

2010 HANUP

CHERRY CHASE ES
MP SITE 35/127



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
240-777-9370

DPS - #8

A

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

541487

Contact Person: JOHN KIM

Daytime Phone No.: 240-632-2281

Tax Account No.: 00461943

Name of Property Owner: BOARD OF EDUCATION Daytime Phone No.: 240-314-1000

Address: 850 HUNGERFORD DRIVE ROCKVILLE MD 20850
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: JOHN KIM Daytime Phone No.: 240-632-2281

LOCATION OF BUILDING/PREMISE

House Number: 4015 Street: ROSEMARY STREET

Town/City: CHEVY CHASE Nearest Cross Street: HILLCREST PLACE

Lot: 13 Block: 8 Subdivision: 11

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: DUMPSTER ENCLOSURE & DRIVEWAY GATE

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 8 feet 0 inches (DUMPSTER ENCLOSURE) Height 4 feet 0 inches (DRIVEWAY GATE)

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

JKIM

Signature of owner or authorized agent

JUNE 16, 2010

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CHEVY CHASE ELEMENTARY SCHOOL IS A THREE STORY BUILDING OF CONCRETE AND STEEL STRUCTURE. THE SCHOOL PROPERTY IS SITUATED IN THE CITY OF CHEVY CHASE (DISTRICT 7), ON THE NORTHEAST SIDE OF THE ROSEMARY CIRCLE BETWEEN ROSEMARY STREET, HILLCREST PLACE AND BEECHWOOD DRIVE. THE ENVIRONMENTAL SETTING OF THIS PROPERTY IS PRIMARILY RESIDENTIAL WITH PARK-LIKE SURROUNDINGS. THIS SCHOOL HAS A GREAT HISTORICAL SIGNIFICANCE, SPECIALLY TO THE PEOPLE IN THIS NEIGHBORHOOD. IT FIRST OPENED IN 1917 AS THE FIRST PERMANENT SCHOOL BUILDING IN THE AREA OF CHEVY CHASE. THOUGHOUT THE YEARS THERE HAS BEEN VARIOUS ALTERATIONS & ADDITIONS DONE TO THIS PROPERTY BUT THE SCHOOL BUILDING IS MAINTAINED.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

ONE ASPECT OF THIS PROJECT IS TO PROVIDE AN ENCLOSURE FOR THE EXISTING AND EXPOSED DUMPSTERS LOCATED INSIDE THE SCHOOL PROPERTY. THE ENCLOSURE WILL BE HAVE MASONRY BRICK WALLS AND A STEEL GATE OPENNING. THE SECOND ASPECT OF THE PROJECT IS TO PROVIDE A SLIDING CHAIN-LINK GATE TO AN EXISTING DRIVEWAY ON THE NORTHWEST SIDE OF THE SCHOOL PROPERTY TO MATCH THE EXISTING CHAIN-LINK FENCE. THE PROPOSED LOCATION FOR THIS PROJECT IS ON THE NORTHWEST SIDE OF THE SCHOOL PROPERTY BETWEEN HILLCREST PLACE AND BEECHWOOD DRIVE, ON THE REAR SIDE OF THE EXISTING SCHOOL BUILDING.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
b. dimensions of all existing and proposed structures; and
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

EXPEDITED**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**
STAFF REPORT

Address: 4015 Rosemary Street, Chevy Chase **Meeting Date:** 7/28/10

Applicant: M-NCPPC Department of Parks
(John Kim, Agent) **Report Date:** 7/14/10

Resource: *Master Plan* Site #35/127
Chevy Chase Elementary School **Public Notice:** 7/7/10

Review: HAWP **Tax Credit:** None

Case Number: 35/127-10A **Staff:** Anne Fothergill

PROPOSAL: Installation of dumpster enclosure and fence gate

STAFF RECOMMENDATION Approval Approval with conditions

The recommended conditions of approval are:

- 1.) The gate of the enclosure will be a solid wood board-on-board fencing material, not open pickets, to screen the dumpsters.
- 2.) The applicants will work with the Town of Chevy Chase's arborist to determine the optimal location for the enclosure and will implement tree protection measures during construction; any change in location to be reviewed and approved at the staff level.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan* Site #35/127, **Chevy Chase Elementary School**

STYLE: Art Deco

DATE: 1930-6

Excerpt from Places in the Past:

Educational infrastructure was essential to the Chevy Chase subdivision. Francis Newlands and the Chevy Chase Land Company donated land adjacent to Rosemary Circle for an elementary school. Residents raised the money to build temporary structures in 1913; the year following a ban on Maryland students at D.C. schools. Permanent brick buildings were built in 1930 and 1936, designed by noted school architect Howard Wright Cutler. The Chevy Chase Elementary School is an early example of school architecture that successfully combines both traditional and modern design elements. Art Deco geometric panels and stepped-up parapets were modern for the era, yet they were tempered by classical door and window treatments. The school is also said to have had the first school library in the county, established in 1939. The Chevy Chase Elementary School succeeds the first school built by the Chevy Chase Land Company, a frame two-room structure still located at 3905 Bradley Lane (1898).

PROPOSAL

The applicants are proposing to construct an enclosure for the dumpsters behind the school. The proposed

①

enclosure is 6'8" tall with brick faced CMU walls and a steel open picket swinging gate. The dumpsters will be on a 20' x 12' concrete slab. They also propose to install a 4' tall chain link sliding gate in the 23' wide opening that will connect to the existing 4' tall chain link fence.

The Town provided comments from the Town's arborist and some neighbors regarding the application (see Circles 17-21).

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with two conditions** as being consistent with Chapter 24A-8(b), (1);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



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Signature of owner or authorized agent

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Disapproved: _____ Signature: _____ Date: _____

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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>BOARD OF EDUCATION 4015 ROSEMARY STREET CHEVY CHASE, MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>JK ARCHITECTS + ASSOCIATES, INC. 937-C RUSSELL AVENUE GAITHERSBURG, MD 20879</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>LOWE, MICHAEL D & 7000 HILLCREST PLACE CHEVY CHASE, MD 20815</p>	<p>LEIFER, ELIHU & SHEILA 6901 BEECHWOOD DRIVE CHEVY CHASE, MD 20815</p>
<p>MILLER, WILLIAM D & R I 7000 VALLEY PLACE CHEVY CHASE, MD 20815</p>	<p>MILLER, PETER PAUL & KAREN L PEREZ 7000 BEECHWOOD DRIVE CHEVY CHASE, MD 20815</p>
<p>OKULIAR, ALEXANDER P & CATHERINE A 6808 HILLCREST PLACE CHEVY CHASE, MD. 20815</p>	<p>GRUNEWALD, ROBERT K & B SUSAN YOUNG 4101 STANFORD STREET CHEVY CHASE, MD 20815</p>
<p>LUKER, MARK A & SUE A ROHAN 6820 MEADOW LANE CHEVY CHASE, MD 20815</p>	

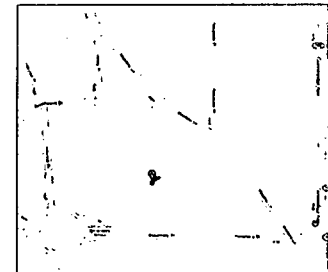
CHEVY CHASE ELEMENTARY SCHOOL DUMPSTER ENCLOSURE

4015 ROSEMARY STREET, CHEVY CHASE, MD 20815

MR. JAMES SONG
MS. JOYCE SCHOEPPACH

DIRECTOR, DIVISION OF CONSTRUCTION
PROJECT MANAGER

LOCATION MAP



SCOPE OF WORK

CONSTRUCT WORK FOR MONTGOMERY COUNTY PUBLIC SCHOOLS.

