

5906 Connecticut Ave.  
Cherry Chase Village H.D.

2011  
HAWP



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Leslie Miles  
Chairperson

Date: 12/6/12

### MEMORANDUM

TO: Diane Schwartz Jones, Director  
Department of Permitting Services

FROM: Anne Fothergill   
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #571912 **REVISION**—alterations to rear garage doors

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on December 5, 2012.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Chevy Chase Village  
Address: 5906 Connecticut Avenue, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.



Design From the Inside Out.

Conceptual Studio, Inc.  
The above information was prepared by the architect, its staff and consultants. It is intended to provide a general overview of the project. It is not intended to be a contract. The architect and its consultants shall not be held responsible for the accuracy or completeness of the information provided herein. The architect and its consultants shall not be held responsible for the accuracy or completeness of the information provided herein. The architect and its consultants shall not be held responsible for the accuracy or completeness of the information provided herein.

PROFESSIONAL CERTIFICATION  
I, the undersigned, being a duly licensed and registered professional architect, do hereby certify that I am the author of the above design and that it was prepared by me or under my direct supervision and that I am a duly licensed and registered professional architect in the State of Maryland.

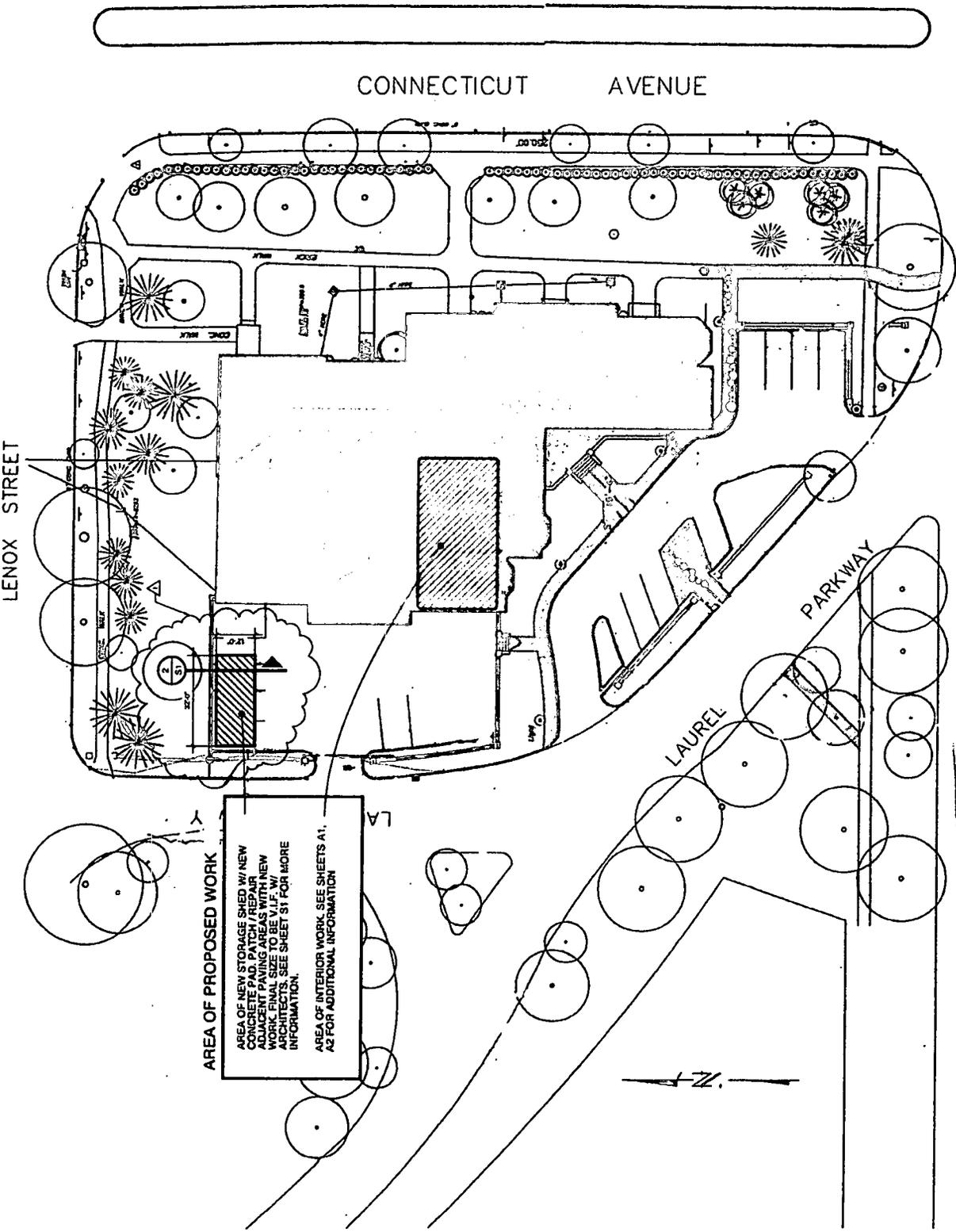


# CHEVY CHASE VILLAGE

5906 Connecticut Avenue  
Chevy Chase, MD 20815

<b>SITE PLAN</b>	
11/28/11 DESIGN REVISIONS	
12/28/11 DESIGN REVISIONS	
12/28/11 PRELIM. PRICING	
01/02/12 PRELIM. PRICING REV.	
05/17/12 FINISHED REVIEW SET	
07/24/12 PERMIT SET	
10/24/12 REV #1 / SHED	
<b>C1</b>	

StudioCrowleyHall, Inc.  
3871 Park Road, NW  
Washington, DC 20010  
P: 202.367.3003 F: 202.314.4517



**AREA OF PROPOSED WORK**

AREA OF NEW STORAGE SHED W/ NEW CONCRETE PAD, PATCH / REPAIR ADJACENT PAVING AREAS WITH NEW ASPHALT. SEE SHEET V1.1 FOR ARCHITECTS. SEE SHEET S1 FOR MORE INFORMATION.

AREA OF INTERIOR WORK. SEE SHEETS A1, A2 FOR ADDITIONAL INFORMATION.

**C1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

Design: From the Inside Out.

Copyright © Studio Crawley, LLC. The above drawings and specifications are the design, design and preparation of the drawings and specifications are the property of the architect. No part of these drawings or specifications may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect shall not be responsible for any errors or omissions in these drawings or specifications, or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by the negligence of the architect. The architect shall not be responsible for any errors or omissions in these drawings or specifications, or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by the negligence of the architect.

PROFESSIONAL CERTIFICATION  
I, the undersigned, being a duly Licensed Architect in the State of Maryland, do hereby certify that I am the author of the above drawings and specifications, and that I am a duly Licensed Architect in the State of Maryland, License Number: 10726, expiring on 06/30/2017.



CHEVY CHASE VILLAGE  
5906 Connecticut Avenue  
Chevy Chase, MD 20815

EXTERIOR ELEVATIONS
11/11/11 DESIGN REVISIONS
11/28/11 DESIGN REVISIONS
12/08/11 DESIGN REVISIONS
12/27/11 PRELIM PRICING
12/27/11 PRELIM PRICING REV.
01/05/12 PRELIM PRICING REV.
05/11/12 FINISHES REVIEW
05/25/12 PERMIT REVIEW SET
07/23/12 BID SET

A3

Studio Crawley/Hall, p.c.

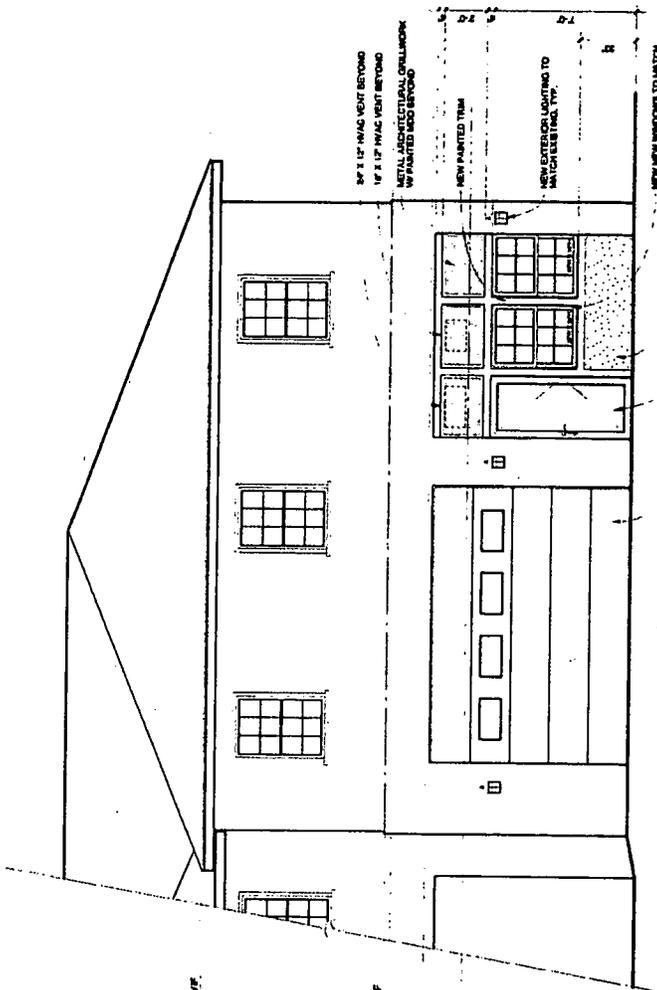
1000 Woodmont Road, Suite 100  
Bethesda, MD 20814  
Tel: 301.462.1100  
Fax: 301.462.1107



AREA OF WORK

1 REAR ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"



2 REAR ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"



◆ SECOND FLOOR FINISH CEILING = 20'-10" / VF

◆ SECOND FLOOR FINISH FLOOR = 11'-10" / VF

◆ FIRST FLOOR FINISH CEILING = 8'-11" / VF (IN GARAGE SPACE)

◆ FIRST FLOOR FINISH CEILING = 8'-0" (IN DIRECTOR'S OFFICE)

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5906 Connecticut Avenue, Chevy Chase	<b>Meeting Date:</b>	12/5/12
<b>Resource:</b>	Outstanding Resource Chevy Chase Village Historic District	<b>Report Date:</b>	11/28/12
<b>Applicant:</b>	Chevy Chase Village (Ellen Sands, Agent)	<b>Public Notice:</b>	11/21/12
<b>Review:</b>	IIAWP	<b>Tax Credit:</b>	None
<b>Case Numbers:</b>	35/13-11T REVISION	<b>Staff:</b>	Anne Fothergill
<b>Proposal:</b>	Garage door replacement and alterations		

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**STAFF RECOMMENDATION**

- Approval  
 Approval with conditions

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Chevy Chase Village Historic District  
**STYLE:** Craftsman  
**DATE:** 1910

**PROPOSAL**

As part of the overall public works renovation project which was approved by the HPC in 2011, the applicants are proposing alterations to the basement level of the rear of the building which faces the fenced public works yard. There are two garage door openings on the rear of the building. The applicants propose to replace the garage door in the left garage door opening with a wood four-light garage door in the same opening. The applicants propose to remove the garage door on the right side and install a wood full-light glass entry door and two wood windows and infill the surrounding area with stucco and metal louvers.

