

2 Husketh Street, Chewy Chase  
[HPC Case # 35/13-12A]  
Chewy Chase Village H.D.

**Silver, Joshua**

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**To:** CCV Permitting  
**Subject:** RE: 2 Hesketh

Ellen,

The wooden railing as shown on the photo provided by you is approved.

Thanks for checking with me.

Josh

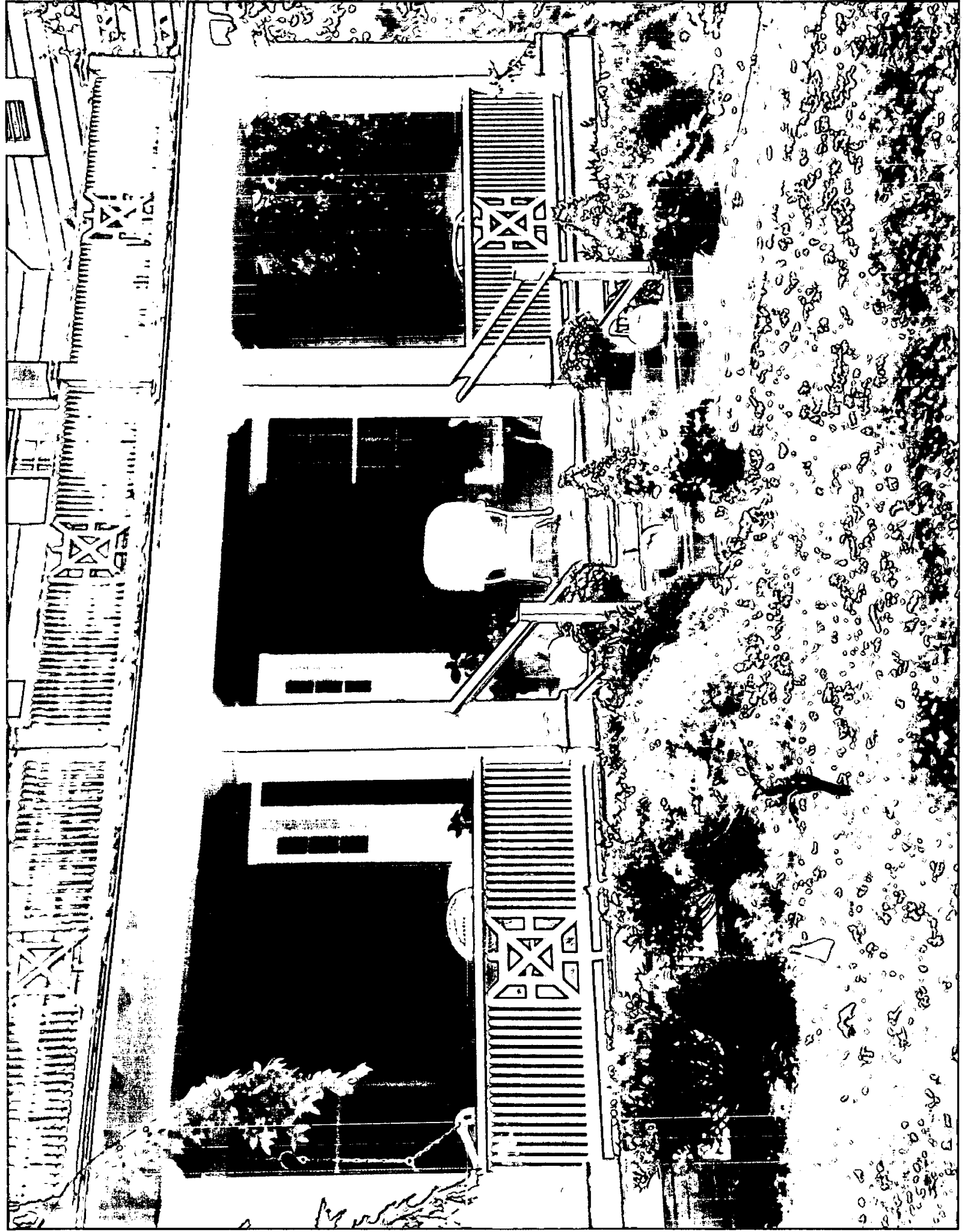
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**From:** CCV Permitting [<mailto:ccvpermitting@montgomerycountymd.gov>]  
**Sent:** Tuesday, October 08, 2013 12:51 PM  
**To:** Silver, Joshua  
**Subject:** 2 Hesketh