1. PROVIDE (1) DUMPSTER ENCLOSURE
2. INSTALL MASONRY WALLS
3. ADD CHAIN LINK GATE AT DRIVEWAY

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL CURRENT COVERING CODES, ALL APPLICABLE ORDINANCES, REGULATIONS AND OTHER LOCAL CODES THAT APPLY.
2. THE INFORMATION PROVIDED IN THIS DOCUMENT IS FROM DOCUMENTATION AVAILABLE AND MAY NOT REFLECT EXACT FIELD CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL INFORMATION, BRING CONFLICTS TO THE ATTENTION OF THE OWNER AND OBTAIN APPROVAL FROM THE OWNER OR AUTHORITY HAVING JURISDICTION PRIOR TO PROCEEDING WITH ALTERNATE METHODS AND/OR MATERIALS, ETC.
3. THE ARCHITECT WILL NOT HAVE CONTROL OVER OR CHARGE OF AND WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUE, SEQUENCE OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE SCOPE OF PROJECT BEFORE SUBMITTING THE PROPOSAL.
4. THE CONTRACTOR SHALL VISIT THE SITE TO HAVE A COMPLETE UNDERSTANDING OF THE SCOPE OF PROJECT BEFORE SUBMITTING THE PROPOSAL.
5. THE CONTRACTOR SHALL REVIEW THE CONTRACT DRAWINGS FOR ANY CONDITIONS WHICH RELATE TO THE PERFORMANCE AND COORDINATION OF SPECIFIC TRADES.
6. ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER TRADES AND SEQUENCING OF CONSTRUCTION OPERATIONS.
7. DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL BE FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS SHALL BE INFORMED TO THE ARCHITECT.
8. AS WORK PROGRESSES AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND SEPARATE SET OF PRINTS OF THE CONTRACT DRAWINGS INCLUDING ALL REVISIONS AND ADDENDUM AT THE JOB SITE AT ALL TIMES. THE CONTRACTOR SHALL CLEARLY AND ACCURATELY RECORD ALL WORK COMPLETED AND ALL MODIFICATIONS AND CHANGES FROM THE ORIGINAL CONTRACT DRAWINGS.
9. THE CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EQUIPMENT SPECIFIED AND/OR SHOWN ON THE DRAWINGS. THE CONTRACTOR PROVIDED SHOP DRAWINGS SHALL INCLUDE ACCURATE DETAILED DIMENSIONAL DRAWINGS, INCLUDING COMPLETE DESCRIPTIONS OF MATERIALS, INSTALLATION DETAILS AND MANUFACTURER'S PUBLISHED PERFORMANCE DATA.
10. DETAILS ARE NOT INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MAJOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK. OBTAIN THE ARCHITECT'S APPROVAL PRIOR TO PROCEEDING WITH DEVIATION FROM DETAILS.
11. THE CONTRACTOR SHALL PERFORM DAILY CLEAN-UP OF ALL TRASH AND DEBRIS RESULTING FROM ITS WORK AND SHALL CONTINUE TO BE RESPONSIBLE FOR THE DAILY CLEAN-UP AND REMOVAL OF ALL TRASH AND DEBRIS WHICH RESULTS FROM ITS OPERATIONS. IF THE CONTRACTOR FAILS TO COMPLY WITH THIS, THE OWNER SHALL PERFORM THE NECESSARY CLEAN-UP AND DEDUCT THE COST FROM THE CONTRACT AMOUNT.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITY LINES AND INTERCEPT AS REQUIRED.
13. THE CONTRACTOR SHALL NOTIFY THE MOPS OF ANY MECHANICAL OR ELECTRICAL "DOWN TIME" THREE (3) DAYS PRIOR TO DISTURBANCE.
14. DELIVERIES MUST BE SCHEDULED A MINIMUM OF 24 HOURS IN ADVANCE WITH THE BUILDING MANAGER.
15. THE CONTRACTOR SHALL CONDUCT THE ACTIVITIES IN A SAFE MANNER AND SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ALL SAFETY REGULATIONS OF OSHA AND LOCAL LIFE SAFETY AGENCIES.
16. THE CONTRACTOR SHALL GUARANTEE TO REPLACE DEFECTIVE MATERIALS AND WORKMANSHIP FOR THE ENTIRE PROJECT FOR A PERIOD OF ONE (1) YEAR FROM FINAL COMPLETION.
17. THE CONTRACTOR SHALL PATCH ALL DAMAGED EXIST. CMU & JOINTS PRIOR TO NEW PAINT.

DRAWING INDEX

C-1: COVER SHEET
ARCHITECTURAL:
SP SITE PLAN
A-1 EXIST./NEW SITE PLAN & PROPOSED PLAN
A-2 ELEVATIONS, DETAILS & NOTES

PROJECT DATA

EXISTING BLDG.	PROPOSED ALTER
BC DOCUMENT CLASSIFICATION	E
TYPE OF CONSTRUCTION	B B

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE 2006
FIRE PREVENTION: 2006 BOCA NATIONAL FIRE PREVENTION CODE
ACCESSIBILITY: AND A117.1
NFPA 101 LIFE SAFETY CODE 2006

8370 ROCKVILLE AVENUE
CANTON, MD 21714-2007
TEL 301-837-7782
FAX 301-837-7783

THE FIRM IS AN EQUAL OPPORTUNITY ADEQUATE AFFIRMATIVE ACTION EMPLOYER.

MGV
CONCRETE STRUCTURAL ENGINEERING, INC.
6329 FREDERICK BOULEVARD
NORTH BETHESDA, MD 20852
TEL 301-518-0848
FAX 301-518-0849

Montgomery County
Public Schools



PROJECT NAME:
CHEVY CHASE
ELEMENTARY SCHOOL
DUMPSTER ENCLOSURE
4015 ROSEMARY STREET
CHEVY CHASE, MD 20815

SCALE

PROFESSIONAL CERTIFICATION
Professional Certificate: I am a duly licensed Professional Engineer in the State of Maryland and I am duly licensed in the State of Maryland. My license number is 12345. I am a member of the National Society of Professional Engineers, Inc. (NSPE).

ISSUED FOR:	DATE	DESCRIPTION
05/12/10	SCHEMATIC APPROVAL	
05/26/10	100% SUBMISSION	
06/07/10	02D SET	
06/08/10	PERMIT SET	

PROJECT NO: 0424

SCALE: AS SHOWN

DRAWN BY: AA

CHECKED BY: JA

DATE: 04/08/10

SHEET TITLE:

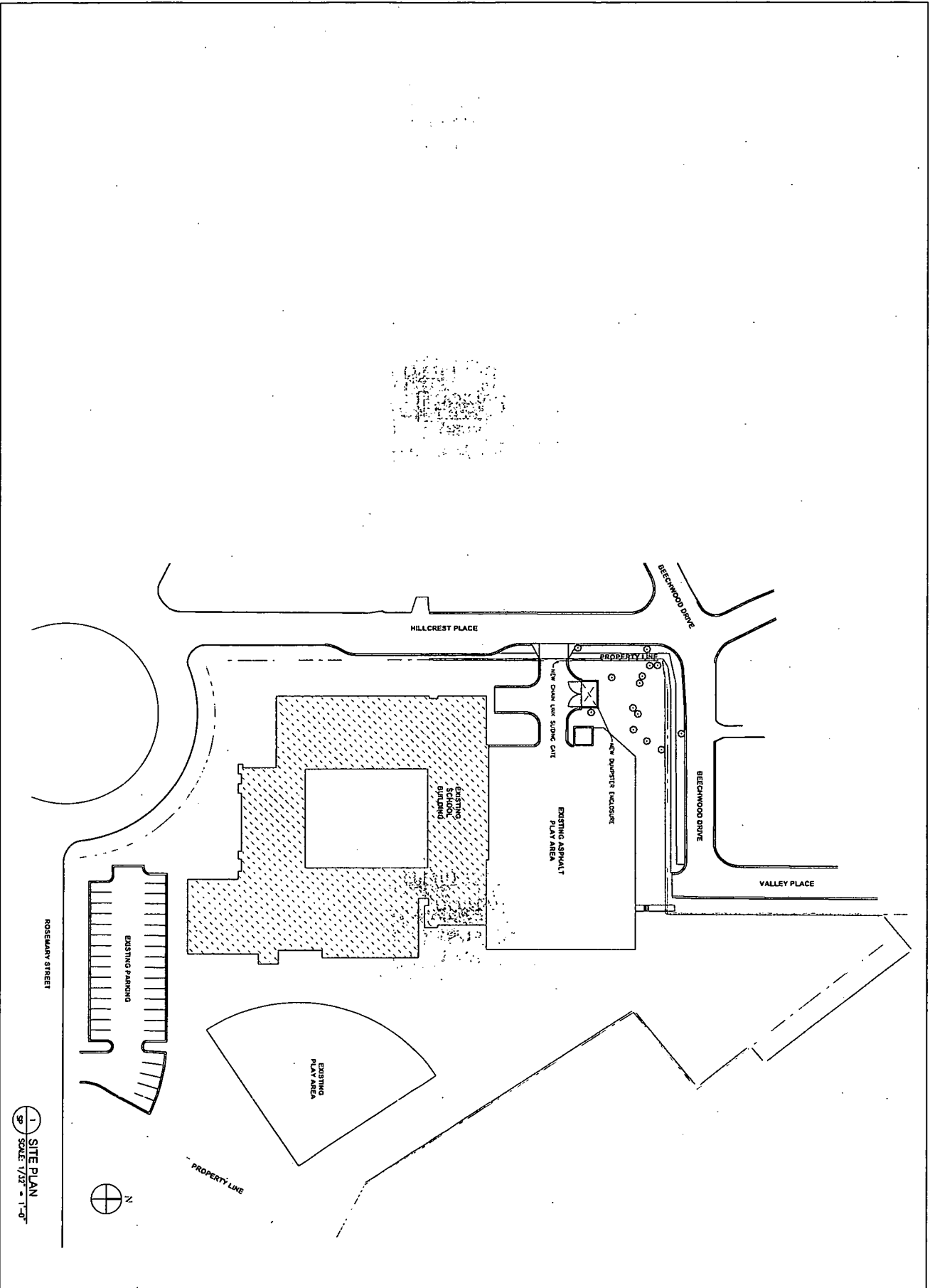
COVER SHEET

DRAWING NO:


