

9500 BRUNETT AVENUE

[HPC CASE # 35/23-13A]

INDIVIDUALLY DESIGNATED MASTER PLAN SITE

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9500 Brunett Avenue	Meeting Date:	1/9/2013
Resource:	Individually Designated Master Plan Site 7401 MacArthur Boulevard, Cabin John	Report Date:	1/2/2013
Applicant:	M-NCPPC Parks Department (Chuck Harper, P.E.)	Public Notice:	12/26/2012
Review:	HAWP	Tax Credit:	No
Case Number:	35/23-13A	Staff:	Karen Theimer Brown
PROPOSAL:	Grading and Paving for ADA compliance		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HWAP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Designated Master Plan Site
STYLE: Parkitecture
DATE: 1934

PROPOSAL:

The applicant is proposing a series of upgrades to the existing park recreation facilities (playground, tennis courts, and basketball courts) and the installation of asphalt and concrete surface ADA handicap access pathway at the subject property to address the site's non-compliance with the ADA.

A new ADA drop off is proposed adjacent to the tennis court with access directly from MacArthur Boulevard. This includes the installation of a bituminous speed hump, a gate, and related signage. A 5-foot wide sidewalk will be utilized as a connection between the parking space and the tennis court. The total disturbed area is 645 square feet.

At the play area, the applicant is proposing to remove existing timbers in two locations to provide ADA accessible access, and install an ADA accessible table. The existing access point will be closed with new timbers and secured in place with rebar.

A new ADA drop off is proposed adjacent to the basketball court. A 9-foot wide sidewalk will connect the basketball courts to the play area. Stone steps will connect the sidewalk to the play area. Area will be regraded to achieve maximum 5% slope for sidewalks. The total total disturbed area is 4875 square feet.

The proposed work includes removal of one 10" box elder tree (Sheet 4), and stress reduction measures will be taken to protect existing trees. No changes are proposed to the historic Cabin John Hotel Gas House.

APPLICABLE GUIDELINES:

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION:

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to **make any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Email: bob.green@montgomeryparks.org Contact Person: Bob Green
 Daytime Phone No.: 301-495-2571
 Tax Account No.: Maryland - National Capital Park and
 Name of Property Owner: Planning Commission (M-NCPPC) Daytime Phone No.: 301-495-2535
 Address: 9500 Brunett Avenue Silver Spring MD 20901
Street Number City State Zip Code
 Contractor: currently under bid Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PERMIT
 House Number: 7401 Street: MacArthur Boulevard
 Town/City: Cabin John Nearest Cross Street: 75th Street
 Lot: _____ Block: _____ Subdivision: _____
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)	<input checked="" type="checkbox"/> Other: <u>Grading and Paving for ADA compliance</u>				

1B. Construction cost estimate: \$ \$60,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW INSTALLATION AND EXTENSIONS/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A

2B. Type of water supply: 01 WSSC 02 Well 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Charles Harder 11/29/2012
 Signature of owner (authorized sign) Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: 1019562 Date Filed: 11/30/12 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

An existing 1-story brick structure, the Cabin John Hotel Gas House, is within the Cabin John Local Park located off MacArthur Blvd. The building has a footprint of approximately 500 SF, and is the only structure remaining from the Cabin John Hotel Resort Complex.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The subject project's will address citations the M-NCPPC received from the Department of Justice (DOJ) for the site's non-compliance with the American's with Disabilities Act (ADA). Parking will be reconfigured, and accessible paths will be added for the Tennis Court and the Picnic Area. No proposed improvements are within 125' of the Gas House.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address M-NCPPC 9500 Brunett Avenue Silver Spring, MD 20901	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Montgomery County Public Schools Clara Barton Elementary School 6507 75th Street Cabin John, MD 20818	M-NCPPC 9500 Brunett Avenue Silver Spring, MD 20901
Michael K. Nicholson 7400 Arden Road Cabin John, MD 20818	Michael K. Nicholson 7402 Arden Road Cabin John, MD 20818

The Maryland National Capital Park and Planning Commission

M-NCPPC ADA IMPROVEMENTS

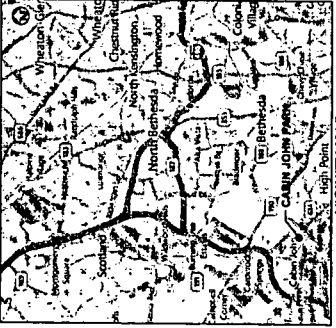
CABIN JOHN PARK - PHASE II

50% CONSTRUCTION PLANS

MONTGOMERY COUNTY, MARYLAND

GENERAL NOTES

1. DETAIL DRAWINGS AND SCHEDULES DESCRIBE CONSTRUCTION AT OPEN AREAS. THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES PRIOR TO SUBMITTING THE BID TO THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES.
2. CONTRACTOR SHALL VERIFY THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO BE VERY FAMILIAR WITH THE EXISTING CONDITIONS, UTILITIES AND RESTRICTIONS ASSOCIATED WITH PERFORMING THE WORK REQUIRED UNDER THE CONTRACT.
3. UNLESS NOTED OTHERWISE ALL WORK SHALL BE NEW AND M-HOPKINS WILL NOT PROVIDE ANY EQUIPMENT, MATERIAL, SUPPLY OR SERVICES. THE BID DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF M-HOPKINS PRIOR TO SUBMITTING THE BID. FAILURE TO DO SO WILL NOT BE CONSIDERED A REASON FOR ADDITIONAL COMPENSATION.
4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST APPLICABLE CODES, STANDARDS AND SPECIFICATIONS OF MONTGOMERY COUNTY, MARYLAND STATE AND FEDERAL REQUIREMENTS.
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. THIS WORK INCLUDES, BUT NOT LIMITED TO, REPAIRS, RESTORATION, AND MAINTENANCE.
6. ALL PLANNING, DESIGN, CONSTRUCTION AND MAINTENANCE SHALL BE COORDINATED AND CONDUCTED BY THE CONSTRUCTION MANAGER. PRIOR TO THE START OF CONSTRUCTION, THE CONSTRUCTION MANAGER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES. THE CONSTRUCTION MANAGER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES. THE CONSTRUCTION MANAGER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
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10. ALL EXISTING UTILITIES AT THE PROJECT SITE SHALL BE IDENTIFIED, PHOTOGRAPHED AND DOCUMENTED PRIOR TO THE START OF CONSTRUCTION. THE CONSTRUCTION MANAGER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES. THE CONSTRUCTION MANAGER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
11. PRIOR TO START OF CONSTRUCTION, TREE PROTECTION MEASURES SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONSTRUCTION MANAGER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES. THE CONSTRUCTION MANAGER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
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26. SUPPLEMENTAL, PHOTOGRAPHIC INFORMATION IS TAKEN FROM MONTGOMERY COUNTY GIS PROVIDED BY M-HOPKINS.



SHEET #	SHEET #	DESCRIPTION
1 OF 7	G106	COVER SHEET
2 OF 7	VF103	FIELD SURVEY
3 OF 7	VF106	COMPOSITE EXISTING CONDITIONS PLAN
4 OF 7	QD106	DEMOLITION/TREE PROTECTION PLAN
5 OF 7	CS106	SITE PLAN
6 OF 7	CS206	SITE PROFILES
7 OF 7	CS506	SITE DETAILS

RELATED REQUIRED PERMITS			
TYPE OF PERMIT	ISSUED	PERMIT #	EXPIRATION DATE
MDOT/Transportation	X		
MDOT/Highway/Right-of-Way	X		
MDOT/Construction	X		
MDOT/Utility	X		
MDOT/Stormwater	X		
MDOT/Other	X		

UTILITY SURVEY & RELOCATION CERTIFICATION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.

UTILITY	DATE SURVEYED	DATE RELOCATED	RELOCATION METHOD
Electric			
Gas			
Water			
Sanitary Sewer			
Stormwater			
Other			

DESIGN CERTIFICATION

THE DESIGN CERTIFICATION IS A STATEMENT BY THE DESIGNER THAT THE DESIGN OF THE PROJECT IS IN ACCORDANCE WITH THE MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. THE DESIGNER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.

OWNER/DEVELOPER CERTIFICATE

THE OWNER/DEVELOPER CERTIFICATE IS A STATEMENT BY THE OWNER/DEVELOPER THAT THE PROJECT IS IN ACCORDANCE WITH THE MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. THE OWNER/DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.

SEDIMENT CONTROL/STORMWATER MANAGEMENT CERTIFICATION

THE SEDIMENT CONTROL/STORMWATER MANAGEMENT CERTIFICATION IS A STATEMENT BY THE CONTRACTOR THAT THE SEDIMENT CONTROL/STORMWATER MANAGEMENT MEASURES ARE IN ACCORDANCE WITH THE MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES.

APPROVED FOR PROCUREMENT

DATE: _____

BY: _____

REVISIONS

No.	Date	Description

The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Park and Planning
 9000 Brentwood Avenue
 Silver Spring, Maryland 20901
 (301) 993-2501

Cover Sheet

CABIN JOHN PARK - PHASE II

ADA MODIFICATIONS TO 4 SITES

WSSC Grid Map
208NW07

SCALE: AS SHOWN

G1106

SHEET 1 of 7

Composite Existing Conditions Plan
CABIN JOHN PARK - PHASE II
 ADA MODIFICATIONS TO 4 SITES
 WSSC Grid Map
 208N/07
 SCALE: 1"=30'

REPLACEMENT CONTRACT
 NO. 101-101-101-101-101
 DATE: 10/10/10

PLANS ISSUED FOR:

REVISED	DESCRIPTION

The Maryland-National Capital Park and Planning Commission
 Maryland-National Capital Park and Planning Commission
 9500 Brentwood Avenue
 Silver Spring, Maryland 20911
 (301) 495-2311



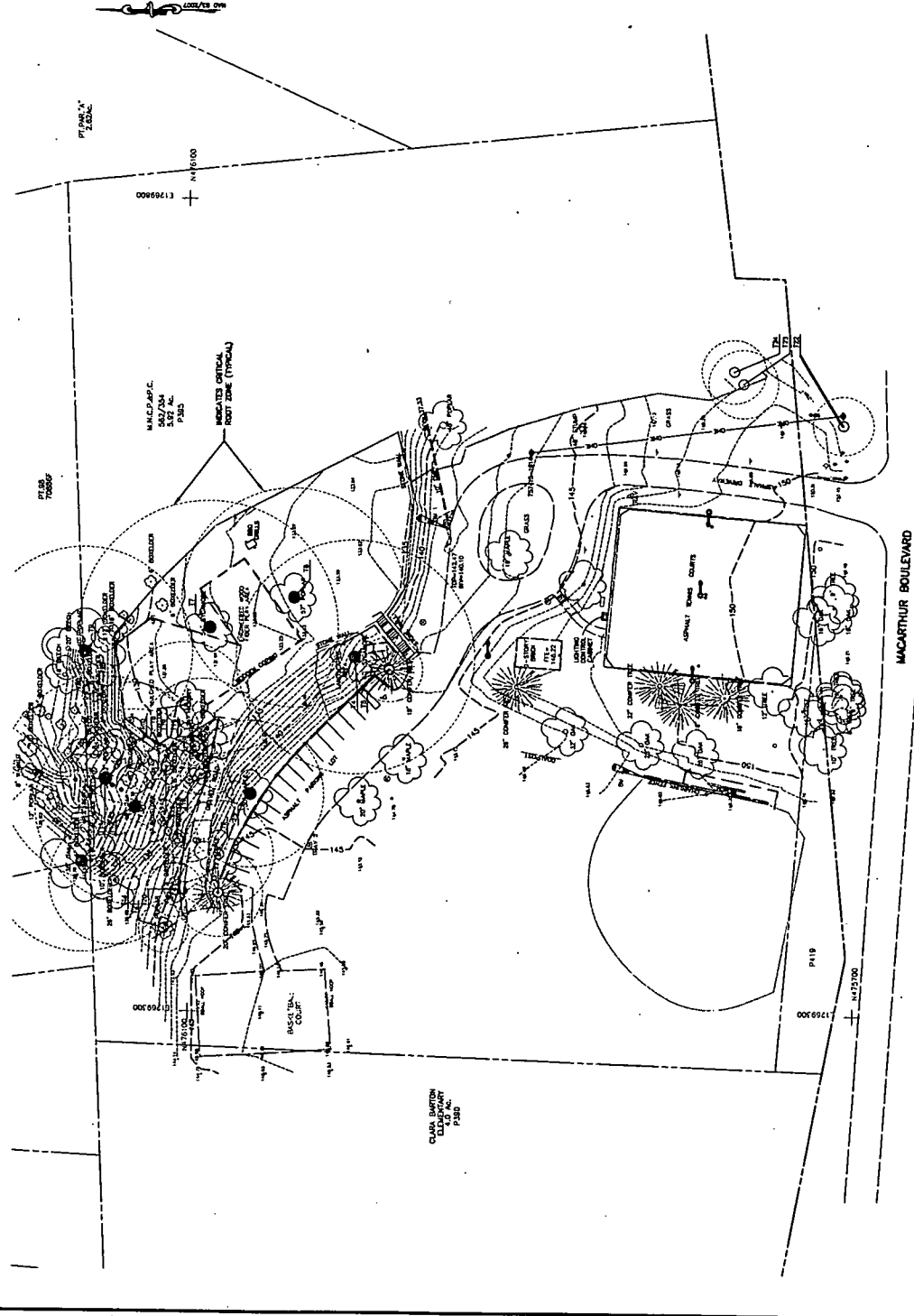
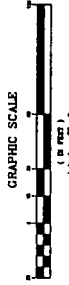
DESIGN		REVIEW AND APPROVAL		REVIEW AND APPROVAL	
Designer:		Reviewed By:		Reviewed By:	
Checked By:		Checked By:		Checked By:	
Date:		Date:		Date:	

TREE CONDITION SUMMARY

Tree #	Species	D.B.H. (Inches)	Cal. (Inches)	Tree Condition	Comments
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NOTES

- AREAS OUTSIDE OF THE LIMITS OF FIELD SURVEY HAVE NOT BEEN VISITED AND CONDITIONS ARE ASSUMED TO BE AS SHOWN PROVIDED TO A MORTON TYNDAL AND ASSOCIATES.
- PROPERTY LINES SHOWN HEREON ARE BASED ON AVAILABLE GIS DATA PROVIDED BY THE MARYLAND - NATIONAL CAPITAL PARK AND PLANNING COMMISSION (M-NCPPC).



8

**Demolition/Tree Protection Plan
CABIN JOHN PARK - PHASE II**
ADA MODIFICATIONS TO 4 SITES

WSSC Grid Map
2026NW07

SCALE 1"=30'

PLANS ISSUED FOR:	
REVISED	DESCRIPTION
No.	Date

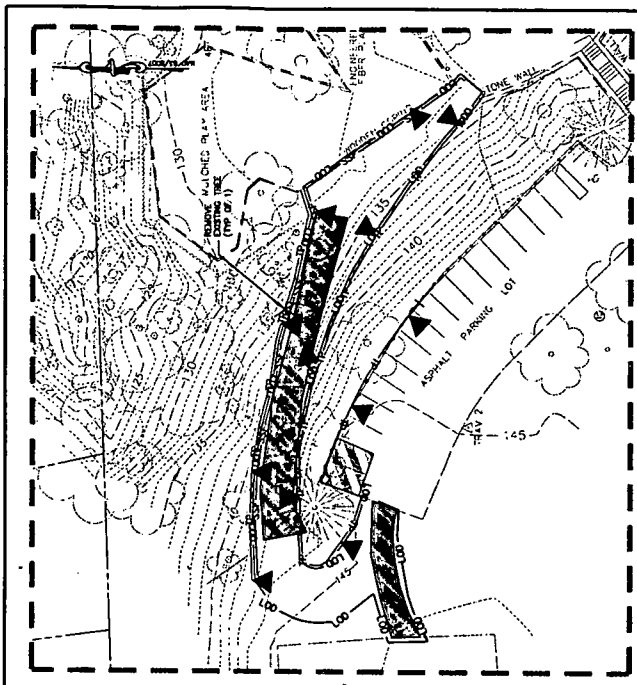
**The Maryland-National Capital
and Planning Commission**
Montgomery County Department of Park and Planning
9000 Branch Avenue
Silver Spring, MD 20910
(301) 495-2133



REVIEW AND APPROVAL	
DATE	APPROVAL

REVIEW AND APPROVAL	
DATE	APPROVAL

REVIEW AND APPROVAL	
DATE	APPROVAL



DEMOLITION NOTES:

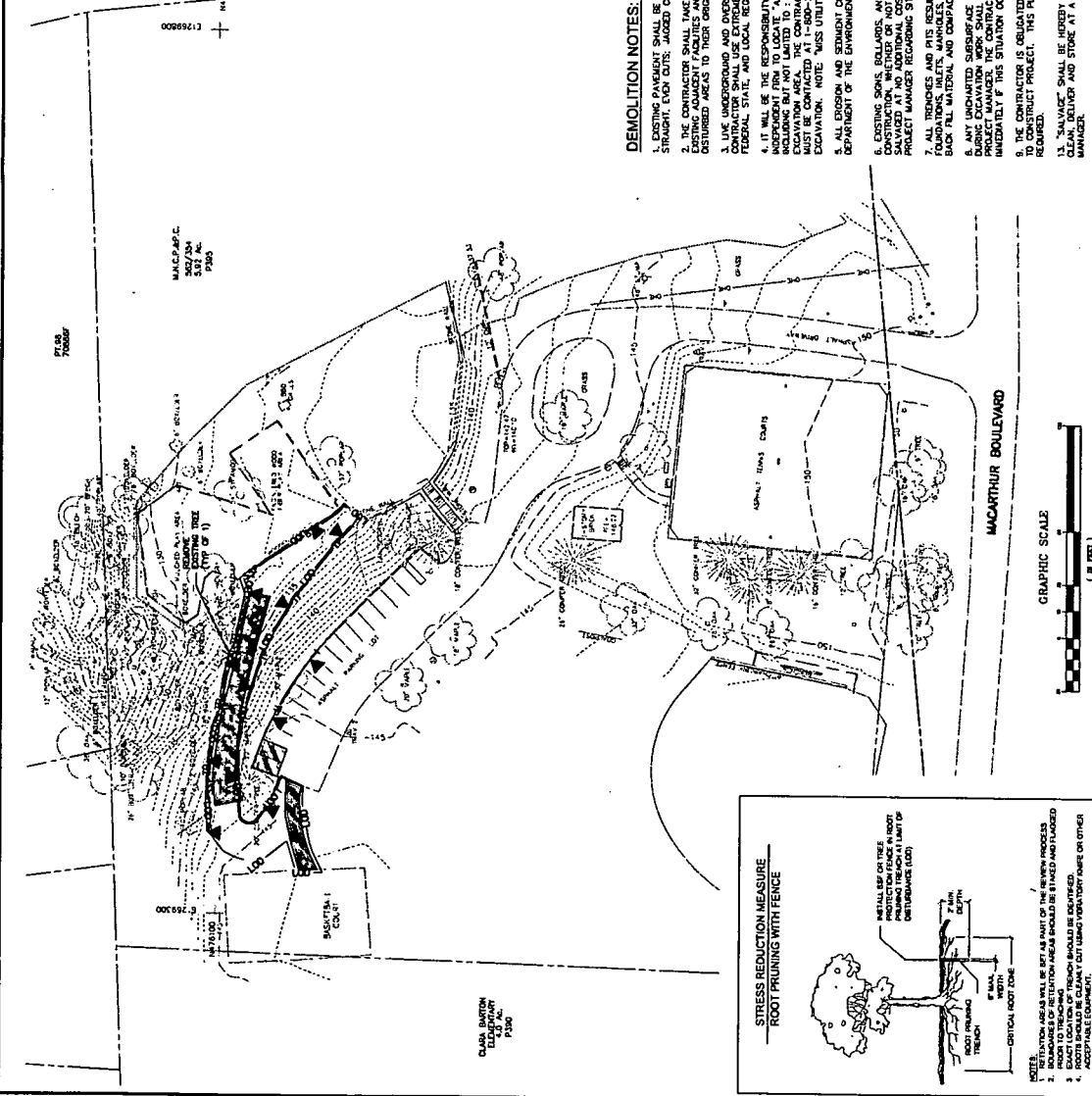
- EXISTING PAVEMENT SHALL BE SAW CUT BEFORE REMOVAL. ALL SAW CUTS SHALL BE STRAIGHT, EACH EDGE, JAGGED CUTS WILL NOT BE PERMITTED.
- ALL TREE REMOVAL PRECEDURES SHALL BE IN ACCORDANCE WITH THE TREE PROTECTION ACT AND REGULATIONS. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO NOT DAMAGE EXISTING CEMETERY MONUMENTS AND STRUCTURES. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION OR BETTER UNLESS NOTED OTHERWISE.
- LIVE UNDERGROUND AND OVERHEAD UTILITIES MAY EXIST WITHIN THE WORK AREA. CONTRACTOR SHALL USE EXTREME CAUTION AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTRACT AN APPROPRIATELY LICENSED AND TRAINED PERSON TO LOCATE ALL UTILITIES INCLUDING BUT NOT LIMITED TO: PIPES, DRAINS, CABLE, ETC. IN ANY PROPOSED EXCAVATION AREA. THE CONTRACTOR IS ALERTED TO THE FACT THAT "MISS UTILITY" EXCAVATION IS PROHIBITED AND SHALL BE PENALIZED. NOTE: "MISS UTILITY" WILL NOT LOCATE PRIVATE INFRASTRUCTURE.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL MEET CURRENT MARYLAND DEPARTMENT OF THE ENVIRONMENT STANDARDS AND DIRECTIVES.
- EXISTING SIGNS, BOLLARDS, AND MINOR SITE FEATURES IN THE WAY OF PROPOSED DEMOLITION SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE. ALL OTHER FEATURES SHALL BE SALVAGED AT NO ADDITIONAL COST TO THE OWNER. COORDINATE WITH THE M-NCPIC PROJECT MANAGER REGARDING SITE ITEMS TO BE SALVAGED.
- ALL TREES AND PITS RESULTING FROM THE REMOVAL OF EXISTING PIPES, FOUNDATIONS, BOLLARDS, MANHOLES, UTILITIES, ETC. SHALL BE BACK FILLED WITH SELECT TOP-SOIL, SAND, AND COMPACTED IN 6" HIGH BOUNDS LIFTS.
- ALL EXCAVATION WORK SHALL BE RESTORED TO ORIGINAL CONDITION. THE PROJECT MANAGER, THE CONTRACTOR SHALL NOTIFY THE M-NCPIC PROJECT MANAGER IMMEDIATELY IF THIS SITUATION OCCURS.
- THE CONTRACTOR IS OBLIGATED TO REMOVE ALL EXISTING FEATURES AS NECESSARY TO THE PROJECT. THIS PLAN IS NOT TO BE USED FOR THE EXTENT OF DEMOLITION. CLIENT, DELIVER AND STORE AT A LOCATION SPECIFIED BY THE M-NCPIC PROJECT MANAGER.

