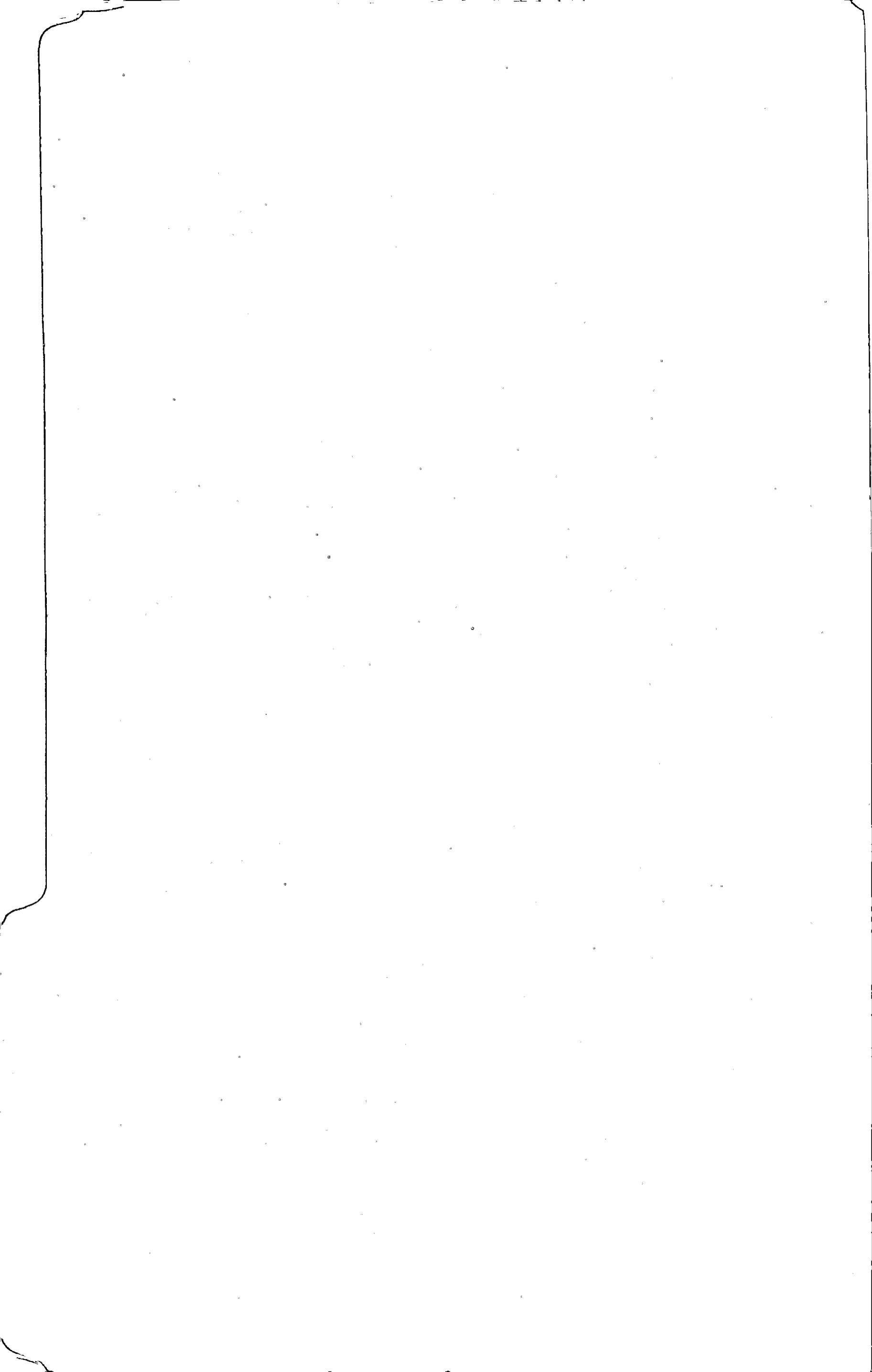


3716 Washington Street Kensington
[APC Case# 3/06-11K]
Kensington, H.V.





HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: August 16, 2011

MEMORANDUM

TO: Hadi Mansouri, Acting Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #57075, alterations to deck

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the July 13, 2011 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Ian and Karen Littman

Address: 3716 Washington Street, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

571544

Contact Person: Kellen Smith

Daytime Phone No.: 301-908-0774

Tax Account No.: _____

Name of Property Owner: Ian + Karen Littman

Daytime Phone No.: 301-946-6965

Address: 3716 Washington St. Kensington MD 20895
Street Number City State Zip Code

Contractor: Design Builders Inc. Phone No.: 301-875-2781

Contractor Registration No.: 124396

Agent for Owner: Kellen Smith Daytime Phone No.: 301-908-0774

LOCATION OF BUILDING/PREMISE

House Number: 3716 Washington St. Street: _____

Town/City: Kensington Nearest Cross Street: _____

Lot: 23 Block: 13 Subdivision: Kensington Park

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 24,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Kellen Smith
Signature of owner or authorized agent

6/7/11
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 8/12/11

Application/Permit No.: 570575 Date Filed: _____ Date Issued: _____

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3716 Washington Street, Kensington	Meeting Date:	7/13/11
Resource:	Secondary (Non-Contributing) Resource Kensington Historic District	Report Date:	7/6/11
Applicant:	Ian and Karen Littman	Public Notice:	6/29/11
Review:	HAWP	Tax Credit:	None
Case Number:	31/6-11K	Staff:	Josh Silver
Proposal:	Alterations to deck		

STAFF RECOMMENDATION

- Approval
 Approval with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Secondary (**Non-Contributing**) Resource within the Kensington Historic District
STYLE: Colonial Revival
DATE: 1954

PROPOSAL

The applicants are proposing to expand the footprint of an existing wooden deck in the rear yard of the property by approximately 4'. The proposed scope of work includes replacing the wooden decking and railings with Azek. The proposed railing design will be consistent with the design shown on the attached product specification sheet on Circle 5.

The proposal also includes the replacement of the existing wooden railing and decking on the 2nd floor balcony with Azek to match the proposed lower deck alterations.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

571544

Contact Person: Kellen Smith
Daytime Phone No.: 301-908-0724

Tax Account No.:
Name of Property Owner: Ian + Karen Littman
Address: 3716 Washington St. Kensington MD 20895
Contractor: Design Builders Inc. Phone No.: 301-875-2781
Contractor Registration No.: 124396
Agent for Owner: Kellen Smith Daytime Phone No.: 301-908-0724

LOCATION OF BUILDING/PREMISE

House Number: 3716 Washington St. Street:
Town/City: Kensington Nearest Cross Street:
Lot: 23 Block: 13 Subdivision: Kensington Park
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, AC, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

1B. Construction cost estimate: \$ 24,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other.
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other.

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

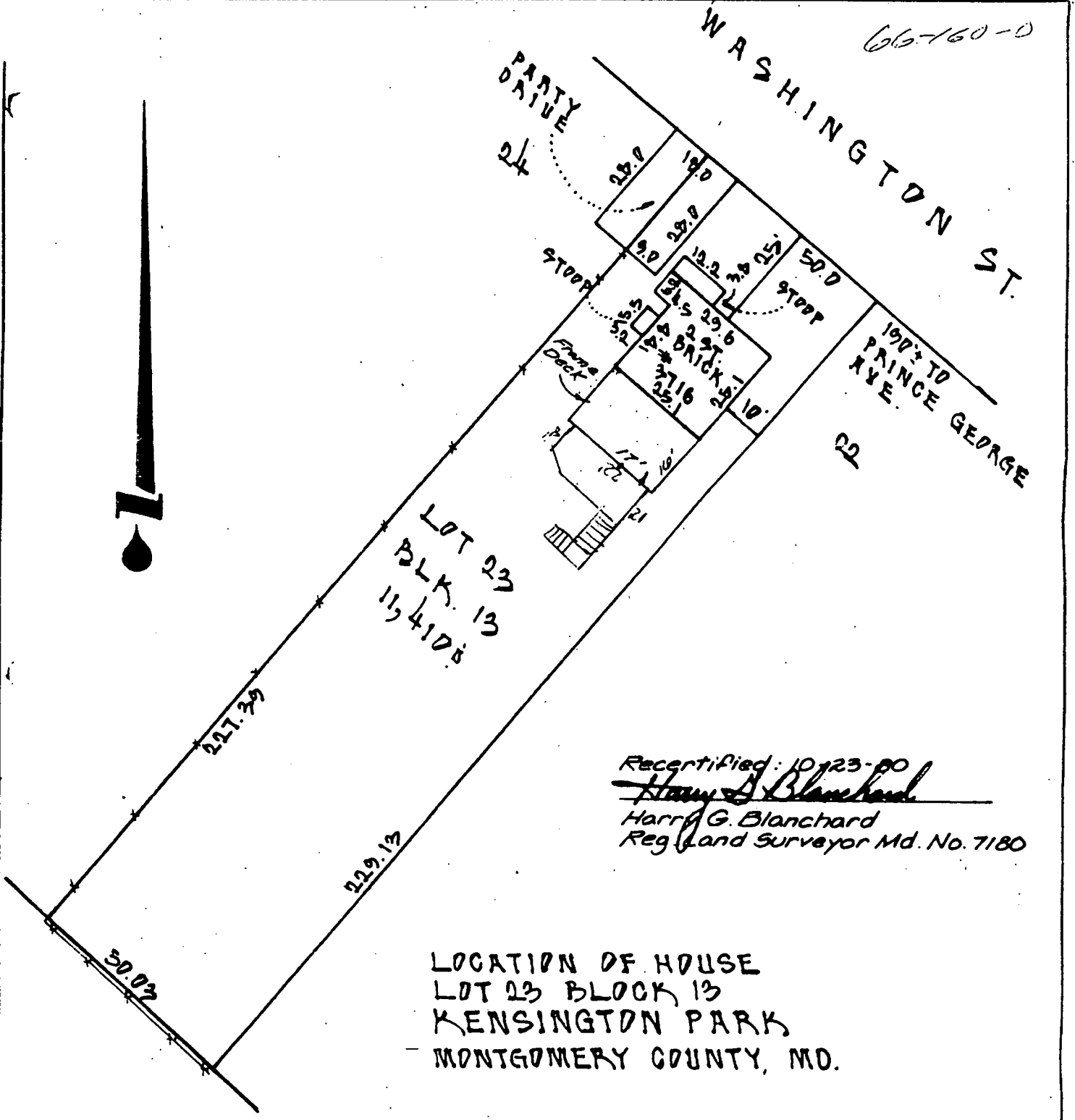
I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Kellen Smith Date: 6/7/11

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 570576 Date Filed: Date Issued:

is survey for this purposes only — not to be used for determining property lines. Property corner Markers Not guaranteed by this sur.