**APPLICABLE GUIDELINES**

**Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b), (1) and (2);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850  
246 777-1111

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Ellen Sands

Daytime Phone No.: 301-654-7300

Tax Account No.: 526000340

Name of Property Owner: Chevy Chase Village Daytime Phone No.: 301-654-7300

Address: 5906 Chevy Chase Connecticut Avenue 20815  
Street Number City Street Zip Code

Contractor: Chevy Chase Village Phone No.: 301-654-7300

Contractor Registration No.: n/a

Agent for Owner: Shana Davis-Cook Daytime Phone No.: 301-654-7300

**LOCATION OF BUILDING/PREMISE**

House Number: 5906 Street: Connecticut Avenue

Town/City: Chevy Chase Village Nearest Cross Street: West Kirke Street

Lot: 37 Block: \_\_\_\_\_ Subdivision: Chevy Chase Section 2

Liber: 264 Folio: 2 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: EQUIPMENT SHELTER

1B. Construction cost estimate: \$ 14,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

6/21/2011  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 571912 Date Filed: 6/21/11 Date Issued: \_\_\_\_\_

**CHEVY CHASE  
VILLAGE**  
ESTABLISHED 1890

November 14, 2012

Ms. Anne Fothergill  
Office of Preservation Commission  
8787 Georgia Avenue  
Silver Spring, MD 20910

Dear Anne:

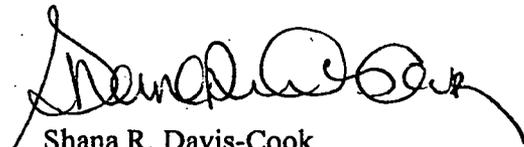
Enclosed are a site plan, an elevation of the proposed work and photographs of the existing condition for a proposed revision to our Historic Area Work Permit for the Public Works Renovation project at the Village Hall.

We propose to install a new wooden garage door, paneling to match the existing, with four windows, in the left (north) wooden garage door opening.

We propose to install a wood frame full-view glass door and two wood windows with a stucco wall below (to match the existing stucco) and three metal louvers above, all located in the existing right (south) garage bay, per the elevation.

No other aspect of the work is changing and all the work is located at the rear and basement level of the property. Additionally it is within the enclosed Public Works Yard and, therefore, no portion of it is visible from the street. Please contact our Project Manager Ellen Sands if you have any questions regarding the submission. Thank you for your consideration.

Sincerely,



Shana R. Davis-Cook  
Manager, Chevy Chase Village

**CHEVY CHASE VILLAGE**

5906 Connecticut Avenue  
Chevy Chase, Maryland 20815

Phone (301) 654-7300

Fax (301) 907-9721

ccv@montgomerycountymd.gov  
www.chevychasevillagemd.gov



# CHEVY CHASE VILLAGE

ESTABLISHED 1890

Chevy Chase Village Municipal Offices: Proposed Equipment Shelter  
5906 Connecticut Avenue  
Chevy Chase, MD 20815

## Abutting and Confronting Neighbors

Ms. Megan Rupp &  
Mr. Dane Butswinkas  
7 West Kirke Street  
Chevy Chase, MD 20815

Mr. & Mrs. Mark Shields  
4 West Kirke Street  
Chevy Chase, MD 20815

Mr. & Mrs. Charles Tate  
5904 Connecticut Avenue  
Chevy Chase, MD 20815

Mr. & Mrs. Donald Wolf  
1 East Kirke Street  
Chevy Chase, MD 20815

Current Resident  
5903 Connecticut Avenue  
Chevy Chase, MD 20815

Mr. & Mrs. Jonathan Colby  
6000 Connecticut Avenue  
Chevy Chase, MD 20815

Mr. & Mrs. Luis Medeiros  
3 West Lenox Street  
Chevy Chase, MD 20815

## CHEVY CHASE VILLAGE

5906 Connecticut Avenue  
Chevy Chase, Maryland 20815

Phone (301) 654-7300

Fax (301) 907-9721

cev@montgomerycountymd.gov

www.chevychasevillagemd.gov

SHANA R. DAVIS-COOK  
*Village Manager*

DAVID R. PODOLSKY  
*Legal Counsel*

## BOARD OF MANAGERS

PATRICIA S. BAPTISTE  
*Chair*

PETER T. KILBORN  
*Vice Chair*

ALLISON W. SHUREN  
*Secretary*

RICHARD RUDA  
*Assistant Secretary*

LAWRENCE C. HEILMAN  
*Treasurer*

GARY CROCKETT  
*Assistant Treasurer*

DAVID L. WINSTEAD  
*Board Member*

5

Design From the Inside Out.

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The above drawings and specifications are the sole property of the architect and are not to be used for any other project without the written consent of the architect. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.

PROFESSIONAL CERTIFICATION  
I, **STUDIO CROWLLEYHALL, LLC**, a limited liability company, and **DAVID J. CROWLLEY**, a professional architect, certify that we prepared or supervised the preparation of these drawings and specifications.

DAVID J. CROWLLEY  
ARCHITECT  
11000 Connecticut Avenue, Suite 200  
Chevy Chase, MD 20815  
Tel: 301.271.1100  
www.studiocrowlleyhall.com



**CHEVY CHASE VILLAGE**  
5906 Connecticut Avenue  
Chevy Chase, MD 20815

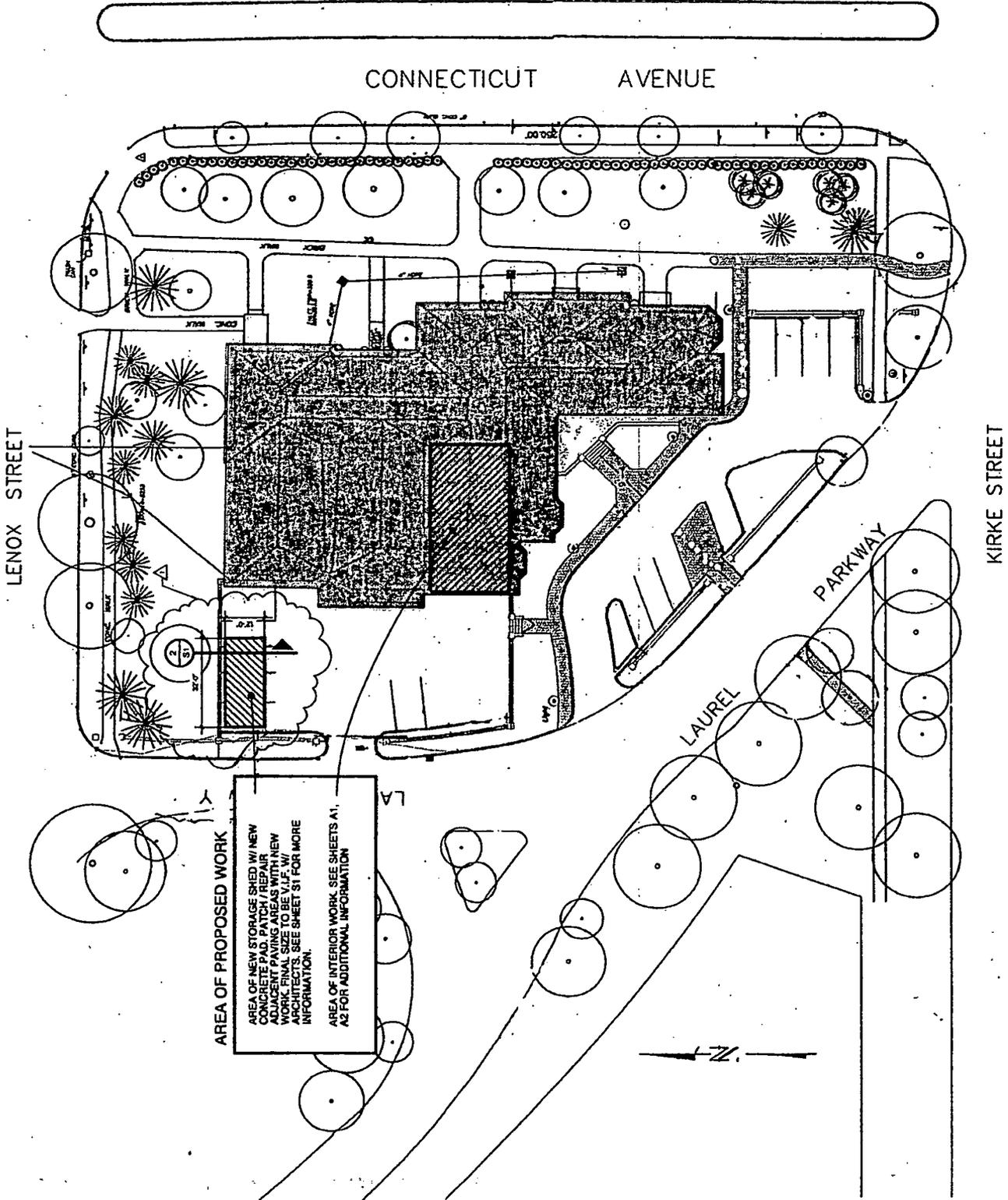
**SITE PLAN**

- 11/28/11 DESIGN REVISIONS
- 12/08/11 DESIGN REVISIONS
- 12/22/11 PRELIM. PRICING
- 01/22/12 PRELIM. PRICING REV.
- 01/22/12 PRELIM. PRICING REV.
- 05/17/12 FINISHES REVIEW
- 05/23/12 PERMIT REVIEW SET
- 10/22/12 REV #1 (SHEED)

**C1**

Studio CrowlleyHall, LLC

4017 P.W. Road, NW  
Washington, DC 20016  
P: 301.307.3933 F: 302.316.6317



**AREA OF PROPOSED WORK**

AREA OF NEW STORAGE SHED W/ NEW CONCRETE PAD, PATCH / REPAIR ADJACENT PAVING AREAS WITH NEW WORK. FINAL SIZE TO BE V.L.F. W/ ARCHITECTS. SEE SHEET S1 FOR MORE INFORMATION.