CS

6

7



1 SITE PLAN
SCALE: 1/32" = 1'-0"

 <p>Montgomery County Public Schools</p>		<p>PROJECT NAME: CHEVY CHASE ELEMENTARY SCHOOL IMPROVEMENT SCHEME 4013 ROCKDALE STREET CHEVY CHASE, MD 20815</p>	
<p>PROFESSIONAL CERTIFICATE: I, the undersigned, being a duly Licensed Professional Engineer in the State of Maryland, do hereby certify that I am the author of the design and content of this plan, and that I am a duly Licensed Professional Engineer in the State of Maryland, and that I am duly qualified to practice my profession in the State of Maryland, and that I am duly qualified to practice my profession in the State of Maryland, and that I am duly qualified to practice my profession in the State of Maryland.</p>		<p>DATE: 07/20/20</p>	
<p>SCALE: AS SHOWN</p>		<p>PROJECT NO: 042</p>	
<p>DRAWN BY: AS</p>		<p>CHECKED BY: JK</p>	
<p>DATE: 07/20/20</p>		<p>SHEET TITLE: SITE PLAN</p>	
<p>SP</p>		<p>SP</p>	



STATE LICENSE NO. 10000
 PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 10000
 10000

MDV
 CONTRACTING STRUCTURAL DESIGNER
 10000
 10000

Montgomery County
 Public Schools



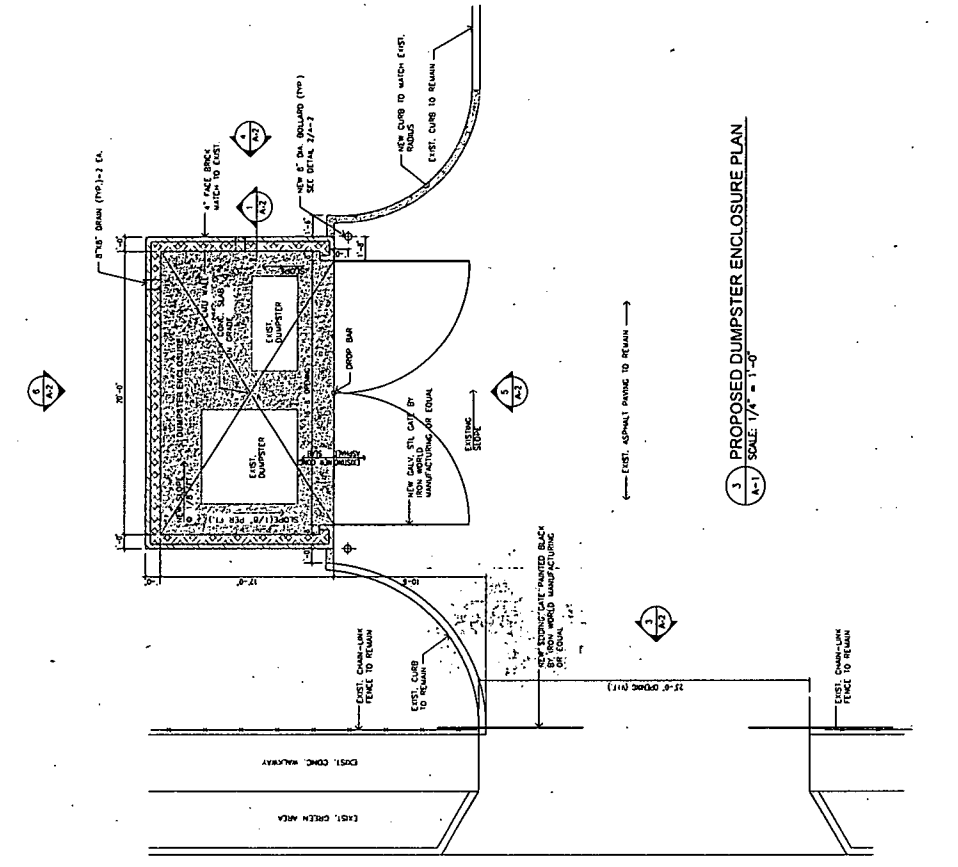
PROJECT NAME:
 CHEVY CHASE
 ELEMENTARY SCHOOL
 DUMPSTER ENCLOSURE

4000 BROADWAY STREET
 CHEVY CHASE, MD 20815

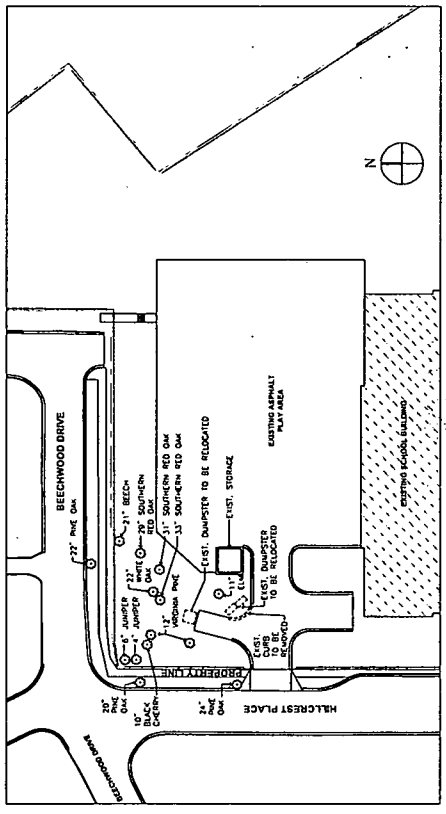
DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 DATE:
 SHEET TITLE:
 EXISTING/DEMO 1
 PROPOSED/PLAN

REVISION NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS
4	ISSUED FOR PERMITS
5	ISSUED FOR PERMITS
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10	ISSUED FOR PERMITS

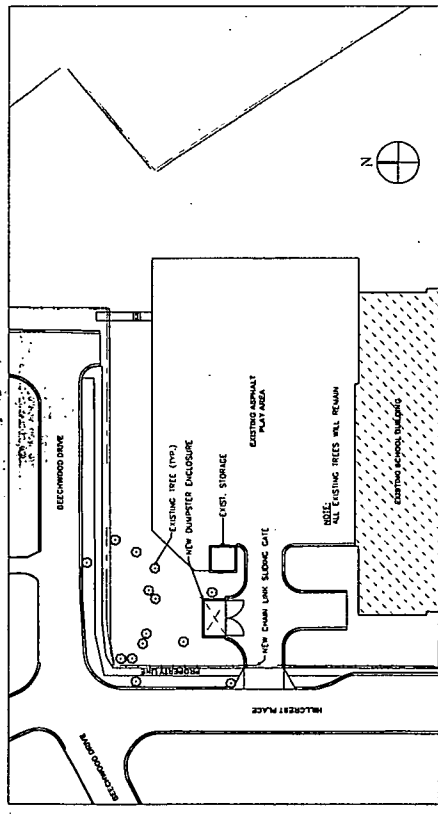
DATE: 01/20/20
 SHEET TITLE: EXISTING/DEMO 1
 PROPOSED/PLAN
 DRAWING NO. A-1



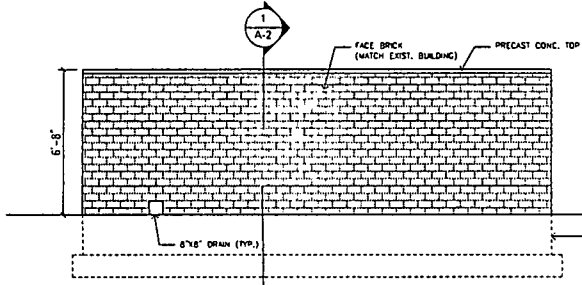
3 PROPOSED DUMPSTER ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"



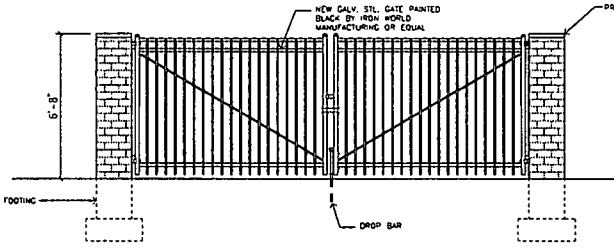
1 EXISTING/DEMO SITE PLAN & TREE LOCATION
 SCALE: 1/32" = 1'-0"



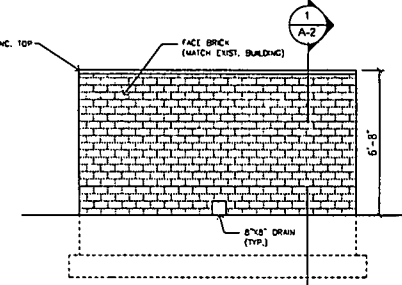
2 PROPOSED SITE PLAN
 SCALE: 1/32" = 1'-0"