66-160-0



<p>SURVEYOR'S CERTIFICATE</p> <p>I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A WISE-TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.</p> <p><i>Eldon E. Snider</i> ELDON E. SNIDER REGISTERED LAND SURVEYOR MD. #3852</p>	<p>REFERENCES</p> <p>PLAT BK. B</p> <p>PLAT NO. 4</p>	<p>SNIDER, BLANCHARD, LAUGHLAND & TACIK, INC.</p> <p>SURVEYORS - ENGINEERS</p> <p>LAND PLANNING CONSULTANTS</p> <p>10 EAST CHURCH ST. FREDERICK, MD 21701 (301) 662-4500</p> <p>2 PROFESSIONAL DR. SUITE 216 GAITHERSBURG, MD 20760 948 5100</p>	
	<p>LIBER</p> <p>FOLIO</p>	<p>DATE OF SURVEYS</p> <p>WALL CHECK</p> <p>HSE. LOC.: 2.1.74</p> <p>BOUNDARY:</p>	<p>SCALE: 1" = 50'</p> <p>DRAWN BY: J</p> <p>JOB NO.: 74.061</p>

Introducing AZEK Rail



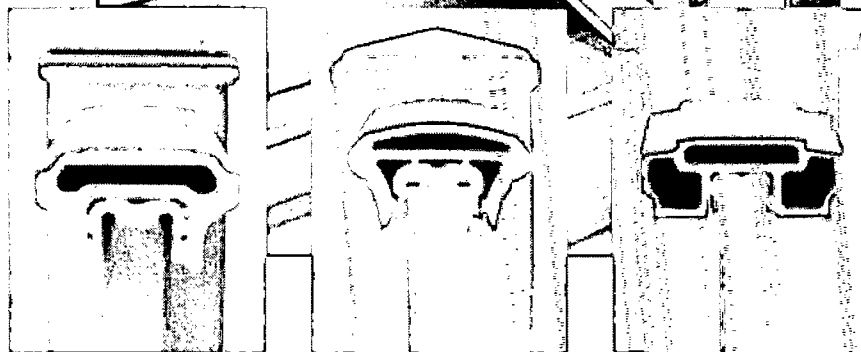
AZEK Building Products proudly introduces AZEK Rail. AZEK Rail joins the AZEK family of premium exterior products including AZEK Trim, the #1 brand of trim; AZEK Deck, the #1 brand of stain resistant decking; AZEK Mouldings; and AZEK Porch.

AZEK Rail offers the beauty and feel of real wood coupled with the high durability and low maintenance you expect from AZEK. AZEK Rail is available in three styles so you can choose the one that's right for your lifestyle.

AZEK Premier Railing, the classic Victorian railing, is available in white and five popular colors - including three options that complement AZEK Deck.

AZEK Trademark Railing, a Colonial look that works well with any housing style, is available in white.

AZEK Reserve Railing, a generously sized railing that offers a luxurious look and feel, is available in white.



AZEK Premier Railing

AZEK Trademark Railing

AZEK Reserve Railing

AZEK PREMIER Railing

AZEK Trademark Railing

AZEK RESERVE Railing

www.azek.com

AI

PROPOSED PLAN
SUNDECK

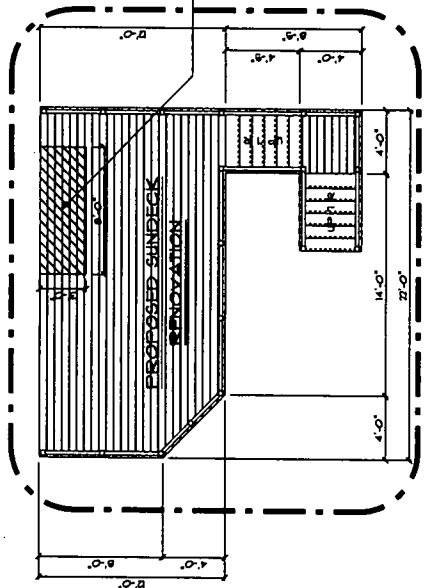
REVISIONS
APPROVED BY _____
DATE _____

THE LITTMAN RESIDENCE
3716 WASHINGTON RD 20895
KENSINGTON, MD 20895

JUNE 5, 2011

DESIGN BUILDERS INC.
BETHESDA, MD
301.875.2781
MHIC #124396

DRAWING LIST	
A1 -	PROPOSED PLAN
A2 -	RENOVATION PLAN
A3 -	MAIN LEVEL FRAMING
A4 -	ELEVATIONS
A5 -	SECTION



PROPOSED PLAN
SCALE 1/8" = 1'-0"

6

ELECTRICAL WORKING MUST CONFORM TO THE 2008 NATIONAL ELECTRICAL CODE AND COUNTY AMENDMENTS

GENERAL STRUCTURAL MANAGEMENT ALL WORK SUBJECT TO FUTURE APPROVAL OF CONSTRUCTION

APPROVED AS NOTED PLAN REVIEW SECTION

DATE: 6/27/2011

OUTDOOR OUTLETS

DATE: 6/27/2011

THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT TO DO ANY ELECTRICAL WORK.

GRASPABLE HANDRAILS

DATE: 6/27/2011

MATCHED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION.

DATE: 6/27/2011

MONTGOMERY COUNTY EXECUTIVE REGULATION 24-04 THE FINAL INSPECTION MUST BE REQUESTED AND APPROVED BEFORE A BUILDING (OR PORTION THEREOF) IS USED OR OCCUPIED

DATE: 6/27/2011

PROPOSED PLAN:
-5/4"x6" AZEK DECKING
PARALLEL W/ HOUSE
COLOR MATCHED S.S. SCREWS
"PICTURE FRAME BORDER"
-~~EXISTING~~ RAILING SYSTEM
-~~EXISTING~~ TRIM/ FASCIA

NOTE:
REPLACE RAILINGS & DECKING ON EXISTING 3'x6" 2ND STORY BALCONY

MONTGOMERY COUNTY
DEPARTMENT OF PERMITS & INSPECTIONS
APPROVED: [Signature]
DATE: 6/27/2011

RENOVATION PLAN
SUNDECK

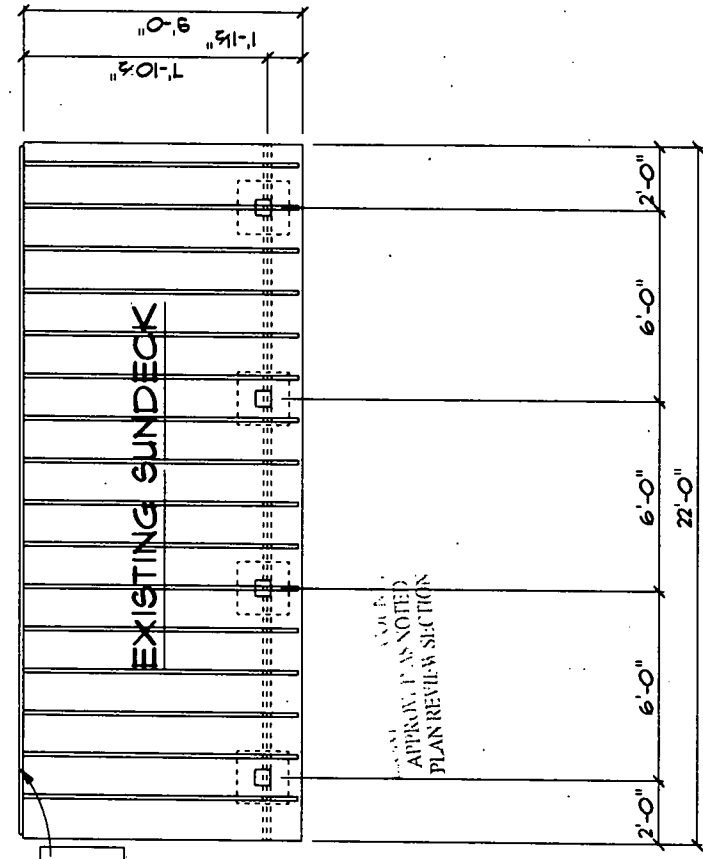
REVISIONS
APPROVED BY _____
DATE _____

THE LITTMAN RESIDENCE
3716 WASHINGTON STREET
KENSINGTON, MD 20895
JUNE 5, 2011

DESIGN BUILDERS INC.
BETHESDA, MD
301.875.2781
MHIC #124396

EXISTING RESIDENCE

GENERAL STRUCTURAL
ALIGNMENT WITH
SCHEDULE TO PERFORM
REMOVAL OF DECK



APPROVAL HAS NOTED
PLAN REVIEW SECTION

NOTE!
FIELD VERIFY LEDGER CONNECTION AND FLASHING DETAIL.
INSTALL NECESSARY HARDWARE PER COUNTY CODE.
SEE A3 & A5 FOR DETAILS.

