

27 Quincy  
Chem Chase H.D.

2010 MAWP  
35/13



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Thomas Jester  
Chairperson

Date: 5/27/10

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Anne Fothergill   
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #536440—Alterations to garage and driveway, installation of patio and pergola

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on May 26, 2010.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Christopher and Caroline Landau  
Address: 27 Quincy Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
256 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: ORLI PEREZ  
Daytime Phone No.: 240 671 4060

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: CHRISTOPHER & CAROLINE LANDAU Daytime Phone No.: \_\_\_\_\_  
Address: 27 Quincy St Chevy Chase MD 20815  
Street Number City Street Zip Code  
Contractor: Denning Construction Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: ORLI PEREZ Daytime Phone No.: 240 671 4060

**LOCATION OF BUILDING/PREMISE**

House Number: 27 Street: Quincy St.  
Town/City: Chevy Chase Nearest Cross Street: \_\_\_\_\_  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: patio

1B. Construction cost estimate: \$ 15,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Orli Perez Signature of owner or authorized agent 4/28/10 Date

Approved: [Signature] For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 5/27/10  
Application/Permit No.: 536440 Date Filed: 4/28/2010 Date Issued: \_\_\_\_\_

**Fothergill, Anne**

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**Subject:** FW: LAP comments for HPC 5/26/10: 100 Prim; 3 Quincy; 27 Quincy

**LAP Comments—Cases I-B, I-C, and I-F**

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**From:** Bourke, Tom (Winchester Homes, Inc.)(Tom) [mailto:tom.bourke@whihomes.com]

**Sent:** Wednesday, May 26, 2010 2:21 PM

**To:** Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua

**Cc:** Bob Elliott; ChCh Village file (CCV@montgomerycountymd.gov); FeldmanGS@aol.com; Jacobs - Eph's daughter (abjdoe@gmail.com); Marsh, Joan (r.marshes@gmail.com); Stephens, Betsy; Wellington, P. (ccv)

**Subject:** LAP comments for HPC 5/26/10: 100 Prim; 3 Quincy; 27 Quincy

The following are the comments from the Chevy Chase Village LAP for items under review at the 5/26/10 HPC hearing:

**B. 100 Primrose**

Mills residence; Non-contributing resource

4' wooden fence installation

Staff recommends approval and LAP concurs with Staff recommendation. We also commend Staff for using "expedited" review process.

**C: 3 Quincy**

Jarrett residence; Non-Contributing Resource

Stair and field stone retaining wall in front/side yard, retroactive review

Staff recommends approval and LAP concurs with Staff

**F: 27 Quincy**

Landau residence; Contributing Resource

Alterations to garage (at rear of property) and driveway and patio and pergola install

Staff recommends approval and LAP concurs with Staff recommendation

Submitted on behalf of the LAP by Tom Bourke, Chair

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	27 Quincy Street, Chevy Chase	<b>Meeting Date:</b>	5/26/10
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	5/19/10
<b>Applicant:</b>	Christopher and Caroline Landau (Bruce Hutchinson, Architect)	<b>Public Notice:</b>	5/12/10
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-10J	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Alterations to garage and driveway and patio and pergola installation

**STAFF RECOMMENDATION**

Staff recommends that the HPC approve the HAWP application.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Mediterranean Revival  
**DATE:** 1921

**PROPOSAL**

The applicants are proposing to replace the existing damaged garage doors with new wooden garage doors within the existing opening. The new doors will be custom made in a similar style to the existing doors. The applicants propose to remove the window on the east side of the garage and install French doors. To the east of the garage, they propose to install a new stone patio and a detached wooden pergola. They also propose to change the material but not the dimensions of the existing asphalt driveway to pea gravel and grass-pave porous pavers behind the house in front of the garage.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Chevy Chase Village Historic District***

The *Guidelines* define a Contributing Resource as "A resource which contributes to the overall character of the district and its streetscape, but which is of secondary architectural and historical significance. A resource may be

classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character."

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

"**Lenient Scrutiny**" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

"**Moderate Scrutiny**" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"**Strict Scrutiny**" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

Specifically, the *Guidelines* state:

Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny. Parking pads and other paving in front yards should be discouraged.

Garages and accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building. If an existing garage or accessory building has any common wall with, or attachment to, the main residence, then any addition to the garage or accessory building should be subject to review with the Guidelines applicable to "major additions." Any proposed garage or accessory building which is to have a common wall with or attachment to the main residence should also be reviewed in accordance with the Guidelines applicable to "major additions."

Gazebos and other garden structures should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

**Montgomery County Code; Chapter 24A-8:**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner

compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Overall, staff finds the application is in keeping with the applicable guidelines. The applicants are planning a lot of rehabilitation work to the deteriorated historic garage including repairing the clay tile roof and the stucco. Replacement of the damaged garage doors with new doors to match is a reasonable solution if they cannot be repaired so that the appearance from the street remains unchanged. The removal of the east side window and the installation of doors on the yard-side of the garage to provide access to the new patio are changes that will not be visible. The new patio and pergola are in the back yard behind the historic house and the recent rear addition and only a small section of the pergola will be slightly visible from the street. The driveway material change is compatible with the historic district and does not increase the driveway size.

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall **present the 3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 POLKVILLE PIKE 2ND FLOOR POLKVILLE MD 21122  
202-777-2700

DPS - #8

**HISTORIC PRESERVATION COMMISSION  
301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: ORLI PEREZ  
Daytime Phone No.: 240 671 4060

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: CHRISTOPHER & CAROLINE LANDAU Daytime Phone No.: \_\_\_\_\_  
Address: 27 Quincy St Chevy Chase MD 20815  
Street Number City Street Zip Code  
Contractor: Denning Construction Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: ORLI PEREZ Daytime Phone No.: 240 671 4060

**LOCATION OF BUILDING/PREMISE**

House Number: 27 Street: Quincy St.  
Town/City: Chevy Chase Nearest Cross Street: \_\_\_\_\_  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: patio

1B. Construction cost estimate: \$ 15,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Orli Perez Signature of owner or authorized agent 4/28/10 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 536440 Date Filed: 4/28/2010 Date Issued: \_\_\_\_\_



HUTCHINSON+ASSOCIATES, L.L.C.  
ARCHITECT  
11820 PARKLAWN DRIVE, ROCKVILLE MD 20852-2529  
TEL 301-770-9680 FAX 301-770-9163

11 May 2010

Ms. Anne Fothergill  
Planner Coordinator  
Urban Design and Preservation Division  
Montgomery County Planning Department  
1400 Spring Street, Suite 500  
Silver Spring, MD 20910

Re: 27 Quincy Street, Chevy Chase, MD 20815  
Garage Renovation  
Condition of Existing Garage Door

The existing garage door of the above project is damaged beyond repair. This door is extremely heavy and very weak since it has been damaged by termites and rot. It is currently held together by metal straps and cable. The existing mechanism swings the one piece door vertically, and takes great strength to operate. In its current condition the door and it's mechanism present a serious safety hazard.

Our proposed solution is to duplicate the door and divide it into three sections. Two sections on the left will swing open and the right section shall remain fixed. The front elevation shall be as it appears now and the door can operate in a manner that is safe for the children to be around. We have included photographs for your use.

Sincerely,

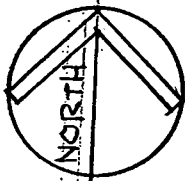
Bruce Hutchinson, AIA

LOT 24

LOT 25

EAST 80'

0.1 LINE (±) EXISTING STUCCO GARAGE 0.35' LY (±)

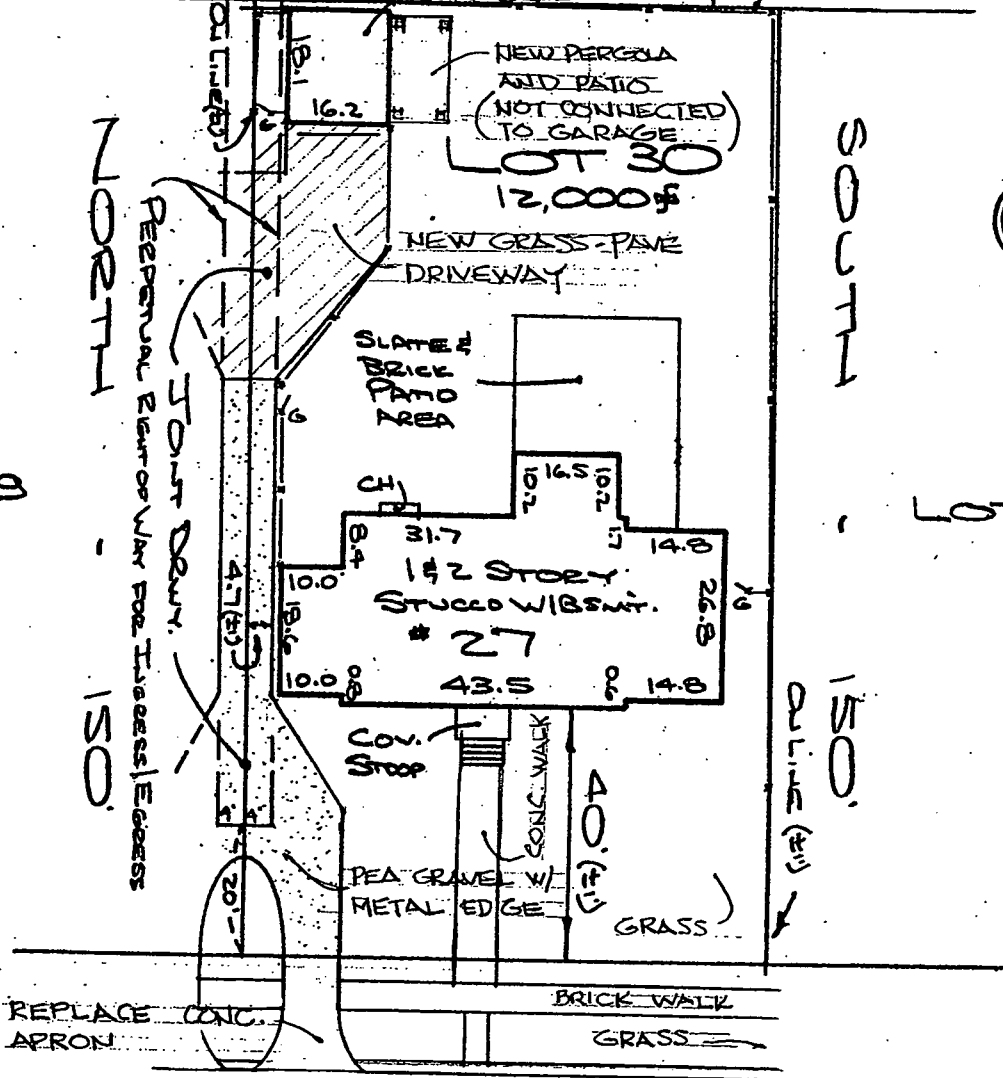


NORTH  
150'  
PERPETUAL EASEMENT FOR TRAILER EGRESS

LOT 29

(6)

LOT 31



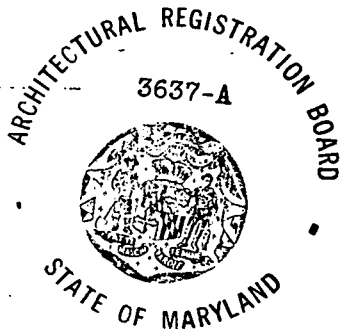
WEST 80'

QUINCY STREET

SITE PLAN

1" = 30'

LANDEAU RESIDENCE  
27 QUINCY STREET  
CHEVY CHASE, MD. 20815



*Bruce Hullmann*

(6)

HUTCHINSON + ASSOCIATES, L.L.C.

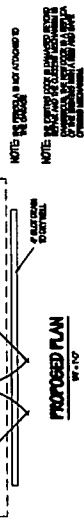
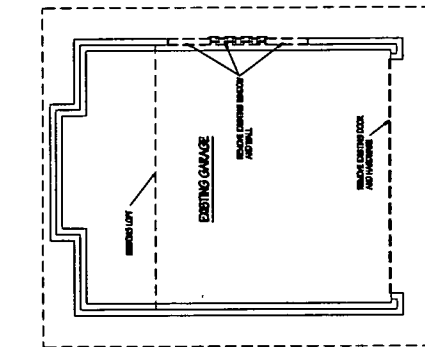
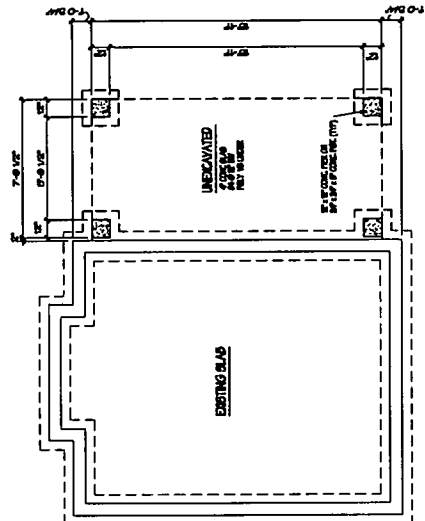
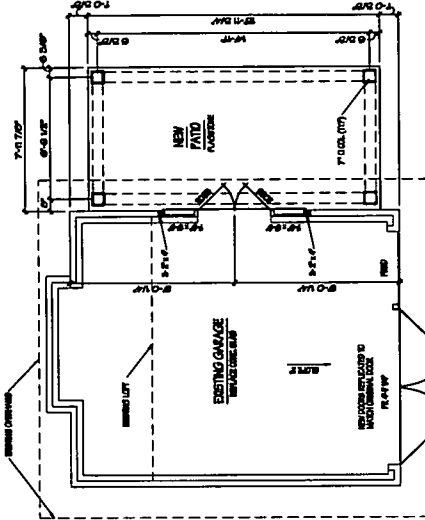
11820 PASCADAW DRIVE (S. 100)  
 ROCKVILLE, MD. 20852  
 PHONE: (301) 770-9960 FAX: (301) 770-9163

DATE	1-10-10
LOT NO.	
BLOCK	
CHECKED BY	
DRAWN BY	

LANDEAU RESIDENCE

27 QUINN STREET  
 CRYSTAL CITY, MD 20815

SHEET NO. 1



- ELECTRIC SYMBOLS**
- TELEPHONE
  - TELEVISION
  - OUTLET
  - LIGHT FIXTURE
  - SMOKE DETECTOR
  - GROUND FAULT
  - WATERPROOF OUTLET
  - EXTRINSICAL FIXTURE
  - RECESSED FIXTURE
  - SWITCH
  - PANEL & CONDUIT
  - SMOKE OUTLET
  - 220V OUTLET
  - FLOOR OUTLET
  - WATERPROOF FIXTURE
  - TRACT LIGHTING
  - UNDER THE COUNTER
  - COMPUTER
  - CARBON MONOXIDE DETECTOR
  - PERIMETER LIGHT
  - SMALL RECESSED FIXTURE
  - SCENE
  - PLACED LIGHTS

**PROFESSIONAL CERTIFICATION**

I hereby certify that these documents were prepared or approved by me or under my direct supervision and that I am a duly licensed Professional Architect in the State of Maryland. My license number is 3837-4. Expiration Date 3-12-2012.

NOTE: All heights and dimensions to be 5/16" unless noted otherwise.