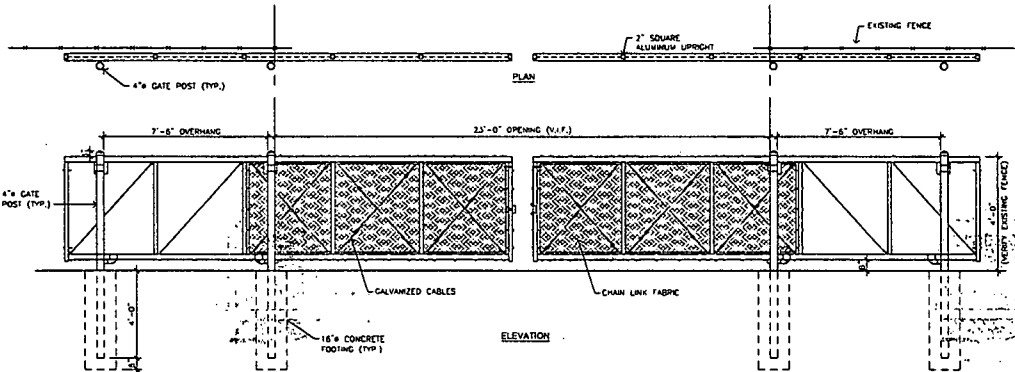
6 DUMPSTER ENCLOSURE - REAR ELEVATION
SCALE: 3/8" = 1'-0"



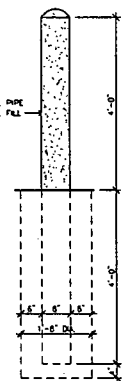
5 DUMPSTER ENCLOSURE - FRONT ELEVATION
SCALE: 3/8" = 1'-0"



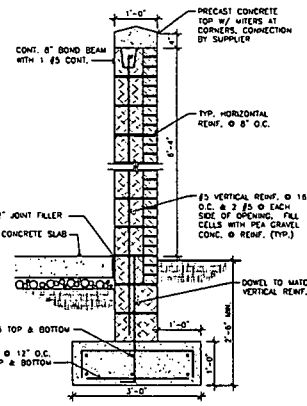
4 DUMPSTER ENCLOSURE - SIDE ELEVATION
SCALE: 3/8" = 1'-0"



3 CHAIN LINK GATE PLAN & ELEVATION
SCALE: N.T.S.



2 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



1 MASONRY WALL
SCALE: 3/4" = 1'-0"

- CUTTING AND PATCHING**
1. INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO MOVEMENT OR DAMAGE DURING CUTTING, EXCAVATING, PATCHING AND BACKFILLING.
 2. IF UNEXPECTED CONDITIONS ARE NOT AS ANTICIPATED, IMMEDIATELY NOTIFY THE ARCHITECT AND SECURE NEEDED DIRECTIONS.
 3. PROVIDE REQUIRED PROTECTION INCLUDING, BUT NOT NECESSARILY LIMITED TO, SHORING, BRACING, AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO COMPLETE HIS WORK EXCEPT AS OTHERWISE SPECIFICALLY PROVIDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT ENDANGER ANY WORK OF ANY OTHER CONTRACTOR EXCEPT WITH THE WRITTEN CONSENT OF THE ARCHITECT.
 5. REMOVE ALL DEBRIS, RUBBISH, AND MATERIALS RESULTING FROM CUTTING AND PATCHING OPERATIONS, TRANSPORT MATERIALS AND LEGALLY DISPOSE OF OFF SITE.

- STRUCTURAL NOTES**
- LATERAL LOADS PER IBC 2006**
1. BASIC WIND SPEED 90 MPH
 2. WIND LOAD IMPORTANCE FACTOR 1.0
 3. WIND EXPOSURE B
 4. WIND PRESSURE COEFFICIENT 1.10
 5. WIND PRESSURE FOR COMPONENTS & CLADDING 15 PSF
- SEISMIC LOADS PER IBC 2006**
1. SEISMIC IMPORTANCE FACTOR E=1.0
 2. MAPPED SPECTRAL RESPONSE ACCELERATIONS: SS=16 & S=51
 3. SITE CLASS D
 4. WANTED SPECTRAL RESPONSE COEFFICIENTS: SDS=236 & SDH=24
 5. SEISMIC DESIGN CATEGORY B
 6. BASIC SEISMIC RESISTANCE SYSTEM ORDINARY REINFORCED MASONRY SHEAR WALLS
 7. DESIGN BASE SHEAR CS=10
 8. SEISMIC RESPONSE COEFFICIENTS R=2.5
 9. SEISMIC MODIFICATION FACTORS EQUIVALENT LATERAL FORCE PROCEDURE
 10. ANALYZE PER IBC 1002
- SOIL BEARING**
1. ALLOWABLE BEARING CAPACITY = 2,000 PSF. SHALL BE VERIFIED ON THE FIELD.
- CONCRETE**
1. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE AC CODE 318-08.
 2. 28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS: STONE CONCRETE: COARSE AGGREGATE SHALL CONFORM TO ASTM C618 F2.000 PSI
 3. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED WITH ES-18
- FOUNDATION**
1. ALL FOOTINGS SHALL BE PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR THE COMPACTED CONTROLLED FILL HAVING A BEARING VALUE AT LEAST EQUAL TO THAT SPECIFIED ABOVE. SEE SPEC. SECTION 02320.
 2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 2'-0" BELOW FINISHED GRADE.
 3. WALL FOOTINGS SHALL BE 12" DEEP AND PROJECT 6" BEYOND EACH OF WALL, UNLESS OTHERWISE NOTED.
 4. ELEVATIONS OF BOTTOM OF FOOTINGS HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND SHALL BE CONTROLLED AS HAVING ANY OF THE MINIMUM REQUIREMENTS STATED.
 5. ALL DISTURBED EARTH UNDER FOOTING SHALL BE REPLACED WITH CONCRETE F2000 PSI
 6. ALL BEARING STRATA SHALL BE ADEQUATELY DRAINED BEFORE FOUNDATION CONCRETE IS PLACED.
 7. NO EXCAVATION SHALL BE CLOSER THAN AT A SLOPE OF 2:1 (2:1 HORIZONTAL TO ONE VERTICAL) TO A FOOTING.
 8. DO NOT PLACE CONCRETE OVER FROZEN SOIL.
 9. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A SOIL CONSULTANT APPROVED BY THE CONTRACTING OFFICER TO CHECK AND VERIFY THE REQUIRED SOIL BEARING PRESSURE OF EACH FOOTING.
- REINFORCEMENT STEEL**
1. ALL REINFORCING STEELS SHALL CONFORM TO ASTM A615, GRADE 60.
 2. YIELDED WIRE MESH TO CONFORM TO ASTM-A675.
 3. FABRICATE AND PROVIDE STANDARD SUPPORTING ACCESSORIES IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318-LATEST EDITION).
 4. ALL CONTINUOUS REINFORCING STEELS SHALL BE SPACED WITH TYPE "B" SPACER STAGGERED, UNLESS OTHERWISE NOTED.
- CONCRETE PROTECTION AND REINFORCEMENT**
1. FOOTINGS AND OTHER CONCRETE POURED AGAINST EARTH = 3"
 2. FORMED CONCRETE EXPOSED TO EARTH = 1 1/2" FOR #5 AND SMALLER BARS.
 3. PROVIDE 100% SOLID MASONRY DOWN TO FOOTINGS UNDER ALL BEAMS AND LINTELS BEARING ON MASONRY, UNLESS OTHERWISE NOTED.
- SLAB ON GROUND**
1. EXCEPT WHERE OTHERWISE NOTED, SHALL BE 6" THICK, REINFORCED WITH 6" x 6" x 4-0" x 4-0" MESH.
 2. LAP MESH 6" IN EACH DIRECTION.
 3. FOR ALL EXTERIOR SLABS ON GRADE AIR ENTRAINMENT WITH ENTRAINMENT AIR OR EQUIVALENT, AIR ENTRAINMENT AGENT SHALL BE USED.
 4. PROVIDE CONTROL JOINTS AT 20'-0" O.C. EACH WAY IN ALL SLABS ON GRADE.
 5. INTERIOR SLABS SHALL BE LAID ON A LAYER OF 10 MIL. POLYETHYLENE OVER A 4" LAYER OF WASHED GRAVEL.
 6. SLABS ON GROUND, UNLESS OTHERWISE NOTED, TO HAVE REINFORCEMENT 1 1/2" FROM TOP OF SLAB.
- MASONRY**
1. SOLID CONCRETE MASONRY SHALL BE GRADE III IN ACCORDANCE WITH ASTM C-110 AND MAY BE TYPE SOLID UNLESS OTHERWISE NOTED.
 2. HOLLOW CONCRETE MASONRY UNITS SHALL BE GRADE III CONFORMING TO ASTM C-90.
 3. CONCRETE MASONRY UNITS SHALL BE WITH LIGHT WEIGHT CONCRETE BLOCK.
 4. ALL VERTICAL SHALL BE TYPE "3" CONFORMING TO ASTM C-770 FOR ABOVE GRADE CONSTRUCTION. USE TYPE "1" FOR BELOW GRADE.
 5. PROVIDE A MINIMUM OF 3 COURSES OF SOLID BRICK ON ONE COURSE 100% SOLID BLOCK UNDER WALL BEARING EXCEPT ALL JOISTS AND SLABS THE FULL WIDTH OF THE WALL, UNLESS OTHERWISE NOTED.
 6. IN BEARING WALLS, PROVIDE SOLID BRICK OF 100% SOLID CONCRETE BLOCK EXTENDING 6" BEYOND WALL THICKNESS THE FULL WALL THICKNESS DOWN TO THE FLOOR, UNLESS OTHERWISE NOTED.
 7. ALL PORTIONS OF BEARING WALLS HAVING A HORIZONTAL CROSS SECTION OF 4 SQ. FT. OR LESS SHALL BE OF SOLID MASONRY DOWN TO FOOTINGS.
 8. PROVIDE HORIZONTAL MASONRY REINFORCING AT 16" O.C. IN ALL MASONRY WALLS UNLESS OTHERWISE NOTED.
 9. PROVIDE VERTICAL CONTROL JOINTS IN ALL MASONRY WALLS @ 30'-0" O.C.
 10. ALL MORTAR JOINTS IN MASONRY WALLS (HORIZONTAL & VERTICAL) SHALL BE FILLED 100% WITH MORTAR.
 11. ALL MORTAR JOINTS IN MASONRY WALLS (HORIZONTAL & VERTICAL) SHALL BE FILLED 100% WITH MORTAR.
 12. GROUT STRENGTH SHALL BE = 2,500 PSI.
 13. PROVIDE MASONRY TIES BETWEEN 4" BRICK VENEER WALL & SPACE TIES @ 8" VERTICALLY.