NOTE!
REMOVE ALL RAILINGS & DECKING
REMOVE FRONT & SIDE BANDS
REMOVE ALL STAIRS AND LANDING
ALL JOISTS TO REMAIN
ALL SUPPORT POSTS/BEAMS TO REMAIN

RENOVATION PLAN
SCALE 1/4" = 1'-0"

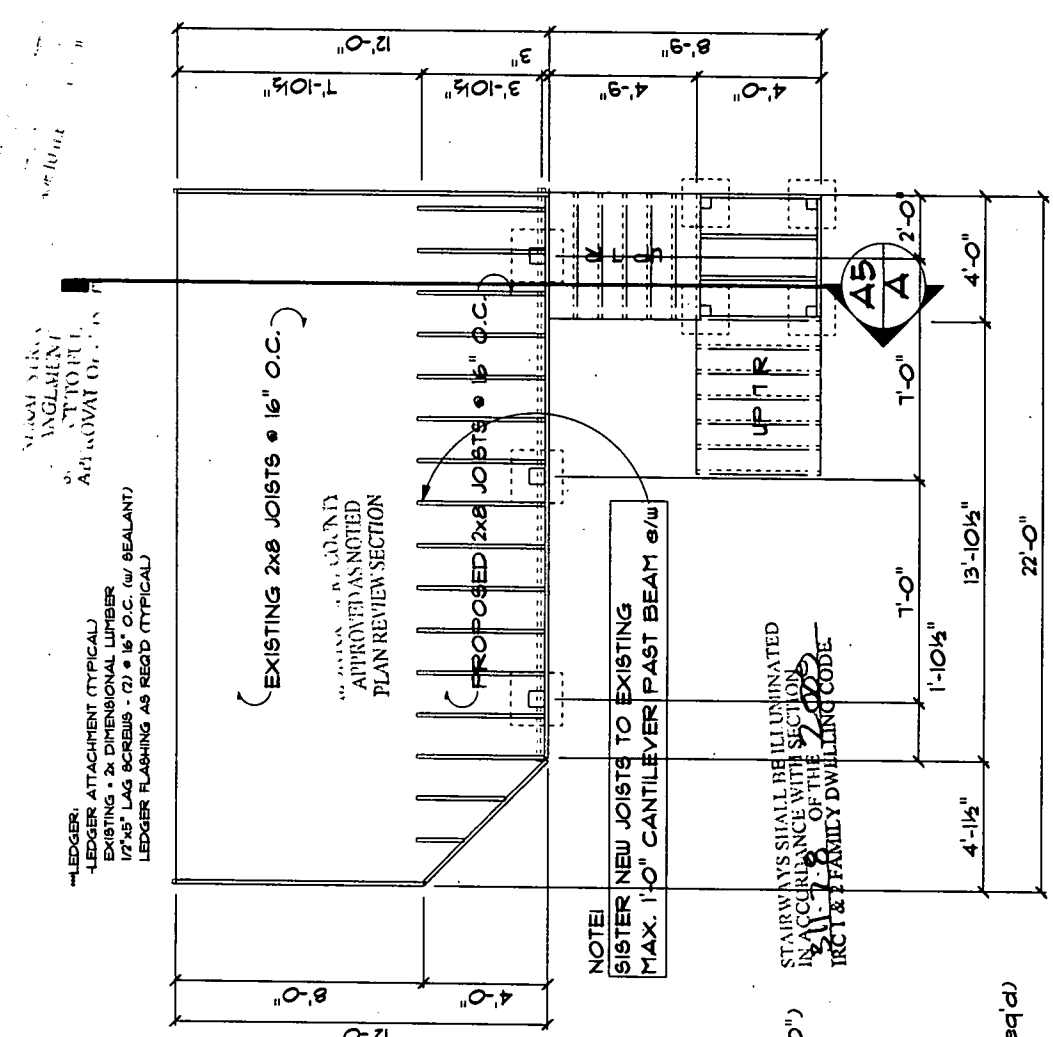
- ***DECKING/ FRAMING:
 - 5/4" x 6" AZEK DECKING
 - PARALLEL w/ HOUSE
 - COLOR MATCHED S.S. SCREWS
 - PICTURE FRAMED BORDER
 - 2x8 P.T. JOISTS @ 16" O.C.
 - MAX. SPAN 8'-0"
 - CRIB BLOCK END BAYS @ 24" O.C.
 - DBL (2) 2x10 P.T. BEAM
 - MAX. SPAN 1'-0"
 - 6x6 P.T. POSTS
 - O/V 20"x20"x12" CONCRETE FOOTINGS
 - MIN. 24" BELOW GRADE or TO UNDISTURB'D
- ***STAIRS:
 - FIVE (5) #1 P.T. 2x12 STRINGERS @ 12" O.C.
 - CLOSED RISERS & STRINGER w/ FASCIA
 - STRINGERS TO BEAR ON SOLID FOOTING
 - & HAVE SOLID ATTACHMENT TO DECK
 - RISER MAX. = 7 3/4"
 - RISER DIFFERENCE = MAX. 3/8"
 - TREAD MIN. = 10" - NOSE TO NOSE
- ***DECK RAILING:
 - SHORELINE RAILING SYSTEM
 - 4x4 P.T. POSTS (MAX. SPAN 5'-0")
 - w/ TWO (2) 1/2" DIA. HEX BOLTS
 - OPTIONAL FLUSH MOUNT SYSTEM (as Req'd)
 - 36" MIN. RAIL HEIGHT
 - 4" MAX. CLEAR OPENING
- ***STAIR RAILING: w/ 4 or MORE RISERS:
 - SHORELINE RAILING SYSTEM (MAX. SPAN 5'-0")
 - 4x4 P.T. POSTS (MAX. SPAN 5'-0")
 - w/ TWO (2) 1/2" DIA. HEX BOLTS
 - OPTIONAL FLUSH MOUNT SYSTEM (as Req'd)
 - 34"-38" MIN. RAIL HEIGHT FROM NOSING
 - 4" MAX. CLEAR OPENING
 - GRASPABLE HANDRAIL
 - MAX. 2 1/8" and RETURNED
 - ALL RISERS AND TREADS ILLUMINATED (as Req'd)

DESIGN BUILDERS INC.
 BETHESDA, MD
 301.875.2781
 MHIC #124396

THE LITTMAN RESIDENCE
 3716 WASHINGTON STREET
 KENNINGTON, MD 20895
 JUNE 5, 2011

REVISIONS
 APPROVED BY _____
 DATE _____
 MAIN LEVEL FRAMING
 SUNDECK

A3



MAIN LEVEL FRAMING

SCALE 1/4" = 1'-0"



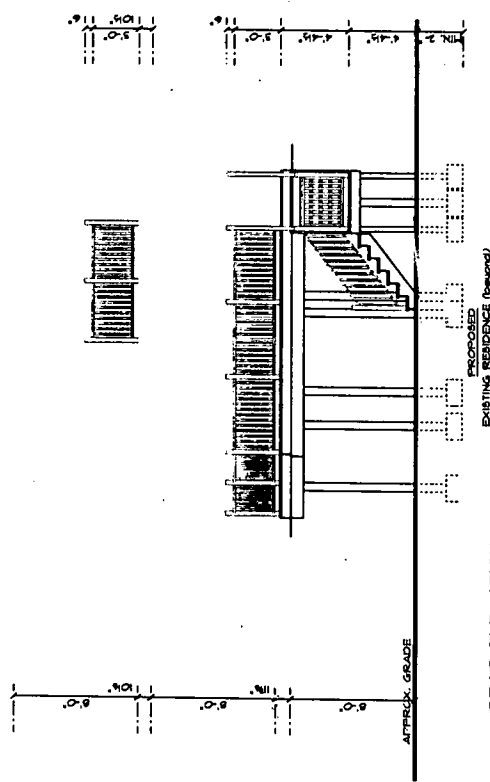
ELEVATIONS
GUNDECK

THE LITTMAN RESIDENCE
316 WASHINGTON STREET
KENSINGTON, MD 20895
DATE _____
APPROVED BY _____
JUNE 5, 2011

DESIGN BUILDERS INC.
BETHESDA, MD
301.875.2781
MHIC #124396

PROPOSED PLAN:
-5/4" x 6" AZEK DECKING
PARALLEL W/ HOUSE
COLOR MATCHED S.S. SCREWS
PICTURE FRAME BORDER
~~PICTURE FRAME RAILING SYSTEM~~
~~PICTURE FRAME TRIM / FASCIA~~

APPROVED AS NOTED
PLAN REV. W SECTION



REAR ELEVATION
SCALE 1/8" = 1'-0"

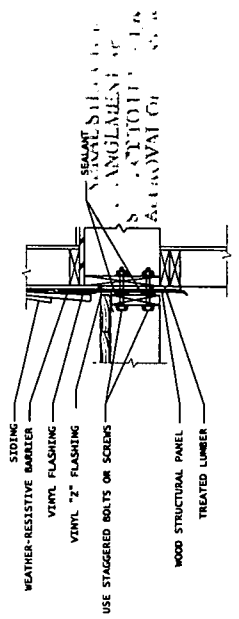
RIGHT ELEVATION
SCALE 1/8" = 1'-0"

NOTE
REPLACE RAILINGS + DECKING
ON EXISTING 3'x6' BALCONY

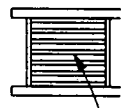
- AZEK RAILING
- AZEK RAILING SYSTEM
- 4x4 P.T. POSTS (MAX. SPAN 8'-0")
- 4x4 P.T. BAL. POSTS (MAX. SPAN 8'-0")
- OPTIONAL PICTURE FRAME RAILING SYSTEM (as Req'd)
- 3/4" PIN. BAL. HEIGHT
- 1" MIN. CLEAR OPENING
- STAIR RAILING: 1" x 4" OF PINE RIMMER
- 4x4 P.T. POSTS (MAX. SPAN 8'-0")
- 4x4 P.T. BAL. POSTS (MAX. SPAN 8'-0")
- 3/4" PIN. BAL. HEIGHT (as Req'd)
- 1" MIN. CLEAR OPENING
- MAX. 2' ON BALCONY
- MAX. 3' ON DECK
- ALL RIMMER AND TRIMMER ILLUSTRATED (as Req'd)

- ***DECKING/ FRAMING:
 - 5/4" x 6" AZEK DECKING PARALLEL w/ HOUSE COLOR MATCHED S.S. SCREWS
 - PICTURE FRAMED BORDER
 - 2x8 P.T. JOISTS @ 16" O.C. MAX. SPAN 8'-0"
 - CRIB BLOCK END BAYS @ 24" O.C.
 - DBL (2) 2x10 P.T. BEAM
 - MAX. SPAN 1'-0"
 - 6x6 P.T. POSTS
 - 0/1 20"x20"x12" CONCRETE FOOTINGS
 - MIN. 24" BELOW GRADE or TO UNDISTRIB'D
- ***STAIRS:
 - FIVE (5) 1 P.T. 2x12 STRINGERS @ 12" O.C.
 - CLOSED RISERS & STRINGER w/ FASCIA
 - STRINGERS TO BEAR ON SOLID FOOTING & HAVE SOLID ATTACHMENT TO DECK
 - RISER MAX. = 7 3/4"
 - RISER DIFFERENCE = MAX. 3/8"
 - TREAD MIN. = 10" - NOSE TO NOSE

