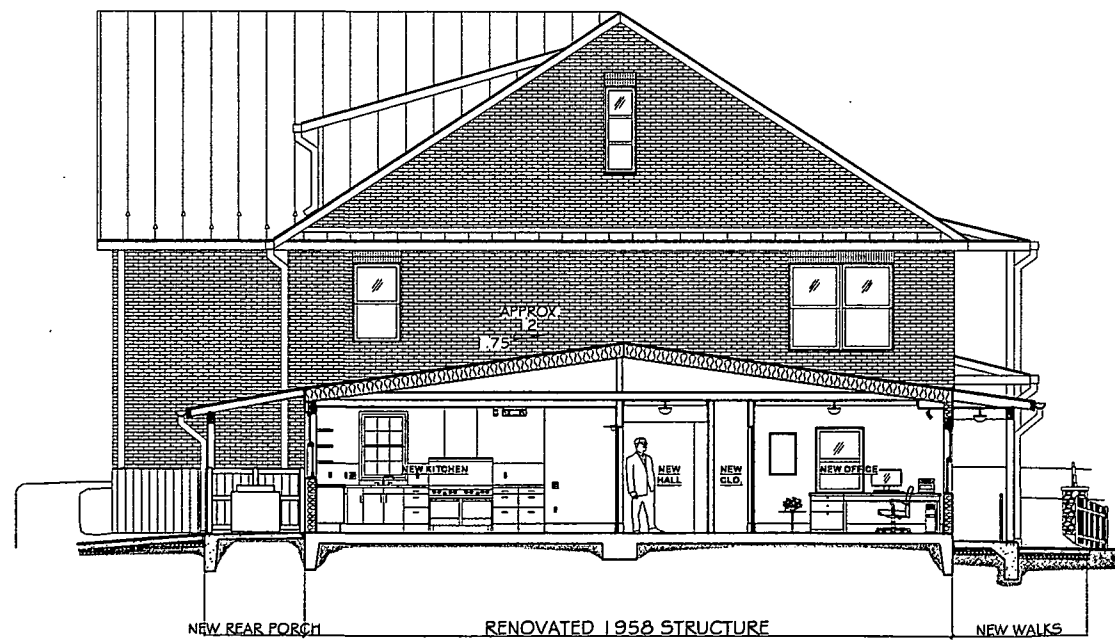
SHEET:
A8



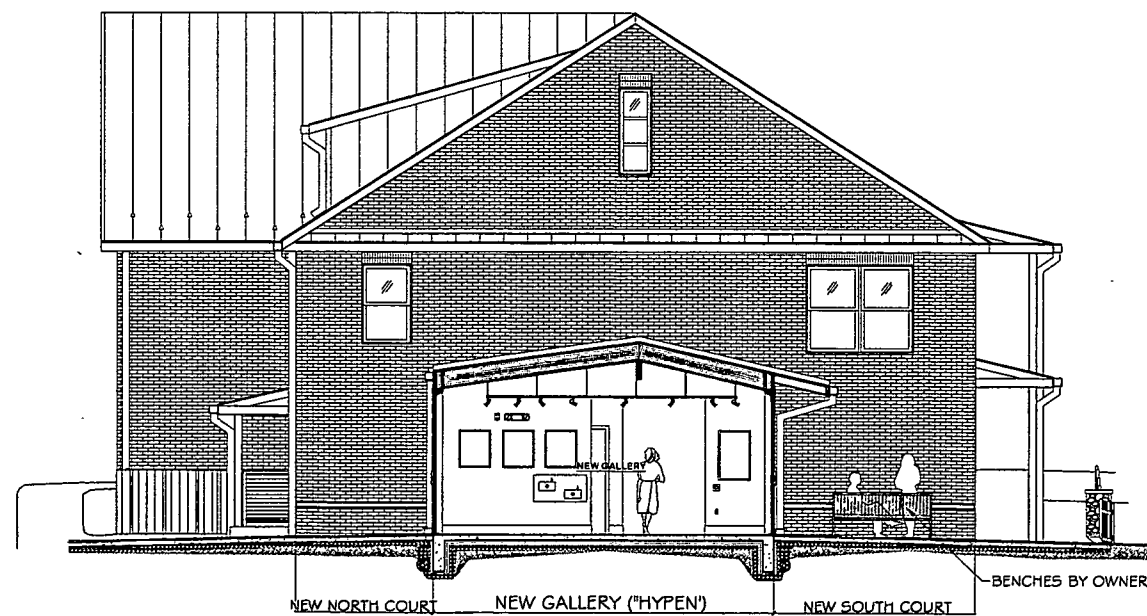
1 A-A SECTION
A9 Scale: 3/16" = 1'-0"



2 B-B SECTION
A9 Scale: 3/16" = 1'-0"



3 C-C SECTION
A9 Scale: 3/16" = 1'-0"



4 D-D SECTION
A9 Scale: 3/16" = 1'-0"

MICHE BOOZ
ARCHITECT
208 Market St
Baltimore, MD 21201
(410) 774-6911
fax: 774-1906

PROFESSIONAL CERTIFICATION:

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SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

SHEET TITLE: NEW SECTIONS

DATE: 11/14/2012

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

SCALE (FEET): 1 0 2 4 8 16

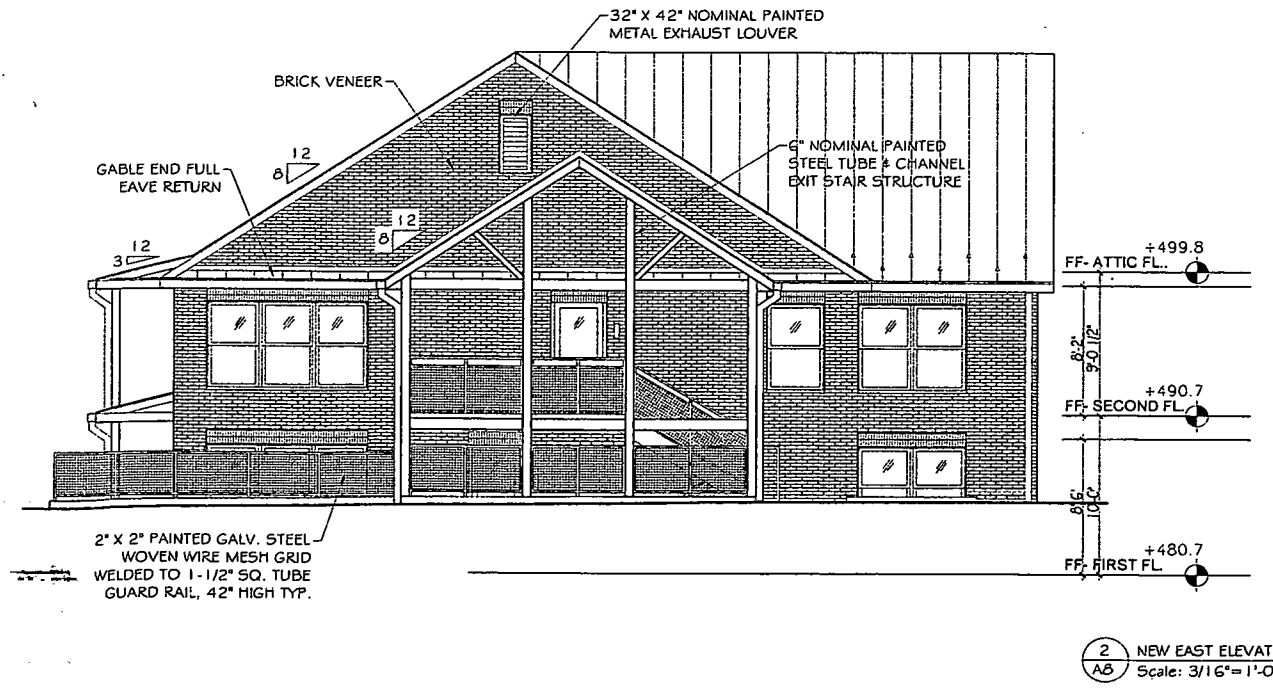
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REVISONS:	Rev. No.	Reason	Date	Rev. No.	Reason	Date

A9



1 NEW WEST ELEVATION
 Scale: 3/16" = 1'-0"



2 NEW EAST ELEVATION
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MICHE BOOZ
 ARCHITECT
 205 Market St
 Bridgeville
 Maryland 20833
 301.774.6911
 Lic. 774, 1908

PROFESSIONAL CERTIFICATION:
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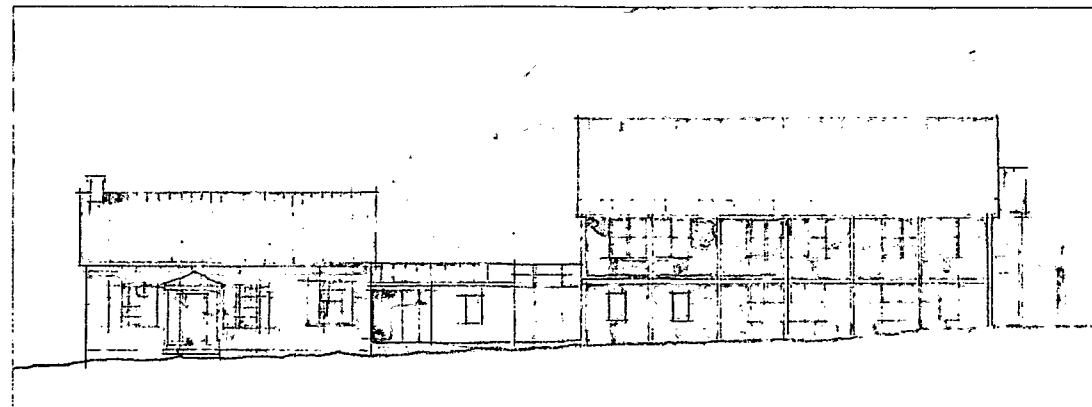
DATE: 11/14/2012

SHEET:
A8

CODES	INT'L. EXIST. BUILDING CODE, 2012
MARYLAND REHAB CODE & BY REFERENCE: ICC INTERNATIONAL EXISTING BUILDING CODE, 2012 EDITION (IEBC)	
ICC INTERNATIONAL BUILDING CODE, 2012 EDITION (WITH LOCAL AMENDMENTS) (IBC)	
ICC INTERNATIONAL MECHANICAL CODE, 2012 EDITION (WITH LOCAL AMENDMENTS) (IMC)	
ICC INTERNATIONAL ENERGY CONSERVATION CODE, 2012 EDITION (WITH LOCAL AMENDMENTS) (IECC)	
WSSC PLUMBING CODE	
NFPA 70 - NATIONAL ELECTRICAL CODE, 2008 EDITION (WITH LOCAL AMENDMENTS) (NEC)	
COMAR NFPA 101 - LIFE SAFETY CODE, 2009 EDITION (WITH LOCAL AMENDMENTS) (LSC)	
COMAR NFPA 72/2007 - FIRE ALARM CODE	
COMAR NFPA 13/2007 - COMMERCIAL SPRINKLER CODE	
FIRE SAFETY CODE OF MONTGO. COUNTY MONTGOMERY COUNTY CODE, CHAPTER 22	
MARYLAND ACCESSIBILITY CODE - COMAR 05.02.02 & BY REFERENCE: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADAAG) & FINAL FAIR HOUSING ACCESSIBILITY GUIDELINES (FFHAG)	
	INT'L. BUILDING CODE, 2012
	NFPA 101 LIFE SAFETY CODE, 2009

The Religious Society of Friends
SANDY SPRING MONTHLY MEETING
 RENOVATED COMMUNITY HOUSE + ADDITION
 17715 Meeting House Road, Sandy Spring, MD 20860

**DESIGN DEVELOPMENT
 PROGRESS SET
 NOV. 14, 2012**



COMMUNITY HOUSE SKETCH (ILLUSTRATIVE ONLY)

SSMM Representatives: Tom Kummer, Construction Manager | (301) 330-3220 | tomkummer@comcast.net | Ned Stowe, Clerk of Trustees | (301) _____ | 21214dettmering@gmail.com