NOTE: All wall heights and dimensions to be 5/16" unless noted otherwise.

Contractor to check and verify all dimensions and conditions prior to start of construction.

NOTY ABSENT OF ANY DISCREPANCIES.

2

# LANDEAU RESIDENCE

27 QUINCY STREET  
CHERRY CREEK, MD 20815

JOB NAME:

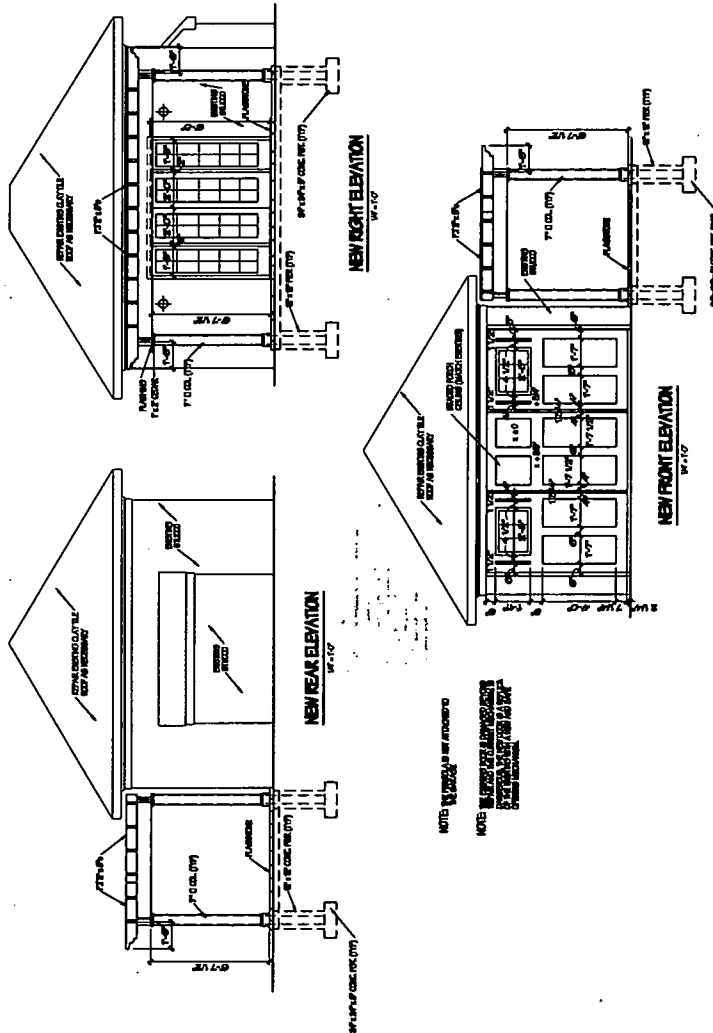
# HUTCHINSON + ASSOCIATES, L.L.C.

11820 PARKWAY DRIVE (S. 100)  
ROCKVILLE, MD 20858  
PHONE: (301) 770-9600 FAX: (301) 770-9165

DATE	DESCRIPTION
12-10-10	DRWN BY
12-10-10	CHECKED BY
12-10-10	DATE

NOTES: All interior wall dimensions to be 3/16" unless noted otherwise.  
 NOTE: All wall angles to be 90 OR 45 degrees unless noted otherwise.  
 Contractor to check and verify all dimensions and conditions in field before construction.  
 NOTY ARCHITECTS OF ANY DISCREPANCIES.

**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Architect under the laws of the State of Maryland.  
 License # 3657-A  
 Expiration Date 3-12-2012



NOTES TO CONTRACTOR:  
 1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.  
 2. VERIFY ALL CONDITIONS IN FIELD BEFORE CONSTRUCTION.

HUTCHINSON + ASSOCIATES, L.L.C.  
 11820 PARKWAY DRIVE (S. 100)  
 ROCKVILLE, MD. 20852  
 PHONE (301) 770-8650 FAX (301) 770-8165

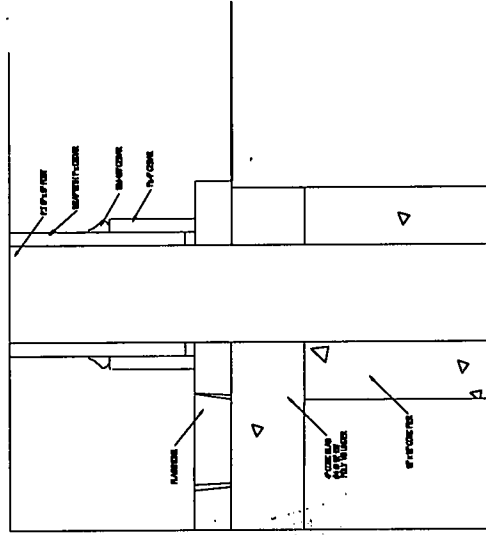
DATE:	1-9-10
BLOCK:	
LOT NO.:	
CHECKED BY:	
DRAWN BY:	

LANDFAU RESIDENCE  
 27 QUINCY STREET  
 CERRY CHASE, MD 20815

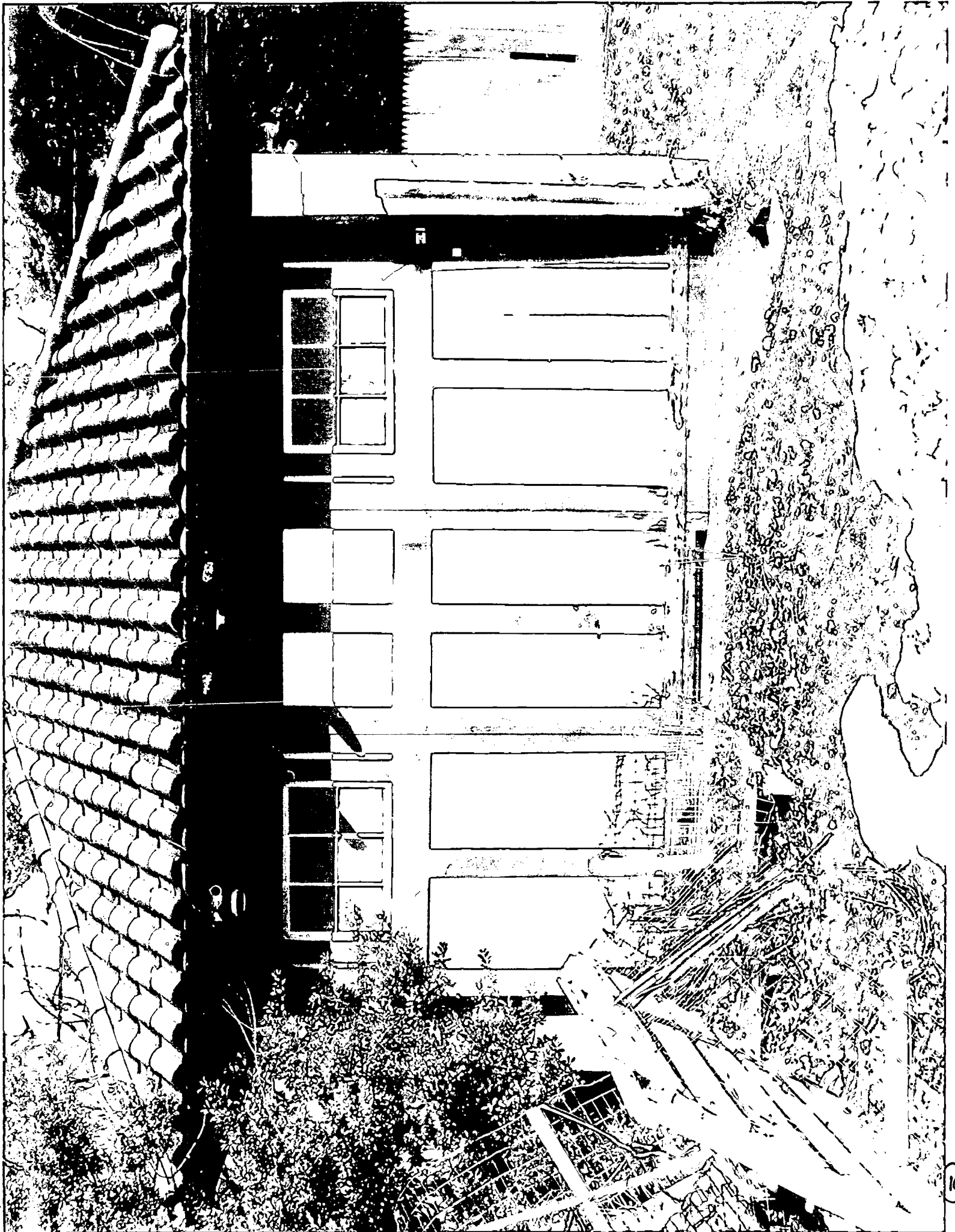
SHEET NO. 3

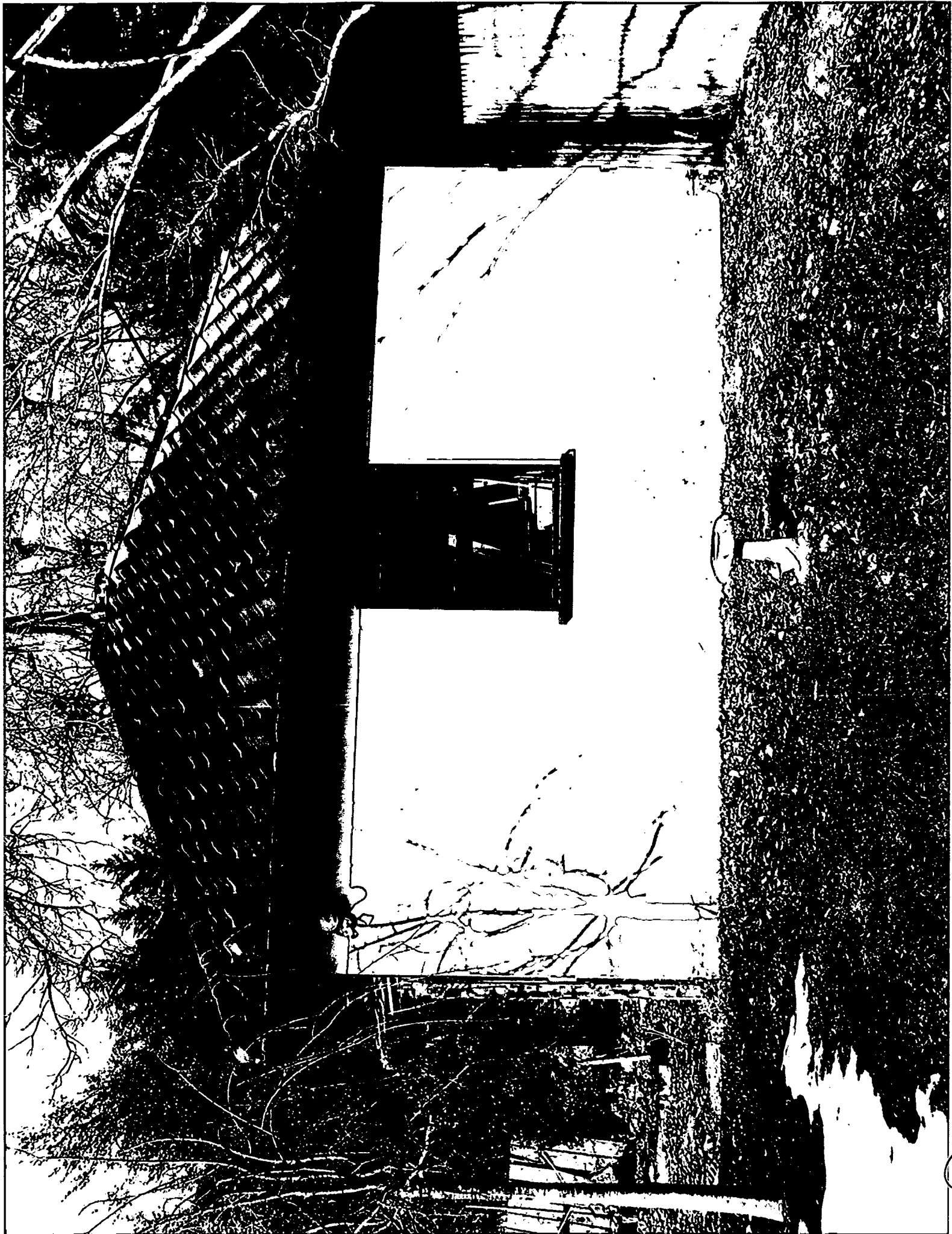
NOTE: All interior wall dimensions to be 3/4" greater than shown.  
 NOTE: All wall widths to be 20" OR AS SHOWN UNLESS NOTED OTHERWISE.  
 Contractor to check and verify all dimensions and conditions in field. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

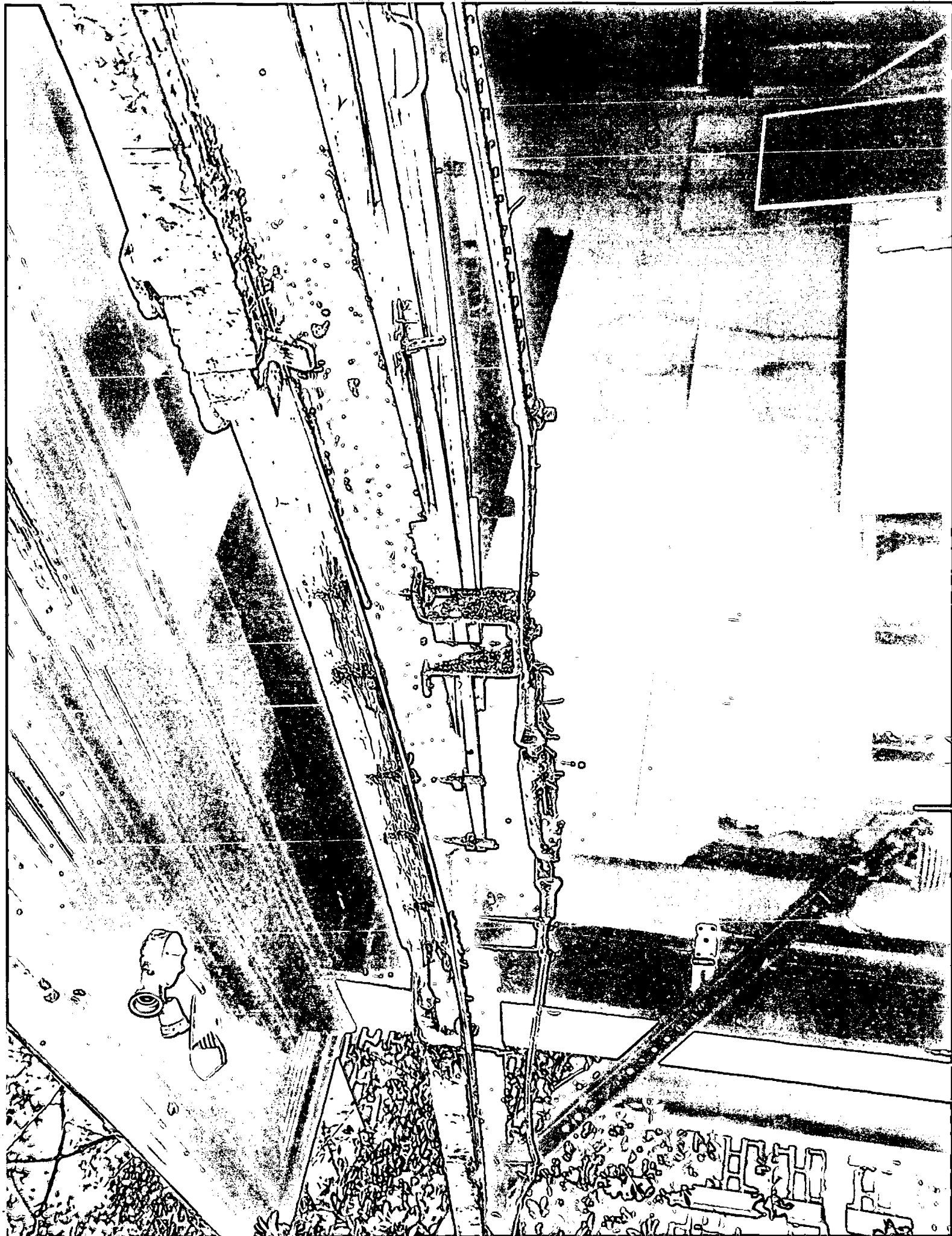
**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Architect under the laws of the State of Maryland.  
 License # 3037-4  
 Expiration Date 3-12-2012