The resident at 2 Hesketh Street obtained HPC approval to repair/replace their stoop and walkway about 2 years ago. They have since installed a pair of wood hand rails. See attached photo. Can you please tell me whether these have HPC approval? Thank you,

Ellen Sands  
Permitting and Code Enforcement Coordinator  
Chevy Chase Village  
Tele. 301-654-7300  
FAX 301-907-9721

[ccvpermitting@montgomerycountymd.gov](mailto:ccvpermitting@montgomerycountymd.gov)  
[www.chevychasevillagemd.gov](http://www.chevychasevillagemd.gov)





## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

Leslie Miles  
Chairperson

Date: January 12, 2012

### MEMORANDUM

TO: Diane R. Schwartz Jones, Director  
Department of Permitting Services

FROM: Josh Silver, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #586339, alterations to front walkway and stairs

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the January 11, 2012 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.**

Applicant: Adam and Abigail Wenner

Address: 2 Hesketh Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or [joshua.silver@mncppc-mc.org](mailto:joshua.silver@mncppc-mc.org) to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: akwenner@aol.com Contact Person: Abigail K. Wenner
Tax Account No.: 213 66 3216 Daytime Phone No.: 301 654-2149
Name of Property Owner: Adam & Abigail Wenner Daytime Phone No.: 301 654 2149
Address: 2 Hesketh St. Ch. Ch. Md. 20815
Contractor: Noe Bravo Phone No.: 301 748 7536
Contractor Registration No.: # 50184
Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 2 Hesketh Street: Hesketh St.
Town/City: Chevy Chase Nearest Cross Street: Magnolia Parkway
Lot: Block: Subdivision: Chevy Chase Village
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct [checked] Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable
CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: Flagstone Walkway
1B. Construction cost estimate: \$ 2,000.00
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