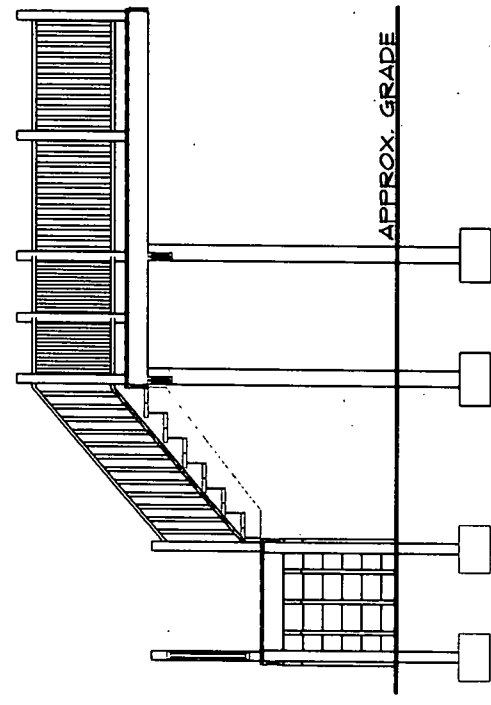
- ***DECK RAILING:
 - SHORELINE RAILING SYSTEM
 - 4x4 P.T. POSTS (MAX. SPAN 5'-0")
 - w/ TWO (2) 1/2" DIA. HEX BOLTS
 - OPTIONAL FLUSH MOUNT SYSTEM (as Req'd)
 - 36" MIN. RAIL HEIGHT
 - 4" MAX. CLEAR OPENING
- ***STAIR RAILING: w/ 4 or MORE RISERS:
 - SHORELINE RAILING SYSTEM (MAX. SPAN 5'-0")
 - 4x4 P.T. POSTS (MAX. SPAN 5'-0")
 - w/ TWO (2) 1/2" DIA. HEX BOLTS
 - OPTIONAL FLUSH MOUNT SYSTEM (as Req'd)
 - 34"-38" MIN. RAIL HEIGHT FROM NOSING
 - 4" MAX. CLEAR OPENING
 - GRASPABLE HANDRAIL
 - MAX. 2 1/8" and RETURNED
 - ALL RISERS AND TREADS ILLUMINATED (as Req'd)



DETAIL A WEATHER RESISTIVE SYSTEM - EXTERIOR DECK
NOT TO SCALE



NOTE!
REPLACE RAILINGS & DECKING
ON EXISTING 3'x8' BALCONY



SECTION A
SCALE 1/4" = 1'-0"

10

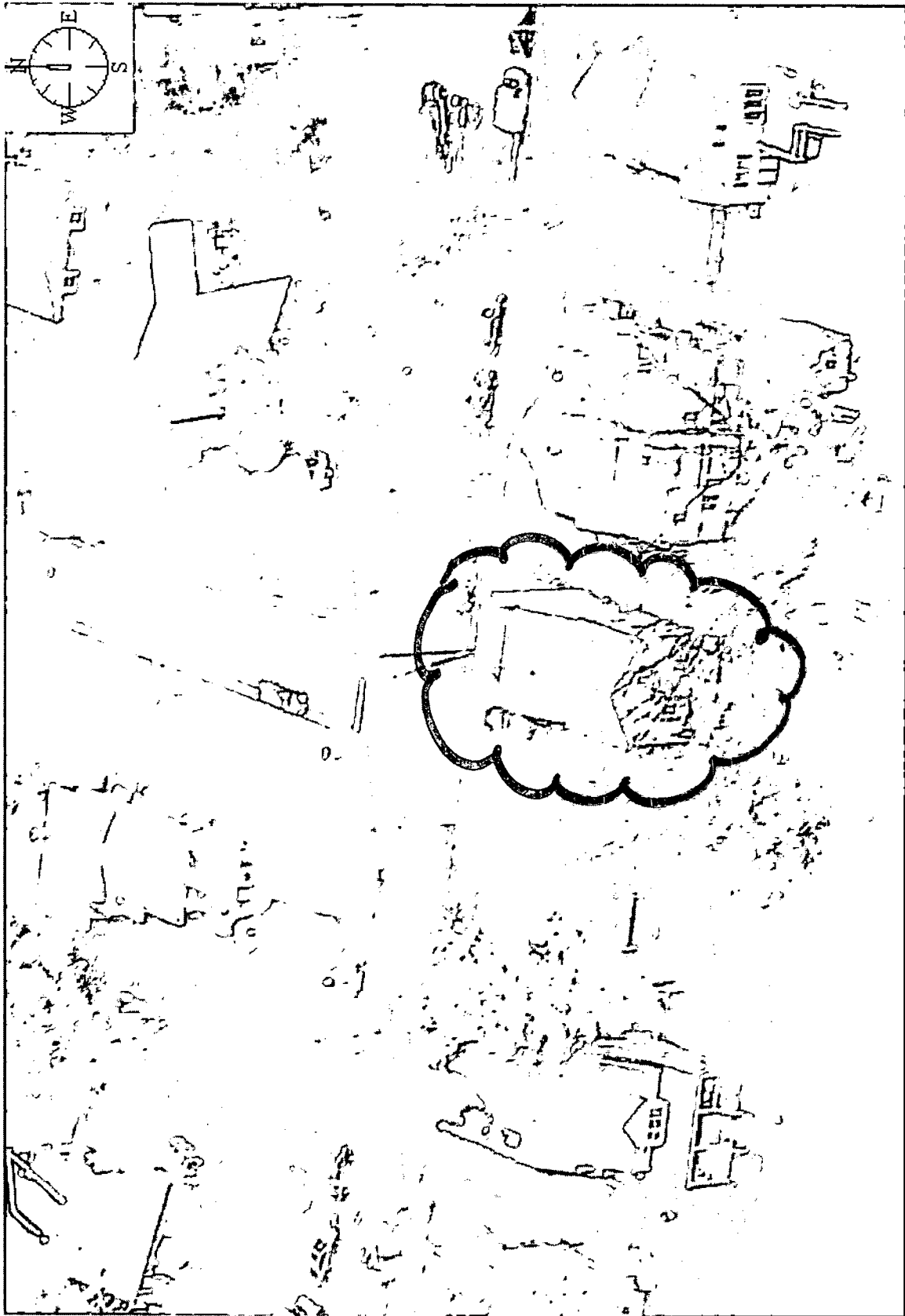
DESIGN BUILDERS INC.
BETHESDA, MD
301.975.2781
MHIC #124396