POST BASE DETAIL  
 1-9-10



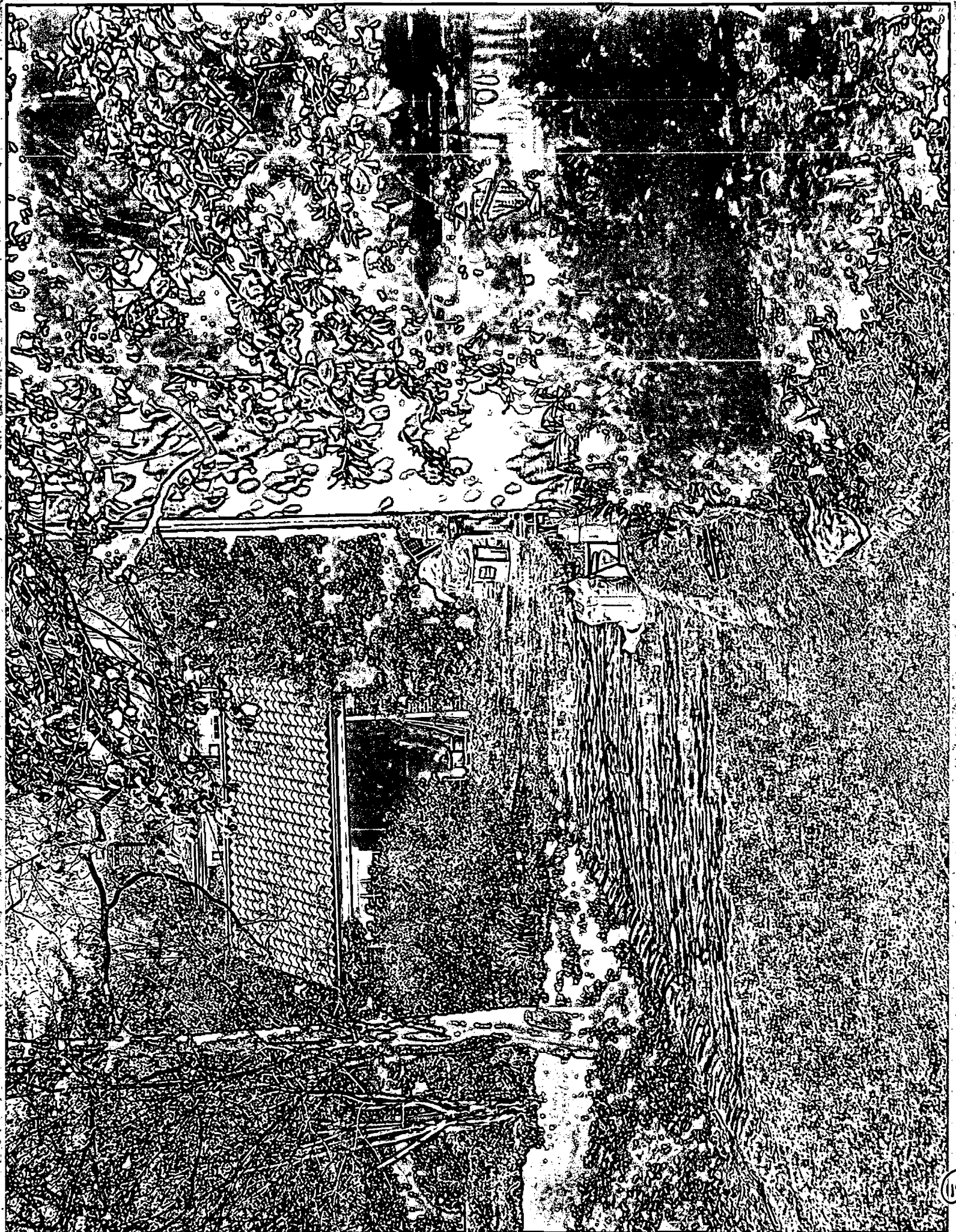






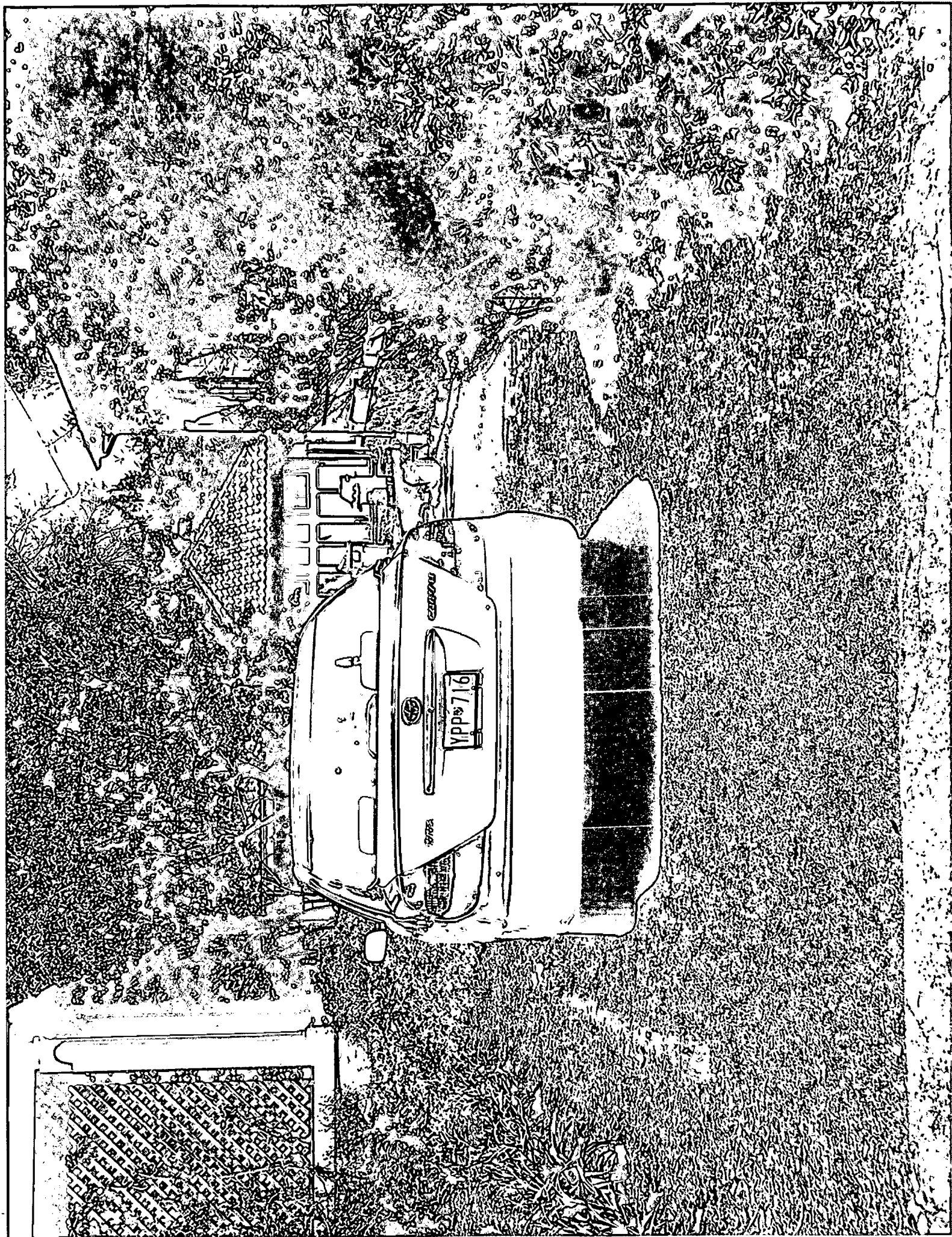














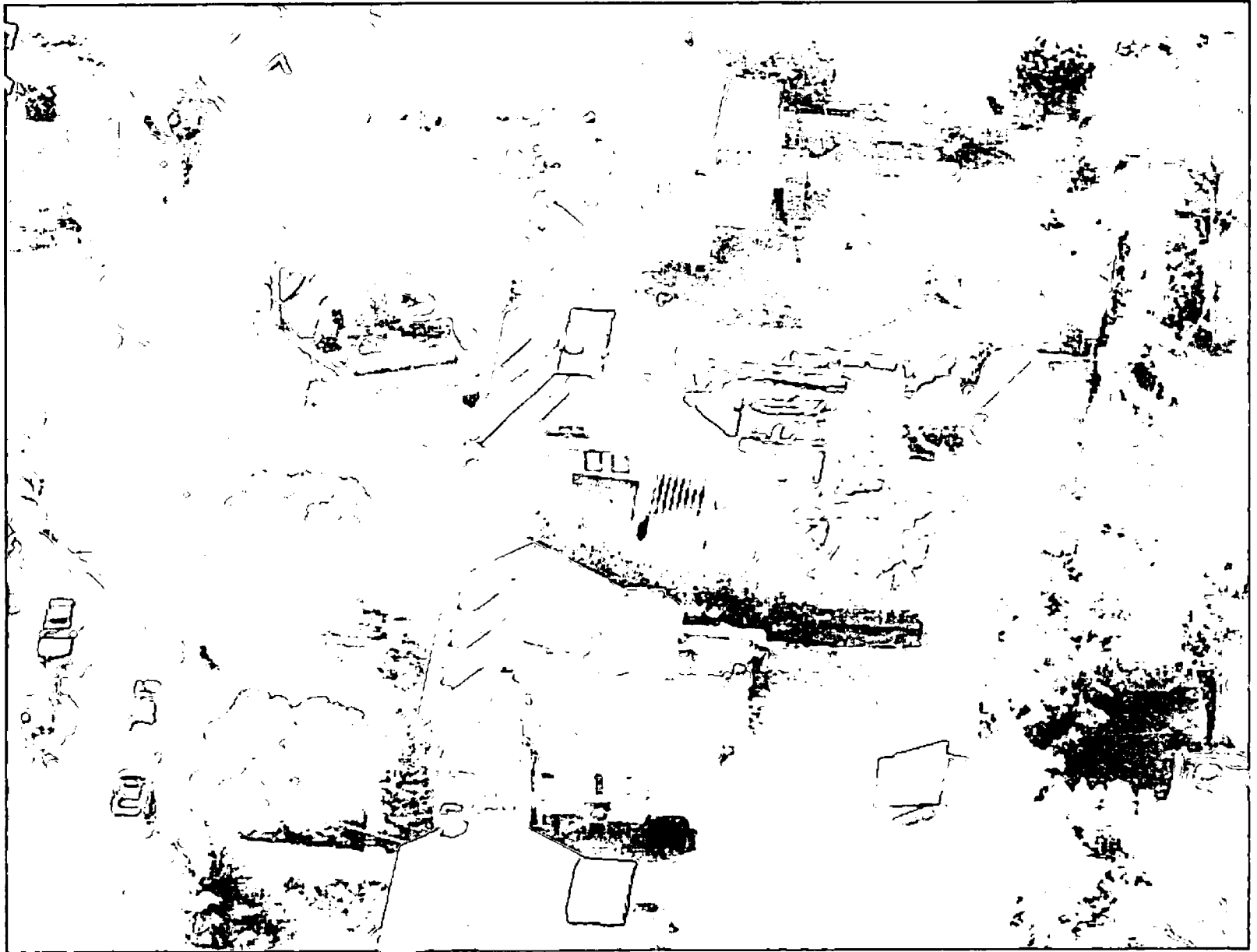








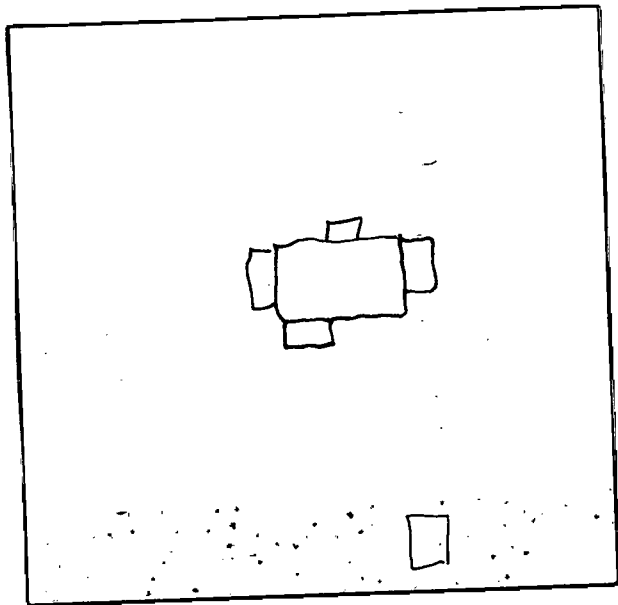
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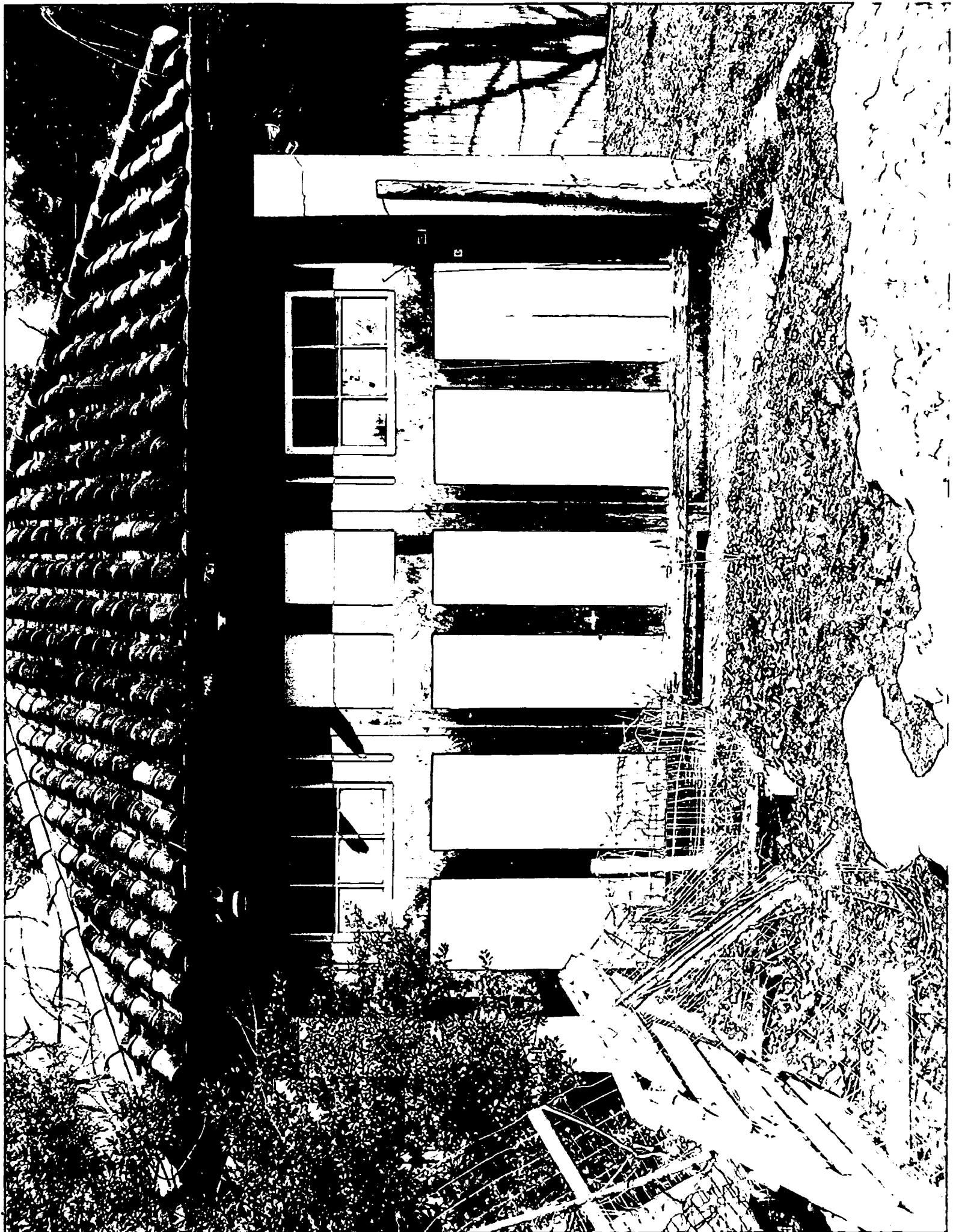