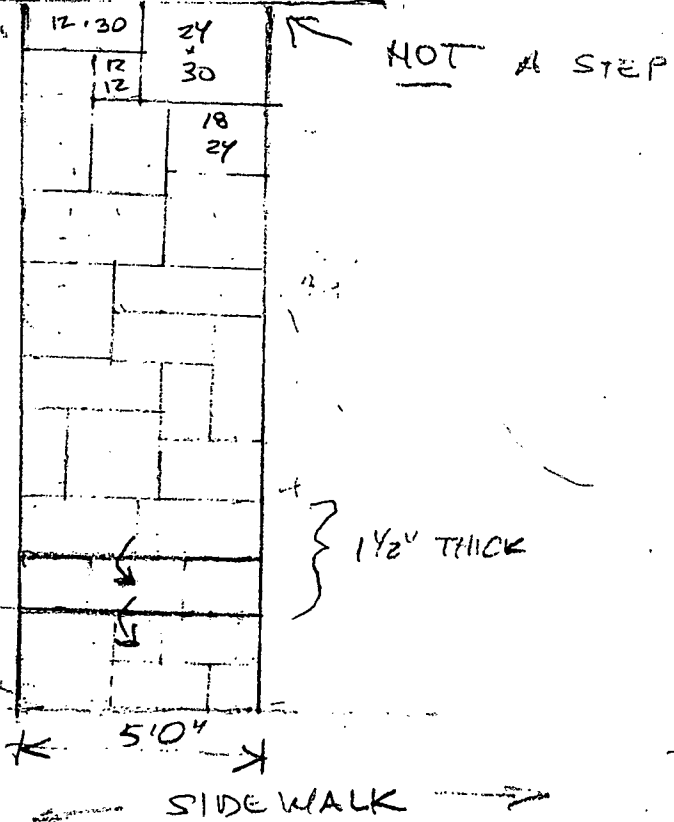
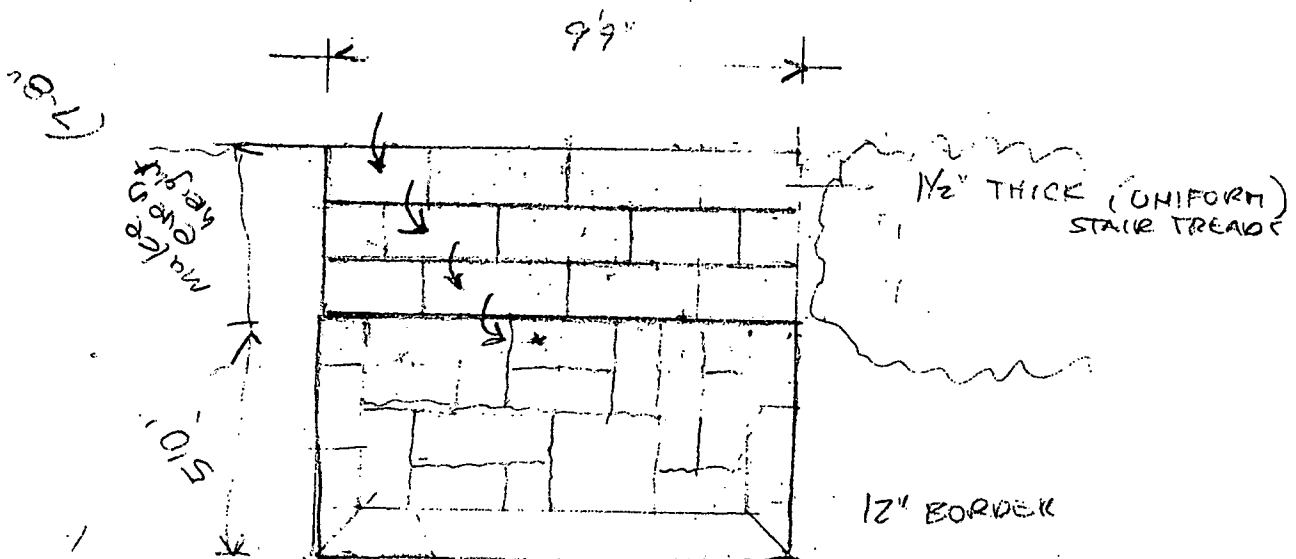
Signature of owner or authorized agent: Abigail K. Wenner Date: Dec. 8, 2011

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date: 1/12/12
Application/Permit No.: 580339 Date Filed: 12/8/2011 Date Issued:

Plans  
 Wenner  
 2 Mesketh St.  
 Ch. Ch. Md.  
 20815

Flagstone  
 walk way

1" = 4'0"



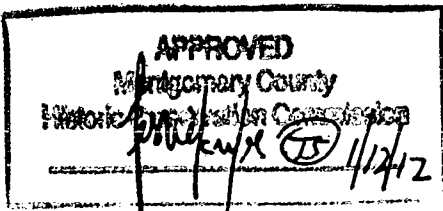
FLAGSTONE

IRWIN STONE  
 606 DR. ROCKVILLE  
 301-762-5800

CONCRETE - SEE YELLOW PAGES

- ROCKVILLE FUEL & FEED
  - AGGREGATE INDUSTRIES
- CONCRETE NEEDS:

2 1/2  
 50 1/2  
 2 - 2 1/2  
 CU YARDS  
 NEEDED  
 w/ FIBER  
 - 3000 PSI  
 MIX



***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	2 Hesketh Street, Chevy Chase	<b>Meeting Date:</b>	1/11/2012
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	1/4/2012
<b>Applicant:</b>	Adam and Abigail Wenner	<b>Public Notice:</b>	12/28/2011
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-12A	<b>Staff:</b>	Josh Silver

**PROPOSAL:** Alterations to front walkway and stairs

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**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival  
**DATE:** 1892-1916

**PROPOSAL**

The applicants are proposing to remove and replace an existing concrete walkway with flagstone in the same location in the front yard of the subject property. The proposal also includes the removal and replacement of the existing wooden front porch steps with concrete steps capped with flagstone. The new stairs will have a metal handrail to comply with code.

**APPLICABLE GUIDELINES**

***Montgomery County Code; Chapter 24A-8***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic

resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

#### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION  
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APPLICATION FOR  
HISTORIC AREA WORK PERMIT

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Name of Property Owner: Adam & Abigail Wenner Daytime Phone No.: 301 654 2149  
Address: 2 Hesketh St. Ch. Ch. Md. 20815  
Street Number City Street Zip Code  
Contractor: Noe Bravo Phone No.: 301 748 7536  
Contractor Registration No.: # 50184  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 2 Hesketh Street: Hesketh St.  
Town/City: Chevy Chase Nearest Cross Street: magnolia Parkway  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: Chevy chase village  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: Flagstone walkway  
1B. Construction cost estimate: \$ 2,000.00  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Abigail K. Wenner R Dec. 8, 2011  
Signature of owner or authorized agent Date

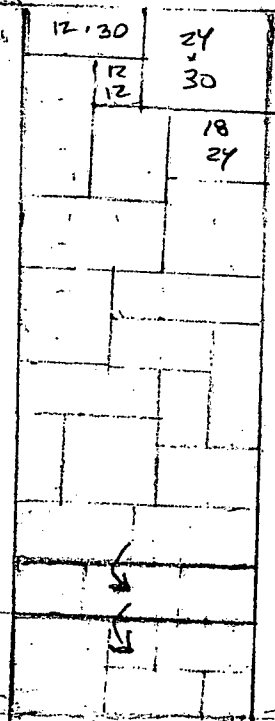
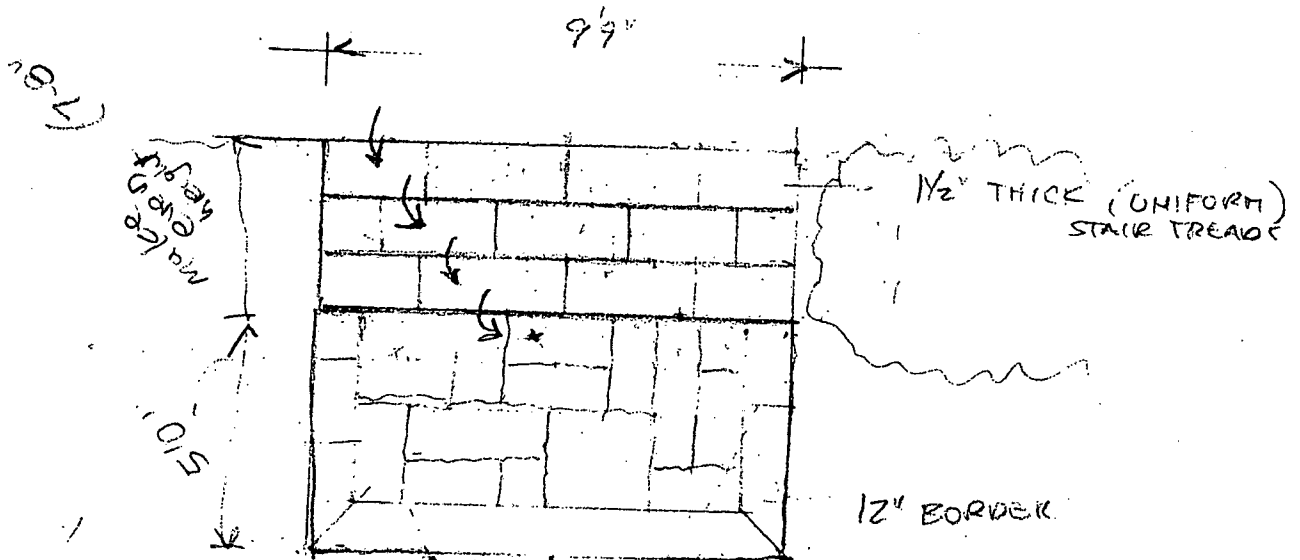
Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 580339 Date Filed: 12/8/2011 Date Issued: \_\_\_\_\_

