

5415 Mohican Road, Bethesda

[HPC 35/29-13A]

Master Plan Site #35/29-2, R.A. CHARLES



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

William Kirwan
Chairperson

Date: August 22, 2013

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #643959, construction of rear addition, enclosure of front porch,
construction of new carport and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the August 21, 2013 meeting.

Applicant: Ross McNair

Address: 5417 Mohican Road, Bethesda





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: ROSS MANAIR
Daytime Phone No.: 301-219-0380

Tax Account No.: _____

Name of Property Owner: JOHN ROSS MANAIR Daytime Phone No.: 301-219-0380

Address: 5415 MOKIAN RD Bethesda MD 20816
Street Number City State Zip Code

Contractor: MANAIR BUILDERS Phone No.: 301-219-0380

Contractor Registration No.: 426545

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 5417 Street: MOKIAN RD

Town/City: Bethesda Nearest Cross Street: MACARTHUR

Lot: Part C Block: 3 Subdivision: 9101 Echo Hill Plats

Liber: 40953 Folio: 265 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

J Ross Manair Signature of owner or authorized agent 7-30-13 Date

Approved: X For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 8/22/13
Application/Permit No.: 6143959 Date Filed: 7/31/13 Date Issued: _____

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5417 Mohican Road, Bethesda	Meeting Date:	8/21/13
Applicant:	Ross McNair	Report Date:	8/14/13
Resource:	<i>Master Plan Site #35/29-2, R.A. Charles Castle</i>	Public Notice:	8/7/13
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/29-13A	Staff:	Josh Silver

PROPOSAL: Construction of rear addition, enclosure of front porch, construction of new carport and other alterations

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan Site #35/29-2, R.A. Charles Castle*
STYLE: Eclectic
DATE: 1890

ARCHITECTURAL HISTORY

The following was excerpted from Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland.

This residence was built the same year as the more elaborate and larger scale Baltzley Castle, (located on the adjacent property), yet was also built of locally quarried stone, continuing the theme of the envisioned Rhineland on the Potomac. Both residences were built to take advantage of a dramatic view of the Potomac River. With its multi- and diamond-pane windows, hipped roof polygonal wing, and turned porch posts, the Charles Castle is essentially a Queen Anne style house sheathed in stone. R.A. Charles, an employee of the Treasury Department, bought land from Edward Baltzley in February 1890 and built the house soon thereafter. The *Manufacturer's Record* of 1891 stated that Mindeleff designed a Glen Echo Heights house for Edwin Baltzley for \$7,000.

ARCHITECTURAL DESCRIPTION

The subject property is a three bay by one bay, two and half story stone "castle" that faces south (west), and much smaller than the adjacent Baltzley Castle at 5415 Mohican Road.

Constructed of bluestone, the house has a two story screened porch with a flat roof at the southeast corner of the south elevation. The enclosed second level is supported by three columns at the first level.

There is a screen porch on the north elevation that wraps around to the west elevation. Six columns support the half-hipped porch roof. A two story tower is located at the northwest corner of the west elevation with a conical roof.

There are 1/1, double-hung windows with stone lintels, and a variety of multi-paned transom or upper sashes above single light lower sashes. The south elevation has a hipped dormer window. The house has a hipped roof with red slate covering. There are two interior chimneys with corbelled caps.

BACKGROUND

The HPC held a 2nd preliminary consultation hearing in July 2013 where they considered a revised proposal with two different design options that involved a very different design from the 1st preliminary consultation. Both options A & B were in response to the HPC's feedback at the 1st preliminary consultation.

The revised proposal involved construction of a rear addition, carport, enclosure of the front entry porch with glazing, and selective demolition of a non-original porch feature and its rehabilitation, along with infill construction at the right (south) elevation. Also included was a hardscape plan for the property.

The HPC offered the following comments at the 2nd preliminary consultation hearing in response to the applicant's revised proposal:

- A majority of the HPC recommended design option B for the addition.
- Two commissioners stated the north and south elevation window groupings and proportions should be revised from a horizontal –to- vertical orientation to better reflect the windows on the historic massing.
- A majority of the HPC supported enclosing the front porch with glass if the glazing was either in plane with or located behind the existing turned wooden porch columns. Additional details for how the glazing would be installed and attached to the front façade were recommended.
- The proposed carport location and design could be approved if submitted as a HAWP.
- The proposed removal of the non-historic screen porch element, enclosure of the lower-level and rehabilitation of the 2nd story, flared, shingle feature could be approved if submitted as a HAWP.
- The hardscape plan as submitted could be approved if submitted as a HAWP.
- Commissioner Rodriguez was in general opposition to the proposed addition and enclosure of the front porch as proposed.
- Commissioners van Balgooy and Treseder were absent. [The full HPC meeting transcript begins on page 53].

PROPOSAL

In response to the HPC's direction at the 2nd preliminary consultation the applicant is returning to seek approval for option B having made revisions to the plans.

The applicant is proposing the following:

Rear addition:

- Construct a two-story, (18' x 20'), addition at the rear of the existing structure. The addition will connect to the primary structure via a glass and metal hyphen (9' x 11'4"). The proposed materials include a combination of flat roof stone and painted steel beams for the exterior, cooper seamed roofing and aluminum casement and fixed window sashes.

Front porch roof replacement and enclosure:

- Remove and replace a non-original asphalt roof with a seamed copper roof. Enclose the existing front porch by adding full view, fixed, reflective glass behind the original wooden porch columns. The existing porch columns and stone piers will be preserved. A porch glazing detail can be found on page 540-41 of the staff report packet.

Right (south) elevation alterations:

- Remove a non-historic (c.1980s), one-story, shed roof screen porch extension. The existing wooden shingled, 2nd story flared massing with steep sloped roof will be preserved, new windows added, and the 1st story below (which currently is a screened porch) will be infilled to create a habitable interior space. The proposed infill is based on physical structural evidence on the interior and maintains the original porch footprint.

Construction of two car detached carport and cobblestone entry court:

- Construct a one-story, two-car, 24' x 24', detached, carport at the rear, right corner of the lot. The location complies with the county's setback requirements for accessory structures. Materials for the carport consist of a seamed copper roof and metal structural framing and posts consistent with the materials and details proposed for the addition section. A cobblestone entry court set in bluestone is proposed at the rear of the addition and in front of the proposed carport. The carport will be accessed via an existing driveway from Mohican Road.

Other alterations:

- Reset all loose stone work and repoint all mortar joints (No HAWP required)
- Rebuild front porch stone walls, remove and replace floor and roof framing, install new porch ceiling board, remove, strip and reinstall the existing wooden columns (No HAWP required)
- Strip, reglaze, and paint all existing wooden windows. Replace sash weights and chain as needed. Replace broken glass and rehabilitate existing window sashes, framing and trim as needed using salvaged lumber. (No HAWP required).

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or

- cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Two story rear addition

Staff finds that the applicant's revised proposal as being consistent with Chapter 24A-8 (b) (1) & (2) and *Standard #9*. The proposed addition location at the rear will have negligible impact on original exterior materials that characterize the property. The proposed design is compatible in character with the resource type and style. The design takes its cues from the historic massing and differentiated through using a different window style and material.

Per the HPC's direction the applicant has selected option B for the proposed rear addition. The revised design responds to the majority opinion of the HPC as stated at the 2nd preliminary consultation hearing and now includes a revised fenestration pattern for the north and south elevation windows that consists of a fixed window flanked by operable casements. The hyphen design includes additional glazing and has been simplified to provide a more distinct visual separation between the historic massing and proposed addition. Staff finds the material treatments and exterior details as being compatible with the historic massing details.

Porch roof replacement and enclosure of existing front porch

Staff finds the replacement of the existing front porch roof with a copper roof as being consistent with Chapter 24A-8 (b) (1) & (2). The existing porch roof is not original to the house and therefore the proposal does not substantially alter an original exterior material. The use of a copper standing seam roofing

material is compatible in character with the resource type and style. The HPC supported the applicant's proposal to remove and replace the porch roof at both the 1st and 2nd preliminary consultations.

Staff finds the revised proposal to locate the fixed glass behind the existing turned wooden columns responds directly to the HPC's feedback at the 2nd preliminary consultation. The applicant has provided an updated drawing and written narrative to describe the installation process.

Staff finds enclosure of the existing front porch with fixed glass as being consistent with *Standards # 1, 9 and 10* above. The proposal requires minimal change to distinctive materials and features and does not destroy historic materials that characterize the property, and if removed in the future, the essential form and integrity of the property would be unimpaired.

Staff supports enclosing the arched entry way with half-light, outward swinging, painted wooden door at the left (north) elevation entry. Staff finds this alteration as having minimal impact to the resource and as being reversible [Standards #1, 9 and 10]. The applicant is proposing this alteration to increase the habitable area of the proposed front porch glass enclosure.

Right (south) elevation alterations

The HPC recommended no changes to the right elevation alterations at the 2nd preliminary consultation. The proposal for this feature has not changed.

Construction of two bay detached carport

The HPC recommended no changes to the carport design and location at the 2nd preliminary consultation. The proposal for this feature has not changed.

Cobblestone entry court and pathways

The HPC recommended no changes to the hardscape plan at the 2nd preliminary consultation. The proposed hardscape plan has not changed.

Other alterations:

Staff supports the proposed maintenance and rehabilitation projects identified in the proposal section. The applicant is encouraged to apply for a county historic perseveration tax credit for eligible expenses associated with the project.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b)(1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Ross Manair
Daytime Phone No.: 301-219-0380

Tax Account No.: _____
Name of Property Owner: JOHN ROSS MANAIR Daytime Phone No.: 301-219-0380
Address: 5415 MOLLICAN RD Bethesda MD 20816
Street Number City State Zip Code
Contractor: MANAIR BUILDERS Phone No.: 301-219-0380
Contractor Registration No.: 426545
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 5417 Street: MOLLICAN RD
Town/City: Bethesda Nearest Cross Street: MACARTHUR
Lot: Part C Block: 3 Subdivision: 910m Echo Hill Plfts
Liber: 40953 Folio: 265 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

J Ross Manair Signature of owner or authorized agent 7-30-13 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 643959 Date Filed: 7/31/13 Date Issued: _____



HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING

11/26/2012

OWNER'S MAILING ADDRESS

J. Ross McNair
5415 Mohican Rd
Bethesda Md 20816

HISTORIC SITE ADDRESS

5417 Mohican Rd
Bethesda Md 20816

ADJACENT AND CONFRONTING PROPERTY OWNERS MAILING ADDRESSES

Miguel Otero
5301 Mohican Rd
Bethesda MD 20816

Chris White
5409 Mohican Rd
Bethesda MD 20816

Maureen Jeffreys and Michael Bergsman
5303 Mohican Rd
Bethesda MD 20816

Miklos Gaal
5407 Mohican Rd
Bethesda MD 20816

Matthew Byrne
5405 Mohican Rd
Bethesda MD 20816

Stephen Seeber
5309 Mohican Rd
Bethesda MD 20816

William Barlow
5311 Mohican Rd
Bethesda MD 20816

Patrick Gates
5421 Mohican Rd
Bethesda MD 20816

Ned Miltenberg
5410 Mohican Rd
Bethesda MD 20816

John Lentz
5424 Mohican Rd
Bethesda MD 20816

Joy Brown
5408 Mohican Rd
Bethesda MD 20816

Whittington Lewis
5404 Mohican Rd
Bethesda MD 20816

Nathaniel Kendall
5420 Mohican Rd
Bethesda MD 20816

William Coolidge
5423 Mohican Rd
Bethesda MD 20816

James Ross
5425 Mohican Rd
Bethesda MD 20816

Philip Warker
5428 Mohican Rd
Bethesda MD 20816



McNair Residences
Renovations &
Additions
1717 North MD Street
Baltimore, MD 21201

Project Director
Architect, P.C.
1717 North MD Street
Baltimore, MD 21201

General Contractor
1717 North MD Street
Baltimore, MD 21201

Interior Designer
1717 North MD Street
Baltimore, MD 21201

Structural Engineer
1717 North MD Street
Baltimore, MD 21201

MEP Engineer
1717 North MD Street
Baltimore, MD 21201

Energy Consultant
1717 North MD Street
Baltimore, MD 21201

Historic Preservation
1717 North MD Street
Baltimore, MD 21201

Architectural Photographer
1717 North MD Street
Baltimore, MD 21201

Construction Manager
1717 North MD Street
Baltimore, MD 21201

Interior Finisher
1717 North MD Street
Baltimore, MD 21201

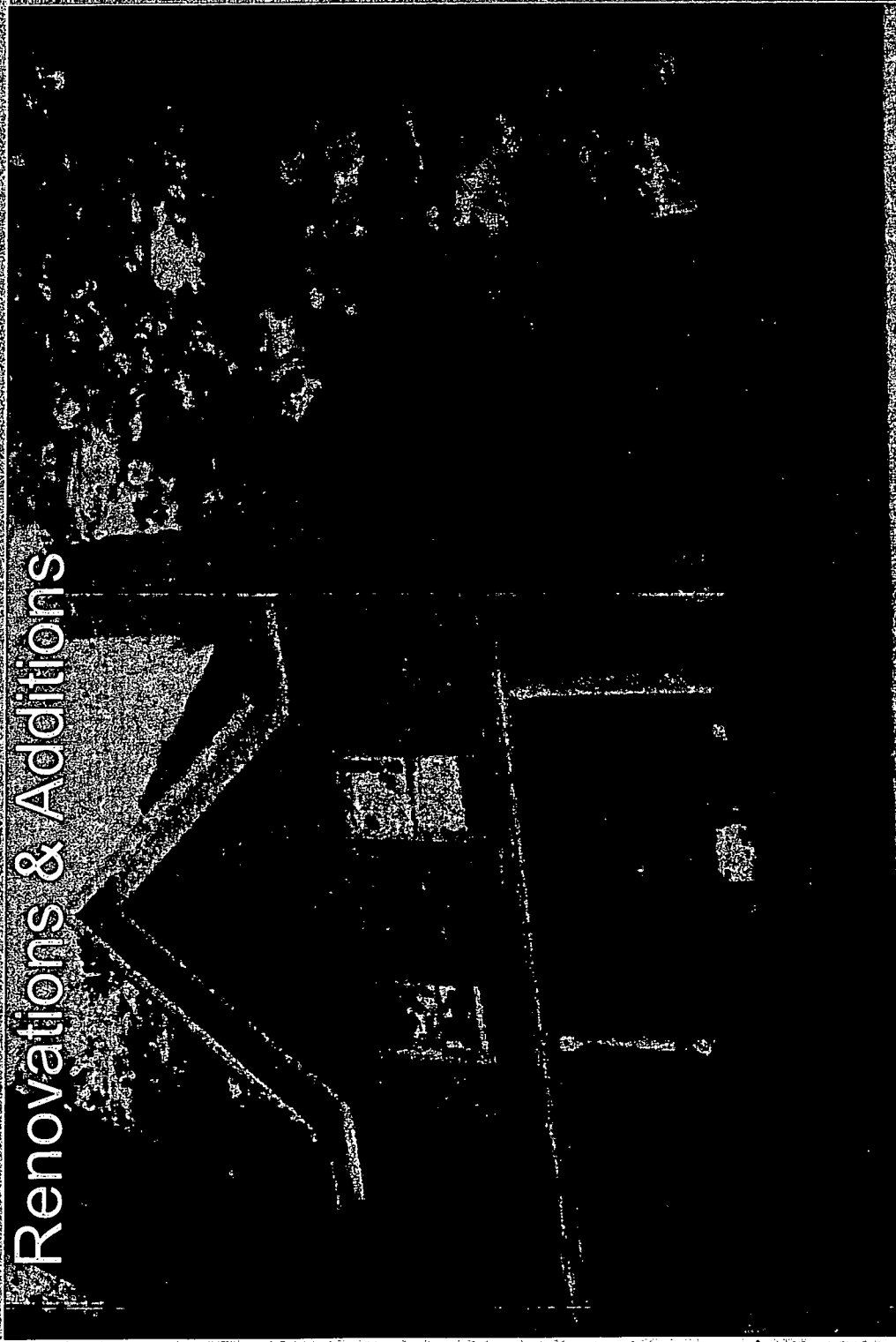
Paint Contractor
1717 North MD Street
Baltimore, MD 21201

Window Installer
1717 North MD Street
Baltimore, MD 21201

Contractor & Project Manager
1717 North MD Street
Baltimore, MD 21201

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Baltimore, MD 21201
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McNair Residence Renovations & Additions



McNair Residence & Additions

5417 Mockian Road
 Urbansville, MD 20810

Owner:
 Russ McNair
 5415 Mockian Road
 Urbansville, MD 20810

Permit Application
 Number:

Prepared by:
 Pollock Dickinson
 Associates, PC

Architect:
 Pollock Dickinson Associates, P.C.
 10000 Old Branch Lane
 Suite 300
 Bethesda, Maryland 20814
 Tel: 301.737.7474

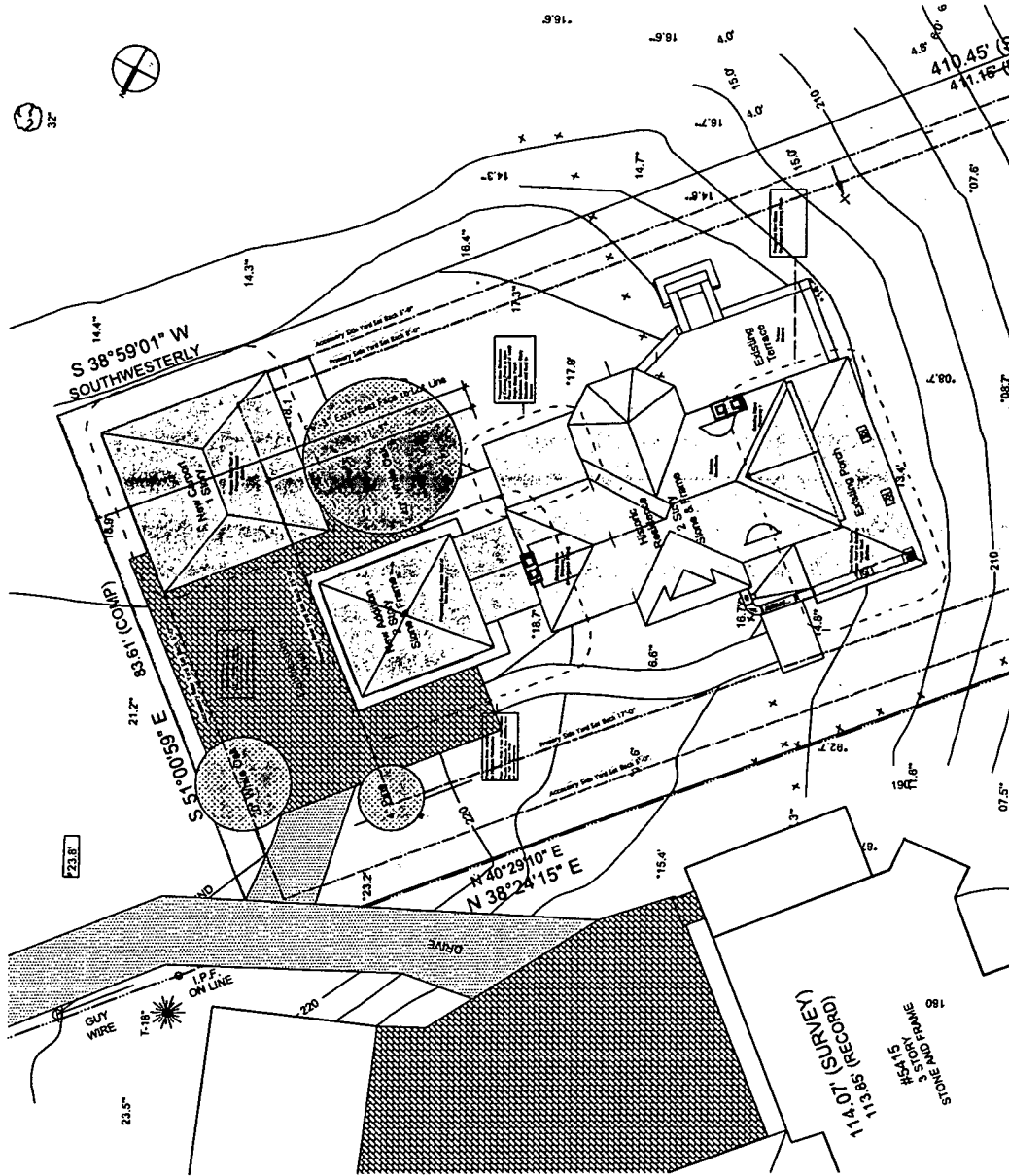
Professional Engineer
 License No. 1189-1127
 Date: 31 July 2013

Site Plan

31 July 2013

A.002

General Notes



1 Site Plan
 1189-1127



Contract:
 5415 Mohican Road
 Bethesda, MD 20818

Project: Debiemans Associates, P.C.
 3600 Rockledge Drive
 Bethesda, MD 20814
 Tel: 301-717-7147

Professional Contributions:
 Architect: [Redacted]
 Engineer: [Redacted]
 Surveyor: [Redacted]
 Planning Consultant: [Redacted]
Soilwork Control & Zoning Notice
 State, Md.