LEGEND

- LOD — LIMIT OF DISTURBANCE
- TP — TREE PROTECTION FENCING OR CHAIN
- SSF — STAFFED SAFETY FENCE
- — — REMOVE ASPHALT LAYERS
- — — STONE BASE TO REMAIN
- ▲ TREE PROTECTION SIGNAGE
- TP — TREE PROTECTION FENCING OR CHAIN
- SSF — STAFFED SAFETY FENCE

NOTES

- AREAS OUTSIDE OF THE LIMITS OF FIELD SURVEY HAVE NOT BEEN INVESTIGATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TO A SURVEYOR THOMAS AND ASSOCIATES.
- PROPERTY LINES SHOWN HEREON ARE BASED ON AVAILABLE CO SURVEY PROVIDED BY THE MARYLAND - NATIONAL CAPITAL PARK AND PLANNING COMMISSION (M-NCPIC).
- IMPROVEMENTS SHOWN HEREON SHALL BE CONSTRUCTED AND DOCUMENTED BY 6/10/2011.



STRESS REDUCTION MEASURE - ROOT PRUNING WITH FENCE

NOTES:

- DEMOLITION AREAS WILL BE SET AS PART OF THE BIDDING PROCESS.
- REMOVAL OF RETENTION AREAS SHOULD BE BANNED AND FLAGGED.
- EXACT LOCATION OF TRENCH SHOULD BE IDENTIFIED.
- ALL TRENCH CUTS USING VIBRATORY FORCE OR OTHER ACCEPTABLE EQUIPMENT.
- ACCEPTABLE EQUIPMENT.
- DEMOLITION SHOULD BE IMMEDIATELY STOPPED WITH BAR REMOVED FROM THE TRENCH.

APPROVED FOR CONSTRUCTION
SEAL

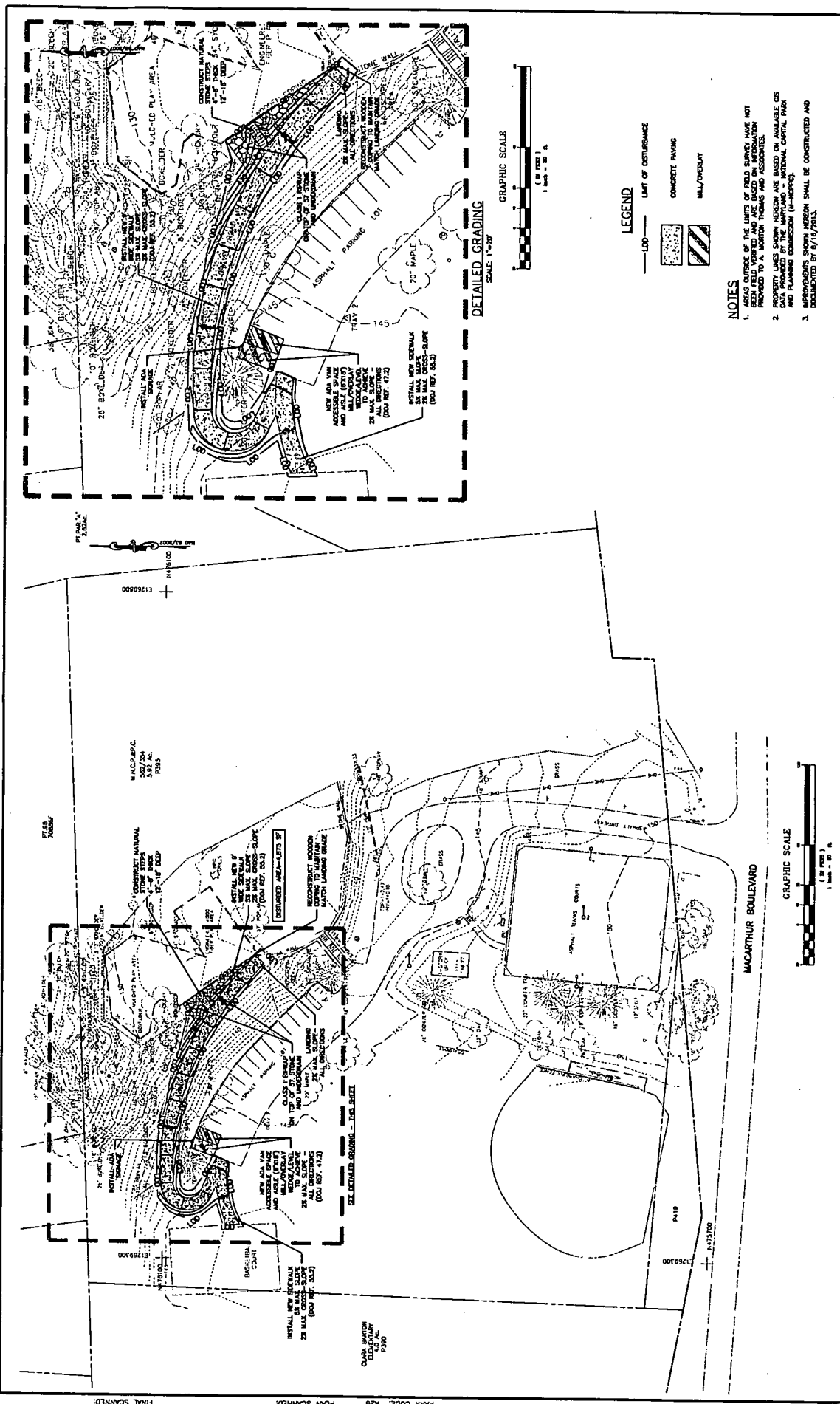
PLANS ISSUED FOR REVISIONS

No.	Date	Description

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks and Planning
6500 River Road
Silver Spring, Maryland 20910
(301) 795-5200



DESIGN	REVIEW AND APPROVAL		REVIEW AND APPROVAL	
	Checked By	Date	Checked By	Date
W-10000 Landscape Architect				
ARCHITECT				
PLANNING				
ENGINEER				



10

PRELIMINARY
NOT FOR CONSTRUCTION

PLANS ISSUED FOR:

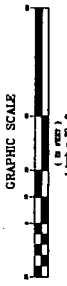
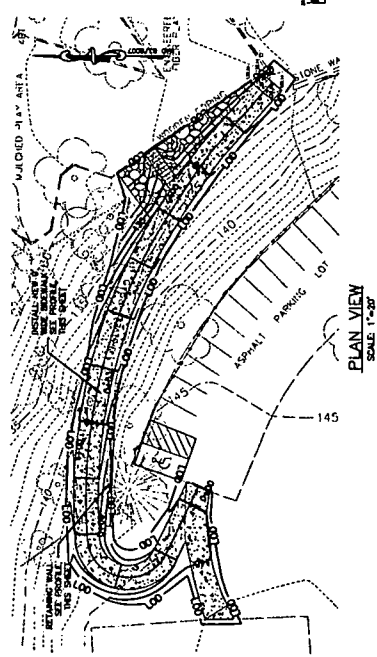
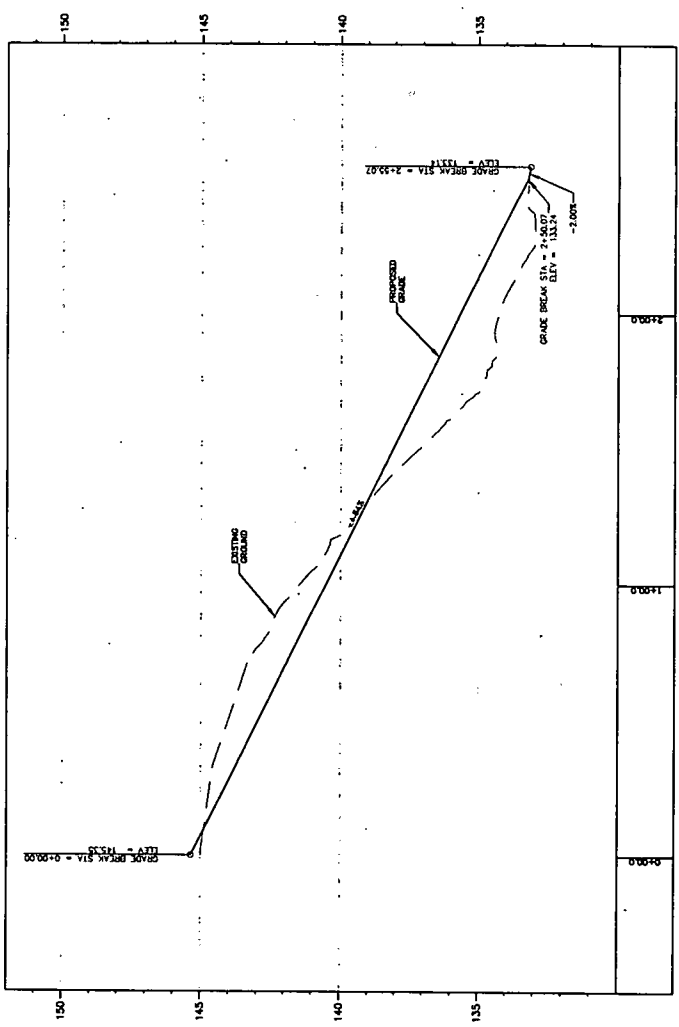
REV'S	NO.	DATE	DESCRIPTION

The Maryland-National Capital Park and Planning Commission
Maryland-National Capital Park and Planning Commission
5000 Branch Avenue
Silver Spring, Maryland 20901
(301) 993-2311



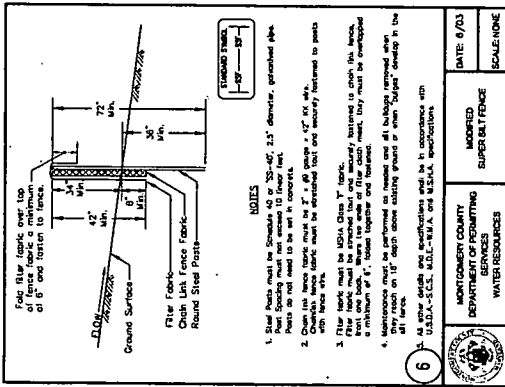
DESIGN	REVIEW AND APPROVAL		REVIEW AND APPROVAL	
	Date	Checked By	Date	Checked By
Landscape Architect				
Architect				
MEP Engineer				
Structural Engineer				

Playground Path - CL PROFILE
SCALE: HORIZ. 1" = 20'
SCALE: VERT. 1" = 2'



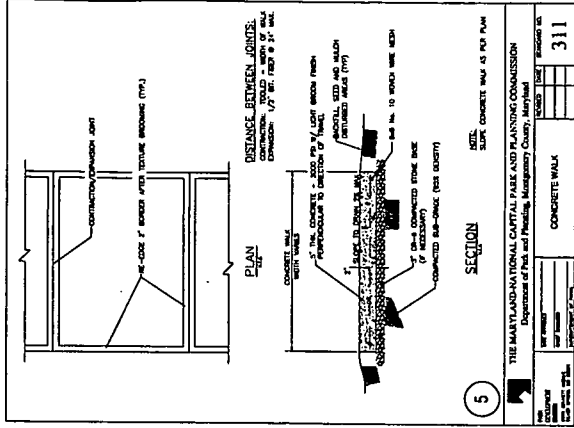
LEGEND
— 0.00 — LIMIT OF DISTURBANCE
[Hatched Box] CONCRETE PAVING

NOTES
1. AREAS OUTSIDE OF THE LIMITS OF FIELD SURVEY HAVE NOT BEEN SURVEYED AND ANY INFORMATION PROVIDED TO A MORTON TOWNS AND ASSOCIATES.
2. PROPERTY LINES SHOWN HEREON ARE BASED ON AVAILABLE OF DATA PROVIDED BY THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION (M-NCPIC).
3. IMPROVEMENTS SHOWN HEREON SHALL BE CONSTRUCTED AND DOCUMENTED BY 8/31/2011.

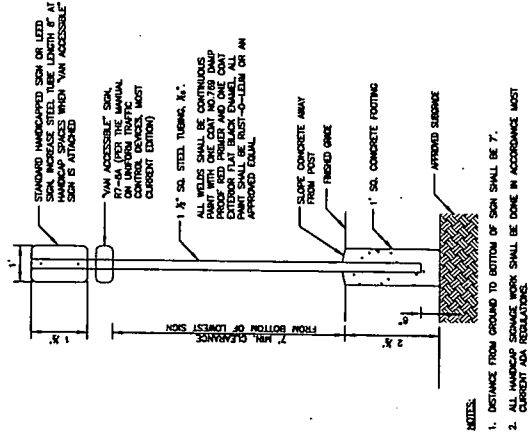


- NOTES**
- Blue fabric must be Schedule 40 or 35-40, 2.5' diameter, galvanized pipe. Posts do not need to be set in concrete.
 - Chain link fence must be 2' x 40 gauge, 1/2" x 1/2" mesh. Posts do not need to be set in concrete.
 - Fabric must be attached to and secured to posts with heavy-duty fabric ties.
 - Maintenance must be performed on a regular basis to ensure proper operation of the fence.
 - All other details and specifications shall be in accordance with U.S.A.A.-S.C.S., M.D.L.-R.E.A. and M.S.A. specifications.

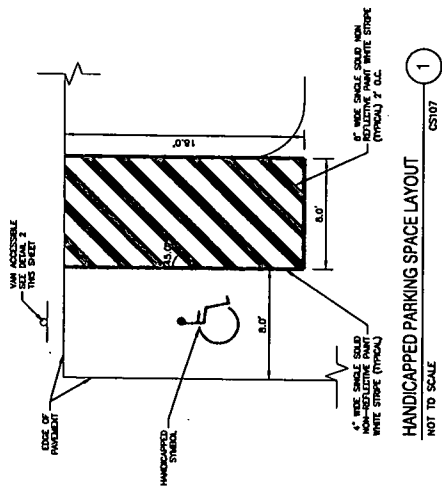
MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES	DATE: 8/03	SCALE: NONE
WATER RESOURCES	APPROVED	SUPER SBT FENCE



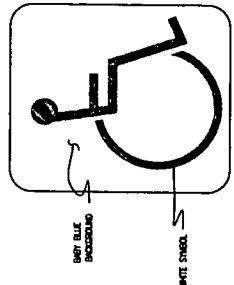
SECTION	DATE: 8/03	SCALE: NONE
CONCRETE WALK	APPROVED	311



- NOTES**
- DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'.
 - ALL HANDICAP SIGNAGE WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ADA REGULATIONS.



- NOTES**
- 8" WIDE SINGLE SOLID WHITE STRIKE (TYPICAL)
 - 8" WIDE SINGLE SOLID WHITE STRIKE (TYPICAL)



- NOTES**
- THIS DETAIL PROVIDED FOR REFERENCE ONLY. ALL DIMENSIONS, LAYOUT, BACKGROUND AND PLACE SYMBOL, AT CENTERLINE OF STRIP REFER TO PARKING STRIPING DETAIL, THIS SHEET FOR DIMENSIONS.



- NOTES**
- EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY AN APPROVED SIGN WITH THE FOLLOWING INFORMATION: UNLESS THE SIGN IS PLACED FLUSH AGAINST A CURB OR WALL, THE SIGN SHALL BE PLACED AT LEAST 18 INCHES FROM THE CURB OR WALL. THE SIGN SHALL BE PLACED AT LEAST 18 INCHES FROM THE CURB OR WALL. THE SIGN SHALL BE PLACED AT LEAST 18 INCHES FROM THE CURB OR WALL. THE SIGN SHALL BE PLACED AT LEAST 18 INCHES FROM THE CURB OR WALL.