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Wenner

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Ch. Co. Md.  
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Flagstone  
walkway

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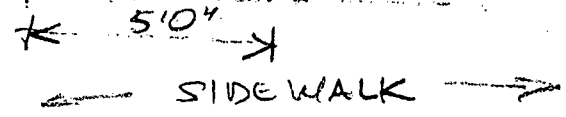


NOT A STEP

FLAGSTONE  
IRWIN STONE  
6000 DR ROCKVILLE  
301-762-5800

CONCRETE - SEE YELLOW PAGES  
- ROCKVILLE FUEL & FEED  
- AGGREGATE INDUSTRIES  
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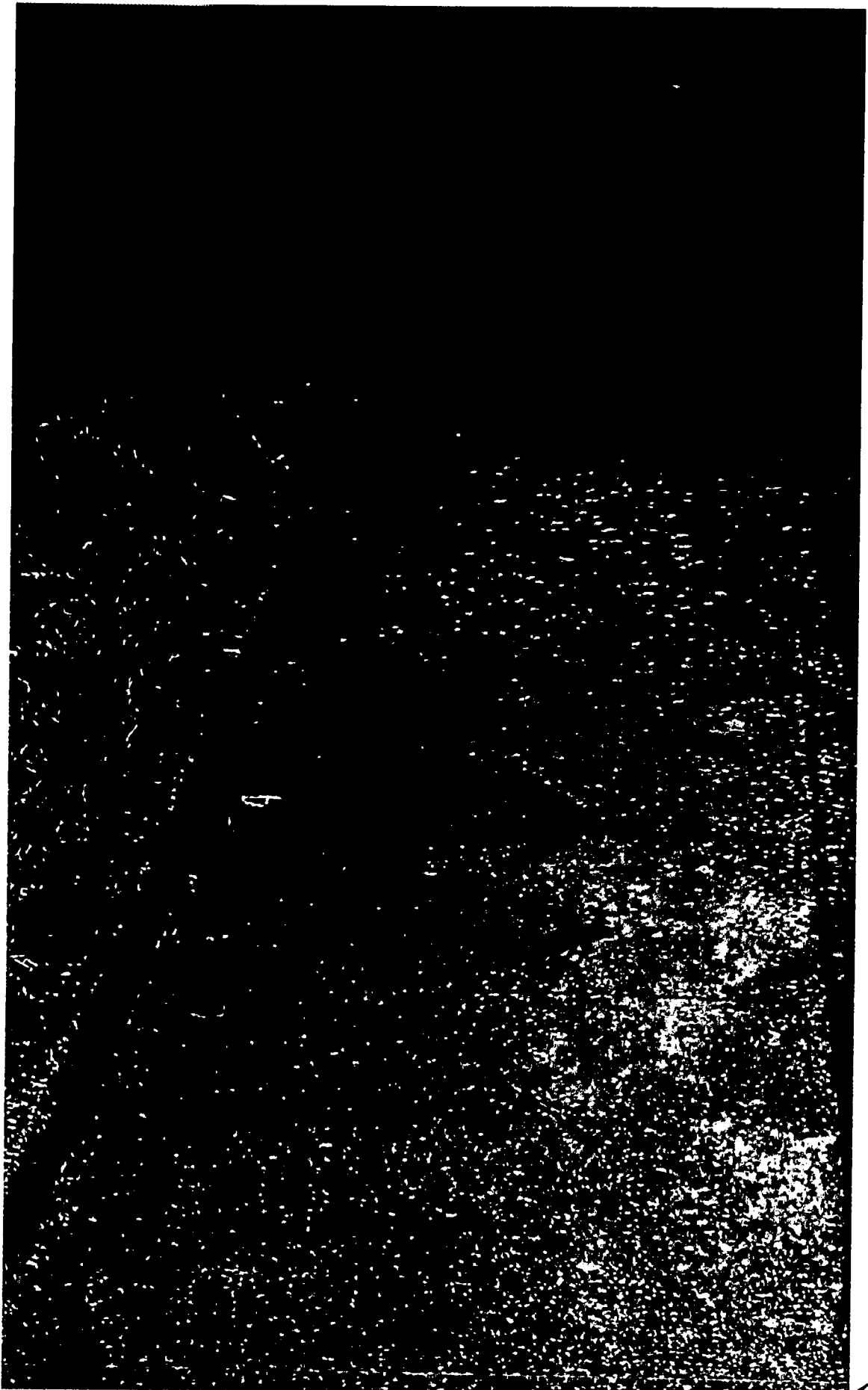
2 1/2  
CU YARDS  
NEEDED  
w/ FIBER  
- 3000 PSI  
MIX