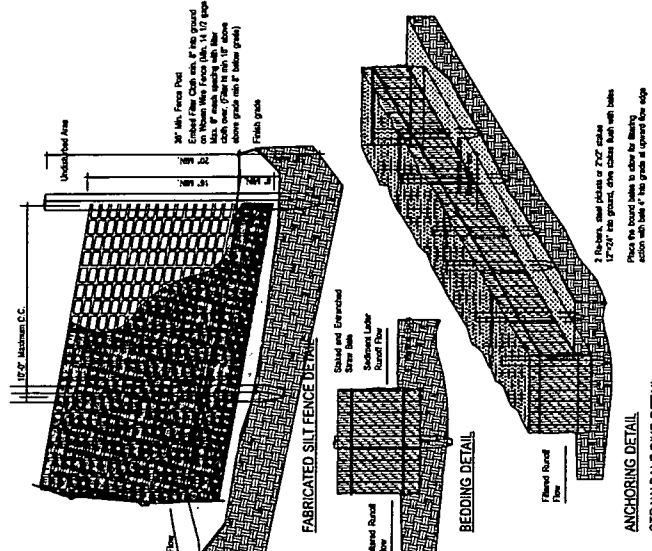
Notes

Building Data		
Floor Level	Existing Sq. Ft.	Total Sq. Ft.
First Floor	1,287	1,778
Second Floor	1,112	480
Total	2,399	2,258
	1,880	478

Development Standards for R-90 Zone	
Zone:	R-90 Residential, one-half, detached
Area Requirement:	Minimum lot area 1,000 sq. ft.
Maximum Coverage:	30% including accessory buildings
Minimum Front Yard Setback:	20 feet or established building line, whichever is greater (Notes 1 and 2)
Minimum Side Yard Setback:	Total 25 feet, one side 5 feet Lot recorded before 3/1/79, 5 feet with a 40 foot or less 5 foot rear side
Minimum Rear Yard Setback:	25 Feet Lot recorded before 3/1/79, 10 feet 30 feet
Minimum Lot Frontage:	75 Feet at front building line 25 Feet at street line
Maximum Building Height:	Net ceiling 11.00 meters, and 35 feet to roof peak or 30 feet to main level between areas 1,000 sq. ft. or less, measured to finished roof 3 stories or 42 feet with Planning Board approval.
Accessory Buildings:	Roof and eave height maximum 15% of rear yard. Set back 5 feet from side lot line. Set back 5 feet from rear lot line. Set back 10 feet from driveway. Set back 10 feet from driveway height.

Average Height Summary	
Average Elevation of Rear Addition: 14.000	
Average Height Elevation @ Addition (at 2.0' intervals 10' of rear portion height)	
0'	23.8
2'	23.9
4'	24.0
6'	24.1
8'	24.2
10'	24.3
12'	24.4
14'	24.5
16'	24.6
18'	24.7
20'	24.8
22'	24.9
24'	25.0
26'	25.1
28'	25.2
30'	25.3
32'	25.4
34'	25.5
36'	25.6
38'	25.7
40'	25.8
42'	25.9
44'	26.0
46'	26.1
48'	26.2
50'	26.3
52'	26.4
54'	26.5
56'	26.6
58'	26.7
60'	26.8
62'	26.9
64'	27.0
66'	27.1
68'	27.2
70'	27.3
72'	27.4
74'	27.5
76'	27.6
78'	27.7
80'	27.8
82'	27.9
84'	28.0
86'	28.1
88'	28.2
90'	28.3
92'	28.4
94'	28.5
96'	28.6
98'	28.7
100'	28.8
Average	26.7 (Avg. 26.0)

Apply Code: 2001 RSC as amended by Montgomery County for Class, Subclass, and Footprint. Contact your local, West Loop, Subclass, Design Category, Footprint, Density, Density Production Measure, Height, Height Production Measure, Height Production Measure, Fire Production Measure, Fire Production Measure.



SEQUENCE OF CONSTRUCTION

1. Provide temporary erosion control measures shall be placed prior to or as the first step in grading.
2. Provide temporary erosion control measures where shown. Provide water control structures as shown. Install water control structures as shown.
3. Install all water control structures as shown.
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SEDIMENT CONTROL NOTES

1. Details and notes shown on this sheet apply to all construction activities.
2. The contractor is required to maintain the work hours.
3. All hours shown are subject to change without notice.
4. All hours shown are subject to change without notice.
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Floor and Roof Plans

13

**McNair
Residence**

Owner:
Ross McNair
5415 Mochican Road
Bethesda, MD 20816

Current Issue:
**Revised Historic
Submittal**
Revisions:

**Pollock Dickerson
Associates, PC**

Architect:
PDA
5640 Nicholson Lane
Suite 300
Rockville, Maryland 20852
Tel 301.237.7542

Consultants: TBD

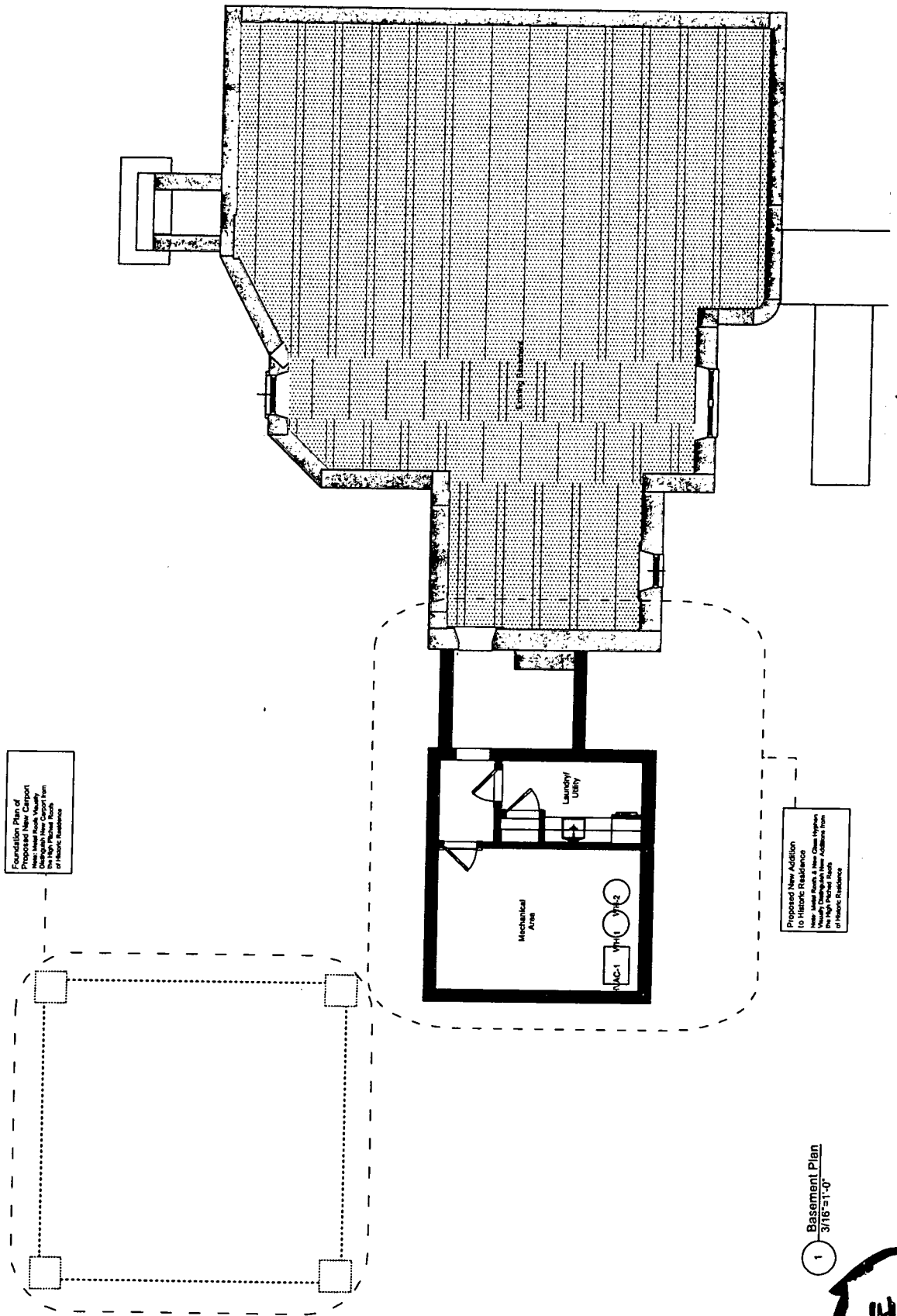
Professional Certification:
I hereby certify that these documents were prepared by me or under my direct supervision and approved by me, and that I am a duly Licensed Professional Architect in the State of Maryland.
Contract No. 1217 Expires Dec. 31, 2013

Basement Plan

Scale: 3/16" = 1'-0"

13 June 2013

B.100



Foundation Plan of
Proposed New Carport
to be located on the
southwest corner of the
existing New Carport from
the McNair Residence

Proposed New Addition
to Historic Residence
New, steel frame & new glass system
to be located on the north side
of the McNair Residence

1
Basement Plan
3/16" = 1'-0"

2nd PRELIMINARY PLAN



McNair Residences & Additions
 5417 McKeen Road
 Bethesda, MD 20816

Owner:
 5417 McKeen Road
 Bethesda, MD 20816
 Contact: [Redacted]
 Project Application
 [Redacted]

Professional Consultant:
 Peacock Dickinson
 Associates, P.C.

Address:
 Peacock Dickinson Associates, P.C.
 5400 Rockville Lane
 Suite 200
 Rockville, MD 20852
 Tel: 301 731 7447

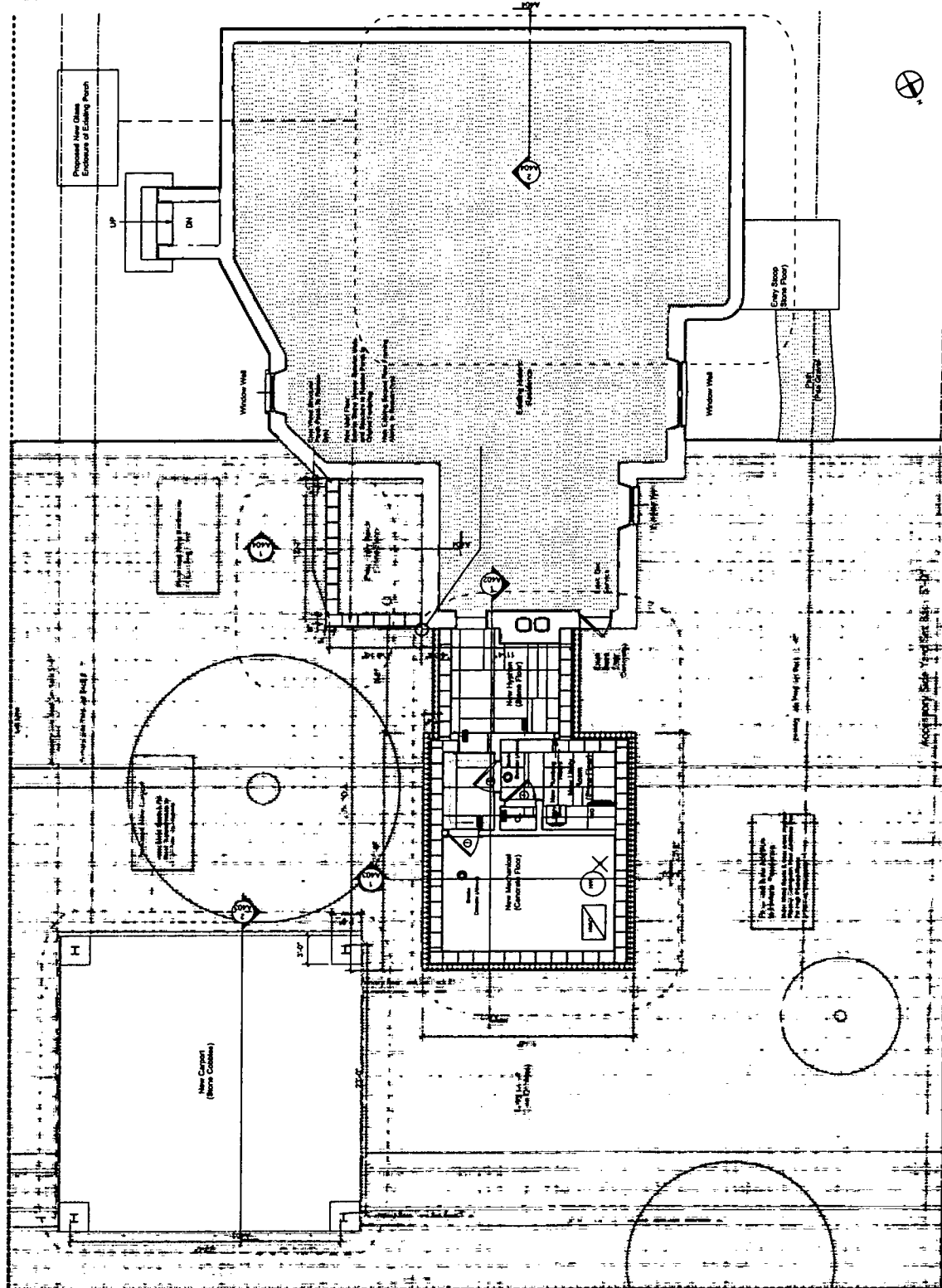
Professional Consultant:
 Peacock Dickinson Associates, P.C.
 5400 Rockville Lane
 Suite 200
 Rockville, MD 20852
 Tel: 301 731 7447

Basement Floor Plan
 Date: 10/1/07
 11 July 2013
A.200

Notes

Legend

- [Symbol]
- [Symbol]
- [Symbol]



Particulate Schedules

TYPE	DESCRIPTION	REMARKS
1	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER
2	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER
3	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER
4	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER
5	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER
6	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER
7	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER
8	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER
9	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER
10	TYPE 100 PARTICULATE	FOR PROTECTIVE & CONTROL LAYER

HAUP PLAN

15

McNair Residence

Owner:
Ross McNair
3415 Mochan Road
Baltimore, MD 20816

Current Issue:
**Revised Historic
Submittal**
Revisions:

**Pollock Dickerson
Associates, PC**

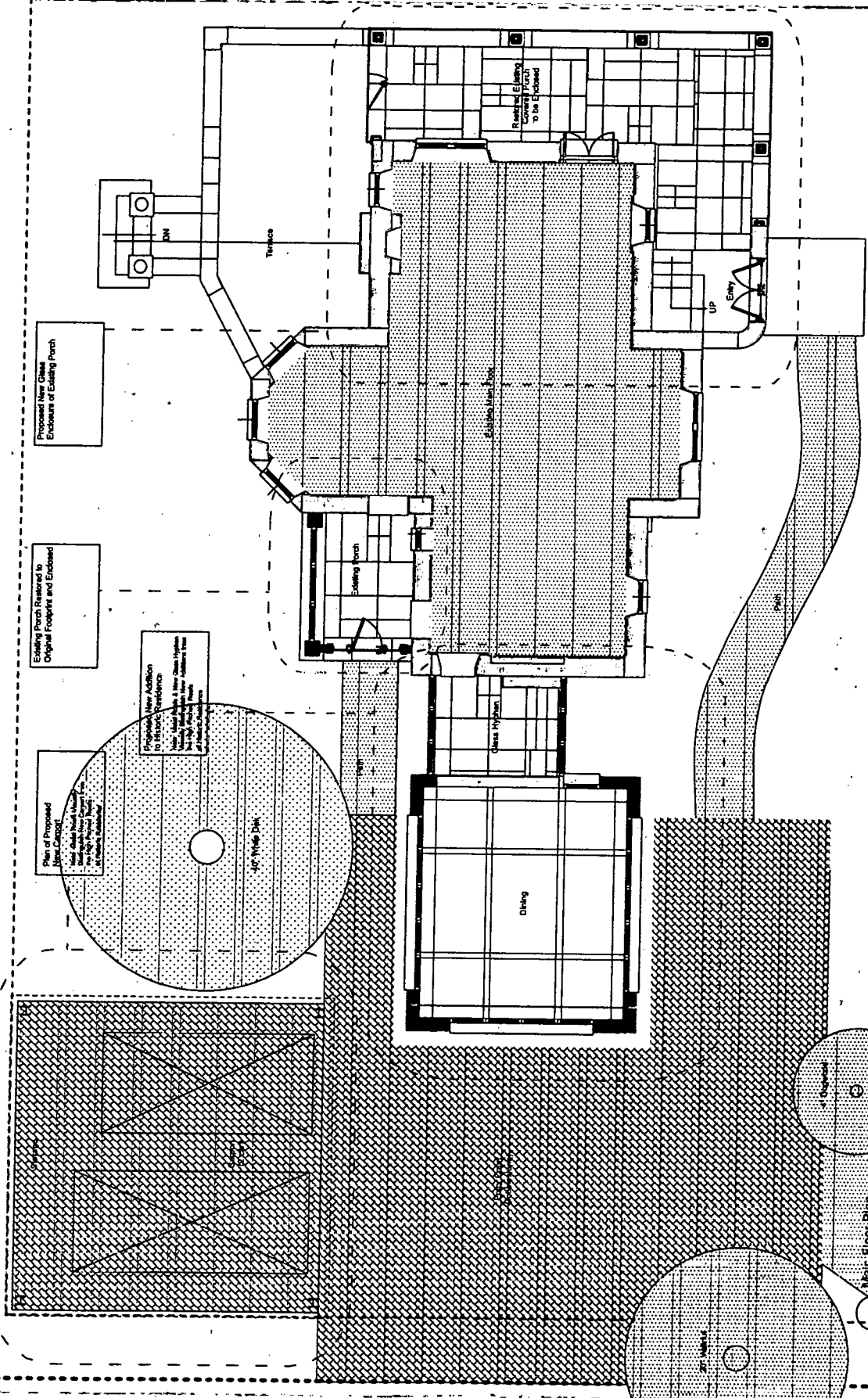
Architect:
PDA
5640 Nicholson Lane
Suite 300
Rochelle, Maryland 20852
Tel: 301.237.7542

Consultants: TBD

Professional Certification:
I am a duly licensed architect in the State of Maryland and I am certifying that this is my original work and that I am a duly licensed architect in the State of Maryland and I am certifying that this is my original work.
License No. 1237 Expires Dec. 18, 11, 2017

Main Floor Plan
Scale: 3/16"=1'-0"

13 June 2013
B.101



Proposed New Glass Enclosure of Existing Porch

Existing Porch Restored to Original Footprint and Enclosed

Plan of Proposed Glass Canopy
This canopy will be installed over the existing porch and will be supported by steel posts. The canopy will be made of glass and will be finished with a bronze powder coat.

Proposed New Addition to Historic Residence
This addition will be made of brick and will be finished with a dark brown stain. The addition will be made of brick and will be finished with a dark brown stain. The addition will be made of brick and will be finished with a dark brown stain.