REASON	REVIEW AND APPROVAL	DATE
DESIGN	Per: Development	DATE
PERMITTING	Per: Permitting	DATE
CONSTRUCTION	Per: Construction	DATE
FINAL	Per: Final	DATE

The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Park and Planning
 9200 Belmont Avenue
 Silver Spring, Maryland 20910
 (301) 993-2571

PLANS ISSUED FOR:	REVISIONS
NO. 1	DATE
NO. 2	DATE
NO. 3	DATE
NO. 4	DATE
NO. 5	DATE
NO. 6	DATE
NO. 7	DATE
NO. 8	DATE
NO. 9	DATE
NO. 10	DATE

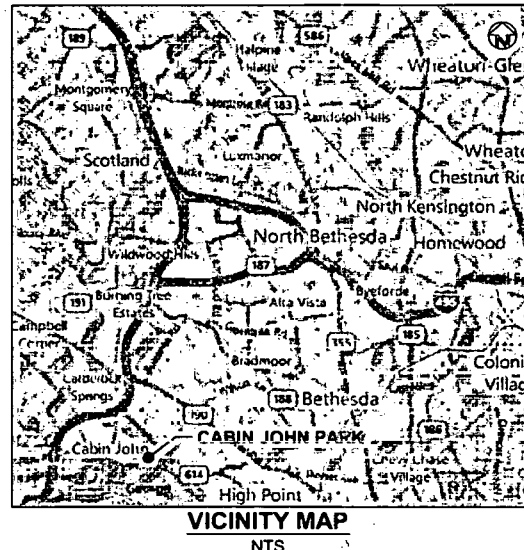
Site Details
CABIN JOHN PARK - PHASE II
 ADA MODIFICATIONS TO 4 SITES
 WSSC Grid Map
 208N/07
CS506
 SHEET 7 of 7

The Maryland National Capital Park and Planning Commission

M-NCPPC ADA IMPROVEMENTS CABIN JOHN PARK - PHASE II 50% CONSTRUCTION PLANS MONTGOMERY COUNTY, MARYLAND

GENERAL NOTES

- DETAILED DRAWINGS AND SCHEDULES DESCRIBE CONSTRUCTION AT GIVEN AREAS. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL UTILIZE EQUIVALENT CONSTRUCTION METHODS IN ALL AREAS.
- CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO GET FAMILIAR WITH THE EXISTING CONDITIONS, DIFFICULTIES AND RESTRICTIONS ASSOCIATED IN PERFORMING THE WORK REQUIRED UNDER THE CONTRACT.
- UNLESS NOTED OTHERWISE ALL WORK SHALL BE NEW AND M-NCPPC WILL NOT PROVIDE ANY EQUIPMENT, MATERIAL OR LABOR FOR THE WORK.
- ERRORS AND OMISSIONS IN THE BID DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF M-NCPPC PRIOR TO SUBMITTING THE BID. FAILURE TO DO SO WILL NOT BE CONSIDERED A REASON FOR ADDITIONAL COMPENSATION.
- ALL NOTES AND DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST APPLICABLE CODES, STANDARDS AND SPECIFICATIONS OF M-NCPPC, MONTGOMERY COUNTY, MARYLAND STATE AND FEDERAL REQUIREMENTS.
- ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MCDOT STANDARDS AND SPECIFICATION. THIS WORK INCLUDES, BUT NOT LIMITED TO: REPAIRING; RESTORING; AND OBTAINING FINAL INSPECTION APPROVALS.
- A PRE-CONSTRUCTION MEETING WILL BE SCHEDULED AND CONDUCTED BY THE CONSTRUCTION MANAGER. PRIOR TO THIS MEETING THE CONTRACTOR SHALL NOT PERFORM ANY CONSTRUCTION RELATED ACTIVITY AT THE PROJECT SITE, EXCEPT LIMITED CLEARANCE FOR STAKEOUT AND FLAGGING OF LOD. THE LOD SHALL BE APPROVED BY THE CONSTRUCTION MANAGER. CONSTRUCTION MANAGER MAY REQUIRE MINOR ADJUSTMENTS TO THE LOD TO REDUCE IMPACTS ON EXISTING INFRASTRUCTURE AND NATURAL RESOURCES THAT ARE TO REMAIN. THIS ADJUSTMENT SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE M-NCPPC.
- CONTRACTOR SHALL VERIFY, IN THE FIELD, ALL DIMENSIONS PROVIDED ON DRAWINGS AND SPECIFICATIONS BEFORE STARTING CONSTRUCTION ACTIVITY. IF THEY ARE DIFFERENT, CONSTRUCTION MANAGER SHALL BE NOTIFIED IN WRITING, BEFORE PROCEEDING FURTHER WITH THE WORK.
- ALL EXISTING CONDITIONS TO REMAIN SHALL BE VERIFIED, PHOTOGRAPHED AND DOCUMENTED PRIOR TO CONSTRUCTION. IF THEY ARE DIFFERENT THE CONSTRUCTION MANAGER SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK. ALL OTHER DAMAGES SHALL BE CORRECTED AND RESTORATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE M-NCPPC REQUIREMENTS AND TO THE SATISFACTION OF THE CONSTRUCTION MANAGER AT NO ADDITIONAL COST.
- PRIOR TO START OF CONSTRUCTION, TREE PROTECTION MEASURES SHALL BE INSTALLED AND SHALL BE MAINTAINED DURING CONSTRUCTION.
- IF IT IS DETERMINED THAT THE TREES ARE DAMAGED DURING CONSTRUCTION, A CERTIFIED ARBORIST SHALL INSPECT THEM AND SUBMIT A REPORT RECOMMENDING APPROPRIATE ACTION EITHER TO REPAIR OR REPLACE. IF APPROVED BY THE CONSTRUCTION MANAGER, CORRECTIVE WORK SHALL BE PERFORMED AT NO ADDITIONAL COST.
- LOCATION FOR STABILIZED CONSTRUCTION ENTRANCE AND ACCESS ROUTES SHALL BE IDENTIFIED AND ADJUSTED IN THE FIELD. CONSTRUCTION MANAGER SHALL PROVIDE THE APPROVAL.
- STAGING AND STORAGE AREA SHALL BE APPROVED BY CONSTRUCTION MANAGER AND SHALL BE SECURED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO M-NCPPC.
- ALL THE EXISTING UTILITIES AT THE PROJECT MAY NOT BE SHOWN ON THE DRAWINGS. PRIOR TO START OF CONSTRUCTION RELATED ACTIVITY, ALL UTILITIES WITHIN THE LOD SHALL BE LOCATED AND IDENTIFIED UTILIZING APPROPRIATE INSTRUMENTS. THE LOCATION SHALL BE STAKED AND FLAGGED.
- THE CONSTRUCTION MANAGER SHALL BE NOTIFIED IMMEDIATELY IF EXISTING UTILITIES ARE FOUND WITHIN THE WORK AREA (DURING UTILITY SURVEY) THAT ARE NOT SHOWN ON THE DRAWINGS AND THEY IMPACT THE CONTRACT WORK.
- DAMAGES TO EXISTING UTILITIES SHALL BE CORRECTED IMMEDIATELY IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY SHALL BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL MEET CURRENT MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES STANDARDS AND DIRECTIVES.
- BEFORE START OF CONSTRUCTION, AN ON SITE REPRESENTATIVE OF THE CONTRACTOR SHALL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION.
- UPON COMPLYING WITH ALL THE APPLICABLE REQUIREMENTS STATED ABOVE, CONSTRUCTION OF THE PROJECT WITHIN THE APPROVED LOD MAY START.
- NO WORK SHALL BE PERFORMED OUTSIDE OF THE LOD. AREAS DISTURBED OUTSIDE APPROVED LOD SHALL BE RESTORED IMMEDIATELY TO THE SATISFACTION OF CONSTRUCTION MANAGER AT NO COST TO M-NCPPC.
- DURING CONSTRUCTION, THE FACILITY SHALL REMAIN OPEN FOR USE BY PARKS STAFF AND THE GENERAL PUBLIC. SAFE ACCESS FOR ALL USERS SHALL BE PROVIDED WITH APPROPRIATE DETOURS, TEMPORARY FACILITIES, SIGNAGE, ETC. AND SHALL BE APPROVED BY CONSTRUCTION MANAGER.
- DURING CONSTRUCTION, IF THE CONTRACTOR FINDS THAT CONFLICTS EXIST AMONG VARIOUS CONTRACT DOCUMENTS, THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENT.
- GRADING WORK SHALL BE DONE TO PROVIDE POSITIVE DRAINAGE UNLESS OTHERWISE SHOWN.
- SURFACED ROADWAY AND PARKING AREAS SHALL BE MAINTAINED IN A CLEAN CONDITION. APPROPRIATE MEANS SHALL BE PROVIDED TO CLEAN MUD AND DUST FROM THESE AREAS. TRUCKS AND OTHER EQUIPMENT SHALL NOT TRACK MUD INTO NEARBY ROADWAYS.
- ALL PLANTING SUBSTITUTIONS SHALL BE APPROVED BY THE CONSTRUCTION MANAGER. PLANT MATERIALS AND LOCATIONS SHALL BE INSPECTED BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION. CONSTRUCTION MANAGER SHALL BE NOTIFIED AT LEAST THREE (3) WORKING DAYS IN ADVANCE FOR INSPECTION.
- PRIOR TO VEGETATIVE STABILIZATION, TOP SOIL SHALL BE APPLIED FOR ALL DISTURBED AREAS. THIS SHALL BE IN ACCORDANCE WITH THE MONTGOMERY COUNTY "STANDARDS AND SPECIFICATIONS FOR TOPSOIL" IF ON-SITE MATERIALS DO NOT MEET REQUIREMENTS OF TOPSOIL, TILLING-IN OF CERTIFIED COMPOST TO ON-SITE SOILS TO MEET SPECIFICATIONS SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER.
- FIELD RUN TOPOGRAPHIC SURVEY PROVIDED BY A. MORTON THOMAS AND ASSOCIATES, INC JULY 2011. SURVEY IS IN STATE PLANE DATUM NAD83/2007. BOUNDARIES SHOWN ARE BASED ON GIS INFORMATION UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL TOPOGRAPHY INFORMATION IS TAKEN FROM MONTGOMERY COUNTY GIS PROVIDED BY M-NCPPC.



INDEX OF DRAWINGS		
SHEET #	SHEET #	DESCRIPTION
1 OF 7	GI106	COVER SHEET
2 OF 7	VF105	FIELD SURVEY
3 OF 7	VF106	COMPOSITE EXISTING CONDITIONS PLAN
4 OF 7	CD106	DEMOLITION/TREE PROTECTION PLAN
5 OF 7	CS106	SITE PLAN
6 OF 7	CS206	GITE PROFILES
7 OF 7	CS506	SITE DETAILS

RELATED REQUIRED PERMITS					
IT IS THE RESPONSIBILITY OF PERMITTEE/OWNER OF THIS SITE TO OBTAIN ALL REQUIRED PERMITS PRIOR TO ISSUANCE OF THE APPROVED SEDIMENT CONTROL PERMIT					
TYPE OF PERMIT	REQ'D	NOT REQ'D	PERMIT #	EXPIRATION DATE	WORK RESTRICTION DATES
MCDPS Floodplain District		X			
Waterway/Wetland(s)		X			
Corps of Engineers		X			
MDE		X			
MDE Water Quality Certification		X			
MDE Dam Safety		X			
N.P.D.E.S. NOTICE OF INTENT		X			
Site Access Permit		X			
Others (list)		X			

MISS UTILITY
The Contractor shall call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work. The Contractor is responsible for ensuring that all underground utilities in the area of proposed work are located prior to commencing construction work. The Contractor is responsible for compliance with requirements of Chapter 99A of the Montgomery County Code.

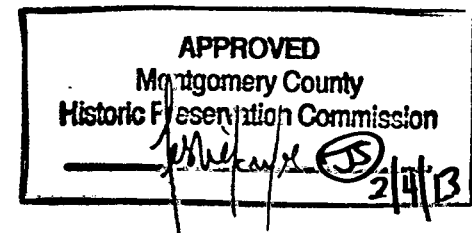
The Contractor is also responsible for locating all private utilities (not located by Miss Utility) within the M-NCPPC property at their expense. All utilities shown on the plans are provided for information only and shall be considered approximate. M-NCPPC shall not be responsible for locating underground utilities. Any utilities or other underground facilities damaged during construction shall be repaired/replaced at the Contractor's expense.

UTILITY SURVEY & RELOCATION CERTIFICATION				
UTILITY	DATE REQUESTED	DATE RECEIVED	SHOWN ON PLANS (Y/N)	RELOCATION REQ'D (Y/N)
PEPCO				
WSSC				
AT&T				
GOAL				
VERIZON				
COMCAST				

UTILITY STATEMENT
THE ABOVE UTILITY COMPANIES HAVE BEEN CONTACTED REGARDING EXISTING UTILITIES WITHIN THIS PROJECT AREA AND INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM AVAILABLE RECORDS. HENCE, ANY UTILITY MODIFICATIONS REQUIRED BY THIS PROJECT HAVE BEEN COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES. THIS STATEMENT DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR FIELD LOCATING ANY UTILITIES AND UNDERGROUND UTILITIES PRIOR TO STARTING CONSTRUCTION.

- SEDIMENT CONTROL/STORMWATER MANAGEMENT CERTIFICATION -

OWNER'S/DEVELOPER'S CERTIFICATE	CERTIFICATION OF THE QUANTITIES
<p>I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THIS PROJECT.</p> <p>SIGNATURE _____ DATE _____</p> <p>PRINTED NAME AND TITLE _____</p>	<p>I/WE HEREBY CERTIFY THAT THE AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO _____ CUBIC YARDS OF EXCAVATION, _____ CUBIC YARDS OF FILL AND THE TOTAL AREA TO BE DISTURBED AS SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE _____ SQUARE FEET.</p> <p>SIGNATURE _____ DATE _____</p> <p>PRINTED NAME _____ REGISTRATION NUMBER _____</p> <p>NOTE: THE EARTHWORK CUT AND FILL QUANTITIES AND THE AREA OF DISTURBANCE INDICATED IN THIS CERTIFICATE ARE CALCULATED FOR THE PURPOSE OF PLAN APPROVAL AND SHOULD NOT BE USED FOR CONTRACTUAL OBLIGATIONS.</p>
DESIGN CERTIFICATION	MAINTENANCE CERTIFICATION
<p>I/WE HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES EXECUTIVE REGULATIONS 5-90, 7-02AM AND 36-90, AND MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION "STORM DRAIN DESIGN CRITERIA", DATED AUGUST 1988.</p> <p>DESIGN ENGINEER SIGNATURE _____ DATE _____</p> <p>PRINTED NAME _____ REGISTRATION NUMBER _____</p>	<p>I/WE HEREBY CERTIFY THAT I/WE ASSUME MAINTENANCE RESPONSIBILITIES FOR ALL STORMWATER MANAGEMENT STRUCTURES SHOWN HEREON. IF MAINTENANCE RESPONSIBILITY IS LEGALLY TRANSFERRED, I/WE AGREE TO SUPPLY THE MONTGOMERY COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION WITH A COPY OF THE DOCUMENT (SIGNED BY BOTH PARTIES) TRANSFERRING SAID MAINTENANCE RESPONSIBILITY AT THAT TIME.</p> <p>DATE _____ OWNER/DEVELOPER _____</p> <p>PRINTED NAME _____ TITLE _____</p>



APPROVED FOR PROCUREMENT

APPROVED BY: MITA PEDEZZI, PE
CHIEF, PARK DEVELOPMENT DIVISION

MONTGOMERY COUNTY DEPT OF PERMITTING SERVICES APPROVED FOR:			NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED OF A MCDPS ACCESS PERMIT.
Stormwater Management:	Sediment Control Technical Requirements:	Administrative Requirements:	
N/A	N/A	Reviewed _____ Date _____	
Reviewed _____ Date _____	Reviewed _____ Date _____	N/A	
Approved _____ Date _____	Approved _____ Date _____	SEEDMENT CONTROL PERMIT # _____	

ADA COMPLIANCE CERTIFICATION

THE DESIGN OF THIS PROJECT HAS INCORPORATED FACILITIES FOR THE ELDERLY AND HANDICAPPED IN COMPLIANCE WITH THE COUNTY, STATE AND FEDERAL LEGISLATION.

DESIGN ENGINEER _____ DATE _____

DESIGN	REVIEW AND APPROVAL	REVIEW AND APPROVAL
M-NCPPC		
Landscape Architect	Date _____ Checked By: Park Development	Date _____ Superintendent of Parks
Architect	Date _____ Checked By: Central Maintenance	Date _____ Park Police
AMT Engineer	Date _____ Checked By: Region	Date _____
AMT Drawn by	Date _____ Checked By: Natural Resources	Date _____

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Park and Planning
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

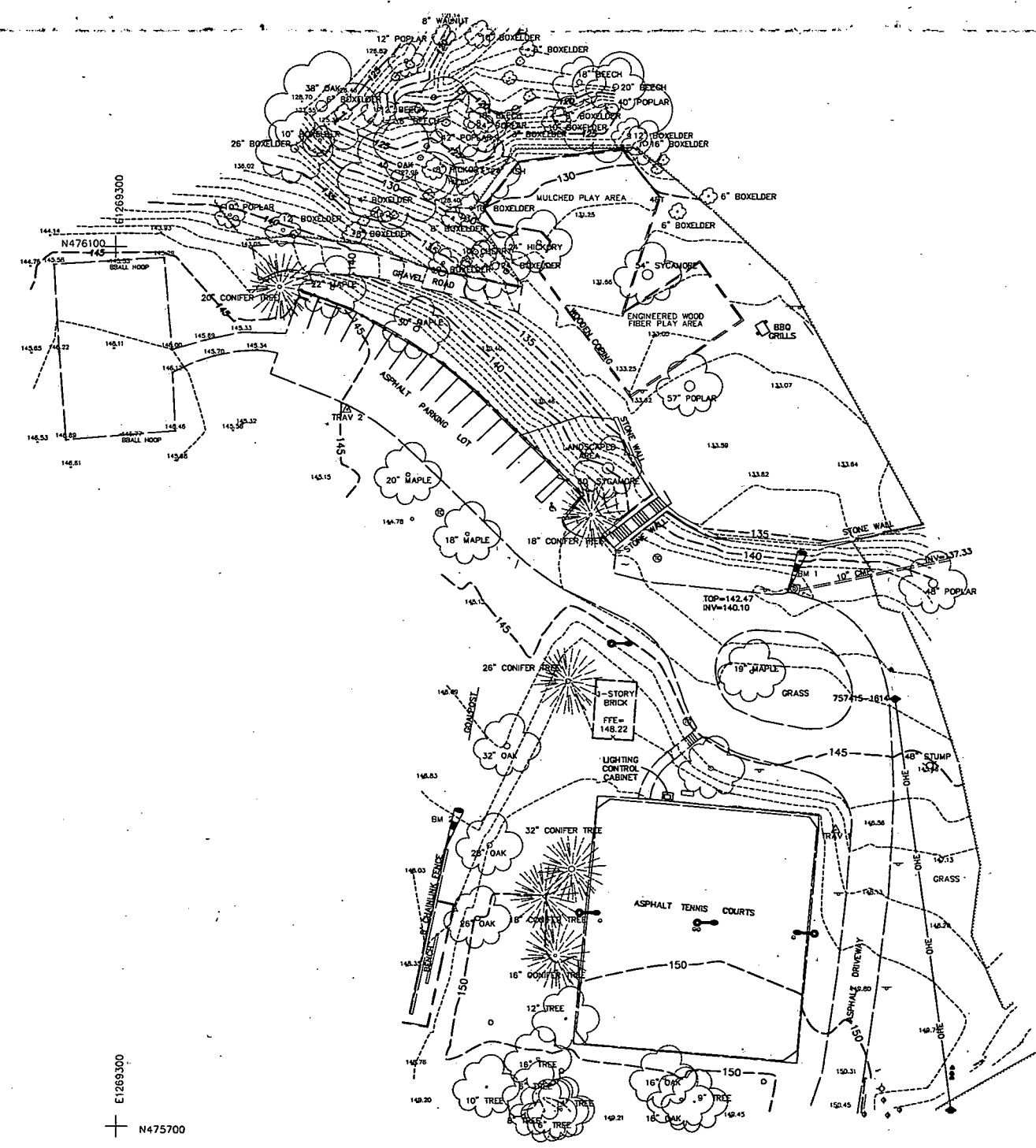
PLANS ISSUED FOR:		
REVISIONS		
Rev. No.	Date	Description

PRELIMINARY NOT FOR CONSTRUCTION
SEAL:

Cover Sheet
CABIN JOHN PARK - PHASE II
ADA MODIFICATIONS TO 4 SITES
SCALE: AS SHOWN
WSSC Grid Map 208NW07
GI106
SHEET 1 of 7

FINAL SCANNED: PARK CODE: A26 PLAN SCANNED: X:\Reckwa\108-1572.014 - ADA Modifications to Exis 05-05-00\0105-108157014_CJ.dwg 0108 Plotted By: Logan, Seb, 7/31/2012 2:10 PM

FINAL SCANNED: PLAN SCANNED: PARK CODE: A26
 X:\Technology\108-157.014 - ADA Modifications to Eria\05-CA\VF105-108157014_Cad.dwg VF105 - II Plotted By: Logan, Sath. 7/31/2012 2:10 PM



LEGEND

- BUSH
- TRASH CAN
- STORM MANHOLE
- 2-POST SIGN
- SIGN
- POWER POLE
- LIGHT POLE
- GUY WIRE
- WATER VALVE
- FIRE HYDRANT
- HC SYMBOL
- POST
- BOLLARD
- STUMP
- TRAVERSE
- BENCHMARK
- WOODLINE
- OVERHEAD ELEC.
- GUARDRAIL
- FENCE (WOOD)
- FENCE (CHAIN-LINK)

BENCHMARKS

BM.	ELEVATION	DESCRIPTION
1	142.41	SQUARE CUT AT CORNER OF CATCH BASIN
2	147.43	SQUARE CUT AT CORNER CONCRETE

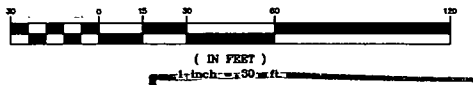
TRAVERSE

POINT	NORTHING	EASTING	ELEV	DESCRIPTION
1	475834.276	1269619.033	148.24	REBAR AND CAP
2	476026.143	1269402.497	144.96	REBAR AND CAP

SURVEY NOTES

- FIELD SURVEY PERFORMED BY AMORTON THOMAS AND ASSOCIATES, DATED JULY 2011.
- HORIZONTAL DATUM: MARYLAND STATE PLANE NAD 83/2007 ESTABLISHED BY G.P.S. OBSERVATIONS
- VERTICAL DATUM: NAVD88 ESTABLISHED BY G.P.S. OBSERVATIONS
- NO PROPERTY OR BOUNDARY SURVEYS WERE PERFORMED AS PART OF THIS SURVEY.

