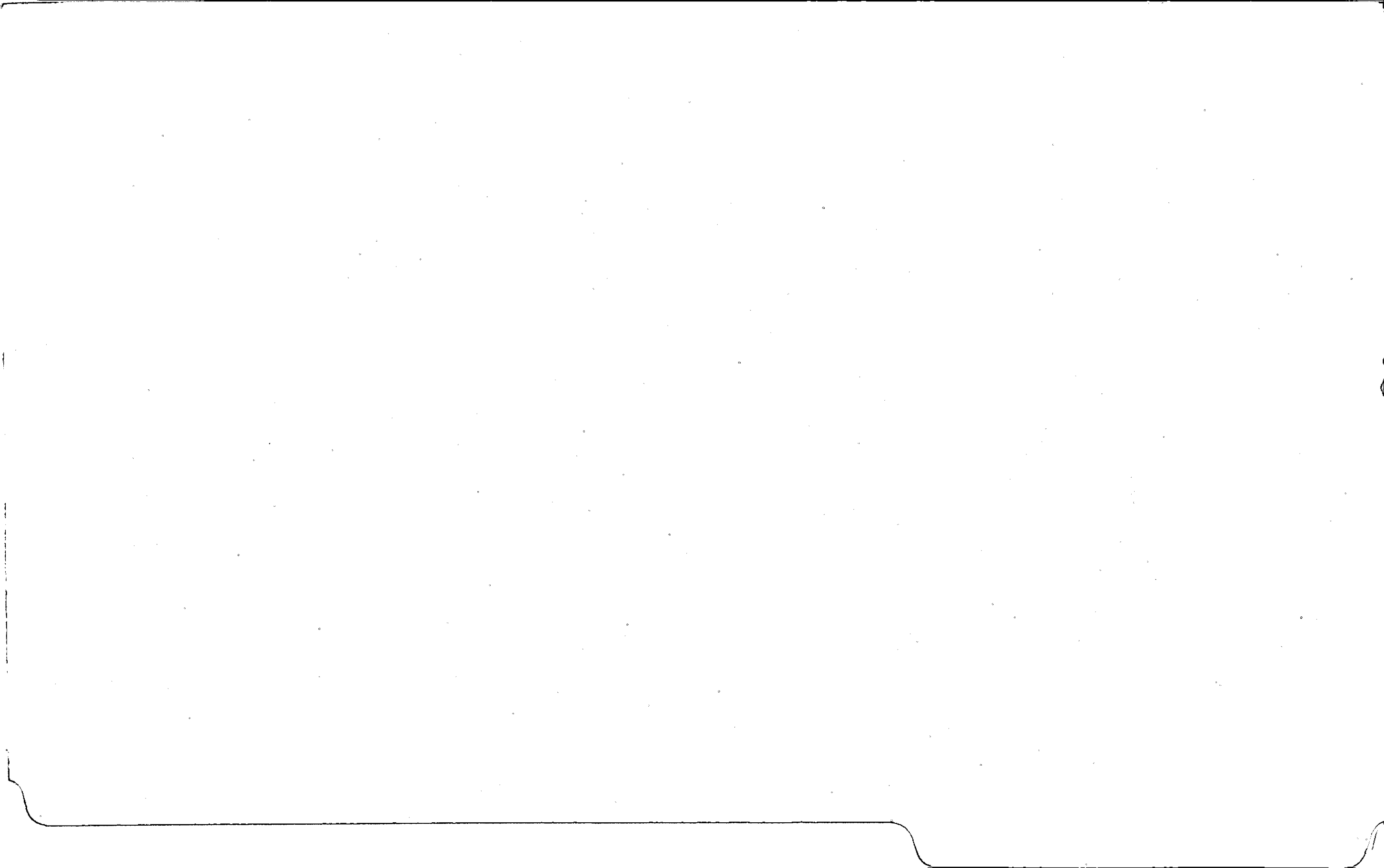


Woodlawn  
MP SITE 28/14

2011 HAWP





## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Leslie Miles  
Chairperson

Date: 1/5/12

### MEMORANDUM

TO: Diane Schwartz Jones, Director  
Department of Permitting Services

FROM: Anne Fothergill *AF*  
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #586559—expansion of storage facility

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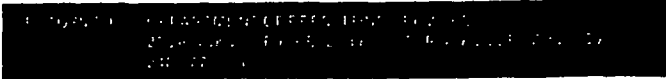
The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was approved by the HPC on December 21, 2011.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Montgomery County Parks Department  
Address: 16501 Norwood Road, Sandy Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Brianne Mueller  
Daytime Phone No.: 301-650-4390

Tax Account No.: 01724951

Name of Property Owner: Mont. Co. Parks Dept. Daytime Phone No.: 301-650-4390

Address: 9500 Silver Spring Brunet Ave. 20901  
Street Number City Street Zip Code

Architect: Thomas Taltavall Phone No.: 301-840-1847

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Julie Mueller Daytime Phone No.: 301-650-4390

LOCATION OF BUILDING/PREMISE

House Number: 16501 Street: Norwood Road

Town/City: Sandy Spring Nearest Cross Street: Hayhill / Ednor Roads

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: 4727 Folio: 302 Parcel: 1 (N70)

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct
  - Extend
  - Alter/Renovate
  - Move
  - Install
  - Wreck/Raze
  - Revision
  - Repair
  - Revocable
- CHECK ALL APPLICABLE:
- A/C
  - Stab
  - Room Addition
  - Porch
  - Deck
  - Shed
  - Solar
  - Fireplace
  - Woodburning Stove
  - Single Family
  - Fence/Wall (complete Section 4)
  - Other: \_\_\_\_\_

1B. Construction cost estimate: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: Bldg is not connected to
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: water/sewer lines

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
  - Entirely on land of owner
  - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Julie Mueller Signature of owner or authorized agent 11/15/11 Date

Approved:  For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 11/5/12

Application/Permit No.: 586559 Date Filed: 12/12/11 Date Issued: \_\_\_\_\_

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	16501 Norwood Rd., Sandy Spring	<b>Meeting Date:</b>	12/21/11
<b>Resource:</b>	<i>Master Plan</i> Site #28/14, Woodlawn	<b>Report Date:</b>	12/14/11
<b>Applicant:</b>	Montgomery County Parks Department. (Julie Mueller, Agent)	<b>Public Notice:</b>	12/7/11
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	28/14-11A	<b>Staff:</b>	Anne Fothergill
<b>Proposal:</b>	Expansion of non-historic storage facility		

**STAFF RECOMMENDATION**

- Approval  
 Approval with conditions

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** *Master Plan* Site #28/14, Woodlawn  
**STYLE:** Federal  
**DATE:** c.1800-25

excerpt from Places in the Past:

One of the finest estates in the county dating from the early 1800s, Woodlawn includes a handsome brick mansion and a superb collection of outbuildings in a beautifully landscaped setting. The house was probably built either by Richard Thomas or his grandson, Samuel Jr., recipient of the property upon Richard's death in 1806. According to tradition, Samuel and Anna Thomas operated a Quaker boarding school at Woodlawn before 1819. Dr. William Palmer purchased the estate in 1825, moving to Montgomery County from Pennsylvania. Palmer was a founder of the Mutual Fire Insurance Company of Montgomery County.

The symmetrical front facade of the five-bay Federal style house features Flemish bond brick and a fanlight transom over the central entrance. William Palmer expanded the house with a kitchen wing. In 1881, his son, Benjamin Palmer, added the northwest wing. In 1832, master stonemason Isaac Holland built an exceptional three-story stone bank barn with four large round-arched openings on the basement level. The property also includes a combination dairy and smokehouse of stone, a log house, and board and batten tenant house. Grounds include significant mature trees, including an Osage Orange with 11-foot trunk circumference, 100-foot high American Linden, and a 1999 County Champion Norway Spruce. The property, owned by the Maryland-National Capital Park and Planning Commission, is open to the public on special occasions.

## PROPOSAL

The applicants propose to expand a non-historic storage facility located in the Park Police section of the property. The proposal is to add an additional bay to the building using the same materials and scale so it will have a continuous roofline and rear elevation. This expansion is needed to store hay that is currently stored in the historic bank barn.

## APPLICABLE GUIDELINES

### **Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

## STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b), (1):

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Bianne Mueller  
Daytime Phone No.: 301-650-4390

Tax Account No.: 01724951

Name of Property Owner: Mont. Co. Parks Dept. Daytime Phone No.: 301-650-4390

Address: 9500 Silver Spring Brunett Ave. 20901  
Street Number City Street Zip Code

Architect: Thomas Taltavull Phone No.: 301-840-1847

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Julie Mueller Daytime Phone No.: 301-650-4390

**LOCATION OF BUILDING/PREMISE**

House Number: 16501 Street: Norwood Road  
Town/City: Sandy Spring Nearest Cross Street: Hayhill / Ednor Roads  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: 4727 Folio: 302 Parcel: 1 (N70)

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |   |  |   |  |                                    |  |  |                               |                               |
|---|--|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC                              | <input type="checkbox"/> Slab      | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair            | <input type="checkbox"/> Revocable      | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____      |  |                               |                               |

1B. Construction cost estimate: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: Bldg is not connected to
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**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Julie Mueller Signature of owner or authorized agent 11/15/11 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 586559 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

## 1. WRITTEN DESCRIPTION OF PROJECT:

a. *Description of existing structural and environmental setting, including historic features and significance.* The 105-acre historic environmental setting of the Woodlawn Cultural Special Park includes a historic core group of buildings, a modern grouping of structures which support the Park Police, open fields, and woods. The historic portion of the property carries a period of significance from c. 1806-1919, per the Maryland Inventory of Historic Properties form. The grounds immediately around the manor house include significant mature trees and a mid-20<sup>th</sup> century boxwood garden, a 1950s three-car garage, a 2010 tent-pad, and the historic entry driveway from Norwood Road. There are several non-contributing sheds, small storage buildings, and parking lots within the environmental setting.

