



## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
*County Executive*

William Kirwan  
*Chairperson*

Date: October 23, 2013

### MEMORANDUM

TO: Diane R. Schwartz Jones, Director  
Department of Permitting Services

FROM: Josh Silver, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #649802, patio replacement

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the October 23, 2013 meeting.

Applicant: Dean and Tracey D'Angelo

Address: 5810 Connecticut Avenue, Chevy Chase





HISTORIC PRESERVATION COMMISSION  
301/563-3400

649802

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Scott@britzgroup.com Contact Person: Scott Britz  
 Tax Account No.: District -07 acct # 00455840 Daytime Phone No.: 202-439-3154  
 Name of Property Owner: Dean & Tracy D. Angelo Daytime Phone No.: 704-258-7742  
 Address: 5810 Connecticut Ave, Chevy Chase MD 20815  
 Contractor: Perez Landscaping Phone No.: 240-286-9666  
 Contractor Registration No.: 15570889  
 Agent for Owner: Scott Britz Daytime Phone No.: 202-439-3154

### LOCATION OF BUILDING/PERMIT

House Number: 5810 Street: Connecticut Ave  
 Town/City: Chevy Chase Nearest Cross Street: West Irving St  
 Lot: 27 P9 Block: 27 Subdivision: 0069  
 Liber: 39552 Folio: 00180 Parcel: 0000

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- AC
- Stab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Terrace

1B. Construction cost estimate: \$ 15,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

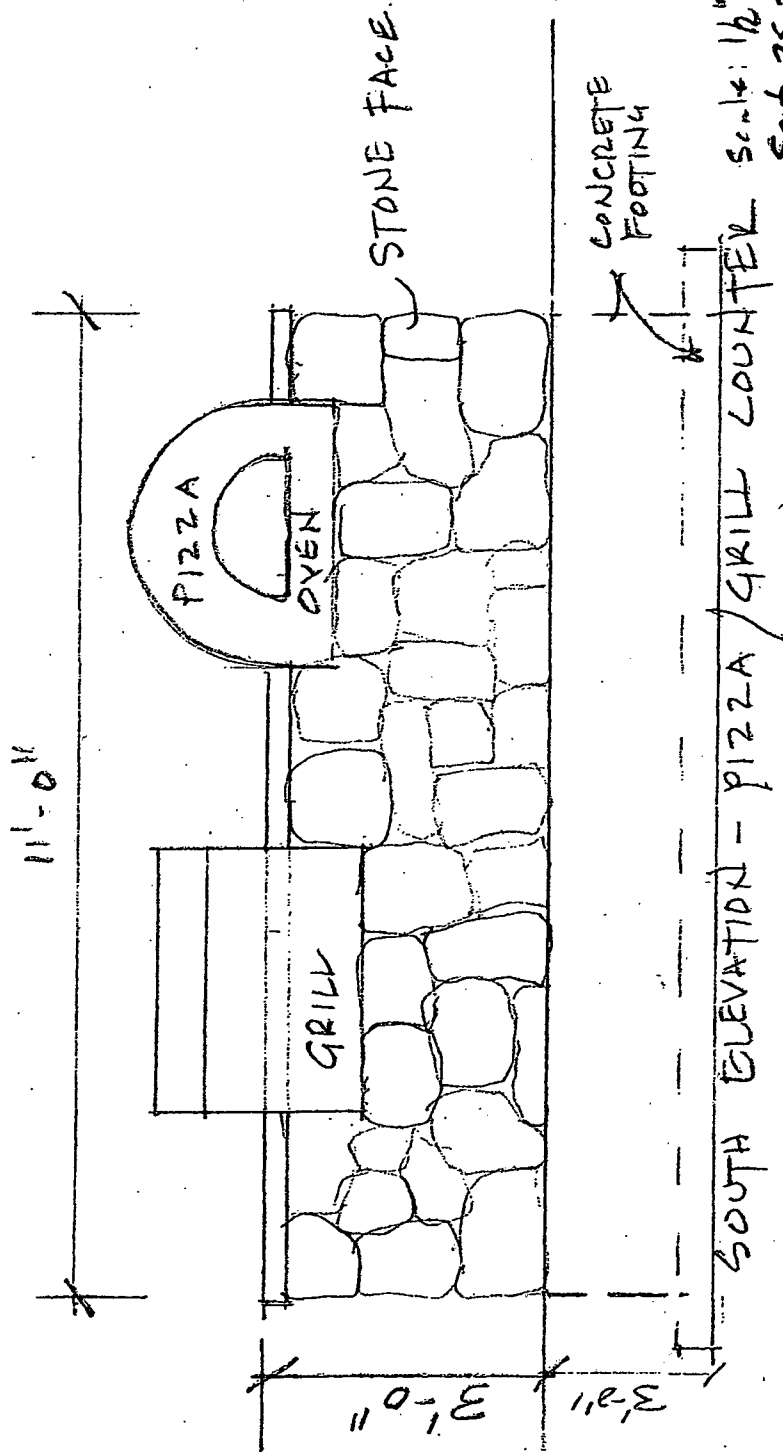
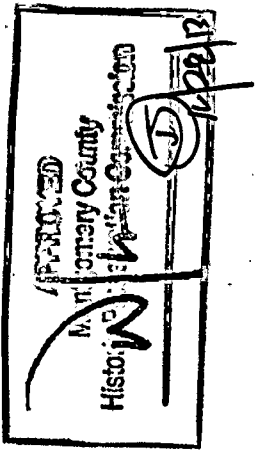
- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