VICINITY MAP

REVIEW APPROVALS

Montgomery County
 Department of Permitting Services

M-NCPPC Historic
 Preservation Commission

Sediment Control
 Permit No. _____

Storm Water Management
 File No. _____

Historic Area Work Permit
 No. _____

Demolition/Move Permit
 No. _____

Use+Occupancy Permit
 No. _____

PROJECT DESCRIPTION	INDEX
	NO. TITLE
	CS1-2 COVERSHEETS
	CIVIL ENGINEERING
	C1 EXIST. CONDITIONS
	C2 SITE-SWM + SC PLAN
	C3 SITE-SWM + SC DETAILS
	C4 SITE UTILITIES
	C5 TREE SAVE
	ARCHITECTURAL
	EX1-2 EXISTING CONDITIONS
	EX3 DEMO. PLANS
	A1-4 FLOOR PLANS
	A5-6 R.C. PLANS
	A7-8 ELEVATIONS
	A9-11 SECTIONS
	A21 INTERIORS
	A31 DETAILS: @ EXIST. LOC'S.
	A32-33 DETAILS: @ NEW LOC'S.
	A41-42 ARCH. SCHEDULES
	A51-54 ARCH. SPECS.
	STRUCTURAL
	S0-S0A STRUCTURAL COVERSHEET
	S1-3 STRUC. PLANS
	SD1-4 STRUCTURAL DETAILS
	FIRE PROTECTION
	F1 FIRE ALARM PLANS
	F2 SPRINKLER PLANS
	M/E/P ENGINEERING
	M11-14 MECH. PLANS
	MP31-2 MECH./PLUMB. DETAILS
	MP41-2 MECH./PLUMB. SCHEDULES
	MP51-2 MECH./PLUMB. SPECS.
	P11-14 PLUMB. PLANS
	P21 PLUMB. RISER DIAGRAMS
	E01 ELEC. SYMBOLS & ABBREVS.
	E11-14 ELEC. PLANS
	E21-22 ELEC. SCHEDULES
	E31-32 ELEC. RISER DIAGRAM & SCHEDULES
	E51-52 ELEC. SPECS.
	MISCELLANEOUS
	MSC1 BLDG. SECUR. PLANS
SCOPE OF WORK	
CIVIL: SEE CIVIL DRAWING PAGES ARCH.: SEE SPECIFICATIONS STRUCTURAL: SEE APPLICABLE DRAWING PAGES FIRE PROTECT.: SEE APPLICABLE DRAWING PAGES MECHANICAL/PLUMBING: SEE MEP SPECS ELECTRICAL: SEE MEP SPECS	
GENERAL NOTES	
AS-BUILT DIMENSIONS ARE APPROXIMATE, VERIFY IN FIELD UNLESS NOTED OTHERWISE. DISCREPANCIES SHOULD BE BROUGHT TO ATTENTION OF ARCHITECT BEFORE CONSTRUCTION BEGINS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS, COUNTY STANDARDS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND AMENDMENTS. CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY COUNTY OFFICIALS. CONTRACTOR SHALL COMPLY WITH CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION.	
ATTACHMENTS	
PROJECT SPECIFIC ATTACHMENTS INCLUDE: TECHNICAL SPECIFICATIONS, PERMIT APPLICATIONS, PERMIT VALUATION FORMS, ENERGY CERTIFICATION FORMS, COMCHECK FORMS, ROADSIDE AFFIDAVIT, ADA COMPLIANCE FORM,	

MICHE BOOZ
 ARCHITECT

206 Market St
 Brydgette
 Maryland 20833
 (301) 774-6511
 fax: 774-1908

PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10054. Expiration Date: 09/14."

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
 Renovated Community House + Addition at
 Sandy Spring Monthly Meeting
 17715 Meeting House Road, Sandy Spring, MD 20860

SCALE (FEET):	
REVISIONS:	
Rev. No.	Reason
Date	Rev. No.
	Reason
	Date

SHEET TITLE: COVER SHEET 1

DATE: 11/14/2012

SHEET:
CS1

CODE ANALYSIS (IBC, 2012)

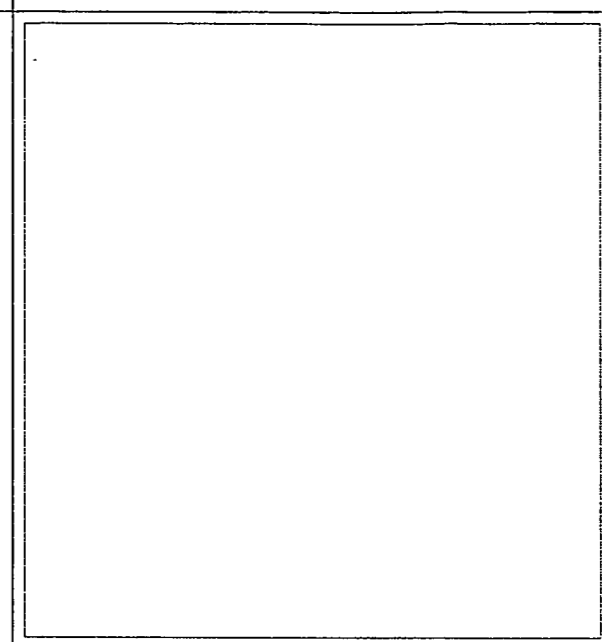
PROPOSED CONDITION	REQUIRED/ALLOWABLE	CODE SECTION OR TABLE
OCCUPANCY GROUP: A-3 USE: RELIGIOUS EDUCATION W/ NONSEPARATED MIXED OCCUPANCIES: S1-STORAGE SPECIAL USE/OCCUP.: N/A CHANGE OF USE: N/A		CHAPTER 3 IEBC 1101.3 508
OCCUPANCY CALCULATIONS: First Floor: • Assembly=1620sf=230 occup's. • Classroom=1586sf=81 occup's. • B'ness Areas=159sf=2 occup's • Kitchen=458sf=3 occup's ••• Sub-total=316 occupants Second Floor: • Classroom=1806sf=91 occup's. Attic Floor: • Storage/HVAC=1775sf= 6occup's	MAX. FLOOR AREA PER OCCUPANT: • Assembly function: 7 sf net (Concentrated: chairs, only) • Classrooms: 20 sf net • Business office: 100 sf gross • Kitchen: 200 sf gross • Storage/HVAC: 300 gross	TABLE 1004.1.1
TOTALS: 316 + 91 + 6 respectively= TOTAL 413 occupants		
CONSTRUCTION TYPE: V-B	Entire building meets all requirements of this construction type.	CHAPTER 6
BUILDING HEIGHT Existing construction: V-B Feet: 25' (See Grade Plane Diag.) Stories: 2	ALLOWABLE HEIGHT Existing construction: V-B Feet: 60' (w/ sprinkler) Stories: 2 (w/ sprinkler)	DEFINITIONS PER 502.1, TABLE 503, SPECIAL ALLOWANCES PER 504-509
BUILDING AREA PER STORY: First Floor: 5,615 sf Second Floor: 2,700 sf Attic: 1,925 sf (Non-Occupiable)	ALLOWABLE AREA: Per Story: 6000 sf	DEFINITIONS PER 502.1, TABLE 503, SPECIAL ALLOWANCES PER 504-509
STRUCTURAL ENGINEERING DESIGN LOADS:		CHAPTERS 16-23
FLOOR LIVE LOADS: 1) SLAB ON GRADE 100 PSF 2) STAIRS 100 PSF 3) OFFICES 50 PSF 4) LOBBY/CORRIDORS 100 PSF 5) ASSEMBLY AREAS 100 PSF	ROOF LIVE LOADS: 1) MIN. LIVE LOAD 30 PSF 2) GROUND SNOW LOAD (Pg) 30 PSF 3) FLAT ROOF SNOW LOAD (Pf) 21 PSF 4) SNOW EXPOSURE FACTOR (Ce) 1.0 5) SNOW LOAD IMPORTANCE FACTOR (Is) 1.0 6) THERMAL FACTOR (Ct) 1.0	
WIND LOAD: 1) BASIC WIND SPEED (3 SEC. GUST) 90 MPH 2) WIND LOAD IMPORTANCE FACTOR (Iw) 1.0 3) WIND EXPOSURE B 4) INTERNAL PRESSURE COEFFICIENT 0.18	SEISMIC LOAD: 1) DESIGN CATEGORY B 2) SITE CLASS D	
FLOOD HAZARD: NONE		
MEANS OF EGRESS: 1) EXIT ACCESS WIDTHS (AT EACH FLOOR): LOWER FLOOR OTHER (OL*0.2) = 24*.2 = 4.8" OR NOT LESS THAN 36" FOR <50 OCCUPANTS		CHAPTER 10 1005
2) EXIT LOCATIONS/QUANTITIES: 2 exits at grade level; TRAVEL DISTANCE: N/A COMMON PATH OF TRAVEL: N/A		1015, TABLE 1015.1 TABLE 1016.1 1014.3
3) EXIT DISCHARGE PATHS TO PUBLIC WAY: 2 exits discharge directly to paths to public way.		1027

TO BE REVISED

ABBREVIATIONS

ABV ABOVE	MFR MANUFACTURER
AC AIR CONDITIONING	MIN MINIMUM
ADJ ADJACENT, ADJUSTABLE	MIR MIRROR
AFF ABOVE FINISHED FLOOR	MISC MISCELLANEOUS
ALT ALTERNATE	MLDG MOLDING
ALUM ALUMINUM	MO MASONRY OPENING
APC ACOUSTICAL PANEL CEILING	MTL METAL
AR AREA OF REFUGE	N NORTH
ARCH ARCHITECT(URAL)	NC NON-CONTRIBUTING RESOURCE
ATC ACOUSTICAL TILE CEILING	NIC NOT IN CONTRACT NUMBER
APPROX. APPROXIMATE	NOM NOMINAL
AT AT	NTS NOT TO SCALE
AVG AVERAGE	OC ON CENTER
AWP ACOUSTICAL WALL PANEL	OD OUTSIDE DIAMETER
BTW BETWEEN	OPNG OPENING
BD BOARD	OPP OPPOSITE
BLDG BUILDING	OWS OPEN WEB STEEL
BLKG BLOCKING	PERF PERFORAT(E), (ED)
BM BEAM	PL PLATE
BRK BRICK	PLAM PLASTIC LAMINATE
BOT BOTTOM	PLAS PLASTER
CAB CABINET	PLYWD PLYWOOD
CEM CEMENT	PNL PANEL
CIP CAST IN PLACE	PNT PAINT(ED)
CJ CONTROL JOINT	PSF POUNDS PER SQUARE FOOT
CL CENTER LINE	PSI POUNDS PER SQUARE INCH
CLG CEILING	PT PRESSURE TREATED
CLO CLOSET	PTN PARTITION
CM CONSTRUCTION MANAGER	PVC POLYVINYL CHLORIDE
CT CERAMIC TILE	RAD RADIUS
CTSK COUNTERSINK/COUNTERSUNK	RB RUBBER BASE
CO CASED OPENING	RD ROOF DRAIN
COL COLUMN	RE REFER TO
CONC CONCRETE	REFR REFRIGERA(NT), (TOR)
CONT CONTINUOUS	REINF REINFORC(E), (ED), (ING)
CORR CORRIDOR, CORRIGATED	REQD REQUIRED
CMU CONCRETE MASONRY UNIT	RES RESILIENT
CPT CARPET(ED)	REV REVISION
CT CERAMIC TILE	RH ROOM
CU FT CUBIC FEET	R ROUGH OPENING
DEMO DEMOLISH	RIS RISER
DET DETAIL	RM ROOM
DIA DIAMETER	RT RUBBER TILE
DIAG DIAGONAL	S SOUTH
DIM DIMENSION	SCHED SCHEDULE(E), (ED)
DN DOWN	SD STORM DRAIN
DR DOOR	SEC SECTION
DS DOWN SPOUT	SHT SHEET
DWG(S) DRAWING(S)	SIM SIMILAR
E EAST	SIP STRUCT. INSUL. PANEL
EA EACH	SPEC SPECIAL
EJ EXPANSION JOINT	SQ SQUARE
EL ELEVATION	S/S STAINLESS STEEL, SOLID SURFACE
ELEC ELECTRICAL	STD STANDARD
ELEV ELEVATOR	STL STEEL
EMER EMERGENCY	STN STAINED
EPDM ETHYLENE PROPYLENE DIENE MONOMER	STRUCT STRUCTURAL
EQUIP EQUIPMENT	SUSP SUSPENDED
EQ EQUAL	T & G TONGUE AND GROOVE TO BE DETERMINED
EXG EXISTING	TBD TO BE SPECIFIED
EXT EXTERIOR	TEL TELEPHONE
FT FEET	THK THICK(NESS)
FF FINISHED FLOOR	TME TO MATCH EXISTING
FLR FLOOR	TO TOP
FNDN FOUNDATION	TOM TOP OF MASONRY
GALV GALVANIZED	TOS TOP OF STEEL
GR GRADE	TOW TOP OF WALL
GWB GYPSUM WALL BOARD	T TREAD
HT HEIGHT	TV TELEVISION
ID INSIDE DIAMETER	TYP TYPICAL
IN INCH	UG, U/G UNDERGROUND
INCL INCLUDE(E),(ED),(ING)	UNO UNLESS NOTED OTHERWISE
INSUL INSULAT(E), (TION),(ION)	VCT VINYL COMPOSITION TILE
INT INTERIOR	VERT VERTICAL
JAN JANITOR	VIF VERIFY IN FIELD
JOINT JOINT	VN VINYL
KITCHEN KITCHEN	W WEST, WIDE, WIDTH
KO KNOCK OUT	W/ WITH
L LABORATORY	WC WALLCOVERING, WATERCLOSET
LAM LAMINATE(E), (ED), (ION)	WD WOOD
LAV LAVATORY	W/O WITHOUT
LINO LINOLEUM	WP WATER PROOF
LT LIGHT	WT WEIGHT
MAS MASONRY	W/W WHITEWASH
MAT MATERIAL	
MAX MAXIMUM	
MECH MECHANICAL	
MED MEDIUM	