East of and down slope from the historic core are modern buildings belonging to the Montgomery County Park Police Special Operations Division and the Montgomery County Aviation Division. This non-historic core includes a one-story park police office building, concrete block stable, a large pre-fabricated metal storage building, several small metal storage buildings, an outdoor riding ring, prefabricated wooden run-in sheds in the fields, and multiple parking areas along driveways adjacent to buildings. Further to the east, near the woods, is a large two-story Butler building and helicopter pad.

Today the historic house and grounds are managed through the Parks Enterprise Division and the Northern Region, primarily for weddings and special events. An independent vendor, Woodlawn Manor Museum, operates seasonal interpretive and educational programs at the house and grounds, primarily for schoolchildren. The Cultural Resources Stewardship Section manages interpretative hikes on the Underground Railroad Experience Trail that originate on the property. The police facilities are occupied and used daily.

b. *General description of project and its effect on the historic resources and environmental setting.* Hay for the police horses is currently stored in the 1832 stone barn. Because the barn is being prepared for conversion to a visitor's center, the hay will need to be stored elsewhere on the premises, in proximity to the stables. The proposed project is to expand a modern storage facility by one bay, using the same materials and scale as the existing building, such that it will have a continuous roofline and rear elevation.

The extant storage building cannot be seen from the historic barn or manor house and is barely visible from the other historic structures. Most views of it are obscured by other modern structures that are between it and the historic core. Because the proposed bay is at the building end farthest away from the historic core, this bay would only be visible from the historic core from farthest end of the gardens behind the house, where a new tent pad has been erected. This is some distance away from any historic building.

The project has been designed with all of the historic properties in mind. The project will have no adverse effect on the resources at Woodlawn. The undertaking will not diminish the integrity of design, setting, materials, workmanship, feeling or association. There will be no loss of integrity or damage to trees and their root systems. The addition of the hay bay will allow the police to relocate hay closer to its horses and open the historic barn to visitors.



2. **SITE PLAN:** see attached

3. **PLANS AND ELEVATIONS:** see attached

4. **MATERIAL SPECIFICATIONS:** see attached

5. **PHOTOGRAPHS:** see attached

6. **TREE SURVEY:** see attached

**7. ADDRESS OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

Norwood Road, Sandy Spring MD 20905

1021: Pathway Christian Church, Inc, 18433 Wachs Terrace, Olney, MD 20832

16923 Norwood Road, Sandy Spring, MD 20860: Sandy Spring Friends School

16700 Norwood Road, Sandy Spring, MD 20860: J. Lewis Moore.

16650 Norwood Road, Sandy Spring, MD 20860: Steven L & V.M. Swartz

Ednor Road, Sandy Spring, MD 20905

105: John and Dyanne Ryan

109: Michael Trapani

111: James Taltavull

121: Robert and EF Ruyak

211: Helen Pyle

219 Ednor Road: 219 Ednor LLC, 17328 Georgia Avenue, Olney, MD 20832

SW Corner of Norwood, Ednor, and Laytonsville Roads: Llewellyn Fields Homeowners Association, 68938 Olney Laytonsville Road, Suite 200, Gaithersburg, MD 20882.

Snowdens Woods Lane, Sandy Spring, MD 20905

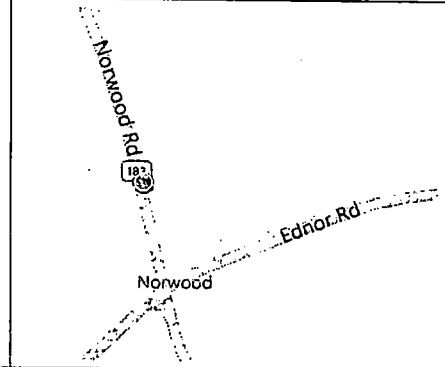
16425: RFR Partners, 121 Ednor Road and c/o Howery & Simon, 1299 Pennsylvania Ave, NW, Washington, DC 20004

16500 Alexander Manor Drive, Sandy Spring, MD 20905: Daniel Getachew

**GENERAL NOTES**

1. These drawings were prepared from information made available to the Architect and Engineers. All existing areas, the drawings show the general location of various building components and equipment which were shown on original drawings.
2. All work shall be done in strict accordance with all applicable codes, ordinances, regulations and any additional requirements as stated by any law, ordinance or regulation pertaining to construction within the said limits of the authority (City, County, State, or Federal) having jurisdiction.
3. The Contractor is responsible for examining all conditions and becoming thoroughly acquainted with existing conditions prior to preparing bids for work.
4. All construction shall be accomplished in compliance with the Occupational Safety and Health Act and all other applicable rules and regulations. It shall be the Contractor's responsibility to comply with all such laws and regulations. Contractor shall check with MISS UTILITY before starting work.
5. The Contractor shall make all shut-offs and cap all utility lines required to complete the work.
6. The Contractor shall provide all necessary covers, barricades, fire rated temporary partitions, railings and fencing to protect the existing building from the weather, damage to materials that are to remain, and to provide for public safety. Provide all necessary cover to prevent the spread of dust and dirt.
7. It shall be the Contractor's responsibility to provide all bracing and shoring required to protect the existing structure until new materials and construction can be put in place.
8. The contractor is responsible for staking and laying out all work and for the coordination of all installations allowing adequate space for other equipment, pipes, wiring, hose equipment, etc.
9. Where applicable, details and notes shown in any section apply to all similar sections unless otherwise noted.
10. All materials, components, systems and interior and exterior finishes shall be installed, assembled, operated and or applied in strict accordance with the drawings and specifications and the manufacturer's printed specifications, recommendations and or instructions for intended purposes as recommended by the manufacturer. Failure to comply with the manufacturer's recommendations or to report any conflicts between the drawings and the manufacturer's recommendations prior to the start of work shall act as a waiver to any claim by the contractor(s) for any additional expenses made necessary by the work.
11. The drawings of various disciplines of the set are complimentary to one another. All drawings shall be utilized and referred to prior to starting and doing the performance of work in any space.
12. The contractor shall verify and field check all dimensions including material thickness and clearances, structural conditions, mechanical, plumbing and electrical installations and make such modifications, relocation, and or re-routing necessary, including required temporary utilities, to complete installations conforming to the contract documents.
13. The Contractor shall review all drawings and specifications for any conditions that may affect the work and shall report to the architect any conditions or discrepancies, or request clarification, prior to the start of any work. Failure to report such conditions or discrepancies, or to request clarification prior to the start of any work is a waiver to any claim by the contractor(s) for additional expenses made necessary by reason of interpretation of the drawings.
14. All walls and/or partition construction shall extend from floor slab to underside of existing ceiling grid above.
15. All pipe and duct spaces and chases shall be enclosed and firestopped at penetrations through all walls and rated construction as required to maintain the rating indicated and the integrity of the smoke barrier at all corridor walls.
16. Verifications and coordination will be accomplished with such timing so that there is no delay in completing all work on schedule.
17. The contractor shall notify the Owner and/or Architect of any major deviations or differences in conditions of the work that would materially affect the quality of the work and/or completion of the contract.
18. Where the removal of existing work under this contract appears unfinished and/or defective work which interrupts the continuity of the existing work same shall be repaired, refinished, or new material furnished and installed as directed by Architect to complete the work satisfactorily.
19. The Contractor shall protect from damage any existing construction materials, equipment, etc. to remain in place during construction activities.
20. The Contractor shall disconnect, remove, reinstall, and reconnect any equipment to remain as required to install new work, construction, equipment, etc.
21. At the Architects discretion, repair, and/or replace any construction materials, equipment, etc. damaged during or by construction activities. Replacement shall match original in quality and appearance.
22. All work indicated is new unless noted as existing to remain.