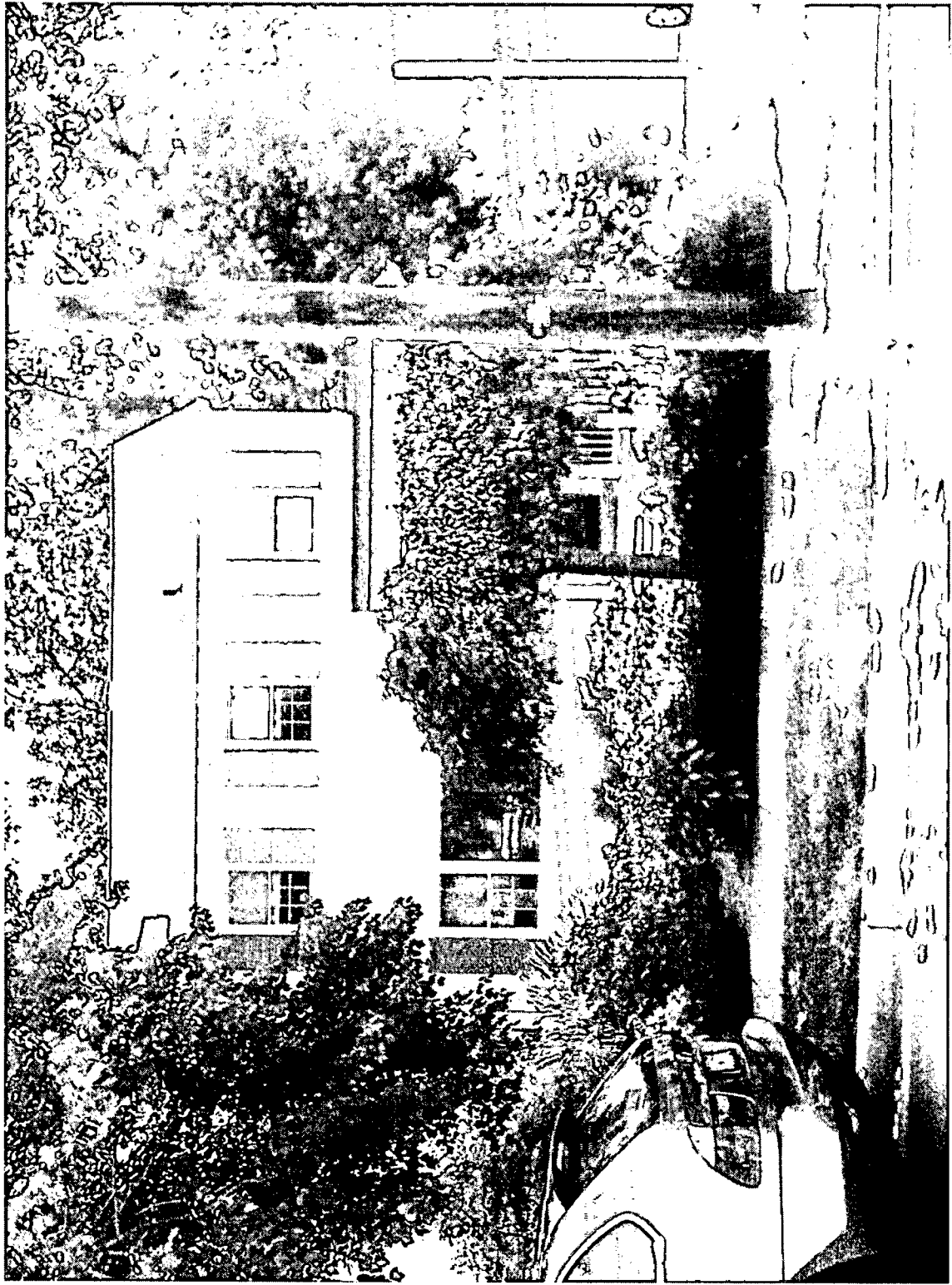
THE LITTMAN RESIDENCE
3716 WASHINGTON STREET
KENSINGTON, MD 20895
JUNE 5, 2011

SECTION
SUNDECK

REVISIONS
APPROVED BY _____
DATE _____

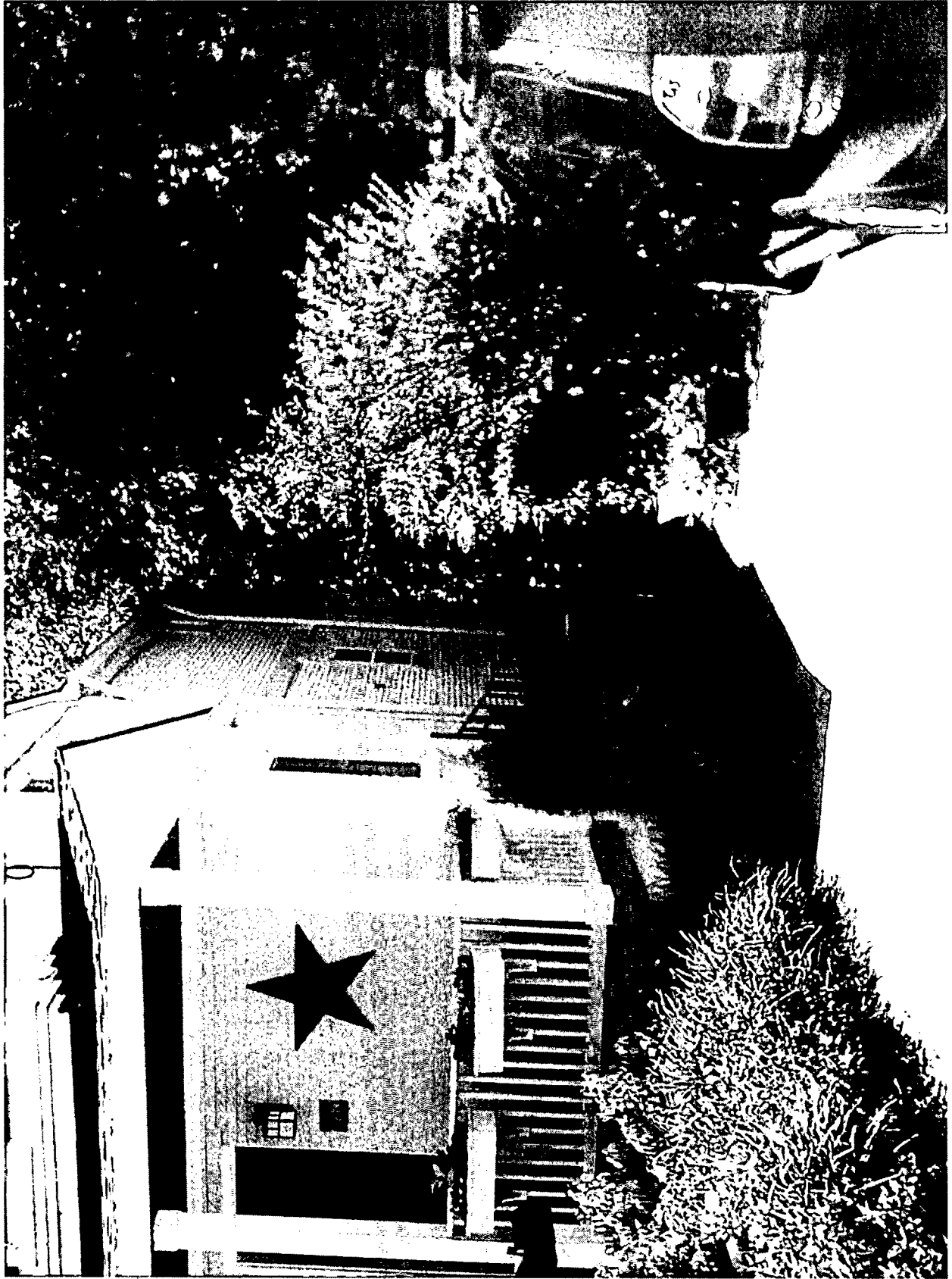
A5

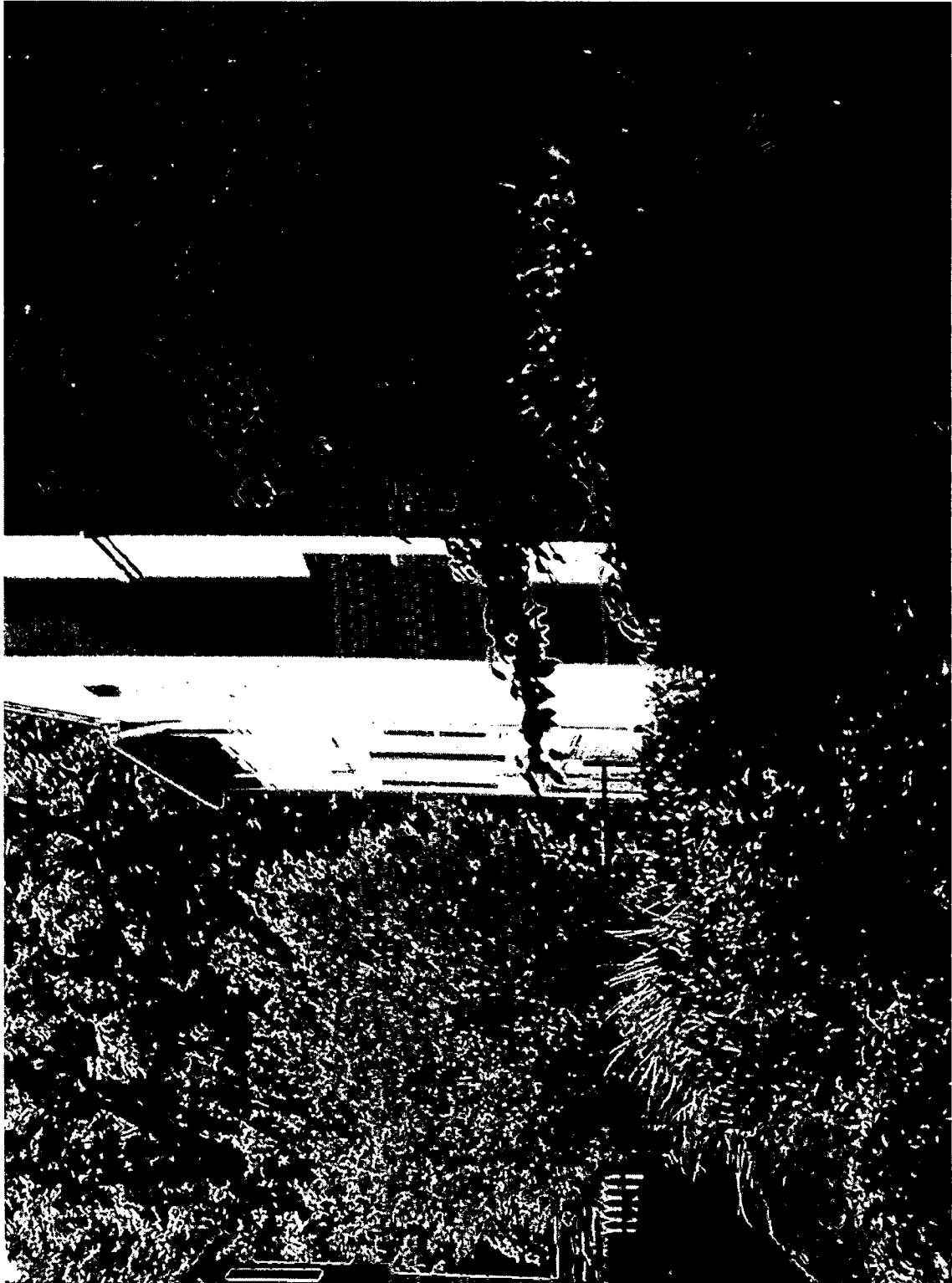




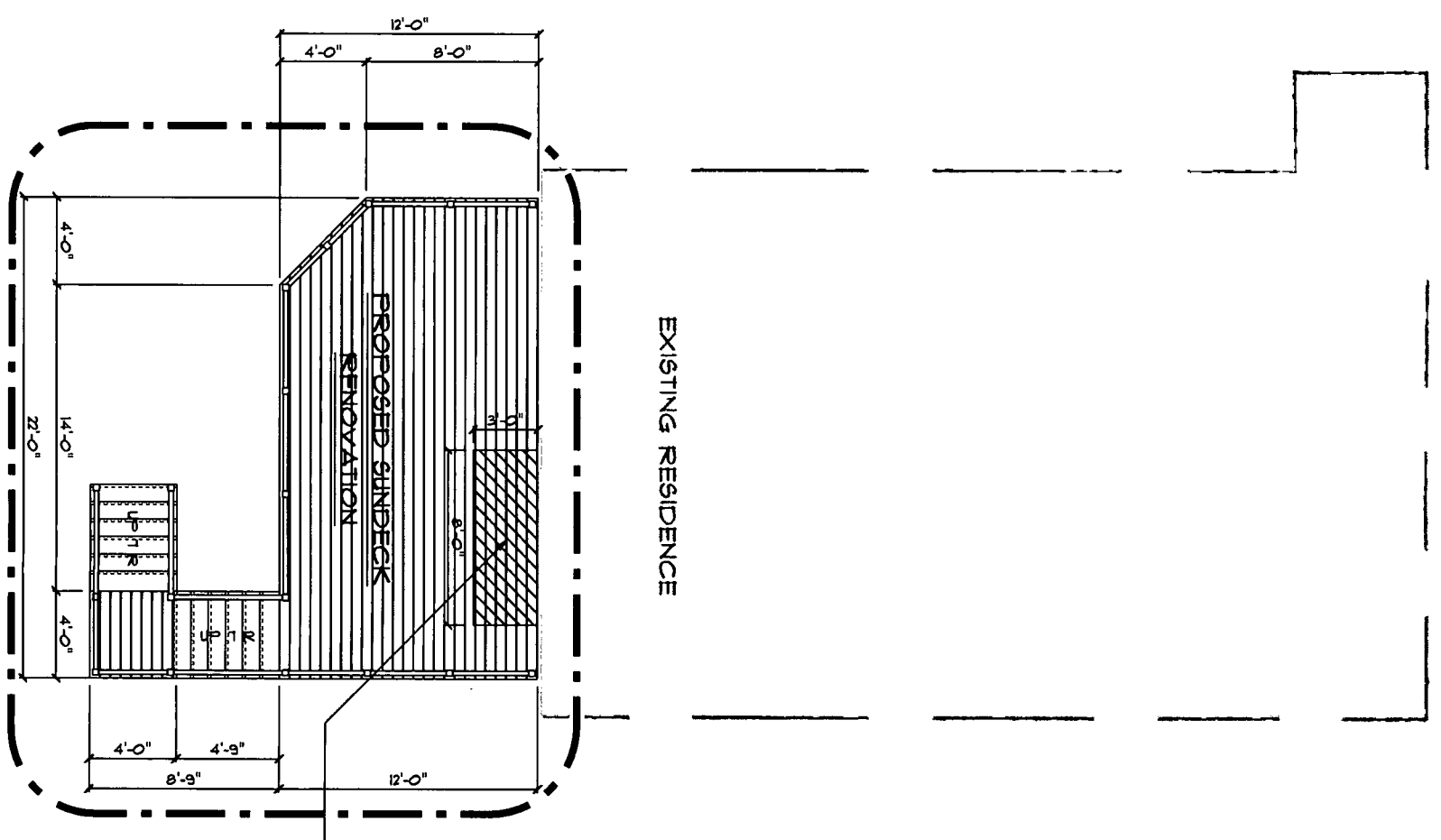


(B)





APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature]
 2/16/11



EXISTING RESIDENCE

NOTE:
 REPLACE RAILINGS & DECKING ON
 EXISTING 3x6 2nd STORY BALCONY

- ***PROPOSED PLAN:
- 5/4"x6" AZEK DECKING
- PARALLEL w/ HOUSE
- COLOR MATCHED S.S. SCREWS
- **PICTURE FRAME BORDER**
- SHORELINE RAILING SYSTEM
- WHITE VINYL TRIM/ FASCIA

PROPOSED PLAN

SCALE 1/8" = 1'-0"

DRAWING LIST
A1 - PROPOSED PLAN
A2 - RENOVATION PLAN
A3 - MAIN LEVEL FRAMING
A4 - ELEVATIONS
A5 - SECTION

PROPOSED PLAN
 SUNDECK

REVISIONS _____
 APPROVED BY _____
 DATE _____

THE LITTMAN RESIDENCE
 3716 WASHINGTON STREET
 KENSINGTON, MD 20895

JUNE 5, 2011

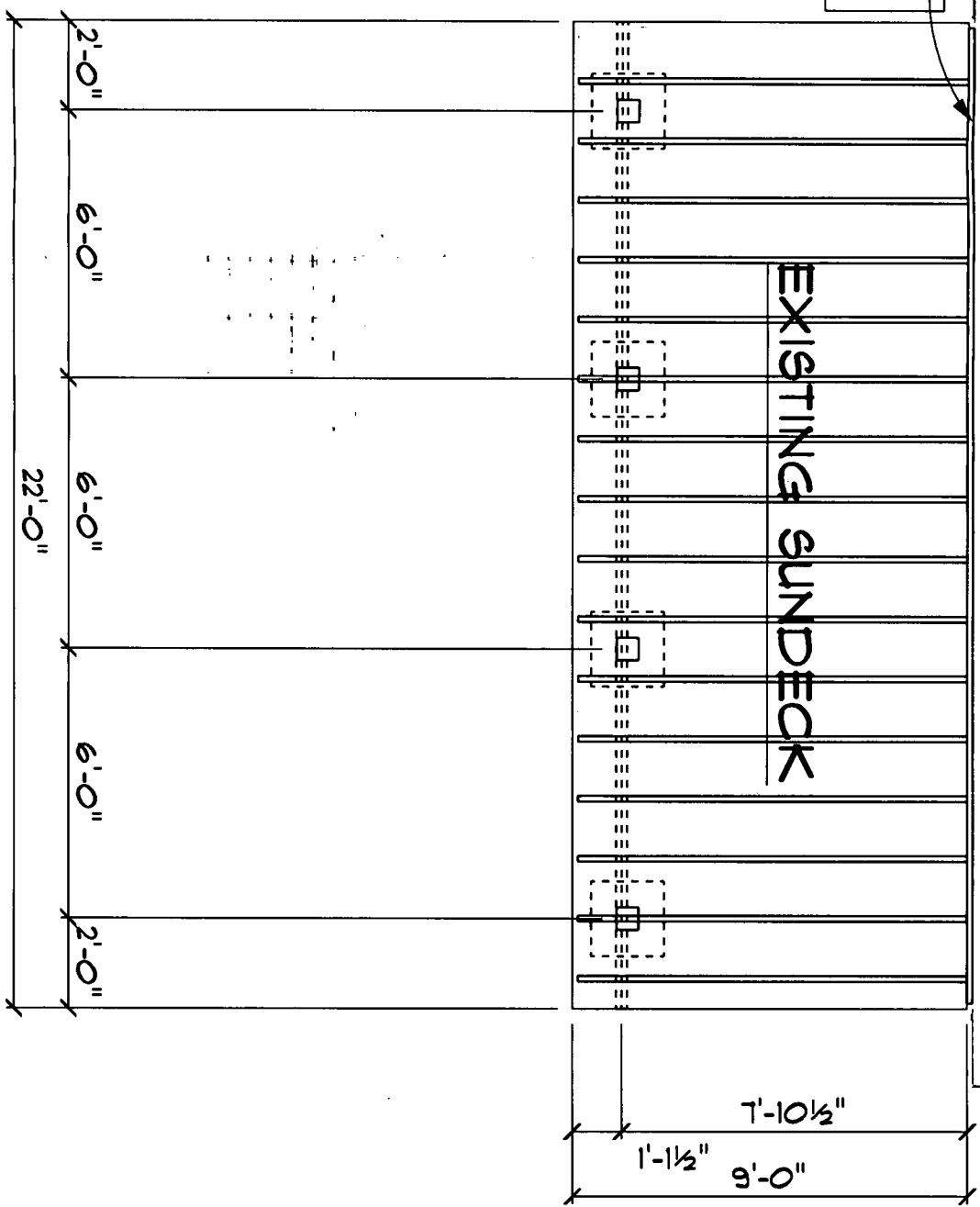