1/2" Whisper Den

Dining

Glass Porch

Living Porch

UP

DOWN

11

Main Floor Plan
3/16"=1'-0"

2nd PRELIMINARY PLAN

16

Owner:
Brett McNair
5417 Melrose Road
Beltsville, MD 20816
Project Application
Number:

Professional
Follock Distribution
Associates, PC

Address:
1600 Columbia Avenue
Rockville, MD 20852
Tel: 301.231.7501

NOTES

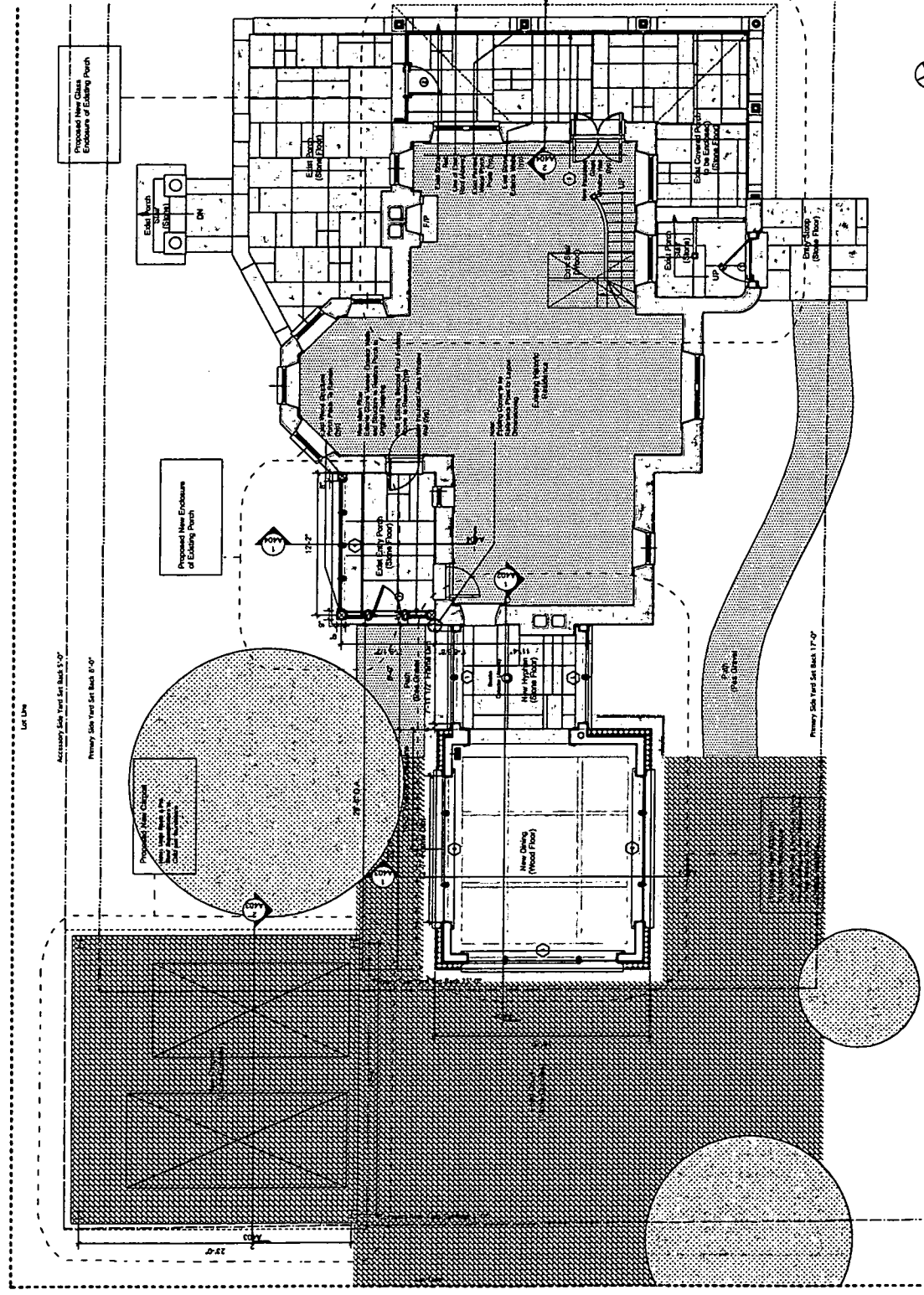
1. REFER TO ALL CONTRACTS, PERMITS AND SPECIFICATIONS FOR ALL CONTRACTING WORK AND TO ALL CITY, STATE AND FEDERAL REGULATIONS AND ORDINANCES. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT'S ROLE IS LIMITED TO THAT OF A DESIGN PROFESSIONAL AND DOES NOT INCLUDE THE PROVISION OF CONTRACT ADMINISTRATION OR CONSTRUCTION MANAGEMENT SERVICES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT'S ROLE IS LIMITED TO THAT OF A DESIGN PROFESSIONAL AND DOES NOT INCLUDE THE PROVISION OF CONTRACT ADMINISTRATION OR CONSTRUCTION MANAGEMENT SERVICES.

Professional Consultant
1600 Columbia Avenue
Rockville, MD 20852
Tel: 301.231.7501
DATE: 04/17/17

31 July 2017
A.201



Partition Schedule

1 Main Floor Plan

2 Accessory Side Yard Set Back 5'-0"

TYPE	FINISHES	DESCRIPTION
1	FORMALIZED	FOR 200 SQUARE FEET OF FLOOR AREA
2	FORMALIZED	FOR 200 SQUARE FEET OF FLOOR AREA
3	FORMALIZED	FOR 200 SQUARE FEET OF FLOOR AREA
4	FORMALIZED	FOR 200 SQUARE FEET OF FLOOR AREA
5	FORMALIZED	FOR 200 SQUARE FEET OF FLOOR AREA
6	FORMALIZED	FOR 200 SQUARE FEET OF FLOOR AREA

Legend

- EXISTING WALL
- NEW WALL
- GLASS WALL

HAWP PLAN

17

McNair Residence

Owner:
Ross McNair
5415 Michican Road
Bethesda, MD 20816
Current Issue:
Revised Historic
Submittal
Residence:

Pollock Dickerson
Associates, PC

Architect:
PDA
5640 Nicholson Lane
Suite 300
Purchess, Maryland 20852
Tel: 301.237.7542

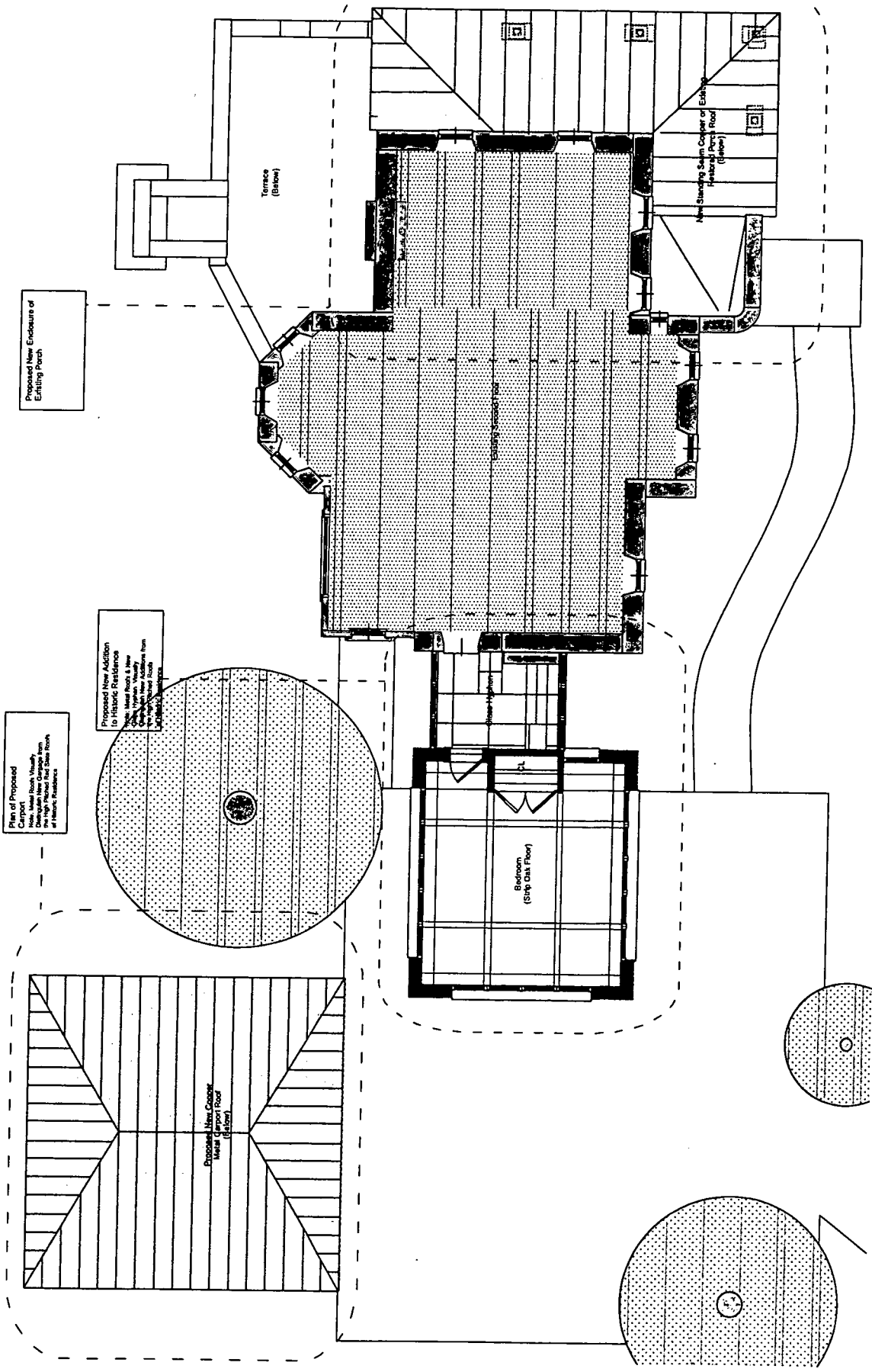
Consultants : TBD

Professional Certification:
I am a duly Licensed Professional Architect in the State of Maryland, License No. 12288, and I am duly Licensed in the State of Maryland, License No. 12288, and I am duly Licensed in the State of Maryland, License No. 12288.

Second Floor Plan
Scale: 3/16"=1'-0"

13 June 2013

B.102



Plan of Proposed
New Addition to Historic Residence
Shows New Construction
Changes from
Historic Residence

Proposed New Addition
to Historic Residence
Shows New Construction
Changes from
Historic Residence

Proposed New Garage,
Second Floor
(Below)

Terrace
(Below)

Bedroom
(Strip Oak Floor)

New Standing Seam Copper or Existing
Federal Painted Roof
(Below)

1 Second Floor Plan
3/16"=1'-0"

18

2nd PRELIMINARY PLAN

McNair Residences & Renovations
 Additions
 5417 Hopkins Road
 Bethesda, MD 20816

Client: McNair Residences & Renovations
 5417 Hopkins Road
 Bethesda, MD 20816
 Project No: 10000000000000000000
 General Application

Project: Public House
 Architect: Public House Associates, P.C.
 8000 Wisconsin Lane
 Suite 200
 Maryland 20850
 Tel: 301.731.7847

Professional Engineer
 License No. 10000000000000000000
 State of Maryland
 Second Floor Plan
 Scale: 1/8"=1'-0"

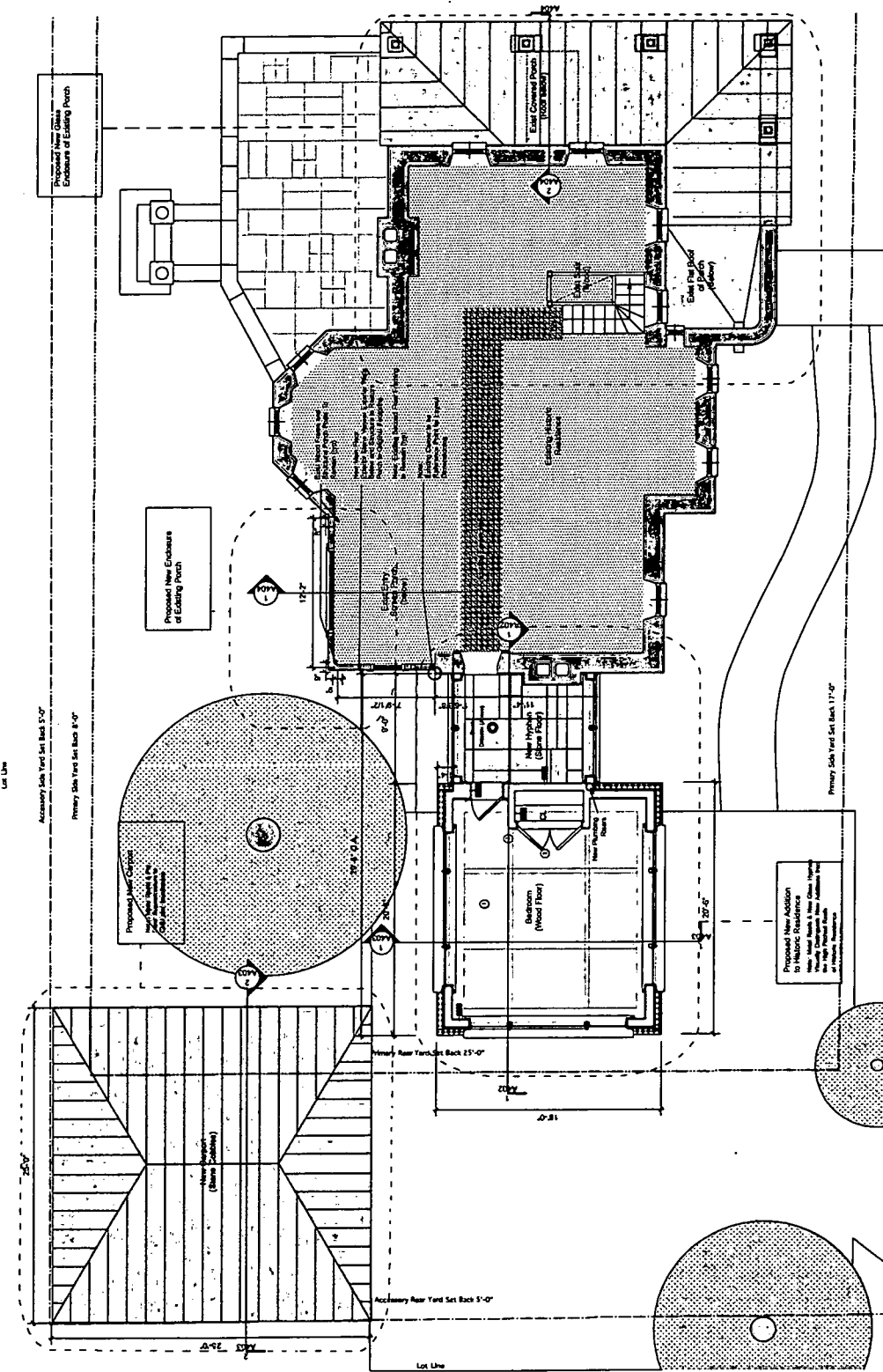
31 July 2013
A.202

Notes

1. REFER TO ALL EXISTING AND PROPOSED ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL INFORMATION.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
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Legend

- EXISTING WALL
- NEW WALL
- GLASS WALL



Partition Schedule

TYPE	DESCRIPTION	NOTES
1	TYPE 1B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.
2	TYPE 2B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.
3	TYPE 3B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.
4	TYPE 4B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.
5	TYPE 5B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.
6	TYPE 6B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.
7	TYPE 7B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.
8	TYPE 8B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.
9	TYPE 9B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.
10	TYPE 10B PARTITION	1/2" GYPSUM BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP AND BOTTOM SURFACES.

HAND PLAN

19

McNair Residence

Owner:
 Ross McNair
 5415 Mohican Road
 Bethesda, MD 20818

Current Issue:
 Revised Historic
 Submittal

Revisions:

Pollock Dickerson
 Associates, PC

Architect:
 PDA
 5640 Nicholson Lane
 Suite 300
 Rockville, Maryland 20852
 Tel: 301.237.7542

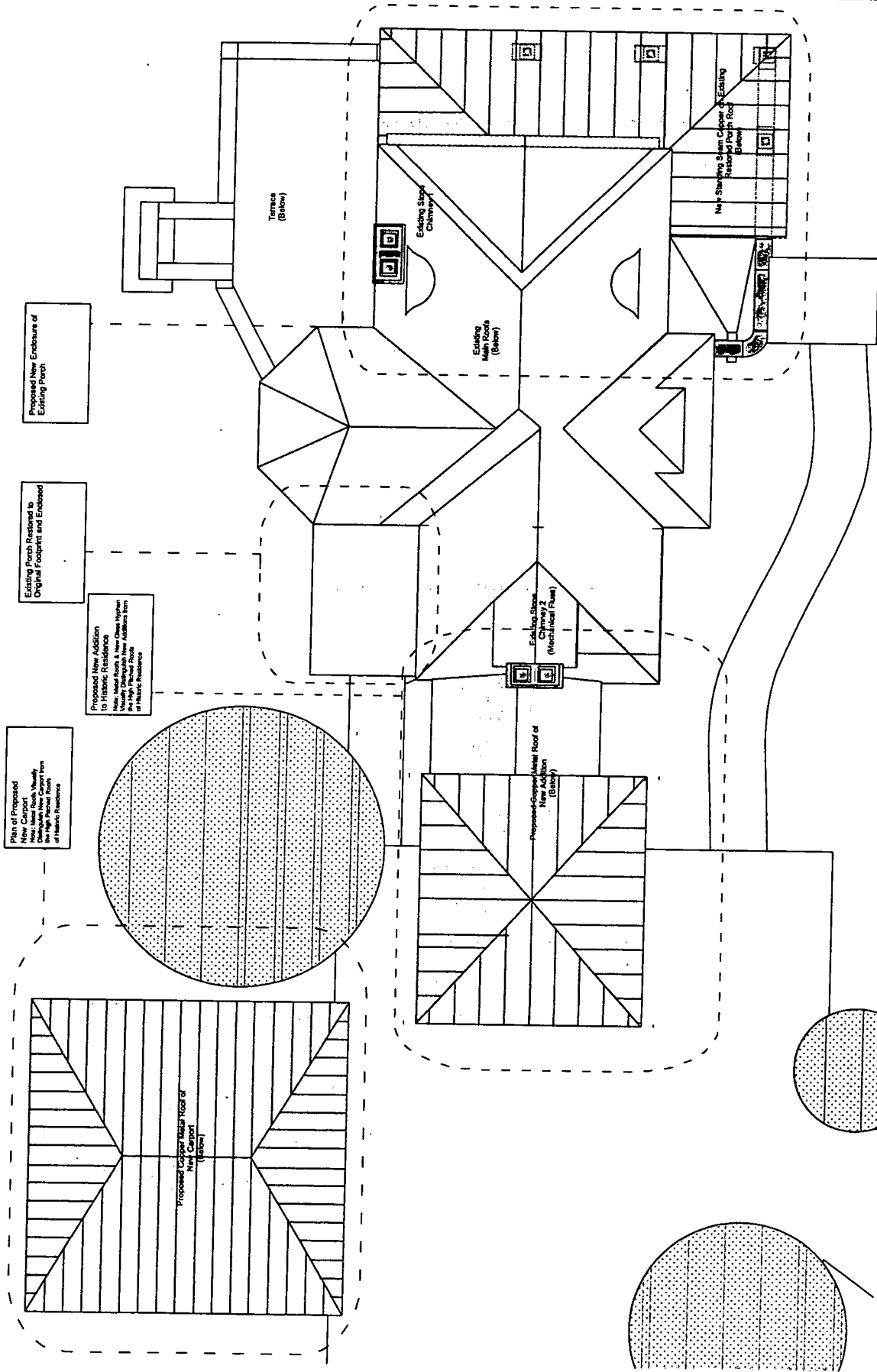
Consultants: TBD

Professional Certification:
 I am a duly licensed Professional Architect in the State of Maryland, and I certify that the information herein was prepared by me or under my direct supervision and control.

