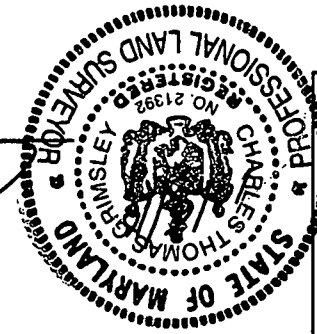


1011 Menlo Avenue Silver Spring
[HP Case No. 3107-101]
Capitol View Park Historic District

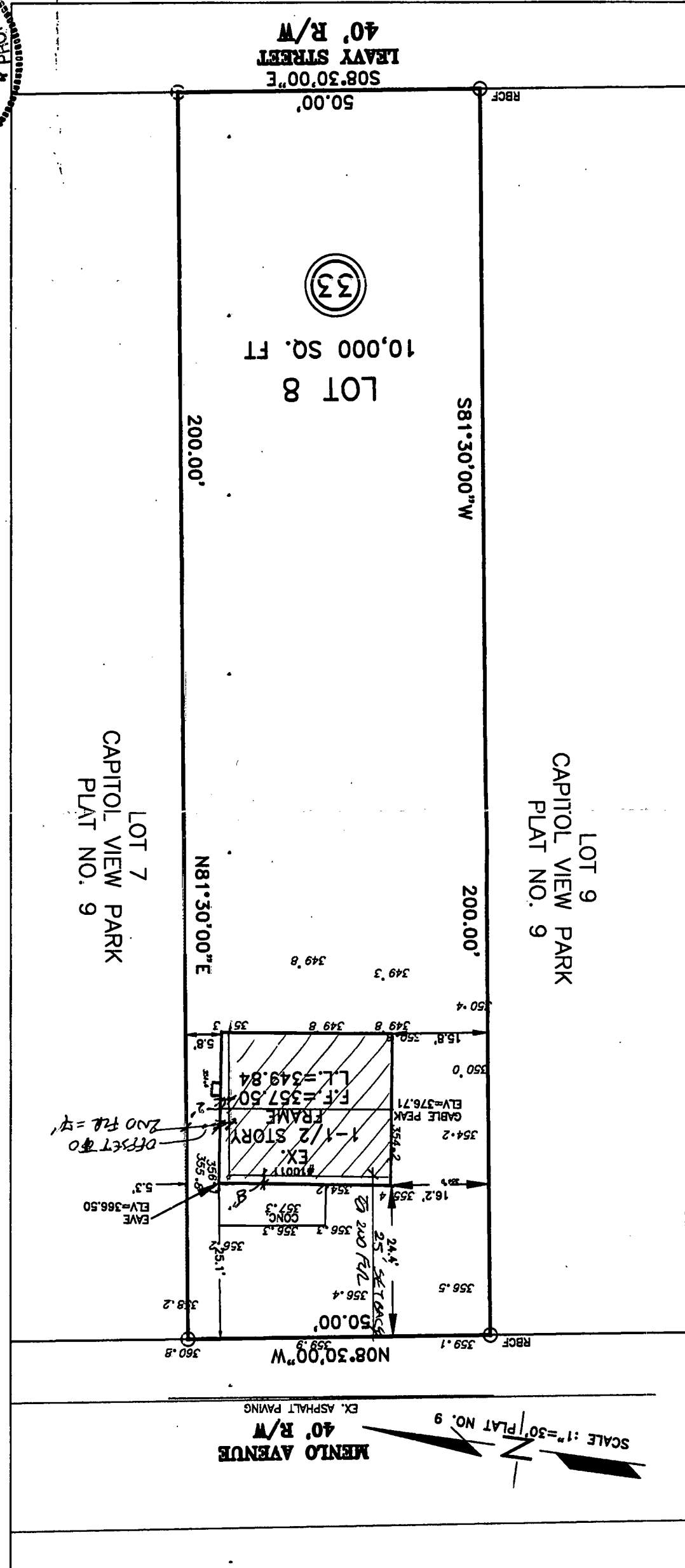
I hereby certify that this plat and the survey on which it is based were made in accordance with the Code of Maryland Regulations (COMAR) Title 9, Subtitle 13, Chapter 6 "Minimum Standards of Practice" and that the location of all features shown were as specifically requested by the owner, and that this survey has been prepared under my supervision as a Licensed Professional Surveyor.

Professional Land Surveyor
 Maryland No. 21392
 Charles Thomas Grimley



NOTE:
 VERTICAL ELEVATION:
 MEAN SEA LEVEL - WSSC DATUM

MONTGOMERY COUNTY
 DEPARTMENT OF PERMITTING SERVICES
 APPROVED: *[Signature]* DATE: 10/2/2010
 ZONING CLASS: R-W PAGE: 2/2
 BOARD OF APPEALS CASE: *[Signature]*



LOCATION SURVEY
 LOT 8, BLOCK 33
 CAPITOL VIEW PARK
 10011 MENLO AVENUE
 13TH ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10011 Menlo Avenue, Silver Spring	Meeting Date:	11/10/2010
Resource:	Non-Contributing Capitol View Park Historic District	Report Date:	11/3/2010
Applicant:	RKB Construction, LLC (Jay Bhalla, Agent)	Public Notice:	9/27/2010
Review:	HAWP	Tax Credit:	None
Case Number:	31/07-10I	Staff:	Josh Silver
PROPOSAL:	2 nd story addition and other alterations		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing
STYLE: Cape Cod
DATE: 1946

PROPOSAL

**Note: Since receipt of this application the applicant has agreed to the changes identified on the attached elevation drawings and in the proposal section below. Revised plans reflecting these changes were not available prior to the preparation of the HPC staff report.*

The applicant is proposing to add a 2nd story addition to the existing building footprint. The proposed plan includes the removal and reuse of the existing gable roof, siding removal, window and door replacement, installation of a rear deck and 2nd story balcony on the left side elevation, and construction of a front porch.