DESIGN BUILDERS INC.
 BETHESDA, MD
 301.875.2781
 MHIC #124396

A1

EXISTING RESIDENCE

NOTE:
FIELD VERIFY LEDGER CONNECTION AND FLASHING DETAIL.
INSTALL NECESSARY HARDWARE PER COUNTY CODE.
SEE A3 & A5 FOR DETAILS.

NOTE:
REMOVE ALL RAILINGS & DECKING
REMOVE FRONT & SIDE BANDS
REMOVE ALL STAIRS AND LANDING
ALL JOISTS TO REMAIN
ALL SUPPORT POSTS/BEAMS TO REMAIN



RENOVATION PLAN

SCALE 1/4" = 1'-0"

<p>A2</p>	<p>RENOVATION PLAN SUNDECK</p>	<p>THE LITTMAN RESIDENCE 3716 WASHINGTON STREET KENSINGTON, MD 20895</p>	<p>DESIGN BUILDERS INC. BETHESDA, MD 301.875.2781 MHIC #124396</p>
	<p>REVISIONS _____ APPROVED BY _____ DATE _____</p>	<p>JUNE 5, 2011</p>	

EXISTING RESIDENCE

***DECKING/ FRAMING:

- 5/4" x 6" AZEK DECKING
- PARALLEL w/ HOUSE
- COLOR MATCHED S.S. SCREWS
- PICTURE FRAMED BORDER
- 2x8 P.T. JOISTS @ 16" O.C.
- MAX. SPAN 8'-0"
- CRIB BLOCK END BAYS @ 24" O.C.
- DBL (2) 2x10 P.T. BEAM
- MAX. SPAN 1'-0"
- 6x6 P.T. POSTS
- OV 20"x20"x12" CONCRETE FOOTINGS
- MIN. 24" BELOW GRADE or TO UNDISTRBD