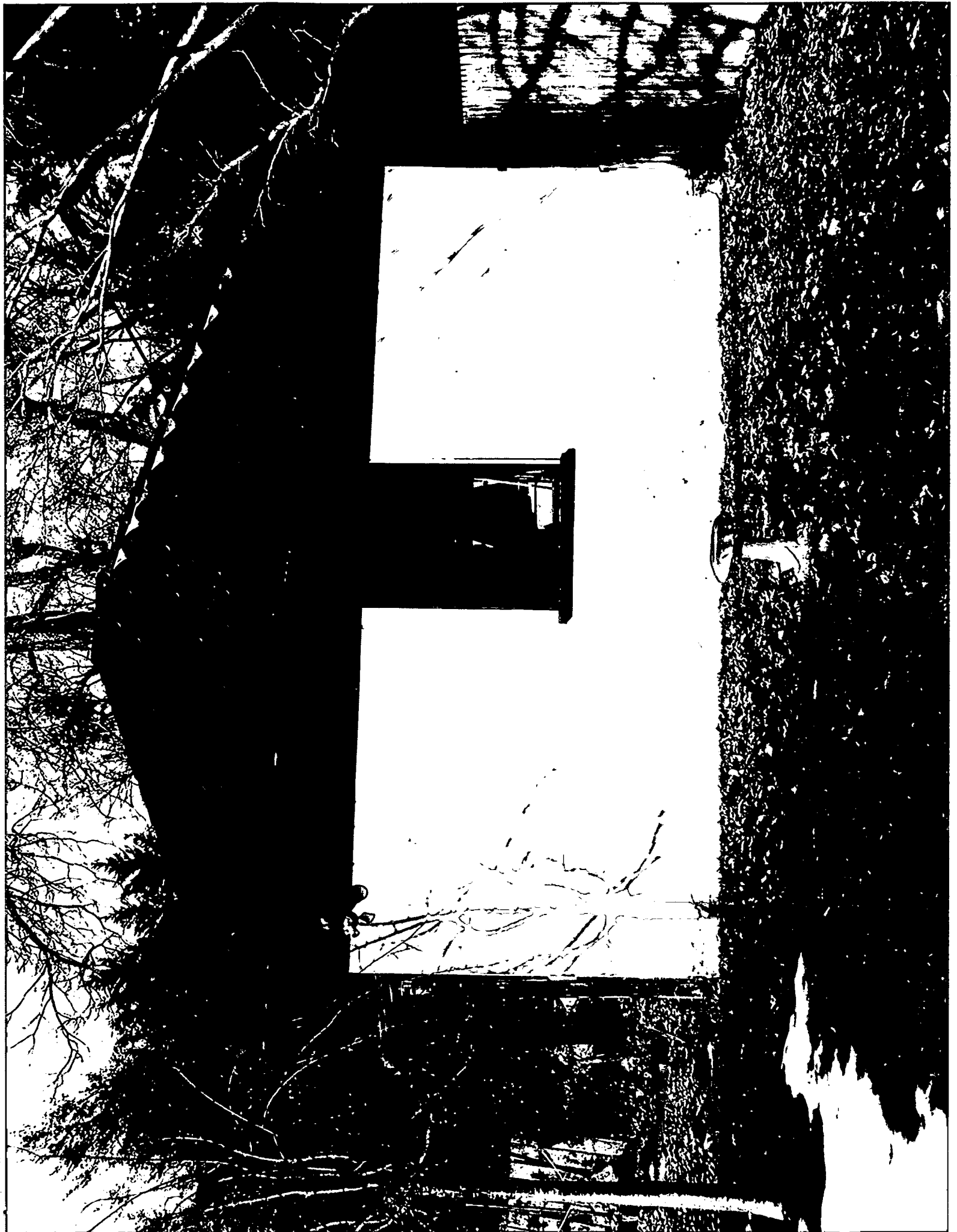
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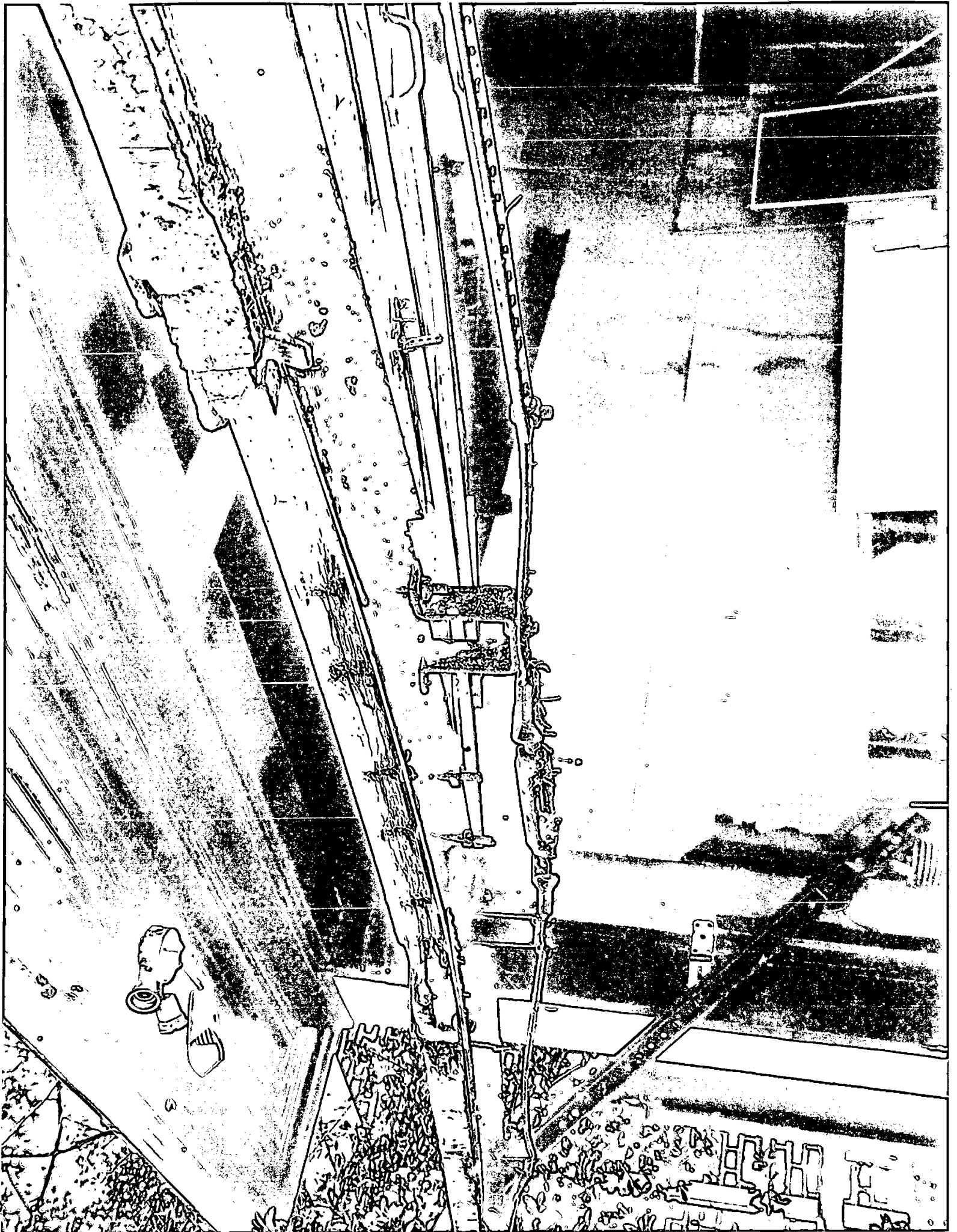


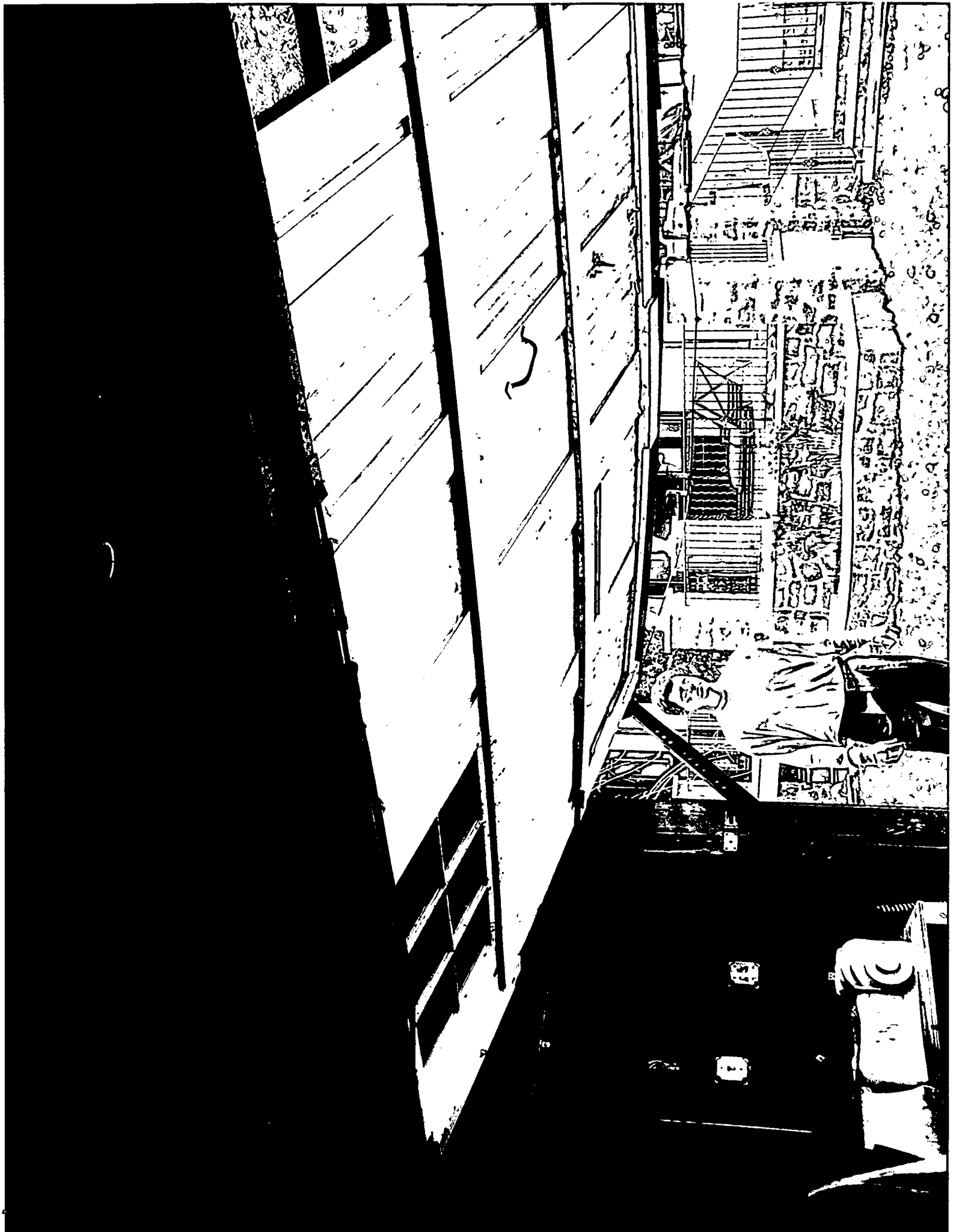


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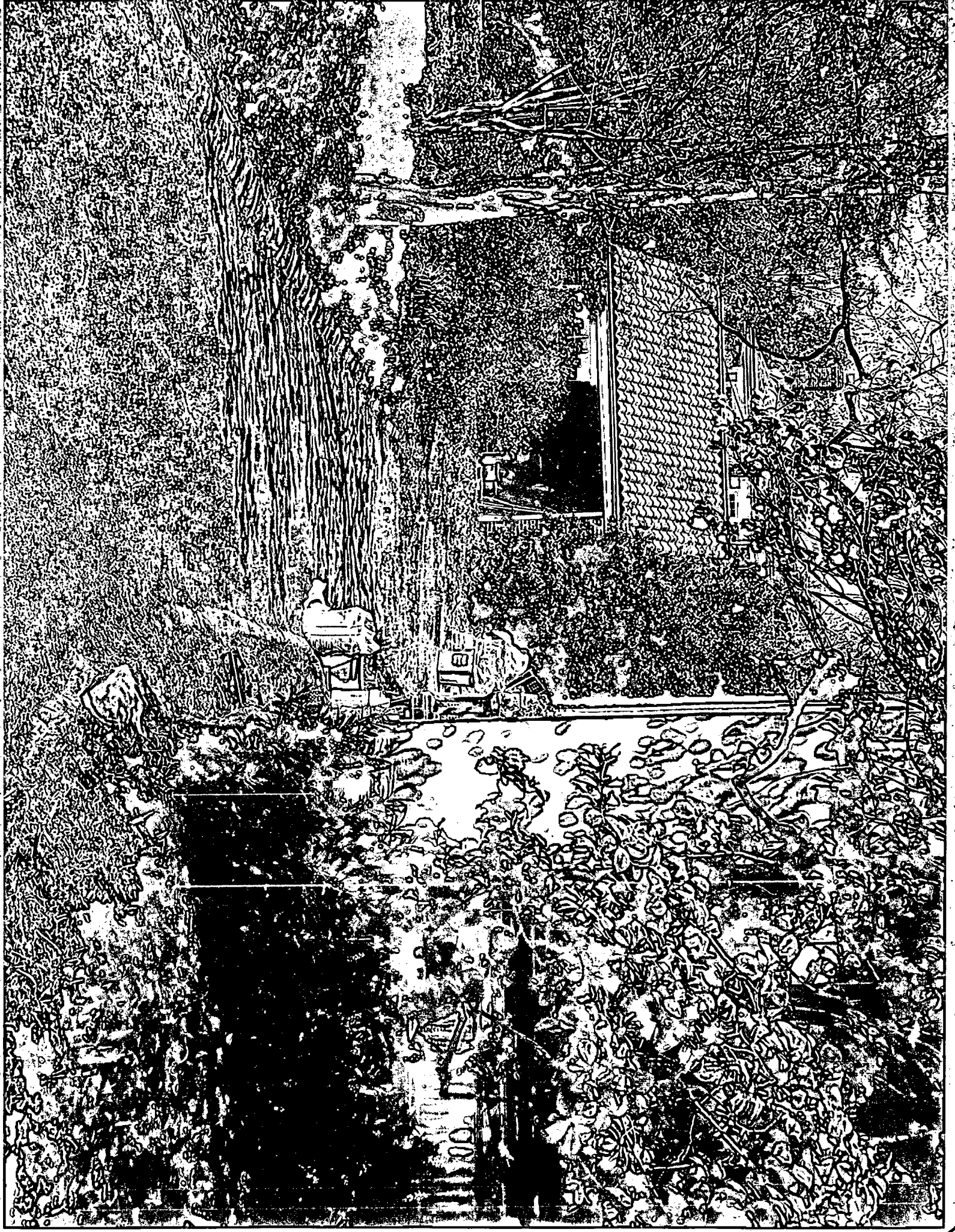