SITE PLAN (FOR KEY REFERENCE ONLY)



SYMBOLS

- PLAN DATUM
- DOOR #
- WINDOW INDICATOR
- DETAIL INDICATOR
- SECTION INDICATOR
- NEW WOOD FRAMING
- EXISTING WOOD FRAMING
- CONCRETE
- WOOD SHINGLES
- FOAM INSUL.
- DEMOLITION (PLAN)
- MASONRY (PLAN)
- STONE (PLAN)
- STONE (ELEVATION)
- RIGID INSUL.
- PLYWOOD, LAM. WOOD
- BLOCKING
- EARTH (ELEVATION)
- EARTH (PLAN)
- BATT INSUL.

CONTACTS

Owners Representatives See Cover Sheet

Civil Engineer
Oyster, Imus, Petzold, and Associates, LLC
T: (301) 949-2011 F: (301) 949-2013
Contact: Peter Noursi, P.E.
peter.noursi@oipengineering.com

Architect
Miche Booz Architect, Inc.
T: 301-774-6911 F: 301-774-1908
Contact: Joe Harris, Associate
jharris@michebooz.com

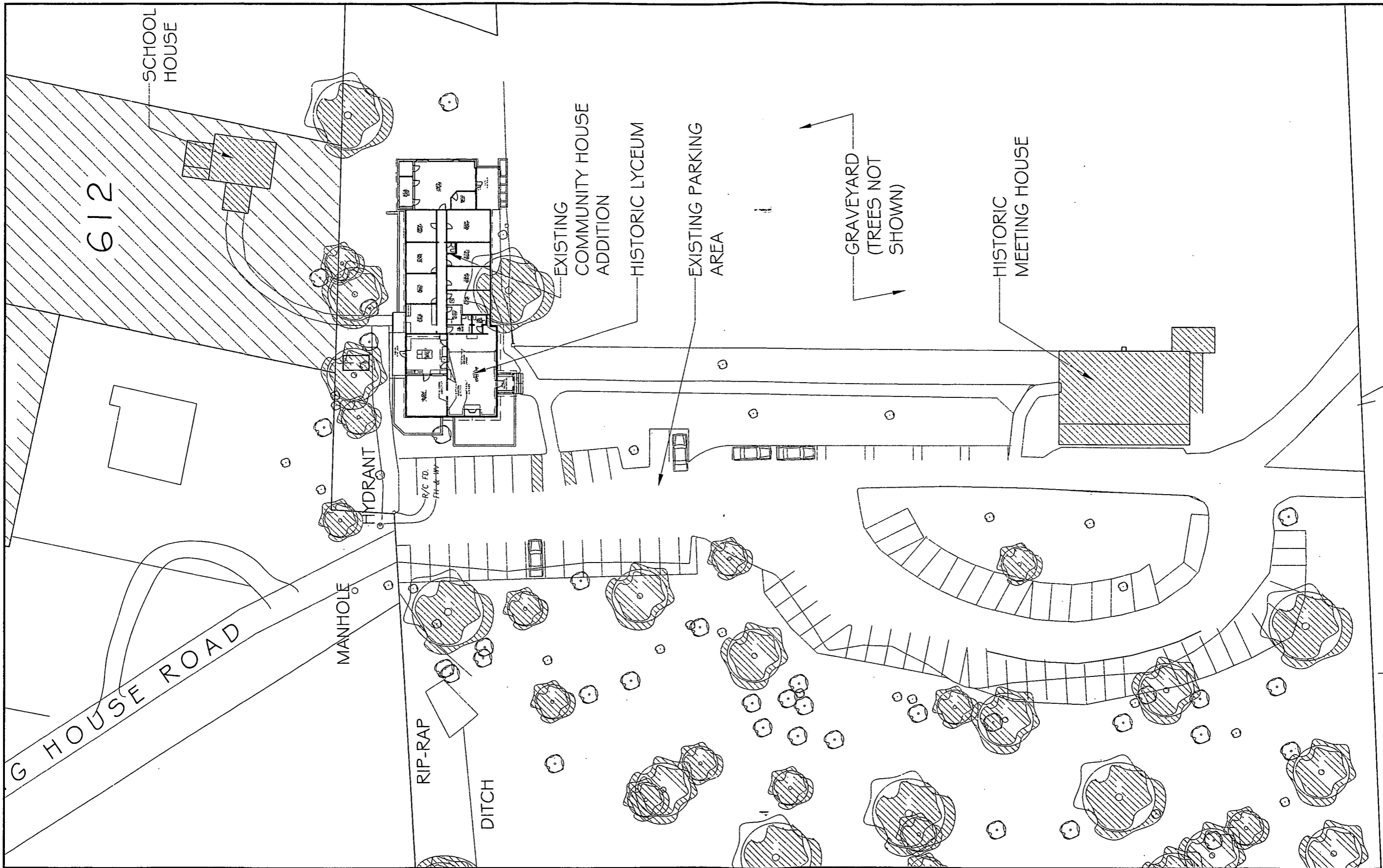
Structural Engineer
Soil & Structure Consulting, Inc.
T: (703) 391-8911
Contact: Andy Fulumbarker, PE
andy@solandstructure.com

Fire Protection Services
Hughes Associates Inc.
T: 410.737.8677
Contact: Scott Golly, P.E.,
sgolly@halfire.com

Mechanical-Electrical-Plumbing Engineers
SRBR Engineers, Inc.
T: 410.869.7282
Contact: Don Gray, P.E.
dgray@srbr.com

SANDY SPRING MONTHLY MEETING COMMUNITY HOUSE + ADDITION

 MICHE BOOZ ARCHITECT 205/Warrel St Baltimore, MD 21202 (410) 774-6911 Fax: 774-1908	PROFESSIONAL CERTIFICATION: *I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 8/31/14.	SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860	SHEET TITLE: COVER SHEET 2 SCALE (FEET): REVISIONS: <table border="1" style="font-size: 8px;"> <tr> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	Rev. No.	Reason	Date	Rev. No.	Reason	Date							DATE: 11/14/2012 SHEET: <h2 style="text-align: center;">CS2</h2>
	Rev. No.	Reason	Date	Rev. No.	Reason	Date										



EXISTING CONDITION SITE PLAN

MICHE BOOZ
ARCHITECT
202 Market St
Baltimore, MD 21201
(410) 524-6911
fax: 774 1968

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SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

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SHEET TITLE: EXISTING CONDITION SITE PLAN

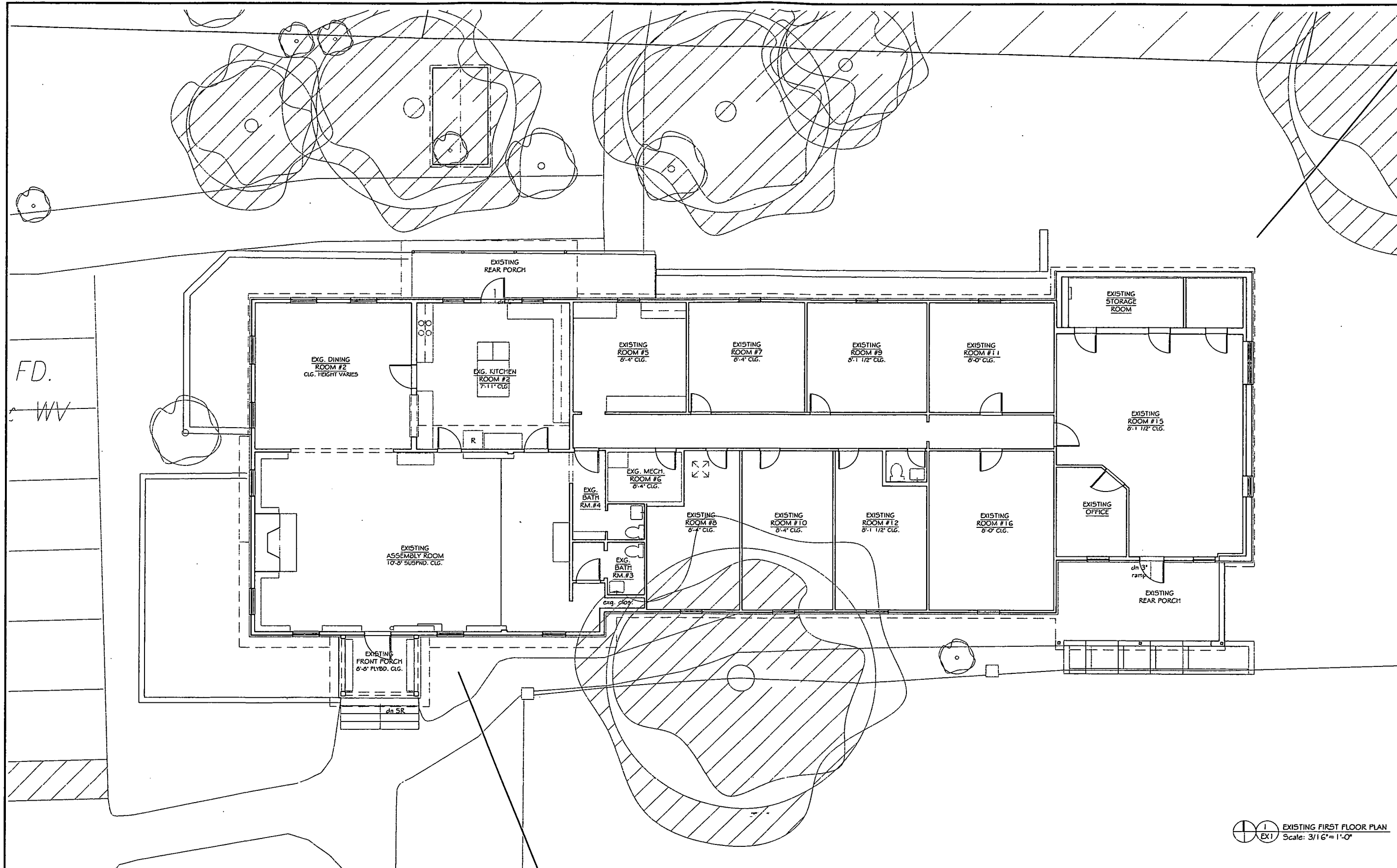
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Rev. No.	Reason	Date	Rev. No.	Reason	Date

REVISIONS:

DATE: 11/14/2012

SHEET:
C1



EXISTING CONDITION NOTES

1: EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE CONSTRUCTION MANAGER.