9-25-13  
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 10/2/13  
 Application/Permit No.: \_\_\_\_\_ Date Issued: \_\_\_\_\_

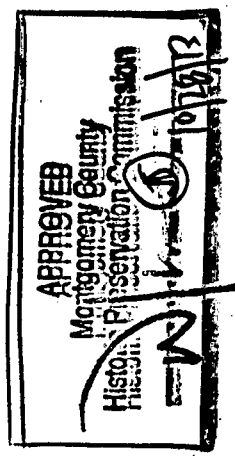


scale: 1/2" = 1'-0"  
Sept. 25, 2018

pkd (S)

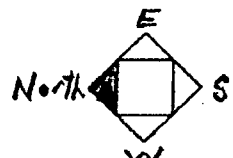
Site Plan

EXISTING HEDG  
CON. AVE

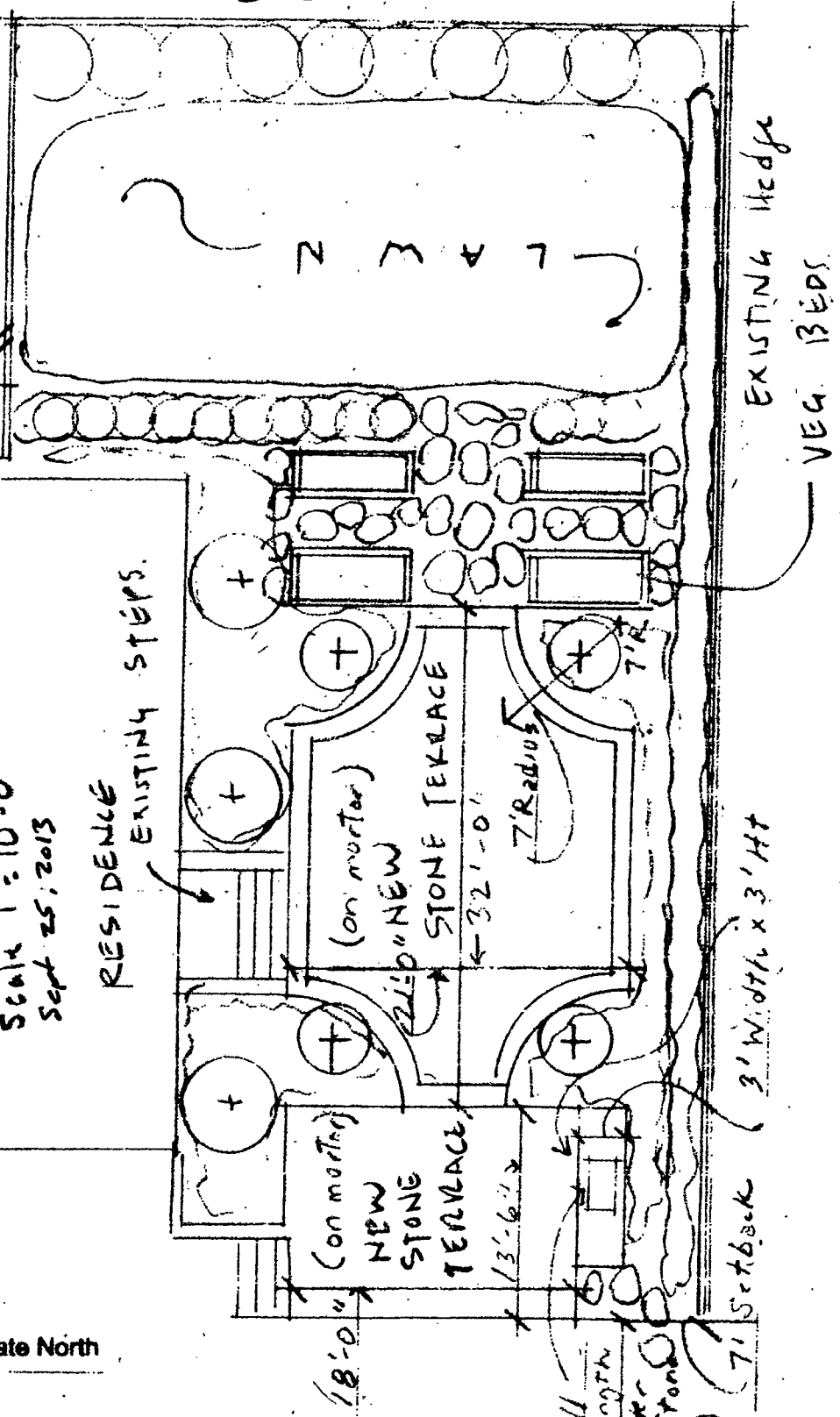


D'Angelo  
5810 Connecticut Avenue

North  
Scale 1" = 10'-0"  
Sept 25, 2013



Shade portion to indicate North



Applicant: Tracey & Dean D'Angelo

Grill  
11' Length  
(Counter  
with Stone  
Base)

3' Setback (3' Width x 3' Ht)

7

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5810 Connecticut Avenue, Chevy Chase	<b>Meeting Date:</b>	10/23/2013
<b>Resource:</b>	Outstanding Resource Chevy Chase Village Historic District	<b>Report Date:</b>	10/16/2013
<b>Applicant:</b>	Dean and Tracey D'Angelo (Scott Fritz, Agent)	<b>Public Notice:</b>	10/9/2013
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-13HH	<b>Staff:</b>	Josh Silver

**PROPOSAL:** Patio replacement

---

**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Chevy Chase Village Historic District  
**STYLE:** Mediterranean Revival  
**DATE:** 1916-1927

**PROPOSAL**

The applicants are proposing to remove and replace an existing brick terrace/patio area with stone on mortar in the south (left) side yard of the subject property. A 3' high, stone counter is also proposed for the purpose of creating an outside cooking area. The proposal also includes removal and replacement of brick with grass and a vegetable planting area in the section of yard forward of the proposed stone terrace area.

**APPLICABLE GUIDELINES**

***Montgomery County Code; Chapter 24A-8***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

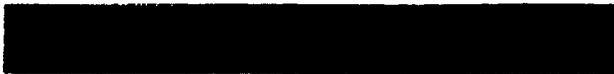
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
  - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

649802

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Email: Scott@britzgroup.com Contact Person: Scott Britz  
 Tax Account No.: District 07 account # 00455840 Daytime Phone No.: 202-439-3154  
 Name of Property Owner: Dean & Tracy D. Angelo Daytime Phone No.: 704-258-7742  
 Address: 5810 Connecticut Ave, Chevy Chase MD 20815  
 Street Number City State Zip Code  
 Contractor: Perez Landscaping Phone No.: 202-286-9666  
 Contractor Registration No.: 15570889  
 Agent for Owner: Scott Britz Daytime Phone No.: 202-439-3154