The proposed material treatments include fiber cement siding (the existing aluminum siding on the 1st story will be removed and fiber cement siding will be installed throughout), asphalt shingle roofing, 1/1, double-hung vinyl clad exterior wooden windows, fiberglass and sliding glass doors, paintable wood and/or composite deck and balcony railings, posts and pickets, and wooden and/or paintable composite material front porch posts.

APPLICABLE GUIDELINES

When reviewing alterations and new construction in the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code, Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

Staff supports the proposed construction of a 2nd story addition and other alterations to the subject house.

The subject property is a non-contributing resource. The adjacent and confronting properties are also categorized as non-contributing resources. The proposed design will not substantially alter the exterior features of the property or the historic district. The proposed design is compatible in character and nature with the neighborhood context.

The proposed work will not destroy historic materials, features, and spatial relationships that characterize the property. The proposed material treatments are appropriate for alterations to a non-contributing resource. The commission shall be lenient in its judgment of plans for structures of little historical or design significance, unless such plans would seriously impair the character of the historic district.

Staff finds that the proposed construction of a 2nd story addition and alterations to the house as being consistent with Chapter 24-8(b) (1) (2) & (d) and *Standard #9* outlined above. Staff **recommends approval** of this application.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2) and (d);

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



HISTORIC PRESERVATION COMMISSION
301/563-3400

552289

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Jay Bhalla
Daytime Phone No.: 202-498-5755

Tax Account No.: _____
Name of Property Owner: RKB Construction, LLC Daytime Phone No.: 202-498-5755
Address: 14334 Cartwright Way, N Potomac MD 20878
Street Number City State Zip Code
Contractor: Owner as Contractor Phone No.: 202-498-5755
Contractor Registration No.: N/A
Agent for Owner: N/A Daytime Phone No.: 202-498-5755

LOCATION OF BUILDING/PREMISE

House Number: 10011 Street: Menlo Ave
Town/City: Silver Spring Nearest Cross Street: Leafy St.
Lot: 8 Block: 33 Subdivision: Capital View Parks
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 35,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date 10/20/10

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____



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Virginia • West Virginia • Maryland • Washington DC • North Carolina • Mississippi • Florida

6908 Ben Franklin Drive • Springfield • VA 22150

Ph: 703-822-5935

www.cfsengineers.com

Fax: 703-822-5914

Name and Address of property owners abutting and across 1011 Menlo Ave Residence

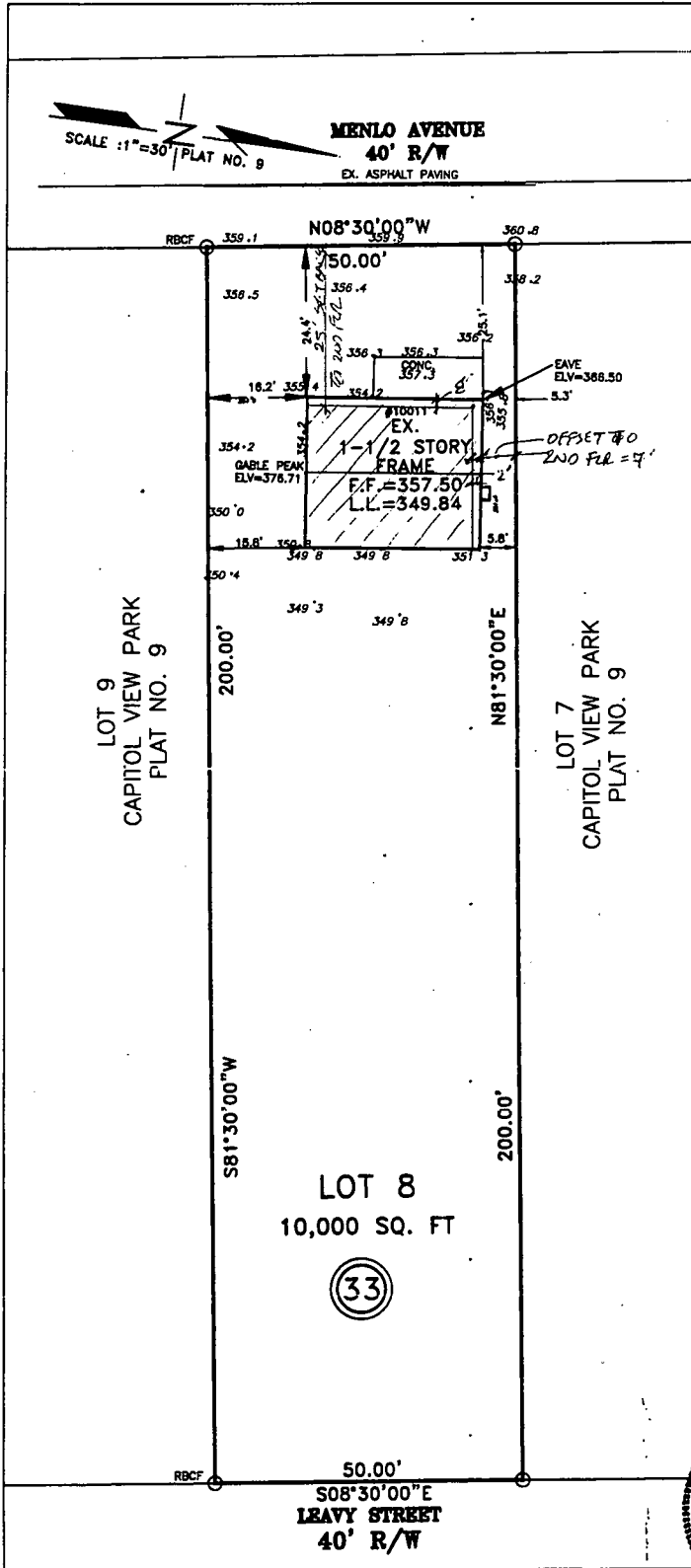
Abutting:

1. 10009 Menlo Ave: Sarah E McElroy NC
2. 10013 Menlo Ave : Rudolph K Cebulla NC

Across:

1. 10018 Menlo: Harry & MJ Dunkle NC
2. 10012 Menlo: Penelope L Maza NC
3. 10010 Menlo: Ronald K Foster NC

LOCATION SURVEY
 LOT 8, BLOCK 33
 CAPITOL VIEW PARK
 10011 MENLO AVENUE
 13th ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND



PROPOSED 2ND STORY ADDITION

DEPARTMENT OF PERMITTING SERVICES
 APPROVED: *[Signature]* DATE: 10/23/2010
 ZONING CLASS: R-W PAGE 2 OF 3
 BOARD OF APPEALS CASE: *[Signature]*

NOTE:
 VERTICAL ELEVATION:
 MEAN SEA LEVEL-- WSSC DATUM

I hereby certify that this plat and the survey on which it is based were made in accordance with the Code of Maryland Regulations (COMAR) Title 9, Subtitle 13, Chapter 8 "Minimum Standards of Practice" and that the location of all features shown were as specifically requested by the owner, and that this survey has been prepared under my supervision as a Licensed Professional Surveyor.



[Signature]
 Professional Land Surveyor
 Maryland No. 21392
 Charles Thomas Grimsley

DRAWN BY: JRL CHK: CTG
 DATE: 10-06-2010
 SCALE: 1"=20'
 JOB NO.: 1030

REFERENCE
 LIBER 38879
 FOLIO 487
 PLAT NO. 9

LANDMARK ENGINEERING, INC.
 6110 EXECUTIVE BLVD, SUITE 110 PHONE: (301) 230-6681
 ROCKVILLE, MARYLAND 20852 FAX: (301) 230-6684
 CONSULTING ENGINEERS PLANNERS SURVEYORS

6

FRAMING LUMBER DIMENSIONS AND CHECKS:
 EXISTING ROOF SHALL BE REMOVED AND REUSED ALL LUMBER SHALL BE REMOVED CAREFULLY AND REUSED WHERE LUMBER SHALL BE USED. REMOVAL OR OTHERWISE, THE FOLLOWING STUDS, SOLE PLATE, SILL PLATE AND TOP PLATE 2X4
 BUILT UP POSTS (1) 4X6 HEAVY
 DOUBLE HEADERS 2X10 AND 2X12 HEAVY
 WIND BRACING 3/4" APA STRUCTURAL LTP RATED SHEATHING

FRAMING AND CONNECTORS:
 SIMPSON STRONG TIE CONNECTORS AS SHOWN ON DRAWING STUDS SHALL BE TOE Nailed TO SOLE PLATE OR TOP PLATE WITH 16" X 2" BRIMS
 USE 16# NAILS STAGGERED AT 12" O.C TO CONNECT FELLER BLOCKS AT EACH CORNER.
 INTER CONNECT ALL ANGLES TO SILL AND HEADERS WITH 4 10# NAILS EACH JOE WR.
 PROVIDE 10 2X4 SOLE PLATE ON ALL EXTERIOR AND INTERIOR WALLS PROVIDE FELLER BLOCKS AT THE INTERSECTION OF INTERIOR AND INTERIOR WALLS OVER LAP TOP PLATE OVER INTERIOR WALLS. ATTACHED TOP PLATE TO FELLER BLOCK WITH 16# NAILS WR.
WIND BRACING:
 CS-WSP CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS PER IRC R602.10.4 AND TABLE R602.10.4.2
 COMMON WALLS AT O.C. AT PANEL EDGES AND 12" O.C AT INTERMEDIATE SUPPORTS. PROVIDE DOUBLE BRACING WHERE PANELS OVER LAP

DESIGN SNOW LOADS:
 GROUND SNOW LOAD s_p 30 PSF
 ROOF SNOW LOAD s 10
 THERMAL FACTOR C_e 1.0
 THERMAL FACTOR C_i 1.0
 IMPORTANCE FACTOR I 1.0

ROOF AND FLOOR DESIGN LOADS:
 ROOF DEAD LOAD D 3 PSF
 ROOF LIVE LOAD L 20 PSF
 FLOOR DEAD LOAD D 10 PSF

CONCRETE:
 FOOTING CONCRETE: 3000 PSI WITH MAX 4 1/2% MAX ENTRAINMENT.
SOIL TYPE GEOTECHNICAL INFORMATION:
 2000 PSF SOIL BEARING CAPACITY ASSUMED
 NO GEOTECHNICAL INVESTIGATION HAS BEEN MADE TO DETERMINE THE STRUCTURAL SOIL CAPACITY. IT IS THE RESPONSIBILITY OF THE OWNER TO ENGAGE A GEOTECHNICAL ENGINEER TO EVALUATE THE SOIL CAPACITY IF REQUIRED BY THE OWNER. THE ENGINEER SHALL BE LICENSED IN THE STATE WHERE THIS WORK IS BEING PERFORMED.

DESIGN CRITERIA:
 2006 INTERNATIONAL RESIDENTIAL CODE
 BUILDING USE GROUP R-3 (ONE AND TWO FAMILY DWELLINGS NOT MORE THAN THREE STORES IN HEIGHT WITH A SEPARATE MEANS OF EGRESS AND THEIR ACCESSORY STRUCTURES)
RESIDENTIAL CLASS:
 UNDESIGNED 20 YEAR
 IMPORTANCE FACTOR I 1.0
EXPOSURE CATEGORY:
COMPONENT AND CLADDING PRESSURES:
 ROOF OVERHANG: ZONE 2 (BETWEEN CORNER ZONE 1 - 20 PSF ZONE 3 CORNER ZONE - 40 PSF)
 ROOF WIND LOAD ZONE 1: 13.8 PSF
 EDGE STOP WIND CORNER ZONE 2: 18.7 PSF
 CORNER ZONE (ZONE 3) - 18.1 PSF
WALLS:
 WINDWARD - INTERIOR AND END ZONE - 14 PSF
 LEeward - INTERIOR CORNER ZONE 2: 18.7 PSF
 LEeward - END ZONE - 19.1 PSF
CONSTRUCTION ZONE: R60
ENERGY EFFICIENCY:
 ENERGY ZONE (PER IRC 2009) - 4 (MOIST)
 ALL WINDOWS AND DOORS SHALL BE DOUBLE GLAZED
 REFER TO TYPICAL WALL SECTIONS FOR INSULATION REQUIREMENTS