Roof Floor Plan
 Scale: 3/16"=1'-0"

13 June 2013

B.103



2nd PRELIMINARY PLAN

1 Roof Plan
 3/16"=1'-0"



McNair Residence & Additions
 5417 Hopkins Road
 Bethesda, MD 20816

Client:
 5417 Hopkins Road
 Bethesda, MD 20816
 Contract No.:
 Permit Application
 No.:

Project: **Patrons Distinction Associates, PC**
 5433 McGowan Lane
 Suite 200, Maryland 20827
 Tel: 301.731.7671

Professional Engineer
 License No. 11000000000000000000
 State of Maryland
 Roof Floor Plan
 Scale: 1/4"=1'-0"
 31 July 2013
A.203

Notes

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRADE AND DRAINAGE SYSTEMS.

6. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING STRUCTURES AND UTILITIES.

7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURBS AND DRIVEWAYS.

8. THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE FOR ALL ROOFING AND FLOORING.

9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE AND PLANTINGS.

10. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING TREES AND SHRUBS.

11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FENCES AND BARRIERS.

12. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING UTILITIES AND STRUCTURES.

13. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRADE AND DRAINAGE SYSTEMS.

14. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING STRUCTURES AND UTILITIES.

15. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURBS AND DRIVEWAYS.

16. THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE FOR ALL ROOFING AND FLOORING.

17. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE AND PLANTINGS.

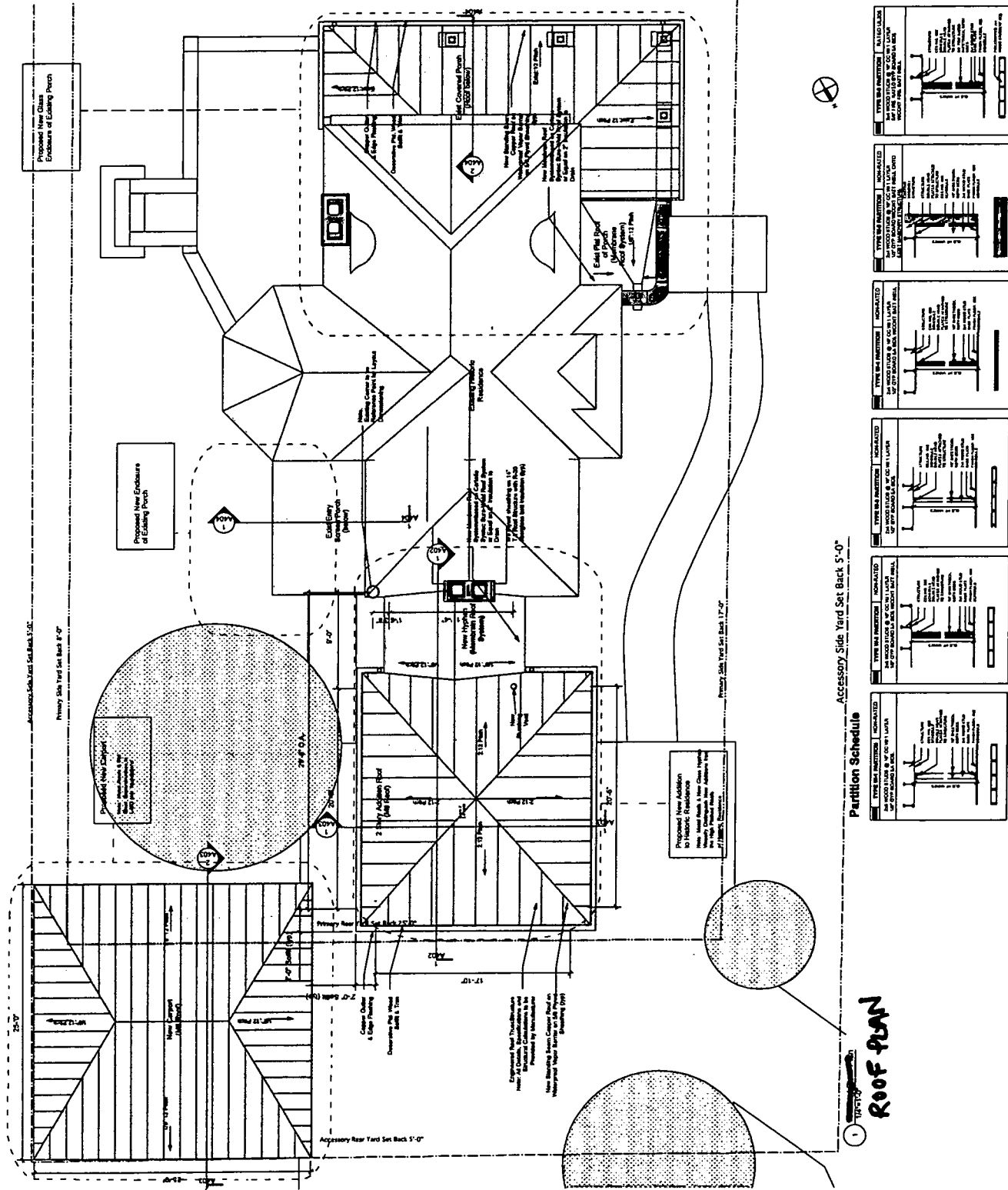
18. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING TREES AND SHRUBS.

19. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FENCES AND BARRIERS.

20. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING UTILITIES AND STRUCTURES.

Legend

EXISTING
 NEW
 TO BE REMOVED
 UNUSUAL



Partition Schedule

TYPE	DESCRIPTION	NOTES
TYPE 1 <td>1/2\"/> </td> <td></td>	1/2\"/>	
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TYPE 100 <td>1/2\"/> </td> <td></td>	1/2\"/>	

Roof Plan

HAUP PLAN

(21)

Elevations

**McNair
Residence**

Owner:
Ross McNair
8415 Michien Road
Bethesda, MD 20816

Current Issue:
**Revised Historic
Submittal**

Revisions:

**Pollock Dickerson
Associates, PC**

Architect:
PDA
5640 Nicholson Lane
Suite 300
Bethesda, Maryland 20852
Tel: 301.237.7542

Consultants: TBD

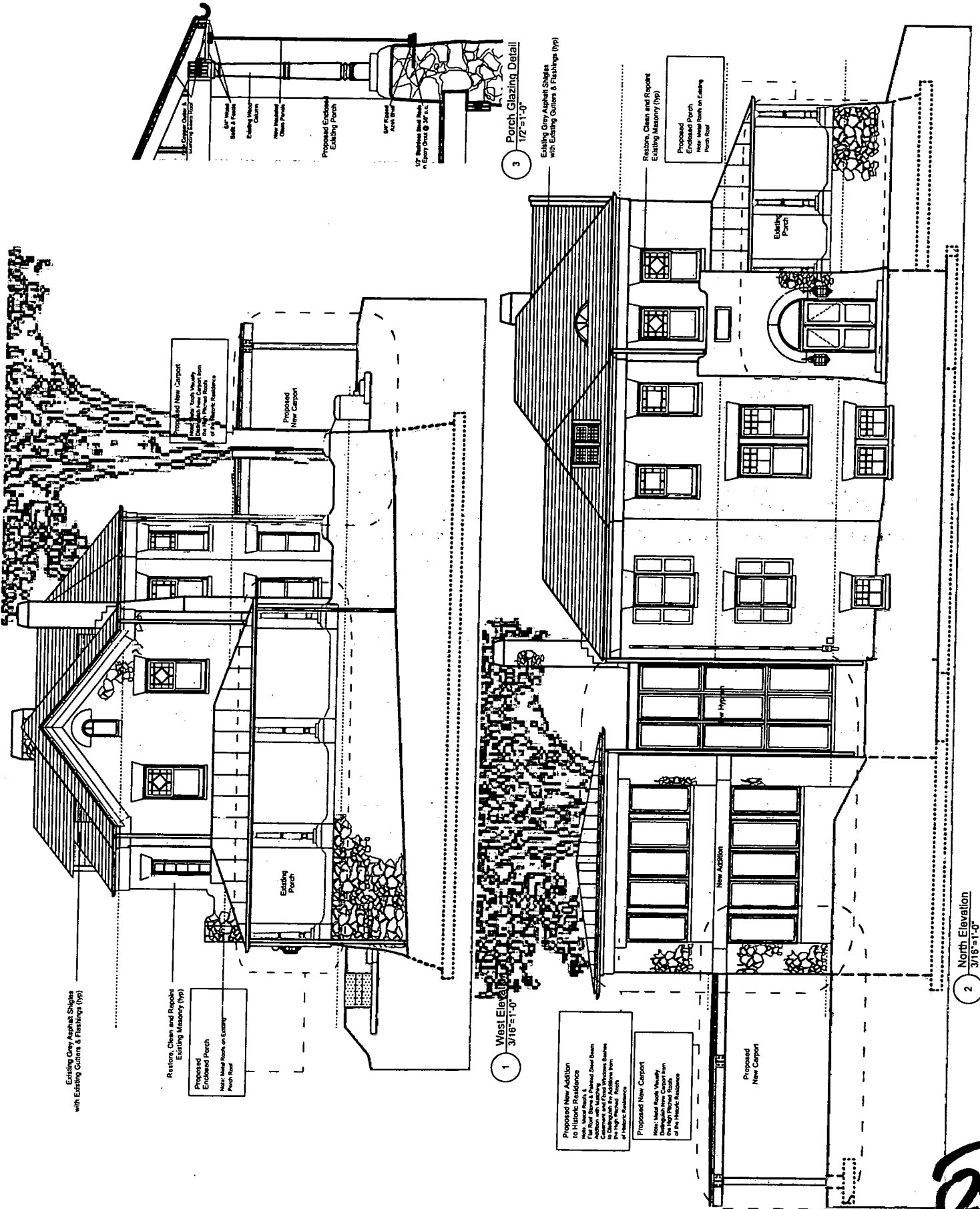
Professional Certification:
I am a duly Licensed Professional Architect in the State of Maryland and I certify that the work shown on this drawing was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Maryland.

License No. 0275-Expiring Date: 10/11/2012

Elevations
Scale: 3/16"=1'-0"

13 June 2013

B.200



2nd PRELIMINARY

29

Meklar Residences & Additions

5417 Mohican Road
Bethesda, MD 20816

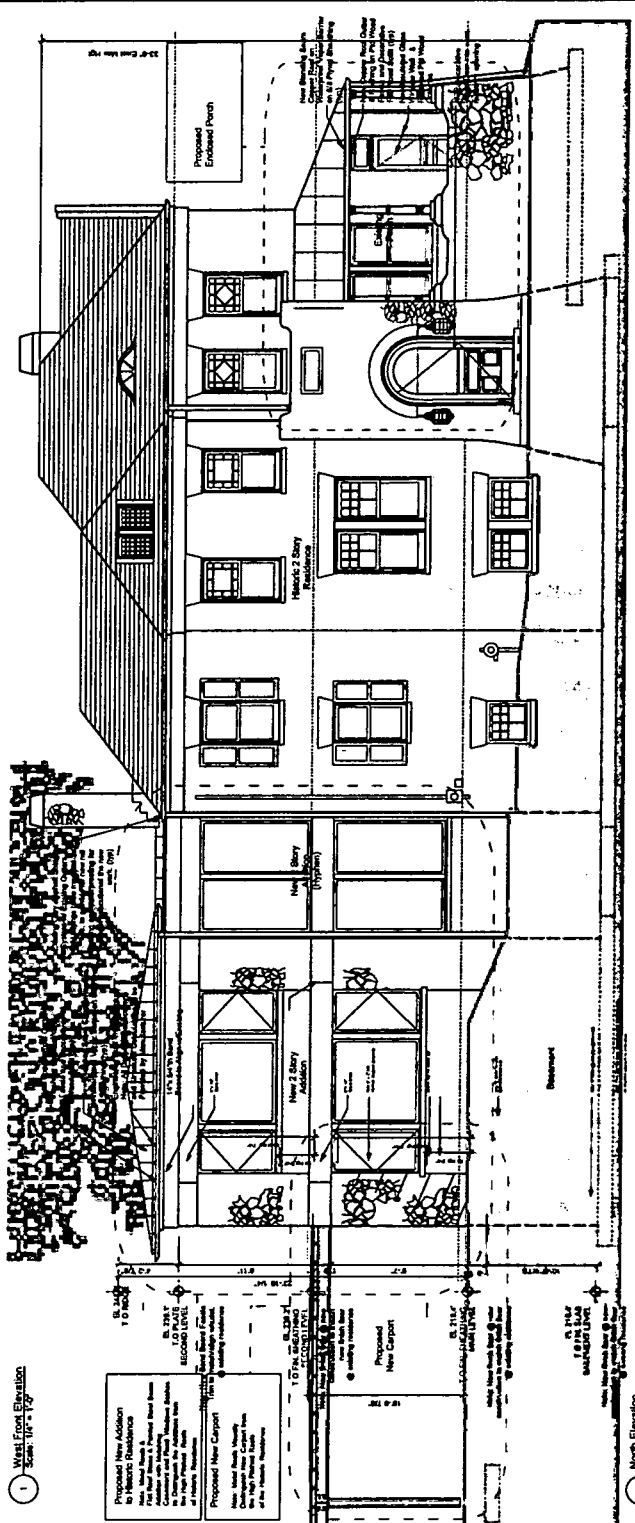
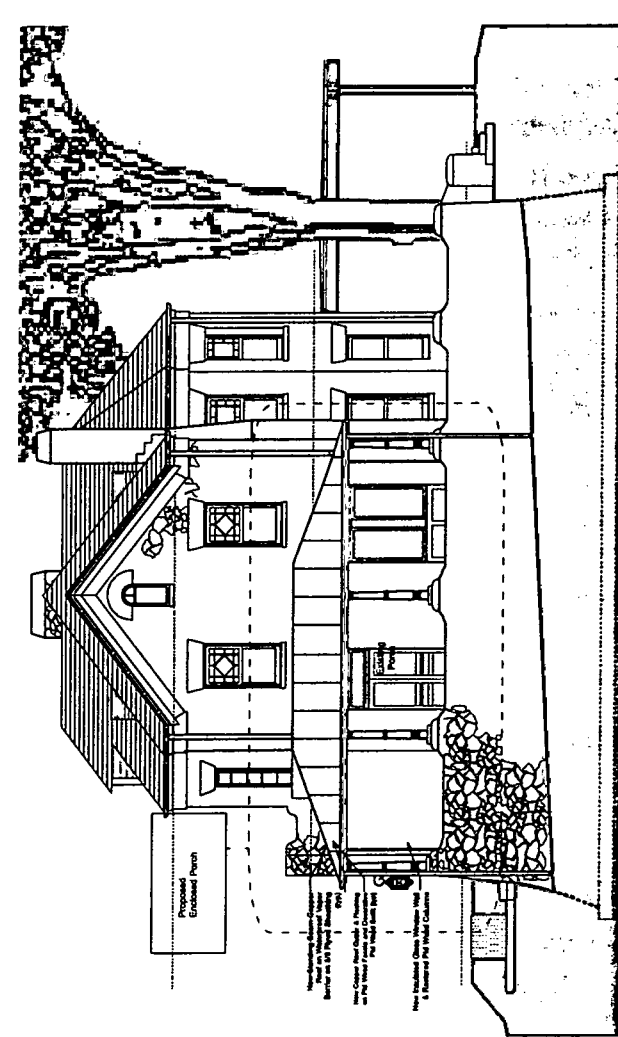
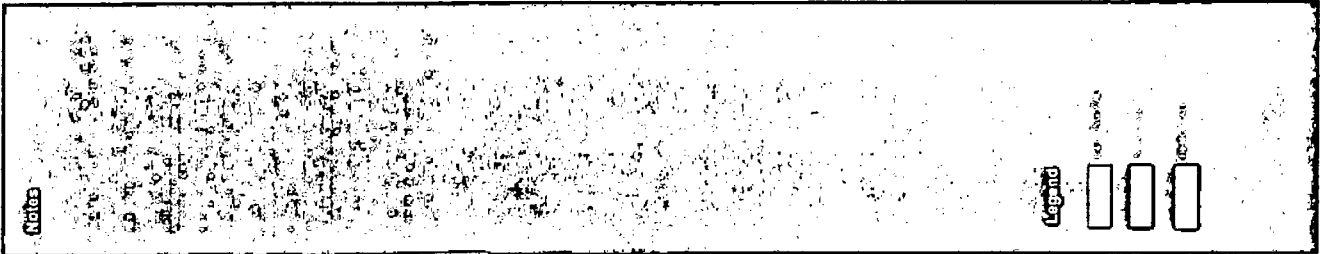
Client:
Architect:
Contractor:
Permitting Agency:

Project:
Pellock Dickerson
Associates, P.C.

Address:
5417 Mohican Road
Bethesda, MD 20816
Phone: 301.351.7642

Professional Seal:
Date: 10/11/12

3/1/13
A.400



HAMP

24

McNair Residence

Owner:
 Ross McNair
 5415 Mchlean Road
 Bethesda, MD 20816

Current Issue:
 Revised Historic
 Submittal

Revision:
 Restored

Pollock Dickerson
 Associates, PC

Architect:
 P.O. Nicholson Lane
 Suite 300
 Rockville, Maryland 20852
 Tel. 301.237.7542

Consultants: TBD

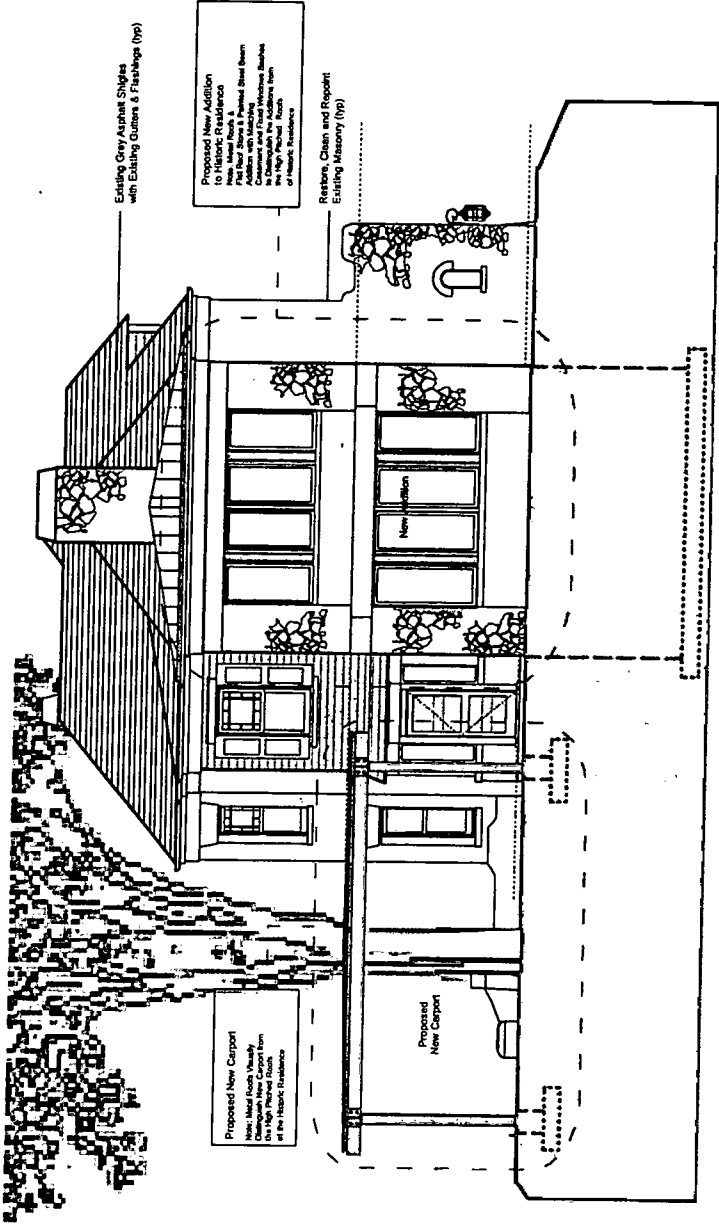
Professional Certification:
 I hereby certify that these documents were prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Maryland.