ADDITION TO:  
**STORAGE SHED**  
 at  
**PARK POLICE SPECIAL OPERATIONS, WOODLAWN PARK**  
 for  
 The Maryland-National Capital Park & Planning Commission  
**16501 Norwood Road,**  
**Sandy Spring, Maryland 20860**



**JT**  
 ARCHITECTS  
 PLANNERS  
 HISTORIC  
 PRESERVATION

THOMAS J. TALLAVALL  
 ARCHITECT

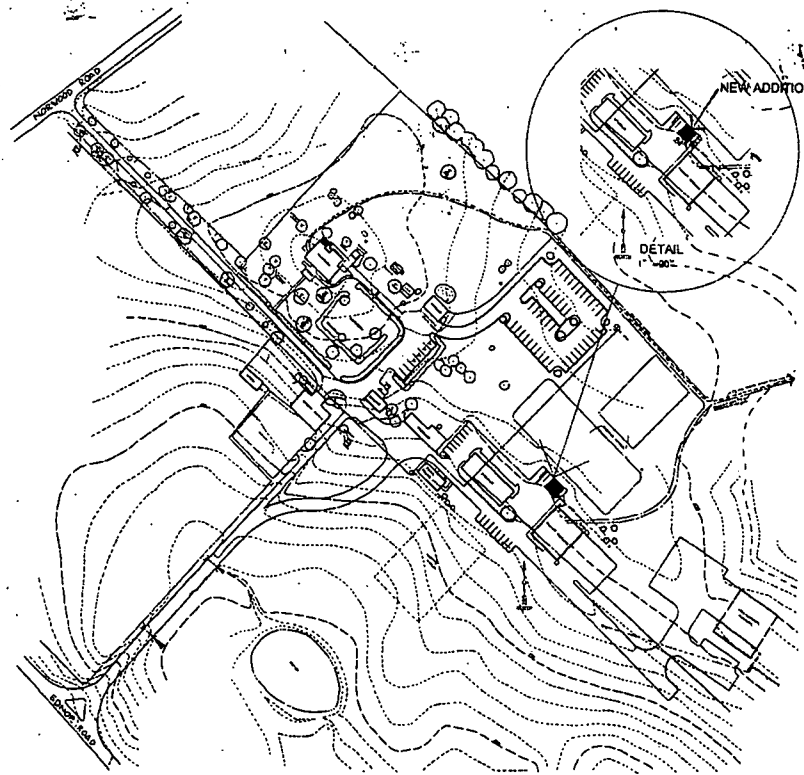
371.840.1947

Professional Certificate:  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9002, Expiration Date: 8-13-2012.

Professional Seal

**PROJECT TITLE**  
 NO SCALE

**VINCINITY MAP**  
 NO SCALE



<b>GOVERNING CODES:</b>	
<b>BUILDING:</b>	2009 IRC (International Building Code) with Local Amendments by County
<b>FIRE SAFETY:</b>	2009 IRC, Montgomery County Fire Safety Code, 2009 NFPA 101 Life Safety Code,
<b>MECHANICAL:</b>	THE INTERNATIONAL MECHANICAL CODE 2009, IMBC Plumbing Code, 2009 International Energy Conservation Code
<b>ELECTRICAL:</b>	THE NATIONAL ELECTRICAL CODE 2008 (NEC)
<b>HANDICAPPED:</b>	Norwood Accessibility Code (COMAR 88-03-02), Americans with Disabilities Act, P.L. 101-508
<b>BUILDING DESIGN:</b>	IBC Reference:
Occupancy Use Group:	U - Utility Table 502
Type of Construction:	V-B Table 503
HIGHRISE:	No
SPRINKLER:	No
<b>HEIGHT LIMITS (Per IBC):</b>	1 Story / 40 Foot Maximum Eave Height Table 503
	8 Story / 40 Foot Eave Height
<b>FLOOR AREA LIMITS:</b>	4,000 sq. ft. Maximum Exterior Floor Area Table 503
	2,500 sq. ft. Maximum 1st Floor
	2,500 sq. ft. Maximum Total Building Area
<b>FIRE RATINGS:</b>	
<b>EXTERIOR WALLS:</b>	1 Hour (Fire Separation 4" ) Table 602 1 Hour (Fire Separation 2" ) + 1" ) 2 Hour (Fire Separation 2" ) + 2" )
<b>STRUCTURAL FRAME:</b>	0 Hour Table 601
<b>BEARING WALLS:</b>	0 Hour Exterior, Interior Table 601
	1 Hour Supporting 2nd Storey Table 601
<b>NON BEARING WALLS:</b>	0 Hour Table 601
<b>FLOOR CONSTRUCTION:</b>	0 Hour Table 601
<b>ROOF CONSTRUCTION:</b>	0 Hour Table 601
<b>MEANS OF EGRESS:</b>	
<b>OCCUPANT LOAD:</b>	8 People in 1st Floor (1 person per 800 sq. ft.) Table 1004.1.1
<b>NUMBER OF EXITS:</b>	2 Exit Per Floor Required Table 1023.1 2 Exits Provided at Level of Exit Discharge (1st Floor)
<b>TYPES OF EXITS:</b>	Open as Stairs
<b>GROSS CAPACITY:</b>	800 People DEP PA 101 Table 7.2.3.1.1
<b>EXIT ACCESS:</b>	75 Foot Maximum Allowable, 30' Foot Actual 1 109.2.2
<b>DEAD END:</b>	20 Feet 1011.2
<b>COMMON PATH OF TRAVEL:</b>	75 Foot Maximum Allowable / 45 Foot Actual 1014.2
<b>FIRE EXTINGUISHER:</b>	Provide Portable Fire Extinguishers per NFPA 101

**CODE ANALYSIS**  
 NO SCALE

CS1	COVER SHEET, SITE PLAN, INDEX, GENERAL NOTES,
EX1	EXISTING / DEMOLITION PLAN AND ELEVATIONS
A1	FOUNDATION, FLOOR AND ROOF FRAMING PLANS
A2	ELEVATIONS
A3	SECTIONS / DETAILS
A4	GENERAL STRUCTURAL NOTES

**DRAWING INDEX**  
 NO SCALE

**GENERAL NOTES**  
 NO SCALE

**PARTIAL SITE PLAN**  
 1" = 10'

REVISIONS

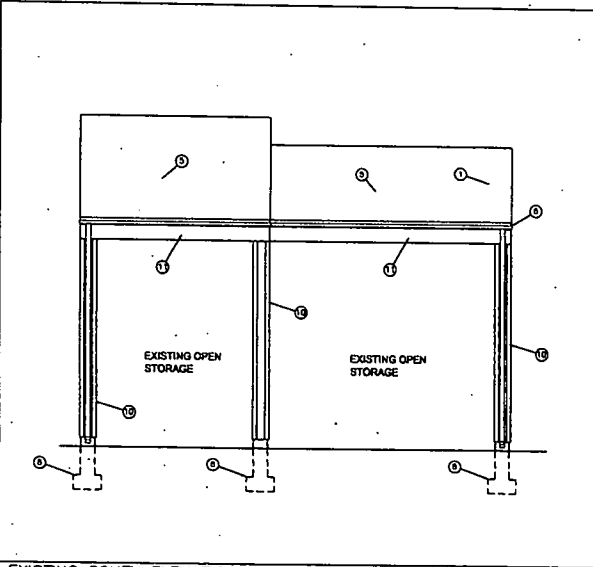
DRAWING TITLE  
**COVER SHEET**

DATE: Nov. 11, 2011

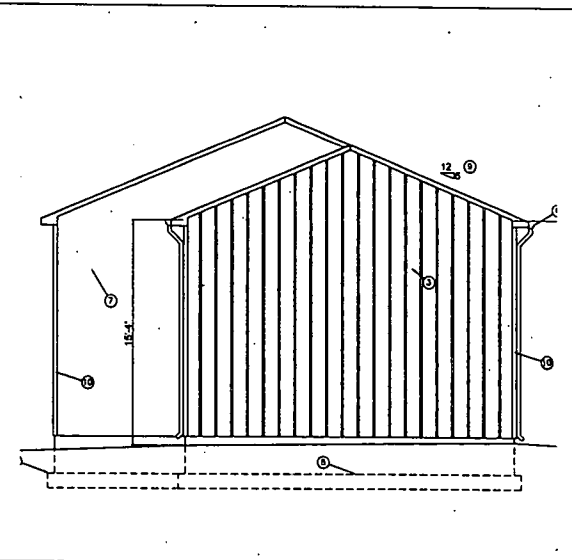
ADDITION TO: TRACTOR AND SAWDUST STORAGE SHED  
 PARK POLICE SPECIAL OPERATIONS  
 MNCPPC, WOODLAWN SPECIAL PARK  
 16501 Norwood Road, Sandy Spring, Md. 20860

DRAWING NUMBER  
**CS1**

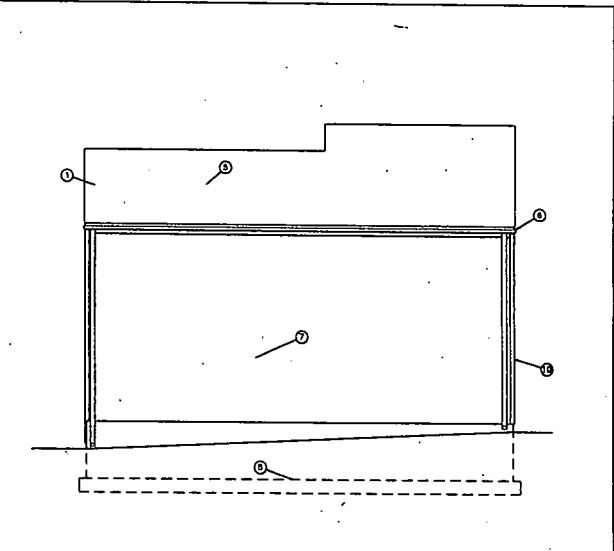
9



EXISTING SOUTH ELEVATION  
 1/4" = 1'-0"