GRAPHIC SCALE



APPROVED
 Montgomery County
 Historic Preservation Commission

 2/11/13

DESIGN			REVIEW AND APPROVAL			REVIEW AND APPROVAL		
M-NCPPC								
Landscape Architect	Date	Checked By:	Park Development	Date	Superintendent of Parks	Date		
Architect	Date	Checked By:	Central Maintenance	Date	Park Police	Date		
AMT								
Engineer	Date	Checked By:	Region	Date		Date		
AMT								
Drawn by	Date	Checked By:	Natural Resources	Date		Date		



The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Park and Planning
 9500 Brunnet Avenue
 Silver Spring, Maryland 20901
 (301) 495-2535

PLANS ISSUED FOR:		
REVISIONS		
Rev. No.	Date	Description

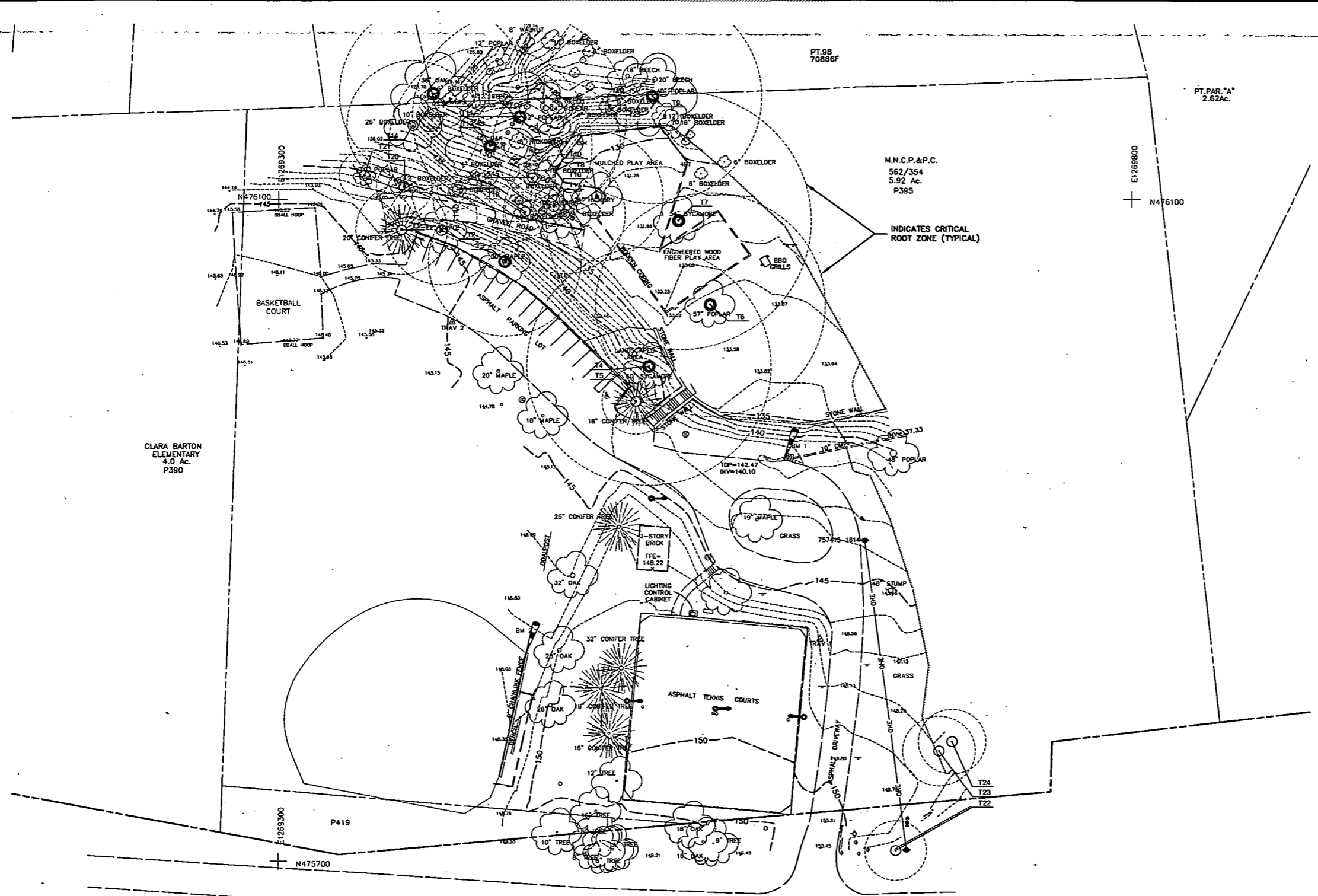
PRELIMINARY
 NOT FOR CONSTRUCTION
 SEAL:

Field Survey
CABIN JOHN PARK - PHASE II
 ADA MODIFICATIONS TO 4 SITES
 WSSC Grid Map
 208NW07
 SCALE: 1"=30'

VF105
 SHEET 2 of 7

FINAL SCANNED: PLAN SCANNED: PARK CODE: A26

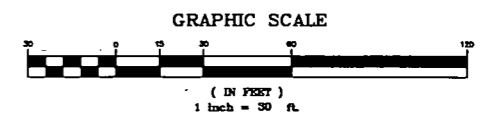
X:\Projects\108-157.014 - ADA Modifications to Exit 05-00\VF106-108157014_Comp VF106 - II Plotted By: Logan, Sahn, 7/31/2012 2:10 PM, -----



TREE CONDITION SUMMARY					
Tree #	Species	D.B.H. (Inches)	Critical Root Zone (Sq. Ft.)	Tree Condition	Comments
T1	<i>Abies pinsapo</i>	18	2290	Average	Compacted and eroded root zone
T2	<i>Acer rubrum</i>	22	3421	Average	Compacted root zone
T3	<i>Acer rubrum</i>	30	8382	Average	Compacted root zone
T4	<i>Platanus occidentalis</i>	48	18288	Good	
T5	<i>Abies pinsapo</i>	20	2827	Average	Leaning form, compacted root zone
T6	<i>Liriodendron tulipifera</i>	45	14314	Average	Large wound in side from fallen branch
T7	<i>Platanus occidentalis</i>	52	19113	Good	
T8	<i>Fraxinus pennsylvanica</i>	26	4778	Average	Broken leader
T9	<i>Liriodendron tulipifera</i>	43	13070	Good	
T10	<i>Fraxinus pennsylvanica</i>	25	4418	Good	
T11	<i>Liriodendron tulipifera</i>	42	12469	Good	
T12	<i>Quercus alba</i>	40	11310	Good	
T13	<i>Quercus alba</i>	37	9677	Average	Vines on trunk
T14	<i>Liriodendron tulipifera</i>	26	4778	Average/Poor	Wysteria on canopy
T15	<i>Acer negundo</i>	9	473	Average/Poor	Epicormic growth on trunk
T16	<i>Prunus serotina</i>	8	523	Average	Dead vines on trunk
T17	<i>Acer negundo</i>	24	4072	Average/Poor	Epicormic growth
T18	<i>Acer negundo</i>	9	573	Average/Poor	Epicormic growth, vines on trunk
T19	<i>Acer negundo</i>	8	452	Average/Poor	Epicormic growth, vines on trunk, broken leader
T20	<i>Acer</i>	11	855	Average/Poor	Wysteria on trunk, canopy
T21	<i>Liriodendron tulipifera</i>	10	707	Average/Poor	English ivy, Euonymus, Wysteria on trunk, canopy; wound on trunk from fallen branch
T22	<i>Fraxinus pennsylvanica</i>	12	1018	Average/Poor	Under powerline (trimmed); poor form
T23	<i>Fraxinus pennsylvanica</i>	14	1385	Average/Poor	Poor form
T24	<i>Carya alba</i>	13	1195	Good	English ivy; Poison ivy on trunk

NOTES

- AREAS OUTSIDE OF THE LIMITS OF FIELD SURVEY HAVE NOT BEEN FIELD VERIFIED AND ARE BASED ON INFORMATION PROVIDED TO A. MORTON THOMAS AND ASSOCIATES.
- PROPERTY LINES SHOWN HEREON ARE BASED ON AVAILABLE GIS DATA PROVIDED BY THE MARYLAND - NATIONAL CAPITAL PARK AND PLANNING COMMISSION (M-NCPPC).



APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature]
 2/4/13

DESIGN	REVIEW AND APPROVAL		REVIEW AND APPROVAL	
M-NCPPC				
Landscape Architect	Date	Checked By:	Park Development	Date
Architect	Date	Checked By:	Central Maintenance	Date
AMT	Date	Checked By:	Region	Date
AMT	Date	Checked By:	Natural Resources	Date

The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Park and Planning
 9500 Brunnet Avenue
 Silver Spring, Maryland 20901
 (301) 495-2535

PLANS ISSUED FOR:		
REVISIONS		
Rev. No.	Date	Description

PRELIMINARY NOT FOR CONSTRUCTION

Composite Existing Conditions Plan
CABIN JOHN PARK - PHASE II
 ADA MODIFICATIONS TO 4 SITES
 WSSC Grid Map 208NW07
 SCALE: 1"=30'

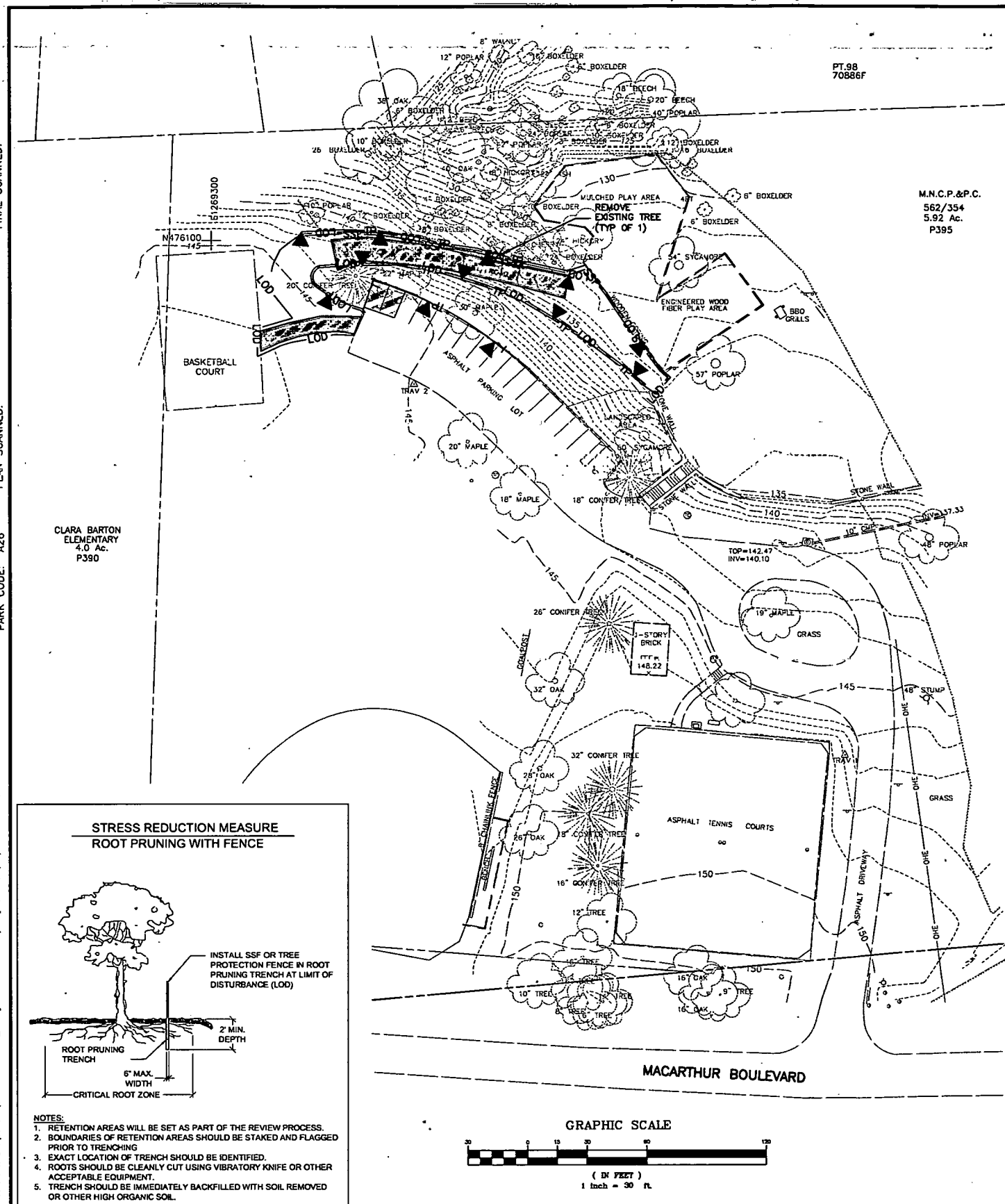
VF106
 SHEET 3 of 7

FINAL SCANNED:

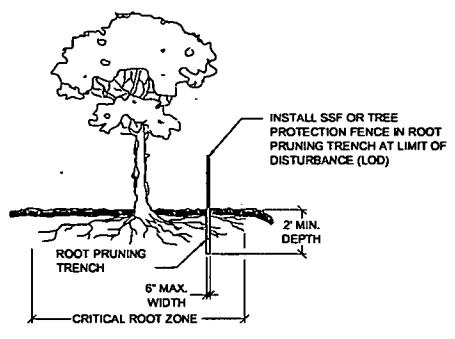
PLAN SCANNED:

PARK CODE: A26

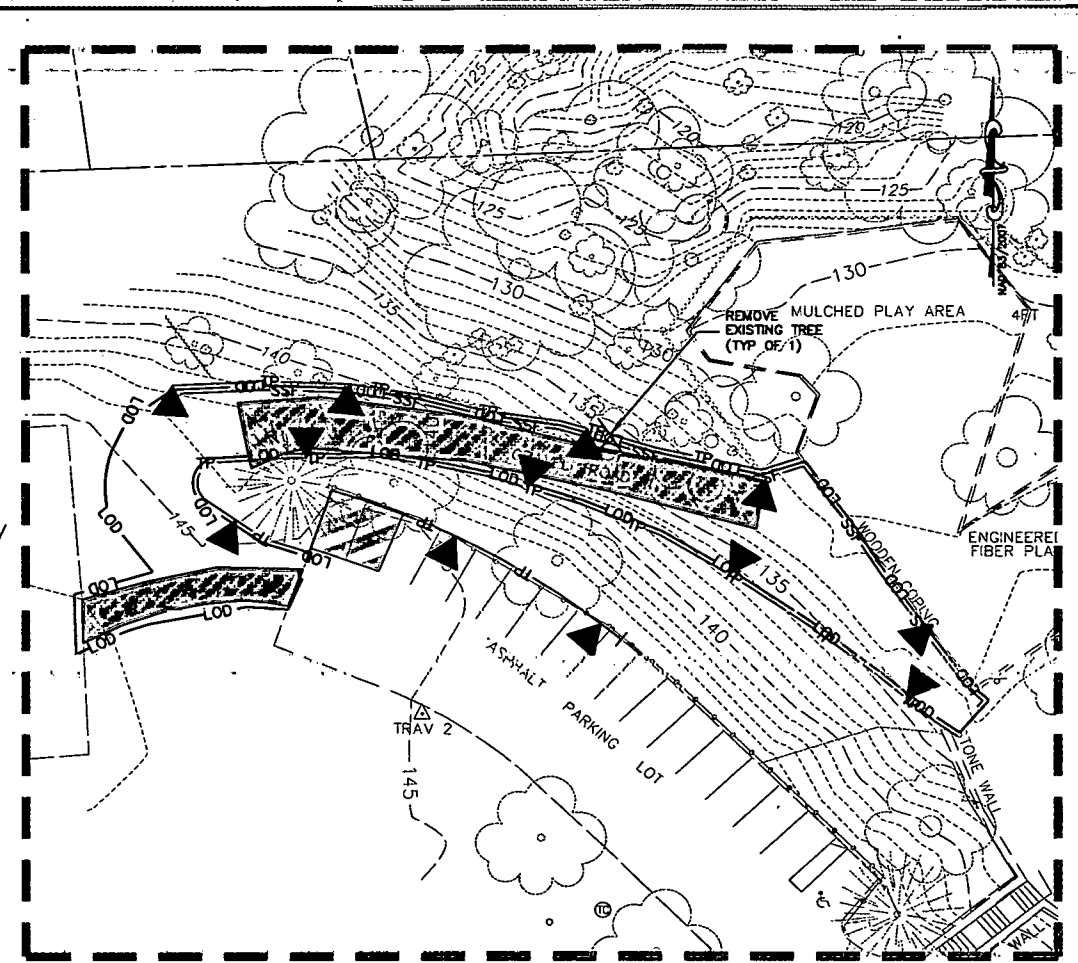
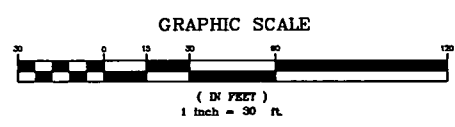
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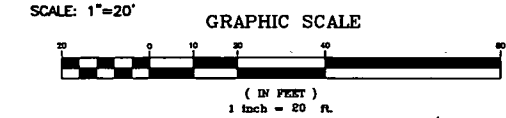
**STRESS REDUCTION MEASURE
ROOT PRUNING WITH FENCE**



- NOTES:**
1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS.
 2. BOUNDARIES OF RETENTION AREAS SHOULD BE STAKED AND FLAGGED PRIOR TO TRENCHING.
 3. EXACT LOCATION OF TRENCH SHOULD BE IDENTIFIED.
 4. ROOTS SHOULD BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.
 5. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH SOIL REMOVED OR OTHER HIGH ORGANIC SOIL.
- NOT TO SCALE



DETAILED PLAN



NOTE:
GENERALLY, ROOT PRUNING AND TREE PROTECTION FENCE ARE LOCATED AT THE LIMIT OF DISTURBANCE. THEREFORE, THE LAYOUT OF LINES DEPICTING TREE PROTECTION FENCE AND ROOT PRUNING IS DIAGRAMMATIC, AND FOR REFERENCE ONLY. PLEASE REFER TO THE STRESS REDUCTION DETAIL FOR MORE INFORMATION.

LEGEND

- LOD LIMIT OF DISTURBANCE
- REMOVE PAVEMENT OR GRAVEL
- REMOVE ASPHALT LAYERS, STONE BASE TO REMAIN
- ▼ TREE PROTECTION SIGNAGE
- TP TREE PROTECTION FENCING
- SSF SUPER SILT FENCE

NOTES

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2. PROPERTY LINES SHOWN HEREON ARE BASED ON AVAILABLE GIS DATA PROVIDED BY THE MARYLAND - NATIONAL CAPITAL PARK AND PLANNING COMMISSION (M-NCPPC).
3. IMPROVEMENTS SHOWN HEREON SHALL BE CONSTRUCTED AND DOCUMENTED BY 8/16/2013.