Signature of Architect: _____
 Date: _____

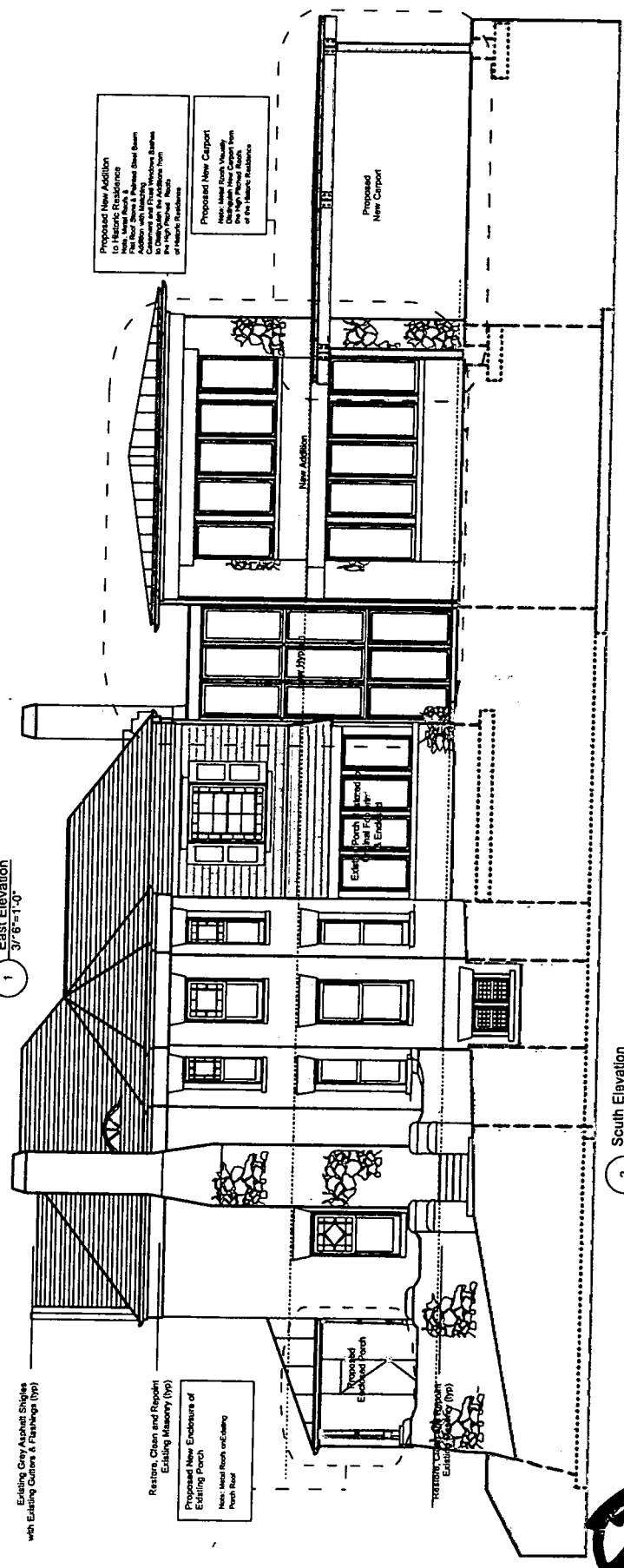
Elevations
 Scale: 3/16"=1'-0"

13 June 2013

B.201



1 East Elevation
 3/16"=1'-0"



2 South Elevation
 3/16"=1'-0"

2nd PRELIMINARY



McNair Residence & Additions
 8417 Michican Road
 Beltsville, MD 20816

Client:
 Name:
 8417 Michican Road
 Beltsville, MD 20816
 Project:
 Project Application

Professional:
 Architects:
 Associates, P.C.

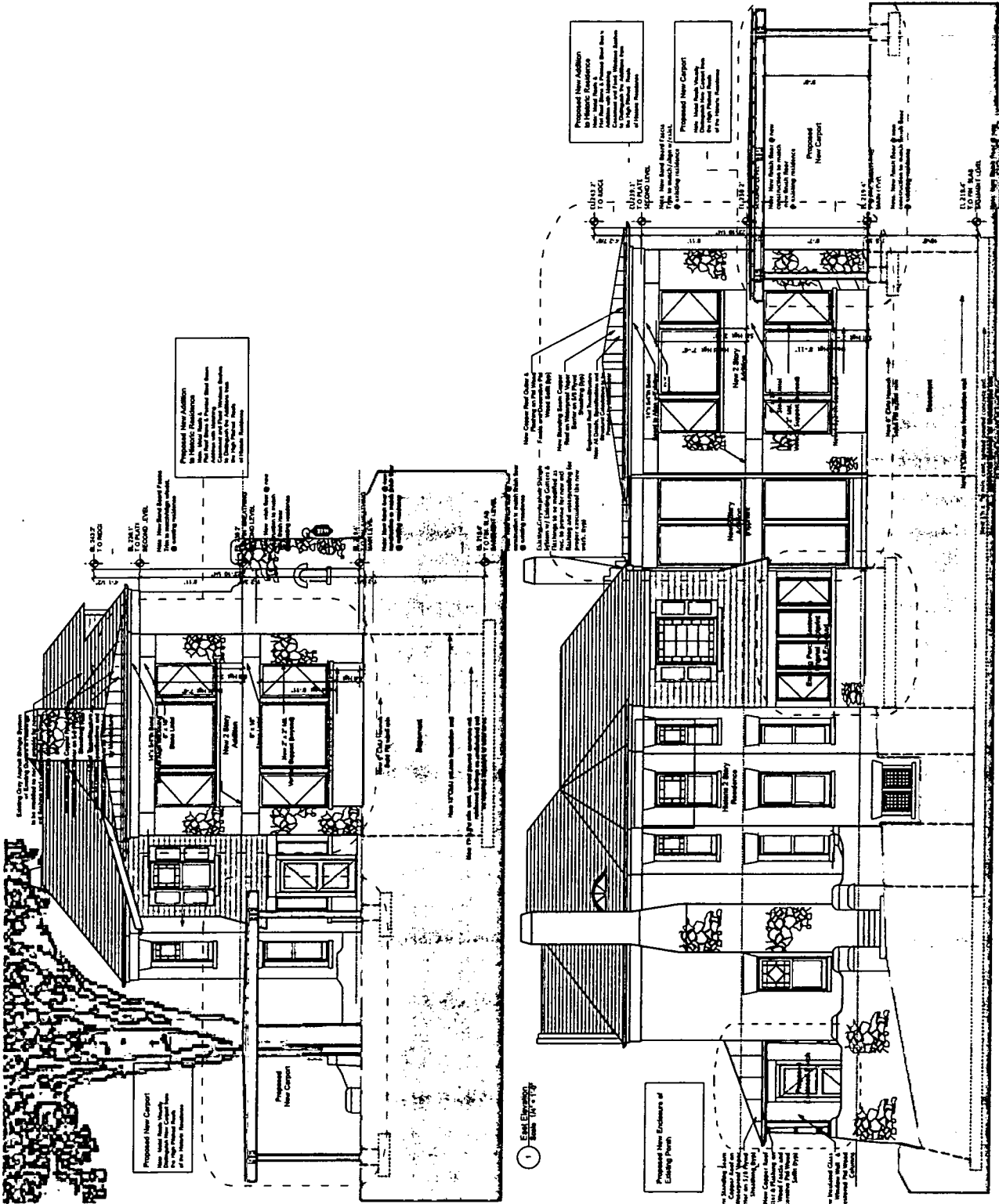
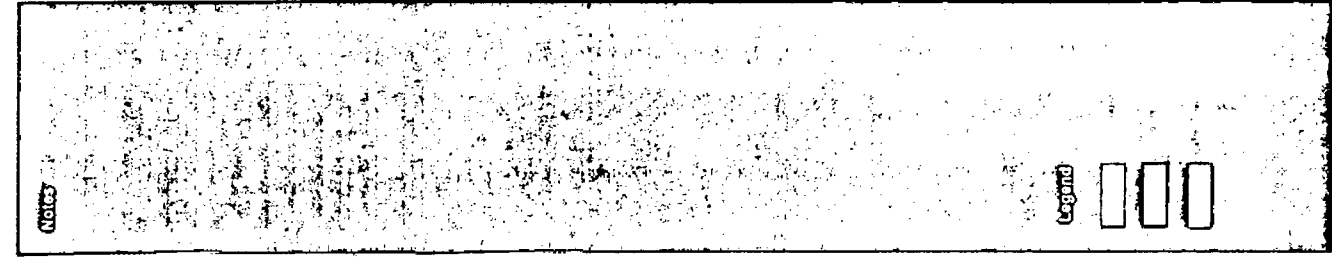
Address:
 4000 Columbia Avenue, P.C.
 4000 Columbia Avenue
 Beltsville, Maryland 20812
 Tel: 301 237 7343

Professional:
 Engineers:
 Associates, P.C.

Scale: 1/4" = 1'-0"

31 July 2013

A-401



1-TAMP 1

Demolition Plans

**McNair Residence
Interior/Alterations**

5417 Melrose Road
Baltimore, MD 20816

Client:

Eric McNair
5417 Melrose Road
Baltimore, MD 20816

Contract No.:

Project Application:

Poduck Disbarrow
Associates, P.C.

Architect:

1000 Lakeside Drive, Suite 200
Baltimore, Maryland 21202
Tel: 410-251-7842

Permitted Construction:

Interior/Alterations
Demolition Plan
Issue: 10/1/12

11 July 2013

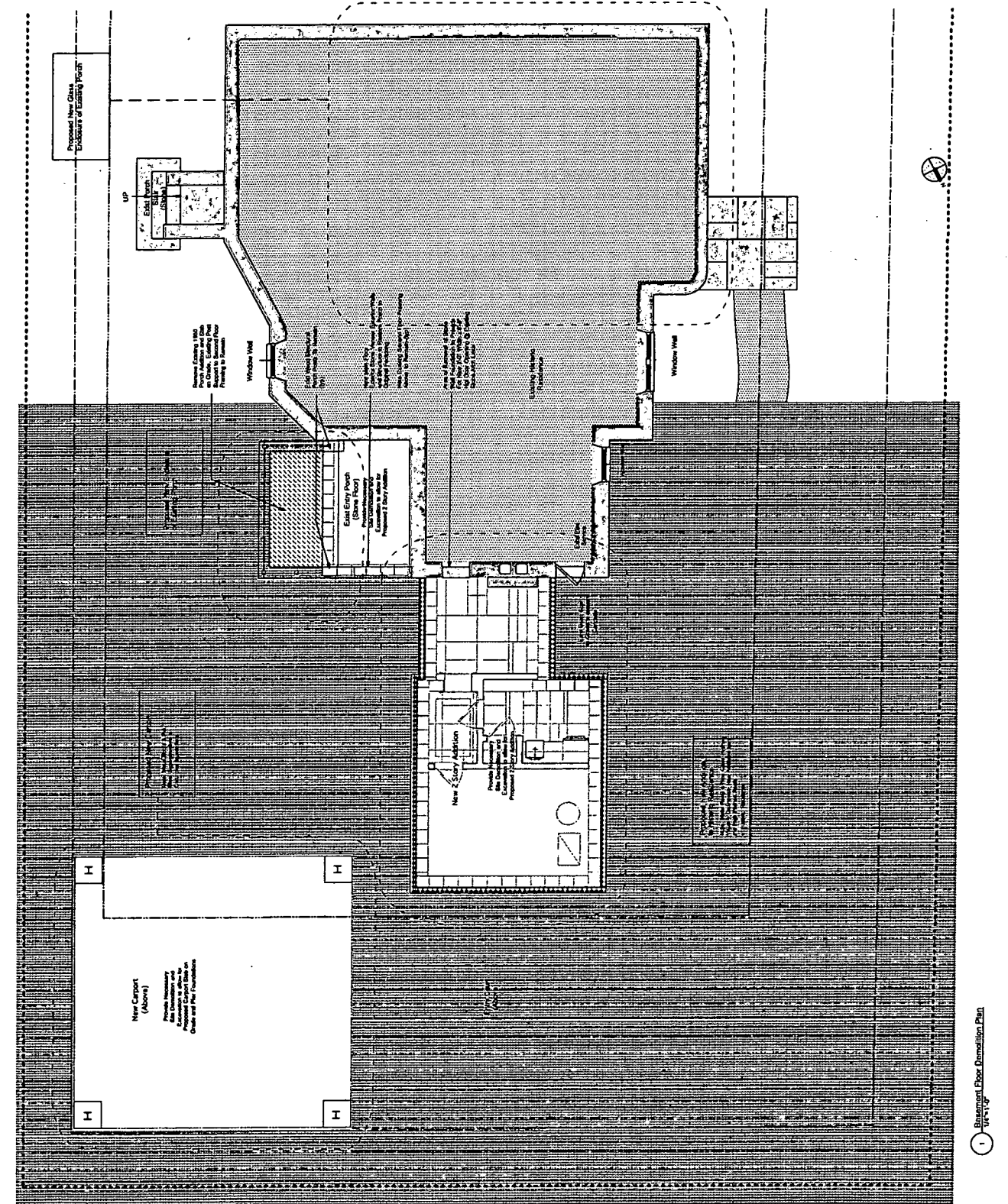
A.100

General Demolition Notes

1. Demolition shall be performed in accordance with the following notes and specifications.
2. All demolition work shall be performed in accordance with the applicable codes and regulations.
3. All debris shall be removed from the site and disposed of at an approved location.
4. All existing structures shall be demolished to the ground level unless otherwise noted.
5. All existing foundations shall be removed to a minimum depth of 4 feet below the existing ground level.
6. All existing walls shall be removed to the exterior finish unless otherwise noted.
7. All existing floors shall be removed to the subgrade unless otherwise noted.
8. All existing roofs shall be removed to the structural steel deck unless otherwise noted.
9. All existing mechanical, electrical, and plumbing systems shall be removed and capped off.
10. All existing site improvements shall be removed and replaced with new site improvements.

Specific Demolition Notes

1. Demolish the existing exterior walls of the main residence to the exterior finish.
2. Demolish the existing interior walls of the main residence to the exterior finish.
3. Demolish the existing exterior walls of the garage to the exterior finish.
4. Demolish the existing interior walls of the garage to the exterior finish.
5. Demolish the existing floor of the main residence to the subgrade.
6. Demolish the existing floor of the garage to the subgrade.
7. Demolish the existing roof of the main residence to the structural steel deck.
8. Demolish the existing roof of the garage to the structural steel deck.
9. Demolish the existing mechanical, electrical, and plumbing systems of the main residence and garage.
10. Demolish the existing site improvements of the main residence and garage.



1 Basement Floor Demolition Plan

General Demolition Notes

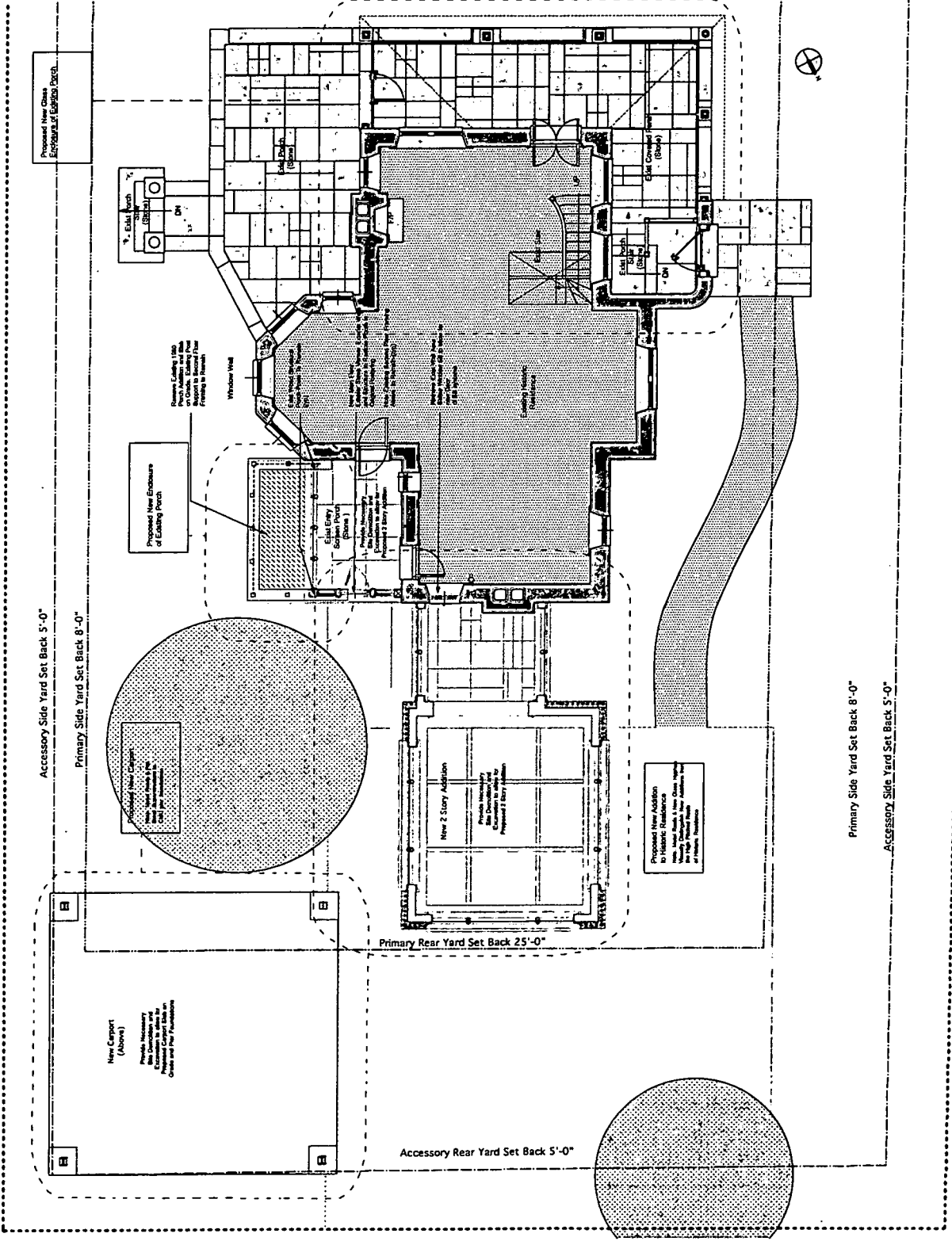
1. All work shall be in accordance with the applicable codes and regulations.
2. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The Contractor shall be responsible for the safe removal and disposal of all materials and debris.
4. The Contractor shall be responsible for the protection of all existing structures and utilities.
5. The Contractor shall be responsible for the maintenance of all access points and egress routes.
6. The Contractor shall be responsible for the maintenance of all site safety and security.
7. The Contractor shall be responsible for the maintenance of all site cleanliness and order.
8. The Contractor shall be responsible for the maintenance of all site safety and security.
9. The Contractor shall be responsible for the maintenance of all site cleanliness and order.
10. The Contractor shall be responsible for the maintenance of all site safety and security.
11. The Contractor shall be responsible for the maintenance of all site cleanliness and order.
12. The Contractor shall be responsible for the maintenance of all site safety and security.
13. The Contractor shall be responsible for the maintenance of all site cleanliness and order.
14. The Contractor shall be responsible for the maintenance of all site safety and security.
15. The Contractor shall be responsible for the maintenance of all site cleanliness and order.

Specific Demolition Notes

1. Demolition of existing structure shall be in accordance with the applicable codes and regulations.
2. The Contractor shall be responsible for the safe removal and disposal of all materials and debris.
3. The Contractor shall be responsible for the protection of all existing structures and utilities.
4. The Contractor shall be responsible for the maintenance of all access points and egress routes.
5. The Contractor shall be responsible for the maintenance of all site safety and security.
6. The Contractor shall be responsible for the maintenance of all site cleanliness and order.
7. The Contractor shall be responsible for the maintenance of all site safety and security.
8. The Contractor shall be responsible for the maintenance of all site cleanliness and order.
9. The Contractor shall be responsible for the maintenance of all site safety and security.
10. The Contractor shall be responsible for the maintenance of all site cleanliness and order.
11. The Contractor shall be responsible for the maintenance of all site safety and security.
12. The Contractor shall be responsible for the maintenance of all site cleanliness and order.
13. The Contractor shall be responsible for the maintenance of all site safety and security.
14. The Contractor shall be responsible for the maintenance of all site cleanliness and order.
15. The Contractor shall be responsible for the maintenance of all site safety and security.