AREA OF INTERIOR WORK. SEE SHEETS A1, A2 FOR ADDITIONAL INFORMATION

**1 SITE PLAN**  
C1 SCALE: 1/8" = 1'-0"



5906 Connecticut Avenue  
Photos for Garage Door Request



Figure 1: View looking north towards the Public Works yard (behind and below the fenced area).



Figure 2: View looking east towards the Public Works yard (behind the fence).



Figure 3: View looking south towards the Public Works yard (behind the bamboo and fence).



Figure 4: Looking east towards the garage doors. The proposed replacement garage door to the left would be wood panel to match existing with four glass lites. The opening to the right would have a three (3) foot full glass door with two (2) windows (see elevation) within the existing stucco opening.

OK ✓

**Fothergill, Anne**

---

**From:** Fothergill, Anne  
**Sent:** Monday, October 22, 2012 10:56 AM  
**Subject:** staff item for 10/24  
**Attachments:** shelter revision.pdf; DSCN4560.JPG; I.E - 5906 Connecticut Avenue, Chevy Chase.PDF

Below and attached are information for a staff item for discussion at Wednesday's meeting. The applicants are proposing a minor change to the location and materials of an approved equipment shelter. The original application (attached) was on the expedite form. Staff recommends approval.

thanks,  
Anne

**From:** CCV Permitting [<mailto:ccvpermitting@montgomerycountymd.gov>]  
**Sent:** Thursday, October 11, 2012 5:12 PM  
**To:** Fothergill, Anne  
**Subject:** revisions to equipment shelter

Anne:

I have two questions please as we approach beginning on our Public Works renovation, the only exterior feature of which is the outdoor equipment shelter.

- 1) We would like to relocate it to the opposite side of the outside yard- so it is in the mirror location across the yard from where it was proposed. Attached is our original submission and the proposed relocation. The same existing fence would still enclose it as originally proposed. Additionally there is a massive bamboo stand along West Lenox Street (to the left in the photo) which would provide additional screening. See photo attached.
- 2) The second change is that originally we proposed to match the roof and trim of the existing Hall. We would now like it to be built as shown in the attached section.

Please let me know if you approve these alterations. Thank you for your time,

Ellen Sands  
Permitting and Code Enforcement Coordinator  
Chevy Chase Village  
Tele. 301-654-7300  
FAX 301-907-9721

[ccvpermitting@montgomerycountymd.gov](mailto:ccvpermitting@montgomerycountymd.gov)  
[www.chevy Chase Villagemd.gov](http://www.chevy Chase Villagemd.gov)

Environmental  
Management  
2004 Rowe Road  
Suite 200  
Baltimore, MD  
410.556.0009  
410.556.0872



**ERM**  
Landscape Architecture & Urban Design  
Environmental Planning & Engineering

PETER HOPFON, AIA  
& ASSOCIATES  
ARCHITECTS

100 EASTWOOD DRIVE  
SUITE 3000, BALTIMORE, MD 21202  
410.528.1000

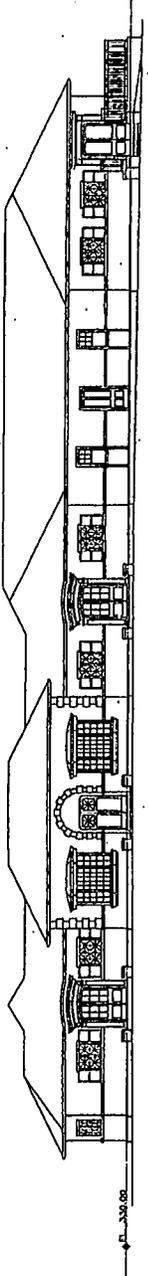
Client Name:



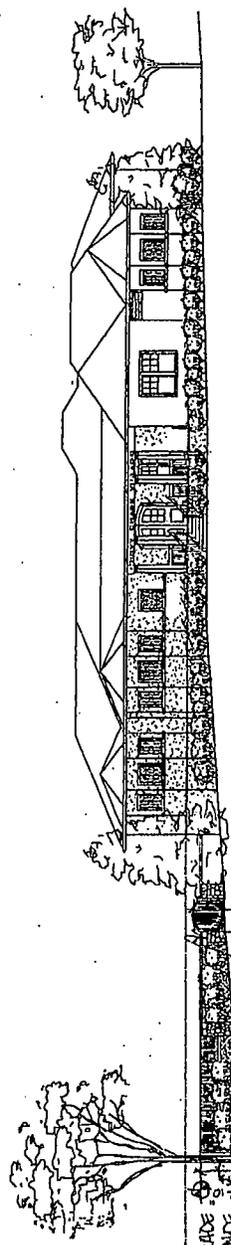
Project:  
**CHEVY CHASE  
VILLAGE HALL  
LANDSCAPE PLANS  
ELEVATIONS**

Scale: As Shown  
Date: 1/14/01

Sheet  
**L - 6.0**

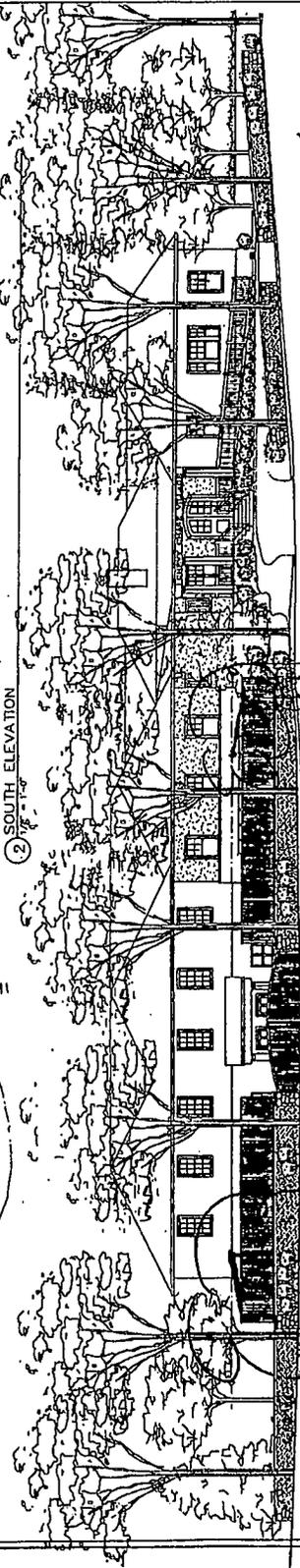


① EAST ELEVATION  
1/8" = 1'-0"



② SOUTH ELEVATION  
1/8" = 1'-0"

T.O. WALL #1 ALN. GRADE  
T.O. WALL #2 ALN. GRADE



③ WEST ELEVATION  
1/8" = 1'-0"  
6'-10" from inside yard  
to top of fence

Environmental Management, 2885 Pine Road, Suite 200, Westport, MD 21158-0000  
 (410) 236-0000  
 (410) 236-0072



Landscaping Architecture & Urban Design  
 Environmental Planning & Engineering  
 PETER ROYTON, AIA  
 & ASSOCIATES  
 ARCHITECTS

125 PASTORAL DRIVE  
 SILVER SPRING, MARYLAND  
 20910-4428

General Notes:

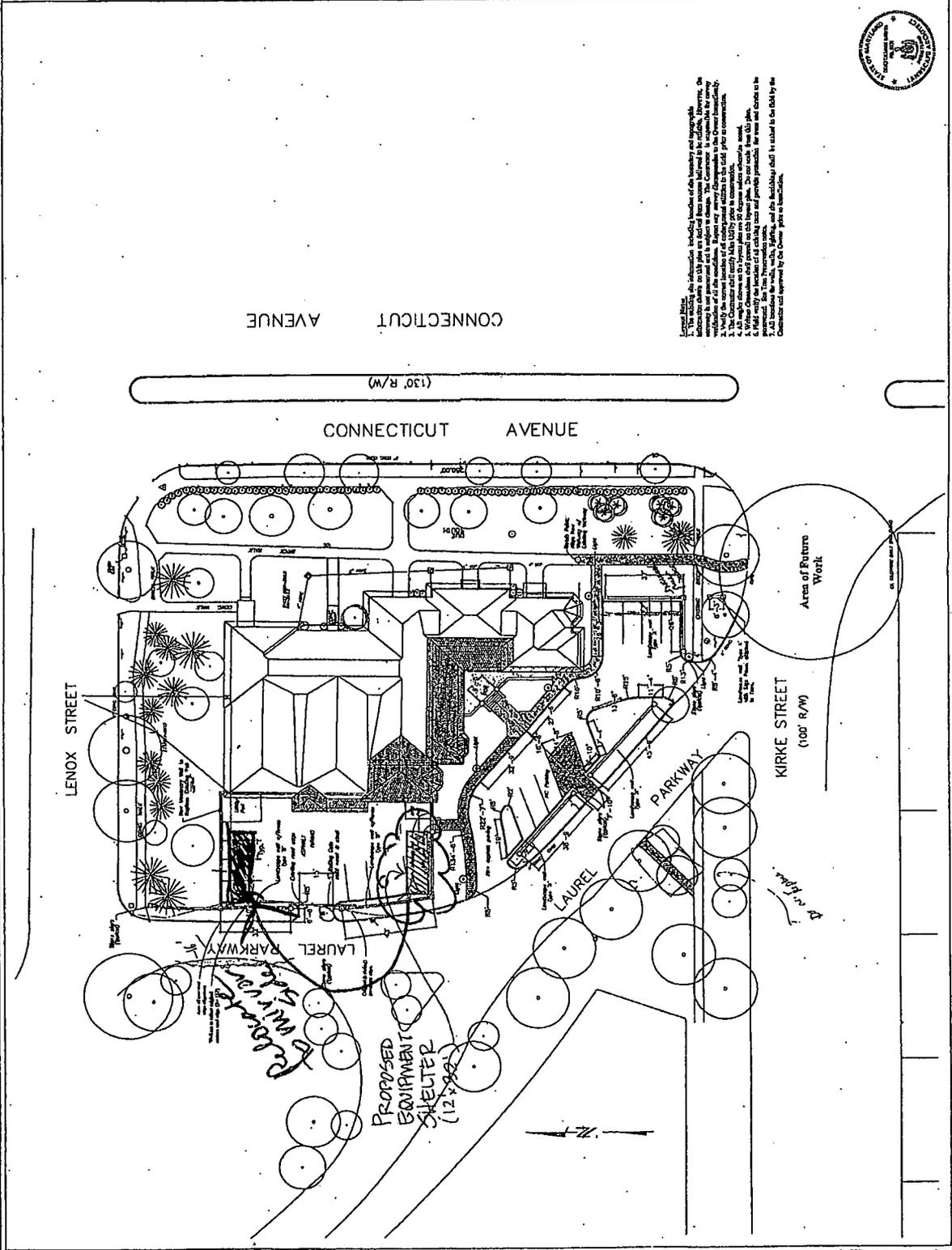
Project:  
**CHEVY CHASE VILLAGE HALL**  
**LAYOUT PLAN**