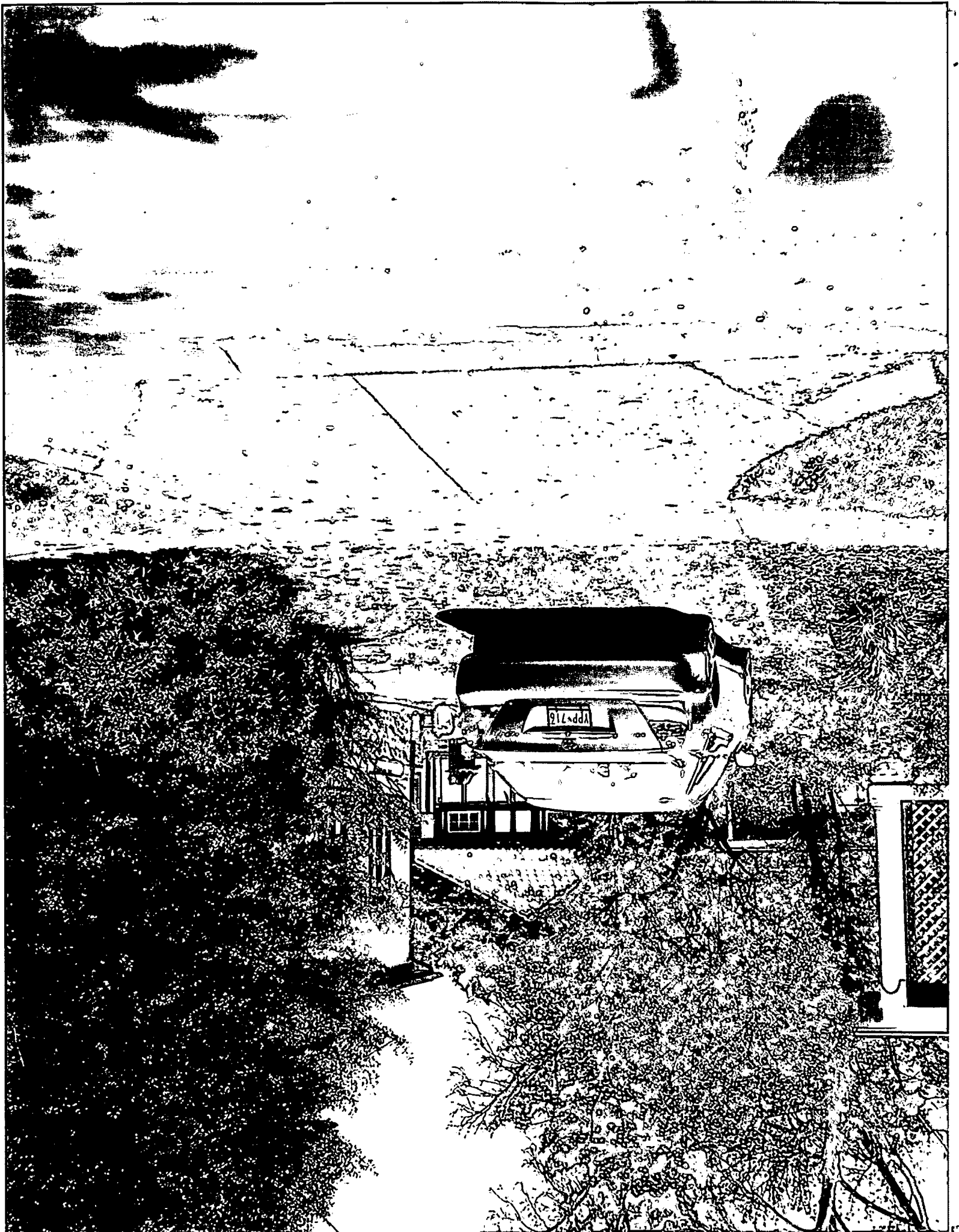




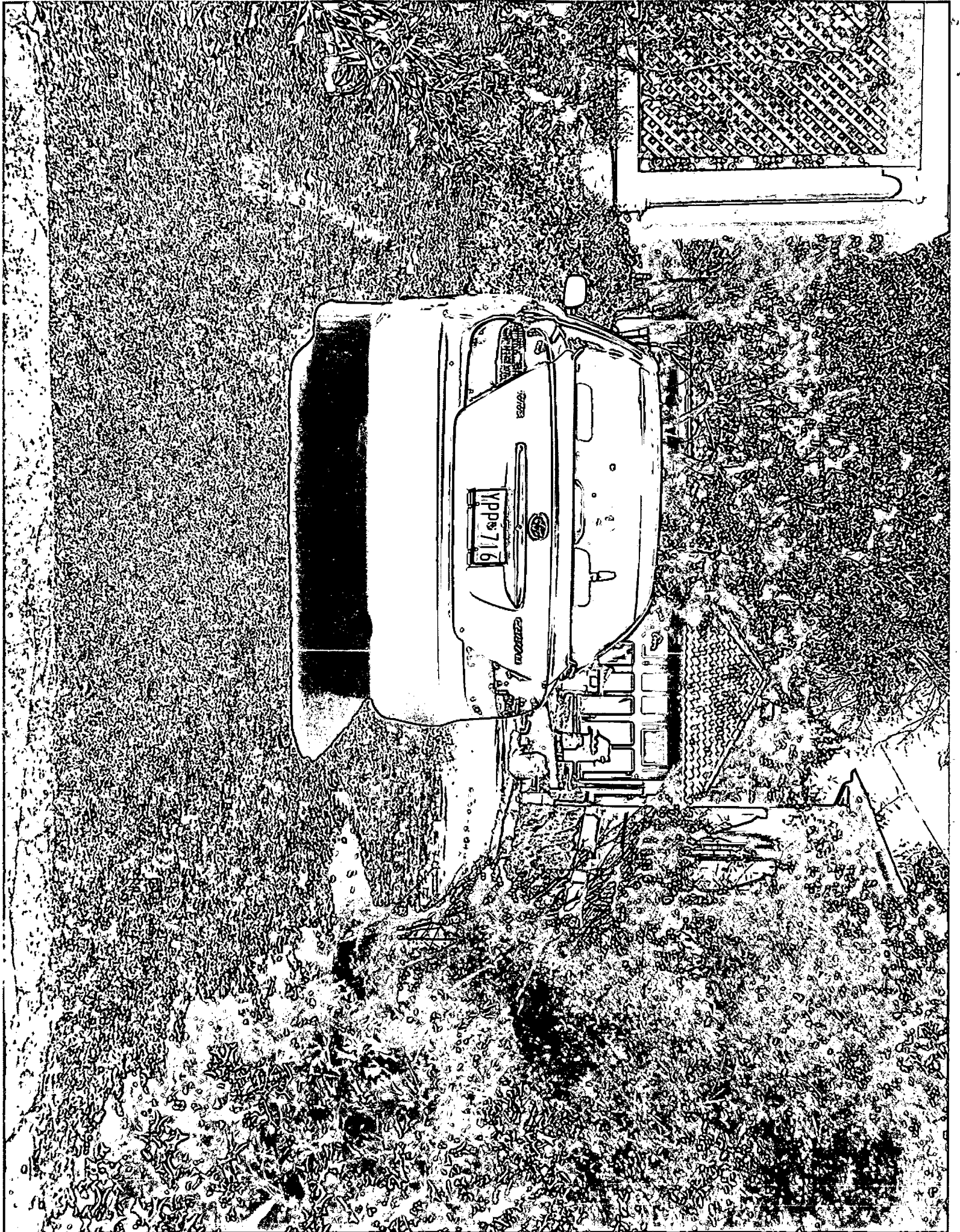


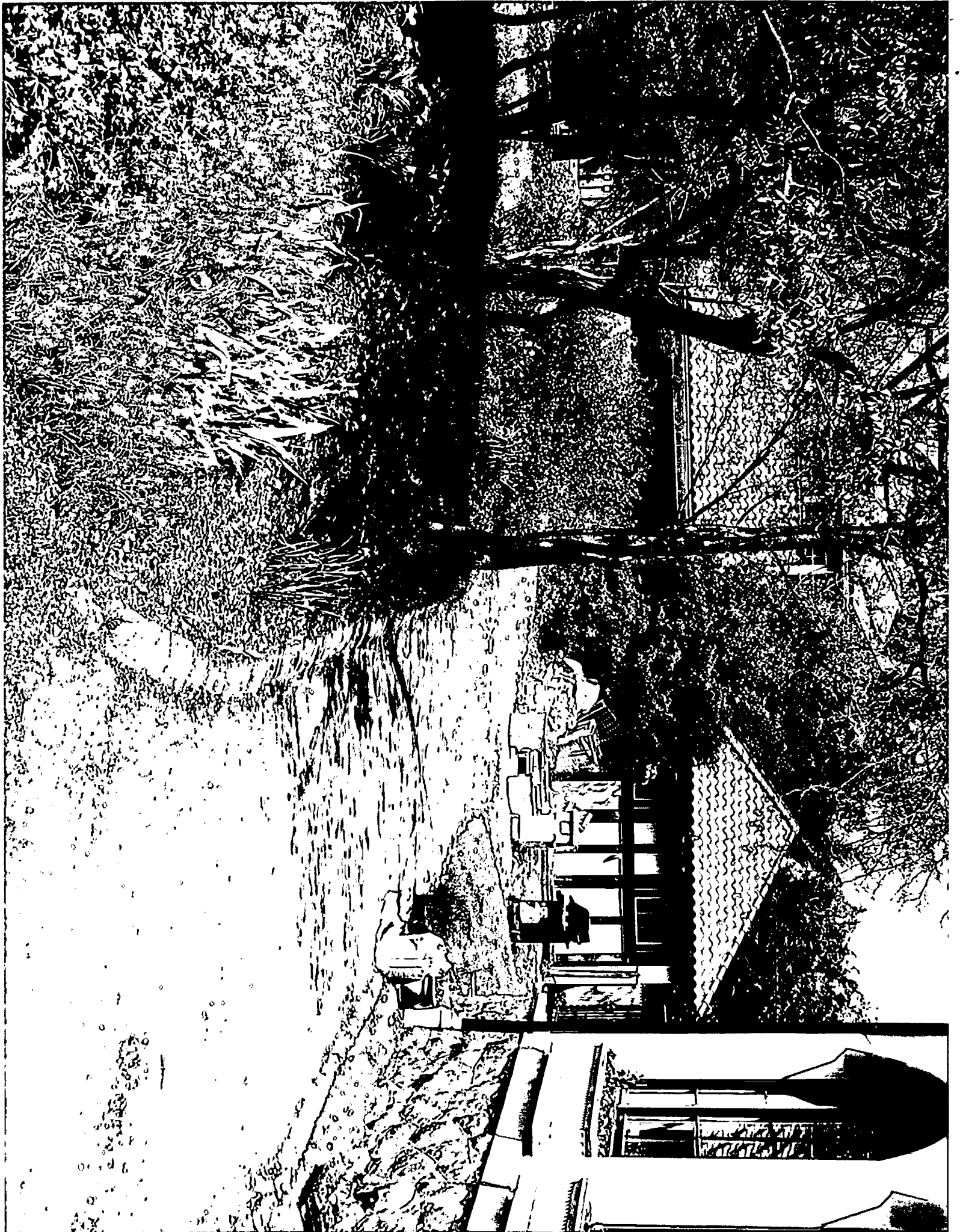








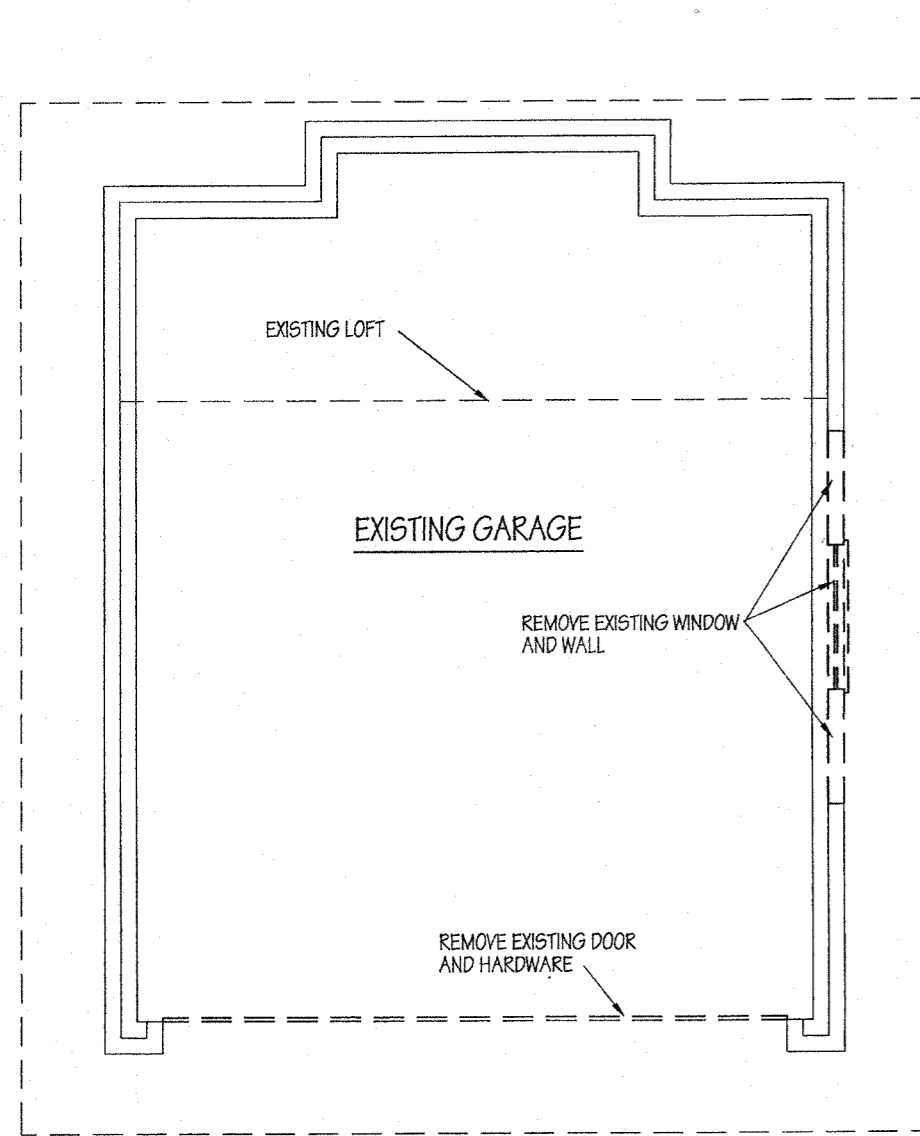




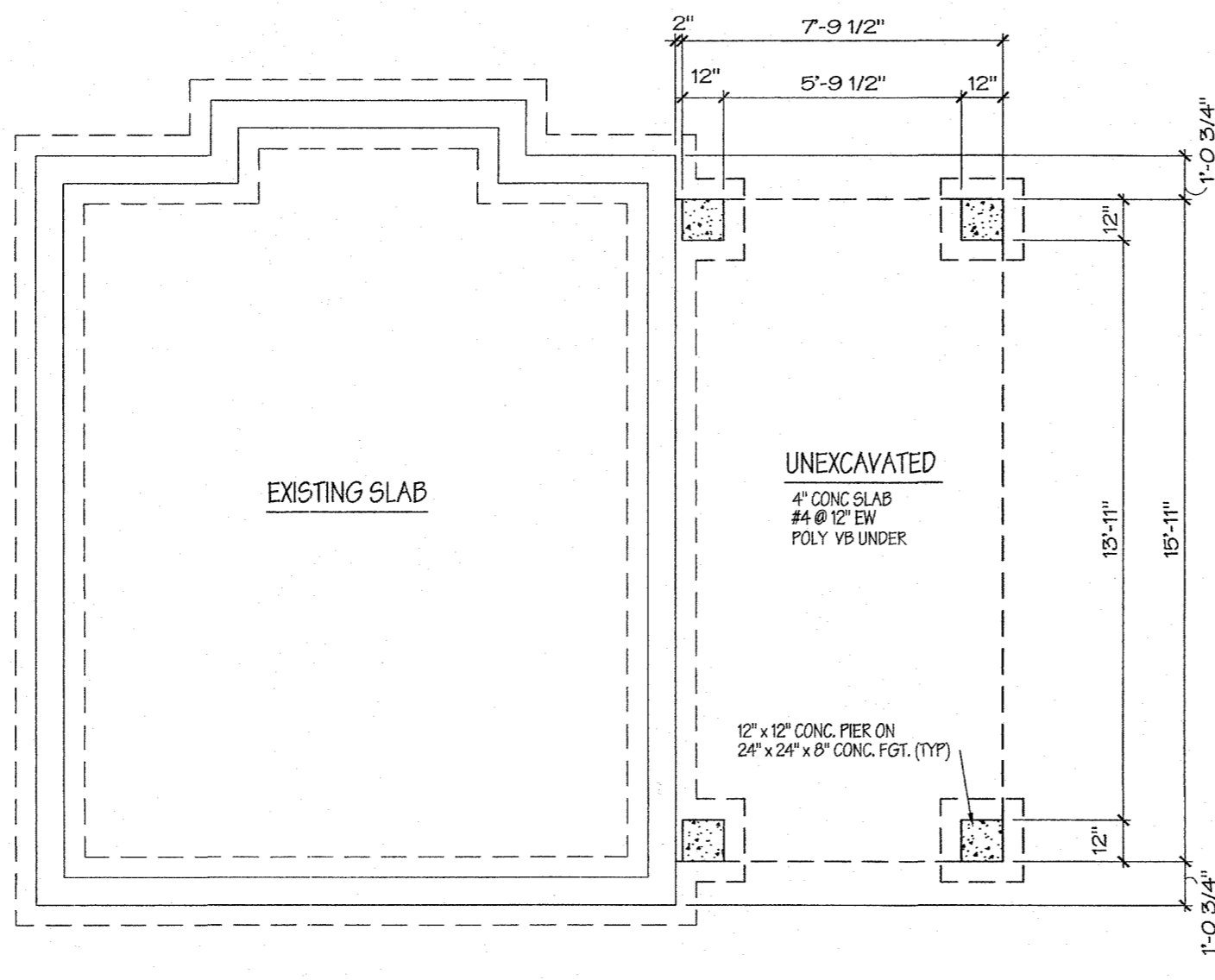




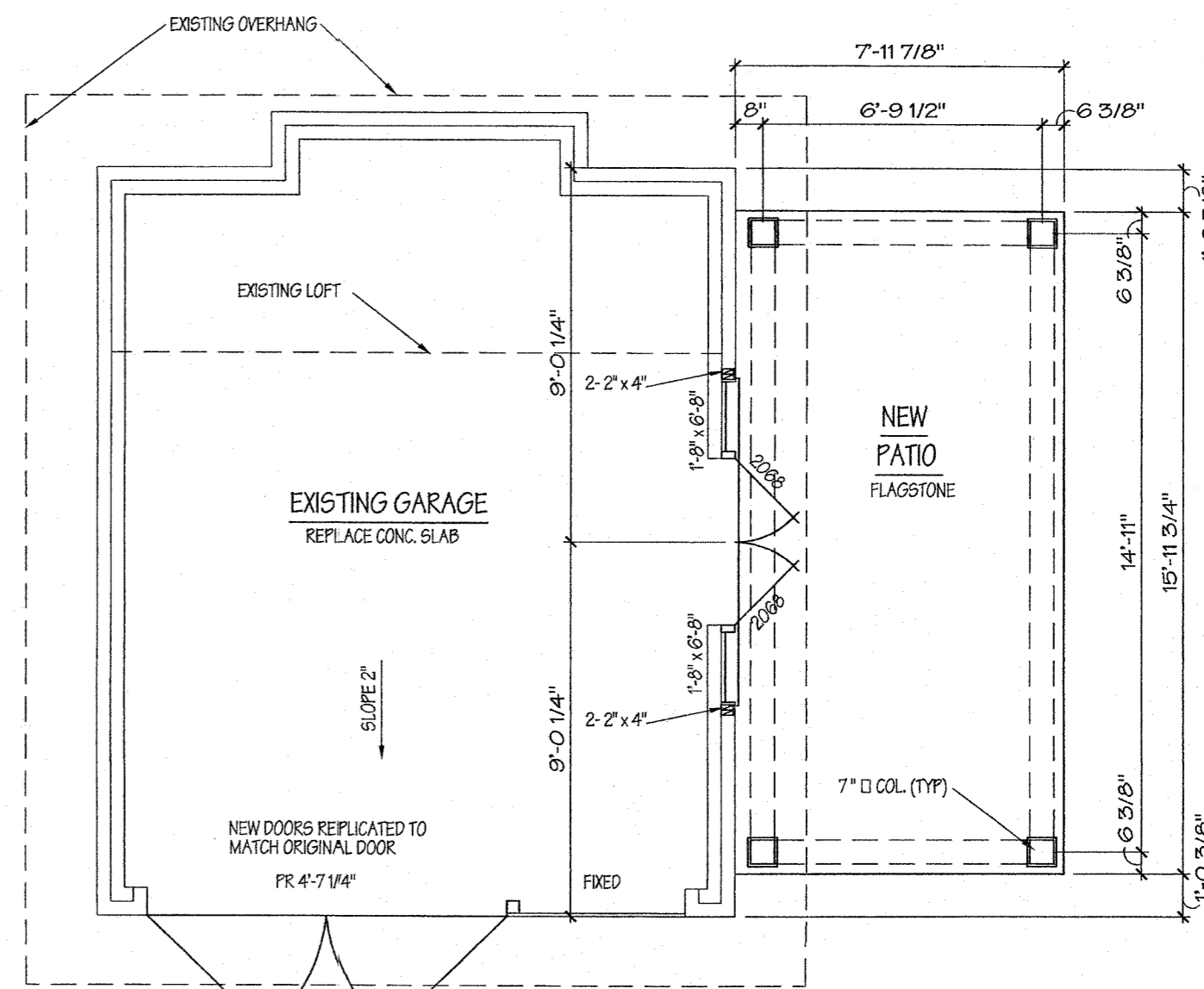




**FIRST FLOOR DEMO**  
1/4" = 1'-0"



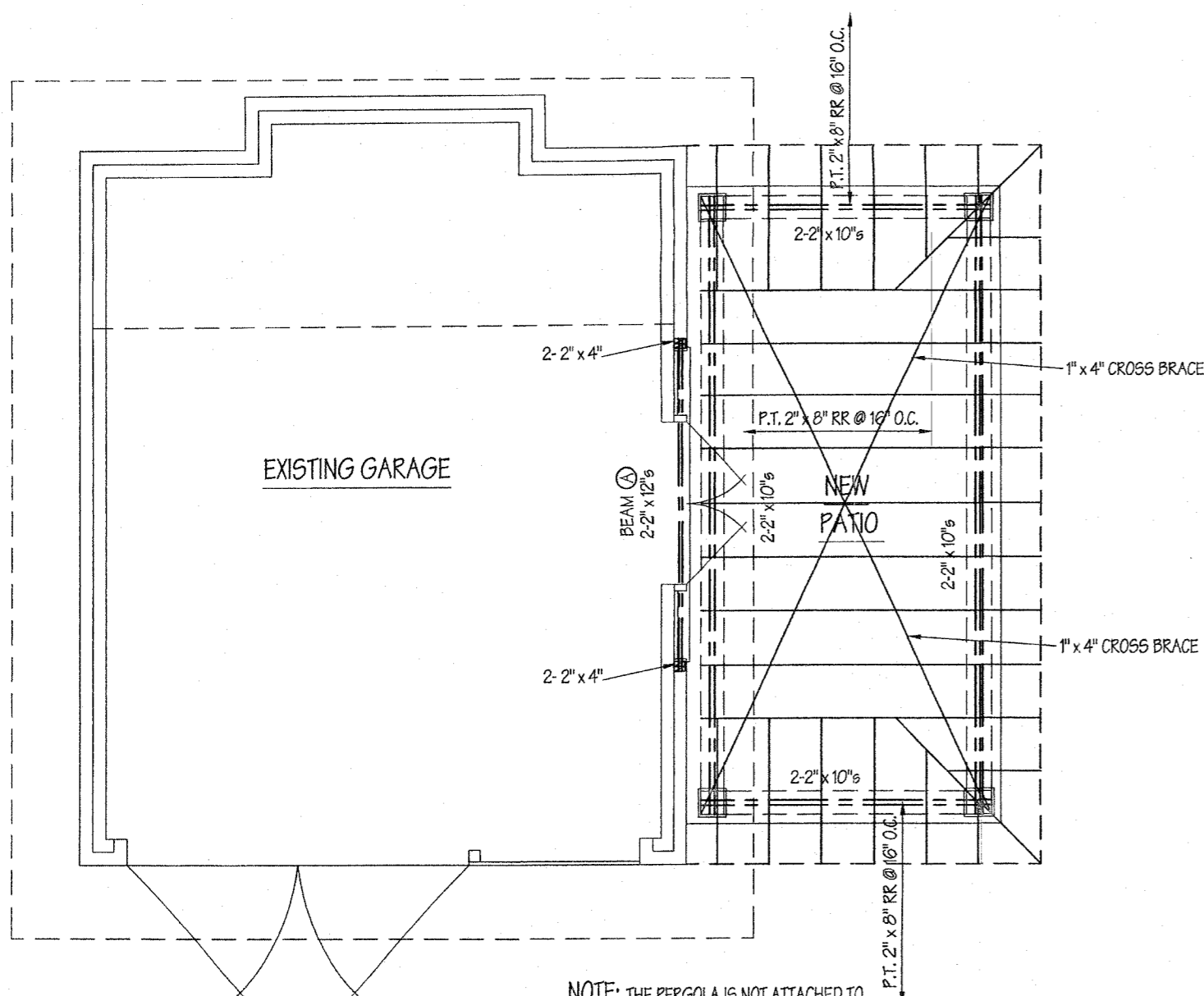