J. J. PRACTICES

6116 RUSSELL AVENUE
GAITHERSBURG, MARYLAND 20878
TEL: 301-433-2280
FAX: 301-433-2282

MGV
CONSULTING STRUCTURAL ENGINEERS, INC.
6336 EXECUTIVE BOWLINGWAY
NORTH BETHESDA, MD 20852
301-433-2280
FAX: 301-433-0848

Montgomery County
Public Schools



PROJECT NAME:
CHEVY CHASE
ELEMENTARY SCHOOL
DUMPSTER ENCLOSURE

4213 ROSEMARY STREET
CHEVY CHASE, MD 20815

SCALE:

PROFESSIONAL CERTIFICATION:

ISSUED FOR:

DATE	DESCRIPTION
08/12/10	SCHEMATIC APPROVED
09/02/10	100% SUBMISSION
09/07/10	NO BID SET
09/08/10	PERMIT SET
09/24/10	PERMIT COMMENTS

PROJECT NO: 0424

SCALE: AS SHOWN

DRAWN BY: AA

CHECKED BY: JK

DATE: 07/12/10

SHEET TITLE:

ELEVATIONS, DETAILS & NOTES

DRAWING NO:

A-2

6

Existing Property Condition Photographs (duplicate as needed)



Detail: VIEW FROM HILLCREST PLACE FACING NORTH TO PROPOSED LOCATION FOR DUMPSTER ENCLOSURE & DRIVEWAY GATE



Detail: VIEW FROM HILLCREST PLACE FACING SOUTH TO PROPOSED LOCATION FOR DRIVEWAY GATE

10

Existing Property Condition Photographs (duplicate as needed)



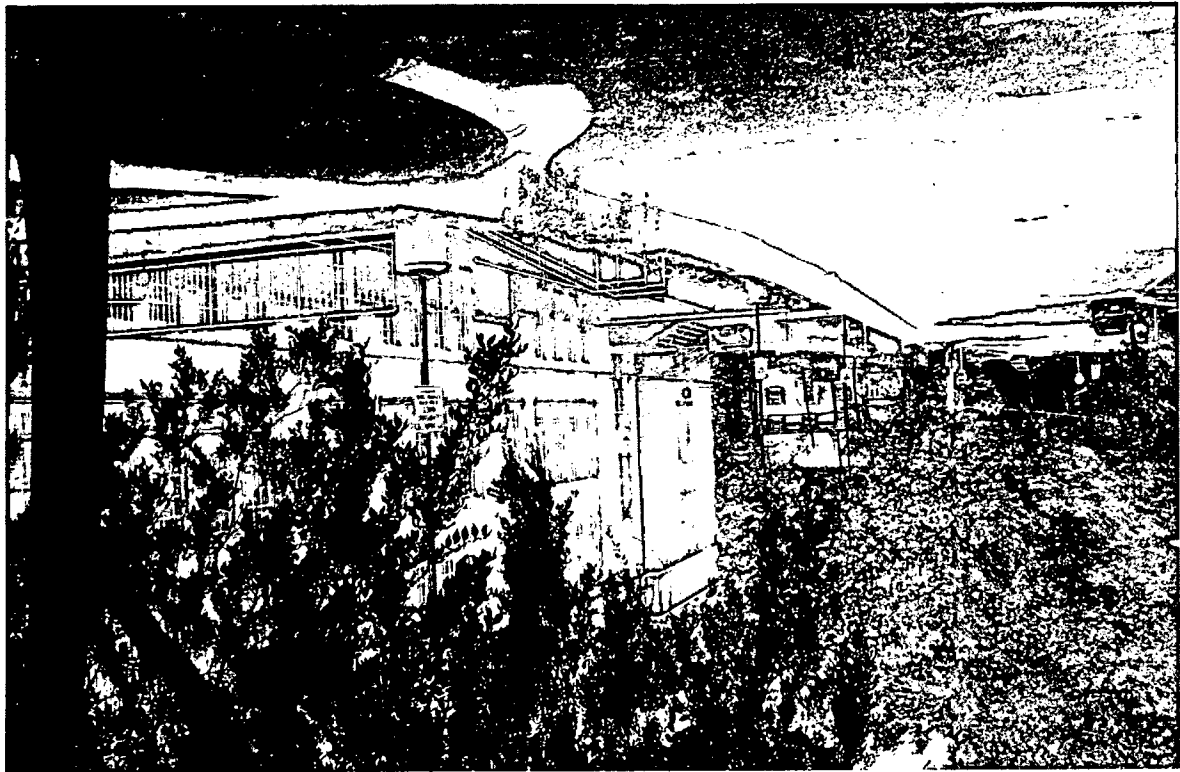
Detail: VIEW FROM SCHOOL DRIVEWAY FACING NORTH TO EXISTING LOCATION OF DUMPSTERS. PROPOSED LOCATION FOR DUMPSTER ENCLOSURE - VIEW 1