DEMOLITION NOTES:

1. EXISTING PAVEMENT SHALL BE SAW CUT BEFORE REMOVAL. ALL SAW CUTS SHALL BE STRAIGHT, EVEN CUTS; JAGGED CUTS WILL NOT BE PERMITTED.
2. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS SO AS NOT TO DAMAGE EXISTING ADJACENT FACILITIES AND STRUCTURES. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION OR BETTER UNLESS NOTED OTHERWISE.
3. LIVE UNDERGROUND AND OVERHEAD UTILITIES MAY EXIST WITHIN THE WORK AREA. CONTRACTOR SHALL USE EXTREME CAUTION AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
4. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTRACT AN INDEPENDENT FIRM TO LOCATE "ALL" UNDERGROUND UTILITIES AND INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO: PIPES, DRAINS, CABLE, ETC., IN ANY PROPOSED EXCAVATION AREA. THE CONTRACTOR IS ALERTED TO THE FACT THAT "MISS UTILITY" MUST BE CONTACTED AT 1-800-257-7777 A MINIMUM OF 48 HOURS PRIOR TO EXCAVATION. NOTE: "MISS UTILITY" WILL NOT LOCATE PRIVATE INFRASTRUCTURE.
5. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL MEET CURRENT MARYLAND DEPARTMENT OF THE ENVIRONMENT STANDARDS AND DIRECTIVES.
6. EXISTING SIGNS, BOLLARDS, AND MINOR SITE FEATURES IN THE WAY OF PROPOSED CONSTRUCTION, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE REMOVED AND SALVAGED AT NO ADDITIONAL COST TO THE OWNER. COORDINATE WITH THE M-NCPPC PROJECT MANAGER REGARDING SITE ITEMS TO BE SALVAGED.
7. ALL TRENCHES AND PITS RESULTING FROM THE REMOVAL OF EXISTING PIPES, FOUNDATIONS, INLETS, MANHOLES, UTILITIES, ETC. SHALL BE BACK FILLED WITH SELECT BACK FILL MATERIAL AND COMPACTED IN 6 INCH MAXIMUM LIFTS.
8. ANY UNCHARTED SUBSURFACE FOOTINGS, STRUCTURES, UTILITIES, ETC. ENCOUNTERED DURING EXCAVATION WORK SHALL BE REMOVED AS DIRECTED BY THE M-NCPPC PROJECT MANAGER. THE CONTRACTOR SHALL NOTIFY THE M-NCPPC PROJECT MANAGER IMMEDIATELY IF THIS SITUATION OCCURS.
9. THE CONTRACTOR IS OBLIGATED TO REMOVE ALL EXISTING FEATURES AS NECESSARY TO CONSTRUCT PROJECT. THIS PLAN IN NO WAY LIMITS THE EXTENT OF DEMOLITION REQUIRED.
13. "SALVAGE" SHALL BE HEREBY DEFINED AS: CAREFULLY REMOVE OR DISASSEMBLE, CLEAN, DELIVER AND STORE AT A LOCATION SPECIFIED BY THE M-NCPPC PROJECT MANAGER.

DESIGN	REVIEW AND APPROVAL		REVIEW AND APPROVAL	
M-NCPPC				
Landscape Architect	Date	Checked By:	Park Development	Date
Architect	Date	Checked By:	Central Maintenance	Date
AMT	Date	Checked By:	Region	Date
Engineer	Date	Checked By:	Region	Date
AMT	Date	Checked By:	Natural Resources	Date
Drawn by	Date	Checked By:	Natural Resources	Date



The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Park and Planning
 9500 Brunnet Avenue
 Silver Spring, Maryland 20901
 (301) 495-2535

PLANS ISSUED FOR:		
REVISIONS		
Rev. No.	Date	Description

**PRELIMINARY
NOT FOR CONSTRUCTION**

**Demolition/Tree Protection Plan
CABIN JOHN PARK - PHASE II**
 ADA MODIFICATIONS TO 4 SITES
 WSSC Grid Map 208NW07
 SCALE: 1"=60'

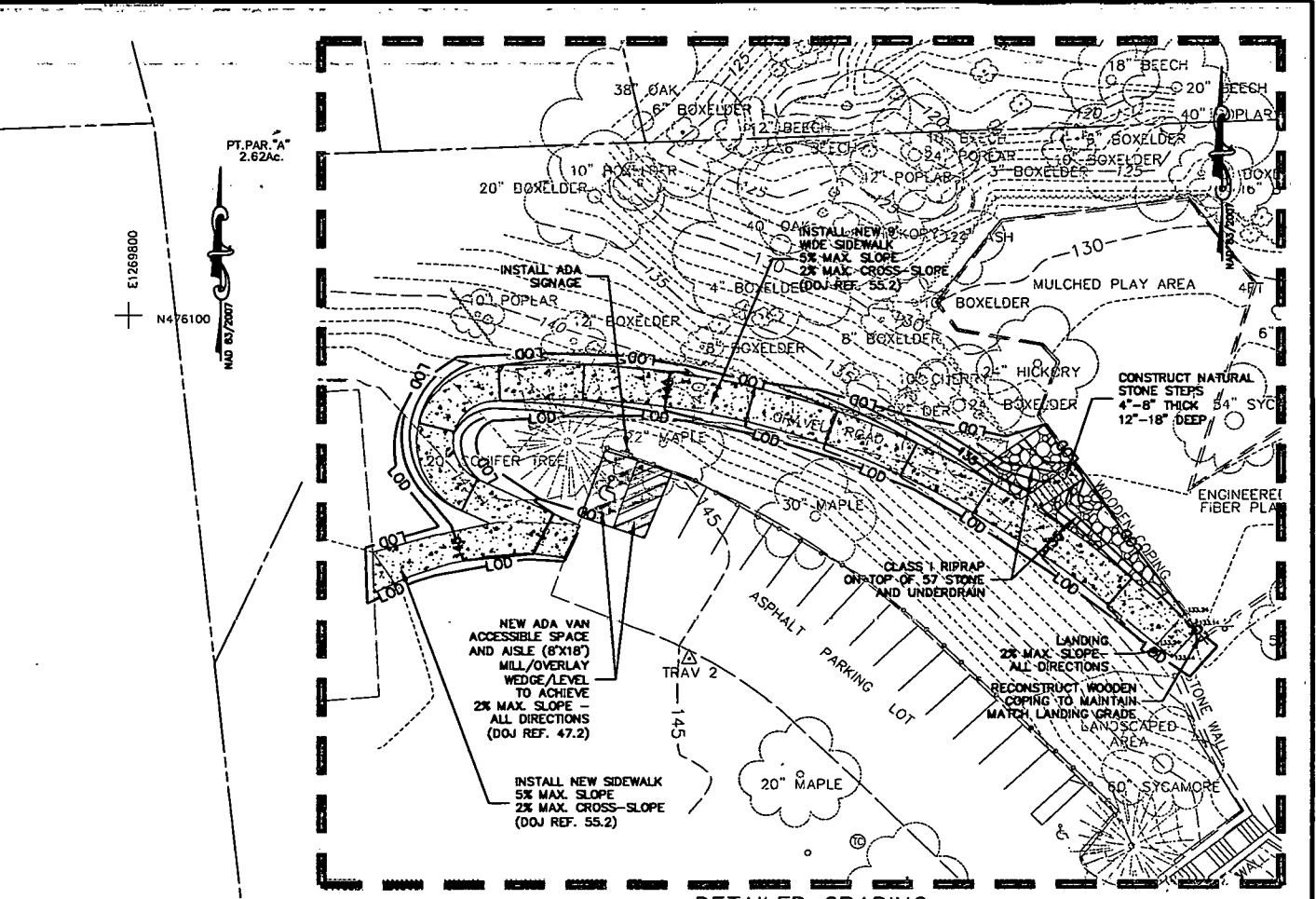
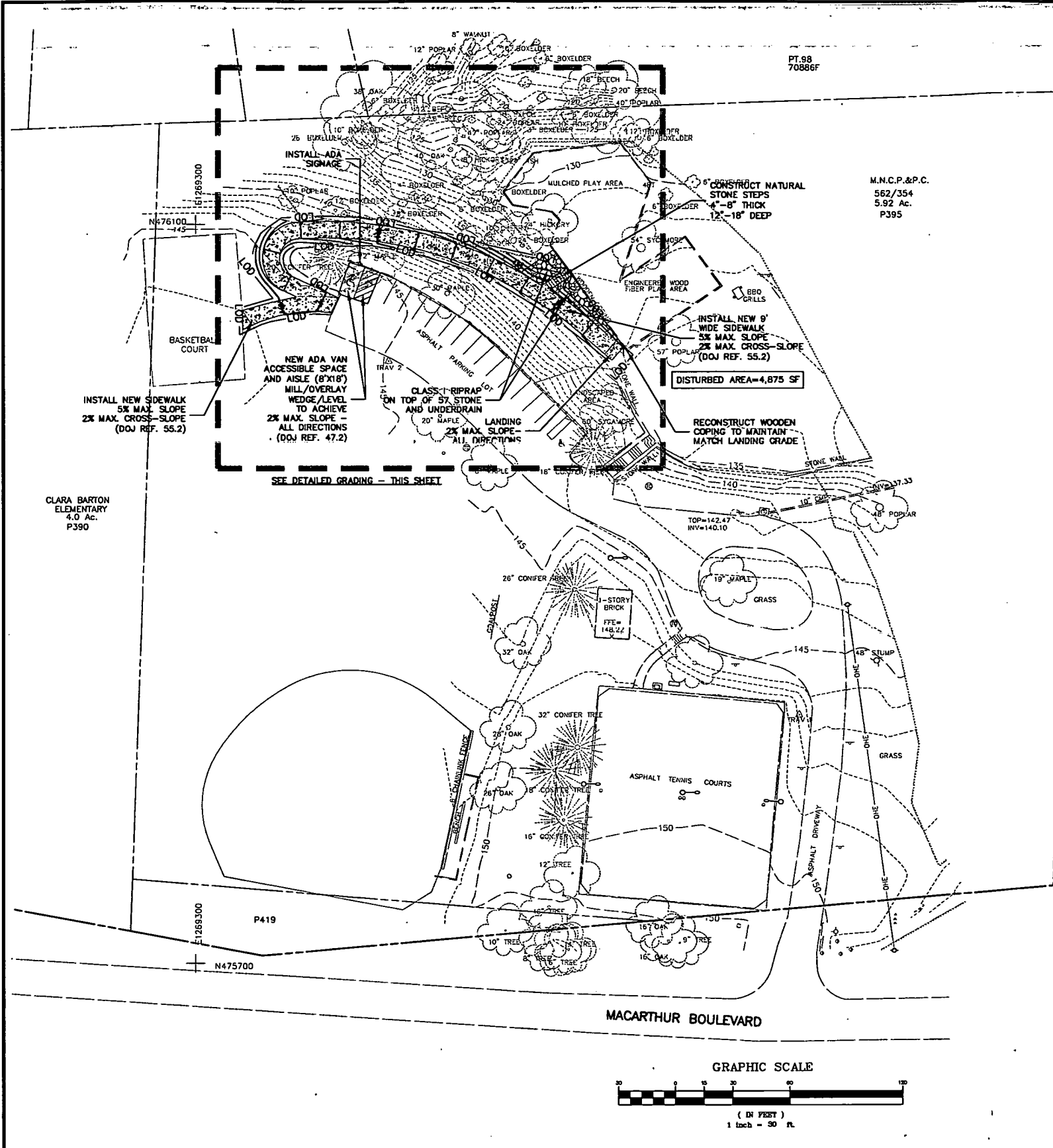
APPROVED
 Montgomery County
 Historic Preservation Commission
 8/16/2013

CD106
 SHEET 4 of 7

FINAL SCANNER:

PARK CODE: A26 PLAN SCANNED:

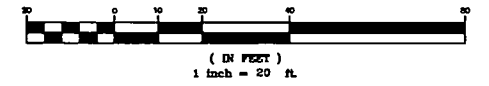
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DETAILED GRADING

SCALE: 1"=20'

GRAPHIC SCALE

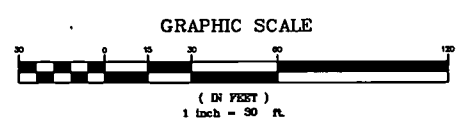
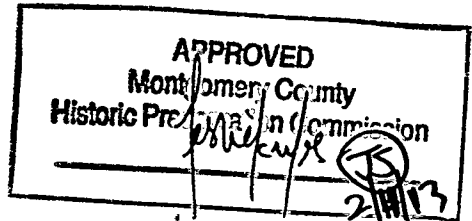


LEGEND

- LOD — LIMIT OF DISTURBANCE
- CONCRETE PAVING
- MILL/OVERLAY

NOTES

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3. IMPROVEMENTS SHOWN HEREON SHALL BE CONSTRUCTED AND DOCUMENTED BY 8/16/2013.



DESIGN		REVIEW AND APPROVAL		REVIEW AND APPROVAL	
M-NCPCC					
Landscape Architect	Date	Checked By:	Park Development	Date	Superintendent of Parks
Architect	Date	Checked By:	Central Maintenance	Date	Park Police
AMT	Date	Checked By:	Region	Date	
Engineer	Date	Checked By:	Natural Resources	Date	
AMT	Date	Checked By:		Date	
Drawn by	Date	Checked By:		Date	



The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Park and Planning
 9500 Brunetti Avenue
 Silver Spring, Maryland 20901
 (301) 495-2535

PLANS ISSUED FOR:		
REVISIONS		
Rev. No.	Date	Description

PRELIMINARY
NOT FOR CONSTRUCTION

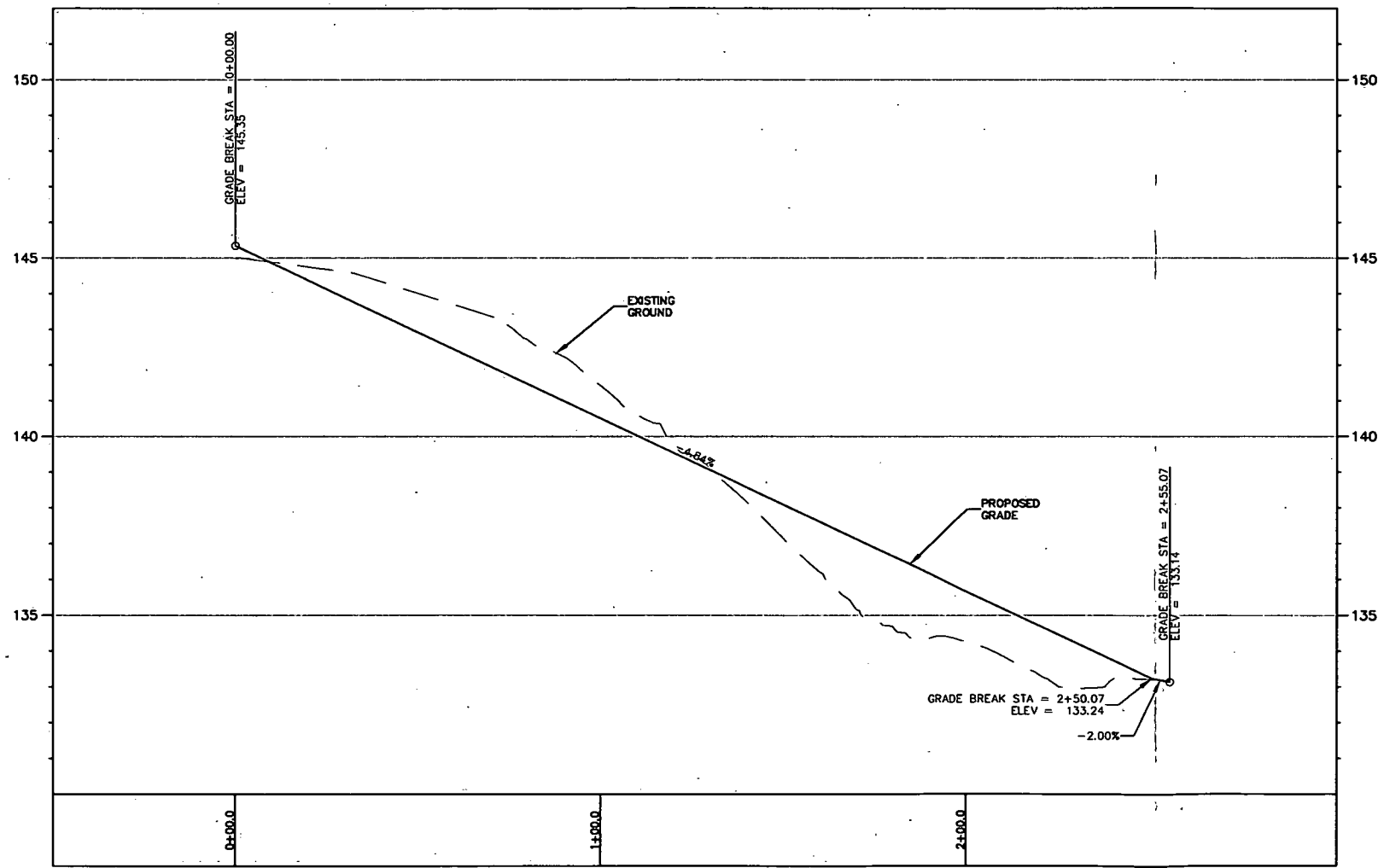
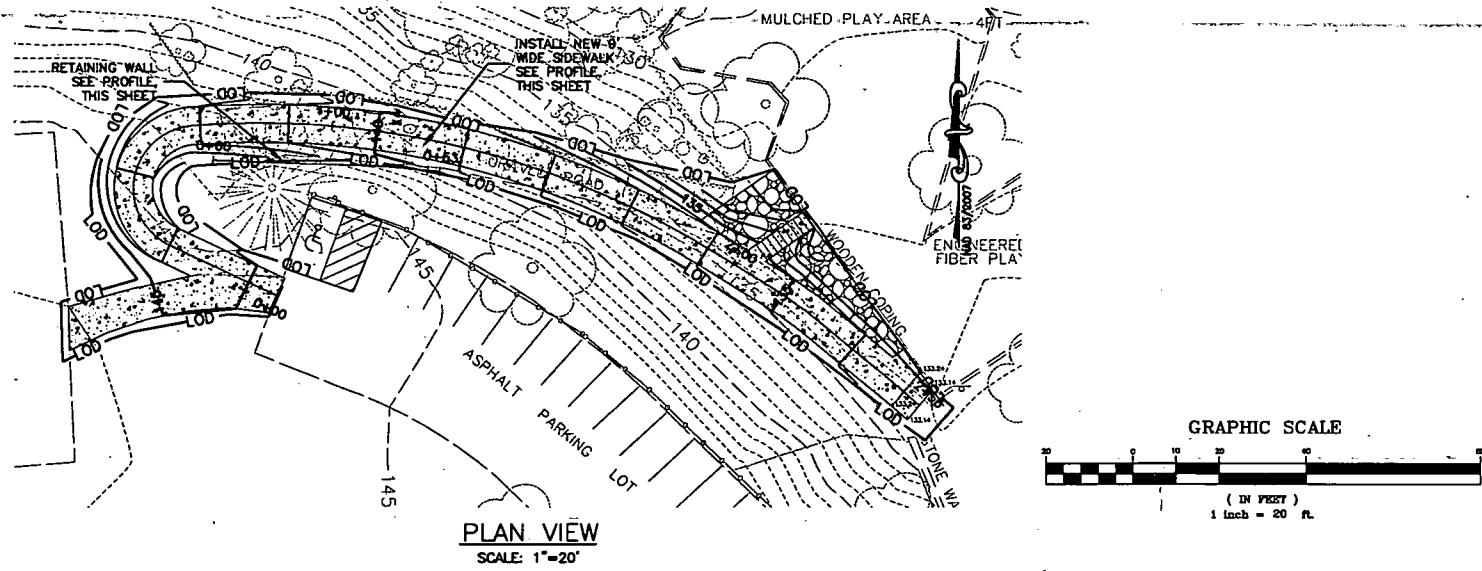
Site Plan
CABIN JOHN PARK - PHASE II
 ADA MODIFICATIONS TO 4 SITES
 WSSC Grid Map
 208NW07

CS106
 SCALE: AS NOTED
 SHEET 5 of 7

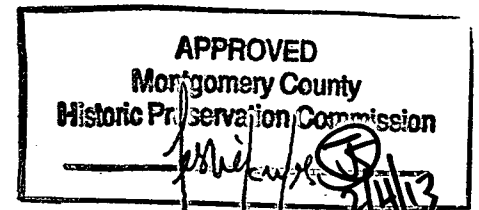
FINAL SCANNED:

PLAN SCANNED:

PARK CODE: A26
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Playground Path - CL PROFILE
SCALE: HORIZ 1" = 20'
VERT. 1" = 2'



LEGEND

- LOD — LIMIT OF DISTURBANCE
- CONCRETE PAVING

NOTES

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DESIGN	REVIEW AND APPROVAL		REVIEW AND APPROVAL	
M-NCPPC				
Landscape Architect	Date	Checked By:	Park Development	Date
Architect	Date	Checked By:	Central Maintenance	Date
AMT	Date	Checked By:	Region	Date
AMT	Date	Checked By:	Natural Resources	Date



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Park and Planning
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-7535

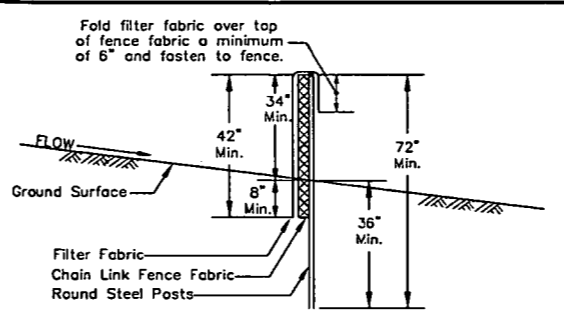
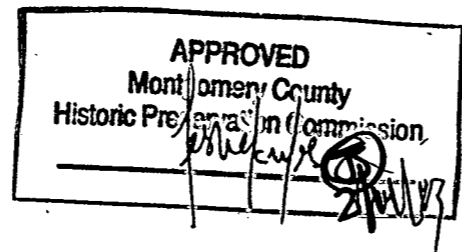
PLANS ISSUED FOR:		
REVISIONS		
Rev. No.	Date	Description

PRELIMINARY
NOT FOR CONSTRUCTION

Site Profiles
CABIN JOHN PARK - PHASE II.
ADA MODIFICATIONS TO 4 SITES
WSSC Grid Map
208NW07

CS206

SHEET 6 of 7



- NOTES: 1. Steel Posts must be Schedule 40 or 'SS-40', 2.5" diameter, galvanized pipe. Post Spacing must not exceed 10 linear feet. Posts do not need to be set in concrete. 2. Chain link fence fabric must be 2" x #9 gauge x 42" KK wire. Chain link fence fabric must be stretched taut and securely fastened to posts with fence wire. 3. Filter fabric must be MSHA Class 'F' fabric. Filter fabric must be stretched taut and securely fastened to chain link fence, front and back. Where two ends of filter cloth meet, they must be overlapped a minimum of 6", folded together and fastened. 4. Maintenance must be performed as needed and silt buildups removed when they reach an 18" depth above existing ground or when 'bulges' develop in the silt fence. 5. All other details and specifications shall be in accordance with U.S.D.A.-S.C.S., M.D.E.-W.M.A. and M.S.H.A. specifications.