Scale: 1" = 20'  
 Date: July 14, 2001

Sheet:  
**L - 2.0**



- Legend Note:
- The existing site information, including boundaries and easements, are shown as they exist and are not to be construed as a warranty of accuracy. The Contractor shall verify the accuracy of all information shown on this plan.
  - The Contractor shall verify all utility lines shown on this plan.
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  - The Contractor shall verify all utility lines shown on this plan.
  - All dimensions for walls, walls, lighting, and the building shall be taken to the center line unless otherwise indicated.



CONNECTICUT AVENUE

CONNECTICUT AVENUE

(130' R/W)

LENOX STREET

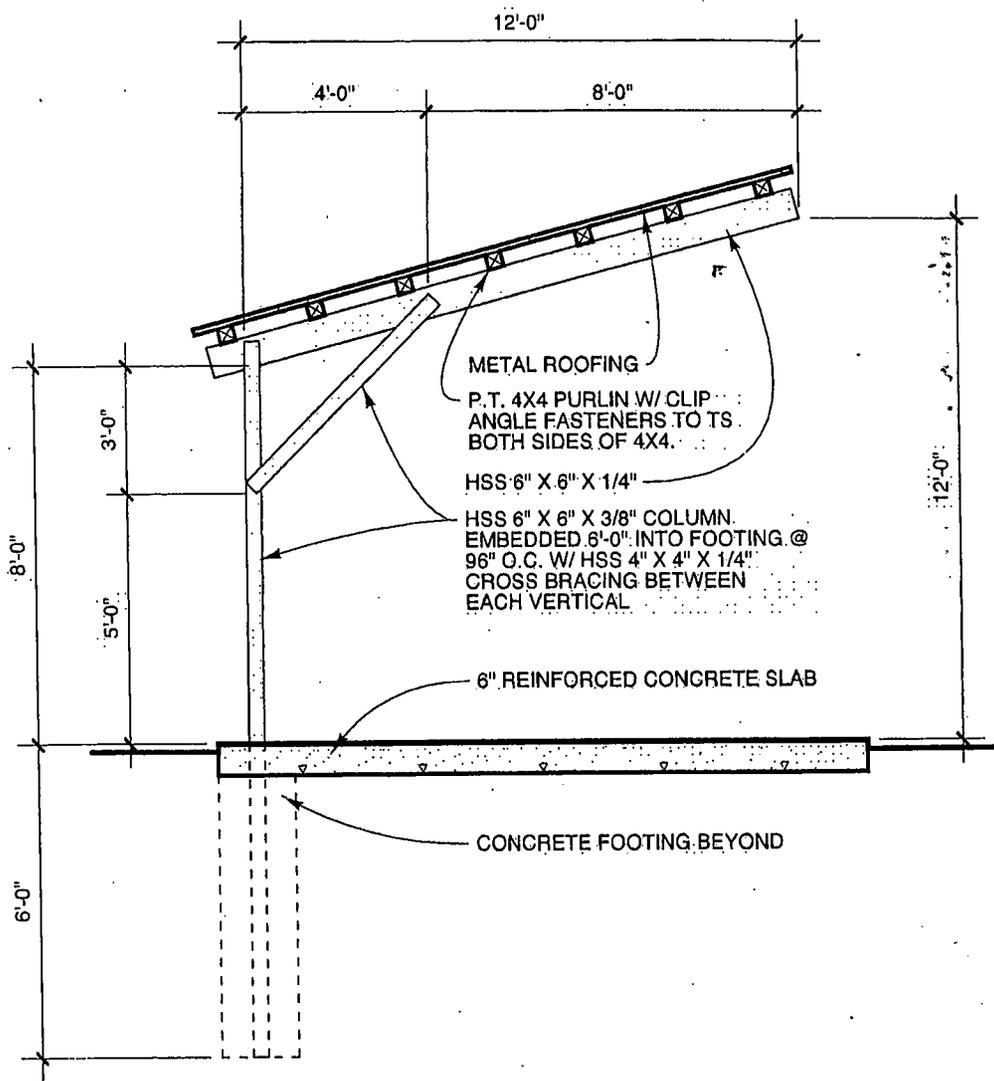
KIRKE STREET  
(100' R/W)

LAUREL PARKWAY

PROPOSED EQUIPMENT SHELTER (12 x 9)

Area of Future Work

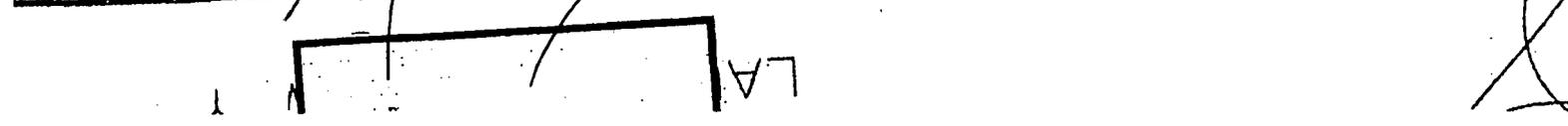
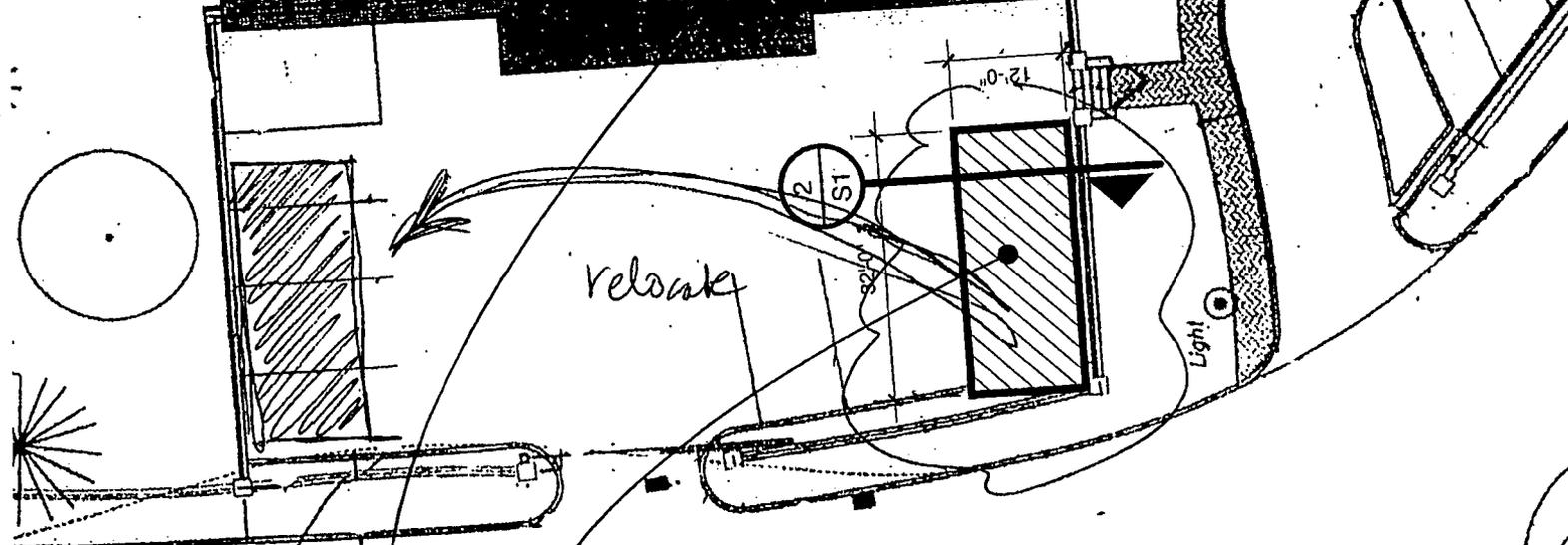
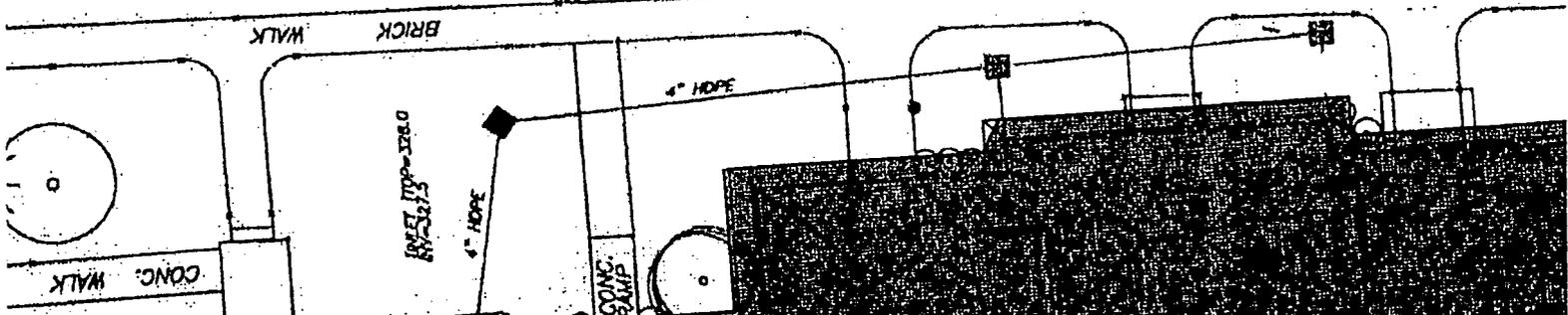
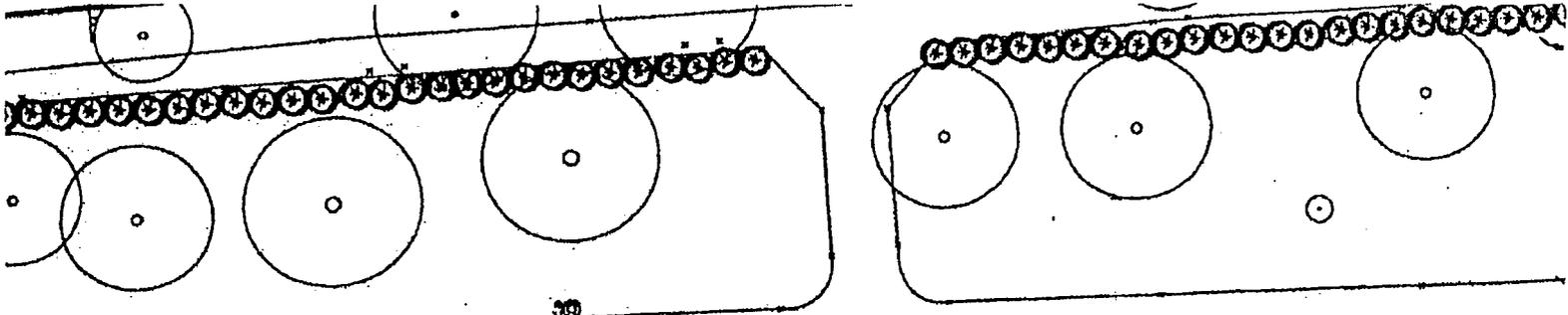




