

5 EAST MELROSE STREET, CHEM CHASE  
[HPC CASE # 35/13-13 KK]  
CHEM CHASE VILLAGE H.D.



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

William Kirwan  
Chairperson

Date: January 15, 2014

### MEMORANDUM

TO: Diane R. Schwartz Jones, Director  
Department of Permitting Services

FROM: Josh Silver, Senior Planner *(JS)*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #654911, construction of rear addition and other alterations

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the December 4, 2013 meeting.

- 1. The applicant's project must comply with the Chevy Chase Village side yard setback requirements. The applicant must obtain an approved variance from Chevy Chase Village prior to submitting the permit set of plans to HPC staff for final review. Denial of a variance from Chevy Chase Village may result in the applicant's resubmission of a revised Historic Area Work Permit application to the HPC for review and approval.*
- 2. The proposed east and west elevation walls of the addition must be inset 12" where they meet the historic massing. The gutter line and soffit of the addition be maintained to match the overhang of the existing roof. Consult HPC approved building permit set of plans for final roof and wall measurements and details.*
- 3. The applicant will submit a sample of the existing and proposed replacement siding to HPC staff for final review and approval prior to submitting the permit set of drawings.*
- 4. The building permit set of plans must show all window trim details and match those on the historic massing.*

Applicant: Patrick Conway

Address: 5 East Melrose Street, Chevy Chase





HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Patrick@Lock7Development.com Contact Person: Patrick CONWAY  
Daytime Phone No.: 202-249-8033

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Patrick CONWAY Daytime Phone No.: 301-706-5146

Address: 5 East Melrose St Cherry Chase, MD 20815  
Street Number City State Zip Code

Contractor: Will Pinto Phone No.: 240-464-4749

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Patrick CONWAY Daytime Phone No.: 202-249-8033

**LOCATION OF BUILDING/PREMISES**

House Number: 5 Street: East Melrose St

Town/City: Cherry Chase Nearest Cross Street: CONNECTICUT AVE

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION/ADDITUM**

- 1A. CHECK ALL APPLICABLE:
- |   |  |  |  |                                    |   |   |  |                               |
|---|--|--|--|------------------------------------|---|---|--|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Stab      | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch                    | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Raze                | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input checked="" type="checkbox"/> Single Family |  |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair            | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____             |   |  |                               |

1B. Construction cost estimate: \$ 500,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSIVE ADDITIONS**

2A. Type of sewage disposal: 01  S/WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  S/WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line     Entirely on land of owner     On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Patrick M Conway 11/13/13  
Signature of owner or authorized agent Date

Approved: [Signature] for Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 1/15/14

Application/Permit No.: 054911 Date Filed: 11/13/13 Date Issued: \_\_\_\_\_

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5 East Melrose Street, Chevy Chase	<b>Meeting Date:</b>	12/4/13
<b>Resource:</b>	<b>Contributing Resource</b> Chevy Chase Village Historic District	<b>Report Date:</b>	11/27/13
<b>Applicant:</b>	Patrick Conway	<b>Public Notice:</b>	11/20/13
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-13KK	<b>Staff:</b>	Josh Silver

**PROPOSAL:** Construction of rear addition and other alterations

**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve with conditions** this HAWP application:

1. *The applicant's project must comply with the Chevy Chase Village side yard setback requirements. The applicant must obtain an approved variance from Chevy Chase Village prior to submitting the permit set of plans to HPC staff for final review. Denial of a variance from Chevy Chase Village may result in the applicant's resubmission of a revised Historic Area Work Permit application to the HPC for review and approval.*

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival/Four Square  
**DATE:** 1898

**PROPOSAL**

The applicant is proposing to construct a two story, approximately 485 square foot addition over a full basement at the rear of the historic massing. The details and materials for the addition include:

- A hipped roof form. The proposed addition roof is a continuation of the hipped roof of the historic massing. The proposed roof engages the existing roof at the ridge line and terminates with a hip at the rear. A single dormer is proposed in the rear hip.
- A 12" inset at the both sides of the historic massing
- Concrete foundation wall
- Wooden cedar shake siding
- Asphalt shingle roofing
- Aluminum gutters
- Wooden (interior/exterior), 6/1, simulated-divided light and casement windows and doors.

The applicant is also proposing to remove and replace an existing window on the east (right) elevation, 1<sup>st</sup> floor, of the historic massing with a single-hung, full light, wooden door. This change is requested to improve vertical circulation on the interior of the house.

A deck fabricated from a paintable composite material is proposed at the rear of the new addition along with the installation of a brick patio.

### **APPLICABLE GUIDELINES**

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

#### ***Chevy Chase Village Historic District Master Plan***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

**Doors** should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

**Exterior trim** (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.

**Gutters** are not currently subject to review and should not be reviewed.

**Lot coverage** should be subject to strict scrutiny, in view of critical importance of preserving the Village's open park-like character.

**Major additions** should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.

**Roofing materials** should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources. However, the application should be reviewed with consideration given to economic hardship. Furthermore, as technology continues to change and improve, other building materials may become available to provide an appropriate substitute for replacement in-kind, and the reviewing agency should be open to considerations of these alternative solutions.

**Windows** (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

### **Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
  
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Staff recommends approval of the HAWP application as submitted with the condition specified on page 1 of the staff report.

The addition as proposed does not conform with Chevy Chase Village's side yard setback requirements. The gutter and soffit on the east (right) elevation encroaches into the side yard setback. The applicant has submitted a variance request to the Village Board. The applicant's request is scheduled for Board's consideration at their December 9, 2013 meeting. The Village Manger has reviewed the plans and indicated the applicant's request is very much in keeping with previously granted Board decisions and no major concerns in the hearing of the case are anticipated. (See page 29 of the staff packet).

Staff finds that consistent with Chevy Chase Village Historic District Guidelines, the proposed work as being consistent with the *Guidelines*, identified above.

The proposed material treatments and design details are appropriate for construction of a rear yard addition to a Contributing Resource property.

Although the removal and replacement of historic materials such as windows and doors and alteration of an original window opening is generally discouraged, staff finds the applicant's proposal to remove and replace the existing east (right) elevation window with a door and associated enlargement of the opening, as being consistent with *Guidelines*.

The *Guidelines*, state: "*Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.*" The existing window location is visible from the public right-of-way. The *Guidelines*, state: "**Windows** (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not." The *Guidelines*, define "**Moderate Scrutiny**" as:

"Involving a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style."

Applying the "Moderate Scrutiny" principle staff finds the following: the subject window location is on a secondary elevation, and just above the foundation level, and within close proximity to the adjacent property. These factors reduce visibility of the window from the public right-of-way, and therefore replacing the window with a door would have negligible impact.

The proposed wooden replacement door style and material is compatible with the structure's existing design. The removal of this non-character defining feature and installation of a new door, will result in negligible impact to the structure's architectural integrity, and therefore should be approved as submitted.

The applicant has demonstrated with photographic evidence the presence of side yard doors throughout the historic district. (See page 25 of the staff report).

### STAFF RECOMMENDATION

Staff recommends that the Commission **approve with condition specified on page 1** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the Chevy Chase Village Historic District Guidelines identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [joshua.silver@mncppc-mc.org](mailto:joshua.silver@mncppc-mc.org) to schedule a follow-up site visit.





DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Patrick@Clock7Development.com Contact Person: Patrick Conway  
Daytime Phone No.: 202-249-8033

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Patrick Conway Daytime Phone No.: 301-706-5146  
Address: 5 East Melrose St Cherry Chase, MD 20815  
Street Number City State Zip Code  
Contractor: Will Pinto Phone No.: 240-464-4749

Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Patrick Conway Daytime Phone No.: 202-249-8033

**LOCATION OF BUILDING/PREMISE**

House Number: 5 Street: East Melrose St  
Town/City: Cherry Chase Nearest Cross Street: CONNECTICUT AVE  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Stab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 500,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSIONS/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Patrick M. Conway 11/13/13  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 054911 Date Filed: 11/13/13 Date Issued: \_\_\_\_\_

6

Josh Silver  
Senior Planner  
Montgomery County Planning Department  
8787 Georgia Avenue  
Suite 204  
Silver Spring, MD. 20910  
Re: Conway Residence  
5 East Melrose Street  
Chevy Chase, MD. 20815

Project Description:

The proposed project at the above mentioned address will involve the renovation and addition to an existing two and a half story wood framed single family home. The existing house has a painted wood shingle exterior. We are proposing to replace this with new hand split cedar shake siding with a semi-gloss stain finish. The entire exterior trim of the house will be painted per the directions of the attached drawings. The exterior of the existing garage will receive the same treatment as the existing house. The addition will be 17'-0" deep and will be inset from the existing building by 1'-0" on either side. The addition will include a Cellar, First Floor, Second Floor, and an Attic. The new rear entry will have a small deck and stair leading to the driveway and patio. All exterior windows and doors will be wood. We are proposing to replace one existing window on the East façade of the house with a new wood door. This change will drastically improve the vertical circulation of the house. Please see the attached drawings for a more detailed description of the project

Sincerely,

Kevin Donohoe, AIA  
Square 134 Architects  
1410 Q Street, NW., Washington, DC. 20009  
202) 328-0134

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 3204 Stephenson Place NW Washington, DC 20015	Owner's Agent's mailing address ← same
---	---

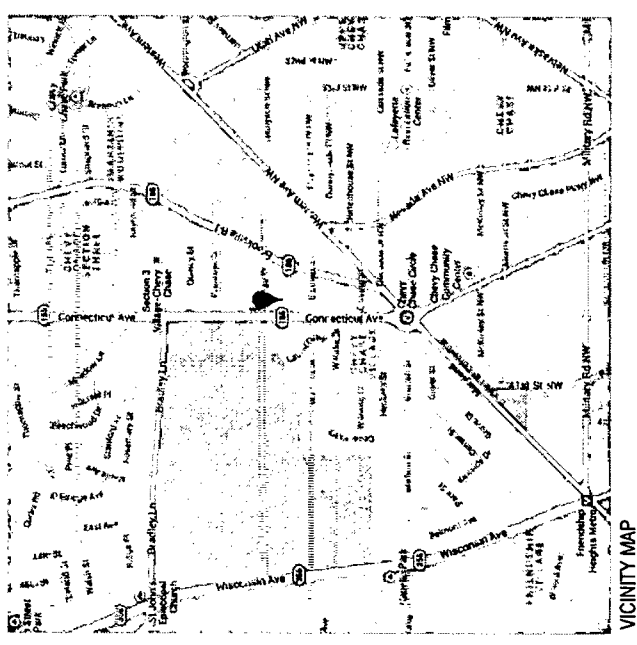
**Adjacent and confronting Property Owners mailing addresses**

<del>1 East</del> Mr. & Mrs. Norman Asher 1 East Melrose St Chevy Chase, MD 20815	Mr & Mrs Joseph Coffey 7 East Melrose St Chevy Chase, MD 20815
---	--

Mr. & Mrs. Tim Overcash 2 East Melrose St Chevy Chase, MD 20815	Mr & Mrs. William Scott 6 East Melrose St. Chevy Chase, MD 20815
---	--

(Empty)	(Empty)
---------	---------

ALTERATION, REPAIR, AND ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE  
**5 EAST MELROSE STREET**  
 CHEVY CHASE, MD. 20815



VICINITY MAP

**BUILDING DATA**

PROJECT ADDRESS: 5 East Melrose Street  
 Chevy Chase, MD. 20815

**SCOPE OF WORK:**

This project involves the alteration, repair, and addition to an existing single family residence plus other wood framed single family residence.

**APPLICABLE BUILDING CODES:**

This project conforms to all applicable building codes as well as regulations for Montgomery County and the Village of Chevy Chase.

Building: International Residential Code - 2012

Electrical: NFPA National Electrical Code - 2009

Energy: International Energy Conservation Code - 2012

Amendments: Montgomery County Executive Regulation no. 9-12

Zoning: Montgomery County Zoning Ordinance - Chapter 59

**PROJECT TEAM:**

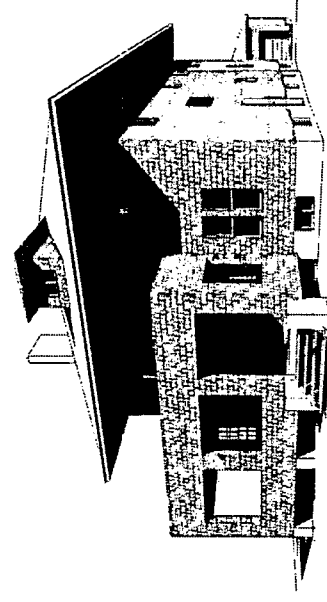
OWNER: Patrick Conway  
 5 East Melrose Street  
 Chevy Chase, MD. 20815  
 P - 202-249-0033  
 CONTACT - Patrick Conway

ARCHITECT: Squira 134 Architects  
 1410 Q Street, NW  
 Chevy Chase, MD. 20815  
 P - 202-324-0134  
 CONTACT - Ronald Schneek, Jr. AIA

STRUCTURAL ENGINEER: PKC & Associates, LLC  
 515 M St., SE, Suite 106  
 Washington, DC 20003  
 P - 202-653-0911  
 CONTACT - Fadi Abdelrahman, PE

MEP ENGINEER: PKC & Associates, LLC  
 515 M St., SE, Suite 106  
 Washington, DC 20003  
 P - 443-393-4838  
 CONTACT - Karim Khairi, PE

GENERAL CONTRACTOR: COMPANY NAME  
 ADDRESS, RW  
 CITY, STATE, ZIP  
 PHONE #  
 CONTACT



COVER SHEET

CONWAY RESIDENCE  
 5 East Melrose Street  
 Chevy Chase, MD, 20815

Square 134 Architects  
 1100 28th Street, NW, Suite 200  
 Washington, DC 20007  
 P 202-328-0134 F 202-328-1415

A0.00



**CODE ANALYSIS**

**BUILDING DATA**

PROJECT: 5 East Nehosa Street  
 ADDRESS: Chevy Chase, MD, 20815

**SCOPE OF WORK:**

This project involves the alteration, repair, and replacement of the exterior walls of a two-story plus cedar wood framed single family residence.

**APPLICABLE BUILDING CODES:**

This project conforms to all applicable building codes and zoning regulations for Montgomery County and the Village of Chevy Chase.

Building: International Residential Code - 2012

Electric: NFPA National Electrical Code - 2009

Energy: International Energy Conservation Code - 2012

Amendments: Montgomery County Executive Regulation No. 6-12

Zoning: Montgomery County Zoning Ordinance - Chapter 59

**PROPOSED BUILDING HEIGHT:**

Two and a half stories plus a cedar

**FIRE-RESISTANT CONSTRUCTION TABLE 602.2**

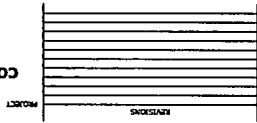
EXTERIOR WALL ELEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
WALLS	0 HOURS	> 8 FEET
PROJECTIONS	0 HOURS	5 FEET
OPENINGS IN WALLS	0 HOURS	5 FEET
PENETRATIONS	NONE REQUIRED	5 FEET

**Compliance with 2012 International Energy Conservation Code:**

Climate Zone 4a	U-Factor	R-Value
Fenestration (U-Factor)	0.45	
Skylight (U-Factor)	0.75	
Glazed Fenestration SHGC (U-Factor)	0.40	
Ceiling (R-Value)		38
Frame Walls (R-Value)		13
Mass Wall (R-Value)		5/10
Floor (R-Value)		19
Basement Wall (R-Value)		10/13
Slab (R-Value and Depth)		10, 3FT
Crew Space Wall (U-Factor and R-Value)	0.065	10/13

Square 134 Architects  
 1400 B Street, NW, Washington, DC 20004  
 P: 202.339.0134 F: 202.331.2415

CONWAY RESIDENCE  
 5 East Nehosa Street  
 Chevy Chase, MD, 20815



DRAWING TITLE  
**ZONING AND CODE ANALYSIS**

PROJECT NO.: 13025  
 DRAWN BY:  
 SCALE: 3/8" = 1'-0"  
 DATE: 11/12/2013  
 DWG. NO.