Table with project information: MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES WATER RESOURCES, MODIFIED SUPER SILT FENCE, DATE: 6/03, SCALE: NONE.

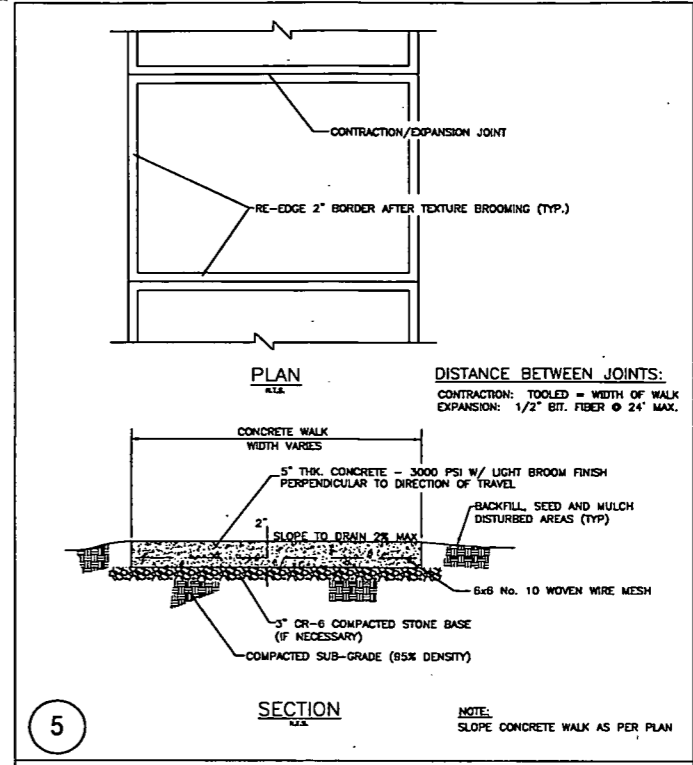
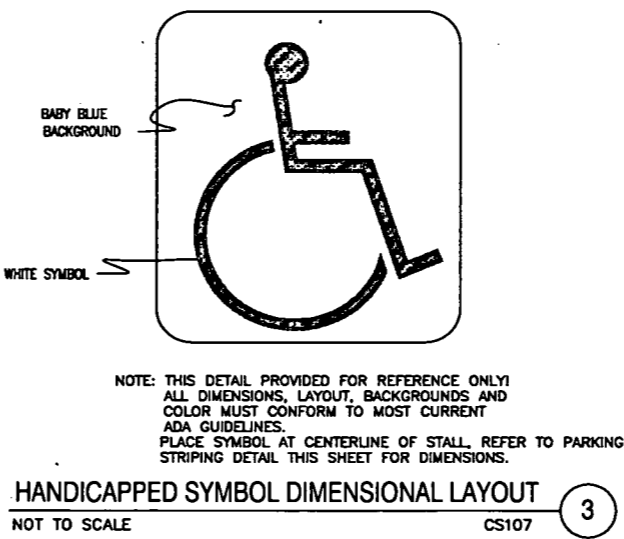
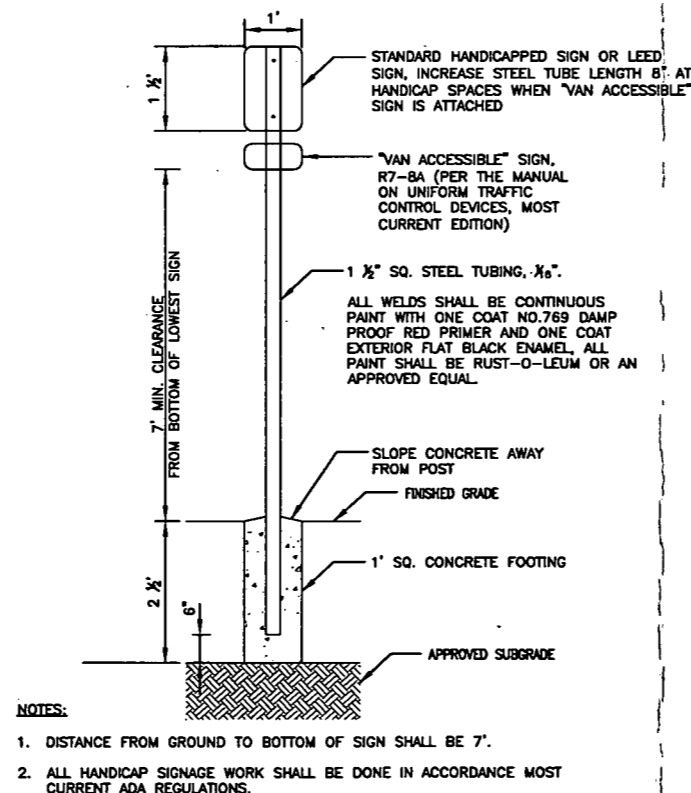
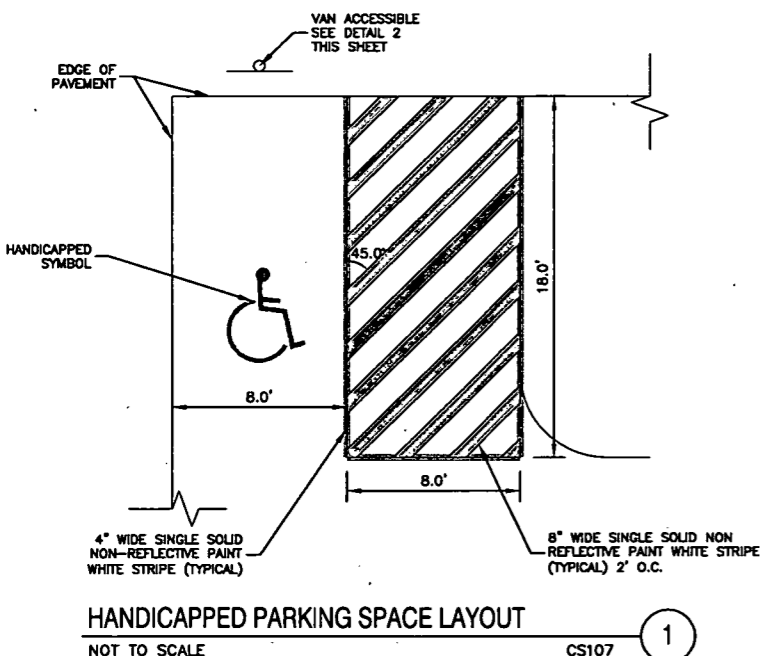


Table with project information: THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION, Department of Park and Planning, Montgomery County, Maryland, CONCRETE WALK, STANDARD NO. 311.



DESIGN REVIEW AND APPROVAL table with columns for Design, Review and Approval, and Date.

The Maryland-National Capital Park and Planning Commission logo and address: 9500 Brunnet Avenue, Silver Spring, Maryland 20901, (301) 495-2535.

PLANS ISSUED FOR: REVISIONS table with columns for Rev. No., Date, and Description.

Site Details: CABIN JOHN PARK - PHASE II, ADA MODIFICATIONS TO 4 SITES, WSSC Grid Map 208NW07, SHEET 7 of 7.



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: January 24, 2013

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Karen Theimer Brown, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #619562, grading and paving for ADA compliance

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the January 9, 2013 meeting.

Applicant: MNCPPC Parks Department (Chuck Harper, P.E.)

Address: 7401 MacArthur Boulevard, Cabin John





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: bob.green@montgomeryparks.org Contact Person: Bob Green
 Daytime Phone No.: 301-495-2571
 Tax Account No.: Maryland - National Capital Park and
Planning Commission (M-NCPPC) Daytime Phone No.: 301-495-2535
 Name of Property Owner: 9500 Brunett Avenue Silver Spring MD 20901
 Address: Street Number City State Zip Code
 Contractor: currently under bid Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISES

House Number: 7401 Street: MacArthur Boulevard
 Town/City: Cabin John Nearest Cross Street: 75th Street
 Lot: _____ Block: _____ Subdivision: _____
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: Grading and Paving for ADA compliance

1B. Construction cost estimate: \$ \$60,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETION FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Charles Harper CHARLES HARPER 11/29/2012
 Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: 2/4/13
 Application/Permit No.: 619562 Date Filed: 11/30/12 Date Issued: _____



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Thomas Jester
Chairperson

Date: June 2, 2010

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #536535, stair and retaining wall installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the May 26, 2010 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Thomas Jarrett

Address: 3 Quincy Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES, 355 ROCKVILLE PIKE, SUITE 200, ROCKVILLE, MD 20850

DPS - #8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MICHAEL MCCARTHY Daytime Phone No.: 301.320.2452

Tax Account No.: 00456957

Name of Property Owner: THOMAS JARRETT Daytime Phone No.: 301.654.1223

Address: 3 CHEVY CHASE QUINCY 20815

Contractor: EVERGRO Phone No.: 301.464.5005

Contractor Registration No.: 97841

Agent for Owner: MICHAEL MCCARTHY Daytime Phone No.: 301.320.2452

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: QUINCY Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE Lot: 34 Block: 61 Subdivision: 9 Parcel: PLAT# 9464

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, Fence/Wall, Other: STEPS 4R (24")

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height: 1 feet 6 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/assessment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date: 4.27.2010

536535

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: [Signature] Signature: THOMAS JARRETT Date: 6/2/10
Application/Permit No.: Date Filed: Date Issued:

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

3 QUINCY STREET IS A ONE-STORY BRICK CONTEMPORARY
HOUSE, BUILT IN 1970. AS A NON-CONTRIBUTING RESOURCE,
IT POSSESSES NO HISTORICAL VALUE FOR THE
SURROUNDING SETTING.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT INVOLVED THE CONSTRUCTION OF 4 STEPS AND 2 SMALL
WALLS TO INCREASE THE OVERALL AESTHETIC APPEAL OF THE RESIDENCE
BY ADDING SOME NEEDED ARCHITECTURAL ELEMENTS, & MORE IMPORTANTLY,
TO RECTIFY TWO DANGEROUS CONDITIONS: THE STEPS HAD DETRIORATED &
THE LANDSCAPE TIMBER WALL HAD BEGUN TO FAIL.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and features proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

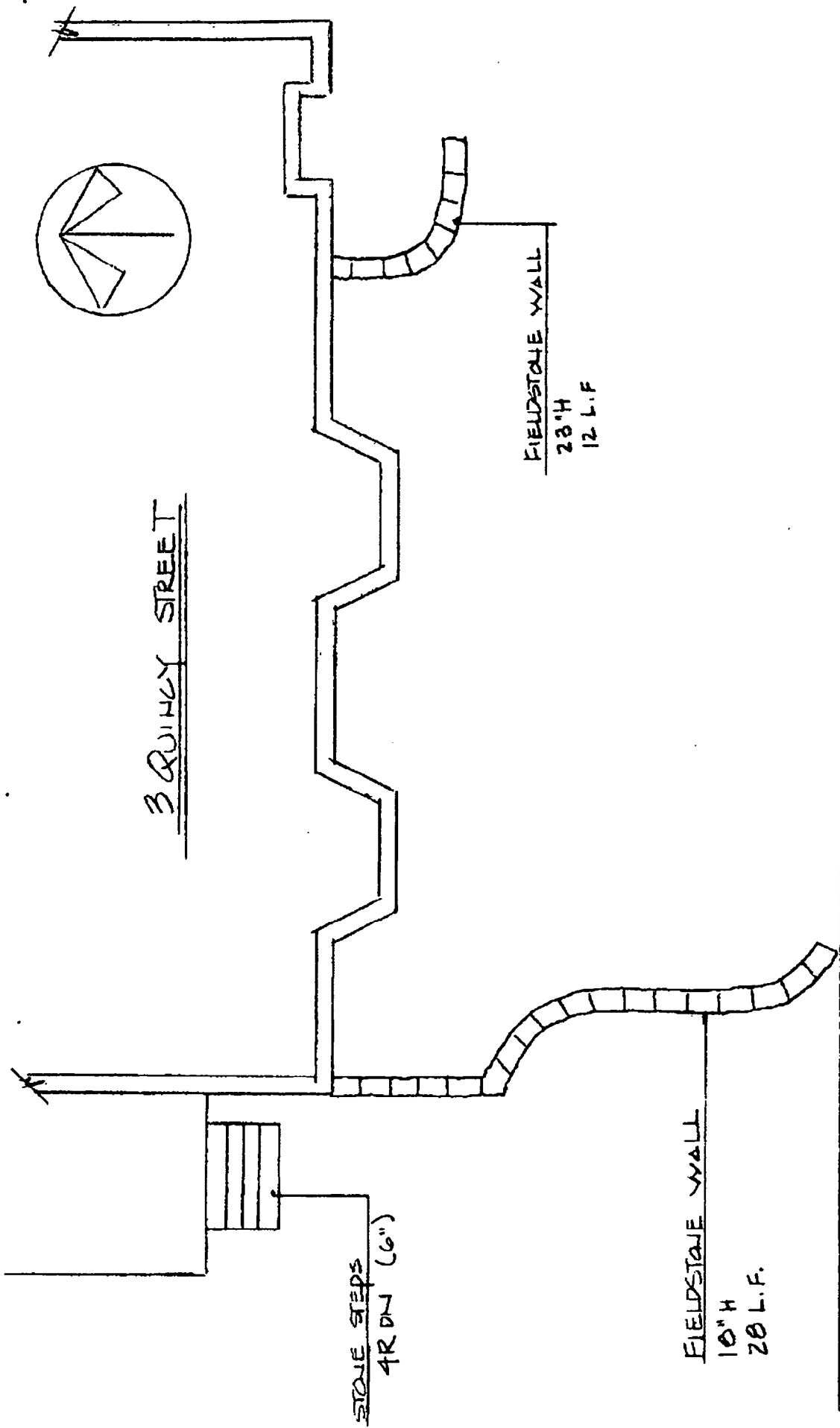
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

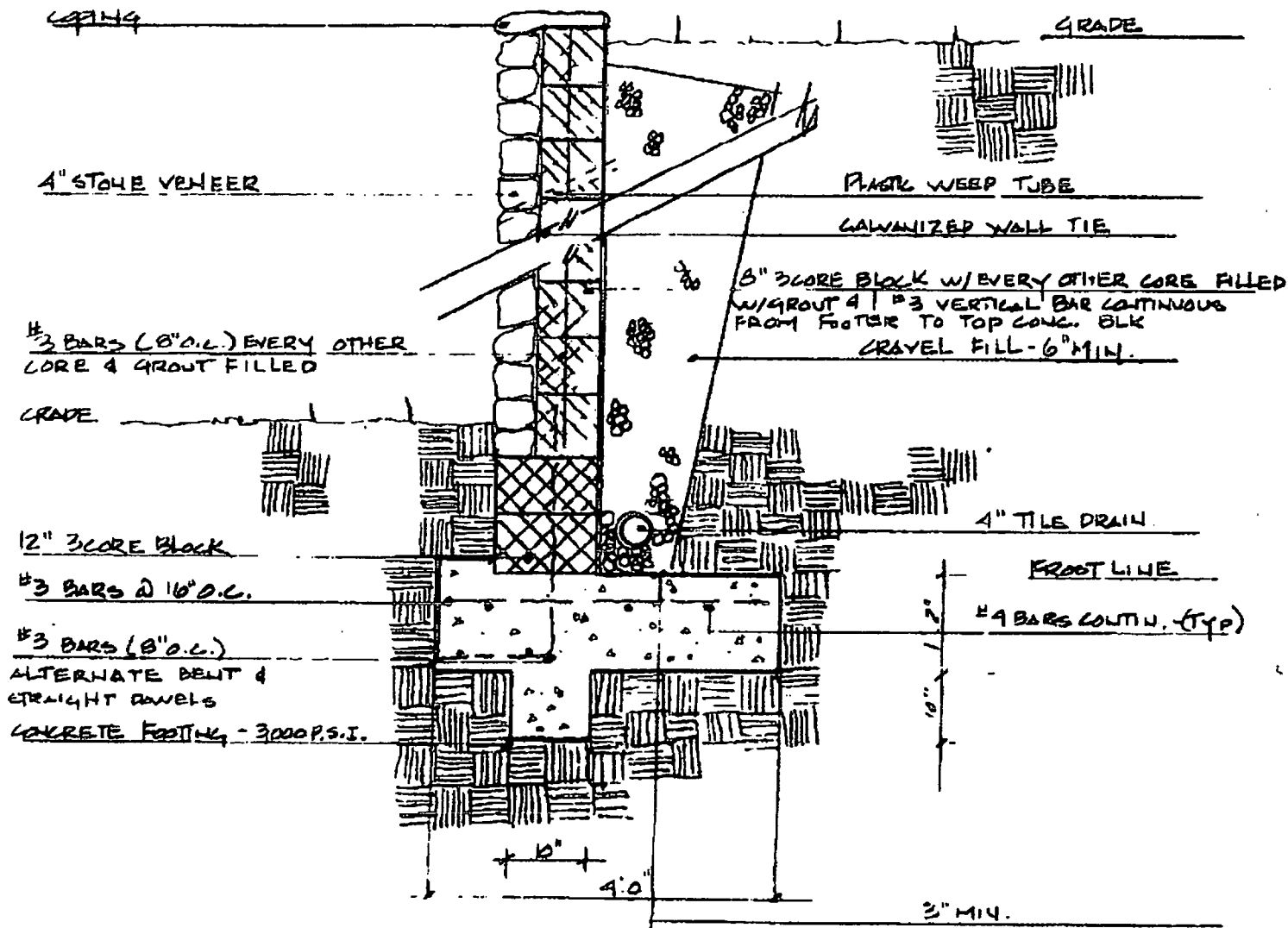
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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3 QUINCY STREET
 CHEVY CHASE, MD
 SCALE 1/8" = 1'-0"
 1.23.2010