2  
S1

# SHED SECTION

SCALE: 1/4" = 1'-0"







## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Leslie Miles  
Chairperson

Date: 7/15/11

### MEMORANDUM

TO: Jennifer Hughes, Acting Director  
Department of Permitting Services

FROM: Anne Fothergill   
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #571912—equipment shelter installation

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on July 13, 2011.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Chevy Chase Village  
Address: 5906 Connecticut Avenue, Chevy Chase

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RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240-777 6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Ellen Sands  
Daytime Phone No.: 301-654-7300  
Tax Account No.: 526000340  
Name of Property Owner: Chevy Chase Village Daytime Phone No.: 301-654-7300  
Address: 5906 Chevy Chase Connecticut Avenue 20815  
Street Number City Street Zip Code  
Contractor: Chevy Chase Village Phone No.: 301-654-7300  
Contractor Registration No.: n/a  
Agent for Owner: Shana Davis-Cook Daytime Phone No.: 301-654-7300

LOCATION OF BUILDING/PREMISE

House Number: 5906 Street: Connecticut Avenue  
Town/City: Chevy Chase Village Nearest Cross Street: West Kirke Street  
Lot: 37 Block: Subdivision: Chevy Chase Section 2  
Liber: 264 Folio: 2 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: EQUIPMENT SHELTER  
1B. Construction cost estimate: \$ 14,000.00  
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other:  
2B. Type of water supply: 01  WSSC 02  Well 03  Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent  
6/21/2011  
Date

Approved: \_\_\_\_\_ For Chairman, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 7/14/11  
Application/Permit No.: 571912 Date Filed: 6/21/11 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Contributing structure houses municipal offices of Chevy Chase Village. The proposed location of the open equipment shelter is within the rear fence-enclosed Public Works yard.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

Construct an open equipment shelter within the fence-enclosed Public Works yard for storage of essential equipment and machinery. The shelter will be thirty-two (32) feet in length by twelve (12) feet in width. The single-sloped roof will slope from a maximum height of ten (10) feet to eight (8) feet over its width. The open shelter will be located within the fenced and walled Public Works yard at the southwest corner of the lot. It will be partially visible at the Laurel Parkway (west) side of the yard. As an existing fence steps up with grade along Laurel Parkway the shelter will become screened from view. The shelter roofing material will match that of the Village Hall. See enclosed elevations.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

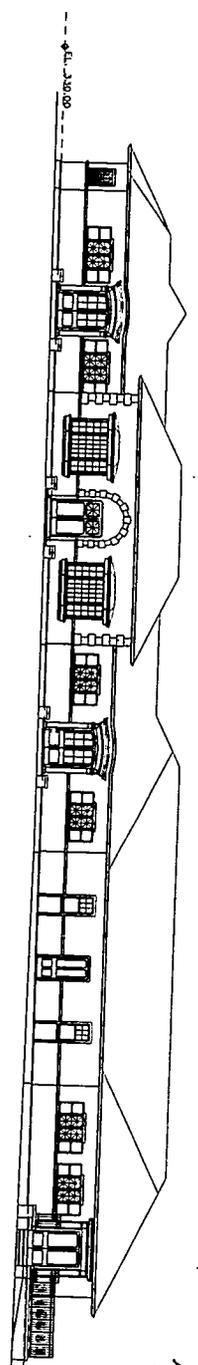
**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **All** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 279-1355).

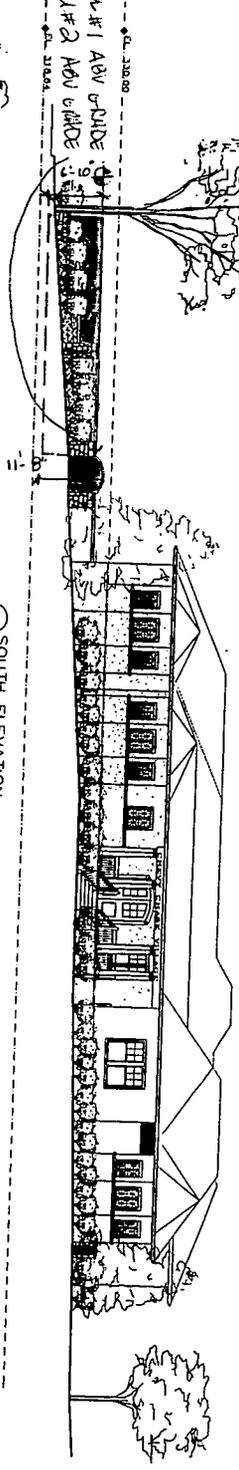
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

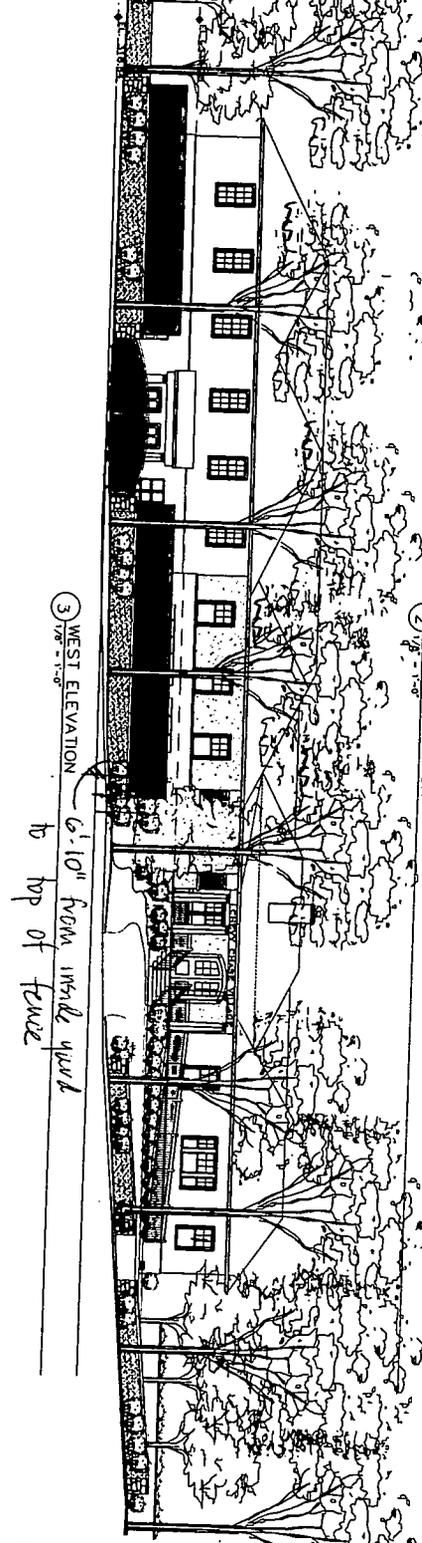




① EAST ELEVATION  
1/8" = 1'-0"



② SOUTH ELEVATION  
1/8" = 1'-0"



③ WEST ELEVATION  
1/8" = 1'-0"  
6'-10" from inside yard to top of fence

T.O. WITH #1 ABV GRADE  
T.O. WITH #2 ABV GRADE

*Handwritten signature and initials*

**ERM**  
Environmental  
Management,  
2886 Rio Road  
Annapolis, MD  
410.266.0006  
410.266.8912

Landscape Architect & Urban Design  
**PETER HOPKIN, AIA**  
& ASSOCIATES  
ARCHITECTS

105 EASTWOOD ROAD  
SILVER SPRING, MARYLAND 20910  
301.481.4478 fax 301.481.0300

General Notes:



Project:  
**CHEVY CHASE VILLAGE HALL**  
LANDSCAPE PLANS  
ELEVATIONS

Scale: As Shown  
Date: July 14, 2001

**L-6.0**



Environmental  
Resource  
Management,  
286 River Road  
Annapolis, MD  
410.266.0006  
410.266.8912



Landscape Architecture & Urban Design  
Environmental Planning & Engineering

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105 EASTWOOD DRIVE  
SILVER SPRING, MARYLAND 20901  
301.681.4878 fax 301.681.0360

General Notes:

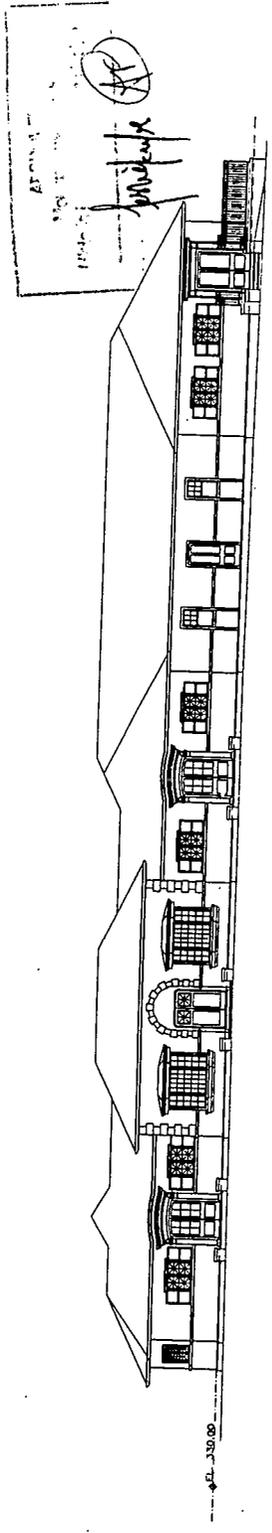


Project:  
**CHEVY CHASE  
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LANDSCAPE PLANS  
ELEVATIONS**

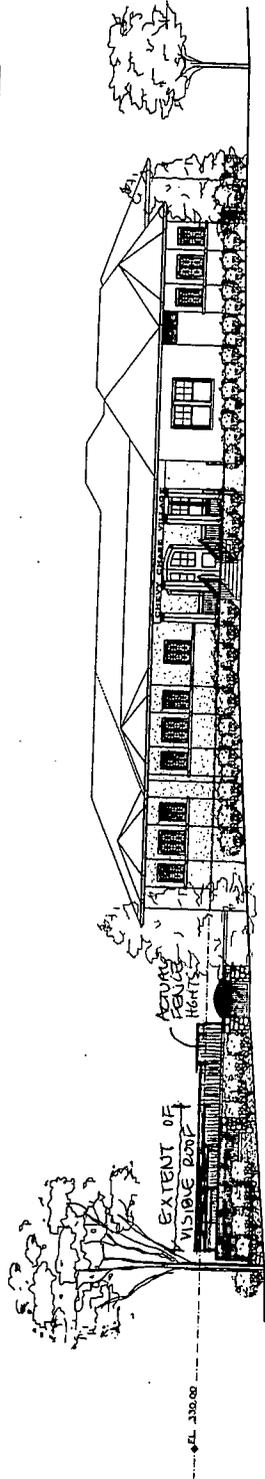
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Date: July 16, 1991

**L - 6.0**

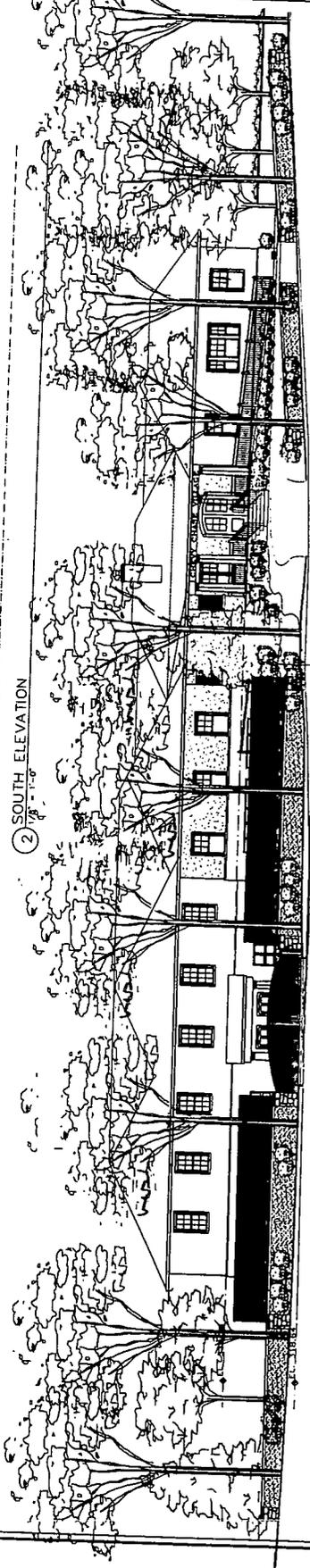
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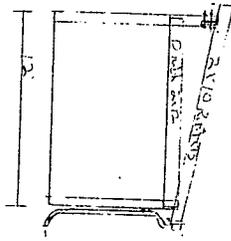
① EAST ELEVATION  
1/8" = 1'-0"



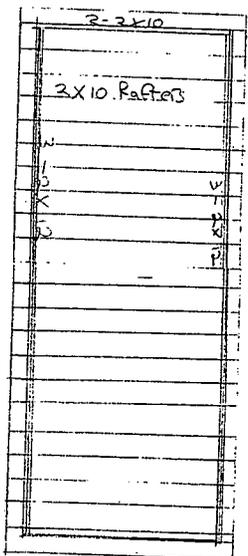
② SOUTH ELEVATION  
1/8" = 1'-0"



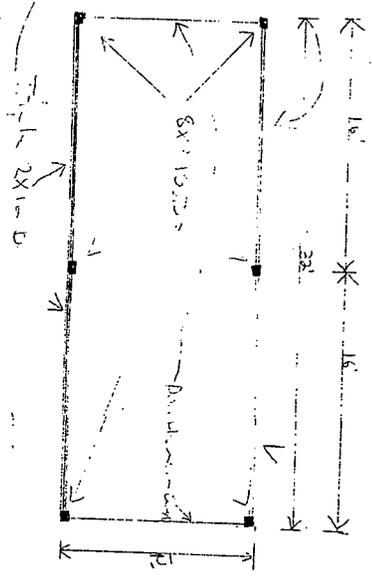
③ WEST ELEVATION  
1/8" = 1'-0"



2x10's  
Gutter + Gutter Board - Gutter Spout  
to maintain drainage



1" overhangs  
2" use plywood  
2" use Rolled Rubber roofing



Proposed Open  
EQUIPMENT SHELTER

DATE	1/11	PROJECT	RAILROAD
BY		NO.	
DRAWN		CHECKED	

1201 8" anchor to 8x8 Footing

*Handwritten signature*

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5906 Connecticut Avenue, Chevy Chase	<b>Meeting Date:</b>	7/13/11
<b>Resource:</b>	Outstanding Resource Chevy Chase Village Historic District	<b>Report Date:</b>	7/6/11
<b>Applicant:</b>	Chevy Chase Village (Ellen Sands, Agent)	<b>Public Notice:</b>	6/29/11
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Numbers:</b>	35/13-11T	<b>Staff:</b>	Anne Fothergill
<b>Proposal:</b>	Equipment shelter installation		

**STAFF RECOMMENDATION**

- Approval  
 Approval with conditions

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Chevy Chase Village Historic District  
**STYLE:** Craftsman  
**DATE:** 1910

**PROPOSAL**

The applicants are proposing to install an equipment shelter in the existing fenced public works yard located behind the building. The proposed shelter is 32' x 12' and the shed roof will be 10' at the peak.

**APPLICABLE GUIDELINES**

**Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
  - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b), (1) and (2);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