**A0.02**

**ZONING ANALYSIS**

LOT - 5 / BLOCK - 47 / SECTION - 2 / CHEVY CHASE / R-40 - ZONING

REGULATION	EXISTING	PROPOSED	LOT COVERAGE - EXISTING	LOT COVERAGE - PROPOSED
MINIMUM LOT AREA:	6,000 SF	7,500 SF	GARAGE - 335 SF LESS - 240 SF	GARAGE - 335 SF LESS - 240 SF
MINIMUM LOT WIDTH:	60 FT	60 FT	HOUSE - 1,302 SF	HOUSE - 1,302 SF
- AT FRONT OF BUILDING	66 FT	60 FT	TOTAL - 1,397 SF	TOTAL - 1,397 SF
- AT STREET	25 FT	25 FT	TOTAL LOT - 7,500 SF	TOTAL LOT - 7,500 SF
MINIMUM SETBACK FROM STREET:				
(INTERIOR LOT)				
SIDEYARD SETBACK (MAIN BUILDING):	8 FT	7'-8"	19%	19%
- MINIMUM SIDEYARD				
- AT EXISTING BUILDING	18 FT	20'-6 1/2"		
- AT ADDITION				
- AT EXISTING BUILDING				
- AT ADDITION				
SIDEYARD SETBACK (VILLAGE OF CHEVY CHASE)	20 FT	52'-10"		
- MINIMUM REARYARD				
- AT EXISTING BUILDING	7'-0"	7'-8"		
- AT ADDITION				
SIDEYARD SETBACK (COVERANTS)	5'-0"	3'-4"		
- MINIMUM SIDEYARD SETBACK				
- AT EXISTING BUILDING (NO GUTTER)	3'-2"	3'-2"		
- AT ADDITION (NO GUTTER)				
- AT EXISTING BUILDING				
- AT ADDITION (WITH GUTTER)				
MAXIMUM BUILDING HEIGHT:	30-35 FT	32'-9 1/2"		
(MAIN BUILDING)				
MAXIMUM BUILDING COVERAGE:	35%	19%		
PARKING:	2 OFF-STREET SPACES PER DWELLING UNIT	2		

1 2 3 4 5

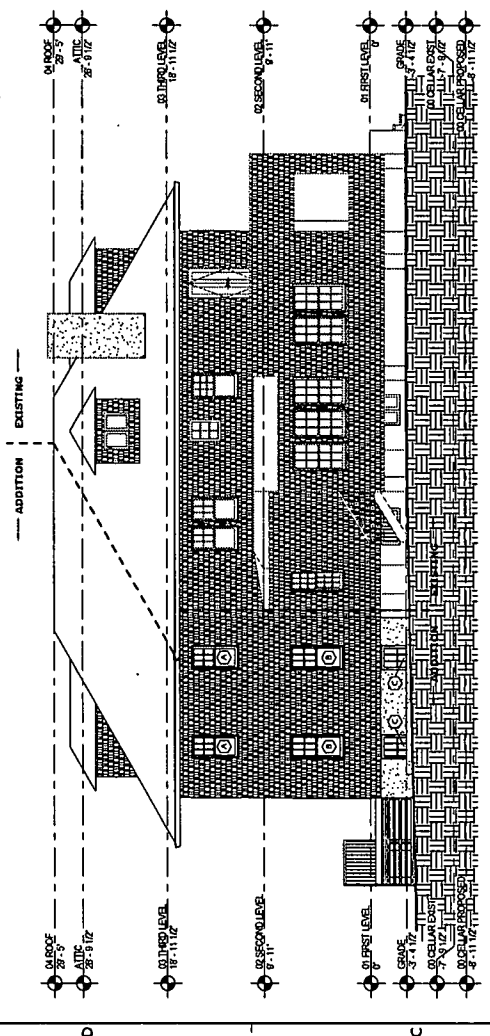
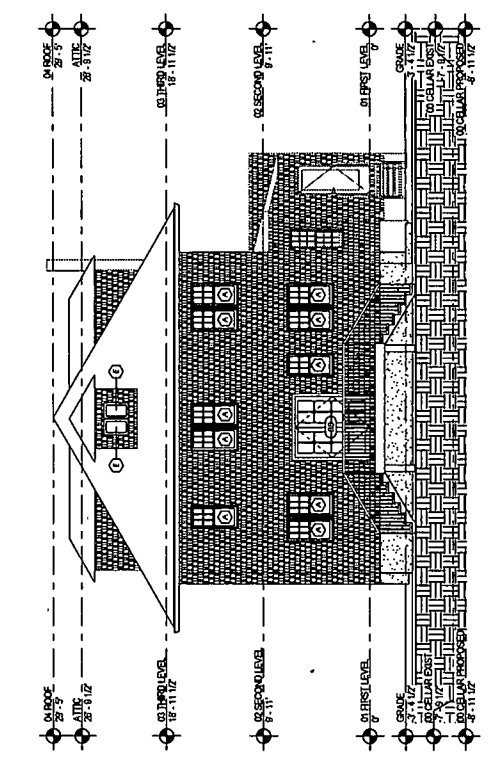


REVISIONS


DOOR AND WINDOW  
 SCHEDULE

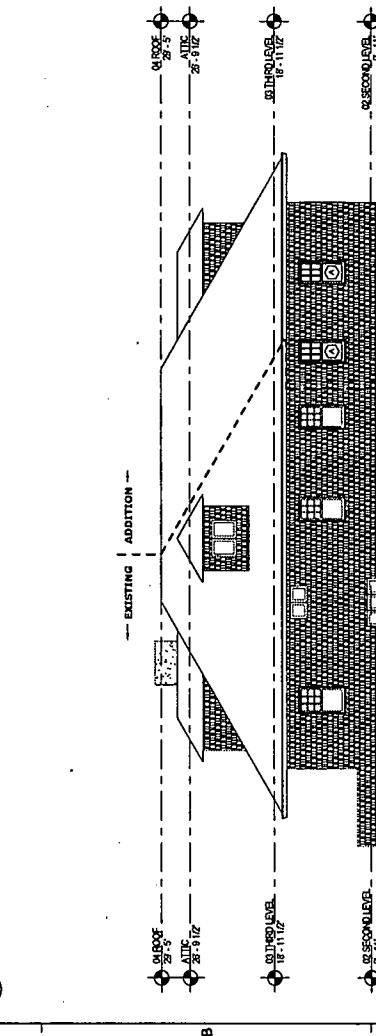
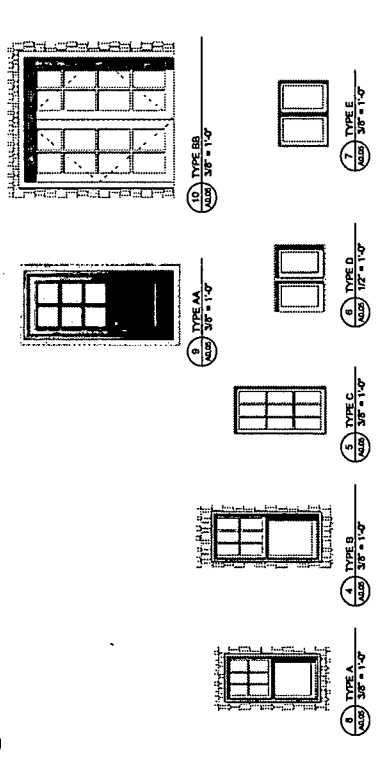
PROJECT NO. 134-13  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 11/12/2013  
 SCALE: As Indicated

A0.05



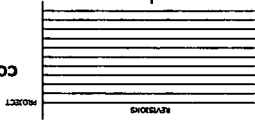
2 WEST ELEVATION - WINDOWS  
 3/8" = 1'-0"

1 EAST ELEVATION - WINDOWS  
 3/8" = 1'-0"

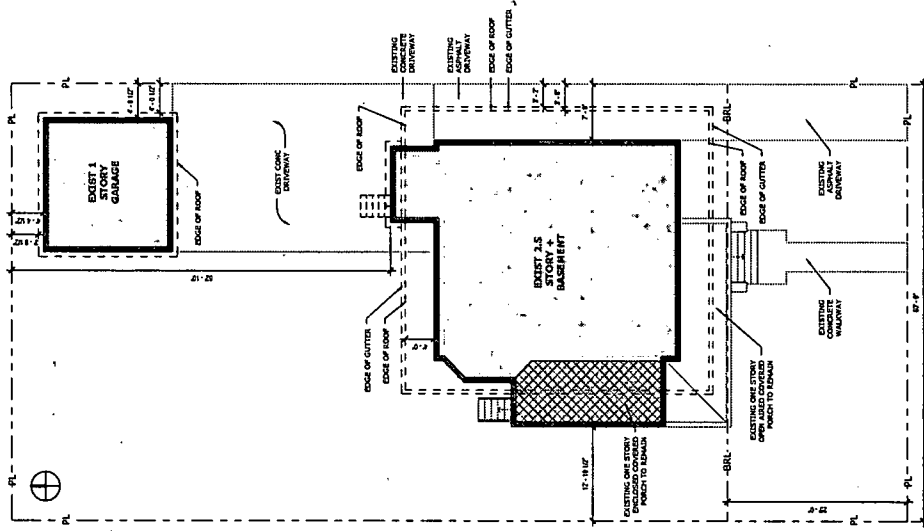


Door Schedule		Window Schedule	
Door Number	Manufacturer	Window Number	Manufacturer
1	PAULA	1	PAULA
2	PAULA	2	PAULA
3	PAULA	3	PAULA
4	PAULA	4	PAULA

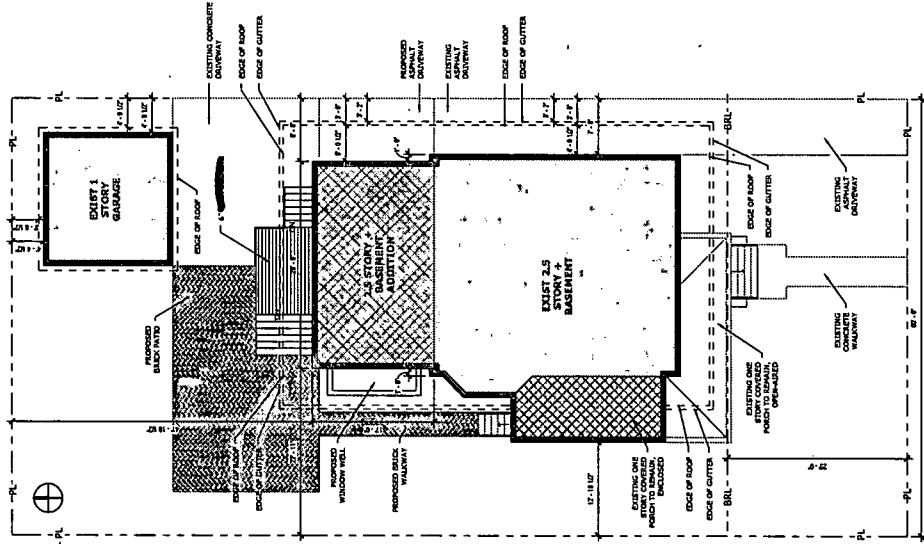
Type	Count	Height	Width	Set Height	Manufacturer	Finish	Type	Color	Paint
A	16	6'-8"	1'-2"	2'-5"	PAULA Architectural Series 150	Primal Wood	Double Hung	White	Benjamin Moore, White Dove
B	8	6'-1"	1'-3"	2'-5"	PAULA Architectural Series 150	Primal Wood	Double Hung	White	Benjamin Moore, White Dove
C	2	6'-3"	2'-1 1/2"	11'-11 1/2"	PAULA Architectural Series 150	Primal Wood	Casement	White	Benjamin Moore, White Dove
D	4	1'-8"	1'-3"	2'-5"	PAULA Architectural Series 150	Primal Wood	Casement	White	Benjamin Moore, White Dove
E	2	7'-4"	1'-8"	2'-5"	PAULA Architectural Series 150	Primal Wood	Casement	White	Benjamin Moore, White Dove



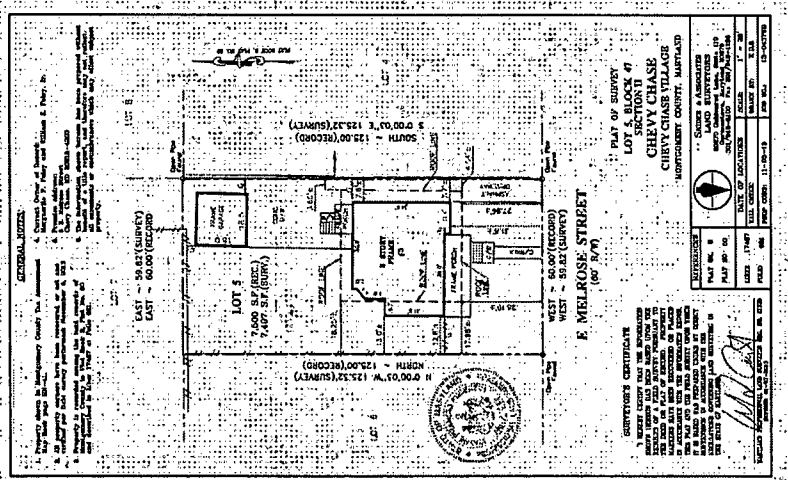
PROJECT NO.	23025
DRAWN BY:	
SCALE	As Indicated
DATE	11/12/2013
DWG. NO.	



1. SITE PLAN - EXISTING  
 1/8" = 1'-0"



2. SITE PLAN - PROPOSED  
 1/8" = 1'-0"

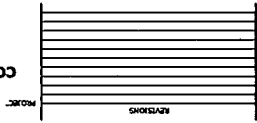


3. SURVEY  
 1" = 20'-0"

13



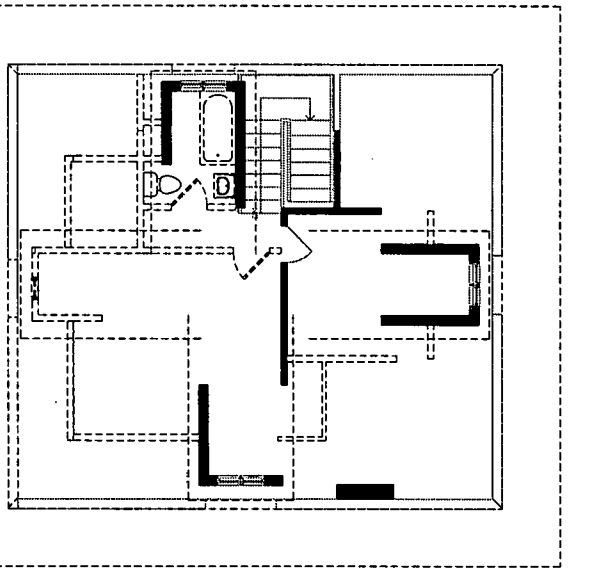
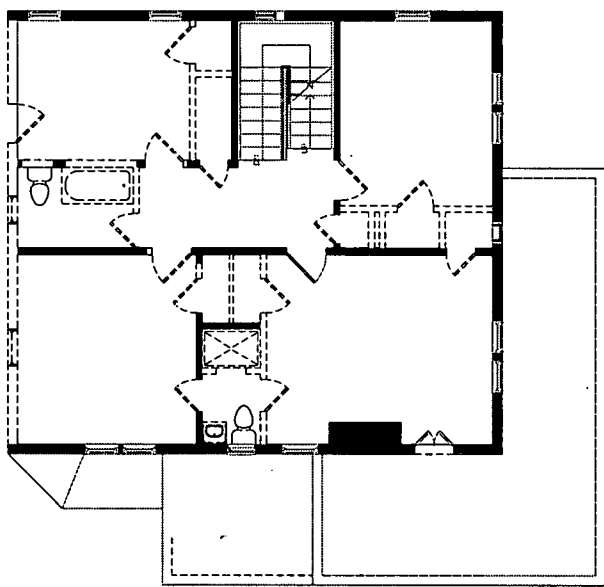
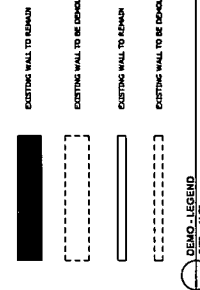




PROJECT NO.: 13425  
DRAWN BY:  
SCALE: As Indicated  
DATE: 11/12/2013  
DWG. NO.