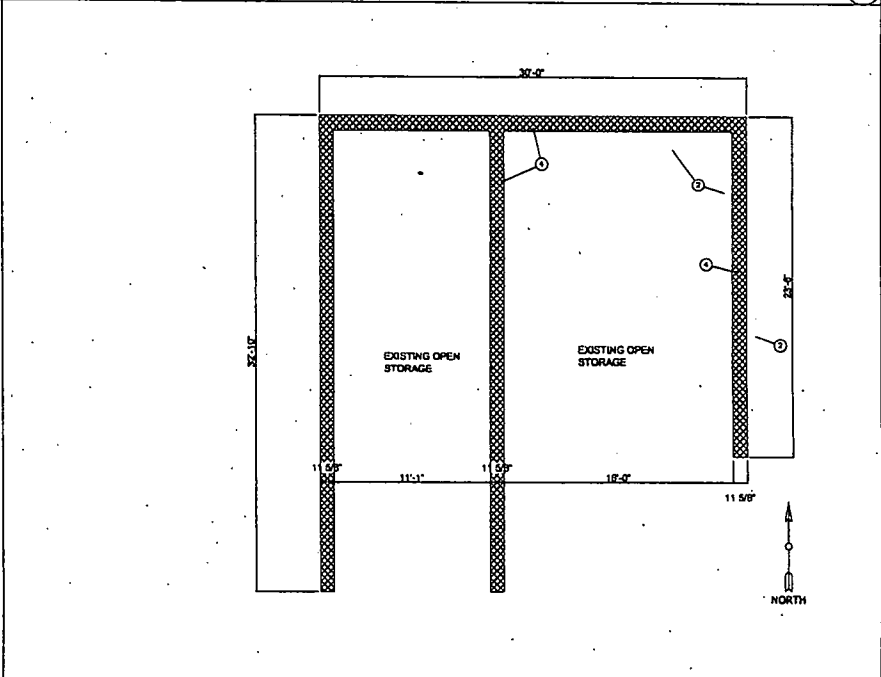
EXISTING EAST ELEVATION  
 1/4" = 1'-0"



EXISTING NORTH ELEVATION  
 1/4" = 1'-0"

- EXISTING/DEMOLITION NOTES:**
- 1 REMOVE PORTION OF EXISTING (EX) ASPHALT SHINGLE ROOFING TO ALLOW FOR INSTALLATION OF NEW PLYWOOD SHEATHING THE IN PATCH AREAS DISTURBED WITH NEW SHINGLES TO MATCH.
  - 2 REMOVE PORTIONS OF EX. ASPHALT PAVING TO ALLOW FOR INSTALLATION OF NEW ADDITION FOUNDATION. PATCH AREAS DISTURBED WITH NEW ASPHALT PAVING TO MATCH.
  - 3 REMOVE EXISTING WOOD TRIM & SIDING TO ALLOW FOR CONSTRUCTION OF NEW ADDITION.
  - 4 EX. CMU WALLS.
  - 5 EX. ASPHALT SHINGLE ROOFING.
  - 6 EX. GUTTER AND DOWNSPOUTS.
  - 7 EXISTING PLYWOOD BOARD AND BATTEN SIDING.
  - 8 LINE OF EXISTING FOUNDATION.
  - 9 CONTRACTOR TO VERIFY EXISTING ROOF SLOPE.
  - 10 EX. 1 x 4 CORNER BOARDS.
  - 11 LINE OF EXISTING WOOD BEAM AND TRIM.

EXISTING/ DEMO NOTES  
 NO SCALE



EXISTING FLOOR PLAN  
 1/4" = 1'-0"

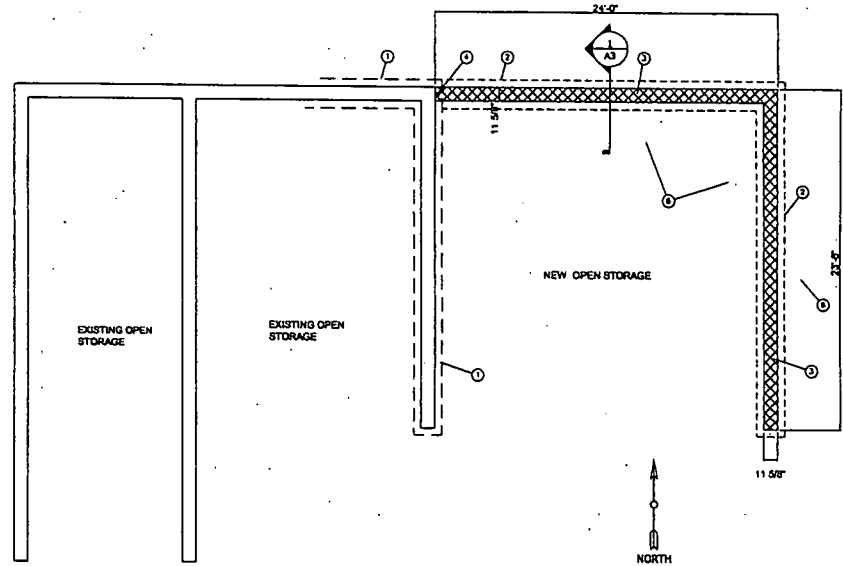
4

**PROPOSED PLAN NOTES:**

- ① LINE OF EXISTING FOUNDATION
- ② LINE OF NEW 12" x 24" CONTINUOUS CONCRETE FOOTING W/ 3 - #4 BARS - 3" FROM TOP OF FOOTING.
- ③ NEW 12" CMU WALL, REINFORCED FULL HEIGHT W/ #4'S @ 16" OC VERTICAL - FULLY GROUTED.
- ④ PROVIDE WEDGEWASH TIES #103 - C @ 15" OC, BOLT TO EX. WALL W/ 3" SLEEVE ANCHORS TO TIE NEW WALL INTO EXISTING.
- ⑤ INSTALL 3 - 1' x 8" EXTERIOR GRADE SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES TO MATCH EXISTING, TIE INTO EXISTING CIRCUIT AND ADD SWITCH ADJACENT TO EXISTING SWITCHES. INSTALL WIRING IN RIGID CONDUIT.
- ⑥ EXISTING ASPHALT PAVING, PATCH AREAS DISTURBED BY NEW CONSTRUCTION. VERIFY GRADE TO PROVIDE POSITIVE DRAINAGE OUT OF NEW ADDITION.
- ⑦ REMOVE EXISTING WOOD TRIM AND SIDING TO ALLOW FOR INSTALLATION OF NEW WOOD ROOF TRUSSES. GLUE AND SCREW NEW TRUSS ADJACENT TO EXISTING END TRUSS @ 12" OC. LAP NEW PLYWOOD ROOF SHEATHING 4'-0" ONTO EXISTING PLYWOOD - STAGGERED.
- ⑧ NEW PRE ENGINEERED WOOD ROOF TRUSSES @ 24" OC - ANCHOR ALL TRUSSES WITH SIMPSON H3 CLIPS.
- ⑨ EXISTING 3 - 2 x 12 BEAM LAG BOLT INTO NEW BEAM.
- ⑩ NEW 3 - 1 1/2" x 18" LVL BEAM W/ 6" BEARING @ EACH END ONTO PRESSURE TREATED WOOD PLATE BOLTED TO NEW AND EXISTING WALL WITH 2" x 18" ANCHOR BOLT. SEE DETAIL ON DRAWING 3/A3.
- ⑪ INSTALL 3 - #4 BARS @ 8" OC VERTICAL FULL HEIGHT FULLY GROUTED WALL UNDER NEW WOOD BEAM.