2: INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O. EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING OR MASONRY U.N.O. ELEVATION DIMENSIONS ARE TO FINISH FLOOR, U.N.O.

3: ALL NOTES REFER TO EXISTING CONDITIONS UNLESS NOTED OTHERWISE (U.N.O.).

WALL LEGEND
EXISTING TO REMAIN:

1
EX1 EXISTING FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"

MICHE BOOZ
ARCHITECT
208 Market St
Baltimore, MD 21201
(410) 774-5911
Fax: 774-1908

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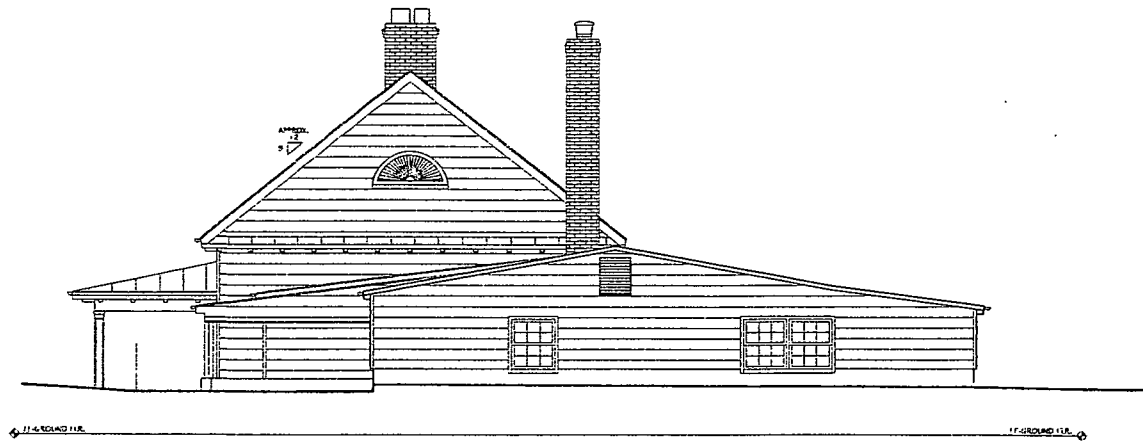
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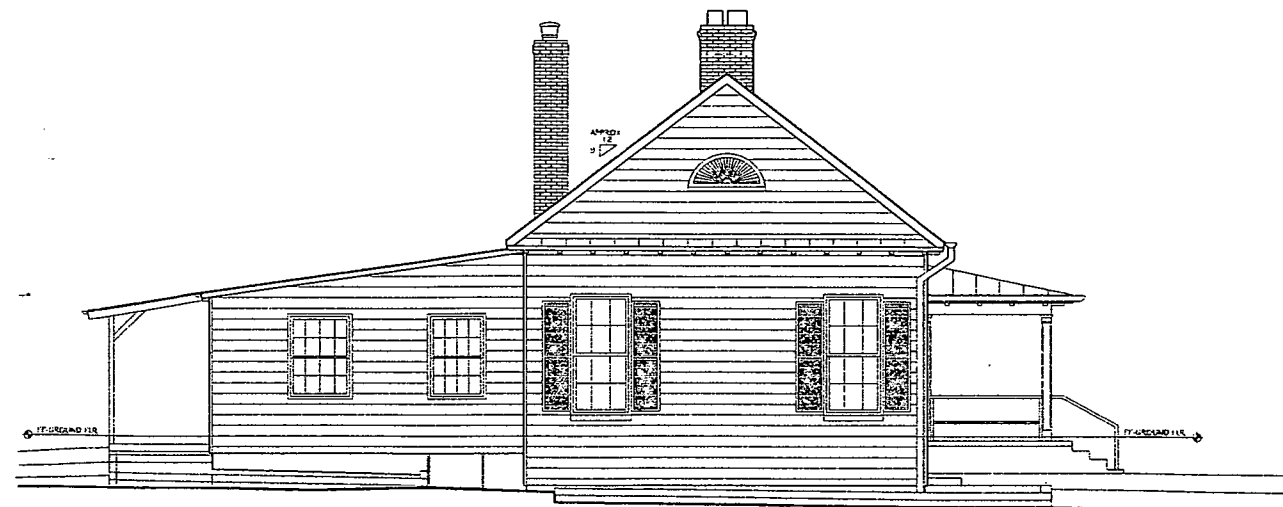
SCALE (FEET): 1 0 2 4 8 16

REVISIONS:		Rev. No.	Reason	Date	Rev. No.	Reason	Date

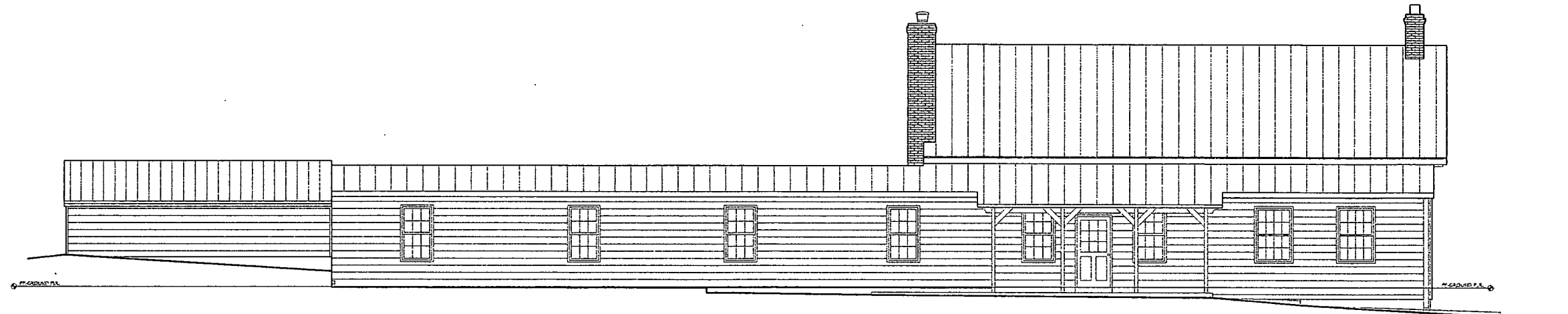
DATE: 11/14/2012
SHEET: EX1



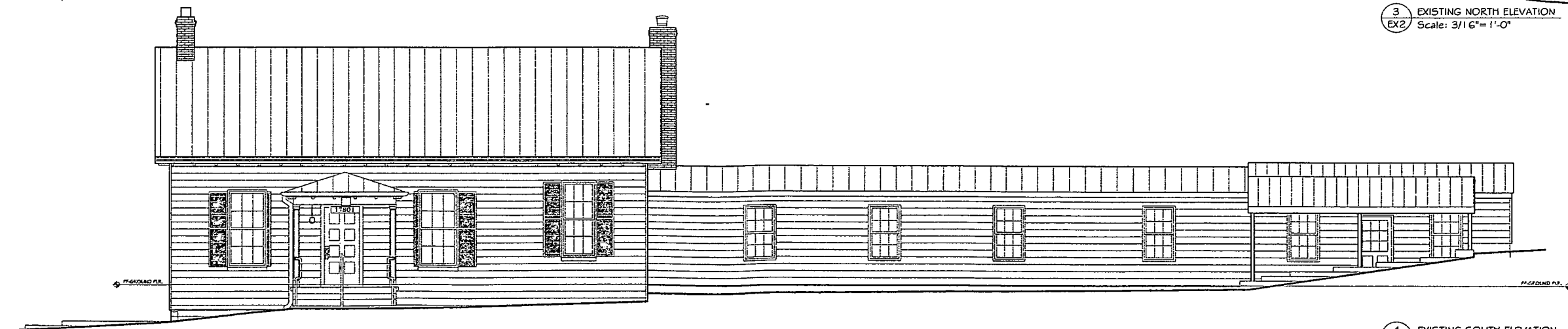
1 EXISTING EAST ELEVATION
EX2 Scale: 3/16" = 1'-0"



2 EXISTING WEST ELEVATION
EX2 Scale: 3/16" = 1'-0"



3 EXISTING NORTH ELEVATION
EX2 Scale: 3/16" = 1'-0"



4 EXISTING SOUTH ELEVATION
EX2 Scale: 3/16" = 1'-0"

**EXISTING
CONDITION
NOTES**

- 1: EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE CONSTRUCTION MANAGER.
- 2: INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O. EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING OR MASONRY U.N.O. ELEVATION DIMENSIONS ARE TO FINISH FLOOR, U.N.O.
- 3: ALL NOTES REFER TO EXISTING CONDITIONS UNLESS NOTED OTHERWISE (U.N.O.).

PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/31/14."

MICHE BOOZ
ARCHITECT
208 North St
Brykewille
Maryland 20833
(301)774 9211
fax: 774 1908

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

SHEET TITLE: EXISTING CONDITION ELEVATIONS

DATE: 11/14/2012

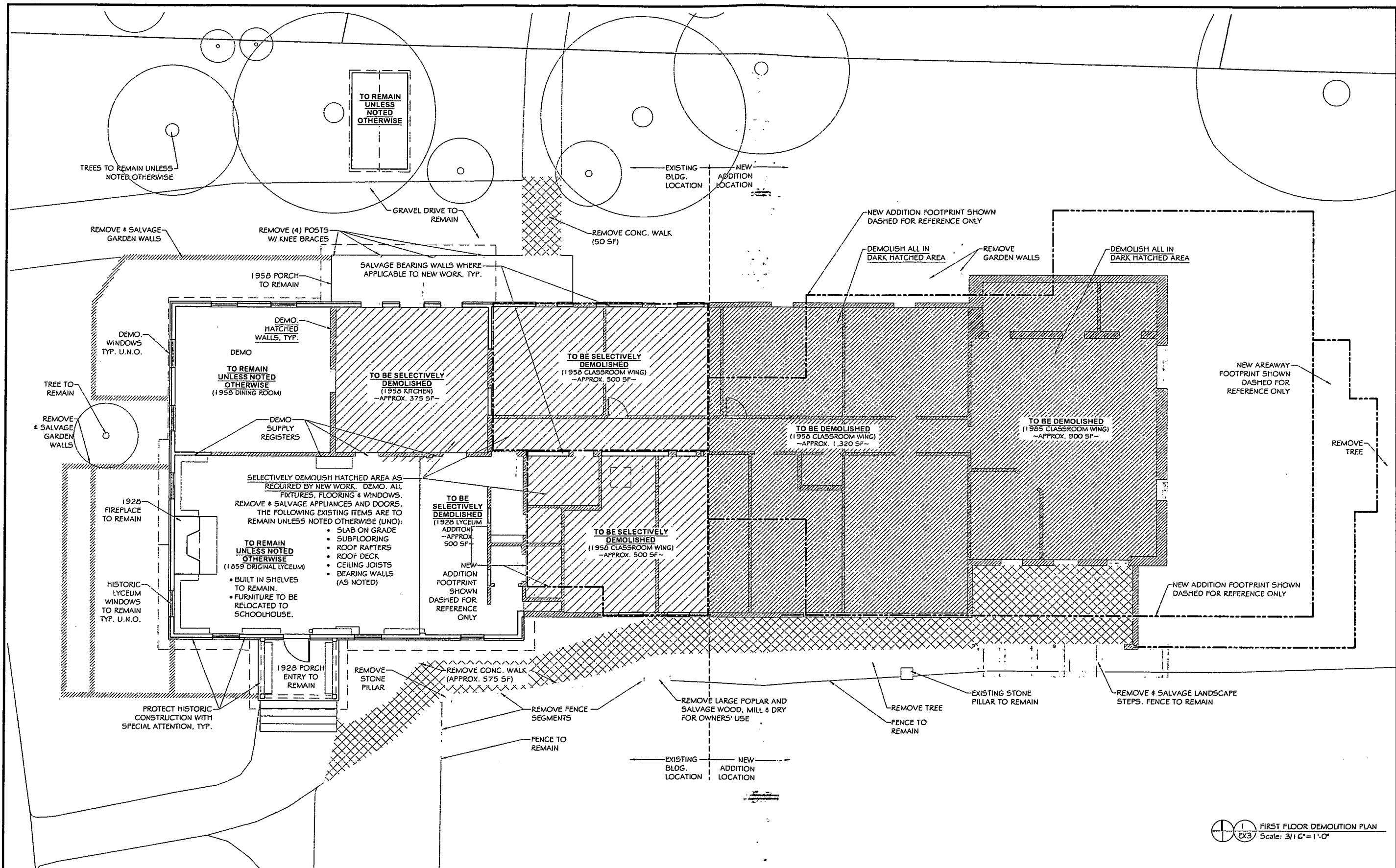
PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