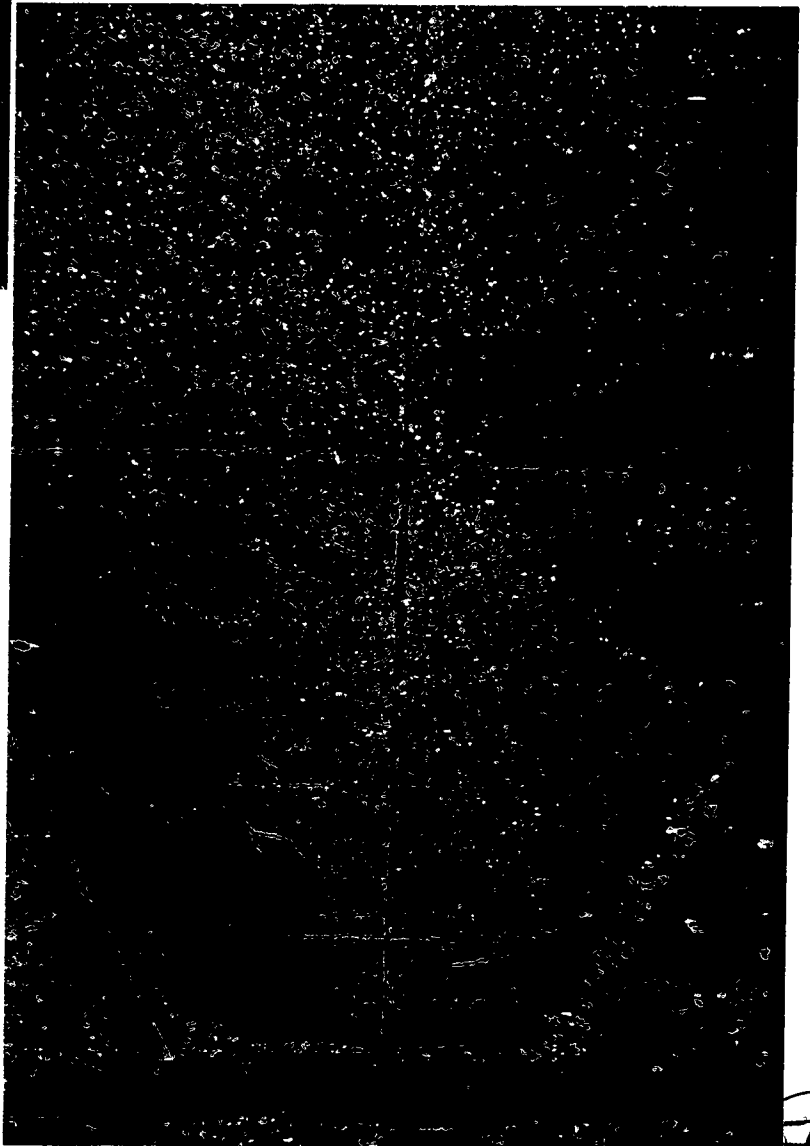