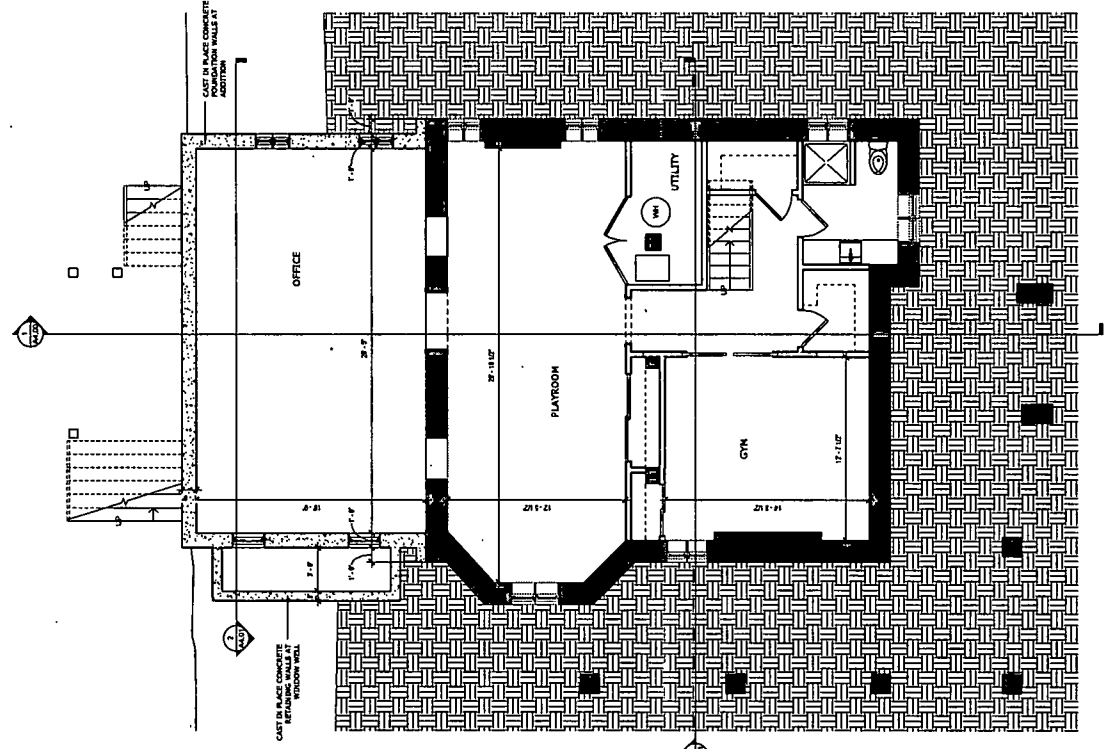
GENERAL NOTES, DEMOLITION AND REPAIR:

- 1. REMOVE ALL NON-LOADING WALLS AND PARTIES, PARTITIONS, PARTIAL, TUBING, PARTITIONS, AND ELECTRICAL.
- 2. REMOVE ALL WINDOWS AND DOORS FOR REPAIRS.
- 3. REMOVE ALL EXISTING PARTS, ALL EXISTING AND EXTERIOR SLAB WORK.
- 4. ALL EXTERIOR WORK WILL NOT COMPROMISE THE INTEGRITY OF ANY REMAINING STRUCTURE.
- 5. REMOVE EXISTING ROOF & FINISHES FOR LADITION OF ROOF WORK.
- 6. ROOF CORNER BRACKETS/BRACKETS SHALL NOT BE REMOVED, ONLY THE CORNER OR PORTION CONTAINING BRACKETS SHALL BE REMOVED AND RECONSTRUCTED TO LEAVE EXISTING FROM 3" TO 4" DAVIS PLACE UP.
- 7. NO EXCAVATION SHALL BE PERFORMED WITHOUT APPROVAL OF THE SOIL EROSION CONTROL OFFICIALS.
- 8. NO STRUCTURAL LOAD-BEARING ITEMS SHALL BE REMOVED. ALL REMOVALS SHALL BE PERFORMED IN A MANNER WHICH WILL FOLLOW THE SEQUENCE OF CONSTRUCTION AND SHALL MAINTAIN THE STABILITY OF THE REMAINING STRUCTURE. THE REMOVAL OF ANY INTERIOR LOAD-BEARING WALLS, PARTITIONS, OR CEILING SHALL BE ACCOMPANIED BY THE INSTALLATION OF PROVISIONAL BRACING.
- 9. SEE SOIL EROSION CONTROL PLANS AND NOTES FOR DUST CONTROL AND EXCAVATION PRE-CAUTIONS.
- 10. ALL EXCAVATION SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AND SHALL BE PROTECTED FROM WEATHER.
- 11. ALL DEMOLITION TO EXISTING FLOOR STRUCTURES TO BE MADE BY FLOOR WITH INDEPENDENT CALCULATION SHALL BE MADE BY A REGISTERED PROFESSIONAL ENGINEER. THE DEMOLITION OF THE ROOF SHALL BE MADE BY A REGISTERED PROFESSIONAL ENGINEER AND SHALL BE MADE AS SHOWN AS REQUIRED.

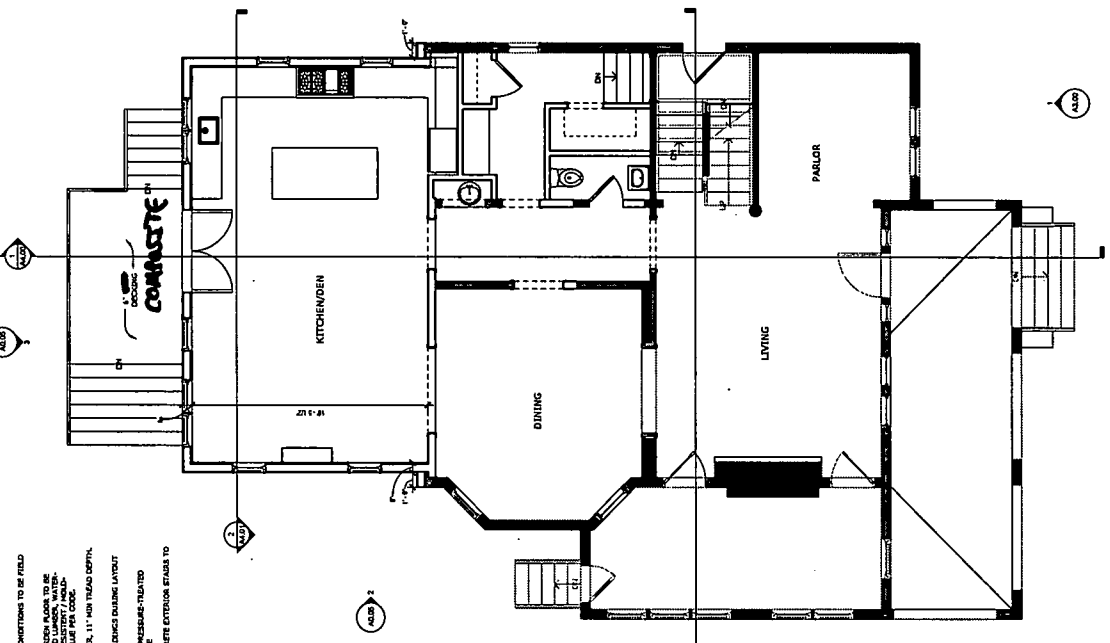


1. 02 SECOND LEVEL - DEMO  
3/8" = 1'-0"

2. 03 THIRD LEVEL - DEMO  
3/8" = 1'-0"



1. CELLAR  
1/8" = 1'-0"



2. FIRST LEVEL  
1/8" = 1'-0"

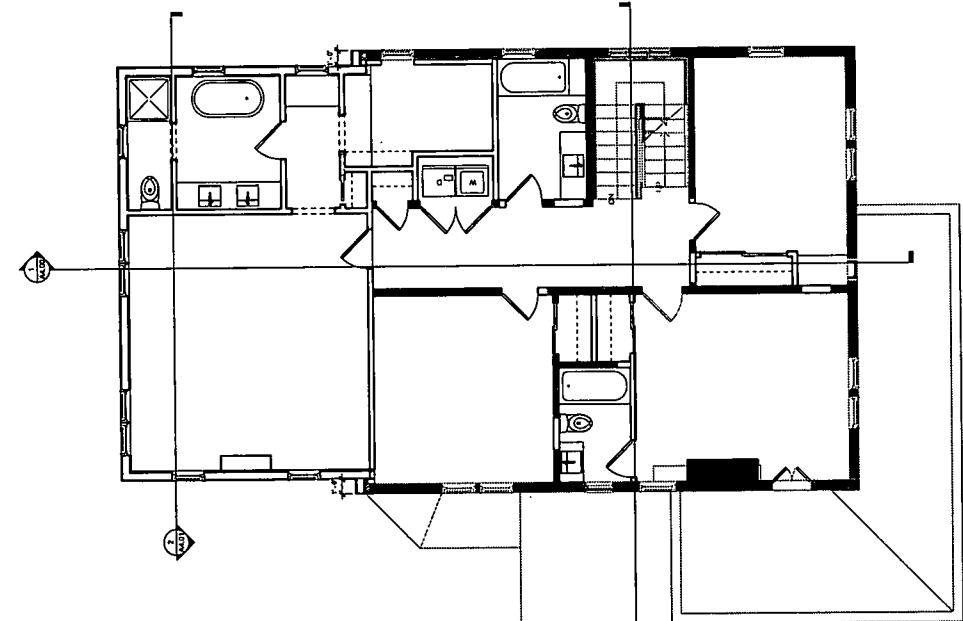
- GENERAL NOTES - PROPOSED WORK:
1. DIMENSIONS RELATIVE TO EXISTING CONDITIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION.
  2. INTERIOR OF PERIMETER WALLS AT GARDEN PLAZA TO BE RECONSTRUCTED WITH 12" CMU, 12" MIN. INSULATION, AND WATER-RESISTANT BARRIER. EXTERIOR TO BE RECONSTRUCTED TO ACHIEVE R-VALUE PER CODE.
  3. ALL WOOD FRAMES TO CODE: 7" MAX. EMBED, 11" HIGH TREAD DEPTH.
  4. CORNER ALL STAIR CLEARANCES & LANDINGS DURING LAYOUT PER TO STAIR OF FINISH.
  5. EXTERIOR DECKS TO BE SPAN-SUPPORTED, RECESSED-TREATED WOOD, 1 1/2" MIN. GROUNDING TO CODE.
  6. FINISH FLOORING TO BE DETERMINED BY OWNER.

FLOOR PLANS - SECOND AND THIRD LEVEL

CONWAY RESIDENCE  
5 EAST MATHIAS STREET  
CHRY CHASE, MD, 20815

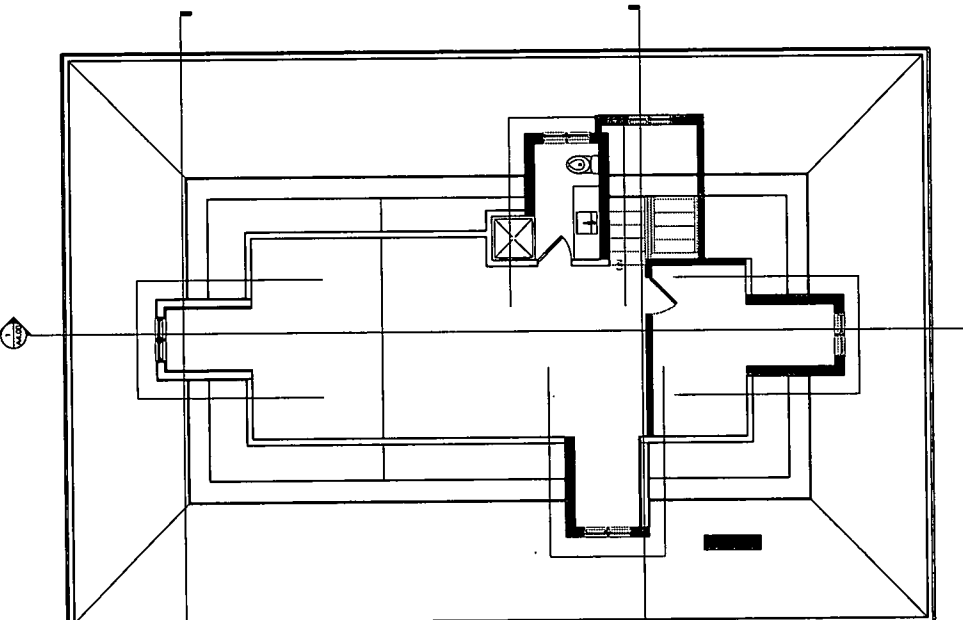
Project: Square 134 Architects  
1410 D BROADWAY, WASHINGTON, DC 20004  
P: 202.778.8124 F: 202.778.8115

PROJECT NO.: 130725  
DRAWN BY:  
SCALE: As Indicated  
DATE: 11/12/2013  
DWG. NO.:



1 SECOND LEVEL  
1/8" = 1'-0"

- GENERAL NOTES - PROPOSED WORK:
1. REFER TO ALL OTHER CONDITIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION.
  2. INTERIOR OF PERIMETER WALLS AT GARDEN FLOOR TO BE CONCRETE WITH 2" POLYSTYRENE INSULATION AND 1/2" RESISTANT INSULATION TO ACHIEVE R-VALUE PER CODE.
  3. ALL NEW STAIRS TO CODE: 7" MAX RISE, 11" MIN TRUED DEPTH.
  4. CONCRETE ALL OTHER CLEARANCES & LANDINGS OVERLAY LAYOUT PRIOR TO START OF FINISHING.
  5. EXTERIOR DECKS TO BE SPRINKLERED, PRESSURE-TREATED WOOD 2x12" MIN. COMBINE TO CODE.
  6. CONCRETE PATIO CONCRETE SLAB W/ CONCRETE EXTERIOR STAIRS TO CODE.



2 THIRD LEVEL  
1/8" = 1'-0"

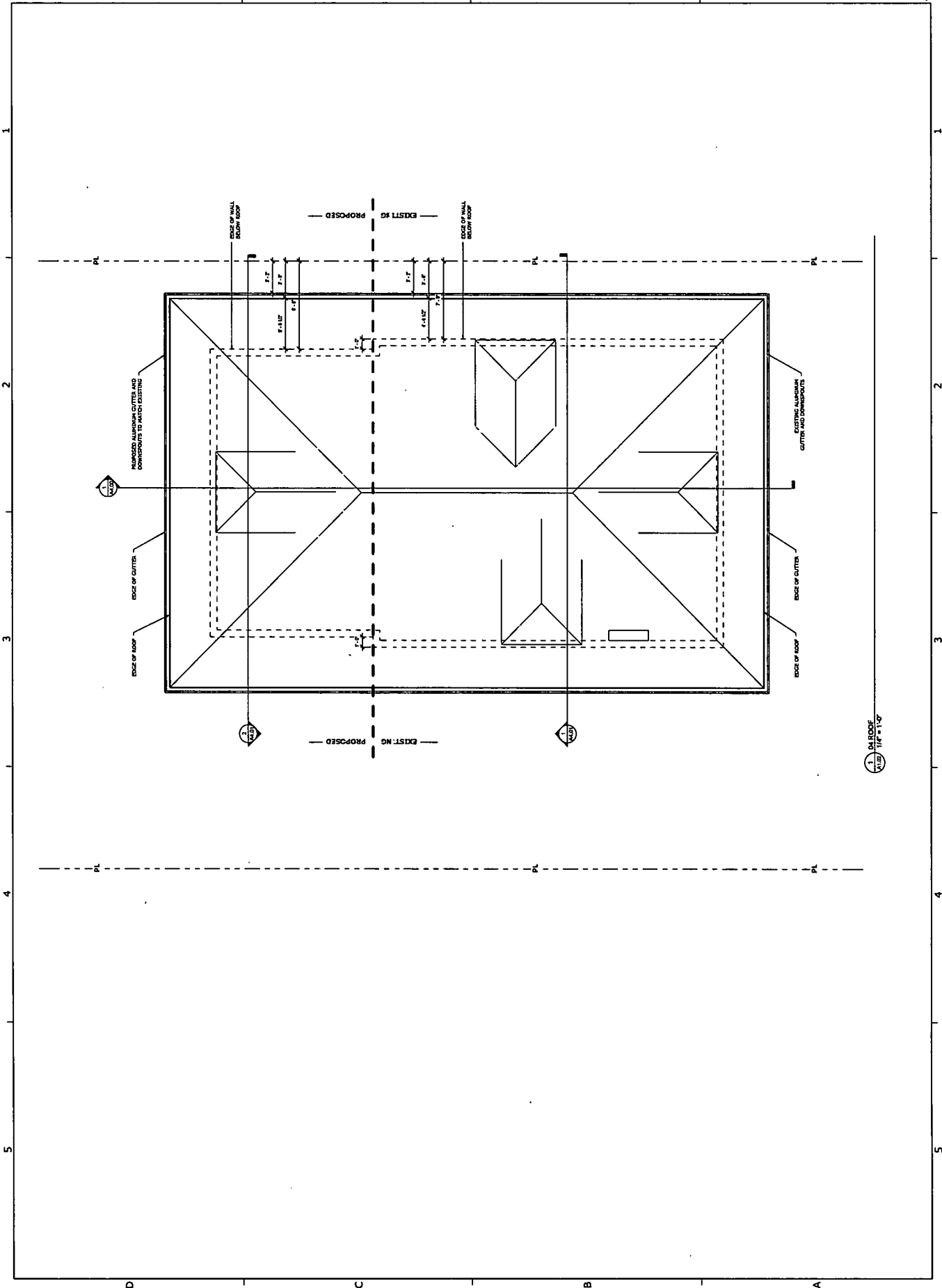
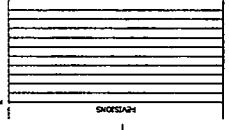
A1.02

PROJECT NO. 13425  
DRAWN BY:  
SCALE 1/4" = 1'-0"  
DATE: 11/13/2013  
DWG. NO.