SCALE (FEET): 1 0 1 2 4 8 16

SHEET:

REVISIONS:		Rev. No.	Reason	Date	Rev. No.	Reason	Date

EX2



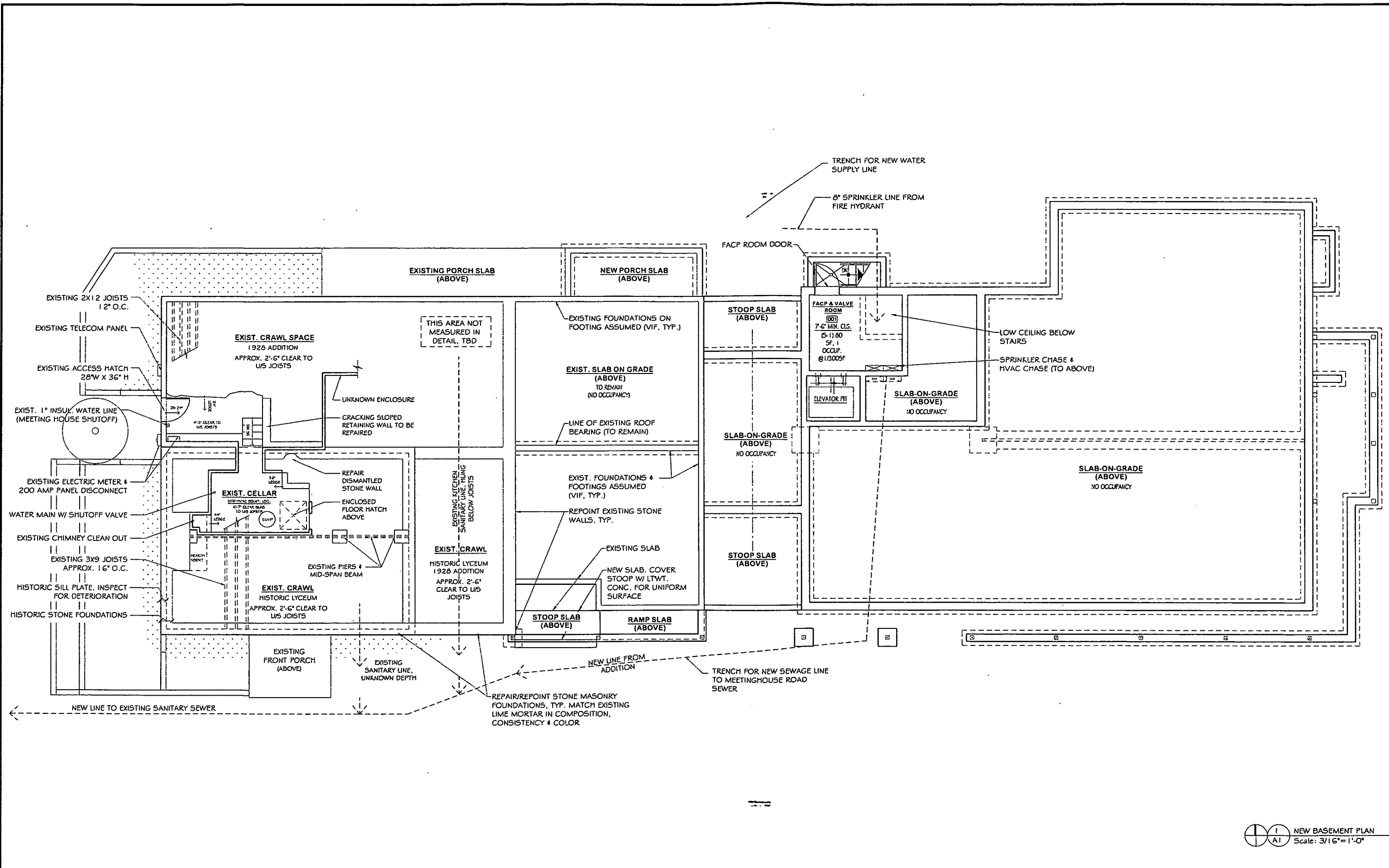
DEMOLITION NOTES

- DEMOLITION TO BE CARRIED OUT IN SUCH A MANNER THAT THE REMAINING STRUCTURE IS SAFE AND IN ACCORDANCE WITH ALL APPLICABLE CODES.
- REFER TO SPECIFICATIONS FOR ADDITIONAL HISTORIC DEMOLITION REQUIREMENTS.
- REFER TO ARCHITECTURAL SECTIONS AND STRUCTURAL NOTES FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- REMOVE ALL EXISTING WIRING AND ELECTRIC FIXTURES AND EQUIPMENT UNLESS NOTED OTHERWISE. DO NOT REMOVE WIRING AND DEVICES ASSOCIATED WITH EXISTING FIRE ALARM, DETECTION, AND FIRE SUPPRESSION SYSTEMS TO REMAIN.

WALL LEGEND
EXISTING TO REMAIN:

1
EX3 FIRST FLOOR DEMOLITION PLAN
Scale: 3/16" = 1'-0"

<p>206 Adelphi St Baltimore, MD 21201 (410) 524-0911 Fax: 774 1008</p>	<p>PROFESSIONAL CERTIFICATION:</p> <p>"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10094, Expiration Date: 9/31/14."</p>	<p>SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS</p> <p>PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860</p>	<p>SHEET TITLE: FIRST FLOOR DEMOLITION PLANS</p> <p>SCALE (FEET): 1 0 1 2 4 8 16</p> <p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev. No.	Reason	Date	Rev. No.	Reason	Date							<p>DATE: 11/14/2012</p> <p>SHEET: EX3</p>
	Rev. No.	Reason	Date	Rev. No.	Reason	Date										

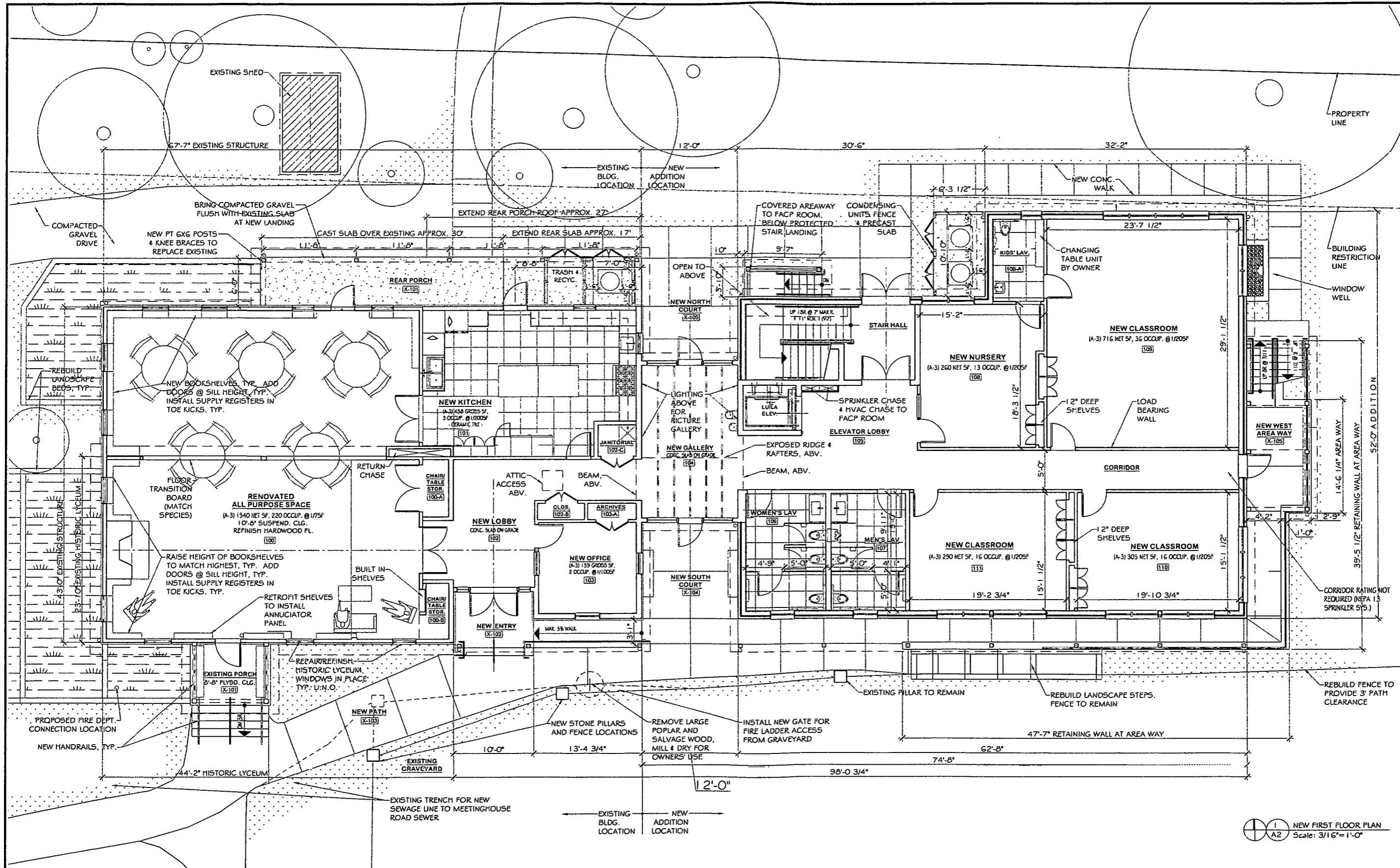


BASEMENT WORK NOTES

- EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE ARCHITECT.
- INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O.
- REPAIR & REPOINT CRACKS AND FISSURES IN EXISTING WALLS.
- EXTERIOR FRAMING TO BE 2 X 6'S, UNLESS NOTED OTHERWISE.
- INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- PLAN DIMENSIONS TO ROUGH FRAMING OR MASONRY, U.N.O.
- ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.
- PROVIDE BLOCKING IN WALLS FOR ALL EQUIPMENT, ACCESSORIES & SIGNAGE, INCLUDING THOSE ITEMS NOTED "N.I.C."
- PROVIDE INSULATION VALUES ACCORDING TO COMcheck REPORT(S), ATTACHED.

NEW BASEMENT PLAN
Scale: 3/16" = 1'-0"

MICHE BOOZ ARCHITECT 206 Annapolis St Brydenville Maryland 20833 (301) 774 6911 Fax: 774 1908	PROFESSIONAL CERTIFICATION: "I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/30/14."	SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860	SHEET TITLE: NEW BASEMENT PLAN SCALE (FEET): 1 0 1 2 4 8 16 REVISIONS: <table border="1"> <thead> <tr> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev. No.	Reason	Date	Rev. No.	Reason	Date							DATE: 11/14/2012 SHEET: <h1>A1</h1>
	Rev. No.	Reason	Date	Rev. No.	Reason	Date										



FIRST FLOOR WORK NOTES

- EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE ARCHITECT.
- INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O.
- REPAIR & REPOINT CRACKS AND FISSURES IN EXISTING WALLS.
- EXTERIOR FRAMING TO BE 2 X 6'S, UNLESS NOTED OTHERWISE.
- INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- PLAN DIMENSIONS TO ROUGH FRAMING OR MASONRY, U.N.O.
- ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.
- PROVIDE BLOCKING IN WALLS FOR ALL EQUIPMENT, ACCESSORIES & SIGNAGE, INCLUDING THOSE ITEMS NOTED "N.I.C."
- 3/4" MAX. THRESHOLD HEIGHT AT ALL ENTRANCES, U.N.O.
- PROVIDE INSULATION VALUES ACCORDING TO COMcheck REPORT(S), ATTACHED.