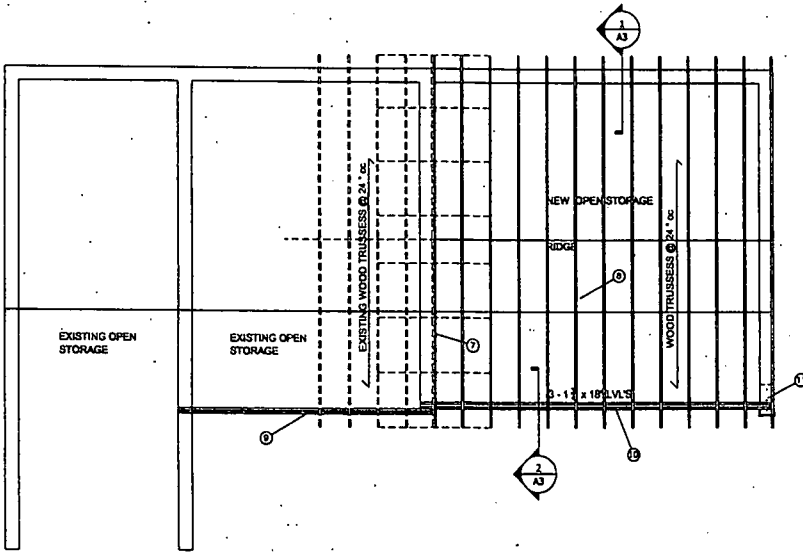
**PLAN NOTES**

NO SCALE



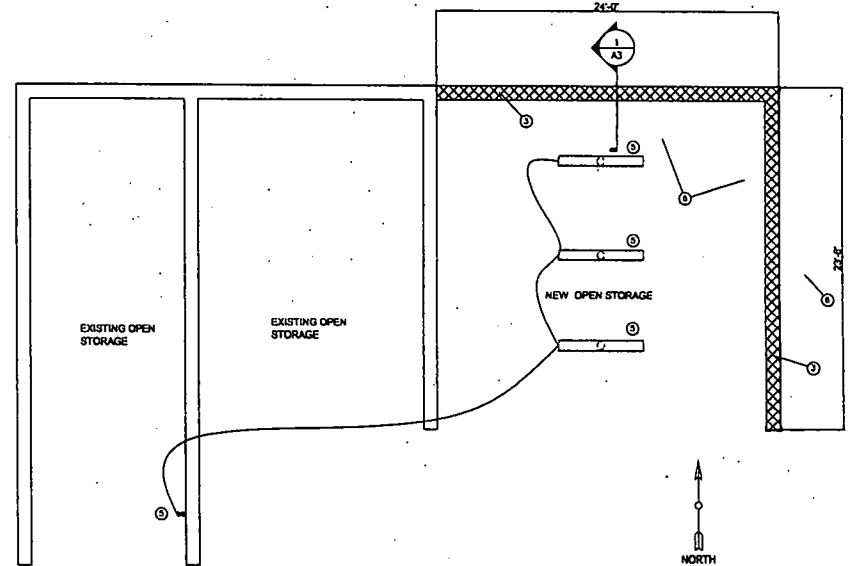
**4 FOUNDATION PLAN**

1/4" = 1'-0"



**3 ROOF FRAMING PLAN**

1/4" = 1'-0"



**2 FLOOR PLAN**

1/4" = 1'-0"



THOMAS J. TALAVALL  
ARCHITECT  
201 BAL 1847

Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 2002, Expiration Date: 6-13-2012.

Professional Seal

FOUNDATION, FLOOR & FRAMING PLANS

Date: Nov. 11, 2011

Client: TRACTOR AND SAWDUST STORAGE SHED  
PARK POLICE SPECIAL OPERATIONS  
MNCPPC, WOODLAWN SPECIAL PARK  
16501 Newwood Road, Sandy Spring, Md. 20880

Drawing Number

A1



**J.T.**  
ARCHITECTS  
PLANNERS  
HISTORIC  
PRESERVATION

THOMAS J. TALAVALL  
ARCHITECT  
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410.486.1817

Professional Certificate  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 3025, Expiration Date: 6-13-2011.

Professional Seal

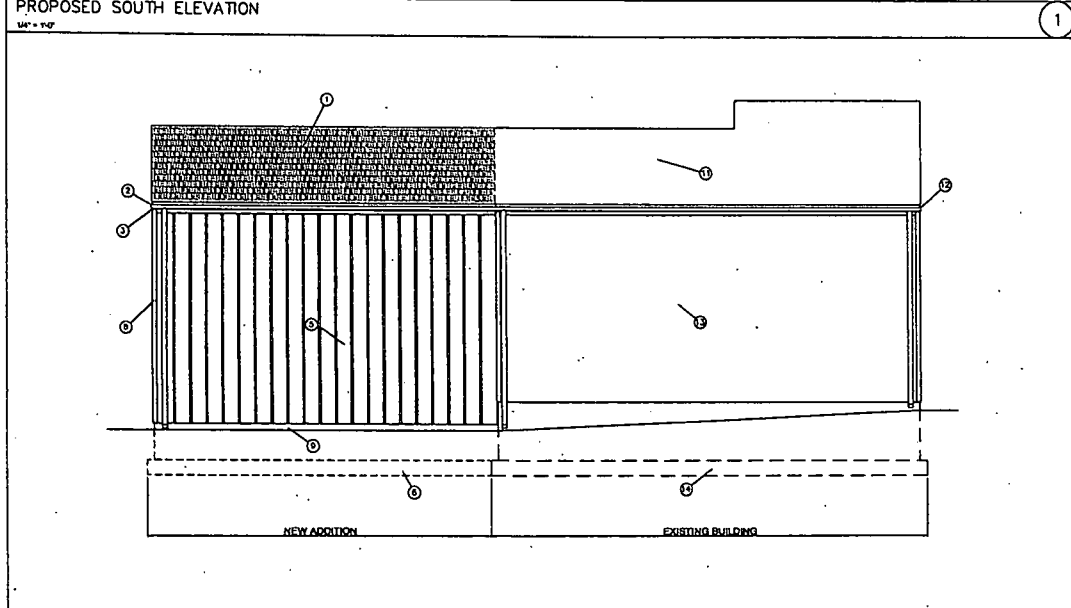
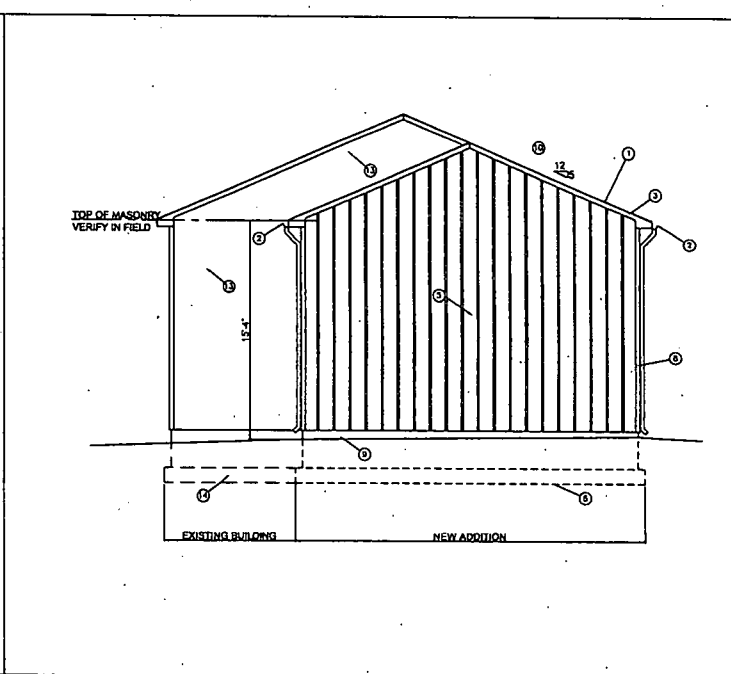
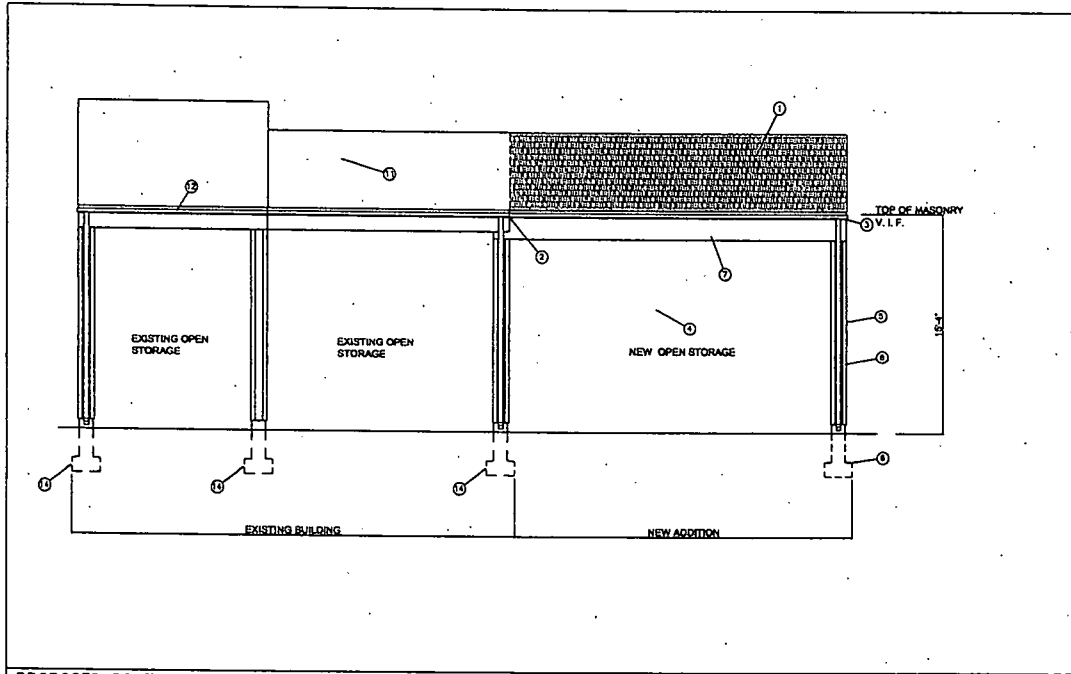
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**PROPOSED ELEVATIONS**

Date: Nov. 11, 2011

Addition To: TRACTOR AND SAWDUST STORAGE SHED  
 PARK POLICE SPECIAL OPERATIONS  
 MNCPPC, WOODLAWN SPECIAL PARK  
 16501 Norwood Road, Sandy Spring, Md. 20860