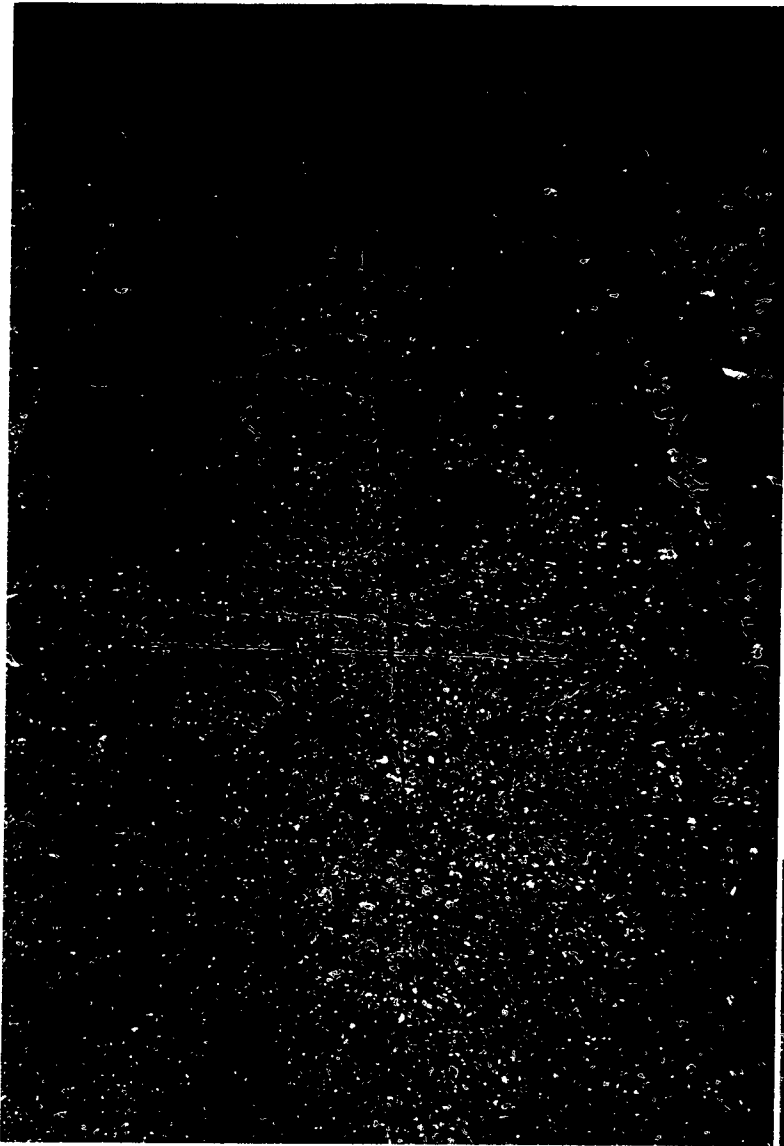
2 HESKETH STREET