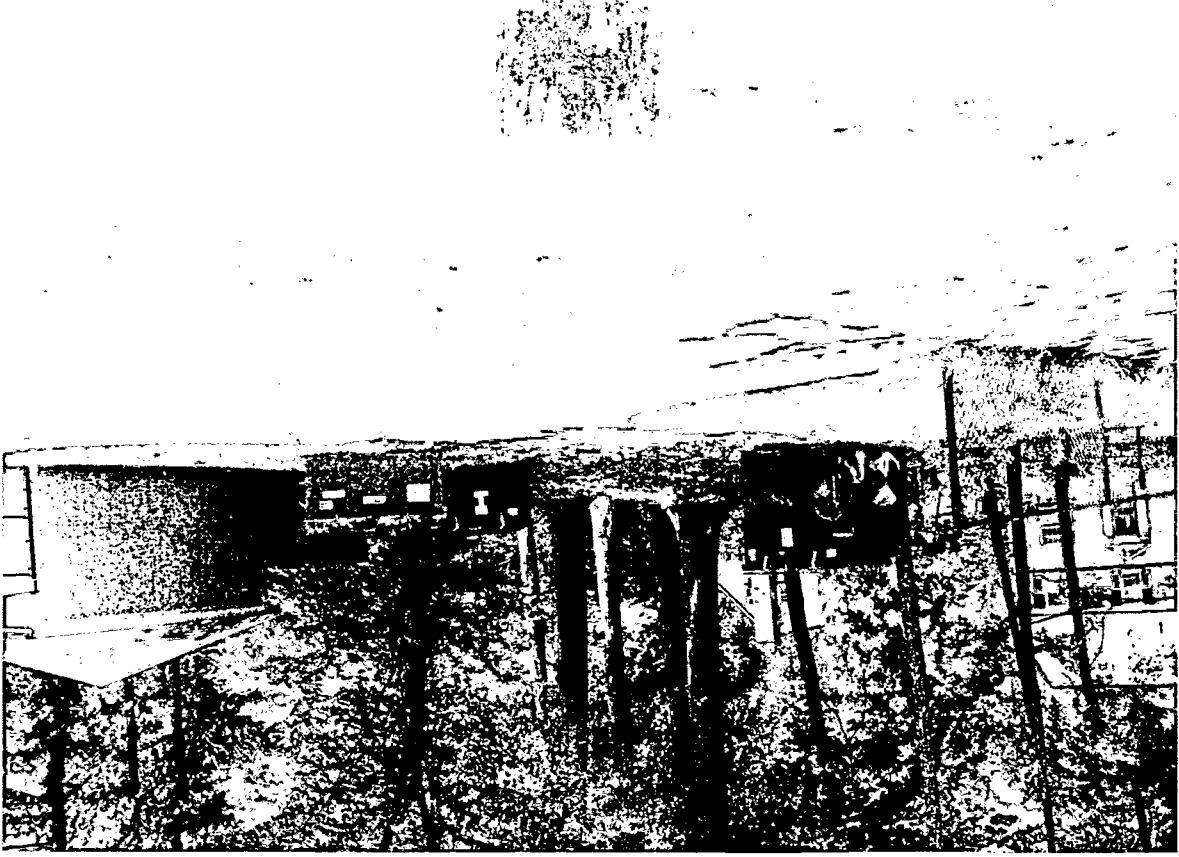
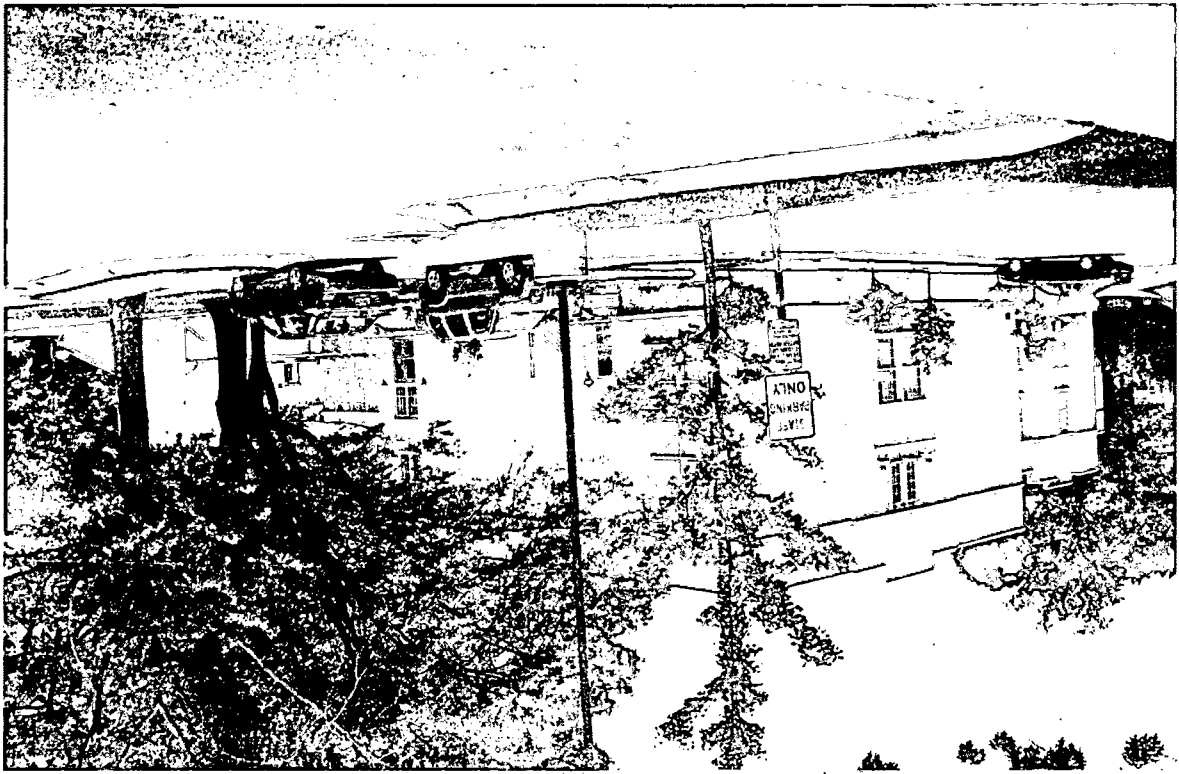


Detail: VIEW FROM SCHOOL DRIVEWAY FACING NORTH TO EXISTING LOCATION OF DUMPSTERS. PROPOSED LOCATION FOR DUMPSTER ENCLOSURE - VIEW 2

11

21

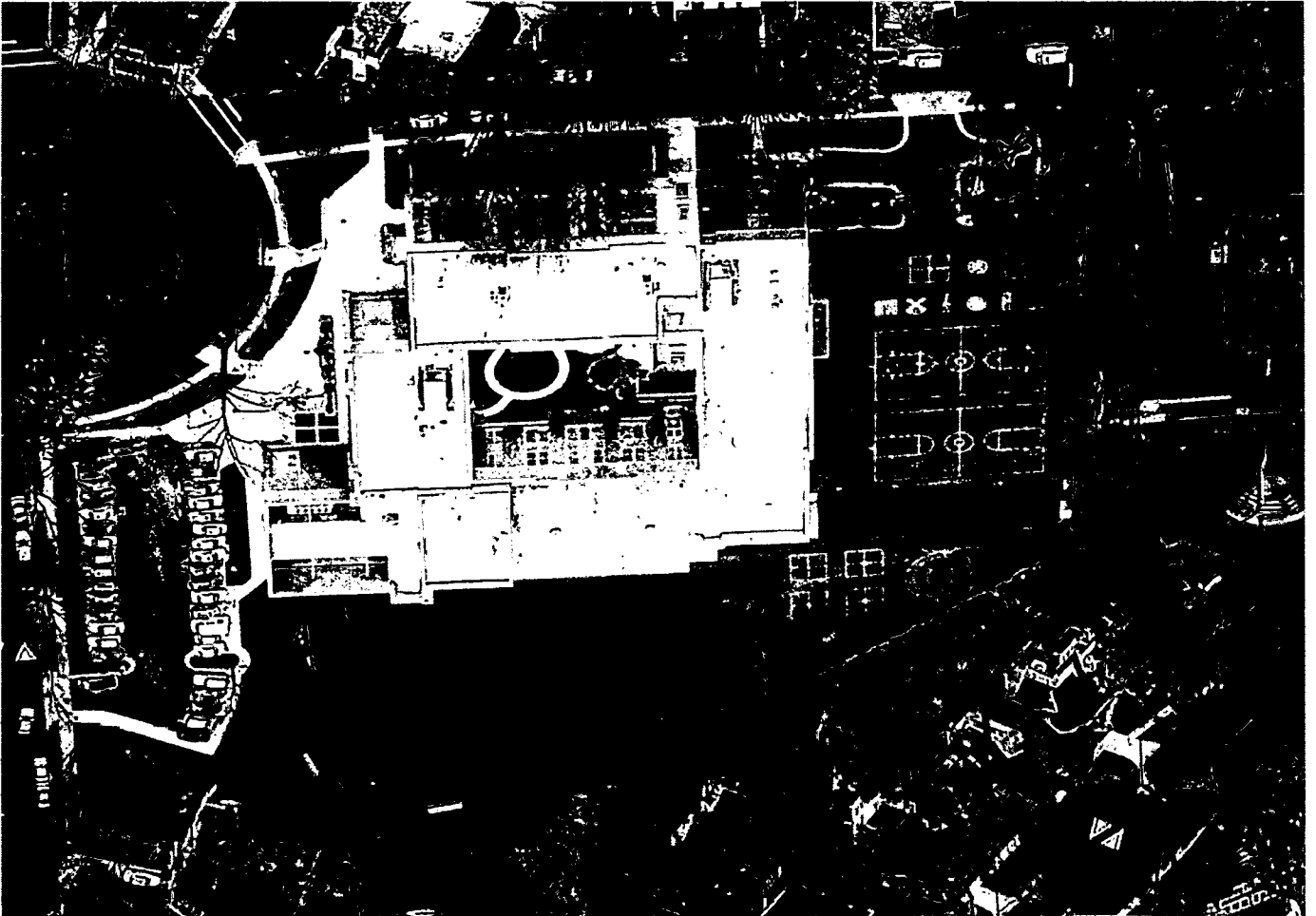


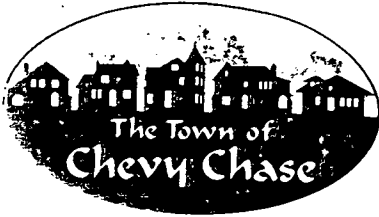






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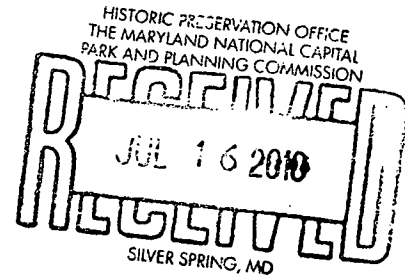




Town Council
David Lublin, *Mayor*
Kathy Strom, *Vice Mayor*
Al Lang, *Secretary*
Linna Barnes, *Treasurer*
Patricia Burda, *Community Liaison*

July 13, 2010

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910



Dear Commission Members:

I am writing regarding the Historic Area Work Permit that you will consider on July 28 for proposed improvements at Chevy Chase Elementary School (CCES).