LOCATION OF BUILDING/PREMISE

House Number: 5810 Street: Connecticut Ave  
 Town/City: Chevy Chase Nearest Cross Street: West Irving St  
 Lot: 27 P9 Block: 27 Subdivision: 0069  
 Liber: 39552 Folio: 00180 Parcel: 0000

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Terrace

1B. Construction cost estimate: \$ 15,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: CON. DATE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Scott Britz  
Signature of owner or authorized agent

9-25-13  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

lovely renovated home on Connecticut  
Avenue. The house has been renovated.  
The garden is in need of renovation.  
There is a suburban setting

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

remove the existing Brick terrace  
then some wood on grade mixed  
in w/ the Brick terrace. The proposed  
stone terrace will be in keeping with  
the character of the house.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

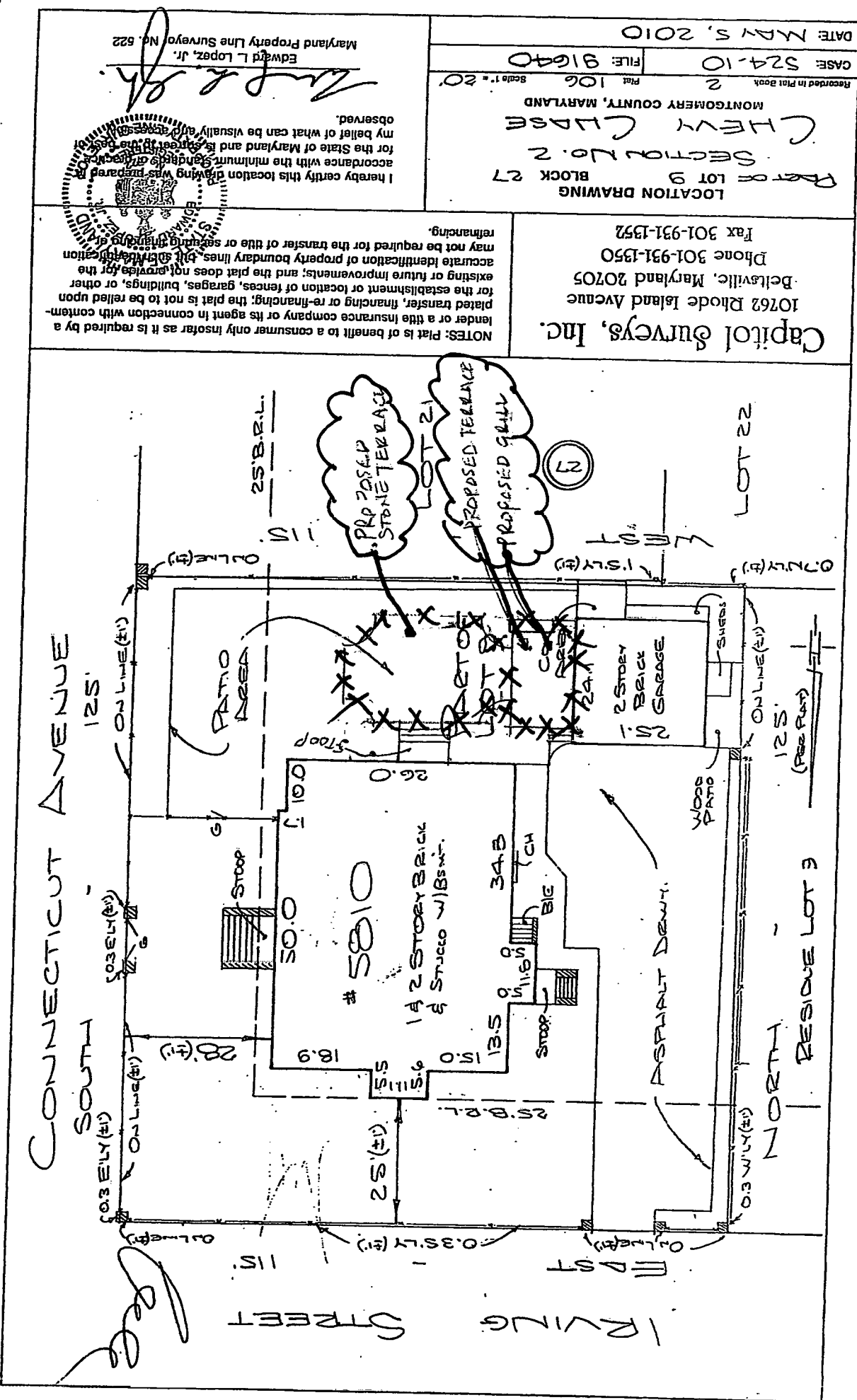
**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>                  Dean and Tracey D'Angelo                  5810 Connecticut Ave.                  Chevy Chase MD 20815</p>	<p><b>Owner's Agent's mailing address</b>                  Scott Fritz                  4436 Klinge St NW                  Washington DC 20016</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>Jay Angoff and Kerry                  Crist                  5808 Connecticut Ave.                  Chevy Chase MD 20815</p>	<p>Barbara Winnik                  5804 Connecticut Ave                  20815</p>
<p>Thomas Howard                  4 West Irving St                  Chevy Chase, MD 20815</p>	<p>Ann &amp; Thomas Toch                  1 West Irving St.                  Chevy Chase MD 20815</p>
<p>Temple and Ellic Grassi                  5900 Connecticut Ave                  Chevy Chase MD 20815</p>	



NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but only for the location of the plat. This plat is not to be used for the purpose of financing. Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but only for the location of the plat. This plat is not to be used for the purpose of financing.

Capitol Surveys, Inc.  
 10762 Rhode Island Avenue  
 Beltsville, Maryland 20705  
 Phone 301-931-1350  
 Fax 301-931-1352

LOCATION DRAWING  
 BLOCK 27  
 SECTION No. 2  
 CHEVY CLIPSE  
 MONTGOMERY COUNTY, MARYLAND  
 Recorded in Plat Book 2  
 Plat 106  
 Sec 1 = 20  
 CASE: S24.10  
 FILE: 91640  
 DATE: MAY 5, 2010

I hereby certify this location drawing was prepared in accordance with the minimum standards of the Surveying and Mapping Act for the State of Maryland and is correct to the best of my belief of what can be visually observed.  
 Edward L. Lopez, Jr.  
 Maryland Property Line Surveyor No. 622



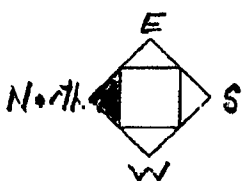
Site Plan

EXISTING HEDGE

CON. AVE

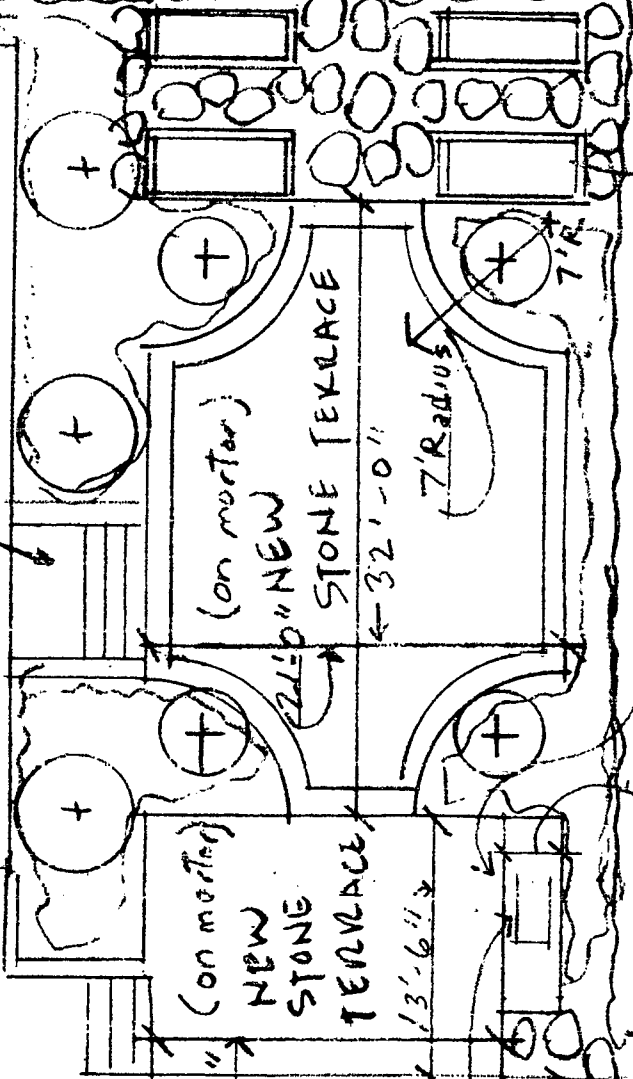
D'Angelo  
5810 Connecticut Avenue

↑ NORTH  
Scale 1" = 10'-0"  
Sept 25, 2013



Shade portion to indicate North

RESIDENCE  
EXISTING STEPS.