EGRESS NOTES

OCCUPANCY LOADS:
 262 Net SF First Fl. (A-3 use = 19 occupants) +
 114 Gross SF First Fl. (B use = 2 occupants) +
 280 AndBary SF (A-3 restrooms = 0 occupants) =
 19 + 2 + 0 respectively =
 TOTAL 21 occupants

OCCUPANCY GROUP: A-3

MEANS OF EGRESS:
 1) EXIT ACCESS WIDTHS
 2) EXIT LOCATIONS/ QUANTITIES: 2 exits at grade level;
 3) EXIT DISCHARGE PATHS TO PUBLIC WAY: All exits discharge directly to paths to public way.

MICHE BOOZ
 ARCHITECT

208 Mount St
 Baltimore, MD 21201
 (410) 528-1111
 Fax: 774 1908

PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10884, Expiration Date: 8/8/14."

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
 Renovated Community House + Addition at
Sandy Spring Monthly Meeting
 17715 Meeting House Road, Sandy Spring, MD 20860

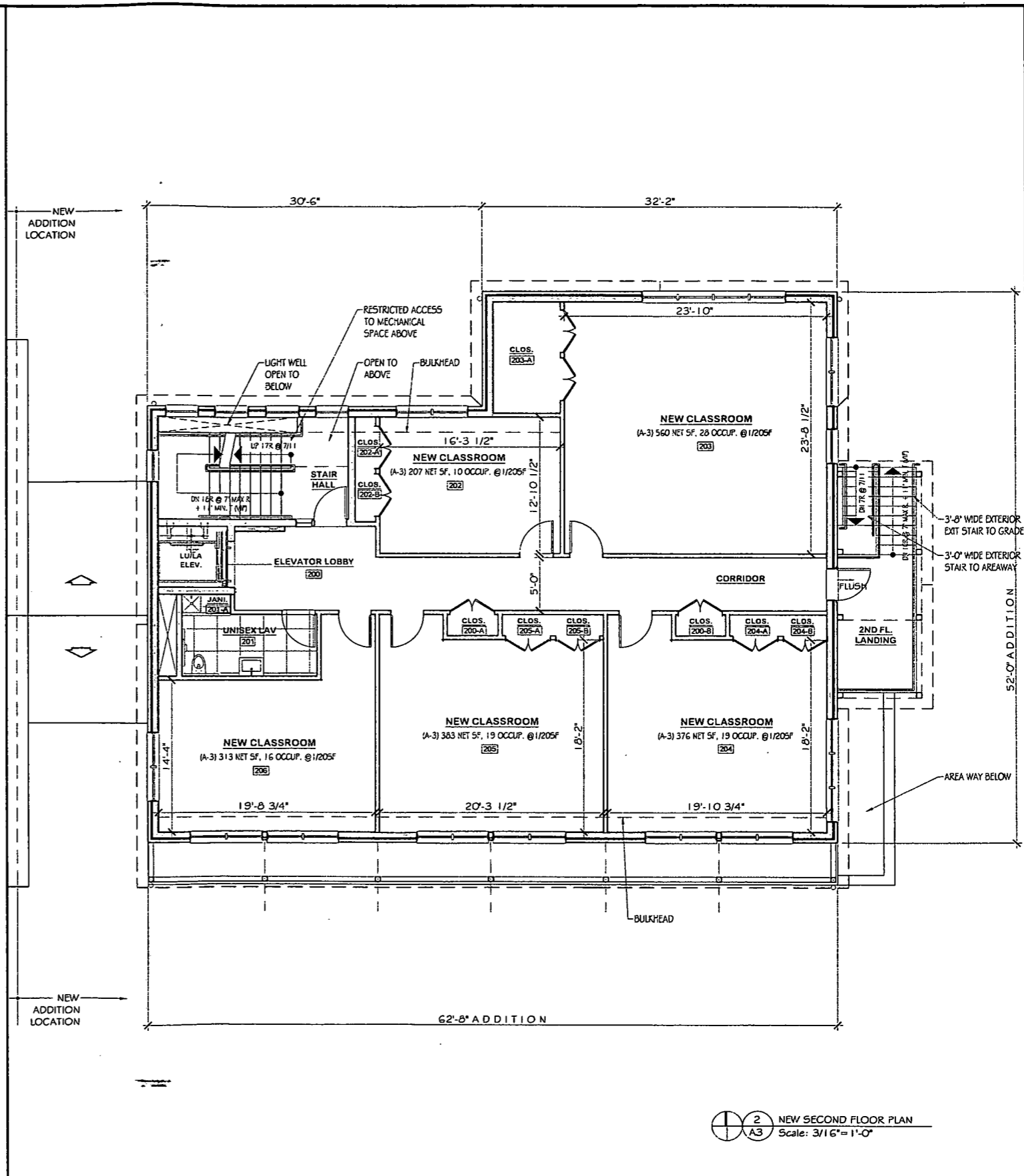
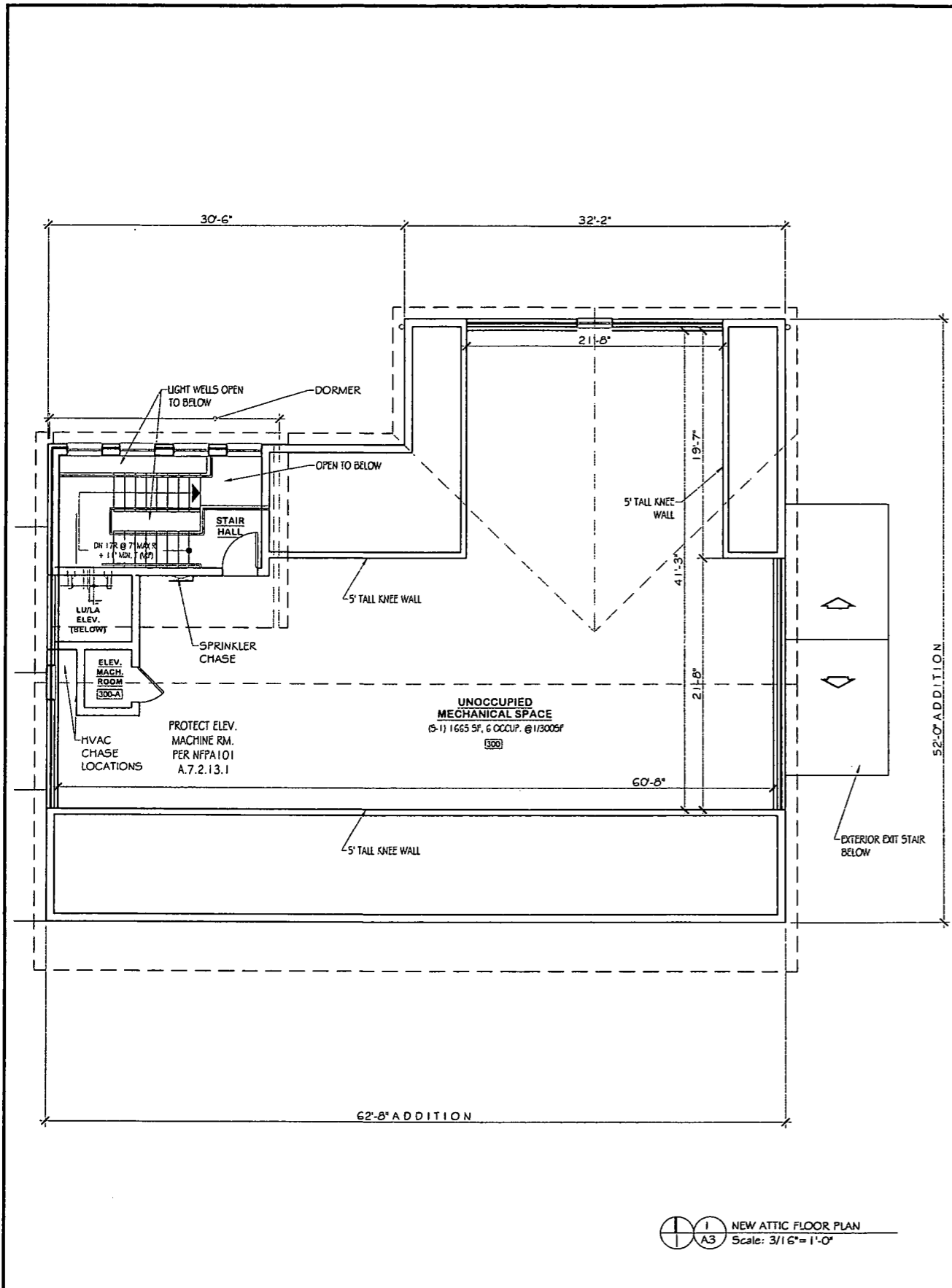
SHEET TITLE: NEW FIRST FLOOR PLAN

SCALE (FEET): 1 0 1 2 4 8 16

REV. NO.	REASON	DATE	REV. NO.	REASON	DATE

DATE: 11/14/2012

SHEET:
A2



SECOND FLOOR WORK NOTES

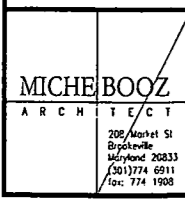
- EXISTING WALL LOCATIONS TO REMAIN TO BE VERIFIED IN FIELD, TYP. (V.I.F.). DISCREPANCIES TO BE BROUGHT TO ATTN. OF THE ARCHITECT.
- INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O.
- REPAIR & REPOINT CRACKS AND FISSURES IN EXISTING WALLS.
- EXTERIOR FRAMING TO BE 2 X 6'S, UNLESS NOTED OTHERWISE.
- INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- PLAN DIMENSIONS TO ROUGH FRAMING OR MASONRY, U.N.O.
- ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.
- PROVIDE BLOCKING IN WALLS FOR ALL EQUIPMENT, ACCESSORIES & SIGNAGE, INCLUDING THOSE ITEMS NOTED "N.I.C."
- 1/4" MAX. THRESHOLD HEIGHT AT ALL ENTRANCES, U.N.O.
- PROVIDE INSULATION VALUES ACCORDING TO COMcheck REPORT(S), ATTACHED.

EGRESS NOTES

OCCUPANCY LOADS:
262 Net SF First Fl. (A-3 use = 19 occupants) + 114 Gross SF First Fl. (B use = 2 occupants) + 280 Ancillary SF (A-3 restrooms = 0 occupants) = 19 + 2 + 0 respectively = TOTAL 21 occupants

OCCUPANCY GROUP: A-3

MEANS OF EGRESS:
1) EXIT ACCESS WIDTHS
2) EXIT LOCATIONS/QUANTITIES: 2 exits at grade level;
3) EXIT DISCHARGE PATHS TO PUBLIC WAY: All exits discharge directly to paths to public way.



PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/8/14."