**PROPOSED FOUNDATION**  
1/4" = 1'-0"



**PROPOSED PLAN**  
1/4" = 1'-0"

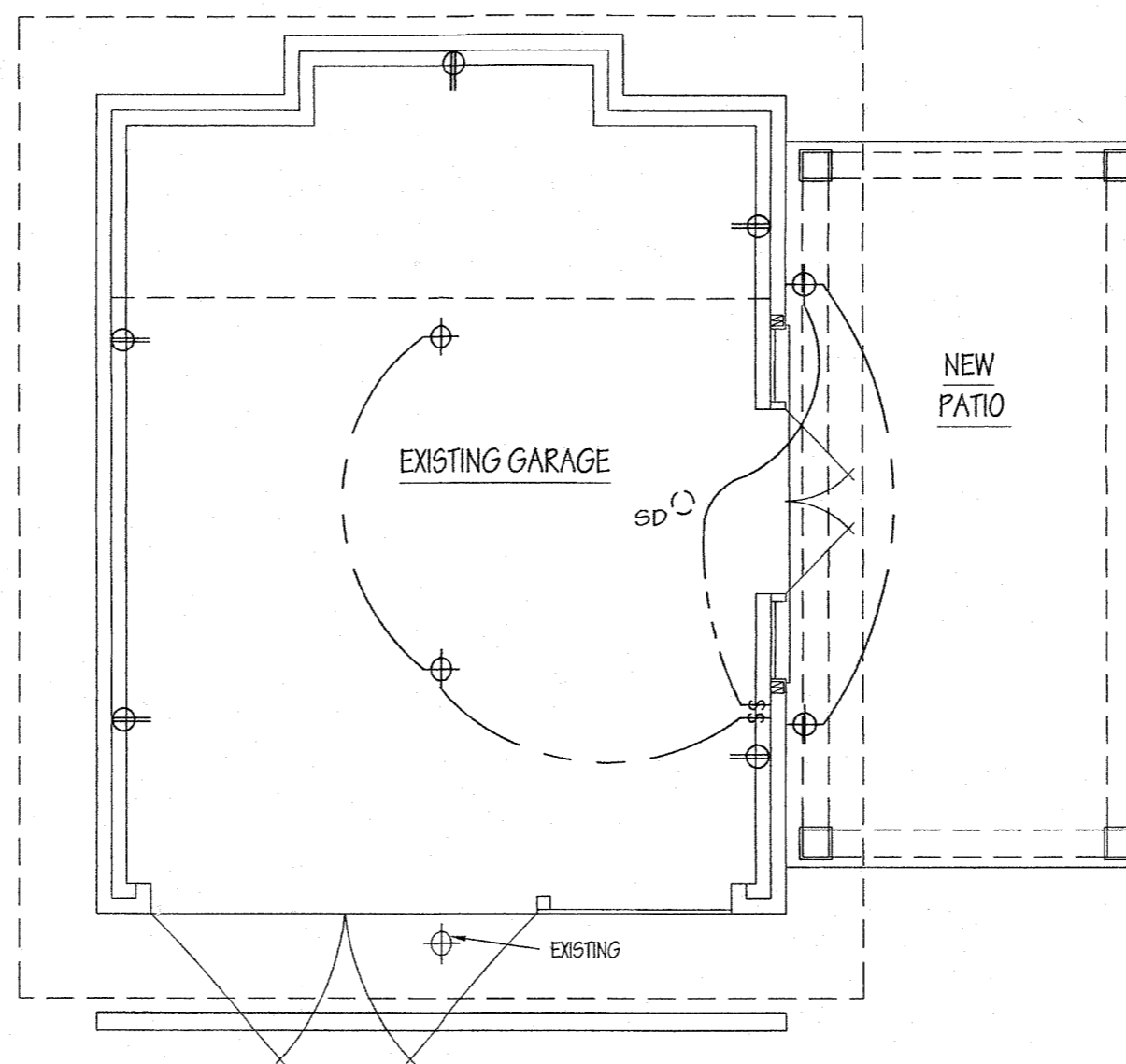
NOTE: THE PERGOLA IS NOT ATTACHED TO THE GARAGE

NOTE: THE EXISTING DOOR IS DAMAGED BEYOND REPAIR AND THE CURRENT MECHANISM IS DANGEROUS. THE NEW DOOR IS A REPLICA OF THE EXISTING WITH A NEW AND SAFE OPENING MECHANISM.