EXISTING HEDGE  
VEG. BEDS

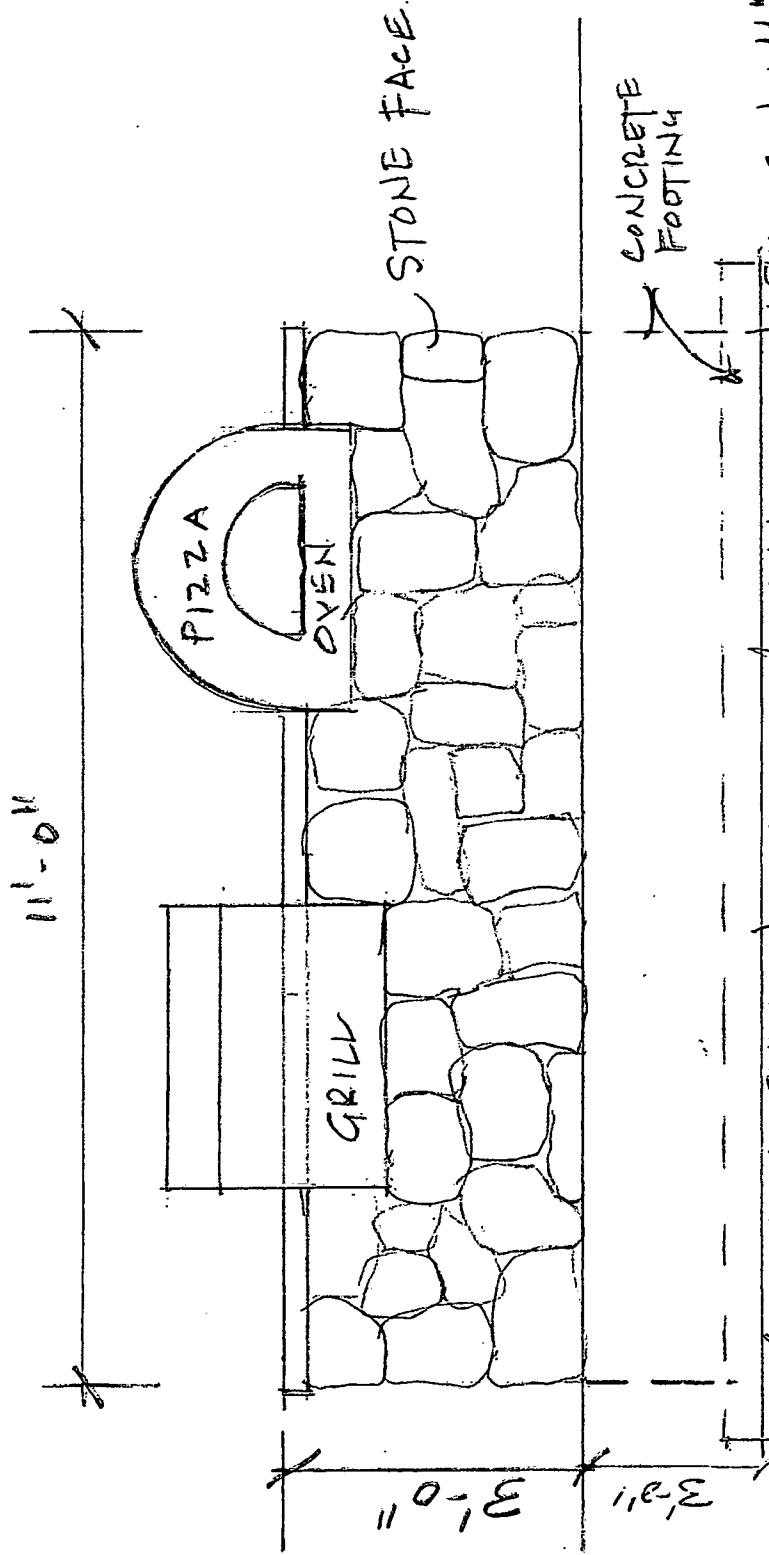
3' Width x 3' HT  
7' Setback

Grill  
11' Length  
(Center  
with Stone  
Base)