Drawing Number

A2

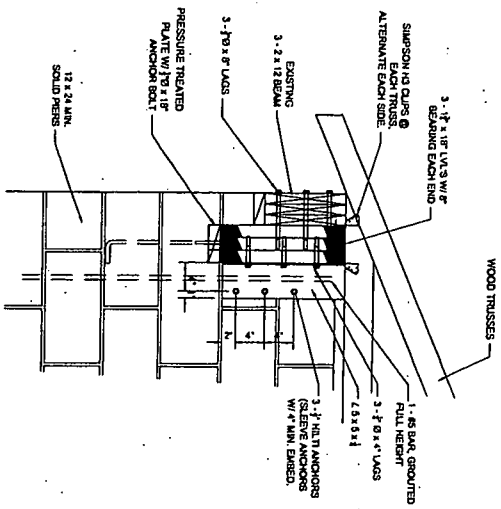


- PROPOSED ELEVATION NOTES:
- 1 NEW ASPHALT SHINGLE TO MATCH EXISTING, TIE INTO EXISTING ROOFING.
  - 2 TIE NEW GUTTER INTO EXISTING, PROVIDE NEW DOWNSPOUT. COLOR, SIZE AND K STYLE TO MATCH EXISTING.
  - 3 WOOD FASCIA, RAKE, SOFFIT & FRIEZE TO MATCH EXISTING, PAINT.
  - 4 UNPAINTED CMU INTERIOR WALL (TOOL JOINTS) TO MATCH EXISTING.
  - 5 NEW PLYWOOD SIDING AND 1 x 2 WOOD BATTENS @ 12"oc TO MATCH EXISTING, PAINT.
  - 6 LINE OF NEW CONCRETE FOOTING, BOTTOM OF FOOTING TO MATCH EXISTING.
  - 7 NEW WOOD BEAM AND WOOD TRIM TO MATCH EXISTING.
  - 8 NEW 1 x 4 WOOD CORNER BOARDS, PAINT.
  - 9 PARGED CMU FOUNDATION WALL, WATERPROOF W/ ASPHALTIC WATERPROOFING BELOW GRADE.
  - 10 VERIFY AND MATCH EXISTING ROOF PITCH.
  - 11 EX. ASPHALT SHINGLE ROOFING.
  - 12 EX. GUTTER AND DOWNSPOUTS.
  - 13 EXISTING PLYWOOD BOARD AND BATTEN SIDING.
  - 14 LINE OF EXISTING FOUNDATION.

ELEVATION NOTES  
NO SCALE

6

4

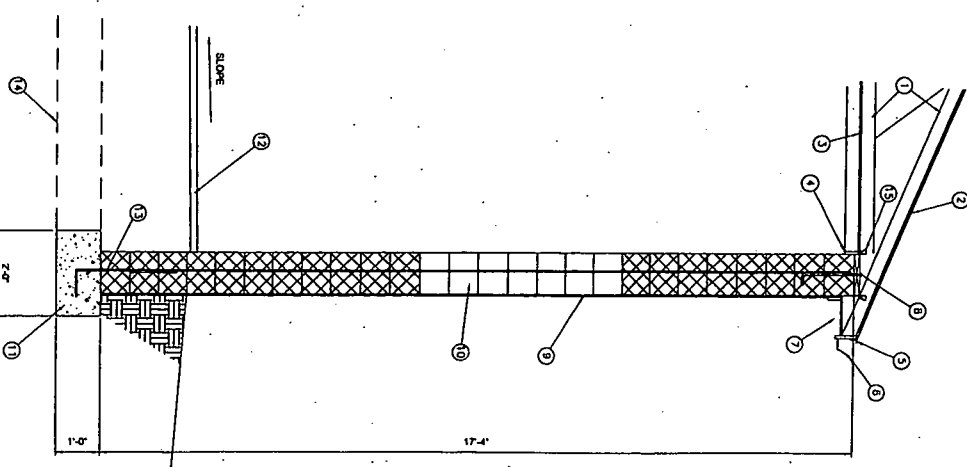
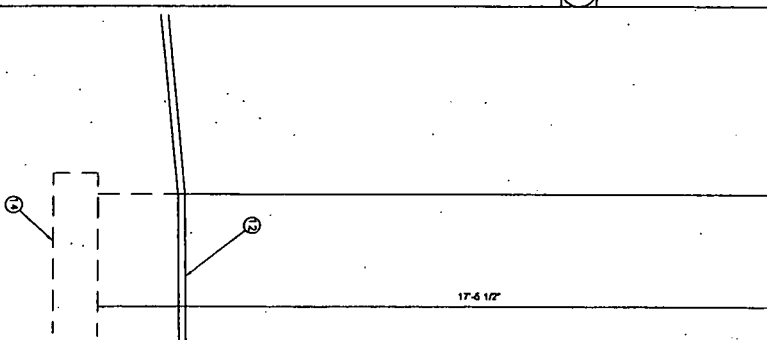
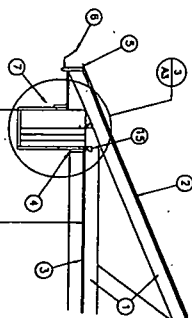


DETAIL AT BEAM  
1/8" = 1'-0"

SECTION NOTES

- 1 NEW PRE-ENGINEERED WOOD ROOF TRUSS.
- 2 NEW ASPHALT SHINGLE ROOFING TO MATCH EX. OVER 3/8" ASPHALT IMPREGATED ROOFING PAPER ON 1" PLYWOOD ROOF CEILING - PROVIDE 1" GAPS.
- 3 1" X 4" WOOD TRIM - PAINT.
- 4 METAL DRIP EDGE AT ALL ROOF PERIMETERS.
- 5 6" K STYLE SEAMLESS ALUMINUM GUTTER W/ 3/4" OVERHUNG DOWNSPOUT.
- 6 BOX OUT NEW WOOD BEAM, SOFFIT AND FASCIA TO MATCH EXISTING WOOD TRIM. PAINT.
- 7 2 x 12 PRESSURE TREATED WOOD PLATE ANCHOR TO TOP OF WALL W/ 2" x 12" ANCHOR BOLTS @ 4'-0" OC. ALIGN WITH WALL REBAR.
- 8 1" X 4" WOOD SOffit W/ 1/2" WOOD BATTERS TO MATCH EXISTING.
- 9 12" REINFORCED CMU WALL W/ #3 @ 16" OC. VERTICAL. REBAR TO BE PLACED IN WALL FROM TOP OF FOOTING TO BELOW GRADE.
- 10 12" THICK x 24" WIDE CONCRETE FOOTING W/ 3 #4'S VERTICAL REBAR. REBAR TO BE PLACED IN WALL FROM BOTTOM OF FOOTING TO BE A MINIMUM 2" BELOW FINISHED GRADE. ALIGN WITH EXISTING FOOTINGS.
- 11 EXISTING ASPHALT PAVING - PATCH AREAS DISTURBED BY NEW WORK.
- 12 4" DIA @ 4'-0" OC VERTICAL WITH 12" HOOK AND 24" HIGH ALIGN AND TIE INTO WALL REINFORCING.
- 13 LINE OF EXISTING FOOTING BENTON.
- 14 SAWFISH IN CLIPS AT EACH TRUSS. ALTERNATE SIZES TYPICAL.

3



SECTION NOTES

4

2

SECTION

17'-0"

1

Addition To: TRACTOR AND SAWDUST STORAGE SHED  
 PARK POLICE SPECIAL OPERATIONS  
 MNCPPC, WOODLAWN SPECIAL PARK  
 16501 Norwood Road, Sandy Spring, Md. 20860