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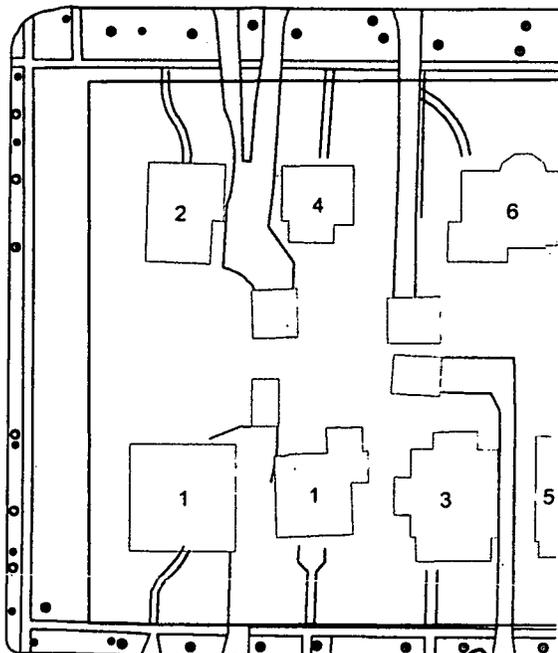
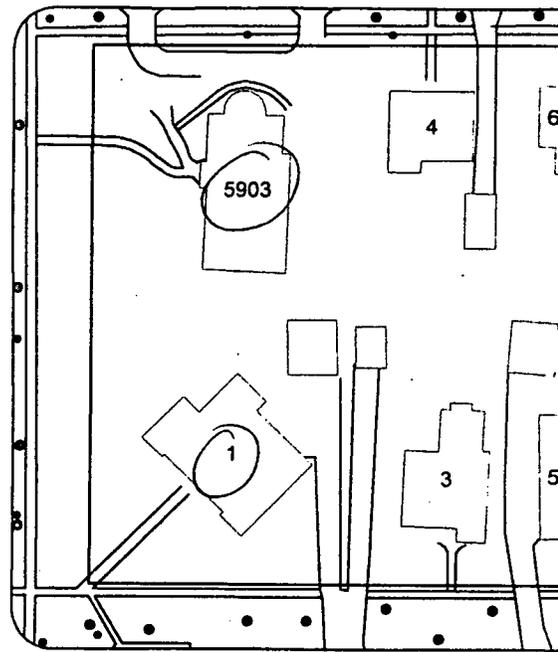
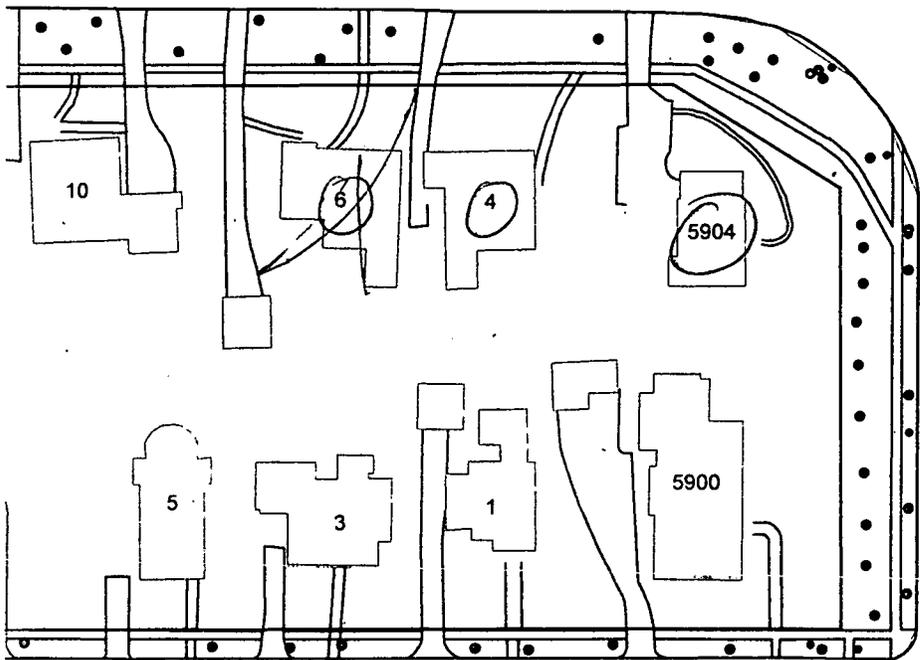
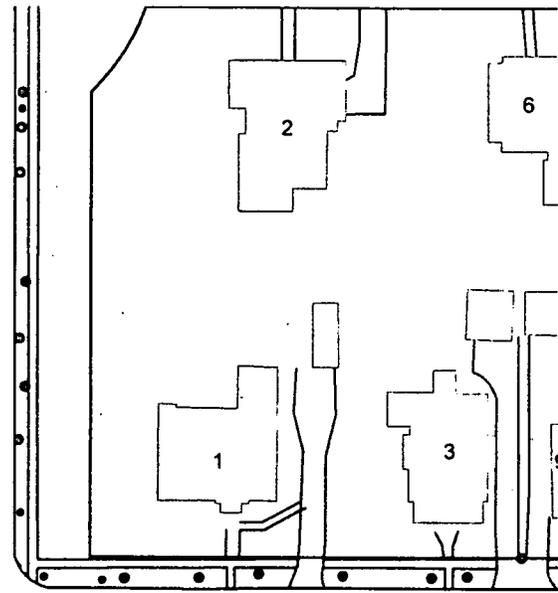
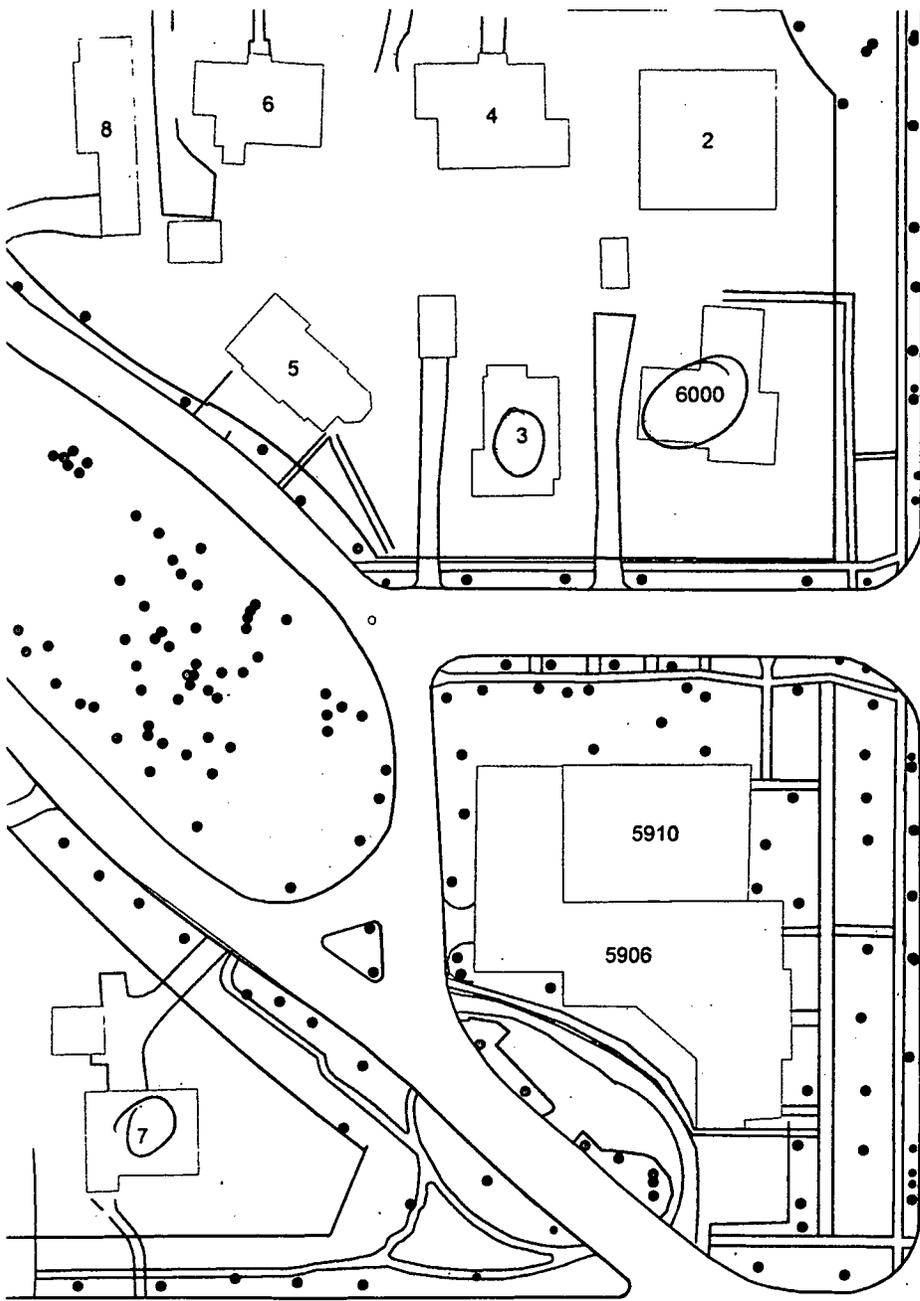
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4





Environmental  
Resources  
Management,  
3885 Five  
Rivers Road,  
Annapolis, MD  
410.266.8906  
410.266.8972

**ERM**

Landscape Architecture & Urban Design  
Environmental Planning & Engineering

**PETER HORTON, AIA  
& ASSOCIATES  
ARCHITECTS**

105 EASTMOOR DRIVE  
SILVER SPRING, MARYLAND 20901  
301.581.4028 fax 301.581.0060

Client Name:

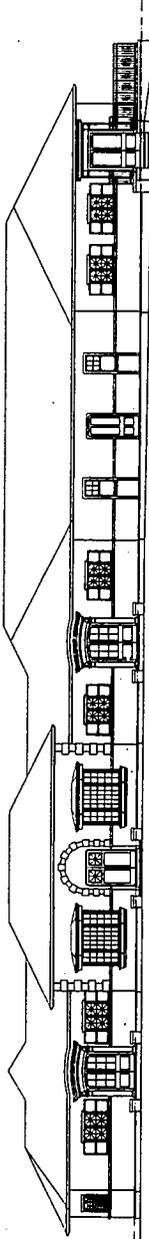


Project:  
**CHEVY CHASE  
VILLAGE HALL  
LANDSCAPE PLANS  
ELEVATIONS**

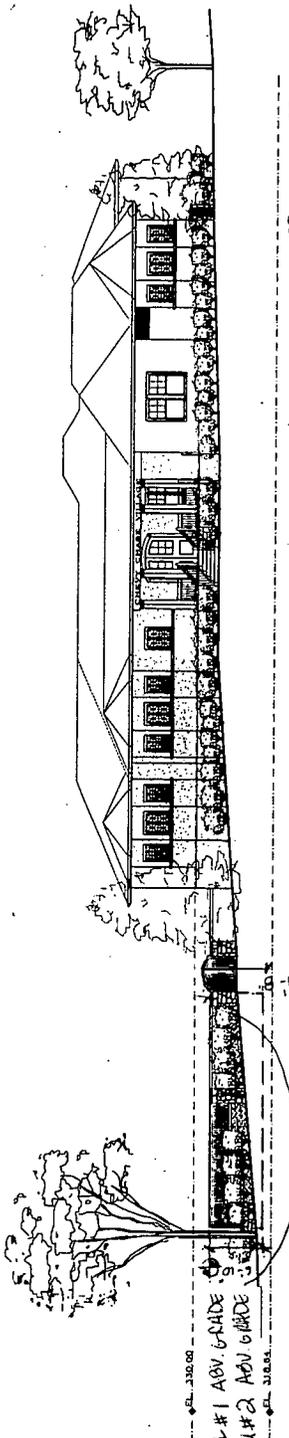
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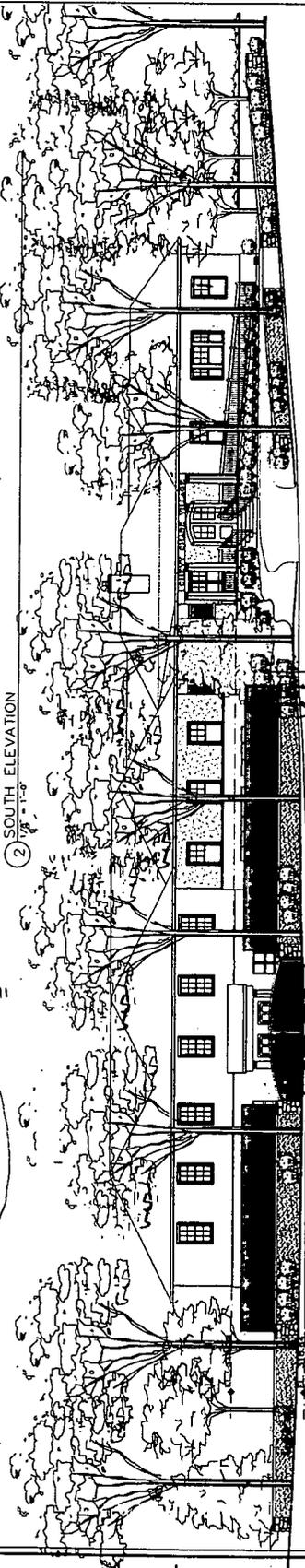