Applicant: Tracey & Dean D'Angelo

7

Page 4

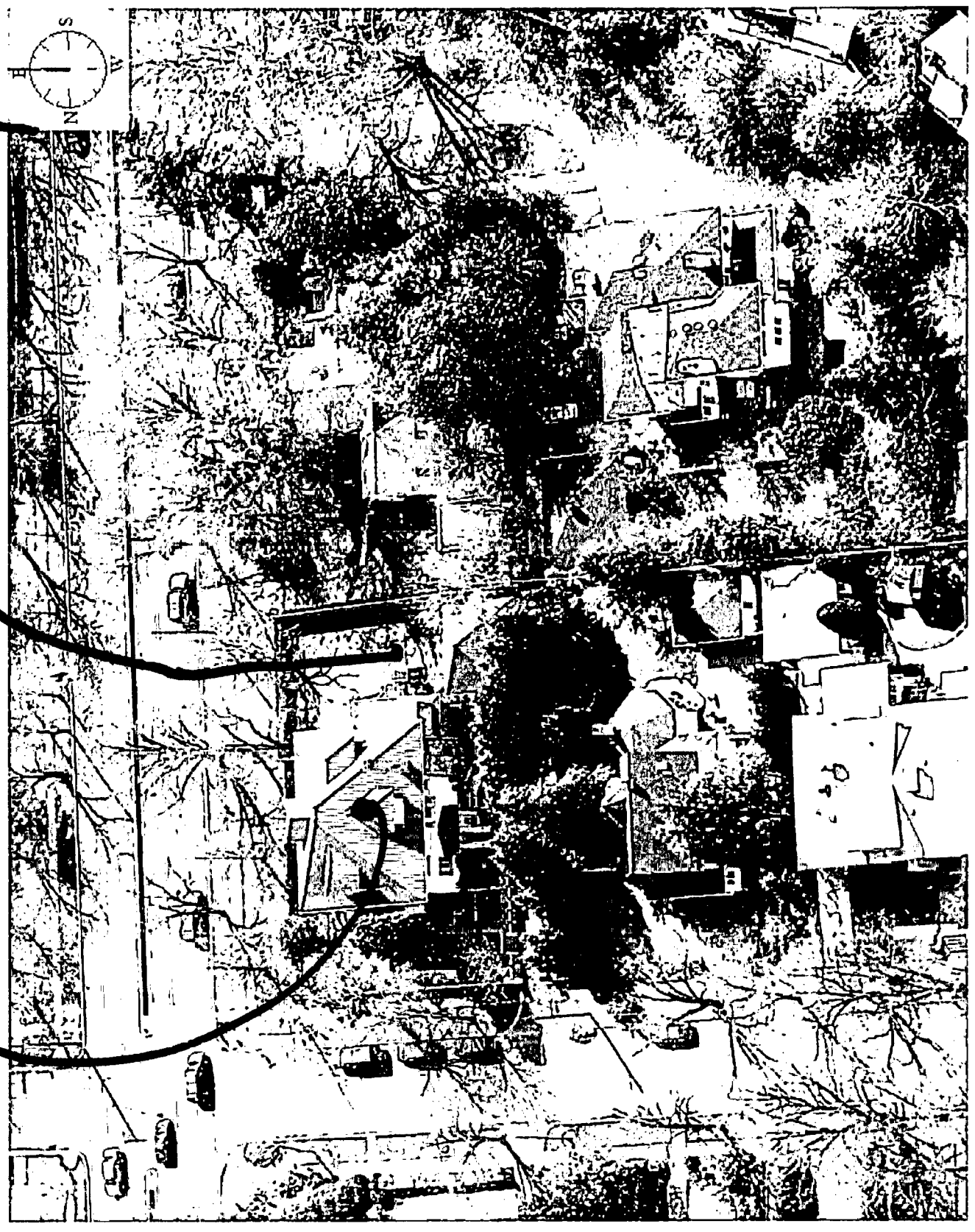


Scale: 1/2" = 1'-0"  
 Sept. 25, 2018

SOUTH ELEVATION - PIZZA / GRILL COUNTER

5810

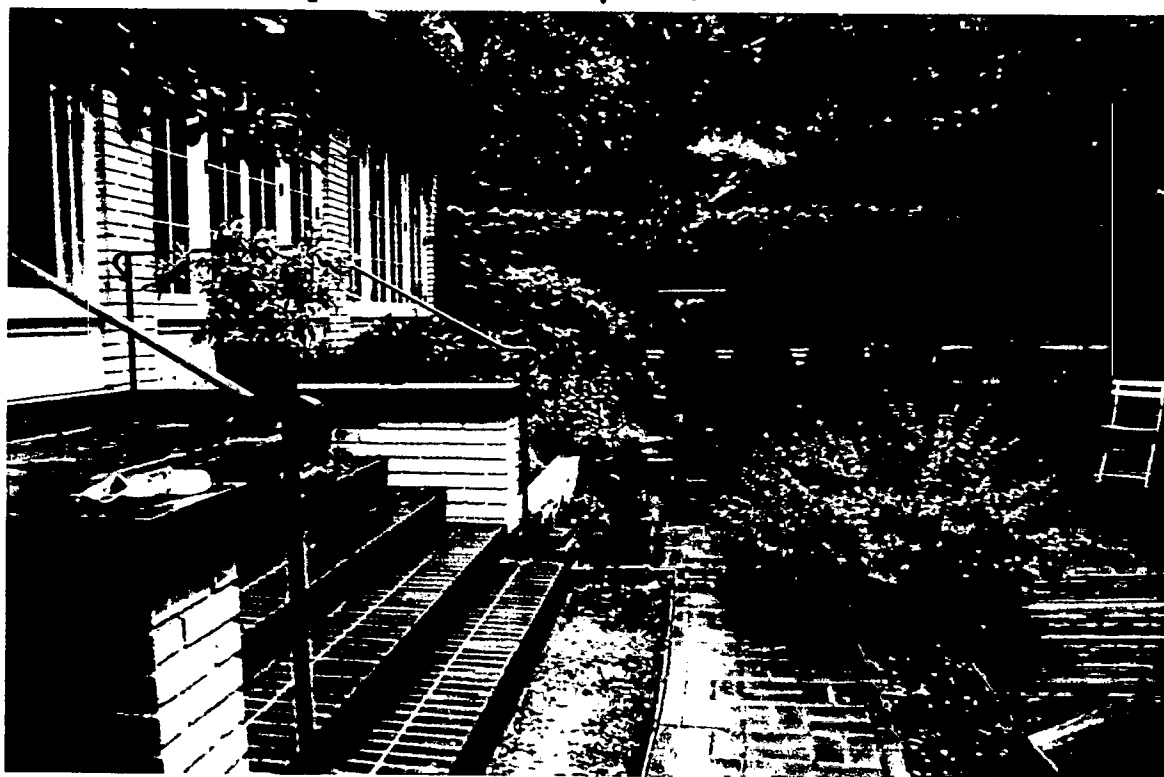
BRICK TERRACE/PATIO



Existing Property Condition Photographs (duplicate as needed)



Detail: Looking West at Garage - side terrace



Detail: Looking East - existing terrace, side terrace

Applicant: Dean & Tracey D'Angelo

Page:

0