GENERAL NOTES:
 ALL PLANS, SECTIONS, ELEVATIONS AND DETAILS SHOWN HEREIN WITH THE EXCEPTION OF THE FOUNDATION SHALL BE CONSIDERED AS NEW UNLESS OTHERWISE NOTED.
 TAKEN OF EXISTING CONSTRUCTION WORK THAT WAS VISIBLE. NO RESPONSIBILITY IS TAKEN FOR HIDDEN CONDITIONS OR DEFECTS THAT MAY BECOME APPARENT IN THE COURSE OF CONSTRUCTION WORK AND MAY REQUIRE REPAIR OR REPAIR.
 VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT COMMENCE WORK UNTIL THE DIMENSIONS HAVE BEEN CONFIRMED BY THE OTHER ARCHITECT.
 THESE PLANS ARE FOR STRUCTURAL REHABILITATION AND REPAIR ONLY. ELECTRICAL, HVAC, PLUMBING AND WATER PROOFING ISSUES ARE NOT ADDRESSED HEREIN. IT IS THE RESPONSIBILITY OF THE OWNER TO ADDRESS THE ABOVE MENTIONED ISSUES.
 ELEVATIONS PROVIDED AND USED HEREIN ARE BASED ON SURVEY BY LANDMARK ENGINEERING INC, ROCKVILLE, MD
CONCRETE:
 R60
BASEMENT/CELLAR DETERMINATION (CALCS ATTACHED):
 AVERAGE HEIGHT OF PRE DEVELOPMENT GRADE ABOVE BASEMENT / CELLAR 378
 WINDPORT OF FOUNDATION WALL 39 x 378
 THEREFORE LOWEST LEVEL IS A CELLAR
 THEREFORE FULL SECOND STORY IS PERMISSIBLE
NEW CONSTRUCTION (ADDITION DETERMINATION CALCS ATTACHED):
 TOTAL FLOOR AREA DEMOLISHED AND RECONSTRUCTED 613.41 SQ. FT
 TOTAL FLOOR AREA OF EXISTING DWELLING 1040.23 SQ FT
 RATIO 613.41/1040.23 SQ FT = 0.5897
 THEREFORE NEW CONSTRUCTION QUALIFIES AS AN ADDITION

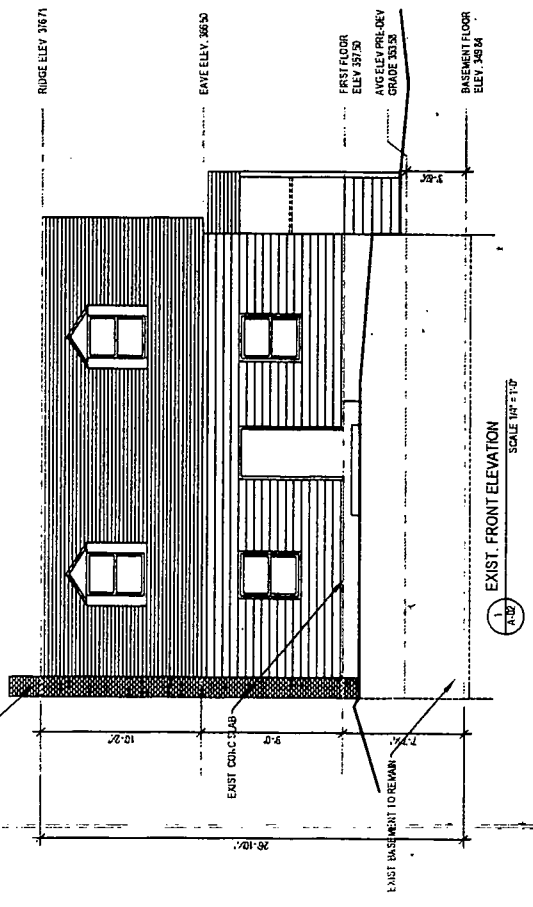
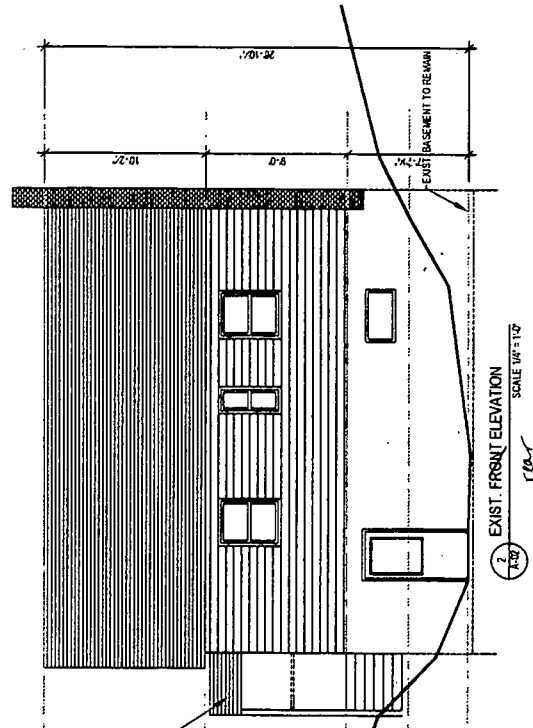
ADDITION TO
BALLA RESIDENCE
10011 MENLO AVE
SILVER SPRING
MD 20910