① EAST ELEVATION  
1/8" = 1'-0"



② SOUTH ELEVATION  
1/8" = 1'-0"

T.O. WALL #1 ABV. GRADE  
T.O. WALL #2 ABV. GRADE

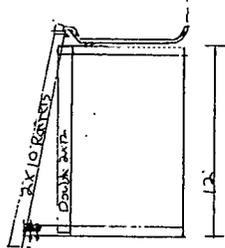


③ WEST ELEVATION  
1/8" = 1'-0"  
6'-10" from inside yard  
to top of fence

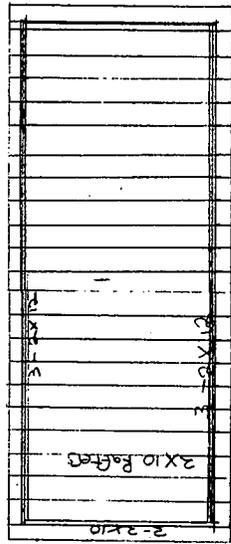
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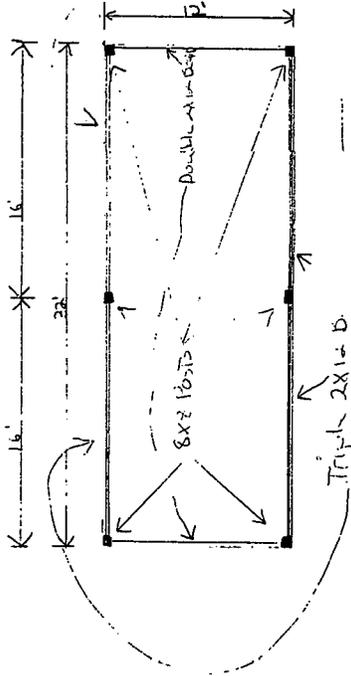


Shingles  
gutter board + gutter spout  
to match existing  
manicure + finish



Overhang  
Through

2in OSB Plywood  
3/4" Rolled Rubber Roofing



Footings to be 3' deep  
and 24" wide with 2x8  
12x18 anchor to 8x8 and  
Footings

PROJECT NO.	DATE	SCALE	DESIGNED BY
DRAWING NUMBER			

PROPOSED OPEN  
EQUIPMENT SHELTER

# 5906 Connecticut Avenue



Figure 1: View of 5906 Connecticut Avenue, Chevy Chase Village Municipal Offices



Figure 2: View from the Municipal Offices entrance looking west towards the Public Works equipment yard. The proposed equipment shelter would be located in the far left (southwest) corner of the lot, behind the fence.



Figure 3: View of the Public Works yard (behind fence) from Laurel Parkway



Figure 4: View of the Public Works yard from Laurel Parkway looking east. The proposed equipment shelter would be in the southwest (right) corner of the lot.



Figure 5: View of the Public Works yard from West Lenox Street. The proposed equipment shelter location is on the opposite side of the yard.

## 5906 Connecticut Avenue Supplemental Photos of Materials



Figure 6: View of 5906 Connecticut Avenue, Chevy Chase Village Hall showing gray asphalt composition shingles. The proposed equipment shelter roof would match this material and color.

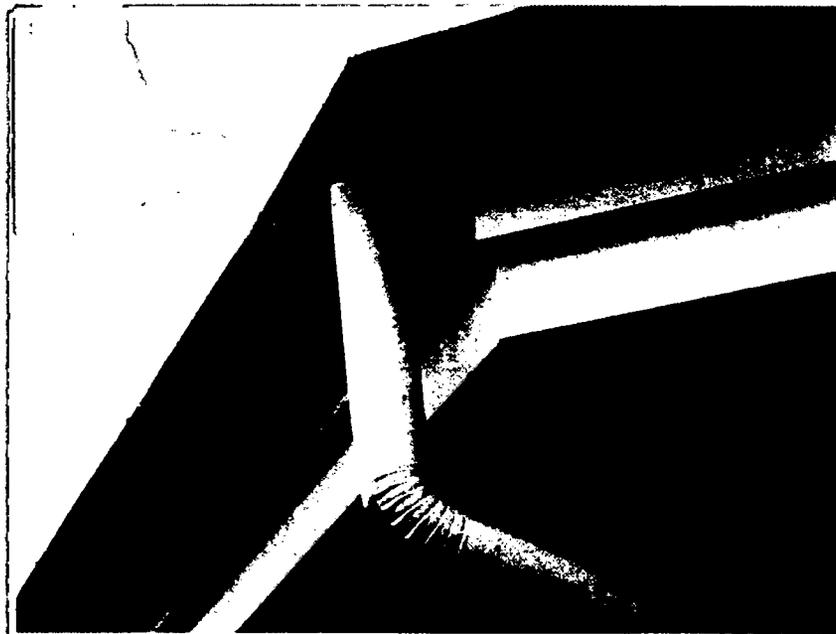


Figure 7: Detail of soffit and half-round gutter of the existing Village Hall. The gutter and soffit of the proposed equipment shelter would have a similar profile, although the trim would be stained to match the existing Public Works Yard fence, rather than painted.



**Figure 8: The frame and trim of the proposed equipment shelter would be stained to match the existing wooden fence that encloses the Public Works Yard.**

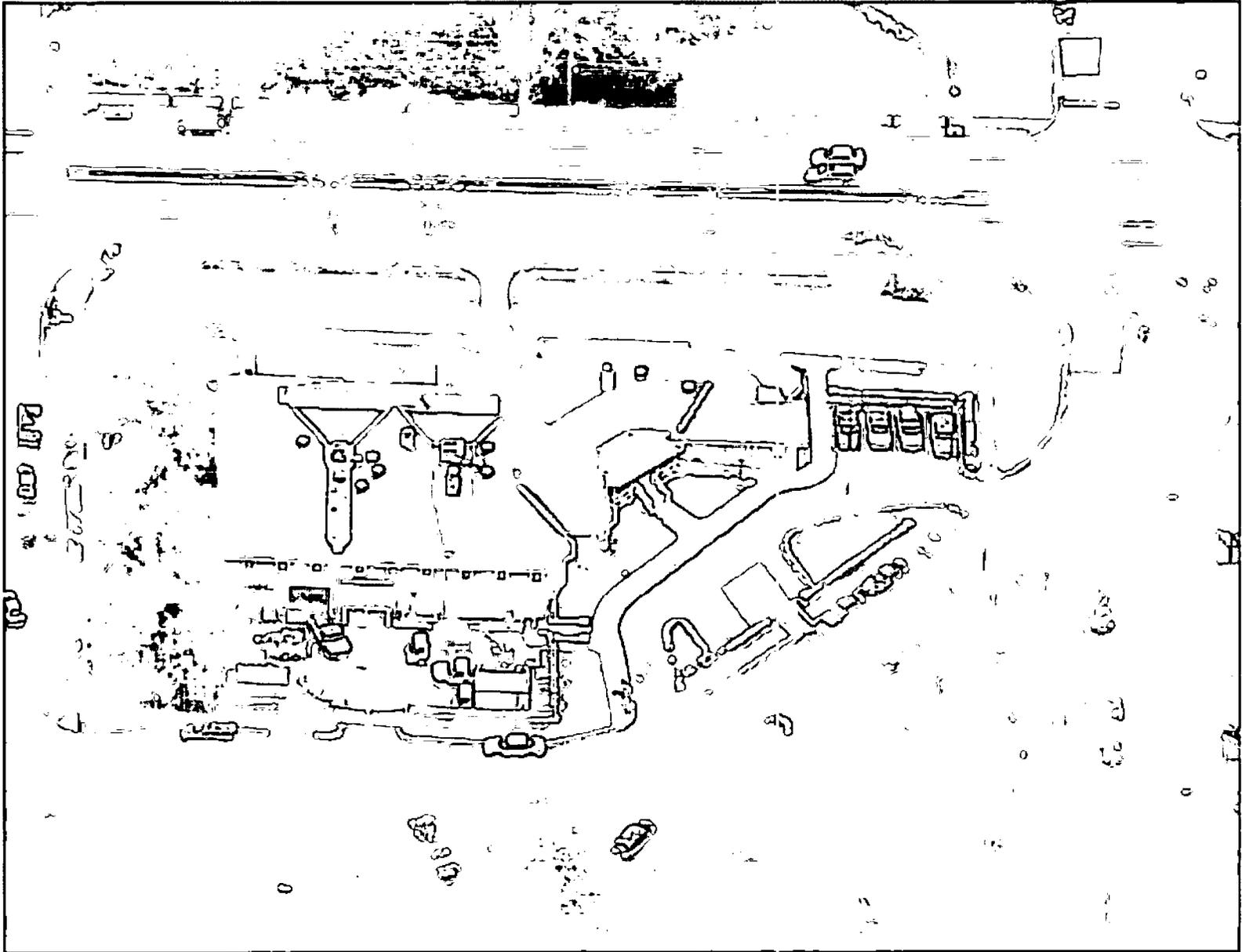


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(c) Copyright 2008, Pictometry International



(c) Copyright 2006, Pictometry International

## 5906 Connecticut Avenue



Figure 1: View of 5906 Connecticut Avenue, Chevy Chase Village Municipal Offices



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