FLOOR PLANS - ROOF

CONWAY RESIDENCE  
5 East Melrose Street  
Chevy Chase, MD, 20815

Square 134 Architects  
1410 O Street NW, Washington, DC 20004  
P (202) 331-0134 F (202) 315-3415



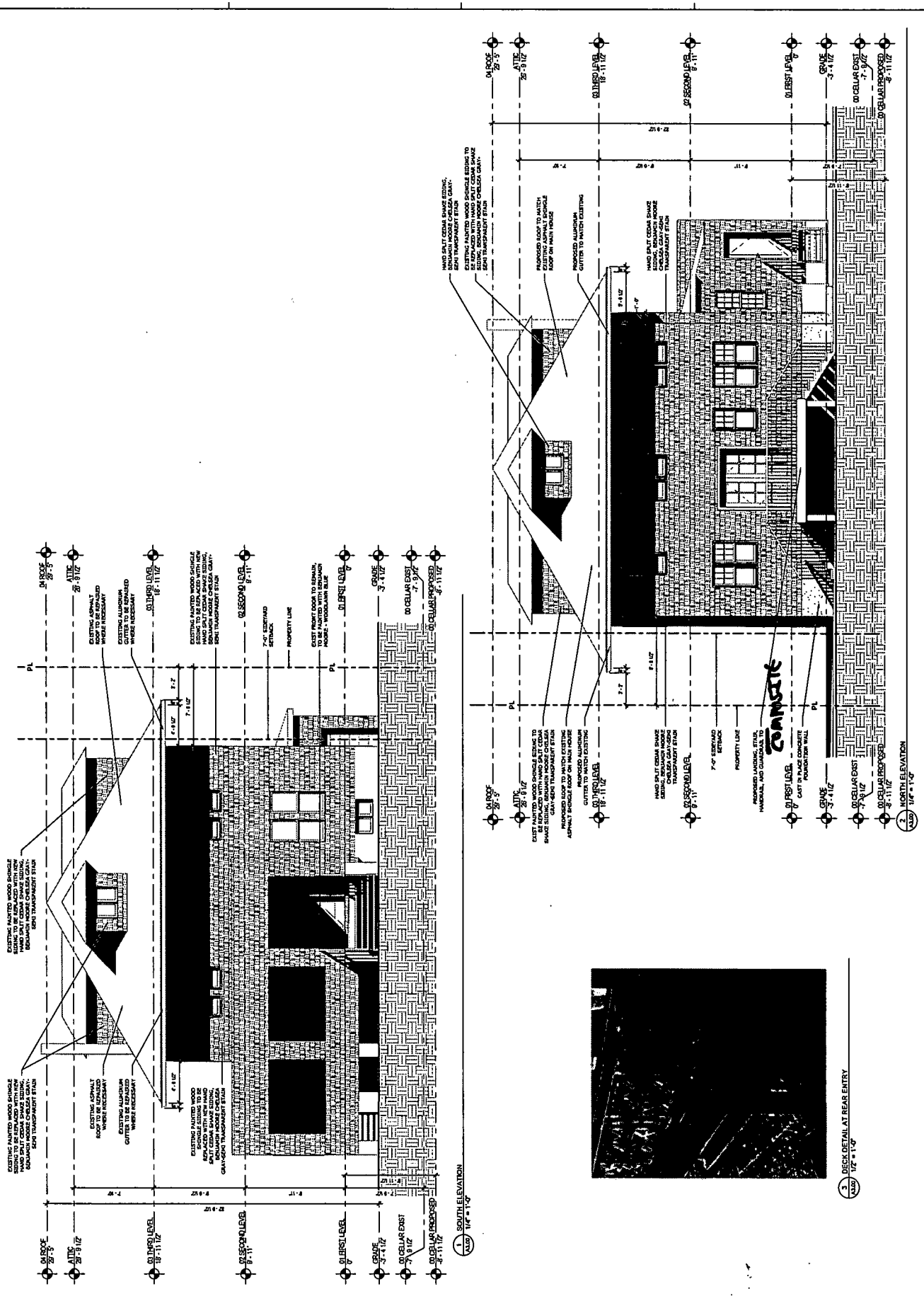
PROJECT NO. 23025  
 DRAWN BY:  
 SCALE: As Indicated  
 DATE: 11/12/2013  
 DWG. NO.

PROJECT:  
 CONWAY RESIDENCE  
 5 East Nelson Street  
 Chevy Chase, MD, 20815

1470 Q Street NW, Washington, DC 20009  
 Phone: 202.339.0134 Fax: 202.331.8415  
 Square 134 Architects

DRAWING TITLE:  
 NORTH AND SOUTH  
 ELEVATIONS

A3.00



3. DECK DETAIL AT REAR ENTRY  
 1/2" = 1'-0"

19

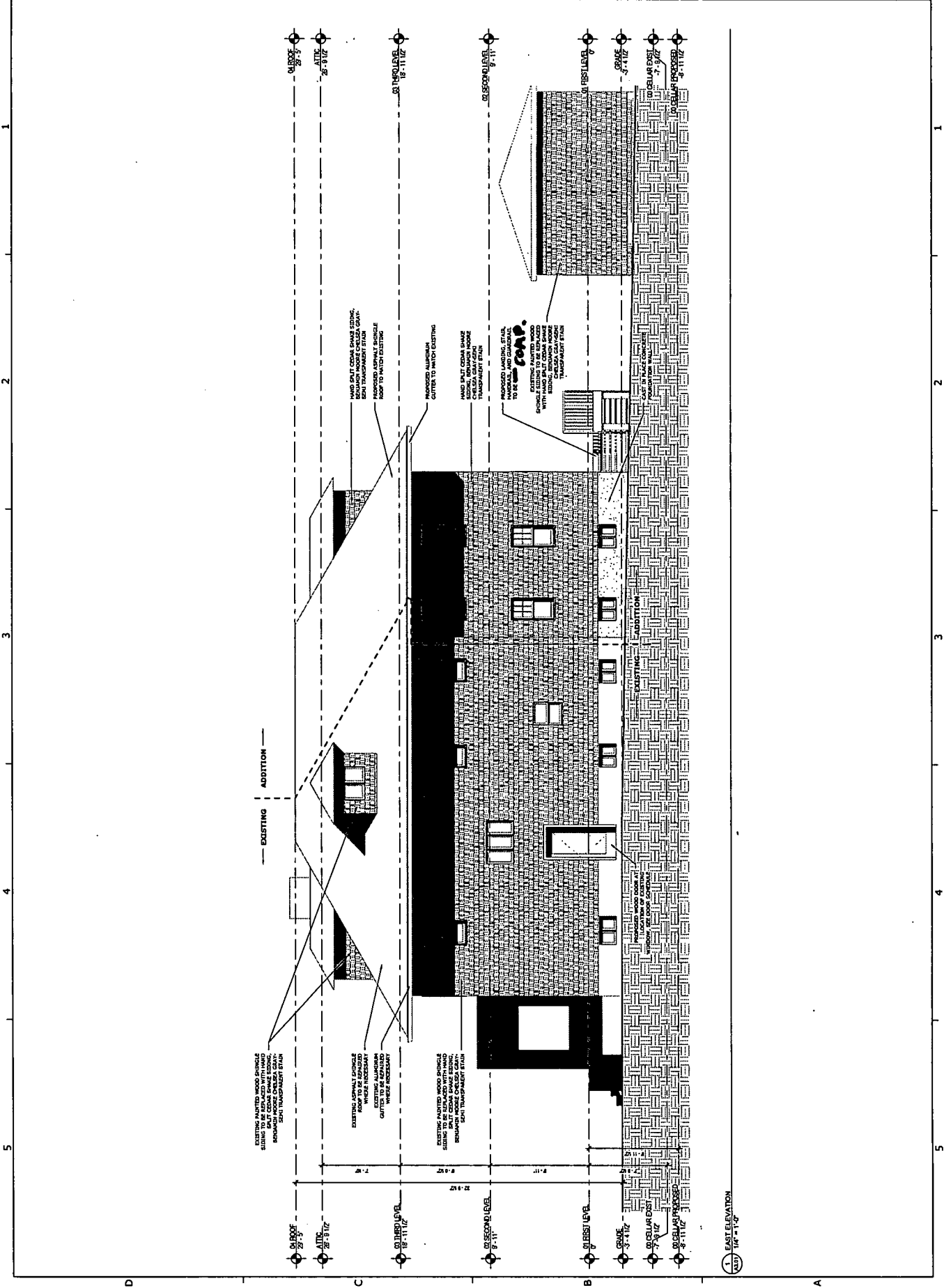
PROJECT NO. 130331  
OWNER: PT.  
SCALE: 1/8" = 1'-0"  
DATE: 11/12/2013  
DWG. NO.

EAST ELEVATION

NO.	DESCRIPTION

CONWAY RESIDENCE  
5 East Melrose Street  
Chevy Chase, MD, 20815

Square 134 Architects  
1410 O Street NW, Washington, DC 20004  
P 202 338 0334 F 202 332 3415



20





A4.00

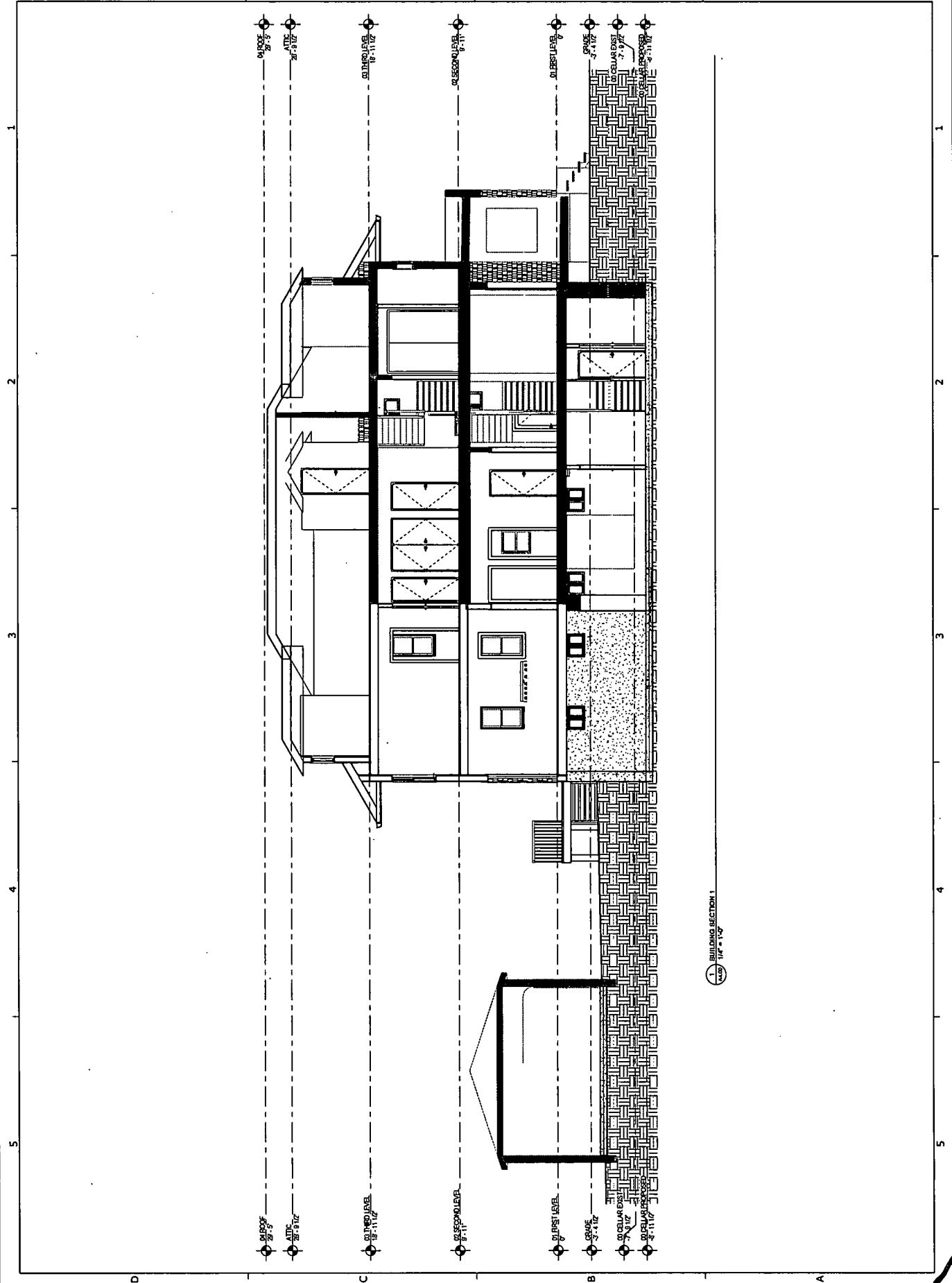
PROJECT NO. 130215  
DRAWN BY:  
SCALE: 1/4" = 1'-0"  
DATE: 11/12/2013  
DWG. NO.

BUILDING SECTIONS



CONWAY RESIDENCE  
5 East Malross Street  
Cherry Chase, MD, 20315

Square 134 Architects  
1410 O Street NW, Washington, DC 20004  
P 202.328.0344 F 202.313.3415



22

# A4.01

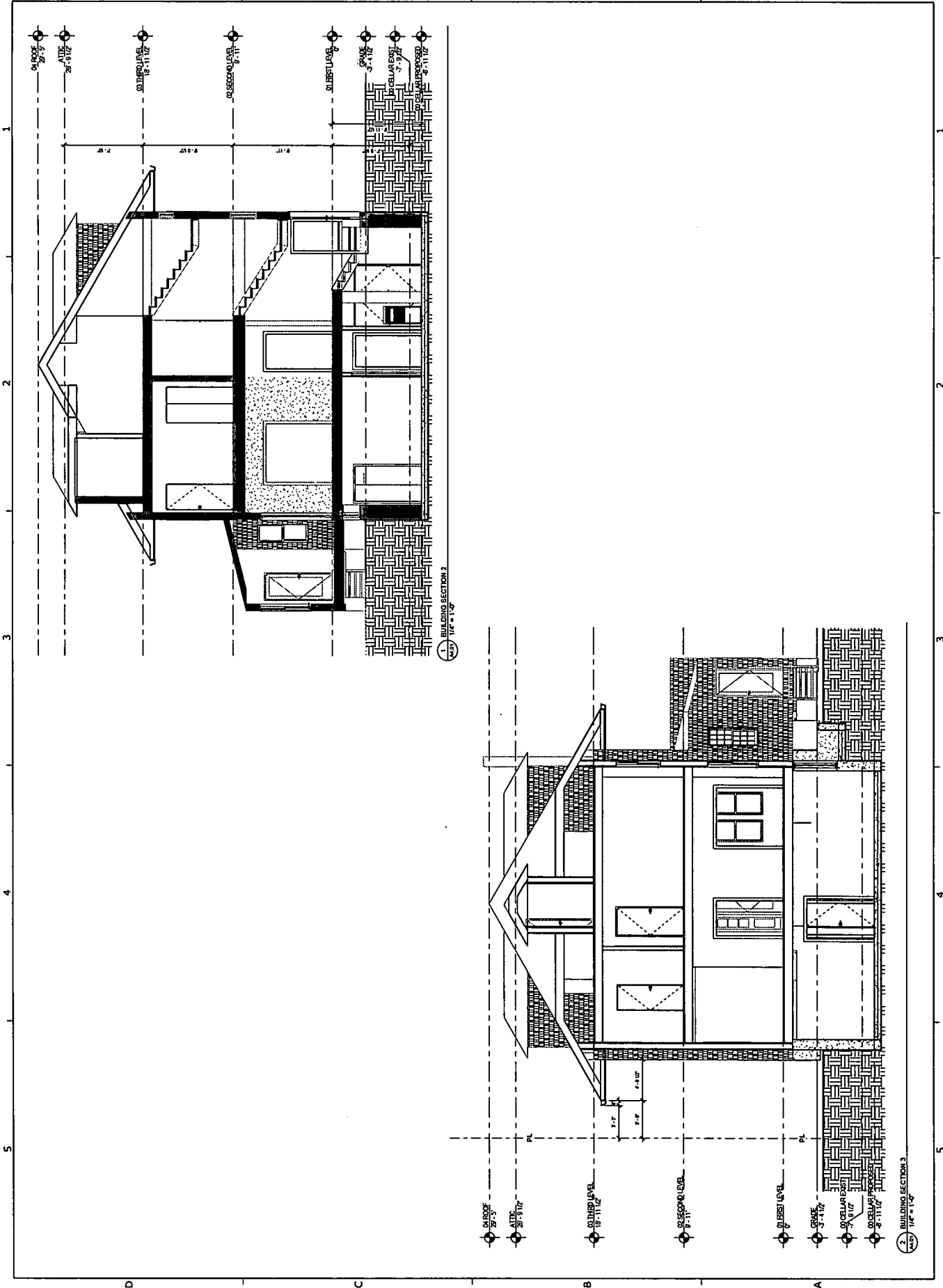
PROJECT NO:  
130125  
DRAWN BY:  
SCALE:  
3/4" = 1'-0"  
DATE:  
11/12/2013  
DWG. NO.