Once the Town received notice of the permit application, we solicited comments from residents who would be affected by the improvements. We also asked our arborist to review any potential impacts to trees on school property. The residents' comments and the arborist's report are attached.

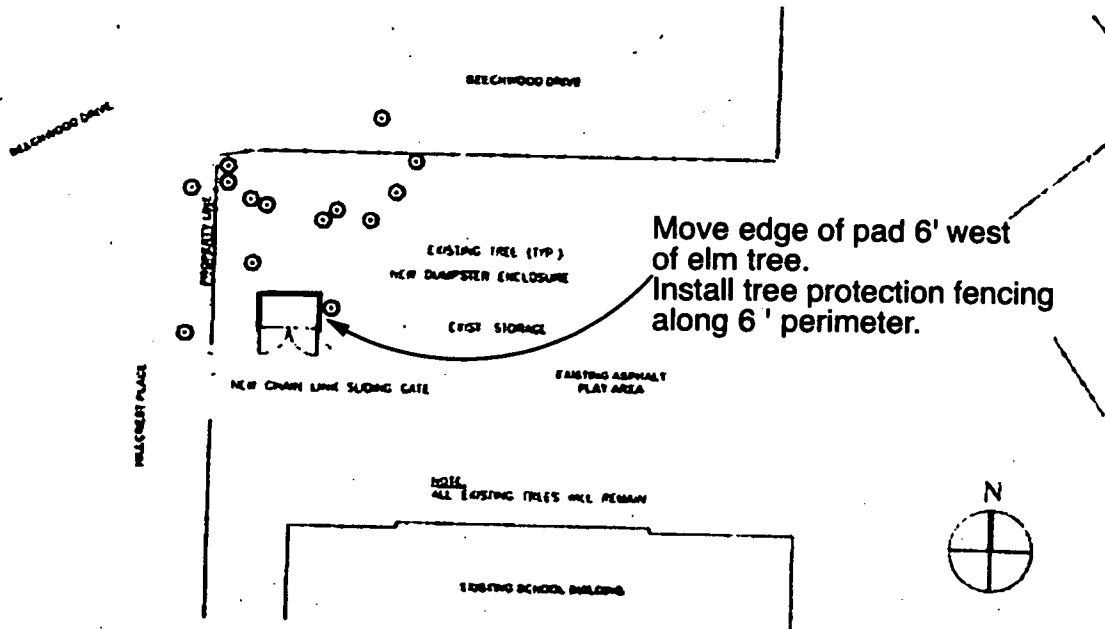
As you will note, one resident supports the dumpster enclosure, while another has concerns with both the enclosure and the proposed gate. Additionally, the Town's arborist has expressed some concerns with the proposed location of the dumpster enclosure and its potential impact on the root system of a mature Elm tree. The arborist recommends that the enclosure be relocated 6 feet to the west of the Elm tree and that tree protection fencing be erected during construction.

The Town Council hopes that you will take into account our residents' comments and the Town arborist's findings and recommendations when considering the Historic Area Work Permit for CCES. If you have any questions or need additional information, please feel free to contact our Town Manager, Todd Hoffman, at 301-654-7144 or thoffman@townofchevyCHASE.org.

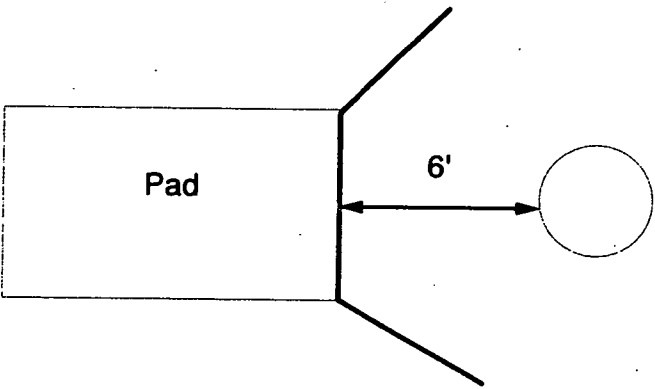
Sincerely,

David Lublin
Mayor

17



2 PROPOSED SITE PLAN
A-1 SCALE: 1/64" = 1'-0"



— Chain link fencing with steel poles

Excerpts from July 6, 2010 E-mail from Rose Miller, 7000 Valley Place

3) MCPS has historically had a single dumpster in this location. The other has been a goodwill type dumpster recently removed. The pictures in the site plan are very recent because there is the same after-school-release clean-out pile beside the back door that I see this week and last. **The picture is extremely misleading.** It makes it look like 3 school dumpsters have always sat here. There have not been 3 school dumpsters there. In the picture, the newly delivered dumpsters I saw today are there (the short one beside the goodwill one, the one in the rear where they want to build, and another short one you can't see here). The Goodwill type dumpster for used clothes looks like a large school dumpster, but it was not, and it has since been removed. These pictures must have been very recently, but before the used clothes dumpster was removed by its organization. Most dumpster activity has been beside the school beside the kitchen (between the kitchen and Hillcrest, I think) before these new ones were dumped here. You can also see one of the relatively new sheds (compared to my 25 years here) which was built.

Now 3 new dumpsters are there replacing 1. I am concerned this could lead to fresh waste being disposed of there--at the furthest point away from the kitchen and close to homes. In the past dumpster waste has been by the kitchen. At present, we have rats who dance across my patio at night, racoons, and possums who love the school dumpster trash, particularly hard to control with our large sewer here. Other public schools have programs this year to eliminate their rat population per the Gazette. Perhaps moving non-paper waste (even paper waste draws mice and rats) further from the school is part of the mcps plan here.

4) this site is on a hill--It is the **highest part** of the rear of the school where the land swings up. This treed hill has historically hidden the school "view" from residential streets; it will not hide this brick/masonry structure but the hill itself will make it extra-prominent, even if a small structure, smaller than the sheds.

To erect a masonry brick structure large enough (width and height) to accommodate 3 dumpsters and to allow a mechanical truck to swing in the air for "pick up" (I believe I've seen the same beside North Bethesda Middle) on the **highest** point of land--and the furthest away from the school itself--is an unreasonable burden on surrounding homes and the nature and character of the neighborhood. Such a structure should be **beside** or **adjacent to** the school building as North Bethesda's is.

Moreover the **building materials** are not in character with the building materials of the school.

5) the site plan drawing and picture 2 are inconsistent as to where the driveway gate the picture 2 does not picture the dumpster area and takes a snap of the driveway entrance itself--stating the driveway gate will be at the driveway entrance appearing to go north to south--several

yards closer to Hillcrest street than where the current relatively new gate is. The site plan has the only gate going east to west in front of the dumpster only, and not impacting access to the driveway itself.

If the driveway gate is located where picture 2 depicts, there is **currently a gate that locks in the location where they wish to put a sliding chain link fence, only closer to the playground.** It was put in maybe five years ago? It is a freestanding unsightly gate that doesn't connect to a fence, but it achieves an MCPS' safety objective of barring cars from entering the blacktop to drive or park in the rear on the playground at times other than school events is achieved already. (The playground is used for parking for school and rental events.) The enclosed chain link fence' only function, then, is to ensure non-access by the public to the playground through the west end of the playground after school and weekends. Despite the current locking gate, people can still enter, and can bring in their bikes and trikes. I remember when the current janitor tried to lock their new chain link gate on the north side of the property and kept it locked through the evenings and weekends. It hurt the PTA that time because they had a major outdoor carnival and couldn't unload there. It was also a safety hazard during the day, so that lock came off thank goodness.

Excerpts from July 7, 2010 E-mail from Rose Miller, 7000 Valley Place

Second, the proper site for a dumpster enclosure and operation is between the school and Hillcrest at the two doors used by the kitchen--neither used by children. Children's egress is behind at the stairs and can be fenced off. There is a small grassy raised place to the right (west side) of the delivery driveway in front of these stairs. While too small at present, this picture also shows where the Town recently carved out an indented street space wider than a car's width to create a new -- all too often not used -- car pool and temporary parking lane. To do this we moved trees and dug up grass. MCPS leveling a similar sized space to the right of this driveway at the rear of the school would work just fine--no trees there even, and not an area used by kids.

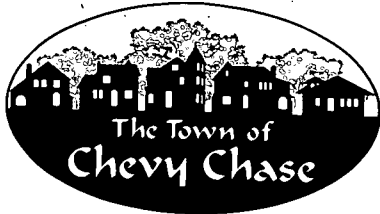
Third, a significant important reason not to fence off with a black chain link fence and sliding gate east to west in front of MCPS' proposed dumpster area is a large wide open swatch to the hillside abutting Hillcrest near the corner, and then going up the length of Beechwood. town children play on this hill, and up this green space, especially the very young playing hide and go seek. It is one of the few raw unlandscaped play places in Town. People also regularly walk (and pick up after) dogs in this green space. There is no reason for the school to close off access with a building structure and fence. Moreover, kids' balls go over the fence at recess and in day care and staff or children go get them from both east and west ends.