***STAIRS:

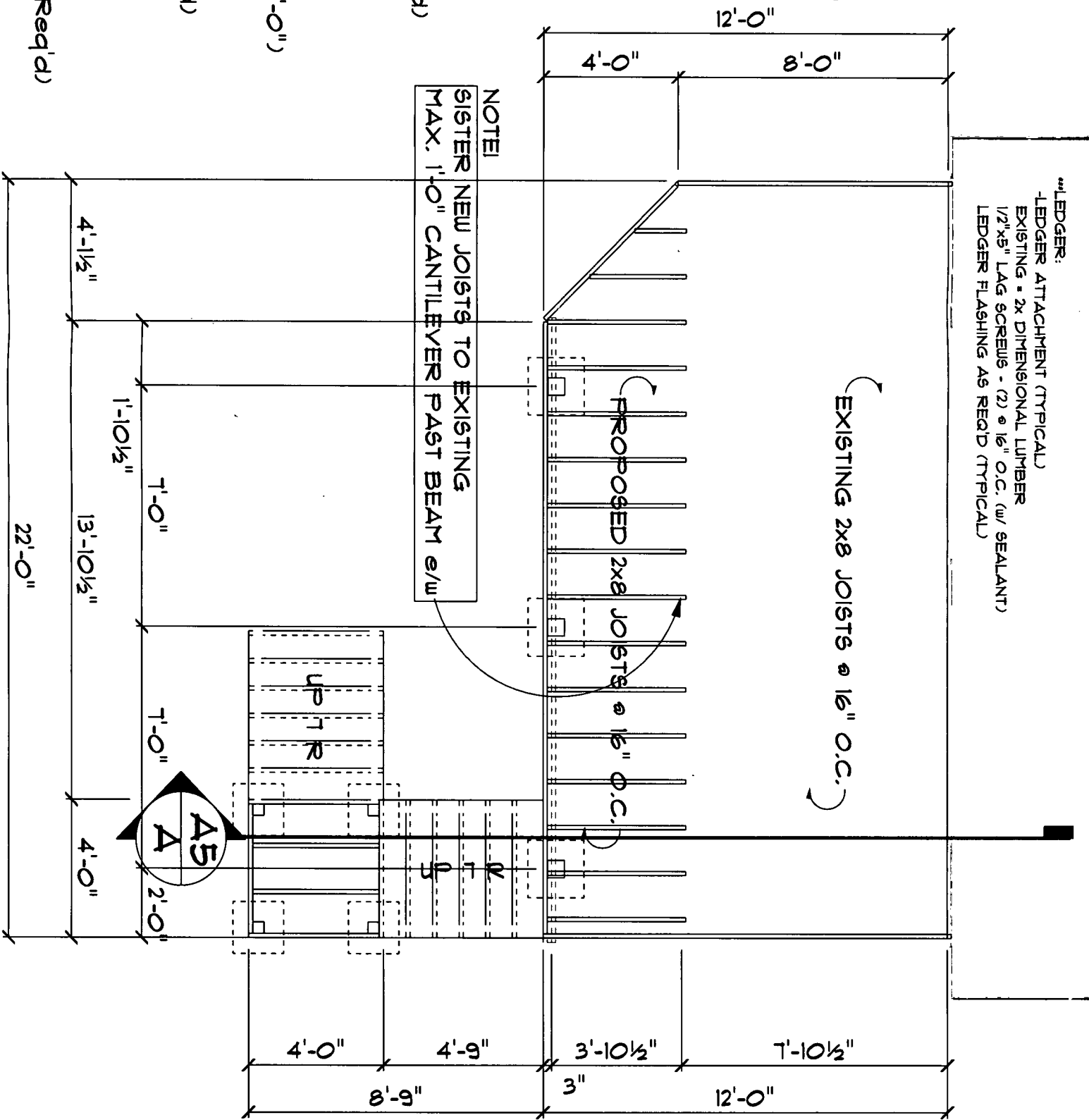
- FIVE (5) #1 P.T. 2x12 STRINGERS @ 12" O.C.
- CLOSED RISERS & STRINGER w/ FASCIA
- STRINGERS TO BEAR ON SOLID FOOTING
- & HAVE SOLID ATTACHMENT TO DECK
- RISER MAX. = 7 3/4"
- RISER DIFFERENCE = MAX. 3/8"
- TREAD MIN. = 10" - NOSE TO NOSE

***DECK RAILING:

- AZEK SHORELINE RAILING SYSTEM
- 4x4 P.T. POSTS (MAX. SPAN 5'-0")
- w/ TWO (2) 1/2" DIA. HEX BOLTS
- OPTIONAL FLUSH MOUNT SYSTEM (as Req'd)
- 36" MIN. RAIL HEIGHT
- 4" MAX. CLEAR OPENING

***STAIR RAILING: w/ 4 or MORE RISERS:

- AZEK SHORELINE RAILING SYSTEM (MAX. SPAN 5'-0")
- 4x4 P.T. POSTS (MAX. SPAN 5'-0")
- w/ TWO (2) 1/2" DIA. HEX BOLTS
- OPTIONAL FLUSH MOUNT SYSTEM (as Req'd)
- 34"-38" MIN. RAIL HEIGHT FROM NOSING
- 4" MAX. CLEAR OPENING
- GRASPABLE HANDRAIL
- MAX. 2 1/8" and RETURNED
- ALL RISERS AND TREADS ILLUMINATED (as Req'd)



MAIN LEVEL FRAMING

SCALE 1/4" = 1'-0"

MAIN LEVEL FRAMING
SUNDECK

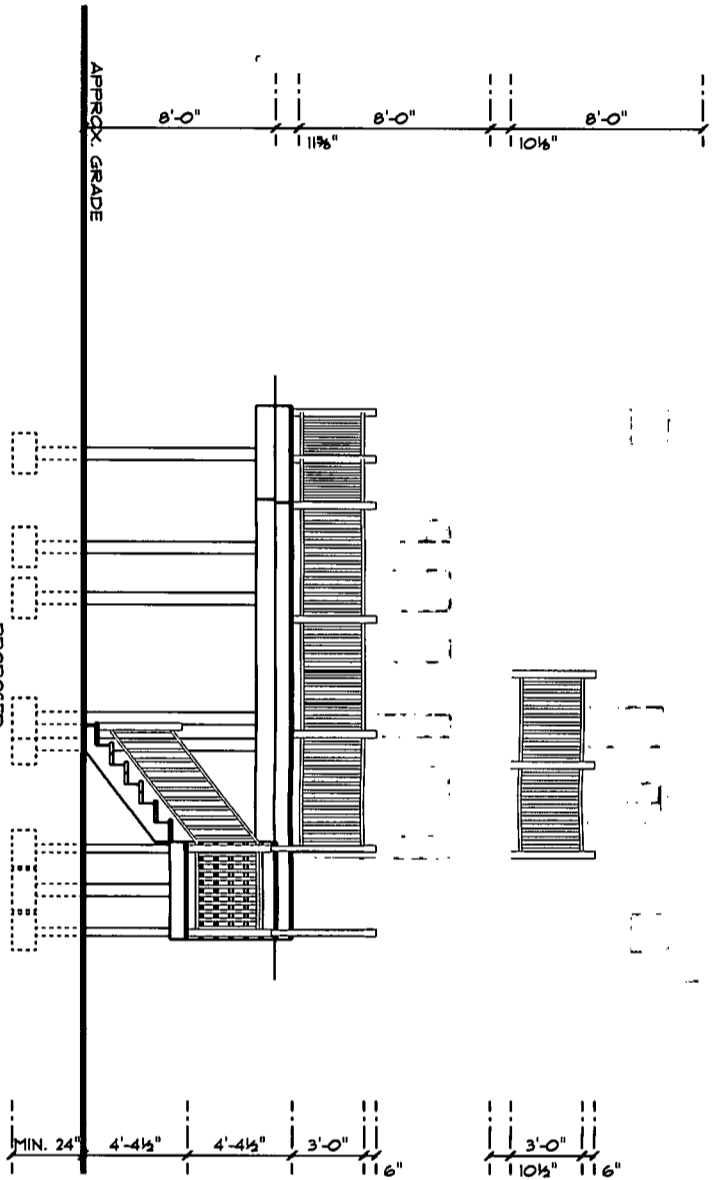
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THE LITTMAN RESIDENCE
3716 WASHINGTON STREET
KENSINGTON, MD 20895

JUNE 5, 2011

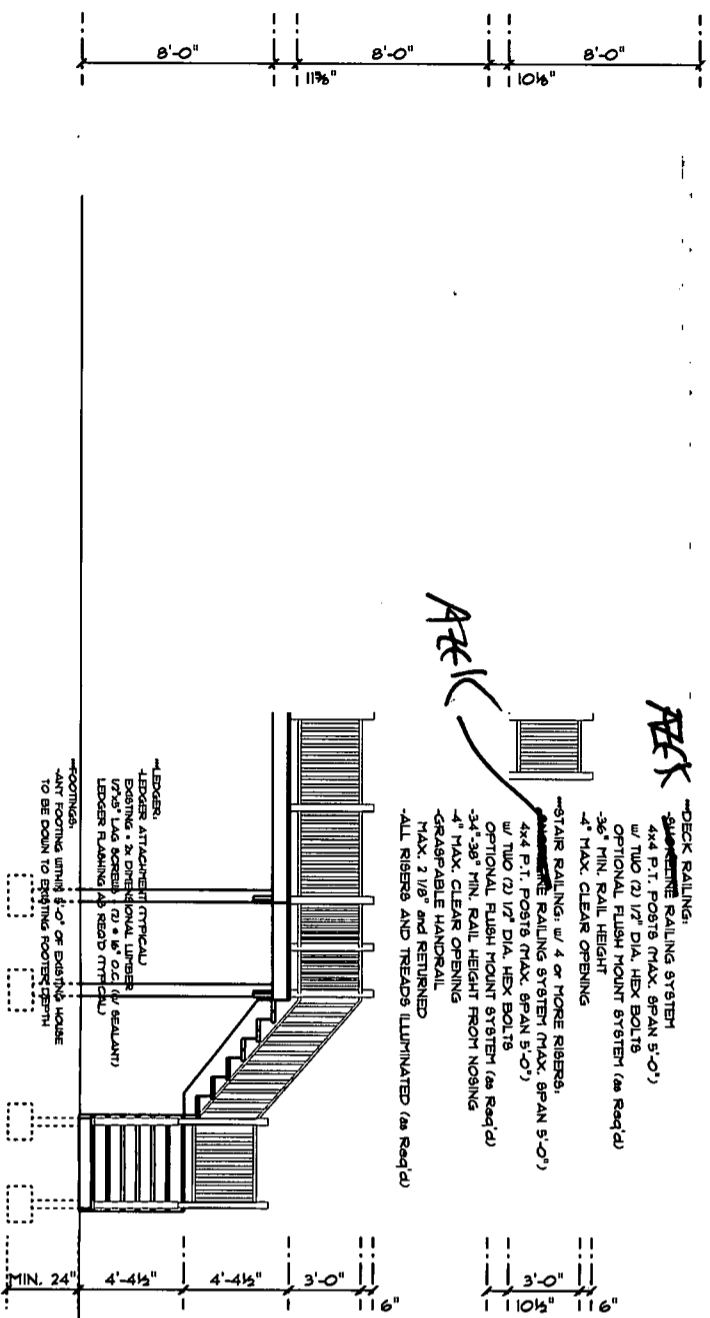
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MHC #124396