Legend

EXISTING WALL
 NEW WALL
 EXISTING WALL



1 Main Floor Demolition Plan

29

Framing and Cross Section Plans

McClair Residences & Additions

5417 Mahan Road
Bethesda, MD 20816

Owner:
5415 Mahan Road
Bethesda, MD 20816
Contract No.
Project Application

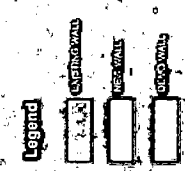
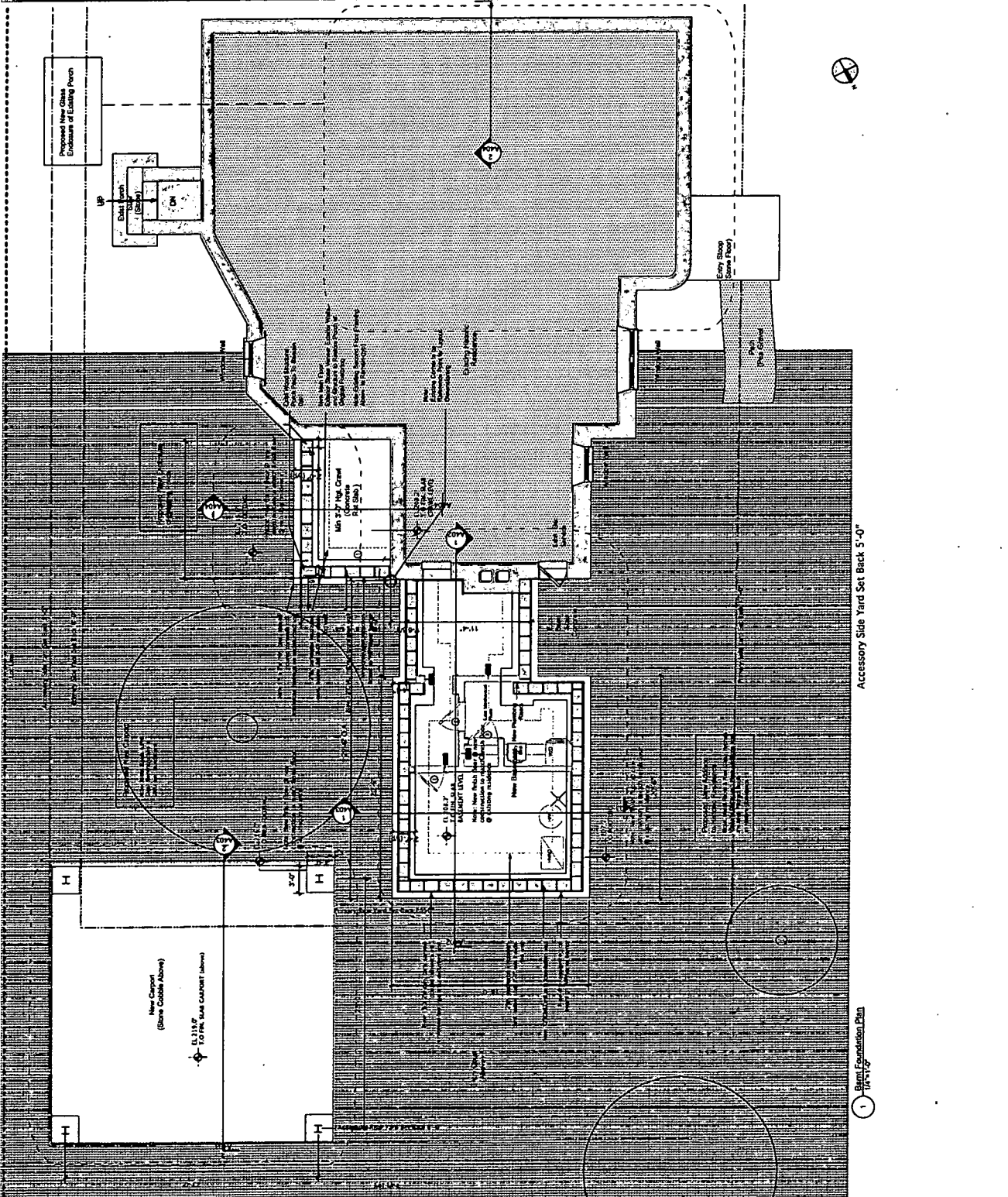
Professional:
Architect:
5415 Mahan Road
Bethesda, MD 20816
Tel: 301.271.7427

Project:
McClair Residences & Additions, P.C.
5415 Mahan Road
Bethesda, MD 20816
Tel: 301.271.7427

Foundation Plan
Scale: 1/4" = 1'-0"

31 July 2013
A.300

- NOTES**
1. REFER TO SHEET A.301 FOR EXISTING CONDITIONS.
 2. ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC).
 3. ALL FOUNDATION WALLS SHALL BE CONCRETE ON A 4" THICK POLYSTYRENE INSULATED CONCRETE SLAB (ICF) WITH 2" POLYSTYRENE INSULATION ON THE EXTERIOR.
 4. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD ON THE INTERIOR.
 5. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD ON THE EXTERIOR.
 6. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD ON THE EXTERIOR.
 7. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD ON THE EXTERIOR.
 8. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD ON THE EXTERIOR.
 9. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD ON THE EXTERIOR.
 10. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD ON THE EXTERIOR.



Accessory Side Yard Set Back 5'-0"

1. Base Foundation Plan

32

McNair Residence & Additions
 5417 Mathian Road
 Bethesda, MD 20816

Client:
 Architect:
 General Contractor:
 Permit Application:
 Date:
 Project:
 Scale: 1/4" = 1'-0"

Pollock Dickinson
 Architects, P.C.
 3000 McMillan Lane
 Suite 200
 Washington, DC 20014
 Tel: 202.737.7847

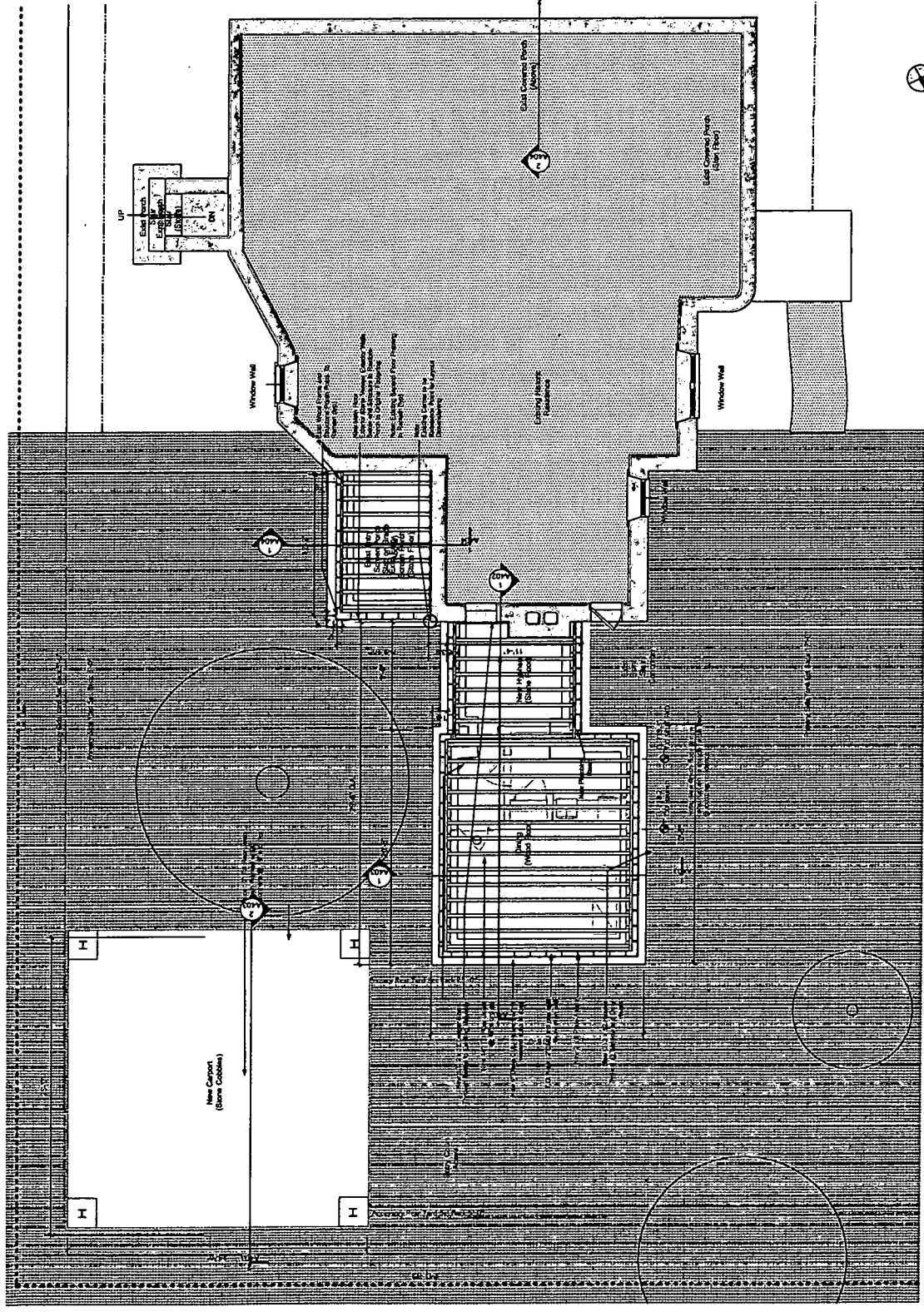
Professional Engineer:
 License No.:
 State:
 Date: 31 July 2013
A.301

Notes

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL CODE (IMC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODE (IEC) AND THE NATIONAL ELECTRICAL CODE (NEC).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND THE ENERGY STAR PROGRAM.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SCHEDULING CODE (ISC) AND THE SCHEDULING CODE (SC).
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY CODE (ISC) AND THE SAFETY CODE (SC).
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH AND SAFETY CODE (IHSC) AND THE HEALTH AND SAFETY CODE (HSC).
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL CODE (IEC) AND THE ENVIRONMENTAL CODE (EC).
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY CODE (IAC) AND THE ACCESSIBILITY CODE (AC).

Legend

- EXISTING WALL
- NEW WALL
- EXISTING WINDOW
- NEW WINDOW
- EXISTING DOOR
- NEW DOOR



Accessory Side Yard Set Back 5'-0"

Partition Schedule

TYPE	DESCRIPTION	CONSTRUCTION
1	TYPE 1B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.
2	TYPE 2B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.
3	TYPE 3B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.
4	TYPE 4B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.
5	TYPE 5B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.
6	TYPE 6B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.
7	TYPE 7B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.
8	TYPE 8B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.
9	TYPE 9B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.
10	TYPE 10B PARTITION	CONCRETE ON WOOD STUDS & 2x4 OC IN LAYER ABOVE PARTITION STUDS. SEE WALL SECTION FOR DETAILS.

1 **Mobile Edge-Edge Framing Plan**

33

McNair Residences & Additions
 Renovations & Additions
 5417 Mohican Road
 Baltimore, MD 20816

Client:
 Alex McNeil
 5417 Mohican Road
 Baltimore, MD 20816
 Contact No.:
 Project Application

Professional Designation
 Architect, P.C.




Author:
 Robert A. McNeil, Architect, P.C.
 5417 Mohican Road
 Baltimore, MD 20816
 Date: 07/23/2012
 File No: 2012-145

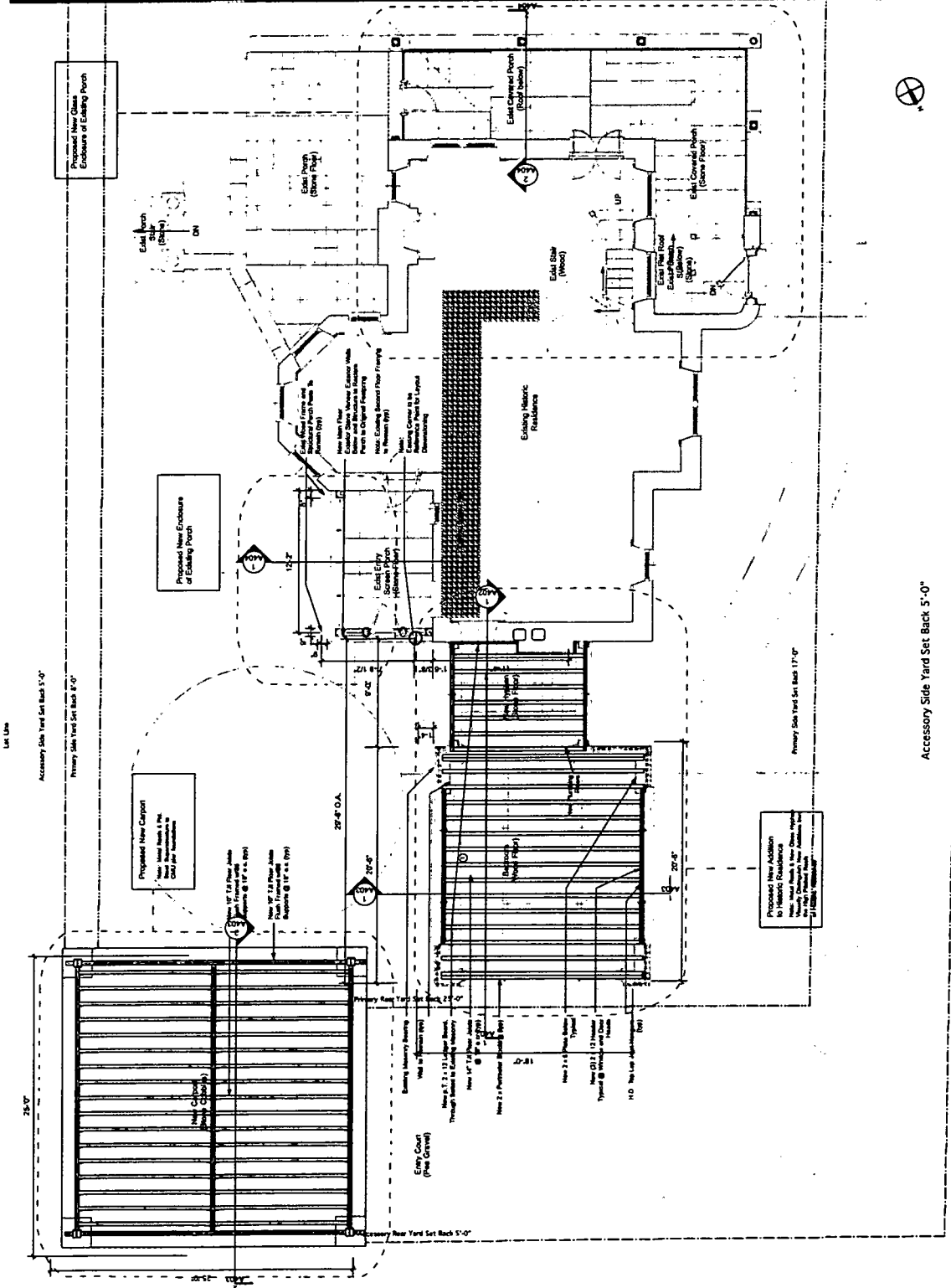
Professional Certificate:
 No. 12345
 State of Maryland
 Second Floor Framing Plan
 Date: 07/23/12

31 July 2012
A.302

Notes

Legend

-  Existing Historic Residence
-  New Addition
-  New Enclosure



1 Second Floor Framing Plan
 1/8" = 1'-0"

34

McNair Residences & Renovations & Additions

5417 Mohican Road
Baltimore, MD 20816

Client: McNair
Architect: Peacock Dickerson Associates, P.C.
Address: 3400 Montgomery Lane
Suite 200
Baltimore, MD 21202
Tel: 410.757.7827

Project: McNair Residences & Renovations & Additions

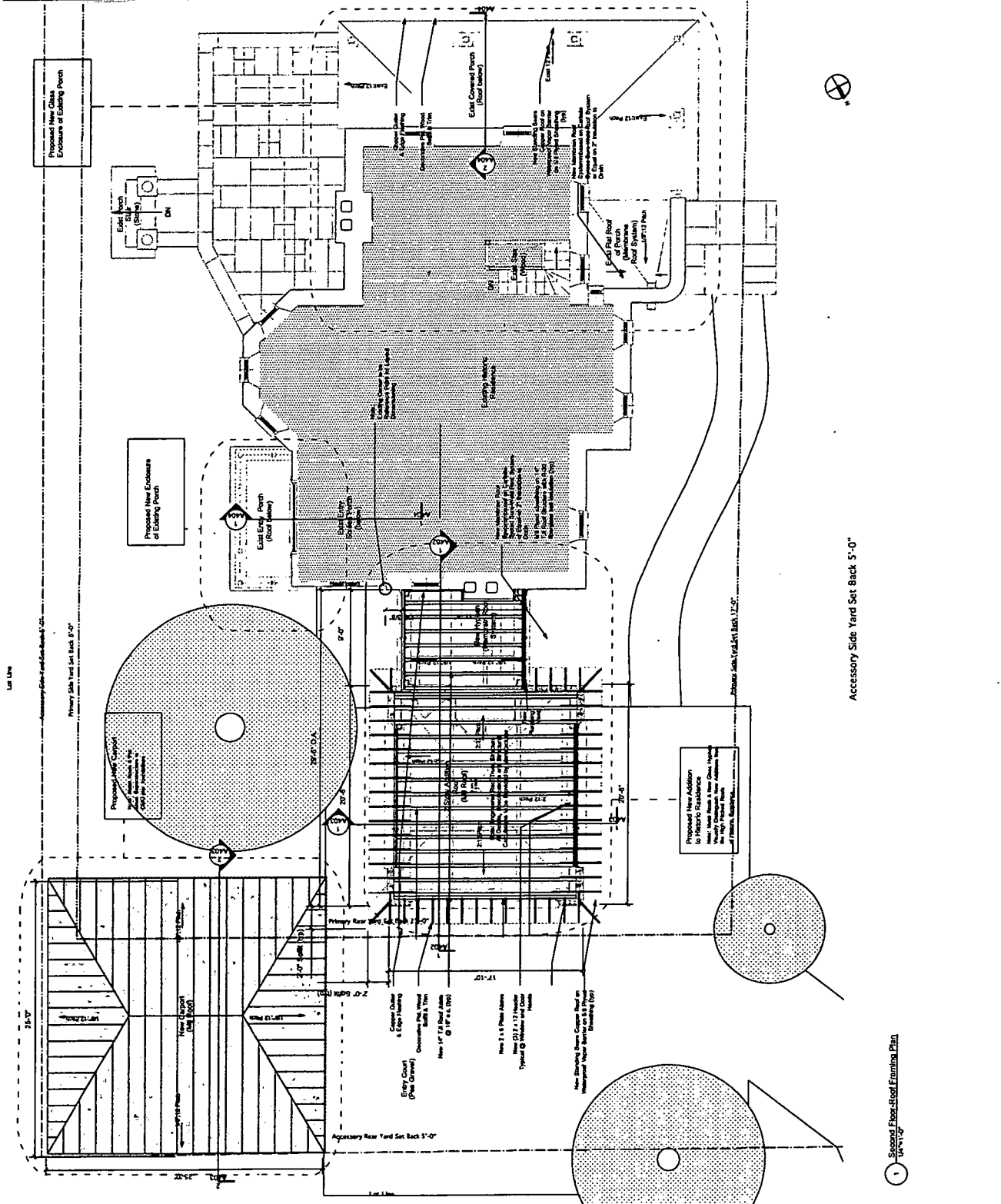
Architect: Peacock Dickerson Associates, P.C.
Address: 3400 Montgomery Lane
Suite 200
Baltimore, MD 21202
Tel: 410.757.7827

Professional Engineer
Name: [Redacted]
License No.: [Redacted]
State: [Redacted]

31 July 2013
A.303

NOTES

1. Contractor to verify all existing work corresponding to the existing drawings.
2. Coordinate all work with the existing structure.