Fourth, MCPS' currently standing structure near this location built to house lawnmowers and school stuff was thoughtfully built new at the time the school was renovated ten years ago or so to be of the same brick composition as the school itself, with an historically appropriate roof, and appropriate size. Any new building should do the same. (The two large sheds built on site from

scratch should have gone through some process as well--we are getting a "building jungle" beside Beechwood.

Excerpts from July 8, 2010 E-mail from Paul Miller and Lea Perez, 7000 Beechwood Drive

We support what will apparently hide the dumpsters from view- since we are directly across from them, that would be welcome.



Town Council
David Lublin, *Mayor*
Kathy Strom, *Vice Mayor*
Al Lang, *Secretary*
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July 13, 2010

Historic Preservation Commission
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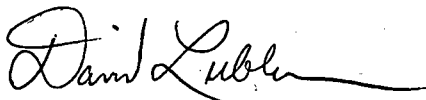
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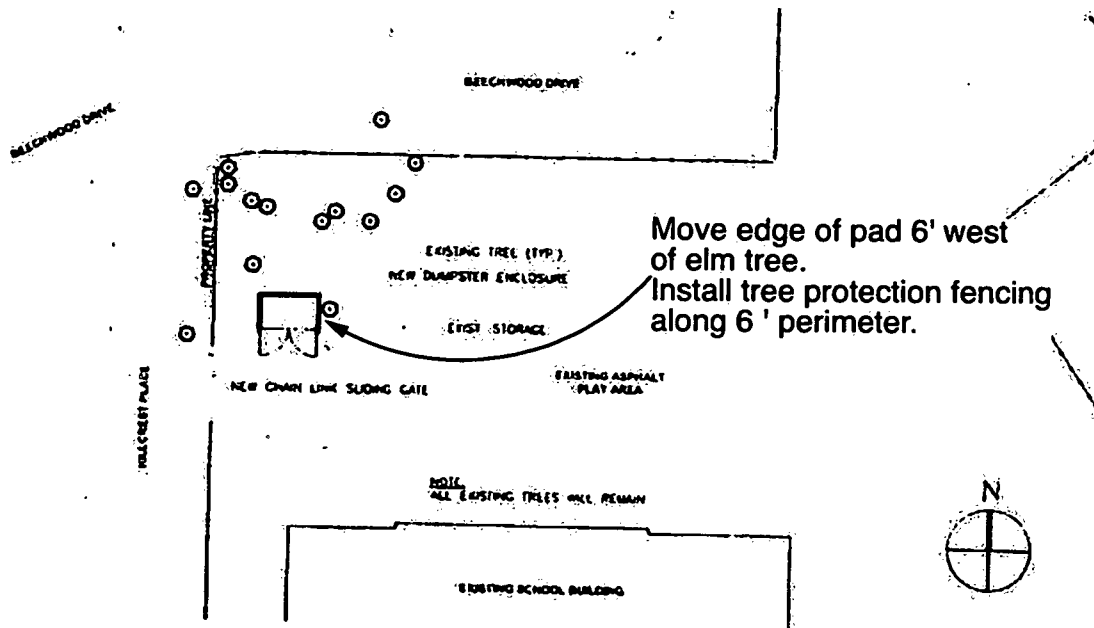
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As you will note, one resident supports the dumpster enclosure, while another has concerns with both the enclosure and the proposed gate. Additionally, the Town's arborist has expressed some concerns with the proposed location of the dumpster enclosure and its potential impact on the root system of a mature Elm tree. The arborist recommends that the enclosure be relocated 6 feet to the west of the Elm tree and that tree protection fencing be erected during construction.

The Town Council hopes that you will take into account our residents' comments and the Town arborist's findings and recommendations when considering the Historic Area Work Permit for CCES. If you have any questions or need additional information, please feel free to contact our Town Manager, Todd Hoffman, at 301-654-7144 or thoffman@townofchevychase.org.

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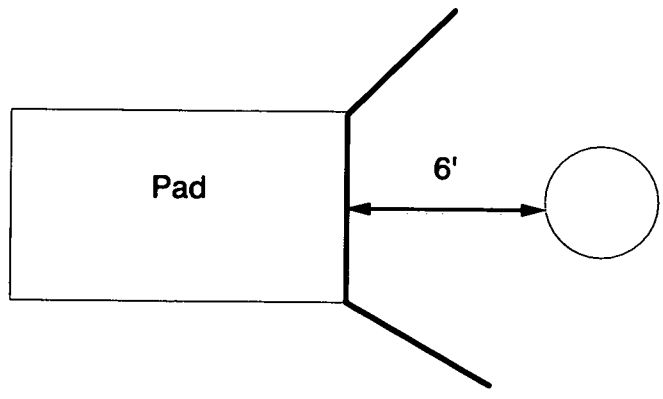

David Lublin
Mayor



Move edge of pad 6' west of elm tree.
Install tree protection fencing along 6' perimeter.



2. PROPOSED SITE PLAN
A-1 SCALE: 1/64" = 1'-0"



— Chain link fencing with steel poles

Excerpts from July 6, 2010 E-mail from Rose Miller, 7000 Valley Place

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5) the site plan drawing and picture 2 are inconsistent as to where the driveway gate the picture 2 does not picture the dumpster area and takes a snap of the driveway entrance itself--stating the driveway gate will be at the driveway entrance appearing to go north to south--several

yards closer to Hillcrest street than where the current relatively new gate is. The site plan has the only gate going east to west in front of the dumpster only, and not impacting access to the driveway itself.

If the driveway gate is located where picture 2 depicts, there is **currently a gate that locks in the location where they wish to put a sliding chain link fence, only closer to the playground.** It was put in maybe five years ago? It is a freestanding unsightly gate that doesn't connect to a fence, but it achieves an MCPS' safety objective of barring cars from entering the blacktop to drive or park in the rear on the playground at times other than school events is achieved already. (The playground is used for parking for school and rental events.) The enclosed chain link fence' only function, then, is to ensure non-access by the public to the playground through the west end of the playground after school and weekends. Despite the current locking gate, people can still enter, and can bring in their bikes and trikes. I remember when the current janitor tried to lock their new chain link gate on the north side of the property and kept it locked through the evenings and weekends. It hurt the PTA that time because they had a major outdoor carnival and couldn't unload there. It was also a safety hazard during the day, so that lock came off thank goodness.

Excerpts from July 7, 2010 E-mail from Rose Miller, 7000 Valley Place

Second, the proper site for a dumpster enclosure and operation is between the school and Hillcrest at the two doors used by the kitchen--neither used by children. Children's egress is behind at the stairs and can be fenced off. There is a small grassy raised place to the right (west side) of the delivery driveway in front of these stairs. While too small at present, this picture also shows where the Town recently carved out an indented street space wider than a car's width to create a new -- all too often not used -- car pool and temporary parking lane. To do this we moved trees and dug up grass. MCPS leveling a similar sized space to the right of this driveway at the rear of the school would work just fine--no trees there even, and not an area used by kids.

Third, a significant important reason not to fence off with a black chain link fence and sliding gate east to west in front of MCPS' proposed dumpster area is a large wide open swatch to the hillside abutting Hillcrest near the corner, and then going up the length of Beechwood. town children play on this hill, and up this green space, especially the very young playing hide and go seek. It is one of the few raw unlandscaped play places in Town. People also regularly walk (and pick up after) dogs in this green space. There is no reason for the school to close off access with a building structure and fence. Moreover, kids' balls go over the fence at recess and in day care and staff or children go get them from both east and west ends.

Fourth, MCPS' currently standing structure near this location built to house lawnmowers and school stuff was thoughtfully built new at the time the school was renovated ten years ago or so to be of the same brick composition as the school itself, with an historically appropriate roof, and appropriate size. Any new building should do the same. (The two large sheds built on site from

scratch should have gone through some process as well--we are getting a "building jungle" beside Beechwood.

Excerpts from July 8, 2010 E-mail from Paul Miller and Lea Perez, 7000 Beechwood Drive

We support what will apparently hide the dumpsters from view- since we are directly across from them, that would be welcome.

Existing Property Condition Photographs (duplicate as needed)



**Detail: VIEW FROM HILLCREST PLACE FACING NORTH TO PROPOSED LOCATION
FOR DUMPSTER ENCLOSURE & DRIVEWAY GATE**



**Detail: VIEW FROM HILLCREST PLACE FACING SOUTH TO PROPOSED LOCATION
FOR DRIVEWAY GATE**

Existing Property Condition Photographs (duplicate as needed)



Detail: VIEW FROM SCHOOL DRIVEWAY FACING NORTH TO EXISTING LOCATION OF DUMPSTERS. PROPOSED LOCATION FOR DUMPSTER ENCLOSURE - VIEW 1



Detail: VIEW FROM SCHOOL DRIVEWAY FACING NORTH TO EXISTING LOCATION OF DUMPSTERS. PROPOSED LOCATION FOR DUMPSTER ENCLOSURE - VIEW 2