A3

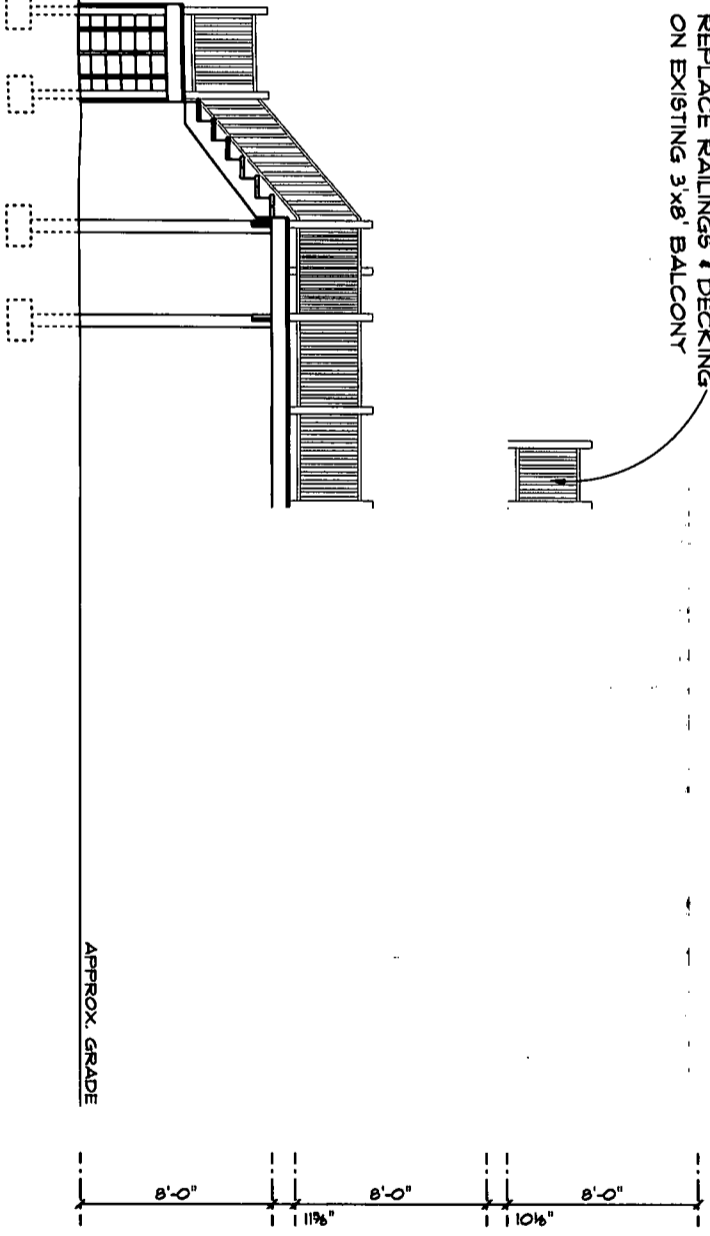


*****PROPOSED PLAN:**
 -5/4"x6" AZEK DECKING
 PARALLEL w/ HOUSE
 COLOR MATCHED S.S. SCREWS
 PICTURE FRAME BORDER
 -SHORELINE RAILING SYSTEM
 -WHITE VINYL TRIM/ FASCIA

REAR ELEVATION
 SCALE 1/8" = 1'-0"



LEFT ELEVATION
 SCALE 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE 1/8" = 1'-0"

DECK RAILING:
 -SHORELINE RAILING SYSTEM
 4x4 P.T. POSTS (MAX. SPAN 5'-0")
 w/ TUB (2) 1/2" DIA. HEX BOLTS
 OPTIONAL FLUSH MOUNT SYSTEM (as Req'd)
 -3/8" MIN. RAIL HEIGHT
 -4" MAX. CLEAR OPENING

STAIR RAILING: w/ 4 or MORE RISERS:
 4x4 P.T. POSTS (MAX. SPAN 5'-0")
 w/ TUB (2) 1/2" DIA. HEX BOLTS
 OPTIONAL FLUSH MOUNT SYSTEM (as Req'd)
 -34"-36" MIN. RAIL HEIGHT FROM NOSING
 -4" MAX. CLEAR OPENING
 -GRASPABLE HANDRAIL
 -MAX. 2 1/8" and RETURNED
 -ALL RISERS AND TREADS ILLUMINATED (as Req'd)

NOTE!
 REPLACE RAILINGS & DECKING
 ON EXISTING 3'x8' BALCONY

LEADER ATTACHMENT (TYPICAL)
 -EXISTING: 2x DIRECTIONAL LUMBER
 1/2"x3" LAG SCREWS (2) @ 6" O.C. (w/ SEALANT)
 -LEADER FLASHING @ READ (TYPICAL)
FOOTINGS:
 -EXISTING: 4" MIN. DIA. OR EQUIV. SQUARE
 TO BE DOWN TO EXISTING FOOTER CENTER

MIN. 24"
 4'-4 1/2"
 4'-4 1/2"
 3'-0"
 11'-6"

8'-0"
 10 1/2"
 8'-0"
 11'-6"

ELEVATIONS SUNDECK	
REVISIONS _____	APPROVED BY _____
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*****DECKING/ FRAMING:**

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- MAX. SPAN 8'-0"
- CRIB BLOCK END BAYS @ 24" O.C.
- DBL (2) 2x10 P.T. BEAM
- MAX. SPAN 11'-0"
- 6x6 P.T. POSTS
- O/V 20"x20"x12" CONCRETE FOOTINGS
- MIN. 24" BELOW GRADE or TO UNDISTRIB'D

*****STAIRS:**

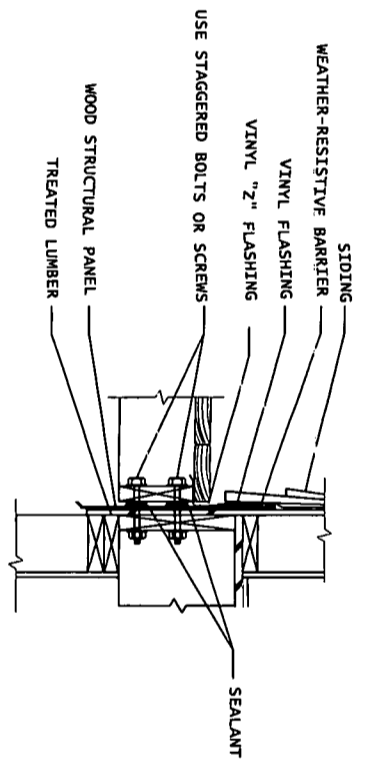
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- CLOSED RISERS & STRINGER w/ FASCIA
- STRINGERS TO BEAR ON SOLID FOOTING
- & HAVE SOLID ATTACHMENT TO DECK
- RISER MAX. = 1 3/4"
- RISER DIFFERENCE = MAX. 3/8"
- TREAD MIN. = 10" - NOSE TO NOSE

*****DECK RAILING:**

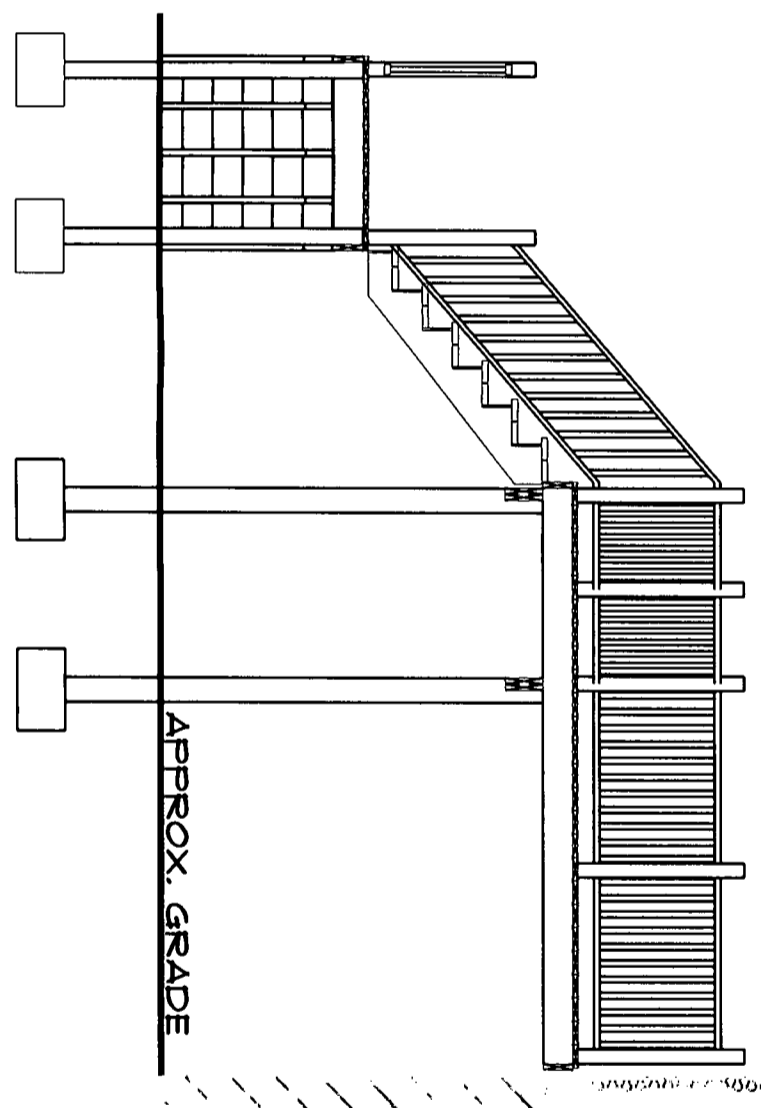
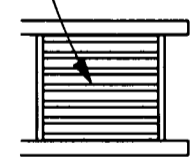
- SHORELINE RAILING SYSTEM
- 4x4 P.T. POSTS (MAX. SPAN 5'-0")
- w/ TWO (2) 1/2" DIA. HEX BOLTS
- OPTIONAL FLUSH MOUNT SYSTEM (as Req'd)
- 36" MIN. RAIL HEIGHT
- 4" MAX. CLEAR OPENING

*****STAIR RAILING: w/ 4 or MORE RISERS:**

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- MAX. 2 1/8" and RETURNED
- ALL RISERS AND TREADS ILLUMINATED (as Req'd)



NOTE!
 REPLACE RAILINGS & DECKING
 ON EXISTING 3'x8' BALCONY



SECTION A

SCALE 1/4" = 1'-0"

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SECTION
 SUNDECK

REVISIONS _____
 APPROVED BY _____
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AS