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

SHEET TITLE: NEW SECOND FLOOR & ATTIC PLANS

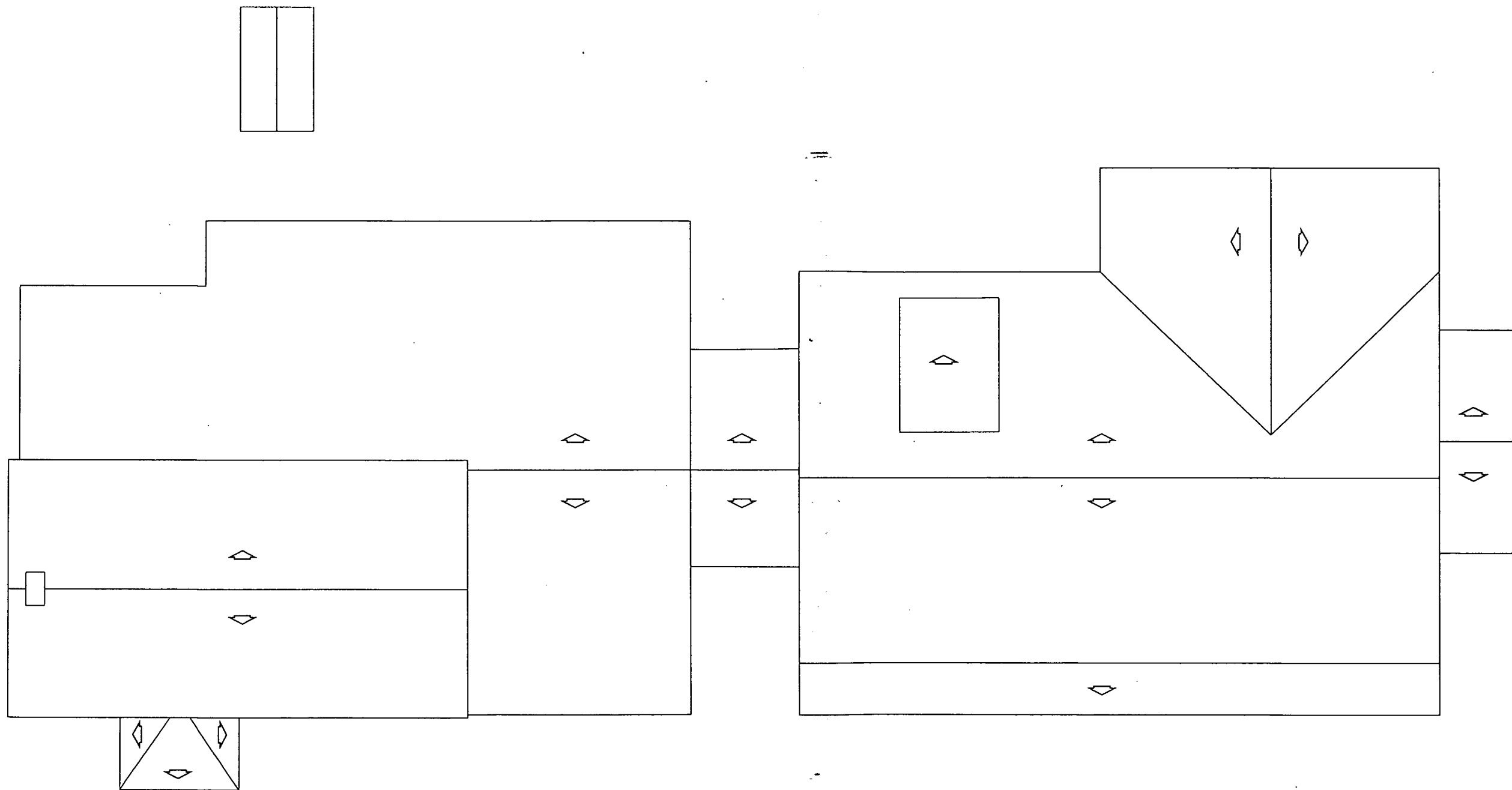
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REVISIONS:

Rev. No.	Reason	Date	Rev. No.	Reason	Date

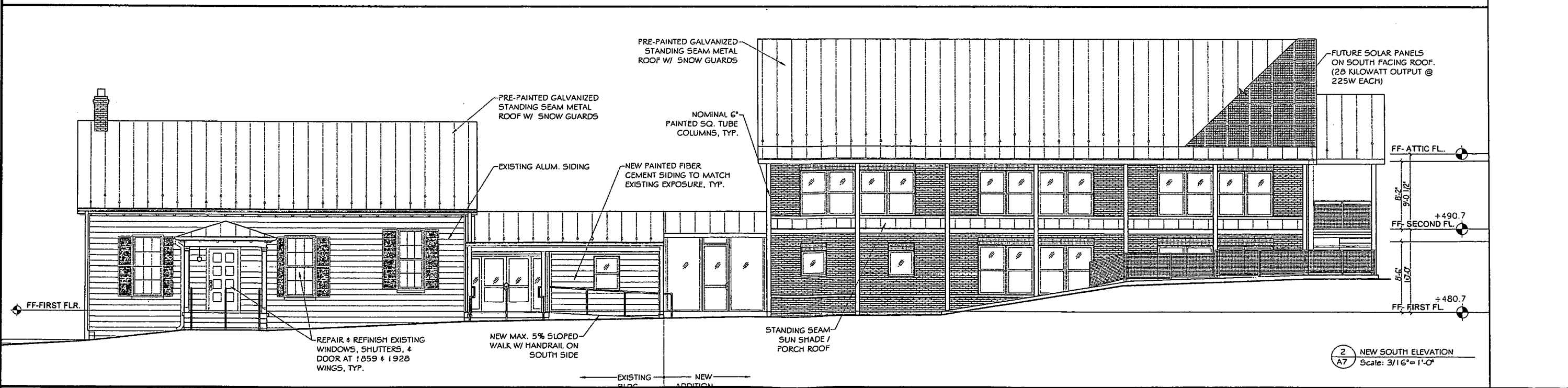
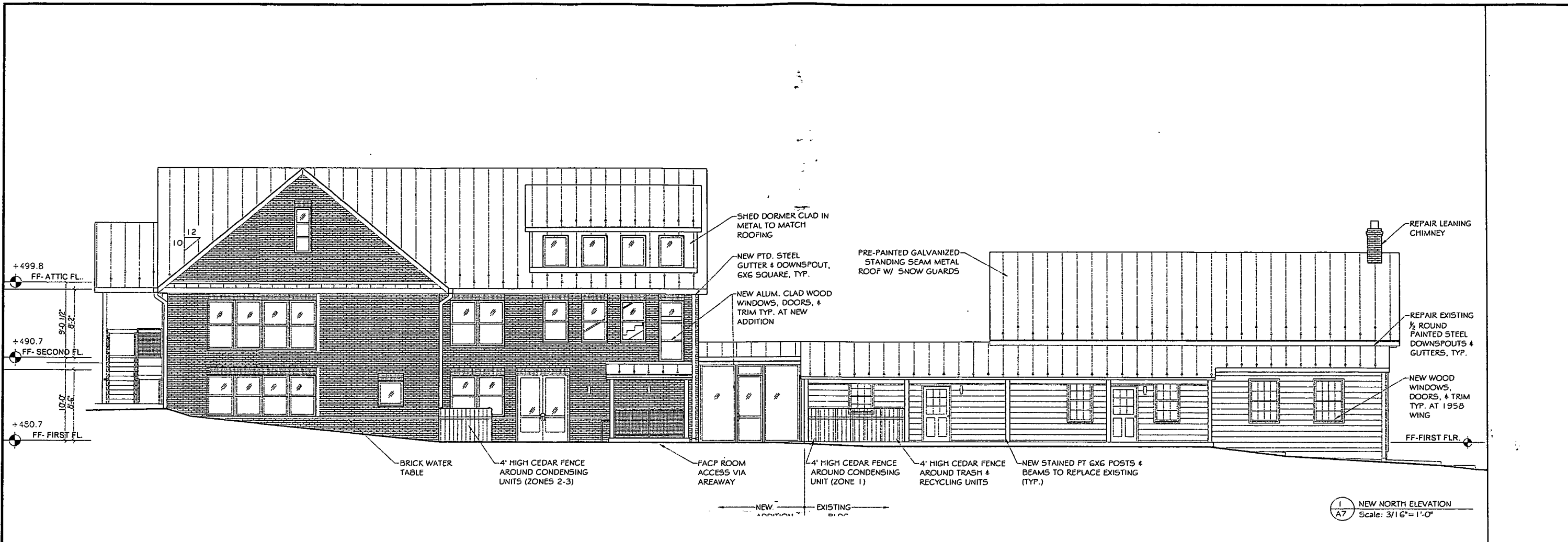
DATE: 11/14/2012

SHEET:
A3

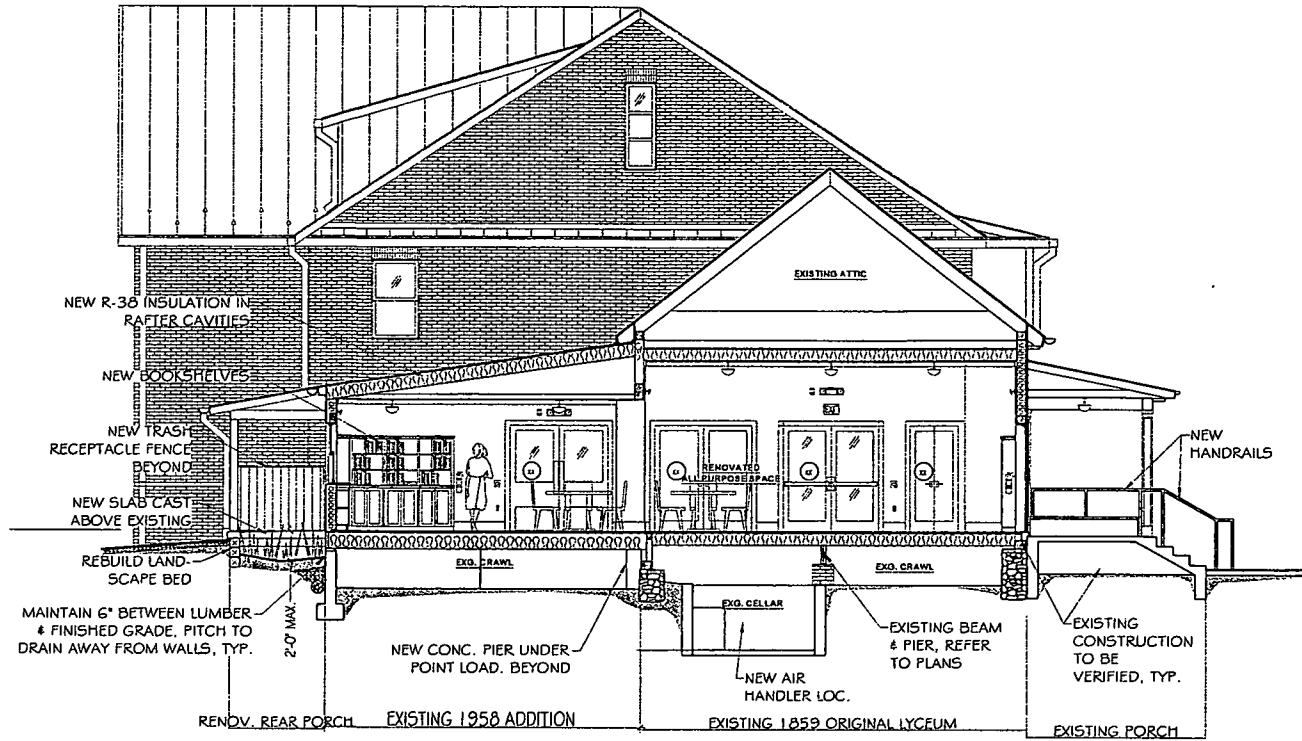


NEW ROOF PLAN
Scale: 3/16" = 1'-0"