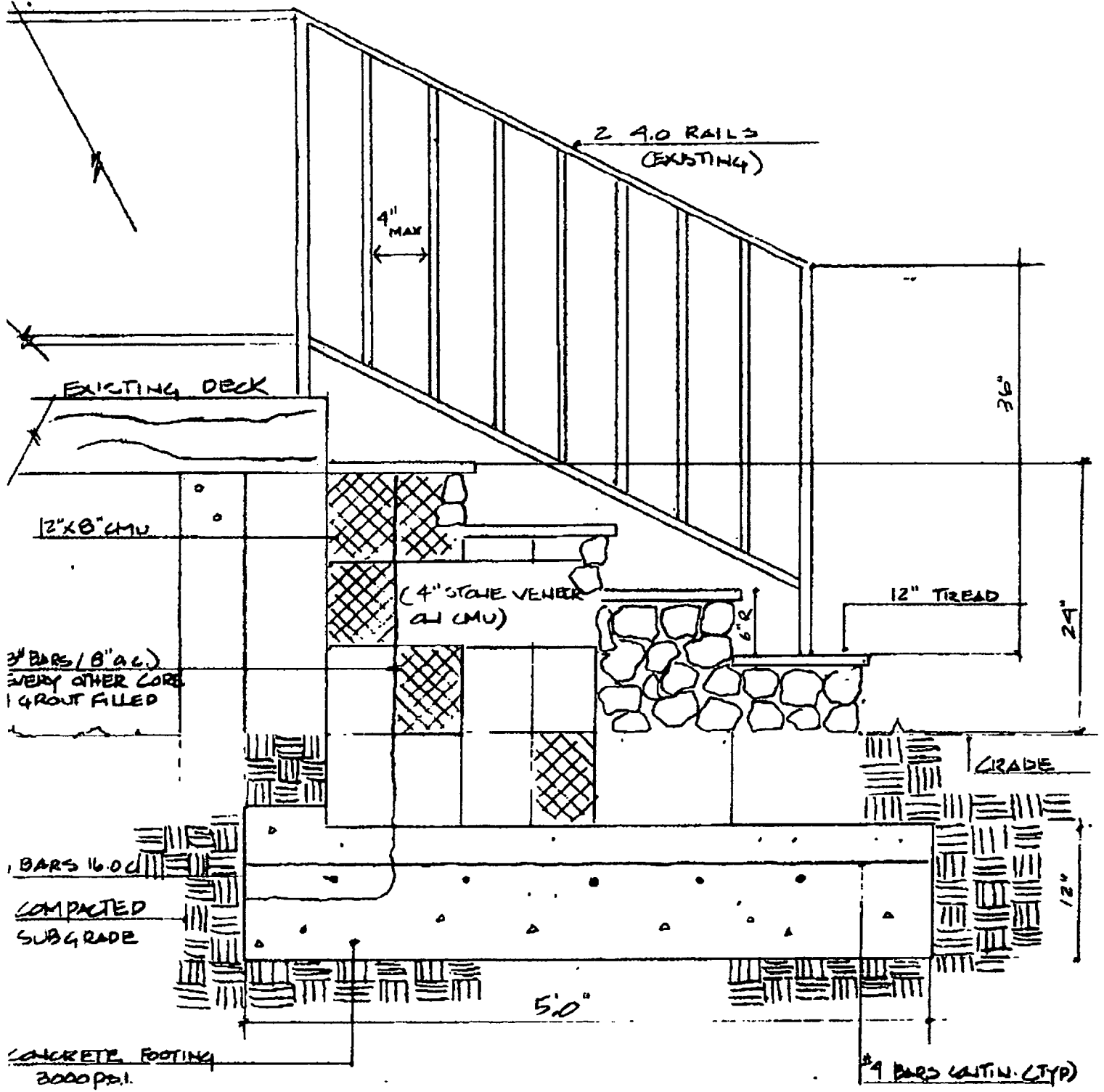
3 QUINCY STREET



RETAINING WALL

SECTION

SCALE 1/2" = 1'-0"



FLAGSTONE & FIELDSTONE STEPS

SECTION

SCALE 1" : 1'-0"

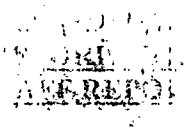
EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3 Quincy Street, Chevy Chase	Meeting Date:	5/26/10
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Report Date:	5/19/10
Applicant:	Thomas Jarrett (Michael McCarthy, Agent)	Public Notice:	5/12/10
Review:	HAWP (RETROACTIVE)	Tax Credit:	None
Case Number:	35/13-10J	Staff:	Josh Silver

PROPOSAL: Stair and retaining wall installation

STAFF RECOMMENDATION

- Approval
- Approval with conditions



ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Chevy Chase Village Historic District
STYLE: Modern
DATE: 1941-96

PROPOSAL

The applicant is proposing to remove one wooden retaining wall and install two field stone retaining walls at the subject property. Both walls will be located in the front yard and range in height from 18-23". The proposal also includes the removal and replacement of four wooden steps with stone in the same location and the application of a stone veneer exterior on the side wall of the steps.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MICHAEL MC CARTHY
Daytime Phone No.: 301. 320. 2452

Tax Account No.: 00456957

Name of Property Owner: THOMAS JARRETT Daytime Phone No.: 301. 654. 1223

Address: 3 CHEVY CHASE QUINCY 20815
Street Number City State Zip Code

Contractor: EVERGRO Phone No.: 301. 464. 5005

Contractor Registration No.: 97841

Agent for Owner: MICHAEL MC CARTHY Daytime Phone No.: 301. 320. 2452

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: QUINCY
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE
Lot: 34 Block: 61 Subdivision: 9
Libor: _____ Folio: _____ Parcel: PLAT# 9464

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|---|--|---|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Stab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input checked="" type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>STEPS 4R</u> | | | |
- 1B. Construction cost estimate: \$ 1000⁰⁰ (24°)
- 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: —
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: —

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height 1 feet 6 inches 3A. 1 FEET 11 INCHES
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michael McCarthy 4.27.2010
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

536535

3

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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

THOMAS JARRETT
3 QUINCY STREET
CHEVY CHASE, MD
20815

Owner's Agent's mailing address

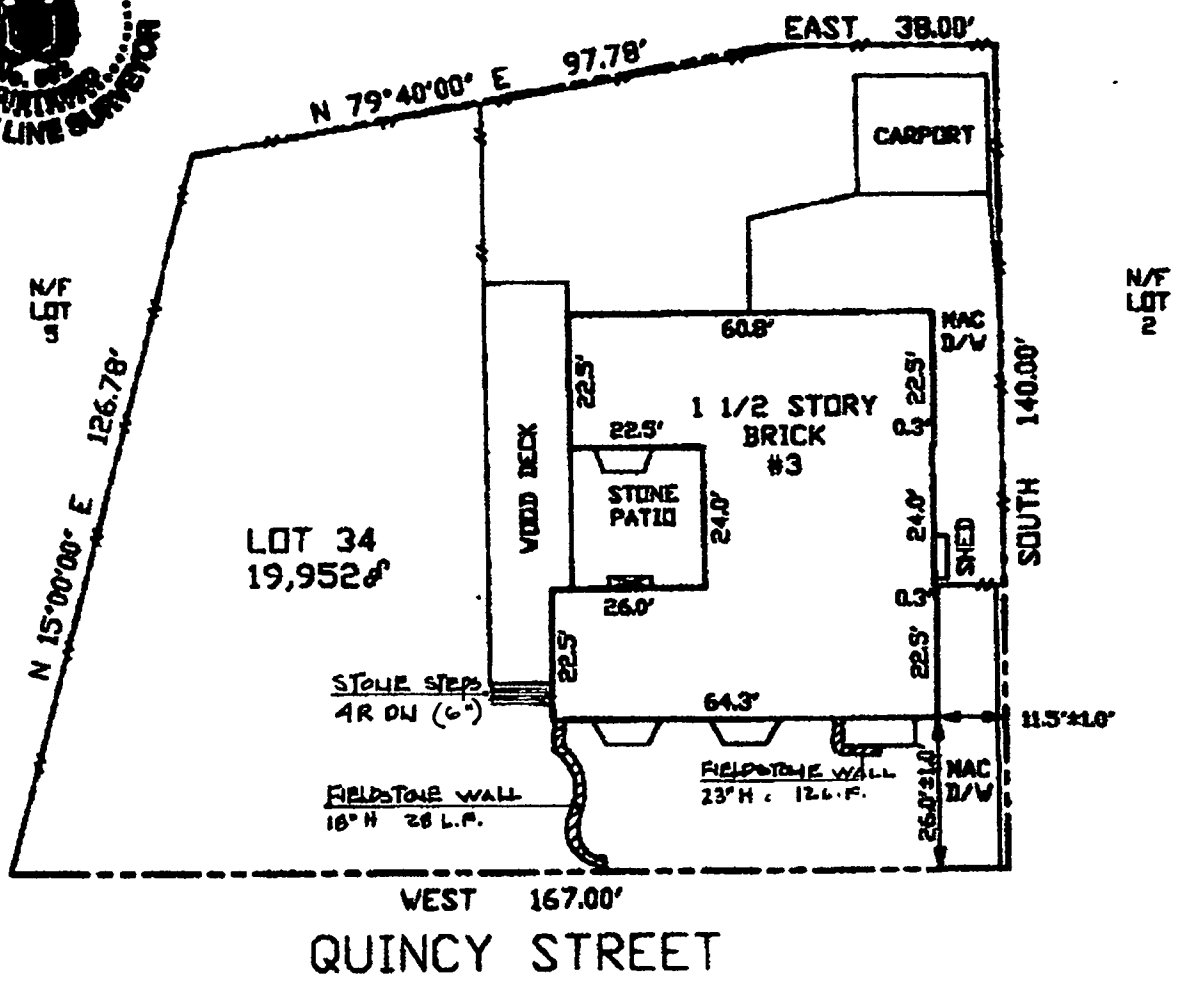
MICHAEL MC CARTHY
6825 WILSON LANE
BETHESDA, MD 20817

Adjacent and confronting Property Owners mailing addresses

B.F. SAUL
1 QUINCY STREET
CHEVY CHASE, MD
20815

LESLIE GOLDMAN
5 QUINCY STREET
CHEVY CHASE, MD
20815

PATRICK REGAN
6 QUINCY STREET
CHEVY CHASE, MD
20815



No evidence of property corners was found.
Apparent occupation is shown.

Date: 08-17-08
 Plat Book: 88
 Plat No.: 9484
 Work Order: 08-0781
 Address: 8 QUINCY STREET
 District: 7
 Jurisdiction: MONTGOMERY COUNTY, MD

Scale: 1" = 30' D.M.C. *RWF*

NO TITLE REPORT FURNISHED

Surveyor's Certification

I hereby certify that the survey shown herein is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared with the description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. Building construction lines shown are as per available information and are subject to the interpretation of the originator.

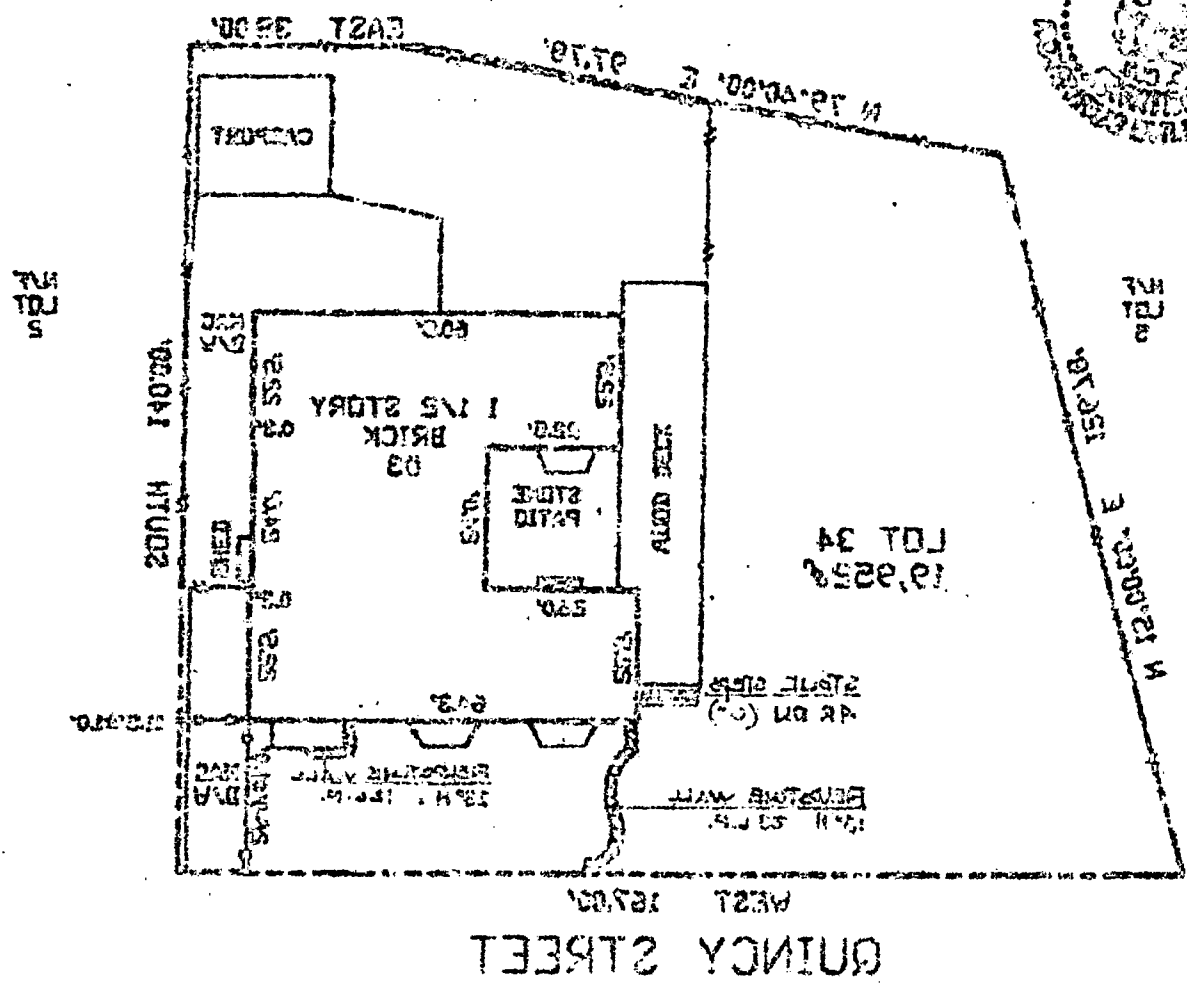
Ruth W. Leu

LOCATION DRAWING
 LOT 34
 BLOCK 61
 CHEVY CHASE

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.



Meridian Surveys, Inc.
 811 Russell Avenue
 Suite 3008
 Gaithersburg, MD 20878
 (301) 771-8400



QUINCY STREET

19,225 sq. ft. LOT 34
 1 1/2 STORY BRICK
 PATIO
 SCREENED PORCH
 RESTROOM
 CLOSET
 BATH
 KITCHEN
 LIVING ROOM
 DINING ROOM
 BED ROOM
 REINFORCED CONCRETE

REINFORCED CONCRETE
 FOUNDATION
 1 1/2 STORY BRICK
 BUILDING

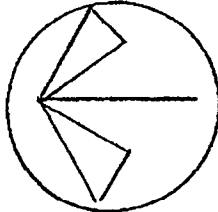
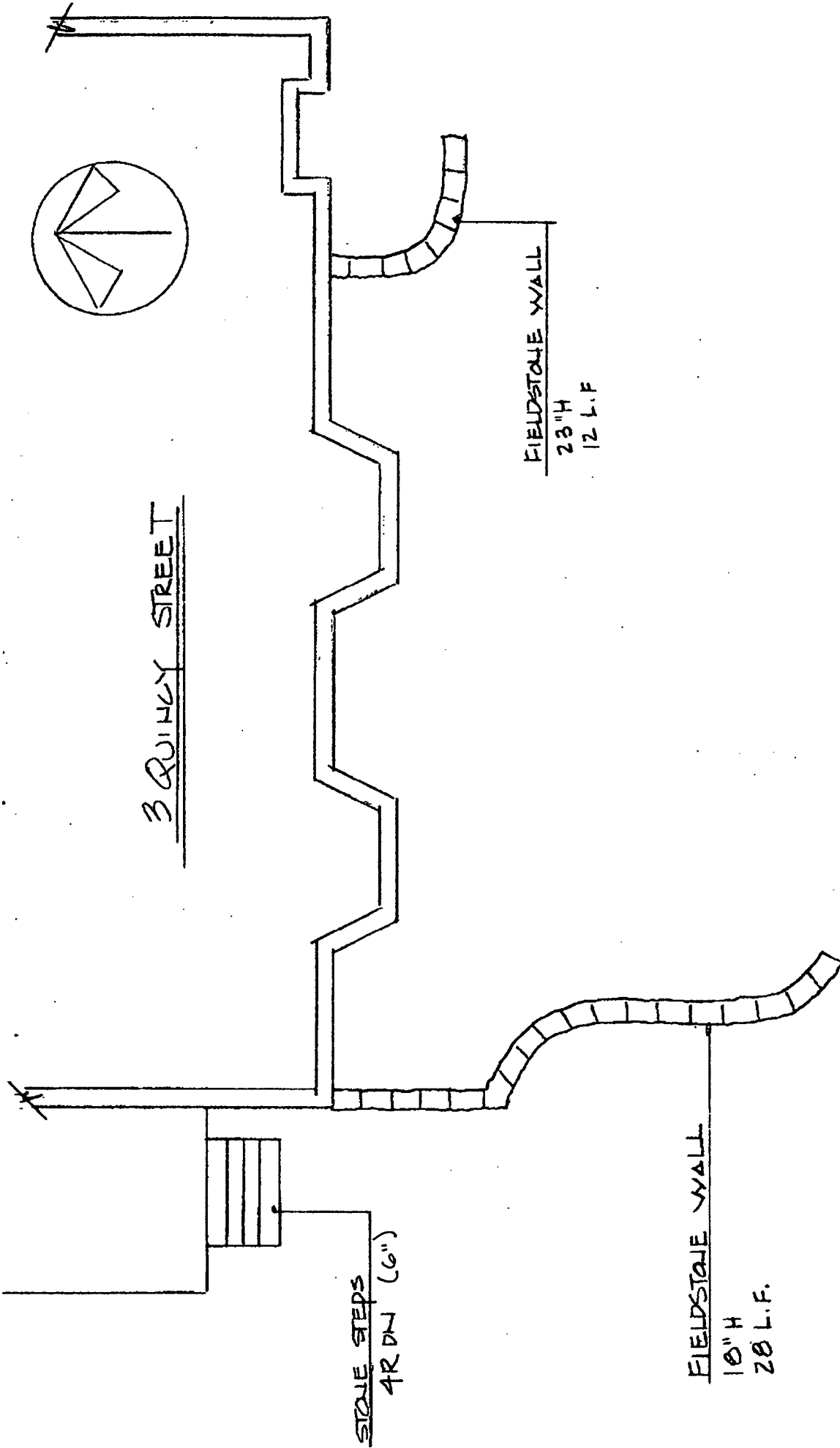
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REINFORCED CONCRETE
 FOUNDATION
 1 1/2 STORY BRICK
 BUILDING