NOISE OF DRAWINGS

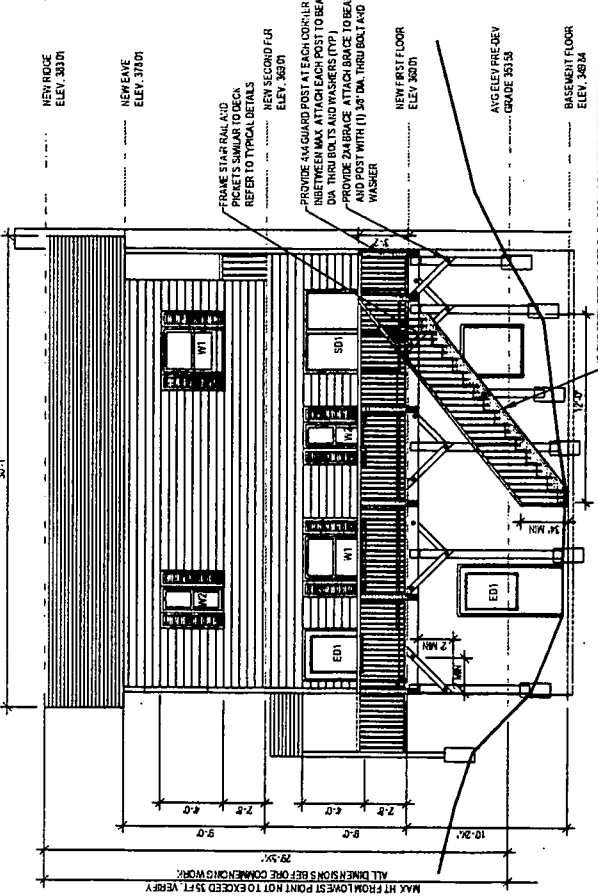
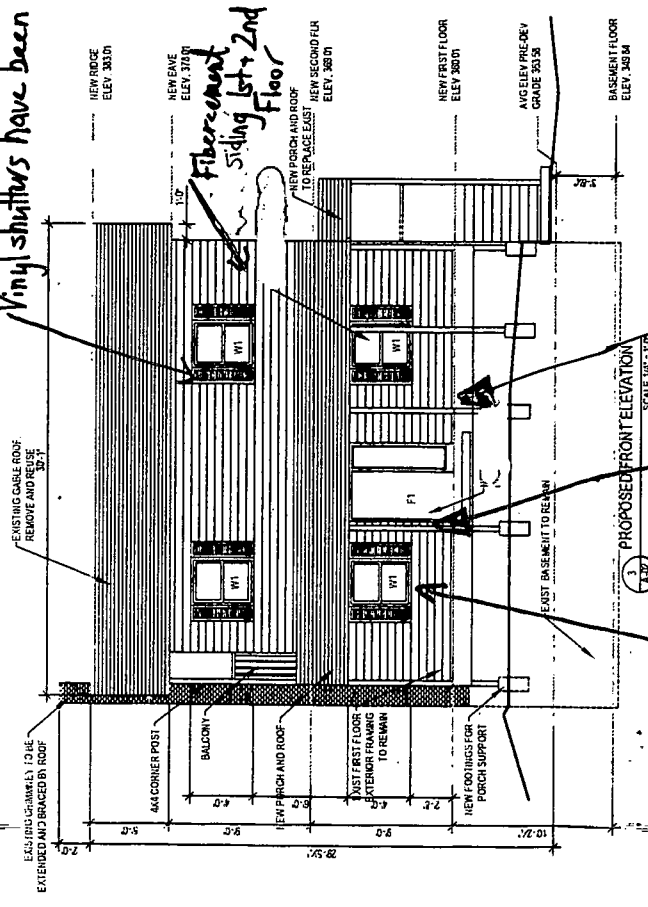
DRAWING NO.	NOISE OF DRAWINGS
1 OF 7	AD EXISTING AND PROPOSED FLOOR LAYOUT
2 OF 7	AD EXISTING AND PROPOSED ELEVATION
3 OF 7	AD EXISTING AND PROPOSED ELEVATION
4 OF 7	AD EXISTING AND PROPOSED ELEVATION
5 OF 7	S/O FRAMING PLAN
6 OF 7	S/O FRAMING ELEVATION AND BRACED WALL LINES
7 OF 7	S/O TYPICAL DETAILS



10/17/2010
SHEETS A-01, 04, 03, 04,
COVER, S-01, 04, 03
ACCORDED 10/15/2010



Vinyl shutters have been removed from proposal (all elevations)