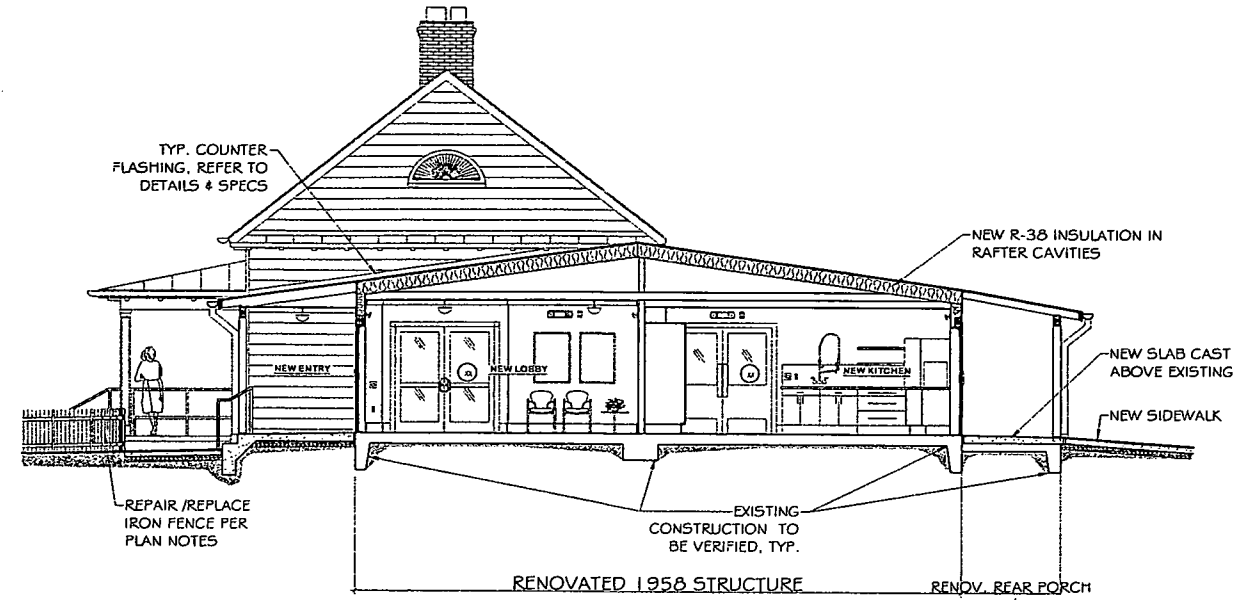
MICHE BOOZ ARCHITECT 208 Acorn St Baltimore, MD 21201 (410) 528-1111 Fax: 774 1908	PROFESSIONAL CERTIFICATION: "I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/8/14."	SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS	SHEET TITLE: NEW ROOF PLAN	DATE: 11/14/2012																			
	PROJECT: Renovated Community House + Addition at Sandy Spring Monthly Meeting 17715 Meeting House Road, Sandy Spring, MD 20860	SCALE (FEET): 1 0 1 2 4 8 16	REVISIONS: <table border="1"> <thead> <tr> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> <th>Rev. No.</th> <th>Reason</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			Rev. No.	Reason	Date	Rev. No.	Reason	Date												
	Rev. No.	Reason	Date	Rev. No.	Reason	Date																	
SHEET: A4																							



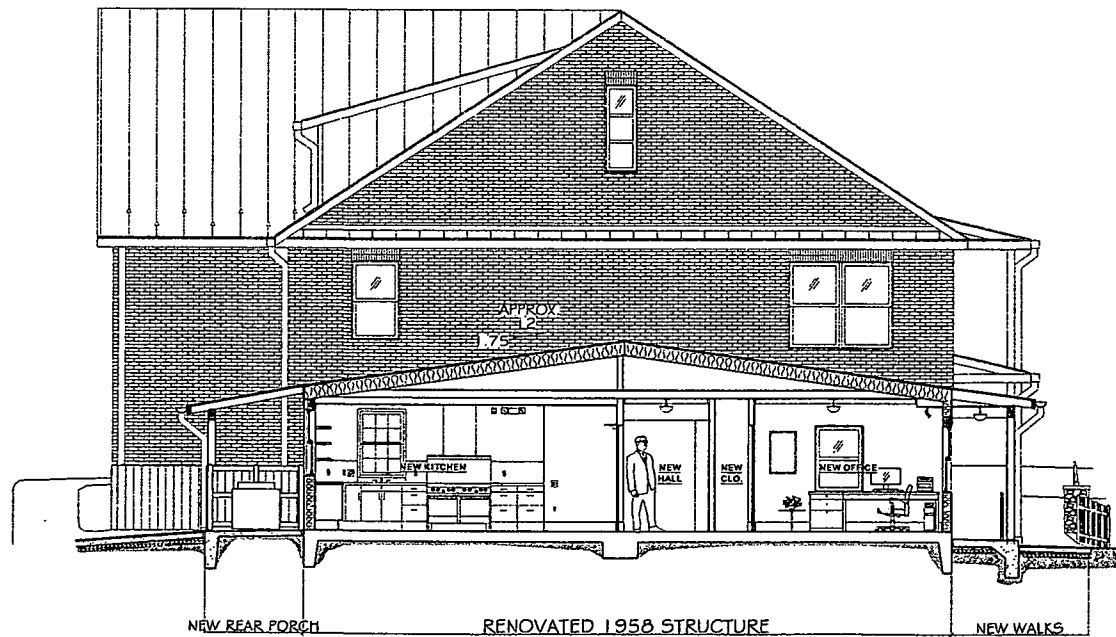
<p>208 Market St Baltimore, MD 21201 (410) 528-1111 Fax: 774 1908</p>	PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 8/31/14.	SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS	SHEET TITLE: NEW ELEVATIONS	DATE: 11/14/2012													
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	Rev. No.	Reason	Date	Rev. No.	Reason	Date											
SHEET: A7																	



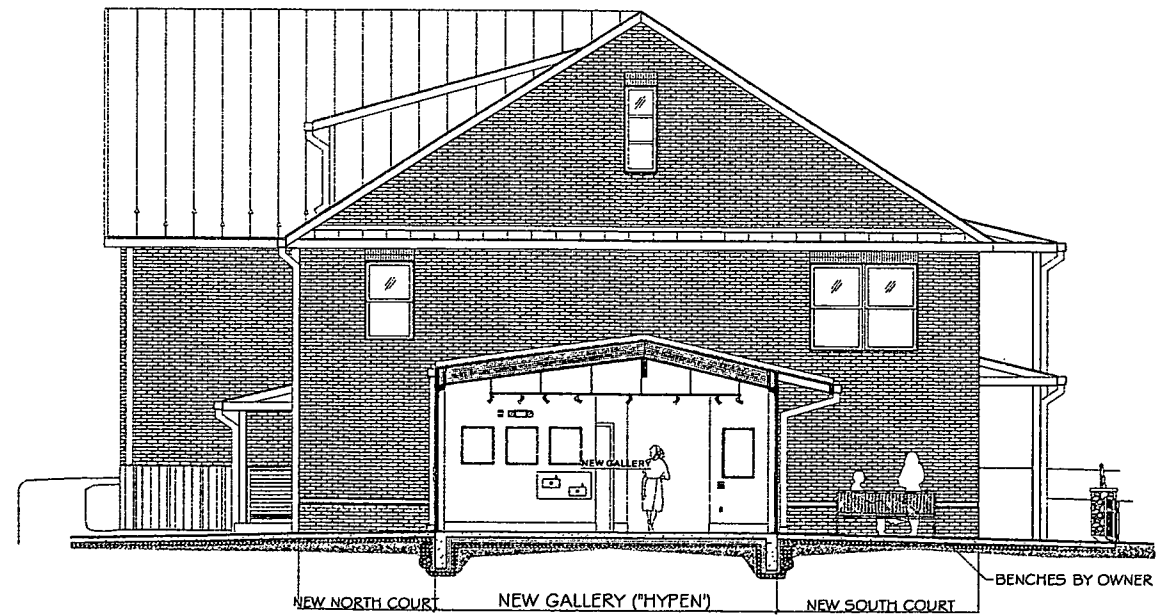
1 A-A SECTION
A9 Scale: 3/16" = 1'-0"



2 B-B SECTION
A9 Scale: 3/16" = 1'-0"



3 C-C SECTION
A9 Scale: 3/16" = 1'-0"



4 D-D SECTION
A9 Scale: 3/16" = 1'-0"

MICHE BOOZ
ARCHITECT
205 Alford St
Baltimore, MD 21201
(410) 774-8911
fax: 774-1908

PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10284, Expiration Date: 9/31/14."

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

SHEET TITLE: NEW SECTIONS

DATE: 11/14/2012

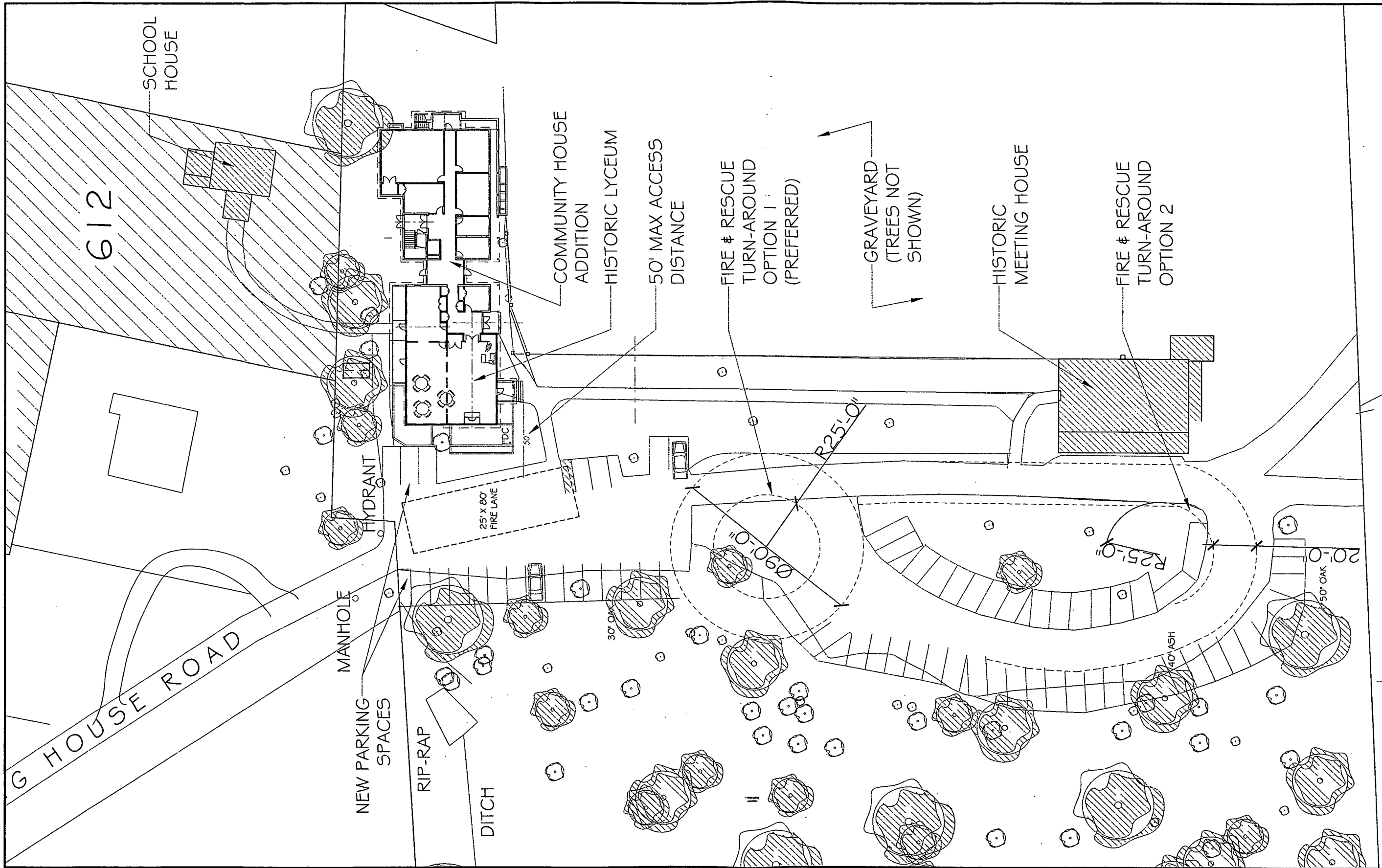
PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

SCALE (FEET): 1 0 1 2 4 8 16

SHEET:

REVISONS:	Rev. No.	Reason	Date	Rev. No.	Reason	Date

A9



PROPOSED SITE PLAN

MICHE BOOZ
ARCHITECT
206 Market St
Baltimore, MD 21201
Tel: 410.528.3333
Fax: 410.528.1111

PROFESSIONAL CERTIFICATION:
"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 10034, Expiration Date: 09/14."

SET: DESIGN DEVELOPMENT- PROGRESS DRAWINGS

PROJECT:
Renovated Community House + Addition at
Sandy Spring Monthly Meeting
17715 Meeting House Road, Sandy Spring, MD 20860

SHEET TITLE: PROPOSED SITE PLAN

SCALE (FEET): 0' 5' 10' 20' 40' 1:20

REV. NO.	REASON	DATE	REV. NO.	REASON	DATE

DATE: 11/14/2012

SHEET: **C2**