## BUILDING SECTIONS

PROJECT  
CONWAY RESIDENCE  
5 East Melissa Street  
Chevy Chase, MD, 20815

Square 134 Architects  
1410 Q Street NW, Washington, DC 20009  
P (202) 338-0334 F (202) 313-8415

NO.	DESCRIPTION



23

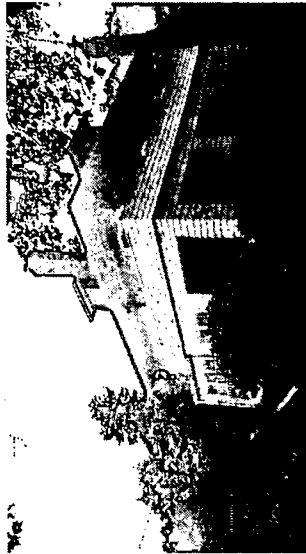
A9.00

DRAWING NO. 130035  
DATE: 11/12/2013  
SCALE:  
DRAWN BY:  
CHECKED BY:

DRAWING TITLE  
SITE PHOTOS

PROJECT  
CONWAY RESIDENCE  
5 East Nelson Street  
Cherry Chase, MD, 20815

1410 O Street NW, Washington, DC 20004  
P 202/338-0134 F 202/313-3615  
Squaro 134 Architects



24

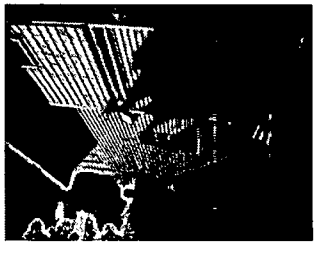
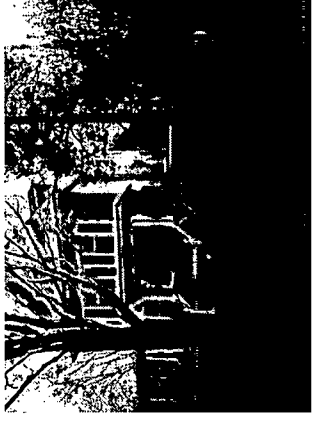
PROJECT NO.: 139  
DATE: 11/12/2013  
DRAWN BY:  
SCALE:  
SHEET NO.:

DRAWING TITLE  
SIDE DOOR  
PRECEDENTS AND  
PROPOSED

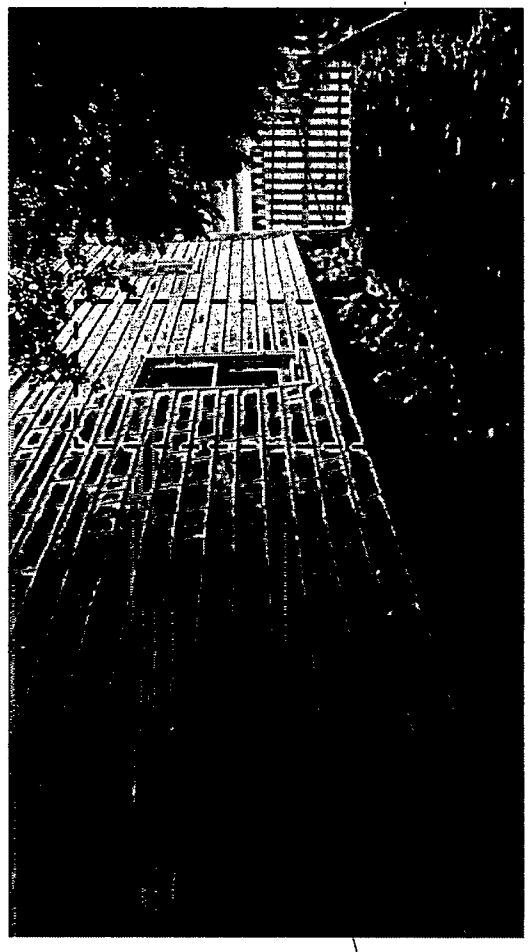
PROJECT  
CONWAY RESIDENCE  
5 East Melrose Street  
 Chevy Chase, MD, 20915

139 Architects  
Square

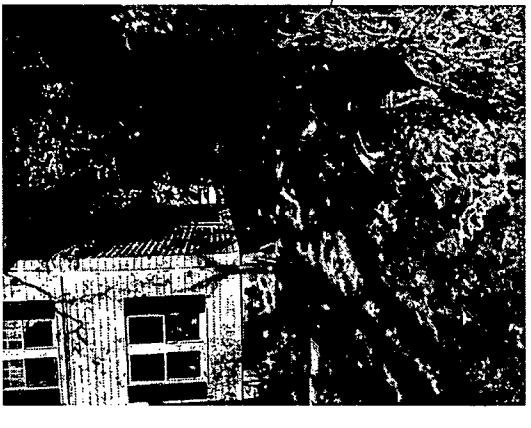
1410 O Street, NW, Washington, DC 20007  
P (202) 338-0134 F (202) 313-2615



SIDEYARD/DRIVEWAY DOOR PRECEDENTS LOCATED IN THE VILLAGE OF CHEVY CHASE



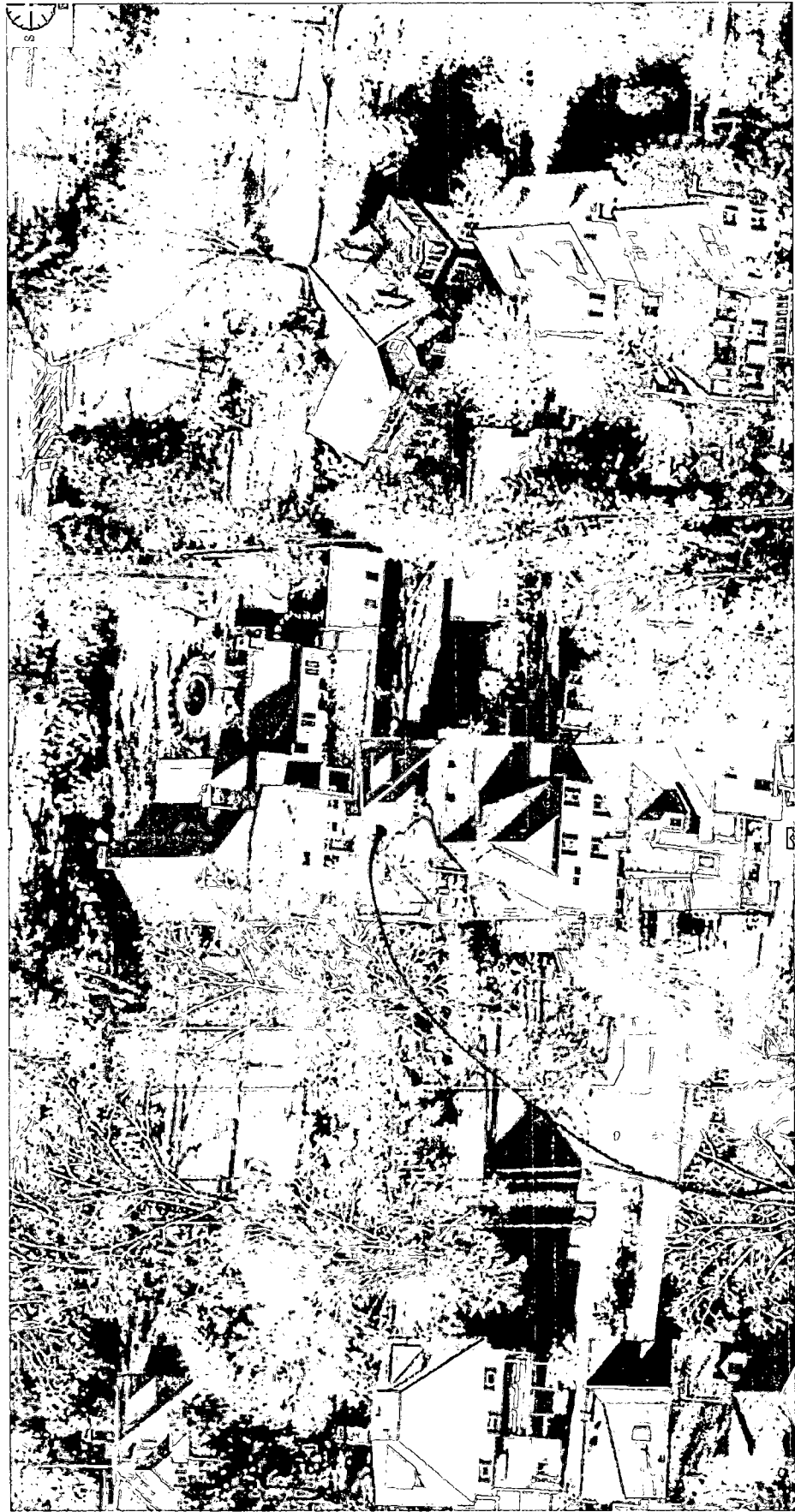
PROPOSED LOCATION OF NEW  
SIDEYARD/DRIVEWAY DOOR. LOCATION  
TO COINCIDE WITH EXISTING WINDOW



EAST MELROSE STREET - PROPOSED LOCATION OF NEW SIDEYARD/DRIVEWAY DOOR

1 2 3 4 5

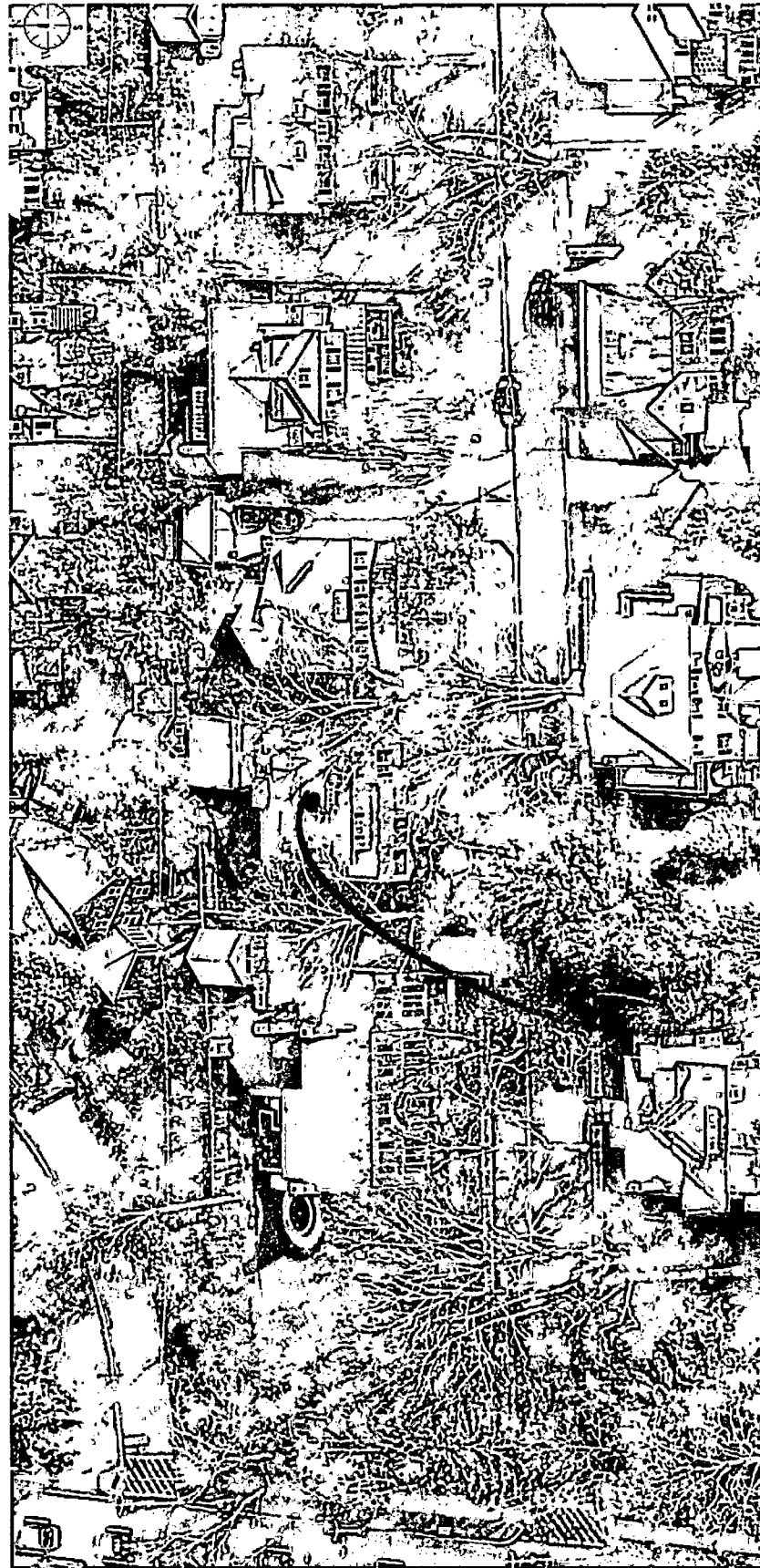
1 2 3 4 5



S.E. MELROSE

5 E. MELROSE





5 E. MELROSE

**Silver, Joshua**

---

**From:** CCV Permitting <ccvpermitting@montgomerycountymd.gov>  
**Sent:** Wednesday, November 20, 2013 4:03 PM  
**To:** Patrick@Lock7Development.com  
**Cc:** Silver, Joshua  
**Subject:** status of 5 East Melrose

Mr. Conway:

I wanted to update you that I met this afternoon with the Village Manager to review your variance request for an encroachment into the east side yard setback. She confirmed my earlier assessment that the request is very much in keeping with previously granted Board decisions. We do not anticipate any major concerns in the hearing of the case scheduled for December 9. Please contact me if you need anything else.

Ellen Sands  
Permitting and Code Enforcement Coordinator  
Chevy Chase Village  
Tele. 301-654-7300  
FAX 301-907-9721

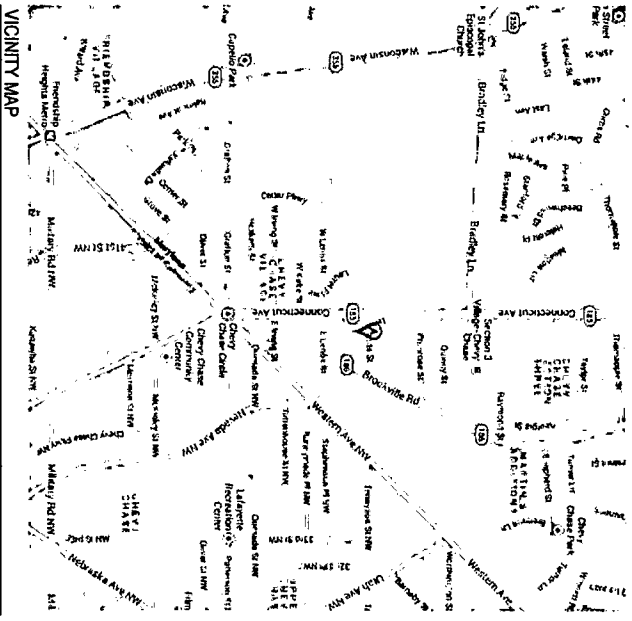
[ccvpermitting@montgomerycountymd.gov](mailto:ccvpermitting@montgomerycountymd.gov)  
[www.chevychasevillagemd.gov](http://www.chevychasevillagemd.gov)



ALTERATION, REPAIR, AND ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE

# CONWAY RESIDENCE

5 EAST MELROSE STREET  
CHEVY CHASE, MD. 20815



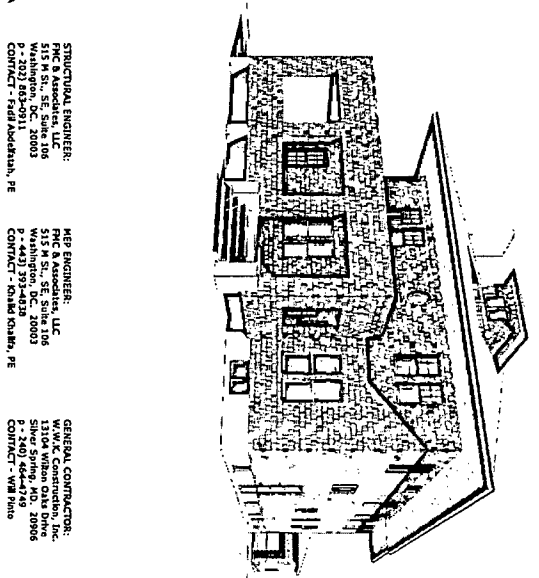
**BUILDING DATA**  
 PROJECT: 5 East Melrose Street  
 ADDRESS: Chevy Chase, MD, 20815

**SCOPE OF WORK:**  
 This project involves the alteration, repair, and addition to an existing single family residence. The project includes the addition of a 6" roof inset and a 6" wall inset.

**APPLICABLE BUILDING CODES:**  
 The project conforms to all applicable building codes and regulations of Montgomery County and the Village of Chevy Chase.