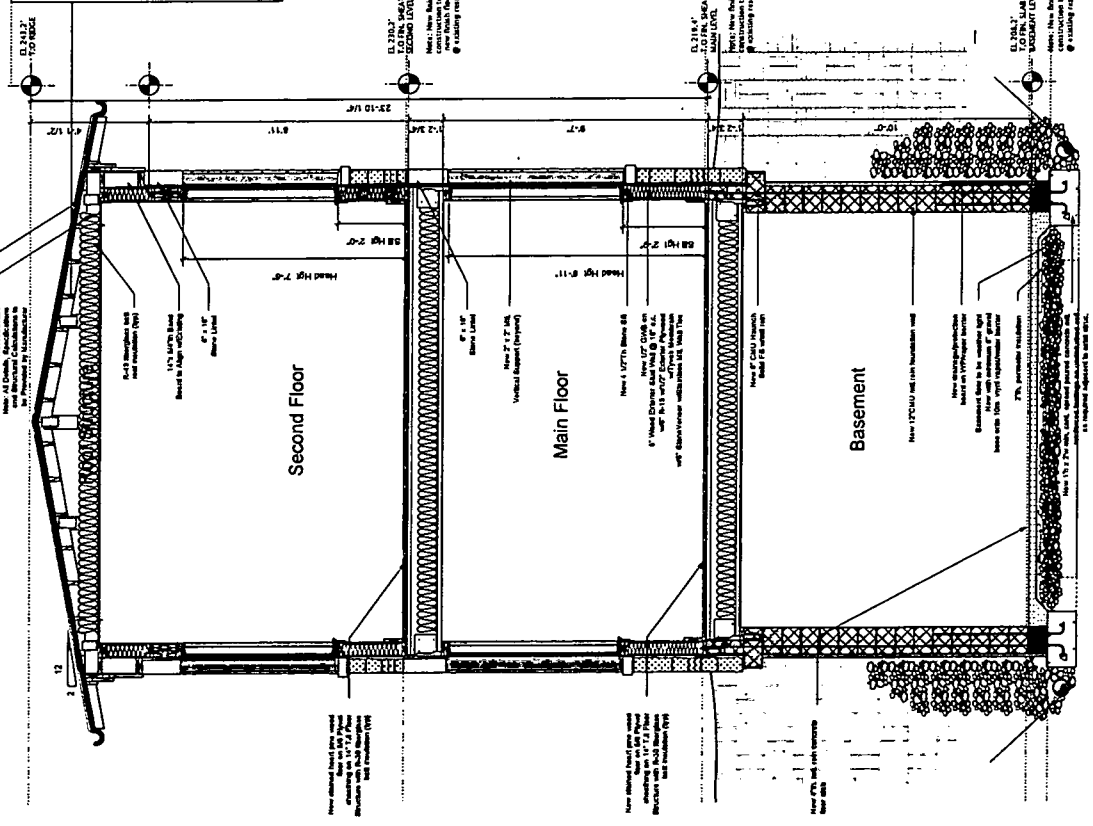
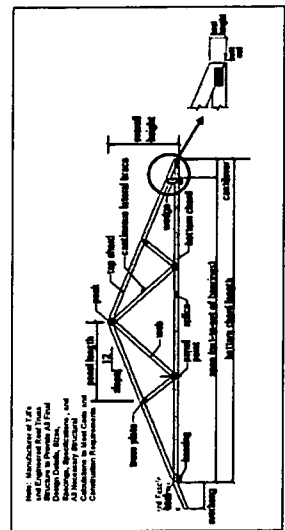
Legend

- 1. LETTING WALL
- 2. NEW WALL
- 3. EXISTING WALL

Accessory Side Yard Set Back 5'-0"

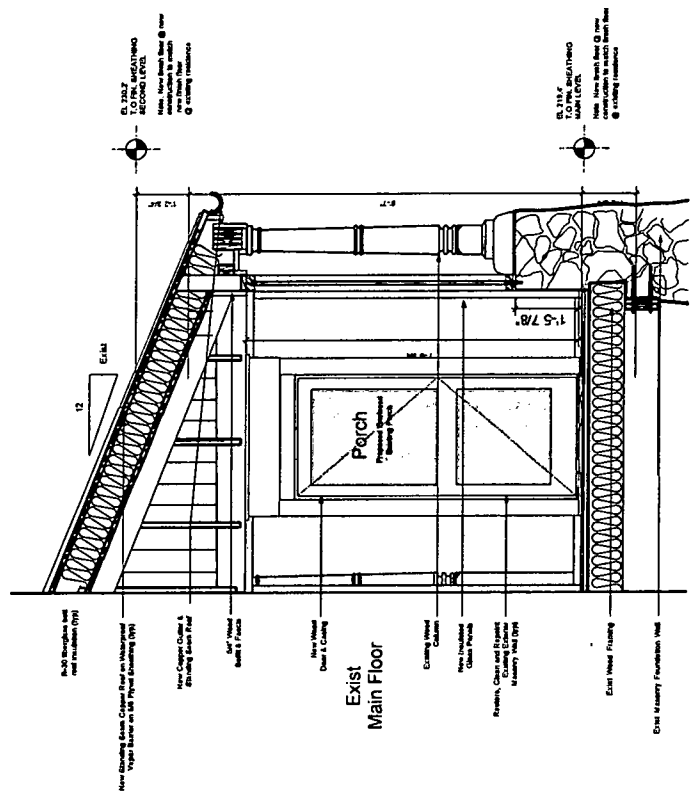
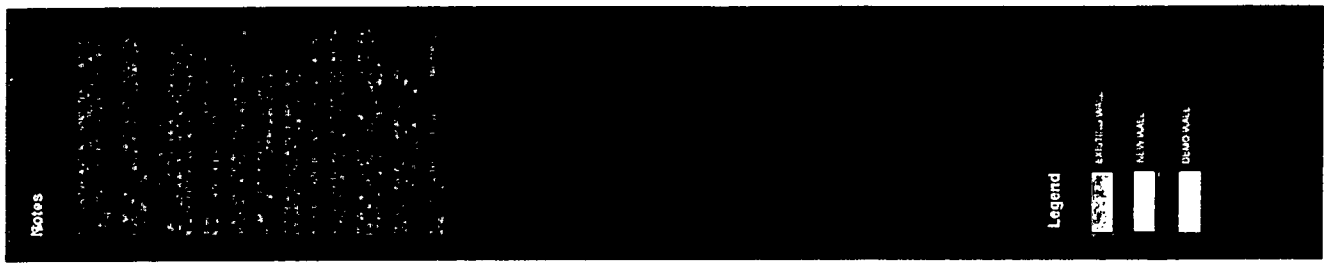
1. Second Floor-Roof Framing Plan
1/4"=1'-0"

35



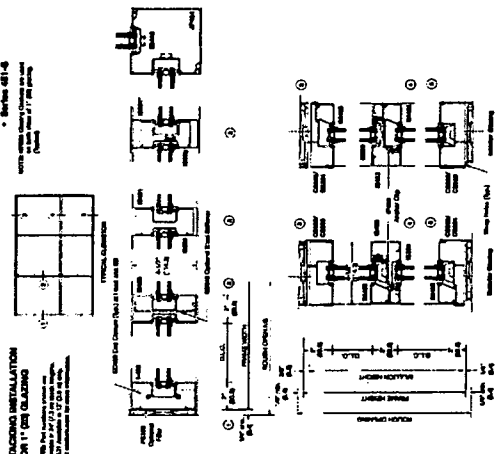
Section Detail @ Carport
 Scale: 1/4" = 1'-0"

Section Detail @ Carport
 Scale: 1/4" = 1'-0"

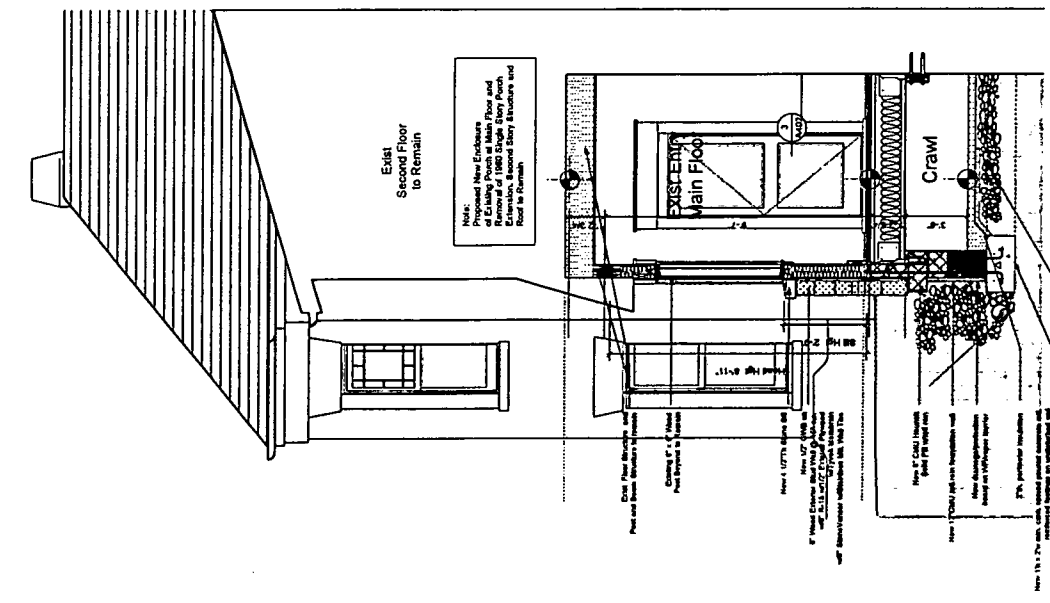
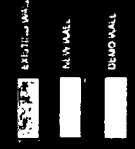


1 Front Porch Glazing Detail
1/2\"/>

Typical Details
STANDARD INSTALLATION
FOR 1\"/>



Legend



1 Section @ Exist Entry Restoration
1/2\"/>

Contractor:
 Rouse Building
 1000 Wisconsin Ave
 Bethesda, MD 20814

Project Application:
 Additions

Professional Engineer:
 Paul J. DeBenedictis, P.E.
 3000 Wisconsin Ave
 Bethesda, MD 20814
 Tel: 301.271.7422

Professional Engineer:
 Structural Details & Fabric Notes
 Per Notes

19 July 2013
A.405

Notes

1. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

2. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

3. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

4. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

5. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

6. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

7. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

8. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

9. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

10. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

Legend

NEW
 EXISTING

TABLE R602.10.1 WALL BRACING

Seismic Design Category or Wind Speed	Condition	Time of Rise (Type N, Y)	Amount of Bracing (Type N, Y)
Category A	One story	1.5, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	1.5, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
	Two story	1.5, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	1.5, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

TABLE R602.10.2 Length Requirements for Braced Wall Panels in a Joint Shear Wall (Notes a,b)

Length of Braced Wall Panel (ft)	Max. Clearing Height (ft)	Min. Bracing Length (ft)	Min. Bracing Area (sq ft)
4-8	10	10	100%
9-12	12	12	100%
13-16	14	14	85%
17-20	16	16	85%
21-24	18	18	85%
25-30	20	20	85%
31-36	22	22	85%
37-42	24	24	85%
43-48	26	26	85%
49-54	28	28	85%
55-60	30	30	85%
61-66	32	32	85%
67-72	34	34	85%
73-78	36	36	85%
79-84	38	38	85%
85-90	40	40	85%
91-96	42	42	85%
97-102	44	44	85%
103-108	46	46	85%
109-114	48	48	85%
115-120	50	50	85%
121-126	52	52	85%
127-132	54	54	85%
133-138	56	56	85%
139-144	58	58	85%
145-150	60	60	85%
151-156	62	62	85%
157-162	64	64	85%
163-168	66	66	85%
169-174	68	68	85%
175-180	70	70	85%
181-186	72	72	85%
187-192	74	74	85%
193-198	76	76	85%
199-204	78	78	85%
205-210	80	80	85%
211-216	82	82	85%
217-222	84	84	85%
223-228	86	86	85%
229-234	88	88	85%
235-240	90	90	85%
241-246	92	92	85%
247-252	94	94	85%
253-258	96	96	85%
259-264	98	98	85%
265-270	100	100	85%
271-276	102	102	85%
277-282	104	104	85%
283-288	106	106	85%
289-294	108	108	85%
295-300	110	110	85%
301-306	112	112	85%
307-312	114	114	85%
313-318	116	116	85%
319-324	118	118	85%
325-330	120	120	85%
331-336	122	122	85%
337-342	124	124	85%
343-348	126	126	85%
349-354	128	128	85%
355-360	130	130	85%
361-366	132	132	85%
367-372	134	134	85%
373-378	136	136	85%
379-384	138	138	85%
385-390	140	140	85%
391-396	142	142	85%
397-402	144	144	85%
403-408	146	146	85%
409-414	148	148	85%
415-420	150	150	85%
421-426	152	152	85%
427-432	154	154	85%
433-438	156	156	85%
439-444	158	158	85%
445-450	160	160	85%
451-456	162	162	85%
457-462	164	164	85%
463-468	166	166	85%
469-474	168	168	85%
475-480	170	170	85%
481-486	172	172	85%
487-492	174	174	85%
493-498	176	176	85%
499-504	178	178	85%
505-510	180	180	85%
511-516	182	182	85%
517-522	184	184	85%
523-528	186	186	85%
529-534	188	188	85%
535-540	190	190	85%
541-546	192	192	85%
547-552	194	194	85%
553-558	196	196	85%
559-564	198	198	85%
565-570	200	200	85%

Structural Design Loads

R201.3 Dead Load - The actual weights of materials and construction shall be used for determining dead load. The actual weights of materials and construction shall be used for determining dead load. The actual weights of materials and construction shall be used for determining dead load.

See TABLE R201.3 for minimum uniformly distributed live loads.

Use	Live Load (in pounds per square foot)	Dead Load (in pounds per square foot)	Design Load (in pounds per square foot)
Entire building	60	10	70
Office	40	10	50
Public buildings	40	10	50
Passenger vehicles garages	50	15	65
Airports	50	15	65
Airports without storage	50	15	65
Airports with storage	50	15	65
Rooms other than sleeping rooms	40	15	55
Sleeping rooms	30	10	40
Shops	40	15	55
Classrooms and lecture halls	200	10	210

*Required garage floor shall be capable of supporting a 2,000 pound load applied over a 20 square foot area.

Typical Wood Framing Details A, Door & Windows (Typ)

Scale: 1/2" = 1'-0"

Carport Roof Framing Details (Typ)

Scale: 1/2" = 1'-0"

Concrete Slab and Parking Details

Scale: 1/2" = 1'-0"

Structural Framing Bracing Details

Scale: 3/4" = 1'-0"

Structural Elevation

Structural Elevation

Structural Elevation

Structural Elevation

Notes

1. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

2. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

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8. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

9. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

10. All framing members shall be protected with 1/2" gypsum board on all interior surfaces and 1/4" gypsum board on all exterior surfaces.

Legend

NEW
 EXISTING

TABLE R602.10.1 WALL BRACING

TABLE R602.10.2 Length Requirements for Braced Wall Panels in a Joint Shear Wall (Notes a,b)

Structural Design Loads

Typical Wood Framing Details A, Door & Windows (Typ)

Carport Roof Framing Details (Typ)

Concrete Slab and Parking Details

Structural Framing Bracing Details

Structural Elevation

Structural Elevation

Structural Elevation

Structural Elevation

Structural Elevation

Structural Elevation

Structural Elevation

Structural Elevation

Structural Elevation

Silver, Joshua

From: Ross <rossmcnair1@gmail.com>
Sent: Tuesday, August 13, 2013 10:00 AM
To: Silver, Joshua
Subject: 5417 Mohican Rd -- Charles Castle
Attachments: A404-2 Front Porch Glazing Det Rev_12Aug13.pdf

Hi Josh

The glazing system will be a center glazed, 4 - 1/2" metal frame to accommodate 1" insulated glass. The profiles for the head, sill, intermediate and end pieces are shown below. The sill will sit on the stone wall, interior - house side of the wood columns. The wall varies in the width from the lower stone cap to the inside edge of wall from 2 - 1/2" to 4 - 1/2" so the sill will overhang in some locations. The head will attach to a sloped header. The lowest portion of the head will be 6" above the porch header at the columns.

This system will have no impact on the wood columns with the intermediate and end vertical elements placed behind the wood columns. The insulated glass will be 1", low E and argon filled. The return wall with the door to the open porch will be placed behind the 1/2 wood column attached to the main house with the door placed in the center.

We can submit the manufacturer's engineered shop drawings to Staff once they are prepared. We need the concept approved by the HPC to proceed.

Call with any questions
Ross

McNair Residences & Additions

5417 Melician Road
Bethesda, MD 20816

Owner:

Ross McNair
5415 Melician Road
Bethesda, MD 20815

Contract No.:

Permit Application
No.:

Project:

Phillips & Chalmers
Associates, PC

Revision:
8.12.2013 Detail 1 Front Porch
Clearing Section

Professional Seal:
Professional Engineer
No. 123456789
State of Maryland
Expiration Date: 12/31/2014

Sections:

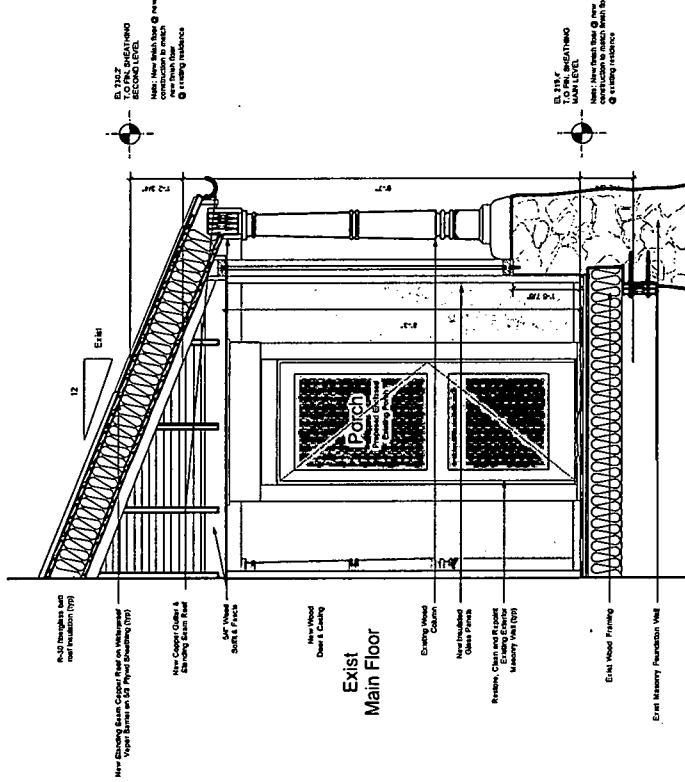
As Noted

12 Aug 2013

A.404

Notes

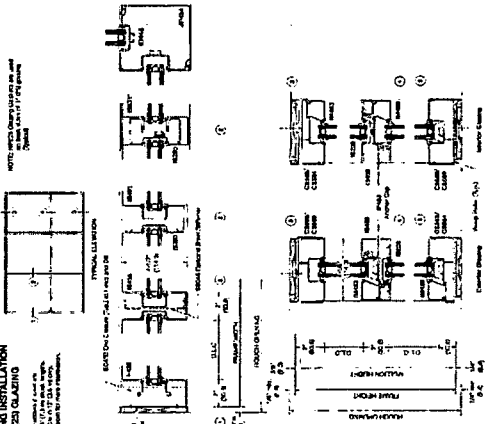
1. All work shall be in accordance with the approved plans and specifications.
2. All materials shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions.
3. All work shall be completed within the specified time frame.
4. All work shall be subject to inspection and approval by the local building department.