(c) Copyright 2008, Pictometry International

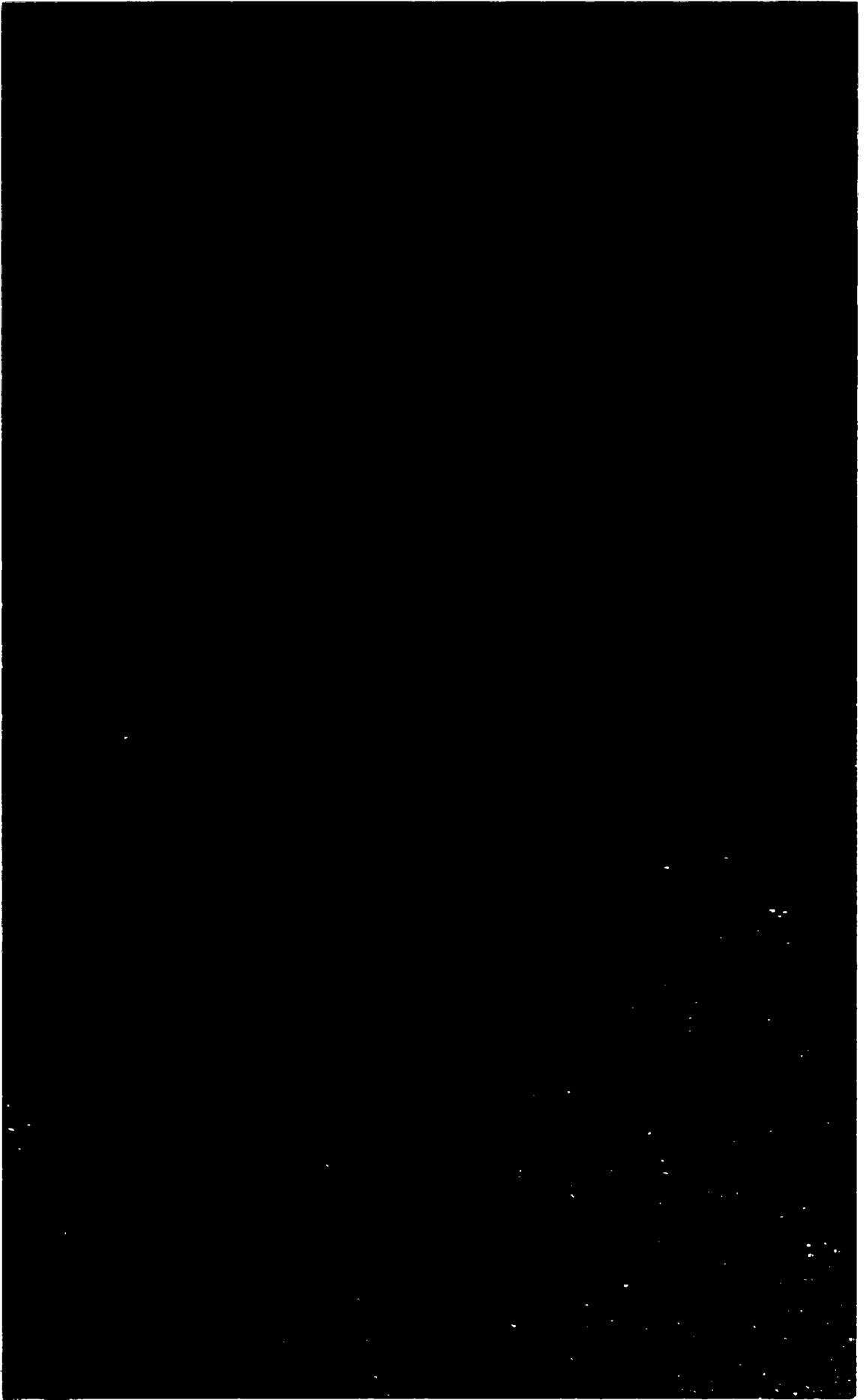


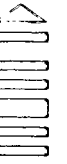
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STAIRS AND WALKWAY  
TO BE REPLACED





Werner  
 2 Haskett St.  
 Ch. Ch. Md.  
 20815