**Building:** International Residential Code - 2012  
**Electrical:** NFPA National Electrical Code - 2008  
**Energy:** International Energy Conservation Code - 2012

**Amendments:** Montgomery County Executive Regulation No. 8-12  
**Zoning:** Montgomery County Zoning Ordinance - Chapter 59



**PROJECT TEAM:**

**OWNER:**  
 Prince Conway  
 5 East Melrose Street  
 Chevy Chase, MD, 20815  
 P - 202 248-8033  
 CONTRACT - Prince Conway

**ARCHITECT:**  
 Square 134 Architects  
 500 North Capitol Street  
 Washington, DC, 20005  
 P - 202 328-0134  
 CONTRACT - Ronald Schneck, Jr., AIA

**STRUCTURAL ENGINEER:**  
 FRC & Associates, LLC  
 500 North Capitol Street  
 Washington, DC, 20005  
 P - 202 683-0911  
 CONTRACT - Ronald Schneck, Jr., AIA

**MEP ENGINEER:**  
 FRC & Associates, LLC  
 500 North Capitol Street  
 Washington, DC, 20005  
 P - 442 393-4828  
 CONTRACT - Ronald Schneck, Jr., AIA

**GENERAL CONTRACTOR:**  
 W.K.C. Construction, Inc.  
 13104 Silver Spring Road  
 Silver Spring, MD, 20906  
 P - 301 464-4749  
 CONTRACT - W.K.C. Construction, Inc.

12/18

**NEED 2 SECTIONS:**

① 12" wall/roof (HPX APPROX)

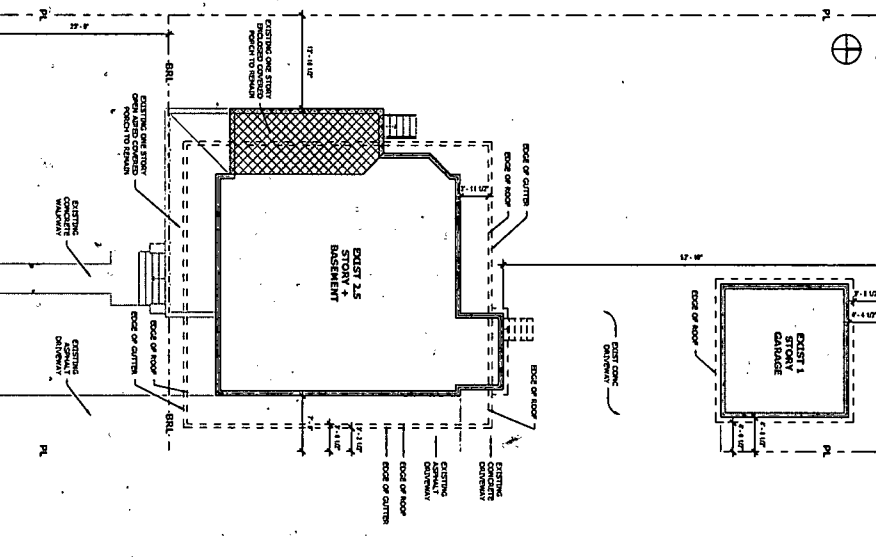
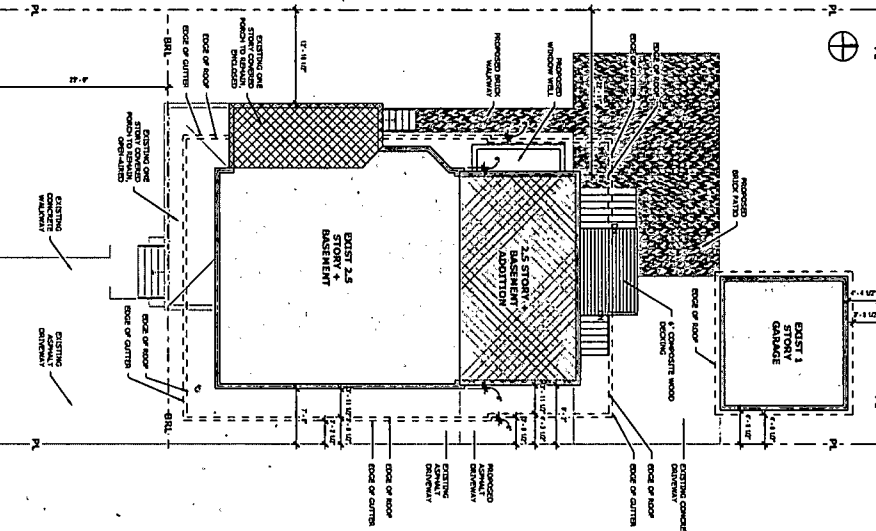
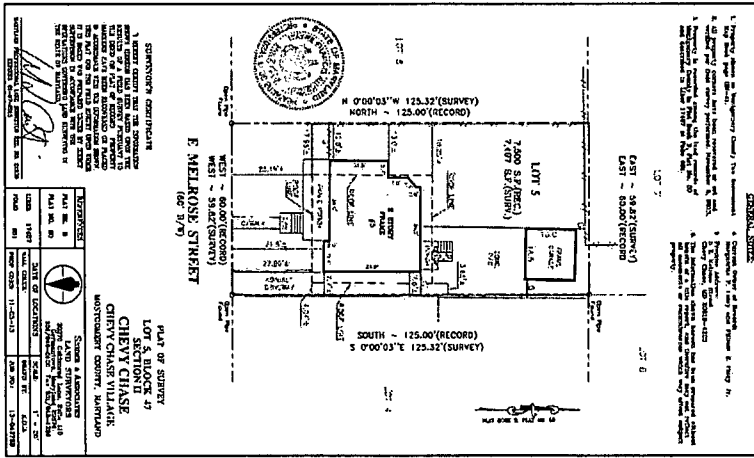
② 6" " / " ADDITIONAL RESTRICTION

**PURPOSE:** TO SHOW WHAT APPLICANT WOULD LIKE IN WIDTH AND HEIGHT

WAS: 12" INSET → CONTINUOUS ROOF

NOW: 6" INSET → 6" ROOF INSET

⊕ SURVEY  
1" = 20.0'



⊕ SITE PLAN - PROPOSED  
1" = 15.0'

⊕ SITE PLAN - EXISTING  
1" = 15.0'

A0.06

PROJECT NO. 1.30.25  
 SCALE: AS INDICATED  
 DATE: 12/19/2013

DATE: 12/19/2013  
 SCALE: AS INDICATED  
 PROJECT NO. 1.30.25

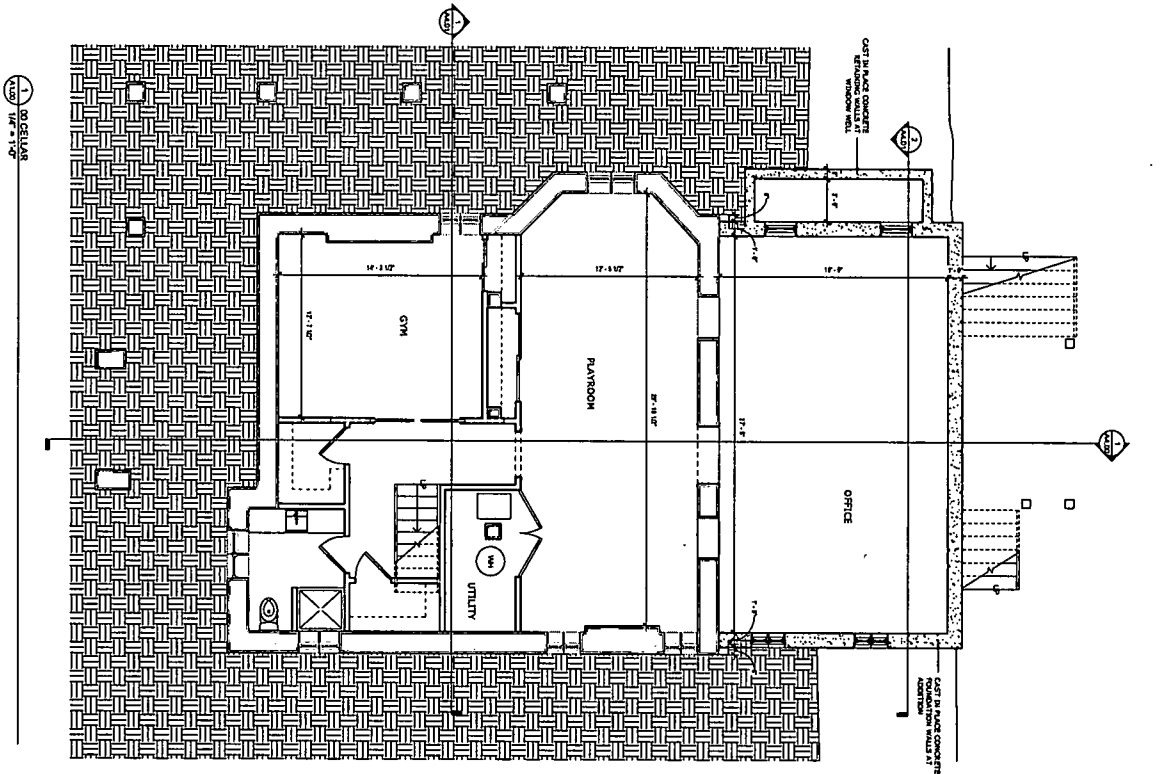
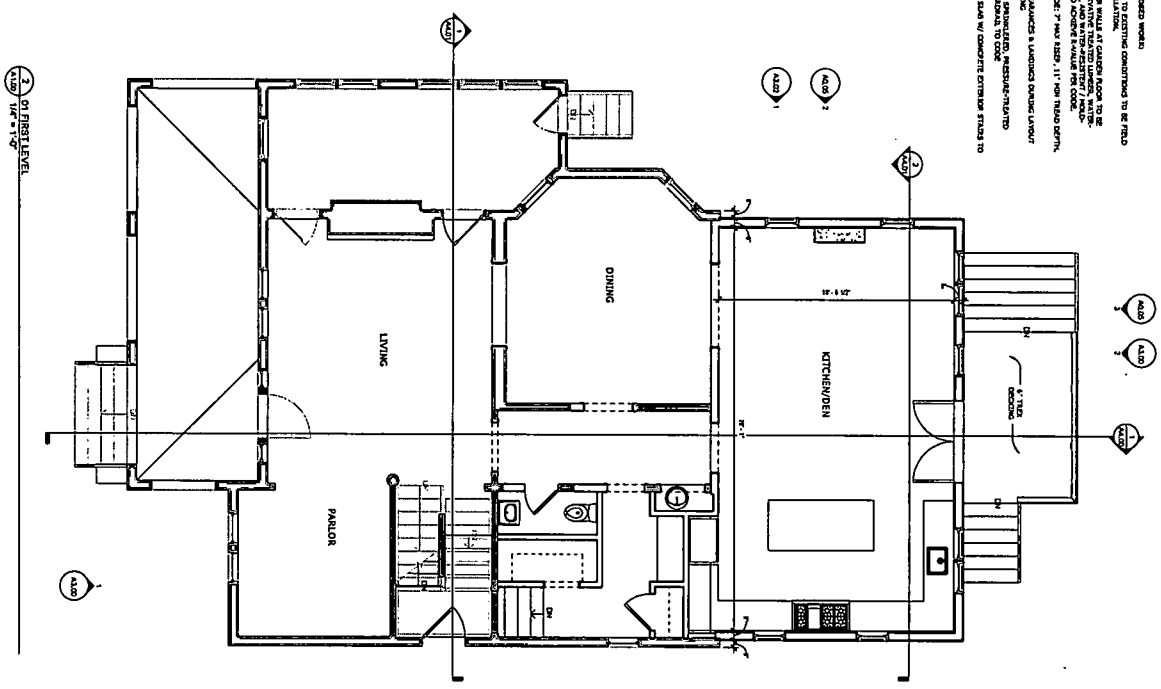
**REVISIONS**

NO.	DATE	REVISION

**CONWAY RESIDENCE**  
 5 East Melrose Street  
 Chevy Chase, MD, 20815

Square 134 Architects  
 1410 G Street NW, Washington, DC 20009  
 P (202) 528-0134 | F (202) 528-1565

- GENERAL NOTES - REFERENCED SPECIFICATIONS:
1. REFERENCED SPECIFICATIONS TO BE USED UNLESS INDICATED OTHERWISE.
  2. FINISHES OF INTERIOR WALLS AT GARDEN ROOM TO BE AS SHOWN ON SHEET 134-01. FINISHES OF INTERIOR CEILING TO BE AS SHOWN ON SHEET 134-01. FINISHES OF INTERIOR FLOORING TO BE AS SHOWN ON SHEET 134-01.
  3. ALL FLOOR STUDS TO COMPLY WITH 2015 IRC SECTION R301.2.1.
  4. COMPLY WITH STATE REQUIREMENTS FOR LAMINATED SPAN-RATED FLOORING.
  5. STRUCTURE SHALL BE AS SHOWN ON SHEET 134-01. STRUCTURE SHALL BE AS SHOWN ON SHEET 134-01.
  6. ALL OTHER NOTES TO BE AS SHOWN ON SHEET 134-01.



A1.00

PROJECT NO. 134-01  
 DRAWN BY: [Name]  
 DATE: 12/04/2013  
 DWG. NO. [Number]

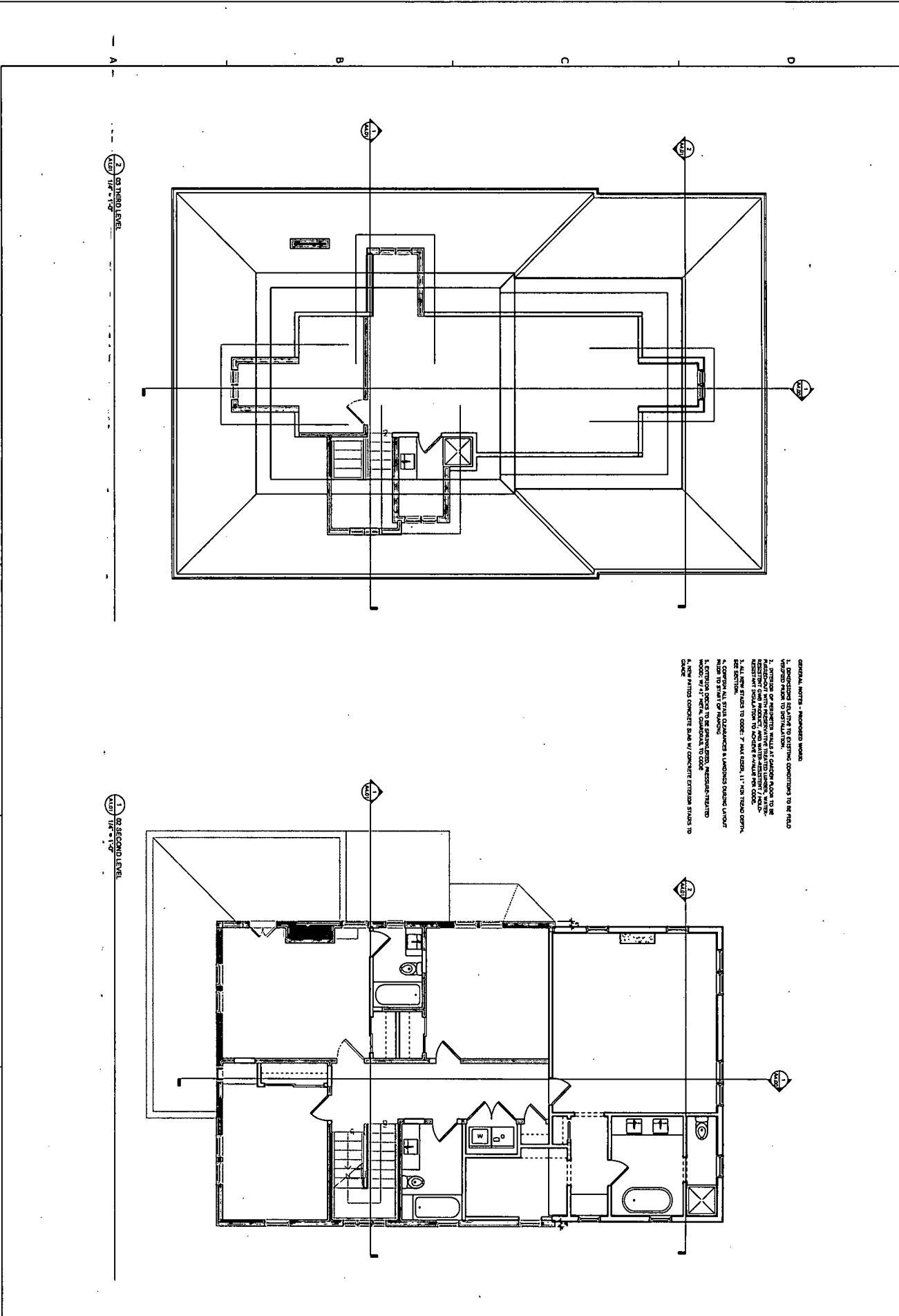
DRAWING TITLE  
**FLOOR PLANS - CELLAR  
 AND FIRST LEVEL**

NO.	DESCRIPTION

PROJECT  
**CONWAY RESIDENCE**  
 5 East Melrose Street  
 Chevy Chase, MD, 20815

Square 134 Architects

1410 G Street NW, Washington, DC 20009  
 P (202) 328-0134 F (202) 313-2413



**GENERAL NOTES - PROPOSED WORK**

1. DEMOLITION OF EXISTING INTERIOR WALLS TO BE FIELD
2. INTERIOR OF EXISTING WALLS TO BE DEMOLISHED TO BE FIELD
3. INTERIOR OF EXISTING WALLS AT CORNER JOINTS TO BE DEMOLISHED WITH REINFORCING BARS TO REMAIN. REINFORCING BARS TO BE CUT TO CLEAR OF ALL DEBRIS. REINFORCING BARS TO BE CUT TO CLEAR OF ALL DEBRIS.
4. ALL NEW STUDS TO COME: 2" MAX SPACING, 11" HIGH TRUSS CENTER, 2X6 SECTION.
5. EXISTING STUDS TO BE REMOVED AND REPLACED WITH 2X6 SECTION.
6. EXISTING STUDS TO BE REMOVED AND REPLACED WITH 2X6 SECTION.
7. NEW WOOD CONCRETE SLAB W/ CONCRETE EXTERIOR STAIRS TO COME.