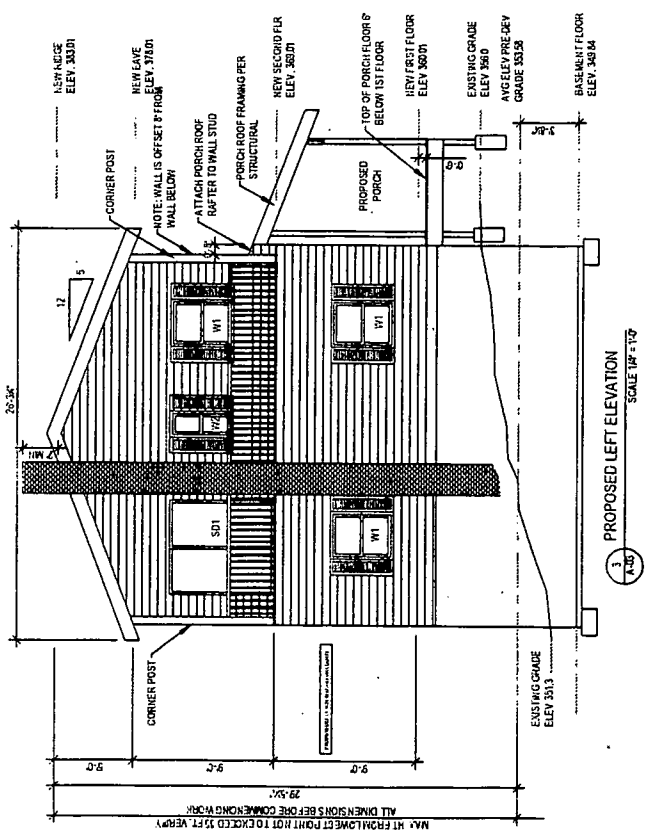
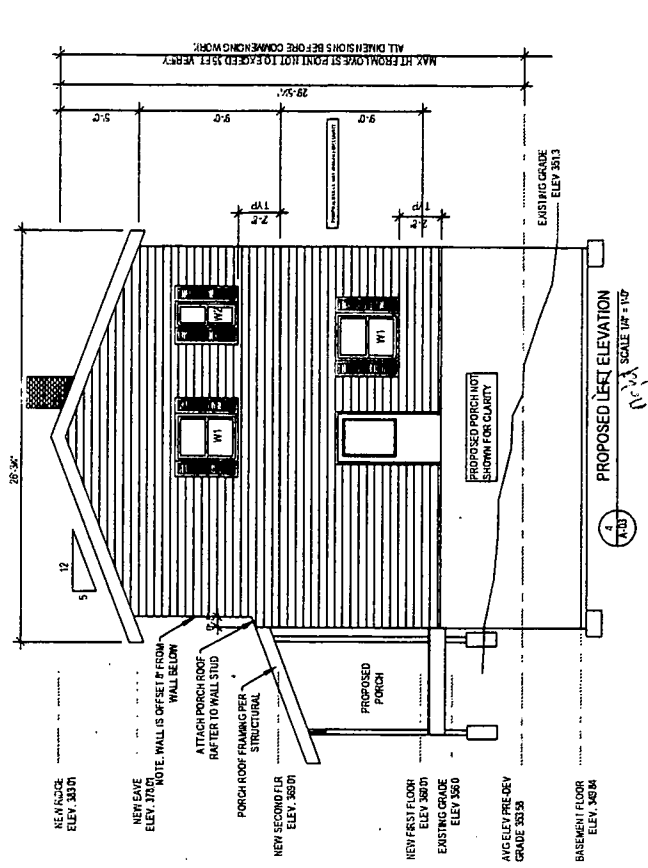
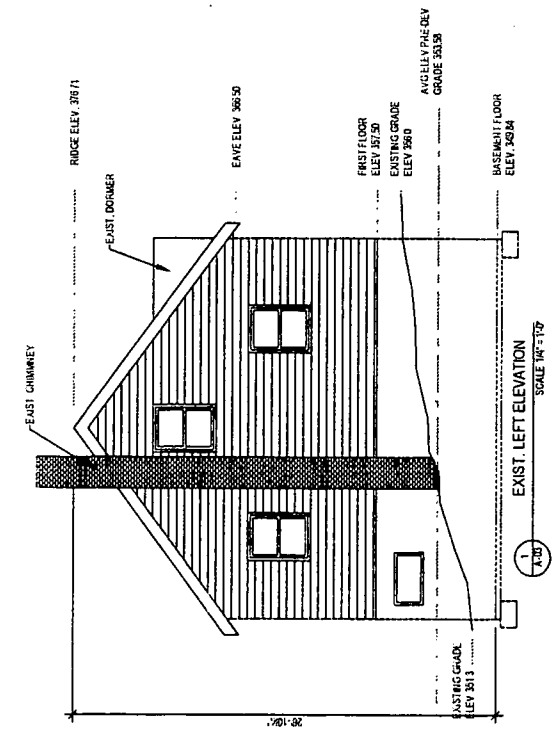
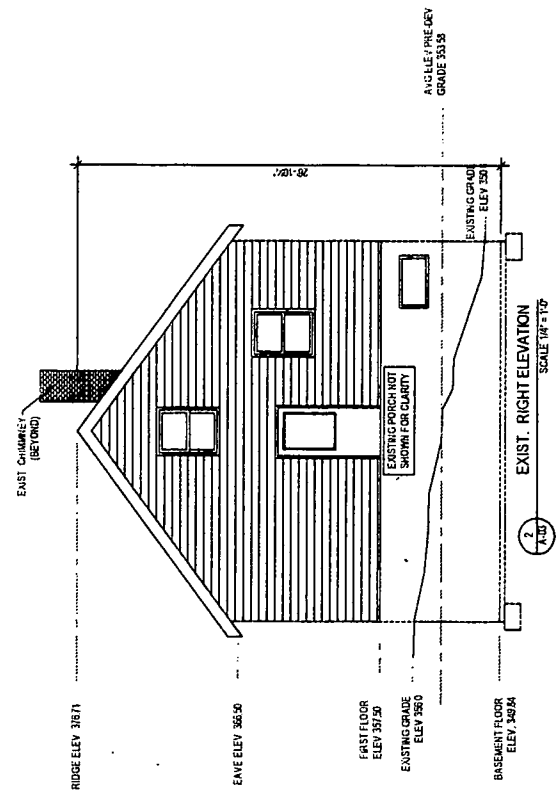


Wider porch columns will be installed (wood or composite material)

All double-hung windows w/ vinyl chd exterior

Add sidelight on left side

6



6

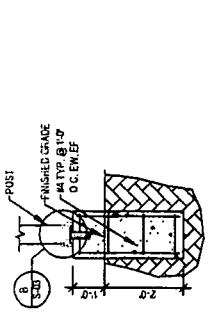
CHS
ENGINEERS
INC.
6030 190th Ave NW
Springfield, WA 98149
PH: (360) 877-3439
WWW.CHSENGR.COM

Client
JAY BALLA

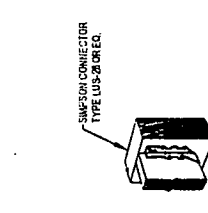
ADDRESS
CHS, STATE TP
PH: (800) 000-0000
FAX: (866) 000-0000

STUD SIZE AND GAGE
SPACING IS 16"
O.C. U.N.O.