Date: Nov. 11, 2011

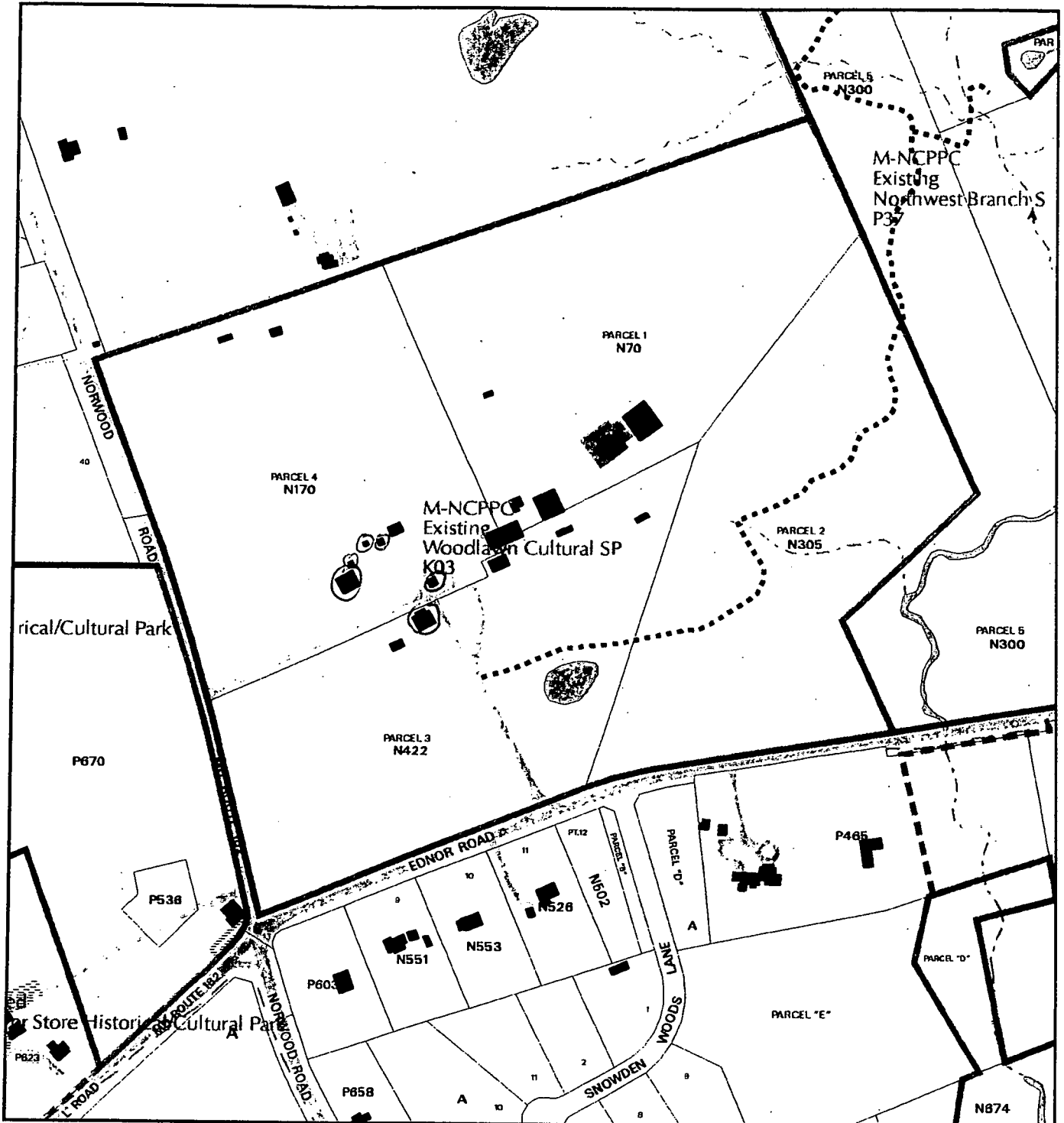
Revisions	Drawing Title
	SECTIONS, DETAIL

Professional Seal  
 ASSOCIATES  
 ARCHITECTS  
 INTERIORS  
 ENGINEERS  
 PLANNERS  
 LANDSCAPE ARCHITECTS  
 301 Park Lane  
 2011-2012

10  
 Drawing Number  
 A3



# WOODLAWN CULTURAL SPECIAL PARK



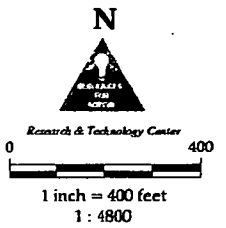
Map compiled on February 24, 2009 at 4:30 PM | Site located on base sheet no - 222NW01

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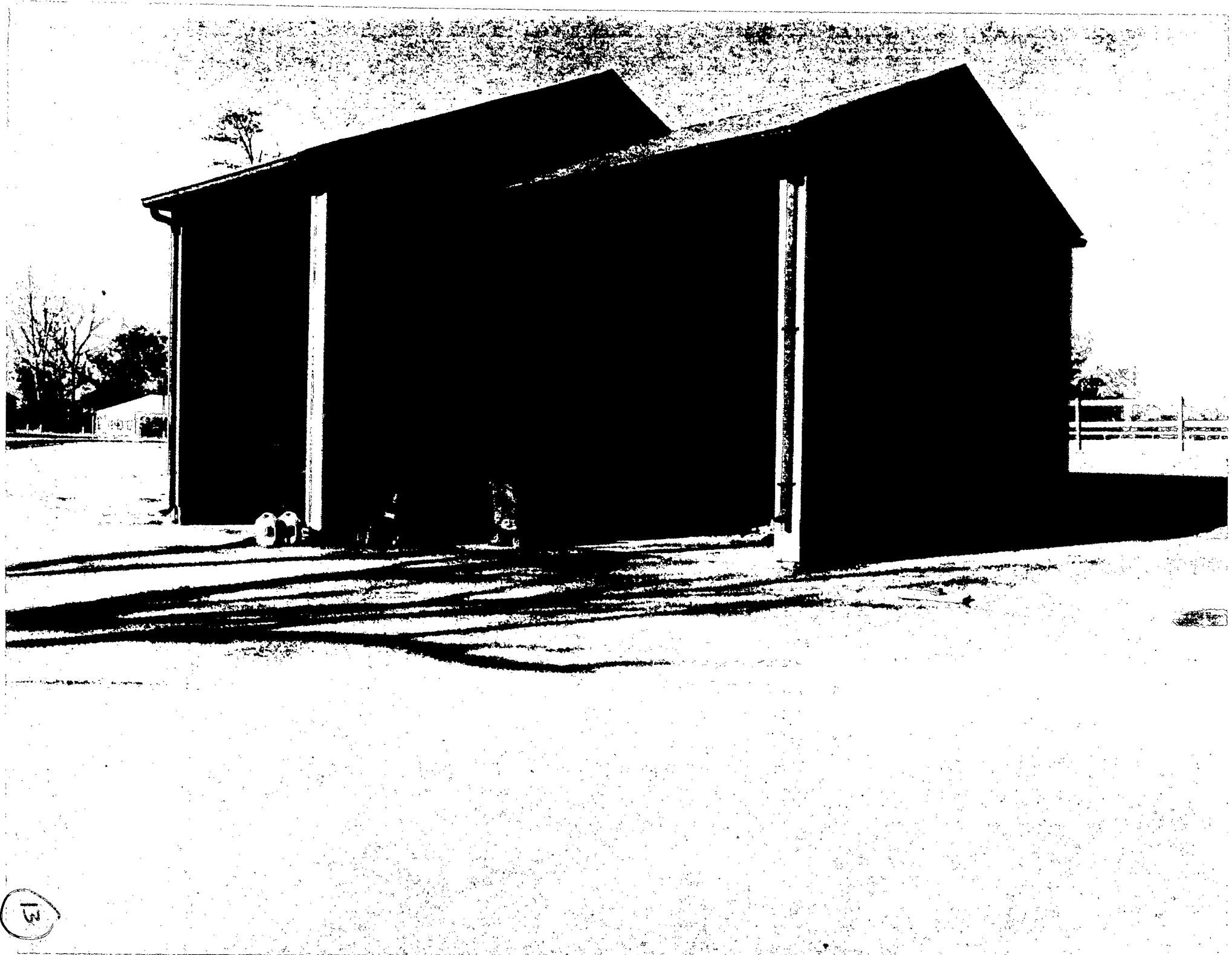


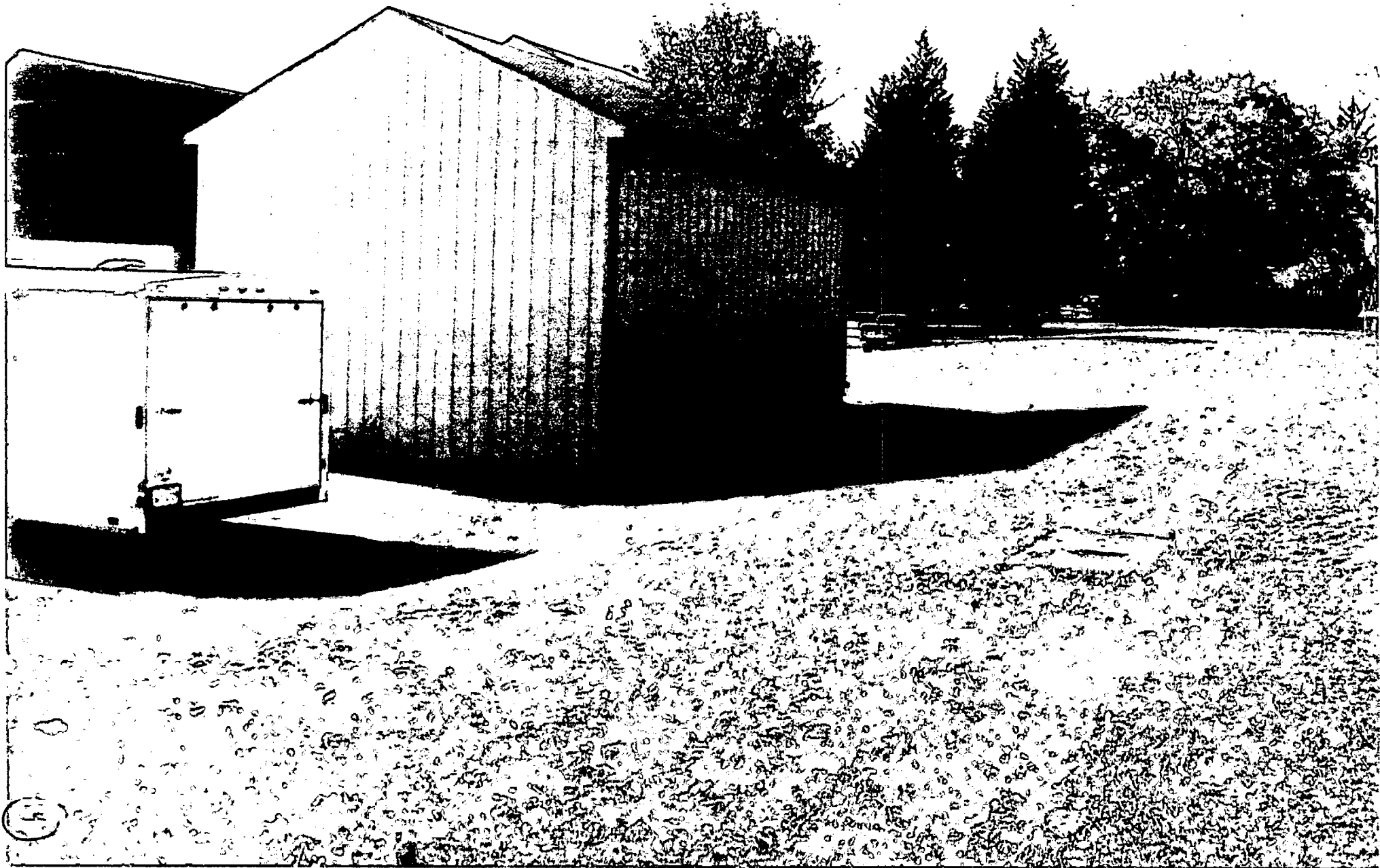
**MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING**  
 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
 8787 Georgia Avenue - Silver Spring, Maryland 20910-8760