**PROPOSED FRAMING PLAN**  
1/4" = 1'-0"

NOTE: THE PERGOLA IS NOT ATTACHED TO THE GARAGE



**PROPOSED ELECTRICAL PLAN**  
1/4" = 1'-0"

**ELECTRIC SYMBOLS**

- |                 |                   |                       |                        |
|-----------------|-------------------|-----------------------|------------------------|
| TEL             | TELEPHONE         | 220                   | 220 OUTLET             |
| TV              | TELEVISION        | FAN & LT              | FAN & LT               |
| OUTLET          | OUTLET            | FLOOR OUTLET          | FLOOR OUTLET           |
| LIGHT FIXTURE   | LIGHT FIXTURE     | WP                    | WATERPROOF FIXTURE     |
| SMOKE DETECTOR  | SMOKE DETECTOR    | TRACT LIGHTING        | TRACT LIGHTING         |
| GFI             | GROUND FAULT      | UNDER THE COUNTER     | UNDER THE COUNTER      |
| WP              | WATERPROOF OUTLET | COMPUTER              | COMPUTER               |
| EYEBALL FIXTURE | EYEBALL FIXTURE   | CARBONMOXIDE DETECTOR | CARBONMOXIDE DETECTOR  |
| R               | RECESSED FIXTURE  | P                     | PENDANT LIGHT          |
| FAN             | FAN               | SR                    | SMALL RECESSED FIXTURE |
| SWITCH          | SWITCH            | S                     | SCONCE                 |
| FAN & LT COMBO  | FAN & LT COMBO    | FL                    | FLOOD LIGHTS           |
| 220 OUTLET      | 220 OUTLET        |                       |                        |

NOTE: All interior wall dimensions to be 3 1/2" unless noted otherwise.

NOTE: All wall angles to be 90 OR 45 degrees unless noted otherwise.

Contractor to check and verify all dimensions and conditions in field prior to start of construction. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

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11820 PARKLAWN DRIVE (S. 100)  
ROCKVILLE, MD. 20852  
PHONE: (301) 770-9680 FAX: (301) 770-9163

DATES:	3-29-10	BLOCK	
	4-7-10	LOT NO.	
	4-23-10	DRAWN BY:	
		CHECKED BY:	

**JOB NAME:**  
**LANDEAU RESIDENCE**  
27 QUINCY STREET  
CHEVY CHASE, MD 20815

**SHEET NO.**  
**1**

# LANDEAU RESIDENCE

27 QUINCY STREET  
CHEVY CHASE, MD 20815

## GENERAL NOTES

GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM					WINTER DESIGN TEMP	ICE SHEILD UNDER- LAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			Weathering	Foot line depth	Termite	Decay	Slight to Moderate					
30	90	B	Severe	24	Moderate to Heavy	Slight to Moderate	13	Yes	7-2-79	300	55	

1) All construction to be in conformance with I.R.C., one and two family dwelling code, 2006 edition & all MONTGOMERY COUNTY additions and revisions thereto.

2) Design live loads:  
 - Sleeping room load .. 30 p.s.f.  
 - Floor load ..... 40 p.s.f.  
 - Roof load ..... 30 p.s.f.  
 - Deck load ..... 60 p.s.f.  
 - Garage load ..... 50 p.s.f.

3) Soil bearing to be 2000 p.s.f. minimum.

4) Design wind load 90 mph

5) Bottom of all concrete footings to be 24" minimum below finished grade.

6) Foundation walls shall comply to I.R.C. Sec. R-401. thru 404.

7) Foundation drainage shall comply to I.R.C. Sec. R-405.

8) Foundation waterproofing shall comply to I.R.C. Sec. R-406.

9) Attached Garages shall comply to I.R.C. Sec. R-309.

10) Concrete floors shall comply to I.R.C. Sec. R-506.

11) All concrete to be 150 p.c.f. and conform to the latest A.C.I. 318 specifications. Porches, garages, slabs and steps exposed to weather, to be 3500 p.s.i. air entrained concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 p.s.i. air entrained concrete. All other concrete to be 3000 p.s.i.

12) All c.m.u. used in basement and foundation walls shall be load bearing units conforming to A.S.T.M. C 90-70 for hollow units. At wood post and wood beam bearing locations on c.m.u. wall cells shall be filled solid with grout or mortar for top two course minimum.

13) All c.m.u. walls shall have standard truss type DUR-O-WALL bed joint reinforcing at maximum 16" vertical spacing.

14) All brick units used in exterior shall conform to A.S.T.M. C 62 or A.S.T.M. C 216

- 15) All mortar shall be type "S" conforming to A.S.T.M. C 270-82.
- 16) Stone and masonry veneer shall conform to I.R.C. Sec. R-703.7.
- 17) Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced c.m.u. walls are braced against overturning.
- 18) Maximum allowable lateral pressure on basement walls 30 p.s.f.
- 19) All reinforcing steel to be grade 60 and conform to A.S.T.M. Spec. A 615. Unless otherwise noted.
- 20) Steel post cap plates to conform to A.S.T.M. Spec. A 36, Fy = 36,000 p.s.i. Bolts shall be A.S.T.M. A 307 or better.
- 21) Steel columns in basement to be adjustable 3" I.D. S40 columns unless specified otherwise.
- 22) All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by The National Forest Products Association. Framing lumber shall be of the following grades or better:

CLASSIFICATION	SIZE	BENDING Fb	MODULUS OF ELASTICITY "E"
POSTS #1 D.F.		1200	1600000
HEADERS, BEAMS, ROOF HIPPS #1 S.P.	2X4	1850	1700000
	2X6	1650	1700000
	2X8	1500	1700000
	2X10	1300	1700000
RAFTERS, JOISTS AND STUDS #2 H.F.	2X4	1000	1500000
	2X6	1000	1500000
	2X8	1000	1500000
Gang-Lam Beams (Fv = 285 PSI)	2X10	1000	1500000
	2X12	1000	1500000
	all	2600	2000000

- 23) All headers to be 2 - 2" x 12" unless specified otherwise.
- 24) Provide double jack studs at each end of headers and beams, 5'-0" and longer, unless noted otherwise.
- 25) Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0".

- 26) All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications.
- 27) Contractor to provide architect with shop drawings for all roof and floor trusses. Shop drawings to be provided to architect for approval prior to ordering trusses.
- 28) Provide solid blocking under all jack studs not bearing directly on joists or T.J.I.'s.
- 29) In those cases where floor trusses are not centered directly over the studs, splices of the top plate shall occur only over the studs.
- 30) Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty-five thousandths (0.045)" thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails.
- 31) Double beams, double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load.
- 32) Unless specified otherwise provide the following lintel over masonry openings:

BRICK: * UP TO	3'-0"	3 1/2" X 3 1/2" X 1/4"
5'-0"	3 1/2" X 4" X 1/4"	
8'-0"	3 1/2" X 5" X 5/16"	
9'-0"	3 1/2" X 6" X 5/16"	
STONE: UP TO	3'-0"	6" X 4" X 5/16"
5'-0"	6" X 6" X 5/16"	
8'-0"	6" X 6" X 3/8"	
9'-0"	6" X 8" X 7/16"	

\* Provide one angle per 4' of masonry thickness. All angles to have 4" bearing at each end.

- 33) All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or c.m.u. to be pressure treated.
- 34) All prefab fireplaces to be U.L. rated and installed according to manufacturers specifications.
- 35) Chimney and fireplace construction to be in accordance with I.R.C. Chapter 10 and fig. R-1003.1.

- 36) Fireplace hearth to project 20" from front of facing and 12" to side of opening.
- 37) Firestopping shall be provided according to I.R.C. Sec. R - 602.8. The integrity of all firestopping shall be maintained.
- 38) Draftstopping shall be provided according to I.R.C. Sec. R - 602.8.
- 39) Provide interconnected smoke detectors to protect all floors, bedrooms, and basement according to I.R.C. Sec. R-317.
- 40) Stairways shall comply with I.R.C. Sec. R-314. Minimum headroom to be 6'-8" clear at all points. Minimum tread to be 9". Maximum riser to be 8 1/4". as per Reg. No. 36-01 amendments.
- 41) Handrails & guardrails shall comply to I.R.C. Sec. R-315.
- 42) All exits shall comply to I.R.C. Sec. R-311.
- 43) Sleeping room windows shall comply with I.R.C. Sec. R-310. Maximum sill height 44" above finished floor. Minimum sill height shall be 18" when window is located more than 72" above finished grade or surface below.
- 44) All Glazing shall comply to I.R.C. Sec. R-308.
- 45) All Ceiling heights shall comply to I.R.C. Sec. R-305.
- 46) All exterior wall coverings shall comply to I.R.C. Sec. R-703.
- 47) All gas piping shall conform to N.F.P.A. 54 OR 2003 IFGC
- 48) Electrical wiring must conform to the latest National Electrical Code and County Requirements.
- Note: Builder shall provide roof framing plans signed and sealed by truss manufacturer and shop drawings for floor joists at framing inspection.
- Note: Trusses shall be braced per. manufactures recommendations.

## HUTCHINSON + ASSOCIATES, L. L. C. ARCHITECT

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ROCKVILLE, MD. 20852  
TEL. 301-770-9680 FAX. 301-770-9163

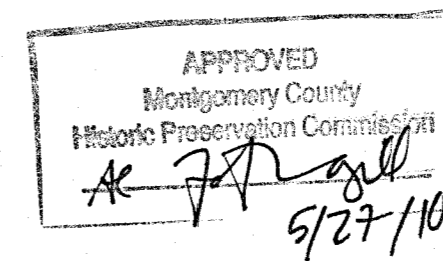
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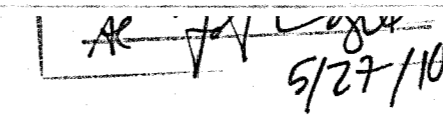
### LEGEND