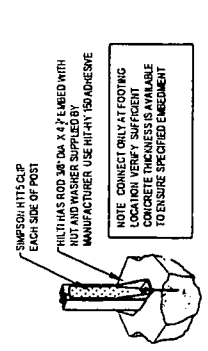
NOT USED
CLIP SIZE AND GAGE
TOP
L 1, X, L, X, DEPT



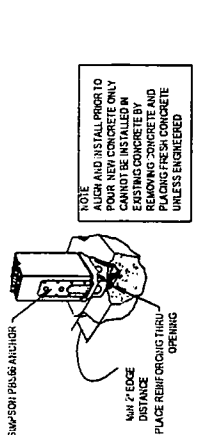
E. POST FOOTING
USE 1/4\"/>



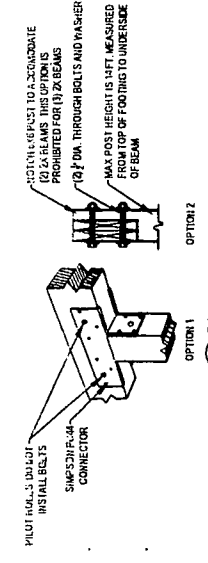
D. JOIST TO BEAM CONNECTION



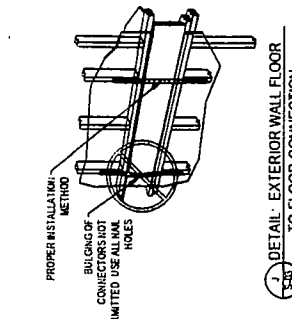
C. POST TO SLAB CONNECTION



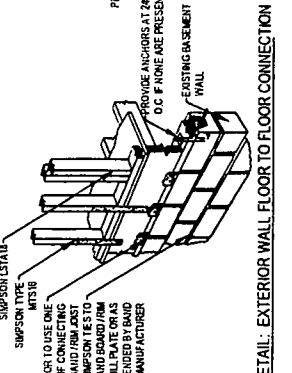
B. POST TO CONCRETE CONN.



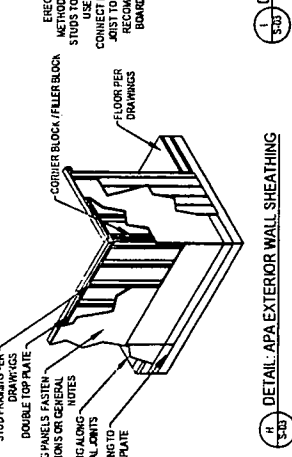
A. POST TO BEAM CONN.



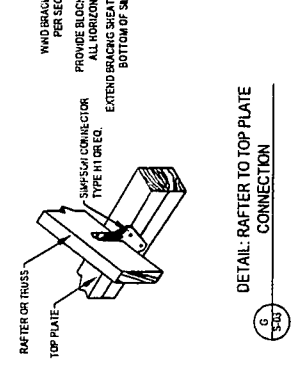
J. DETAIL - EXTERIOR WALL FLOOR TO FLOOR CONNECTION



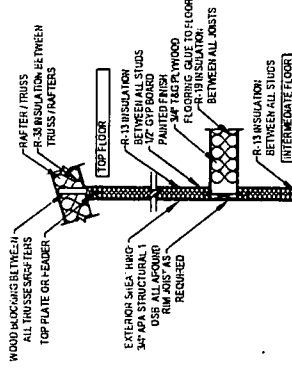
I. DETAIL - EXTERIOR WALL FLOOR TO FLOOR CONNECTION



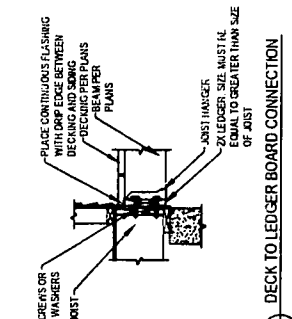
H. DETAIL - APA EXTERIOR WALL SHEATHING



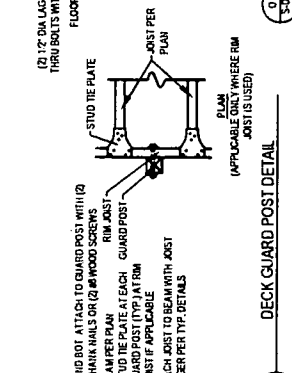
G. DETAIL - RAFTER TO TOP PLATE CONNECTION