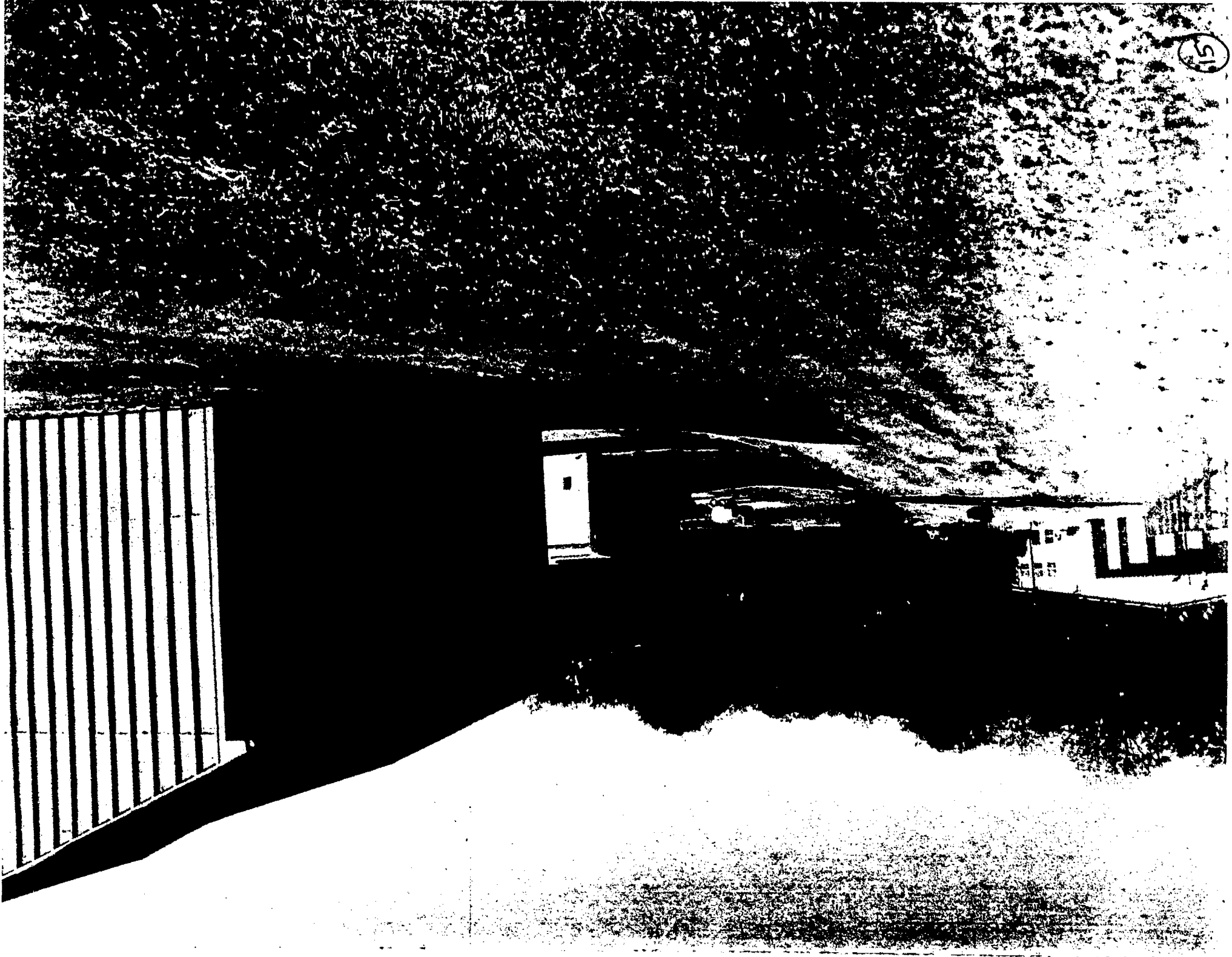
*Historic Buildings circled in red.*

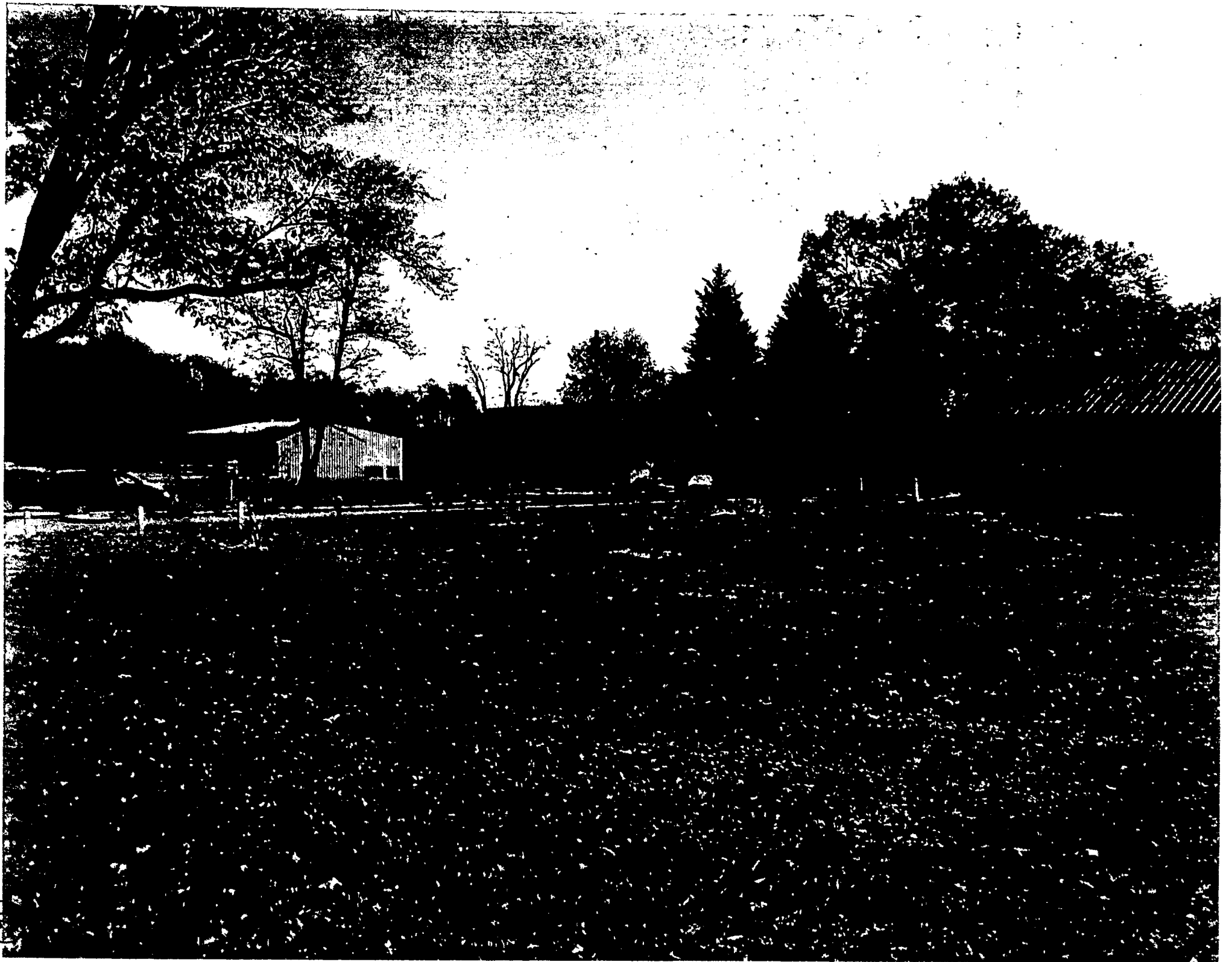
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