**A1.01**

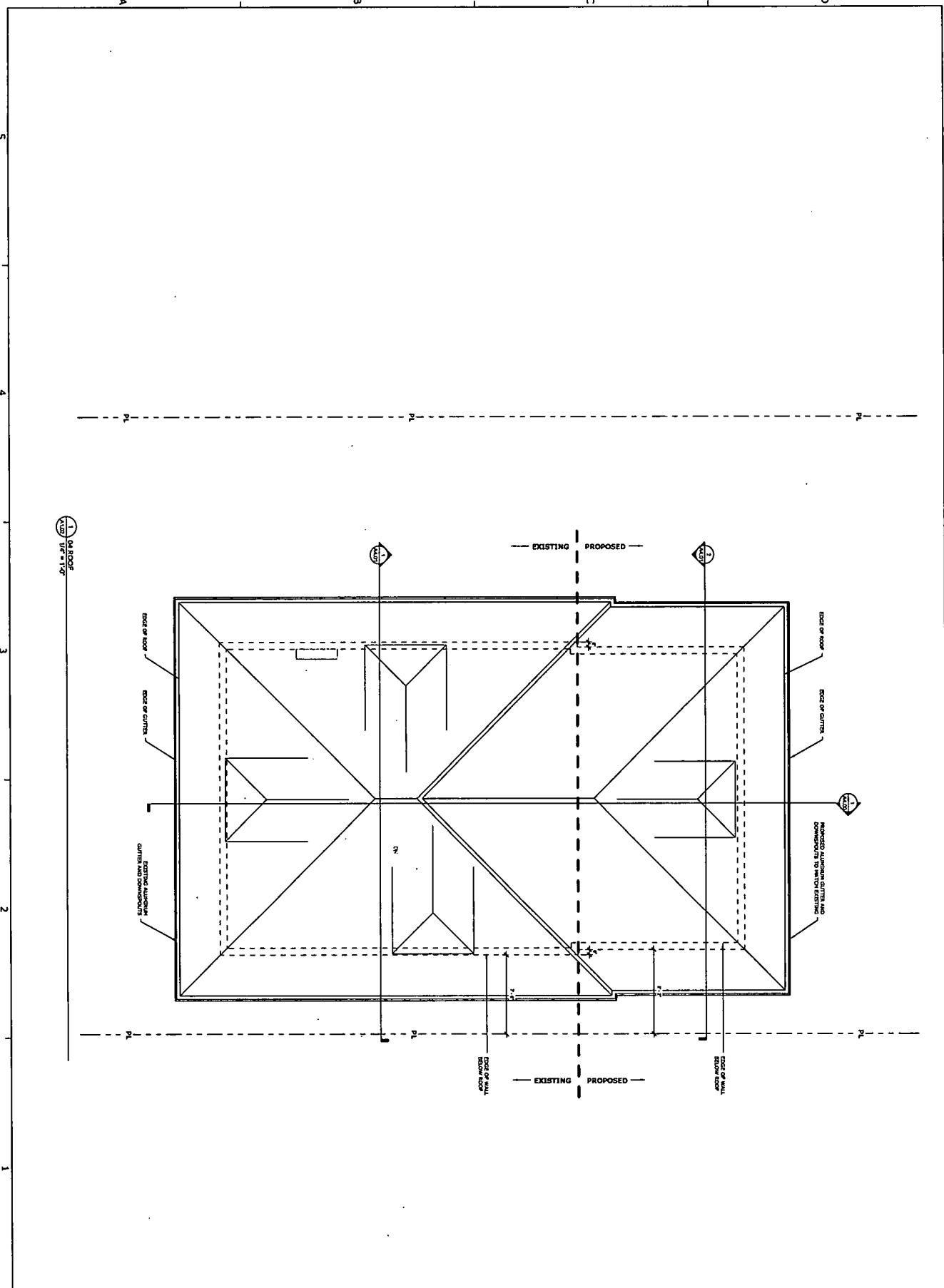
PROJECT NO. 130125  
 DRAWING SET  
 SCALE: As Indicated  
 DATE: 11/20/2013  
 DWG. NO.

DRAWING TITLE  
**FLOOR PLANS - SECOND AND THIRD LEVEL**

REVISIONS

PROJECT  
**CONWAY RESIDENCE**  
 5 East Melrose Street  
 Chevy Chase, MD, 20815

**Square 134 Architects**  
 1410 G Street NW, Washington, DC, 20009  
 P (202) 228-0134 F (202) 315-3615



1/4" ROOF  
1/8" = 1'-0"

**A1.02**

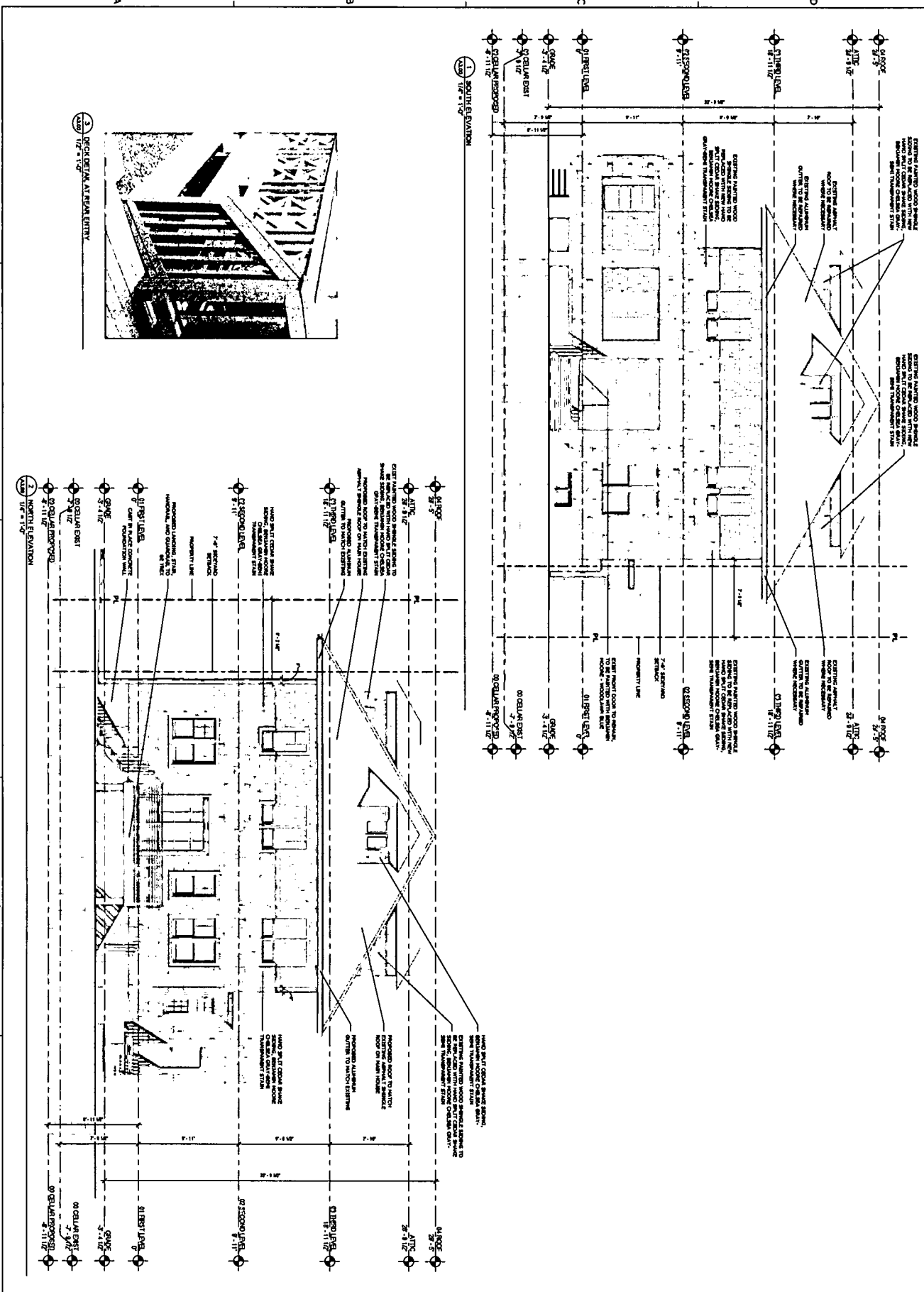
PROJECT NO. 13025  
 DRAWN BY:  
 SCALE: 1/8" = 1'-0"  
 DATE: 12/04/2013  
 DRG. NO.

DRAWING TITLE  
**FLOOR PLANS - ROOF**

REVISIONS

PROJECT  
**CONWAY RESIDENCE**  
 5 East Nelrose Street  
 Chevy Chase, MD. 20815

**Square 134 Architects**  
 1410 Q Street NW, Washington, DC 20009  
 P (202) 228 0134 F (202) 215 3615



**A3.00**

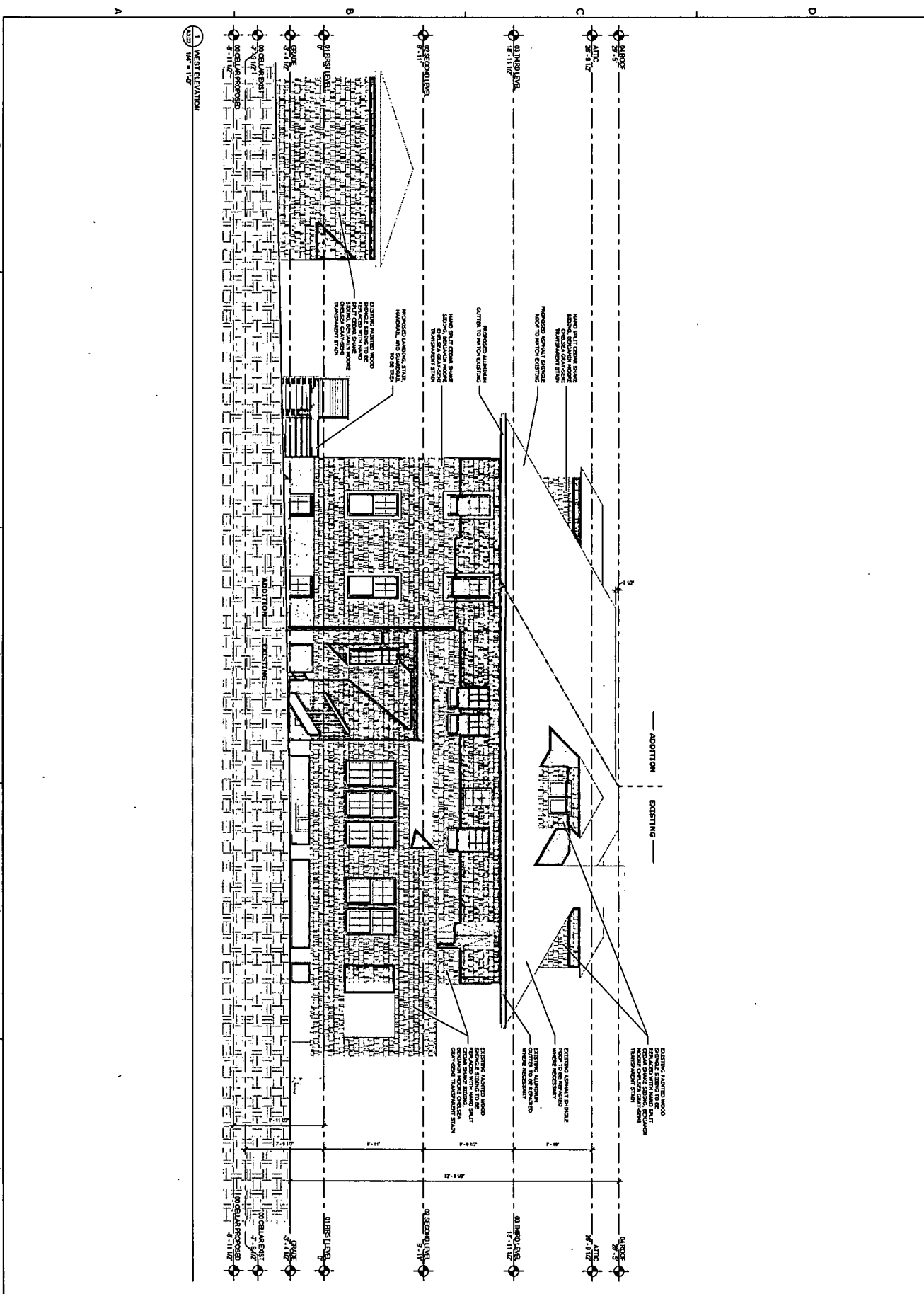
PROJECT NO.	13025
DATE	07/04/2013
SCALE	AS SHOWN
DRG. NO.	07/04/2013

**DRAWING TITLE**  
**NORTH AND SOUTH ELEVATIONS**

REVISIONS

**PROJECT**  
**CONWAY RESIDENCE**  
 5 East Helrose Street  
 Chevy Chase, MD, 20815

**Square 134 Architects**  
 1418 O Street NW, Washington, DC 20009  
 P (202) 238-6134 F (202) 312-3415



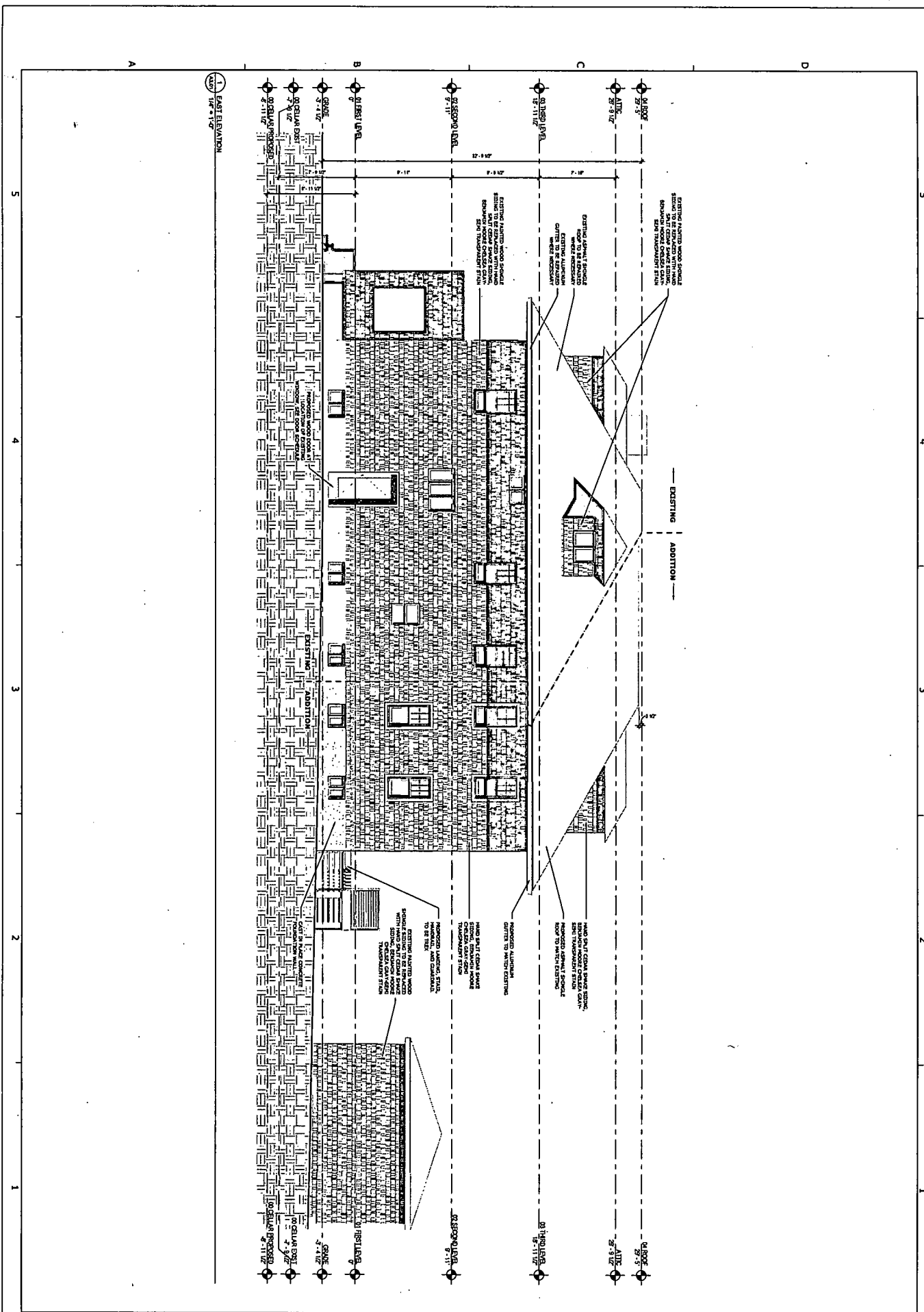
PROJECT NO. 13025  
 DRAWN BY: [Name]  
 SCALE: 1/8" = 1'-0"  
 DATE: 12/04/2013  
 DWG. NO. A3.02