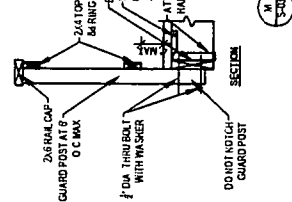
F. TYPICAL WALL AND FLOOR SECTION



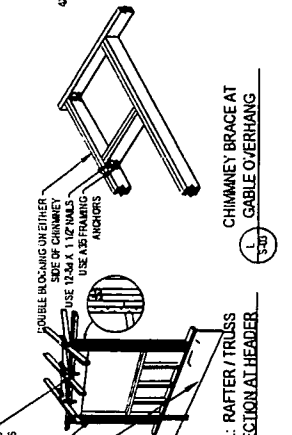
D. DECK TO LEDGER BOARD CONNECTION



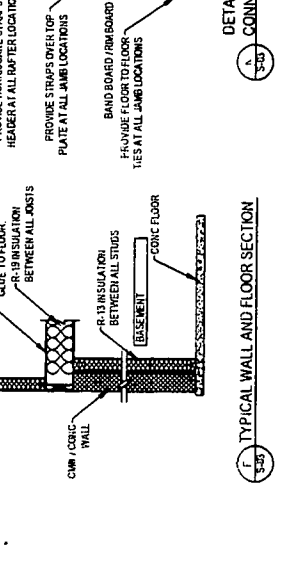
M. DECK GUARD POST DETAIL



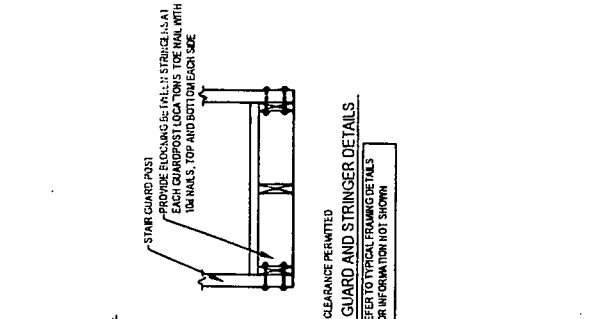
N. CHIMNEY BRACE AT GABLE OVERHANG



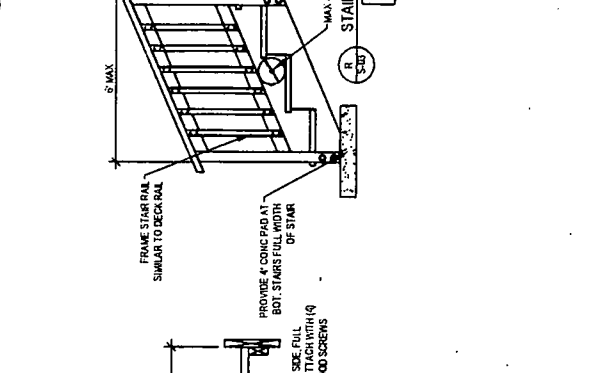
L. RAFTER / TRUSS CONNECTION AT HEADER



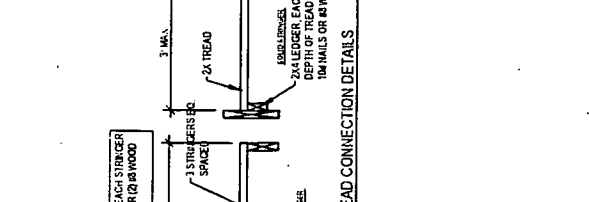
A. DECK TREAD AND RISER DETAIL



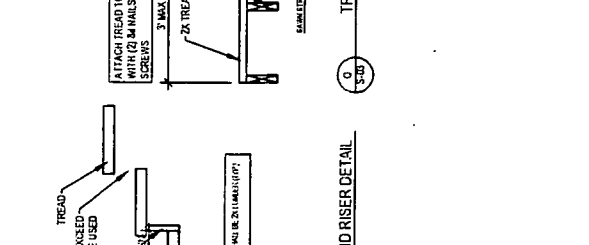
R. STAIR GUARD AND STRINGER DETAILS



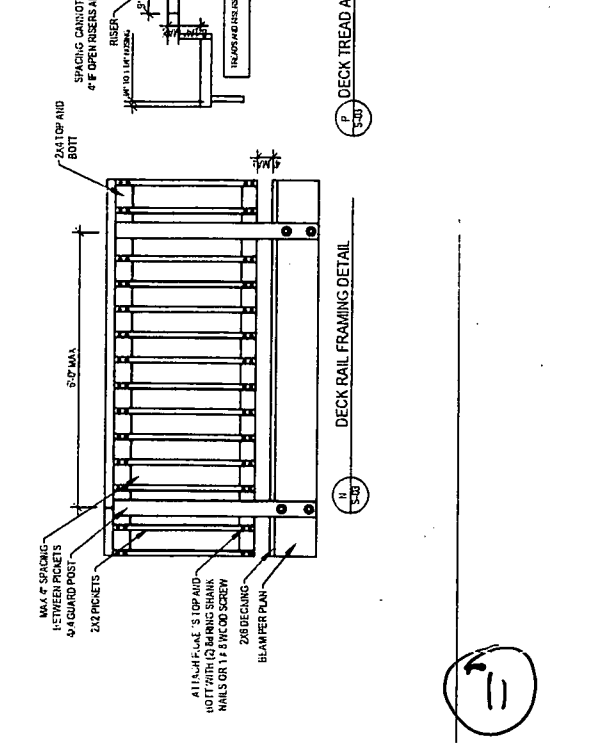
S. DECK CONNECTION DETAILS



O. DECK TREAD AND RISER DETAIL



P. DECK RAIL FRAMING DETAIL



Q. DECK CONNECTION DETAILS

SILVER SPRING RESIDENCE
10011 MENLO AVE
SILVER SPRING, MD 20910



Cold Formed Steel Engineers, Inc.

Cold Formed Steel Design • Concrete /Masonry/ Steel Framing Design • Structural Inspections / Rehabilitation

Virginia • West Virginia • Maryland • Washington DC • North Carolina • Mississippi • Florida

6908 Ben Franklin Drive • Springfield • VA 22150

Ph: 703-822-5935

www.cfsengineers.com

Fax: 703-822-5914



Photo 1: Front face (East face)



Photo 2: Right face and rear of house (South and West face)

Cold Formed Steel Engineers

Cold Formed Steel Design • Concrete /Masonry/ Steel Framing Design • Structural Inspections / Rehabilitation

Virginia • West Virginia • Maryland • Washington DC • North Carolina • Mississippi • Florida

6908 Ben Franklin Drive • Springfield • VA 22150

Ph: 703-822-5935

www.cfsengineers.com

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Photo 3: Left face and front of house (North and East face)



Photo 4: Menlo Ave looking North from house

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Photo 5: Menlo Ave looking South from house



Photo 6: Rear of house from Leafy Ave



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

552289

Contact Person: Jay Bell
Daytime Phone No.: 202-498-5755

Tax Account No.: _____

Name of Property Owner: RKB Construction, LLC Daytime Phone No.: 202-498-5755

Address: 14334 Cartwright Way N. Patoma, MD 20870
Street Number City State Zip Code

Contractor: Owner as Contractor Phone No.: 202-498-5755

Contractor Registration No.: N/A

Agent for Owner: N/A Daytime Phone No.: 202-498-5755

LOCATION OF BUILDING/PREMISE

House Number: 10471 Street: Menk Ave

Town/City: Silver Spring Nearest Cross Street: Leafy St

Lot: 8 Block: 33 Subdivision: Capitol View Park

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|---------------------------------------|--|---|--|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ | | | | |

1B. Construction cost estimate: \$ 35,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: _____ Date: 10/20/10

Approved: X For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 11/1/10
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____