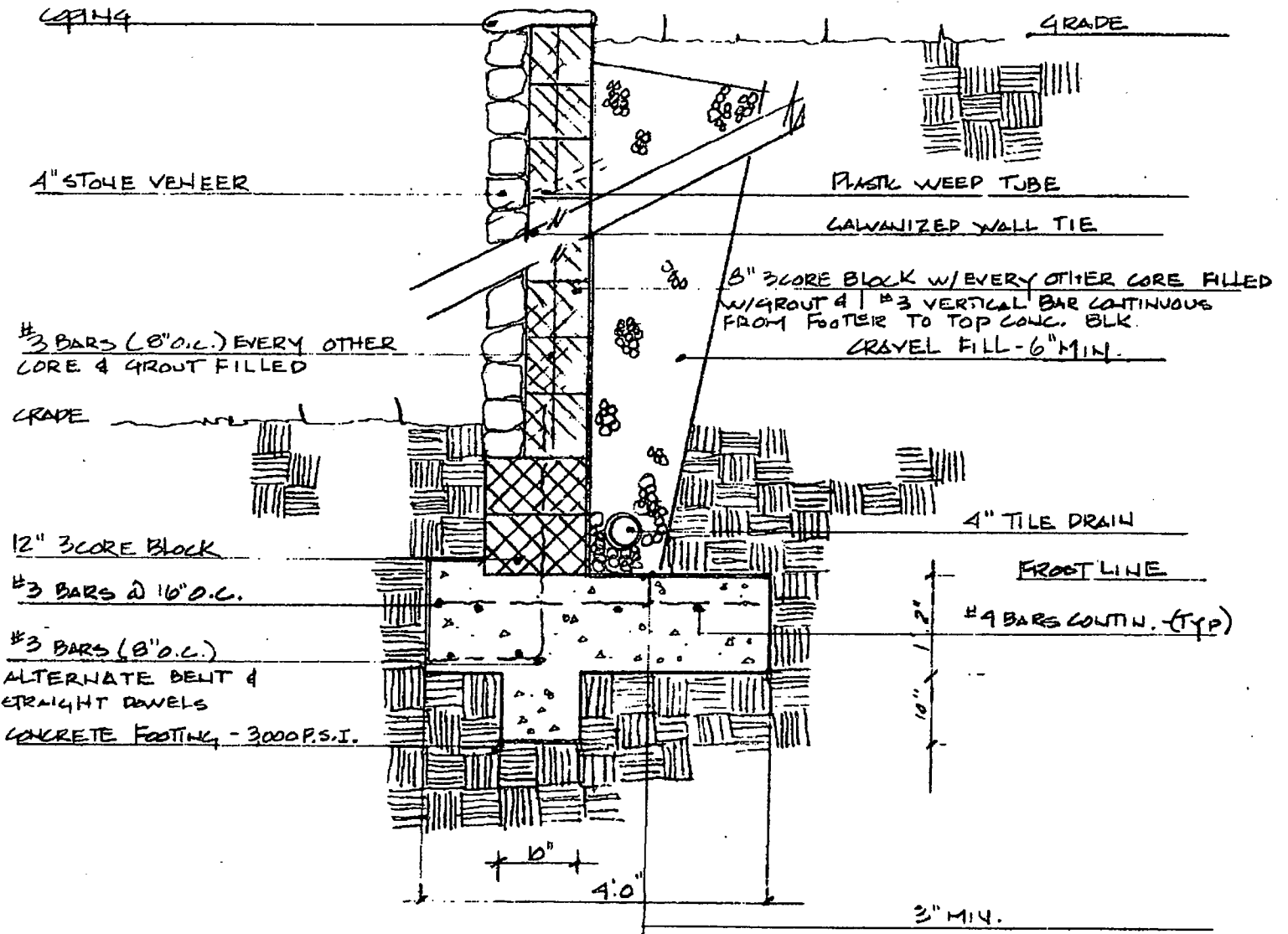


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 REINFORCED CONCRETE

10

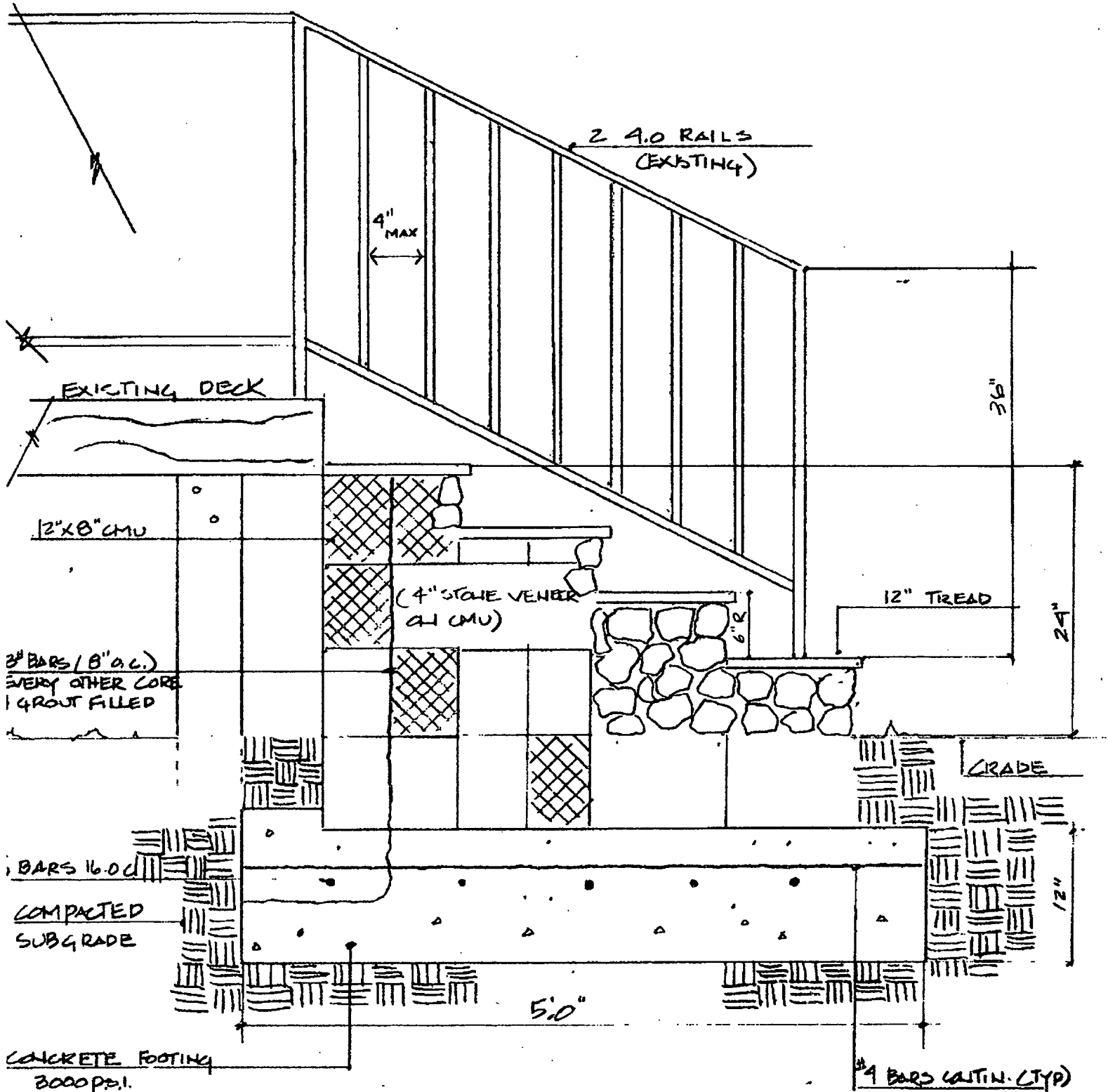


QUINCY STREET
 CHEVY CHASE, MD
 SCALE 1/8" = 1'-0"
 4.23.2010



RETAINING WALL
SECTION

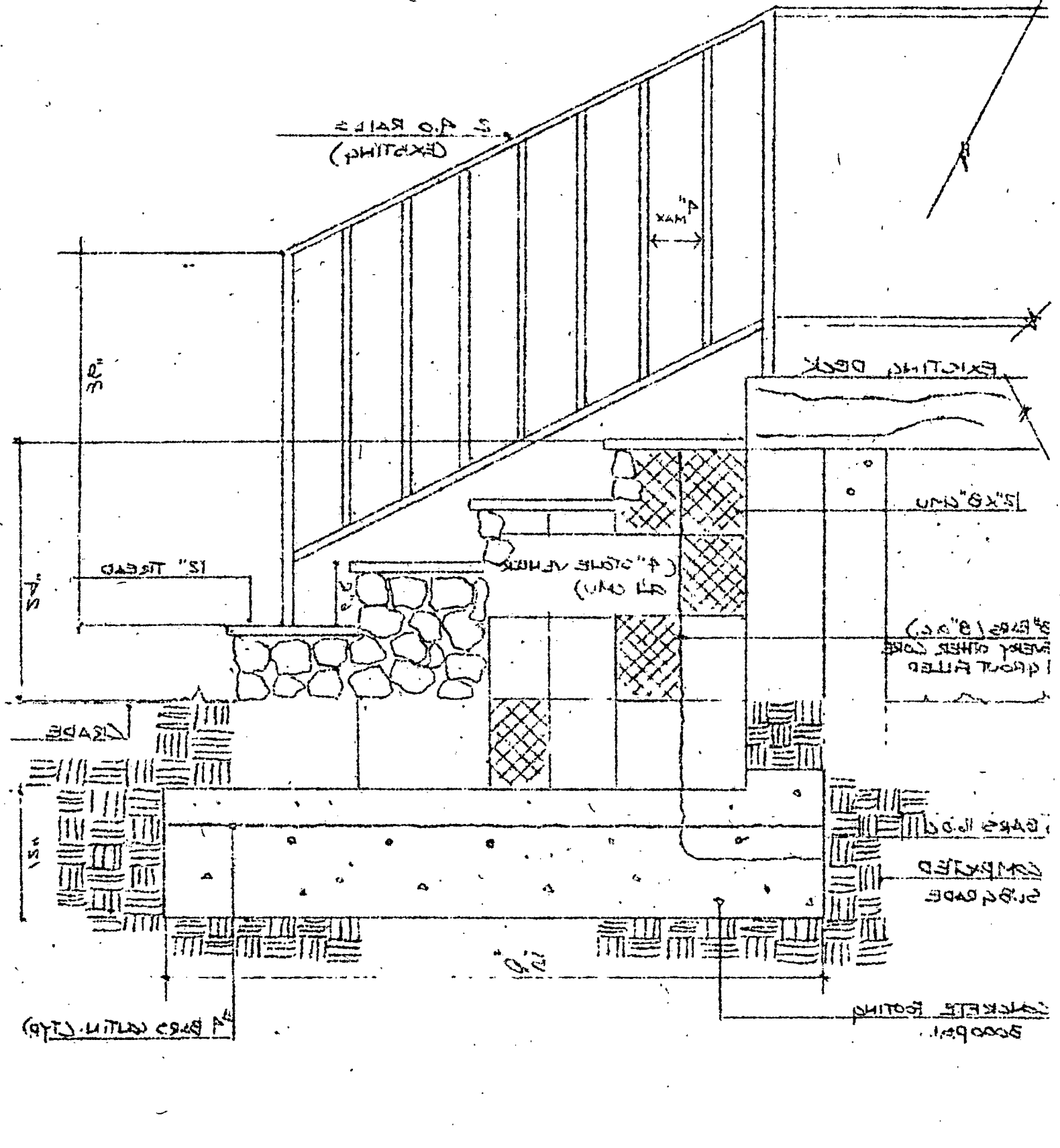
SCALE 1/2" : 1'-0"



FLAGSTONE & FIELDSTONE STEPS

SECTION

SCALE 1" : 1'-0"



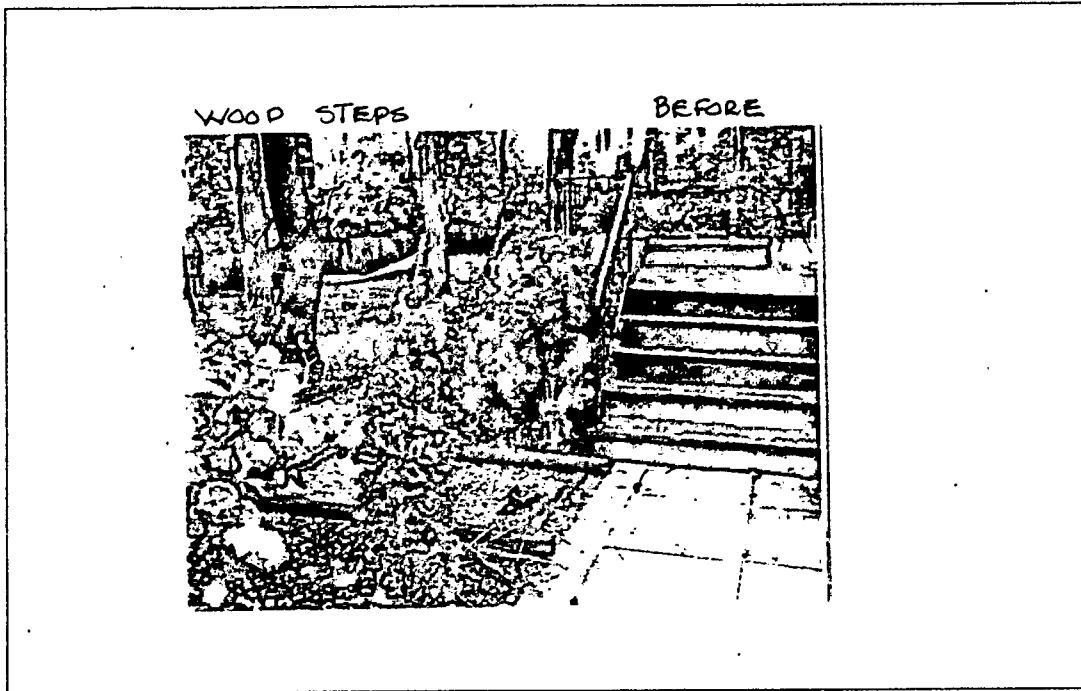
SECTION
 METALS & FIELDSTONE STEPS
 SCALE 1" = 1'-0"

(P)

3 Quincy Street, Chevy Chase



Existing Property Condition Photographs (duplicate as needed)



Detail: _____

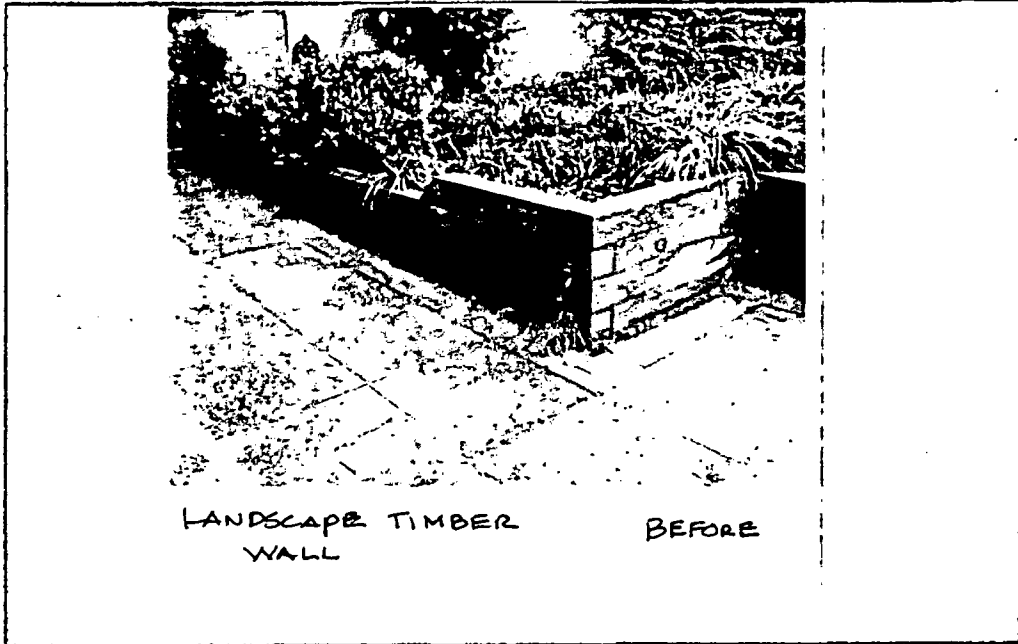


Detail: _____

Applicant: _____

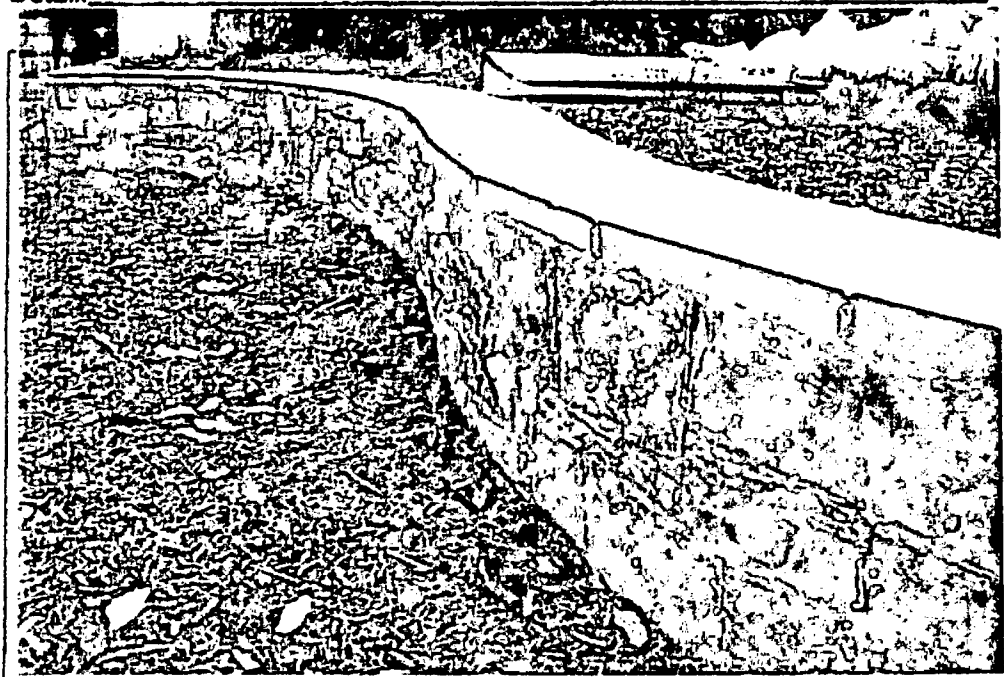
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Existing Property Condition Photographs (duplicate as needed)



LANDSCAPE TIMBER WALL BEFORE

Detail:



STONE WALL AFTER

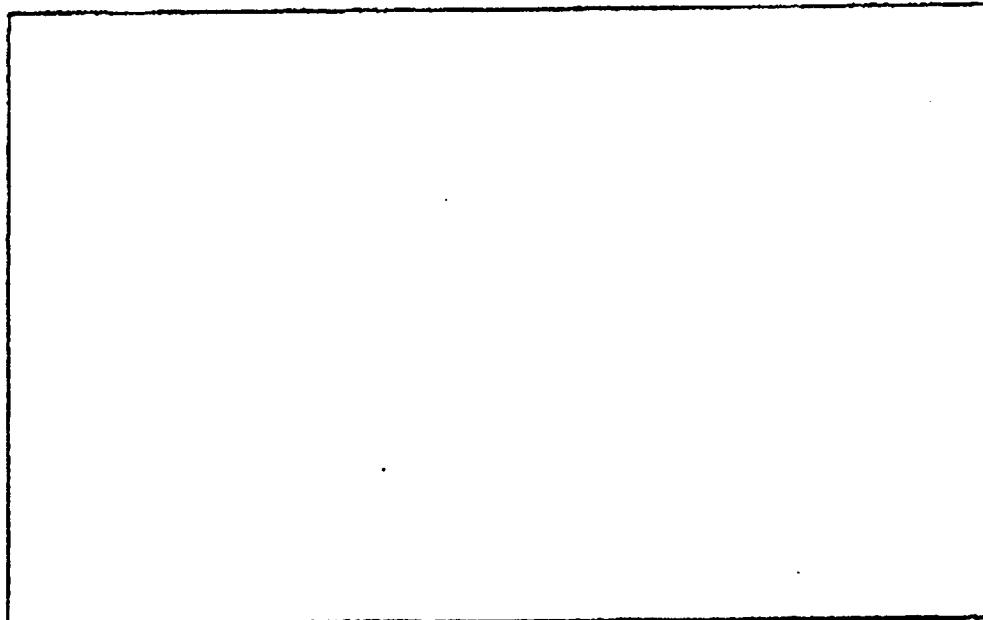
Applicant: _____

Page: _____

Existing Property Condition Photographs (duplicate as needed)



STONE WALL - STOOP.



Date: _____

Applicant: _____

Page: _____