DRAWING TITLE  
**WEST ELEVATION**

NO.	REVISIONS

PROJECT  
**CONWAY RESIDENCE**  
 5 East Melrose Street  
 Chevy Chase, MD, 20815

Square 134 Architects  
 1410 G Street NW, Washington, DC, 20009  
 P (202) 228-0134 F (202) 212-3411



1 EAST ELEVATION  
1/4" = 1'-0"

PROJECT NO. 133023  
 DRAWN BY: [Name]  
 SCALE: 1/4" = 1'-0"  
 DATE: 12/04/2013  
 DWG. NO. A3.01

DRAWING TITLE  
**EAST ELEVATION**

NO.	DESCRIPTION

PROJECT  
**CONWAY RESIDENCE**  
 5 East Melrose Street  
 Chevy Chase, MD. 20815

Square 134 Architects  
 1410 G Street NW, Washington, DC 20009  
 P (202) 228-0134 F (202) 215-3615



## Manarolla, Kevin

---

**From:** Bourke, Tom(Winchester Homes, Inc.)(Tom) <tom.bourke@whihomes.com>  
**Sent:** Wednesday, December 04, 2013 1:58 PM  
**To:** Manarolla, Kevin; Whipple, Scott; Silver, Joshua  
**Cc:** Bourke, Tom(Winchester Homes, Inc.)(Tom); CCV Permitting Coordinator (Ellen Sands); ChCh Village file (CCV@montgomerycountymd.gov); Feldman, Gail; HBSacks@comcast.net; Mark Nadel; Myra Kovey; P. Wellington; Stephens, Betsy  
**Subject:** CCV LAP comments for HPC - December 4, 2013 - 24 W Kirke; 5 East Melrose

The following are the comments of the Chevy Chase village Local Advisory Panel on items before the HPC on 12/4/13:

### 24 West Kirke

Contributing Resource

Hardscape alterations – driveway, lead walk, concrete stoop replacement with flagstone, patio etc  
Staff recommended Expedited Approval, and the LAP concurs with Staff recommendation.

### 5 East Melrose

Contributing Resource

Construction of rear addition and other alterations

Staff recommends approval with conditions – CC Village side yard variance will be needed on east side eaves and gutters.

The LAP supports Staff recommendation and appreciates Staff recognition of Village Board review requirements.

Submitted for the LAP by Tom Bourke, Chair

---

**From:** Manarolla, Kevin [<mailto:Kevin.Manarolla@montgomeryplanning.org>]  
**Sent:** Wednesday, November 27, 2013 2:42 PM  
**To:** Betsy Stephens; Bourke, Tom(Winchester Homes, Inc.)(Tom); ChCh Village; Gail Feldman; HBSacks; Mark Nadel; Myra Kovey; P. Wellington  
**Subject:** HPC staff reports for December 4, 2013

Chevy Chase:

Here are the staff reports for the HPC meeting scheduled on December 4, 2013.

**Kevin Manarolla**, Senior Administrative Assistant | Historic Preservation Section  
Functional Planning and Policy Division | Montgomery County Planning Department | M-NCPPC  
Office: 8787 Georgia Avenue STE 204 | Silver Spring | Mail: 8787 Georgia Avenue | Silver Spring MD 20910  
301-563-3400 phone | 301-563-3412 fax | [Email Me Here](#) | [Our Web Site](#) | M-NCPPC

## Silver, Joshua

---

**From:** Patrick Conway <patrick@lock7development.com>  
**Sent:** Thursday, December 19, 2013 6:32 PM  
**To:** Silver, Joshua  
**Cc:** 'Kevin Donohoe'; 'Lindsay Conway'  
**Subject:** RE: Melrose  
**Attachments:** 13025\_Conway-Residence\_Building-Section-Diagrams\_2013-12-19.pdf

**Importance:** High

Josh,

Please see the attached diagram of both 6" and 12" insets. The existing 3rd floor ceiling is right at code in height: 7'6". At your original suggestion in this process, we opted not to inset the sides of the building 4" and instead do 12" in a compromise of sorts to be able to extend the existing roofline and therefore maintain the 3rd floor ceiling height of 7'6". The board voted against that. So we went back to you with 6" insets which would lower the roofline and ceiling 3.5" (OPTION 1 in diagram). A 7'2.5" ceiling height is no longer code but at least it's still usable space. Option 2 in the lower diagram with 12" insets has been included at your request. Option 2 lowers the roofline/ceiling 7", lowering the ceiling to 6'11". This space is much less usable especially when I have family members who are over 6'7" in height.

As you know CCV signed off on the 6" insets, which was a very big hurdle to get through. We only designed the 12" insets because we thought we would be able to maintain the existing roofline. I know of many other historic and CCV homes that do not inset 12". I have altered my plans numerous times to everyone of your requests and I'm asking that you to accept the 6" insets.

I need your signature before you leave for almost 2 weeks as I'd like to submit for permits on Monday morning.

Can you sign off on this?

Thank you  
Patrick

-----Original Message-----

**From:** Silver, Joshua [<mailto:joshua.silver@montgomeryplanning.org>]  
**Sent:** Thursday, December 19, 2013 10:33 AM  
**To:** [Patrick@Lock7Development.com](mailto:Patrick@Lock7Development.com)  
**Subject:** RE: Melrose

I did. Please call me at your convenience to discuss the HPC's consideration of your revision to the addition's roof plan. We can discuss the shingles at that time also. My direct dial is: 301.563.3403.

Thanks,  
Josh

-----Original Message-----

From: Patrick Conway [mailto:patrick@lock7development.com]  
Sent: Thursday, December 19, 2013 10:30 AM  
To: Silver, Joshua  
Cc: 'Kevin Donohoe'; 'Lindsay Conway'; [Patrick@Lock7Development.com](mailto:Patrick@Lock7Development.com)  
Subject: RE: Melrose

Hi Josh,

Did you receive the shingles I dropped off at your office?

Thanks  
Patrick

-----Original Message-----

From: Patrick Conway [mailto:patrick@lock7development.com]  
Sent: Tuesday, December 17, 2013 4:34 PM  
To: 'Silver, Joshua'  
Cc: [Patrick@Lock7Development.com](mailto:Patrick@Lock7Development.com); 'Kevin Donohoe'; 'Lindsay Conway'  
Subject: RE: Melrose

Josh

Will I need to bring you the shingles before you issue approval or can I bring them to you when we are closer to switching the shingles out? I'm asking because I'd like to get started with permits asap but obviously need your signatures first. Does this makes sense?

Thank you  
Patrick

-----Original Message-----

From: Silver, Joshua [mailto:joshua.silver@montgomeryplanning.org]  
Sent: Monday, December 16, 2013 12:43 PM  
To: [Patrick@lock7development.com](mailto:Patrick@lock7development.com)  
Subject: FW: Melrose

Please see below about next steps. In addition to the staff item I will present to the HPC on Wednesday for the roof, you still need to satisfy the other condition of approval added by the HPC for the siding. You need to submit to me a siding sample of the existing (on the historic house now) and the siding you will be using to comply with the HPC's condition of approval .

Thanks,  
Josh

-----Original Message-----

From: Silver, Joshua  
Sent: Tuesday, December 03, 2013 2:51 PM  
To: 'Patrick Conway'  
Cc: Kevin Donohoe ([KDonohoe@square134.com](mailto:KDonohoe@square134.com))  
Subject: RE: Melrose

Thanks for letting me know. See you tomorrow evening. Again, you will likely hear trim and siding added as conditions of approval. I'm optimistic your case will be expedited at the beginning of the hearing and you will be free to go home.

As for the next steps, you will work with me on getting the replacement siding detail right, obtaining your variance, then filing three sets of your building permit plans with me for my final review and stamping. After this occurs you will then proceed with two copies of the HPC stamped plans to the Department of Permitting Services in Rockville to begin the building permit process. Again, you must file the plans with me first before proceeding to the building permit stage. The plans must be the final version and include all pertinent details, including those the HPC does not review such as plumbing and electrical. The reason for this is DPS requires the HPC stamp each page of the final building permit plans.

Josh

-----Original Message-----

From: Patrick Conway [<mailto:patrick@lock7development.com>]

Sent: Tuesday, December 03, 2013 2:43 PM

To: Silver, Joshua

Subject: Melrose

Josh - we are on board to replace shingle in-kind. Sorry for the late response.

Patrick

Sent from my iPhone

<Anderson HAWP Reduced.pdf>  
<HAWP Description Anderson 2013.pdf>

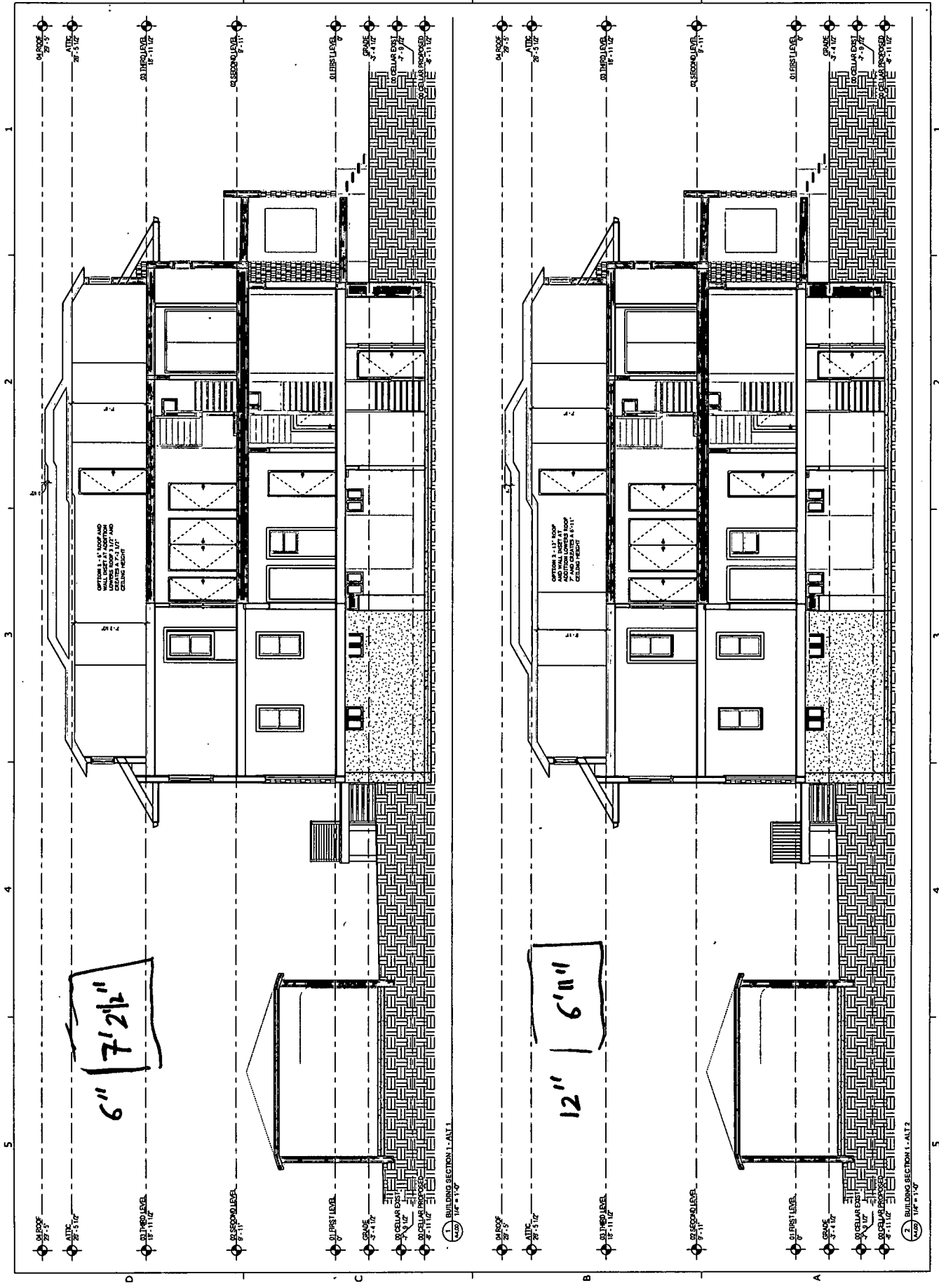
<IMG\_4419.jpeg>  
<IMG\_4420.jpeg>  
<photo.jpeg>

PROJECT NO: 13025  
DRAWN BY:  
SCALE: 1/4" = 1'-0"  
DATE: 12/04/2013  
DWG. NO.

BUILDING SECTIONS

CONWAY RESIDENCE  
5 East Madison Street  
Cherry Chase, MD, 20815

Square 134 Architects  
1102 22nd Street, NW, Washington, DC 20037  
702.232.0134 / 702.232.3415



6" | 7'-2 1/2"

12" | 6'0"

1 BUILDING SECTION 1 - ALT. 1  
1/4" = 1'-0"

2 BUILDING SECTION 1 - ALT. 2  
1/4" = 1'-0"

CHEVY CHASE SURVEY FORM, 1995

SURVEY AREA # 3



ADDRESS 5 E. MELROSE

Contact Sheet # 320

ARCHITECTURAL STYLE

CATEGORY: 1 \_\_\_ 2  NC \_\_\_ OOP \_\_\_

- 1. Gothic Revival
- 2. Renaissance Revival
- 3. Tudor Revival
- 4. Classical Revival
- 5. Mission
- 6. Dutch Colonial
- 7. Colonial Revival
- 8. Four Square
- 9. Craftsman SHINGLE (?)
- 10. Bungalow
- 11. Art Deco
- 12. Other

NUMBER OF STORIES

1 \_\_\_ 1.5 \_\_\_ 2 \_\_\_ 2.5  3 or more \_\_\_  
(indicate #)

NUMBER OF BAYS

1 \_\_\_ 2 \_\_\_ 3  4 \_\_\_ 5 \_\_\_ 6 or more \_\_\_  
(indicate #)

PRINCIPAL WALL MATERIALS - 1st story

- 1. Wood - clapboard
- 2. Wood - shingle
- 3. Brick
- 4. Stone
- 5. Concrete
- 6. Aluminum/Vinyl
- 7. Stucco
- 8. Other

2nd story

- 1. Wood - clapboard
- 2. Wood - shingle
- 3. Brick
- 4. Stone
- 5. Concrete
- 6. Aluminum/Vinyl
- 7. Stucco
- 8. Other

PRINCIPAL WINDOW TYPE - 1st Story

- a. 1/1 b. 8/8 c. 6/1 d. 6/6 e. 9/1 f. Casement g. Other
- + 1 8/8 in addition

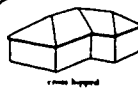
2nd Story

- a. 1/1 b. 8/8 c. 6/1 d. 6/6 e. 9/1 f. Casement g. Other

ROOF SHAPE

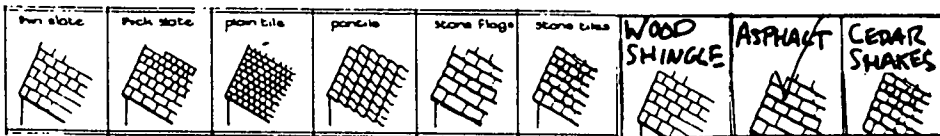
Gabled:

Hipped:



other

ROOF MATERIALS



other

DATE/ERA OF CONSTRUCTION 8/1912

pre-1916  1916-27 \_\_\_ 1927-45 \_\_\_ post-45 \_\_\_ unknown \_\_\_

notes on back

*Shingle Craftsman garage*

1912 RESIDENT: JOHN L. RIDGEMAN, GEORGE W. BRUCE, COOK

Note: Four Sq.   
*Four*

00455452