BRICK	
CONCRETE	
GRAVEL	
INSULATION	
SOLID MASONRY	
STONE	

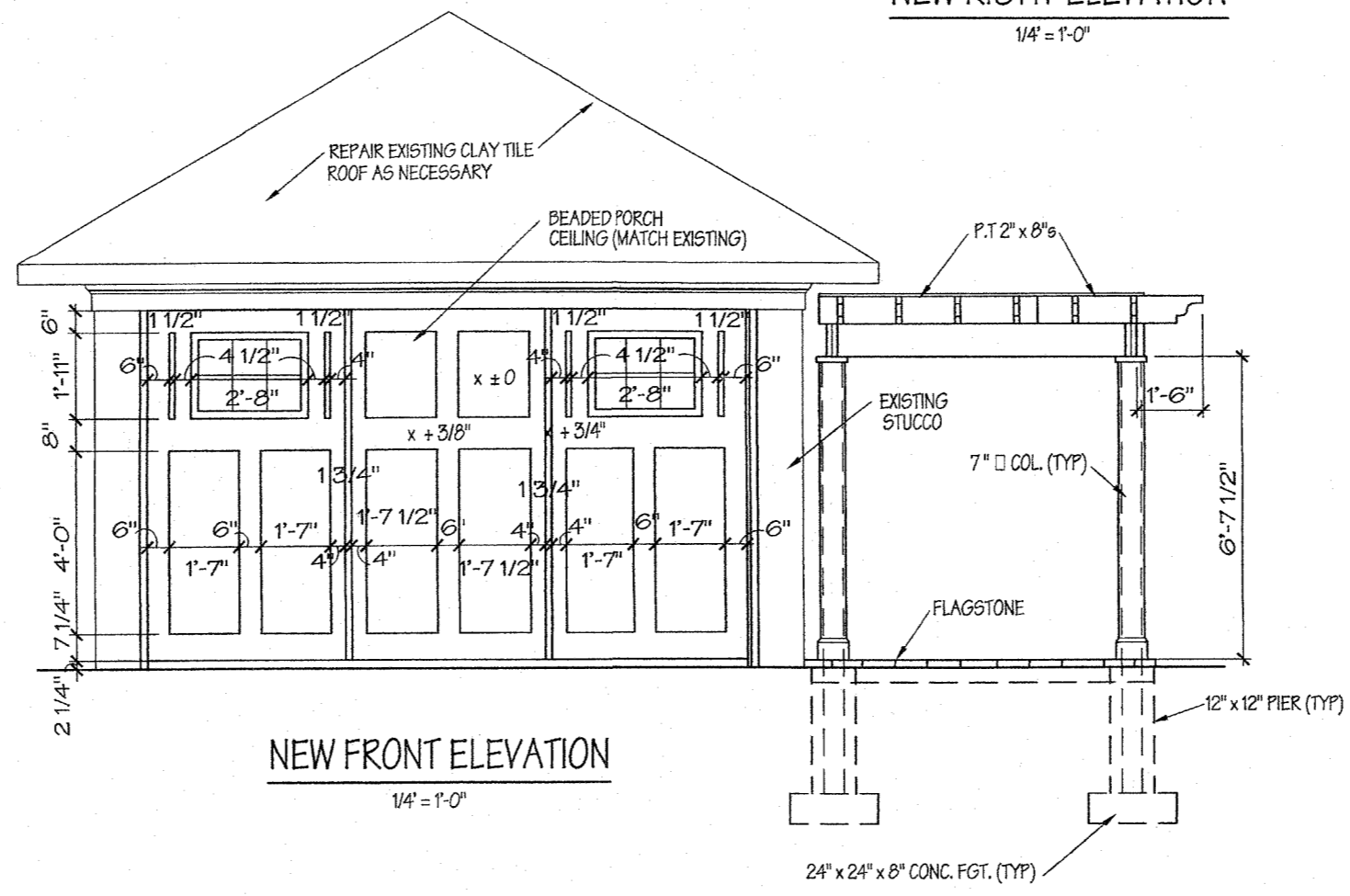
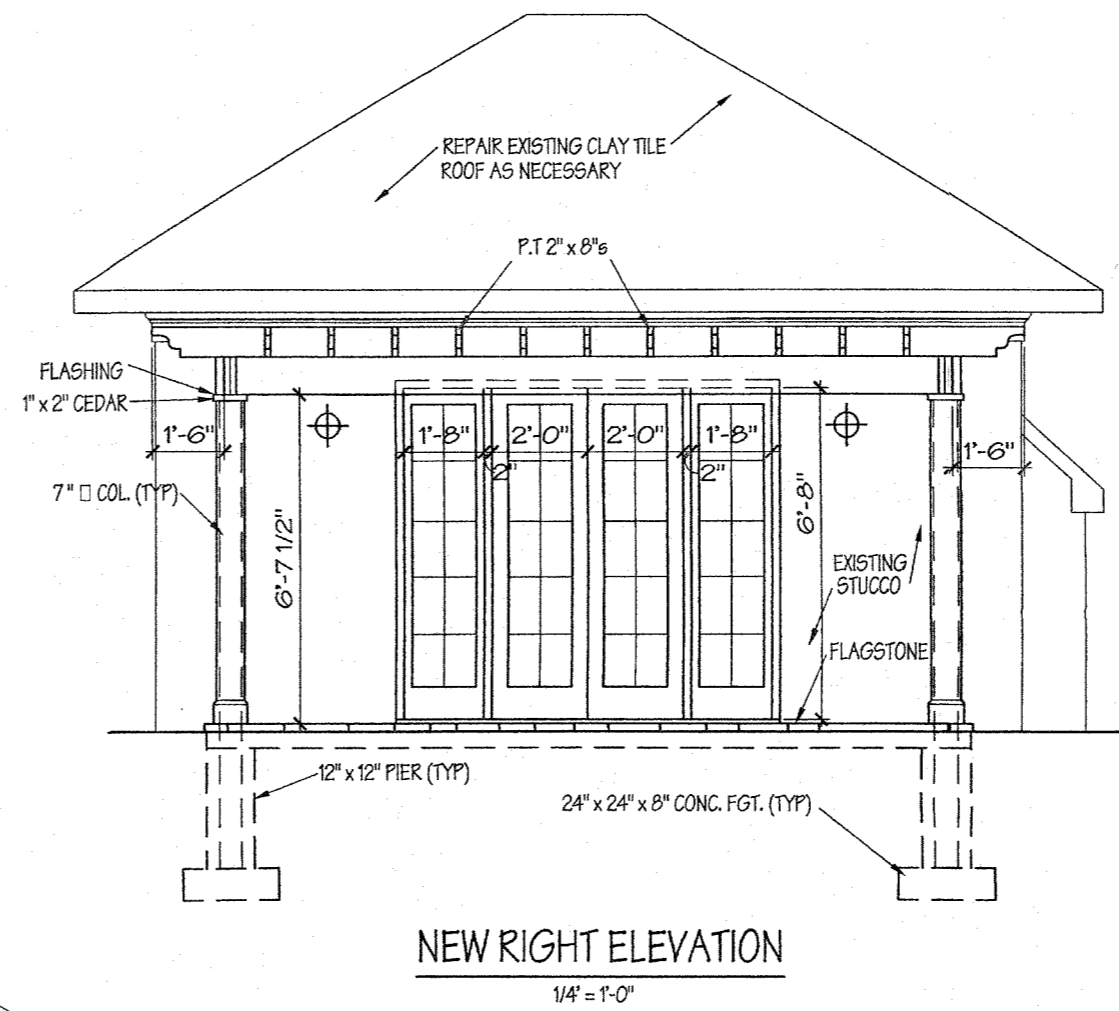
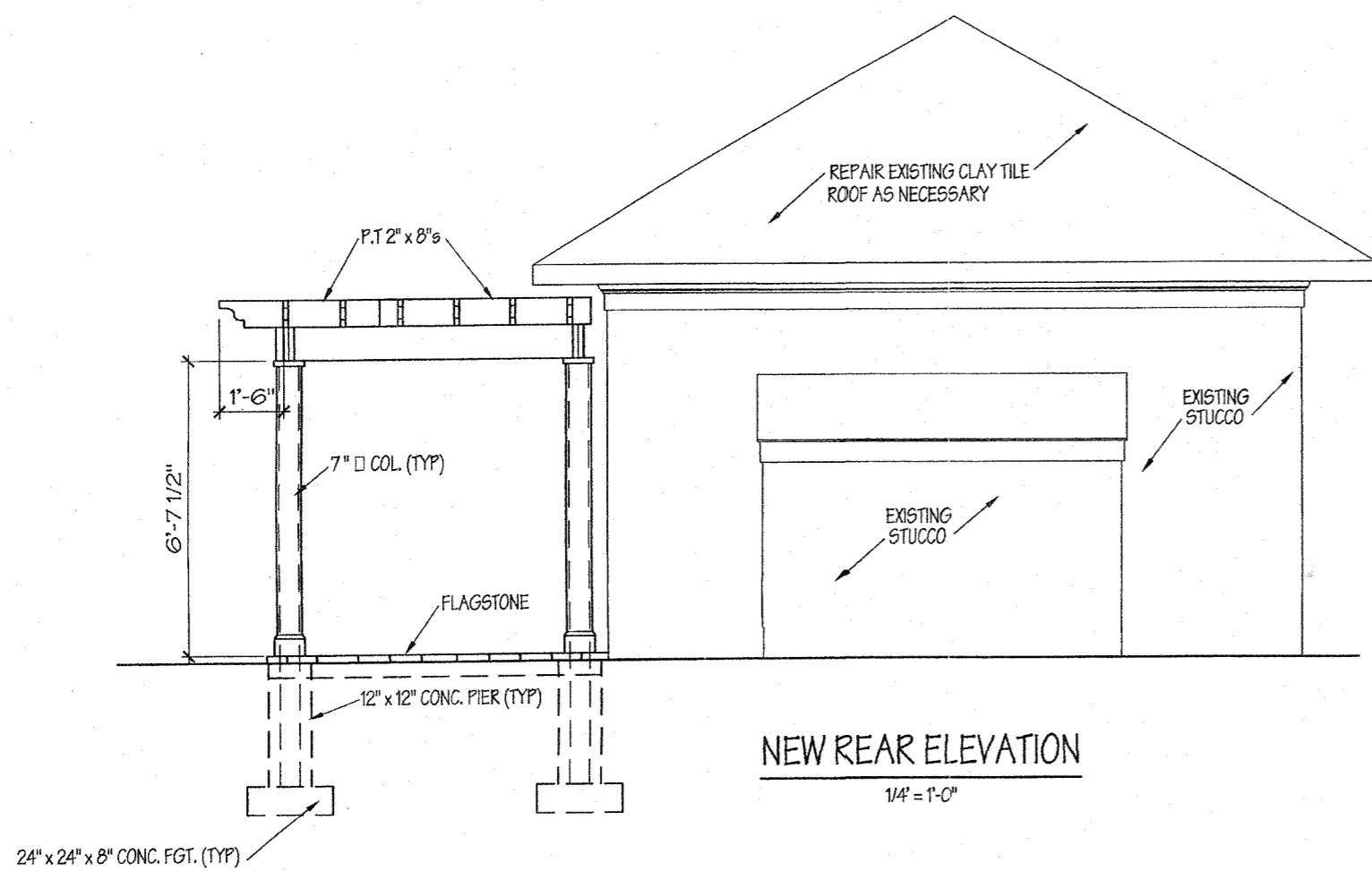
INDEX	
SHEET NO.	DESCRIPTION
SHEET 1	FIRST FLOOR DEMO, PROPOSED FOUNDATION, PLAN, FRAMING AND ELECTRICAL
SHEET 2	EXISTING FRONT, NEW REAR, NEW RIGHT, AND NEW FRONT ELEVATIONS
SHEET 3	POST BASE DETAIL
SHEET B1	BEAM CALCULATION



SHEET 2	EXISTING FRONT, NEW REAR, NEW RIGHT, AND NEW FRONT ELEVATIONS
SHEET 3	POST BASE DETAIL



SOLID MASONRY	
STONE	



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 ROCKVILLE, MD. 20852  
 PHONE: (301) 770-9860 FAX: (301) 770-9163

LOT NO.	BLOCK
DRAWN BY:	CHECKED BY:
DATES: 3-29-10 4-7-10 4-23-10	

JOB NAME:  
**LANDEAU RESIDENCE**  
 27 QUINCY STREET  
 CHEVY CHASE, MD 20815

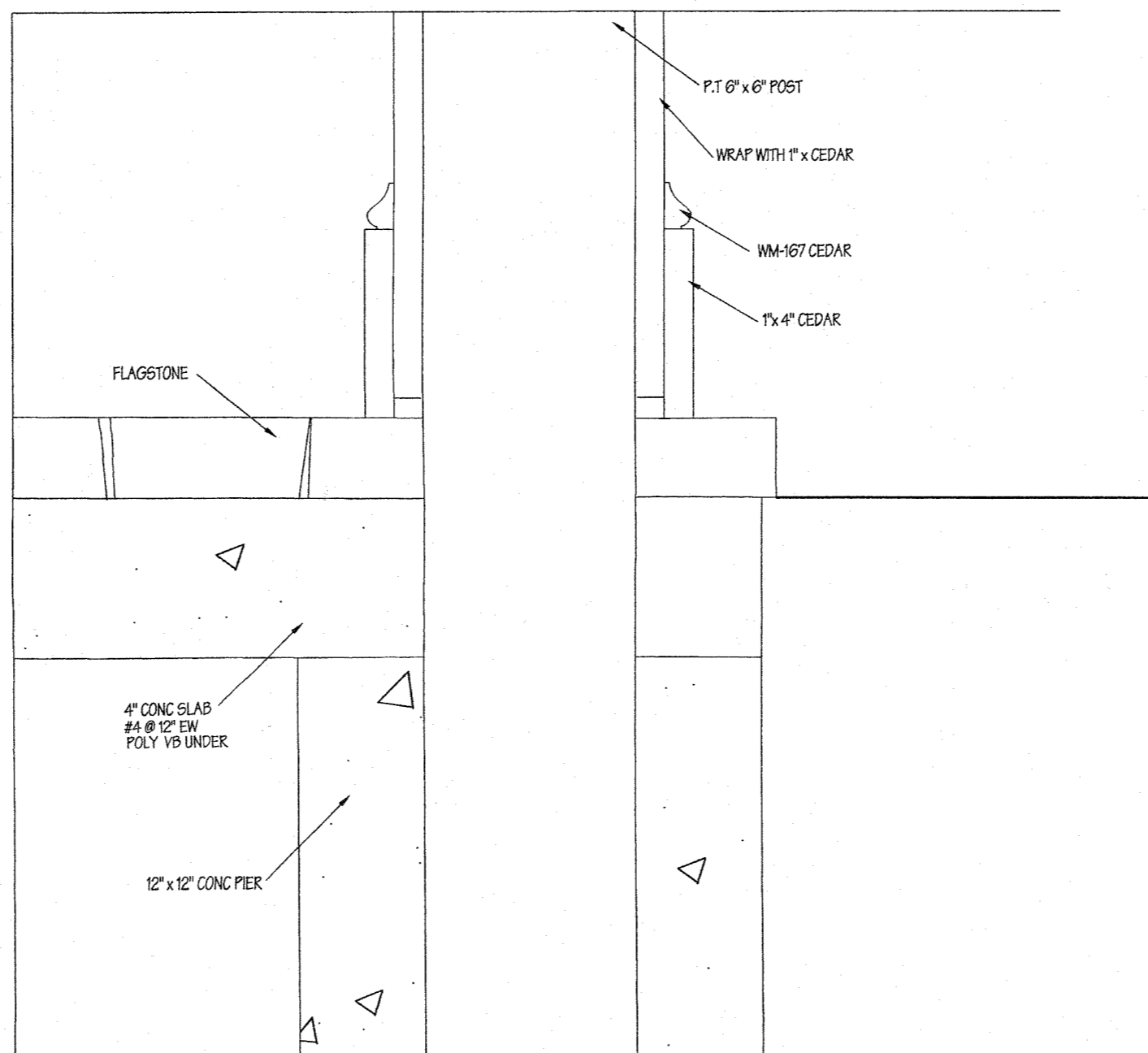
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SHEET NO.  
 2

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2



POST BASE DETAIL

3" = 1'-0"

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DATE: 4-5-10

BLOCK

LOT NO.

CHECKED BY:

DRAWN BY:

JOB NAME:

LANDEAU RESIDENCE

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CHEVY CHASE, MD 20815

SHEET NO.

3



Beam Calculations					Data Input	Job	Landeau
					Answer	2- 2 x 12s	Beam A
Required Information					Add		
Weight	Length	E	I	Fb		M	Delta
5068	7.92	1000000	356	850	p1	5017.32	0.1591
639.8989899	95.04				p2	0	0.0000
Uniform Load P1					p3	0	0.0000
Moment	5017.32 ft-lb				p4	0	0.0000
Bending S=	70.83275 in^3				p5	0	0.0000
Delta	0.1591 in.				p6	0	0.0000
L/	597				p7	0	0.0000
					p8	0	0.0000
					p9	0	0.0000
Concentrated at center P2					p10	0	0.0000
load/ # 0					Total	5017.32	0.159127
Moment	0 ft-lb					L/	597
Bending S=	0 in^3				Req. S= 70.83275 in^3		
Delta	0.0000 in.				Reactions		
L/	#DIV/0!					Load	Dis
Concentrated at any point P3					p1	5068	3.9600
load/ # 0	a (Feet)	b (Feet)			p2	0	3.9600
	0	7.92			p3	0	7.9200
	0	95.04			p4	0	7.9200
Moment	0 ft-lb				p5	0	7.9200
Bending S=	0 in^3				p6	0	7.9200
Delta	0.0000 in.				p7	0	7.9200
L/	#DIV/0!				p8	0	7.9200
Shear WD only					p9	0	7.9200
d= 0	In.	V= 0	Lbs.		p10	0	0.0000
b= 0	In.				5068		
Shear actual Fv	#DIV/0!				R1/a	2,534 Lbs.	
Footing size					R2/b	2,534 Lbs.	
V= 0	Lbs.						
Soil Cap.= 0							
Size in Inches	#DIV/0!	X	#DIV/0!				
Shear Steel only							
d= 0	In.	Wt= 0	In.				
V= 0	K	Aw= 0	In^2				
Shear actual Fv	#DIV/0!	<or = to 14.5 KSI					
Slender ratio (WD)							
d= 0	In.	V= 0	Lbs.				
Area required	#DIV/0!	h= 0	Ft.	E= 0			
Number of studs	#DIV/0!						

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