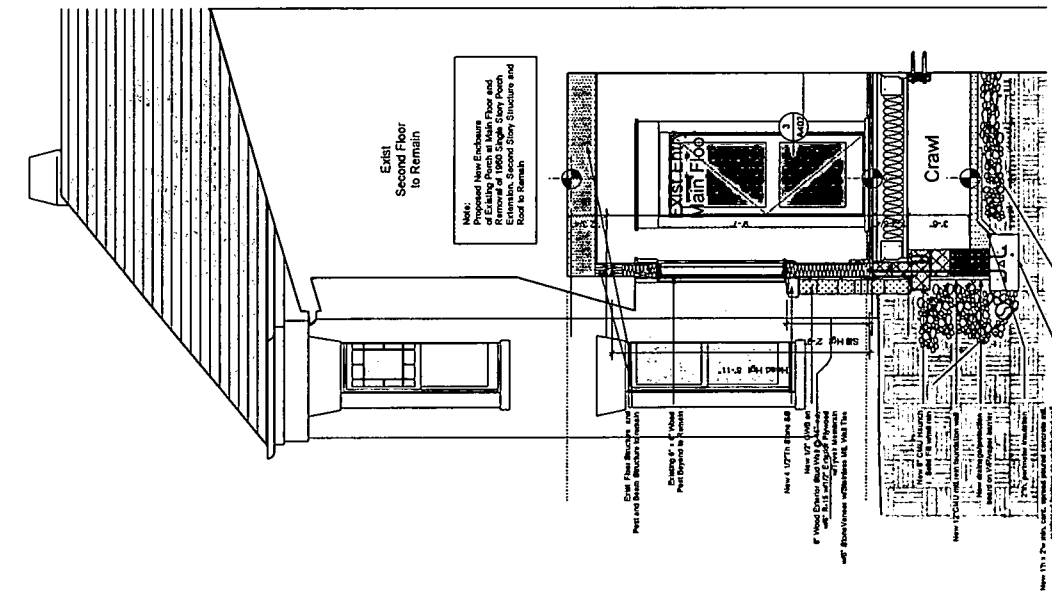
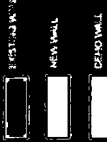
2 Front Porch Glazing Detail
1/2" = 1'-0"

Typical Details
STATIONING INSTALLATION
FOR TIE-BOLTS
See Note 1 for details.
See Note 2 for details.
See Note 3 for details.

Center Glazed
Series 4314
See Note 1 for details.
See Note 2 for details.



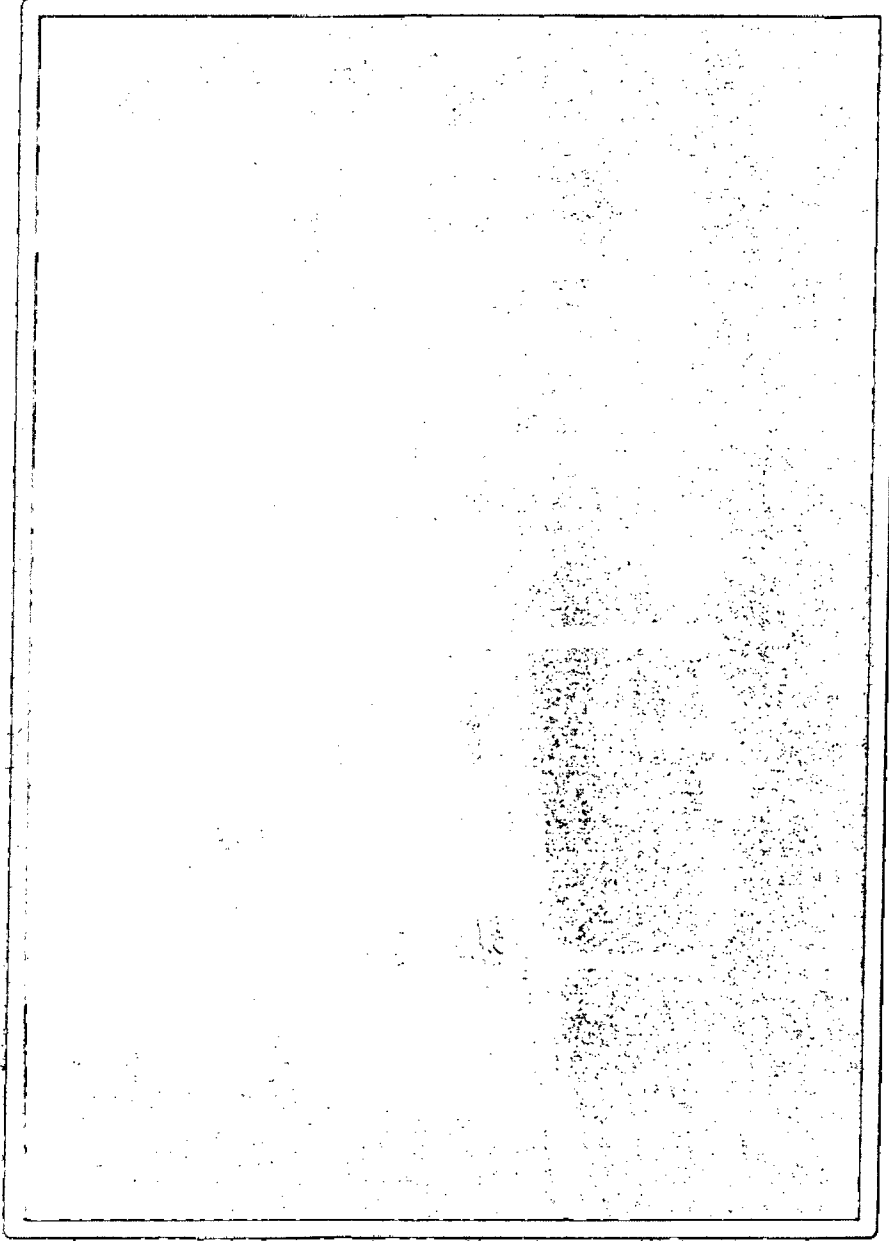
Legend



1 Section @ Exist Entry Restoration
1/2" = 1'-0"

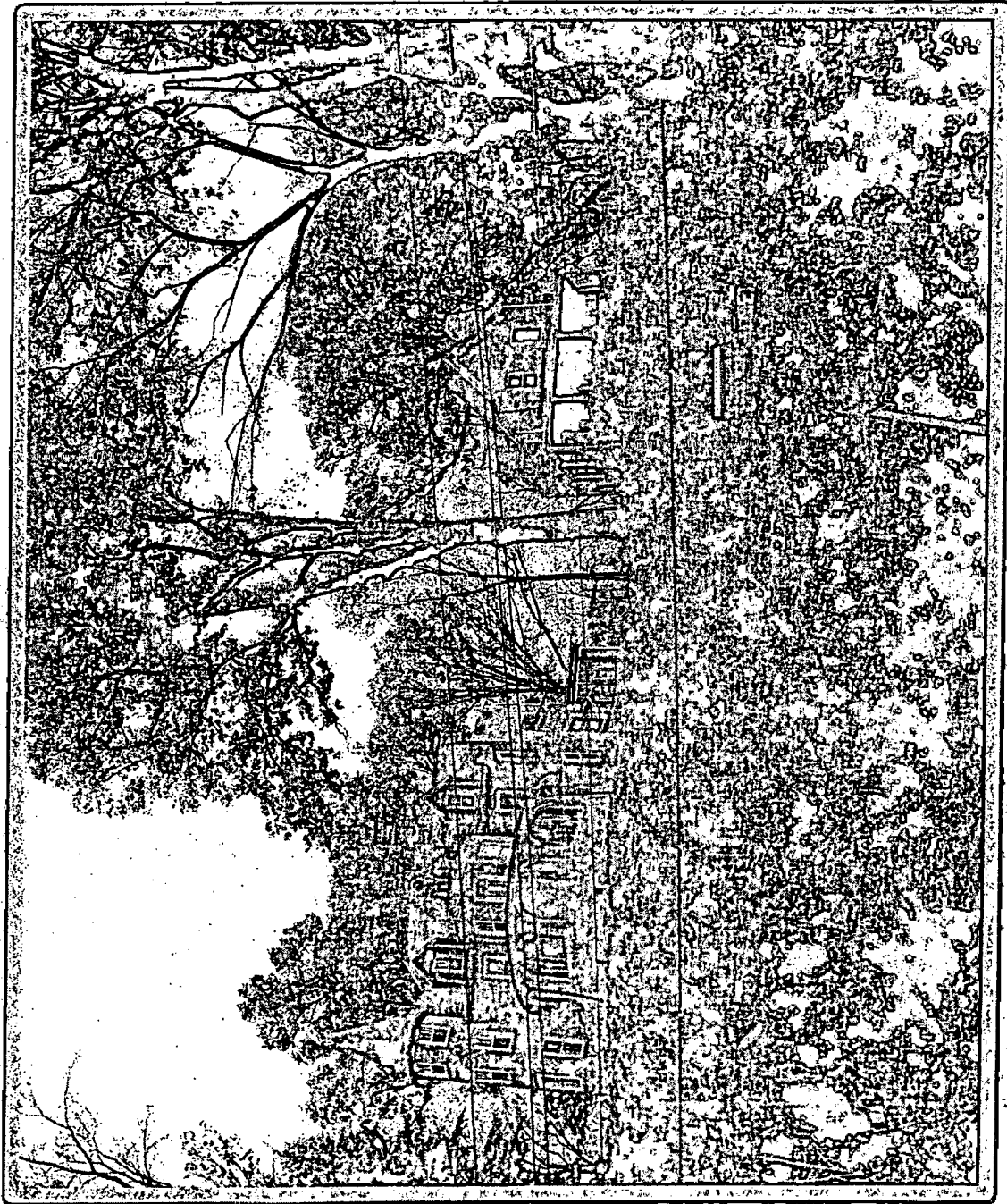
41

McNair Cottage
Proposed Historic Restoration & Additions



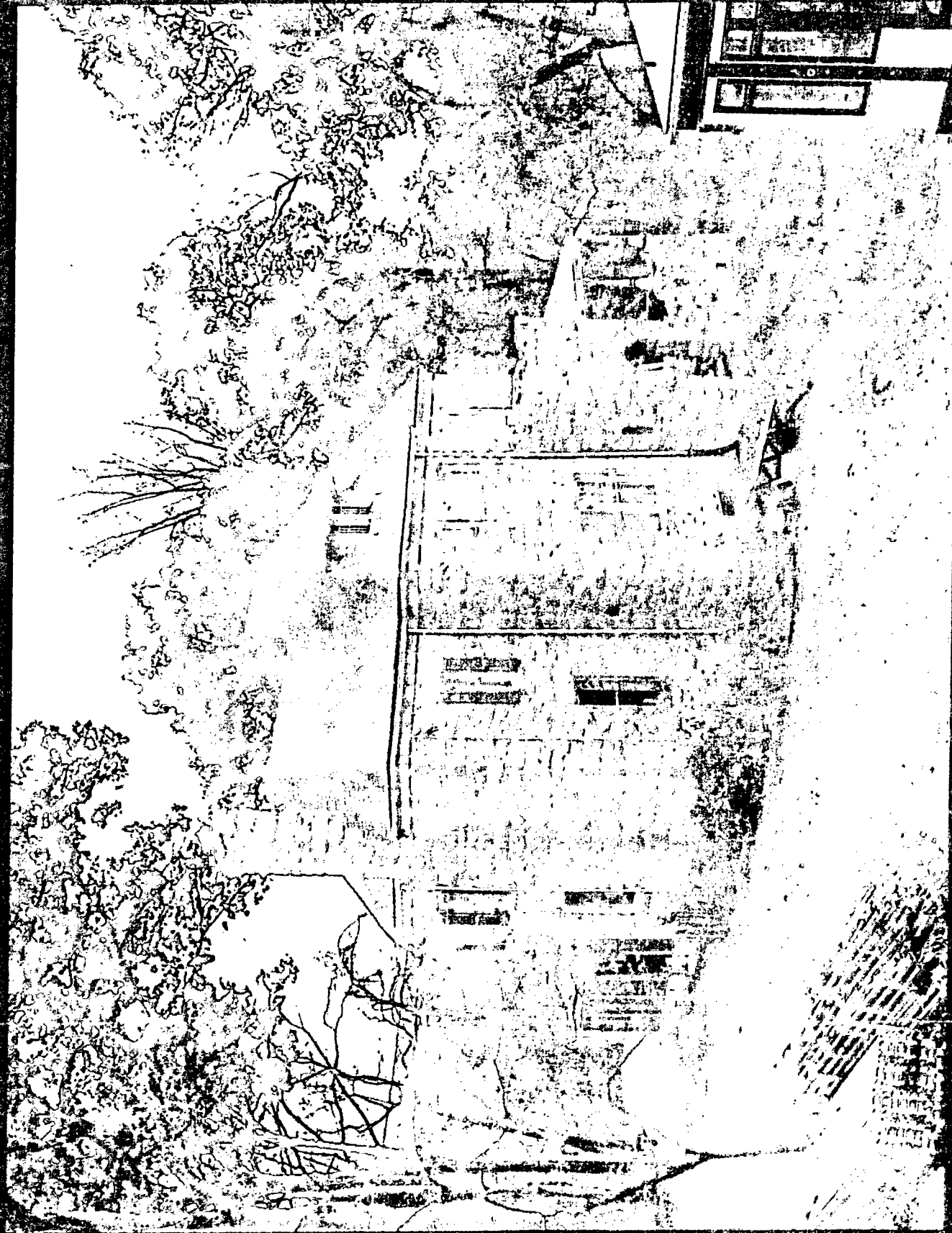
Presentation of Schematic Options
November 2012

Existing Condition Photos

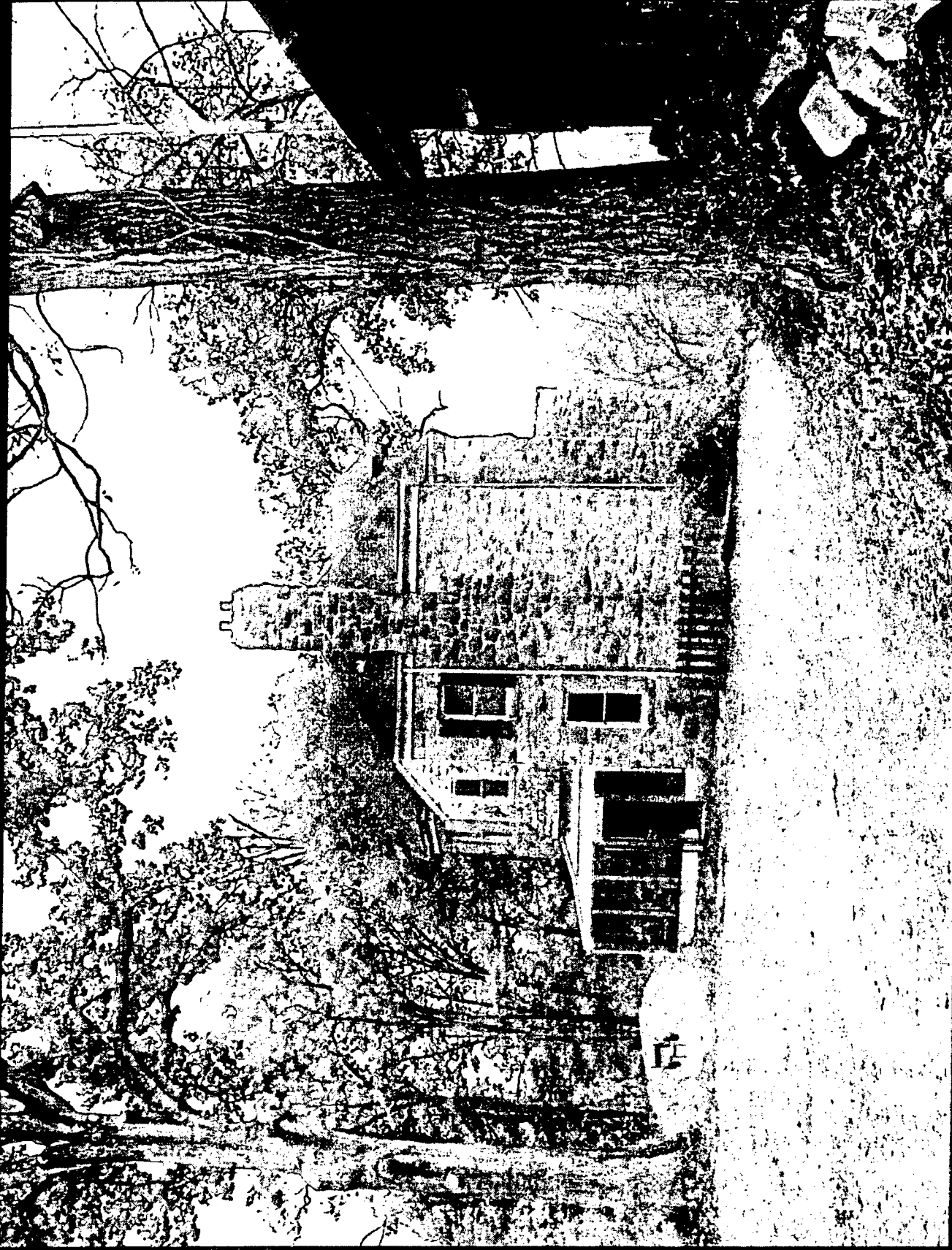




McNair Cottage Existing Condition Photo 1-Entry Drive from East Side

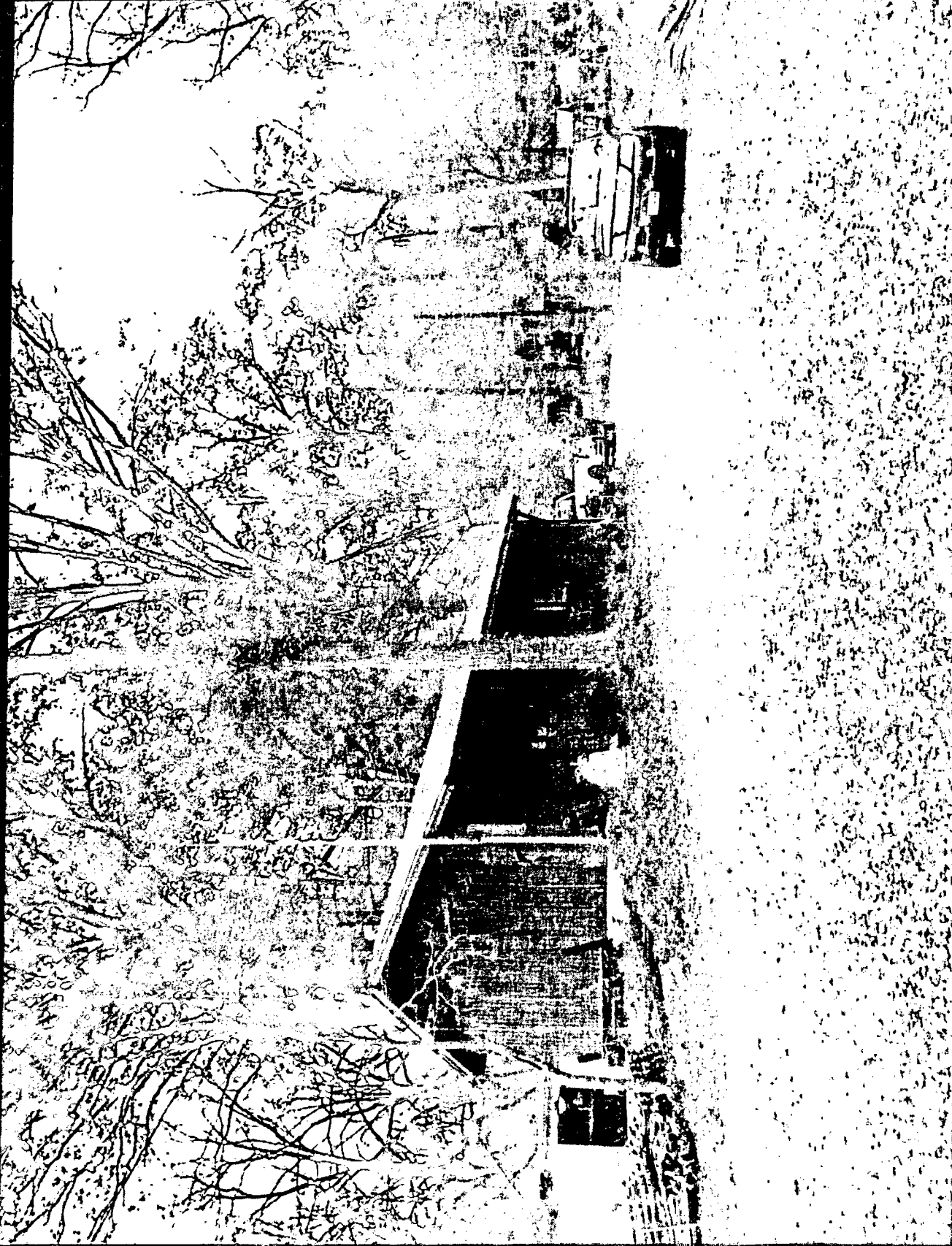


McNair Cottage Existing Condition Photo 2-East and North Sides

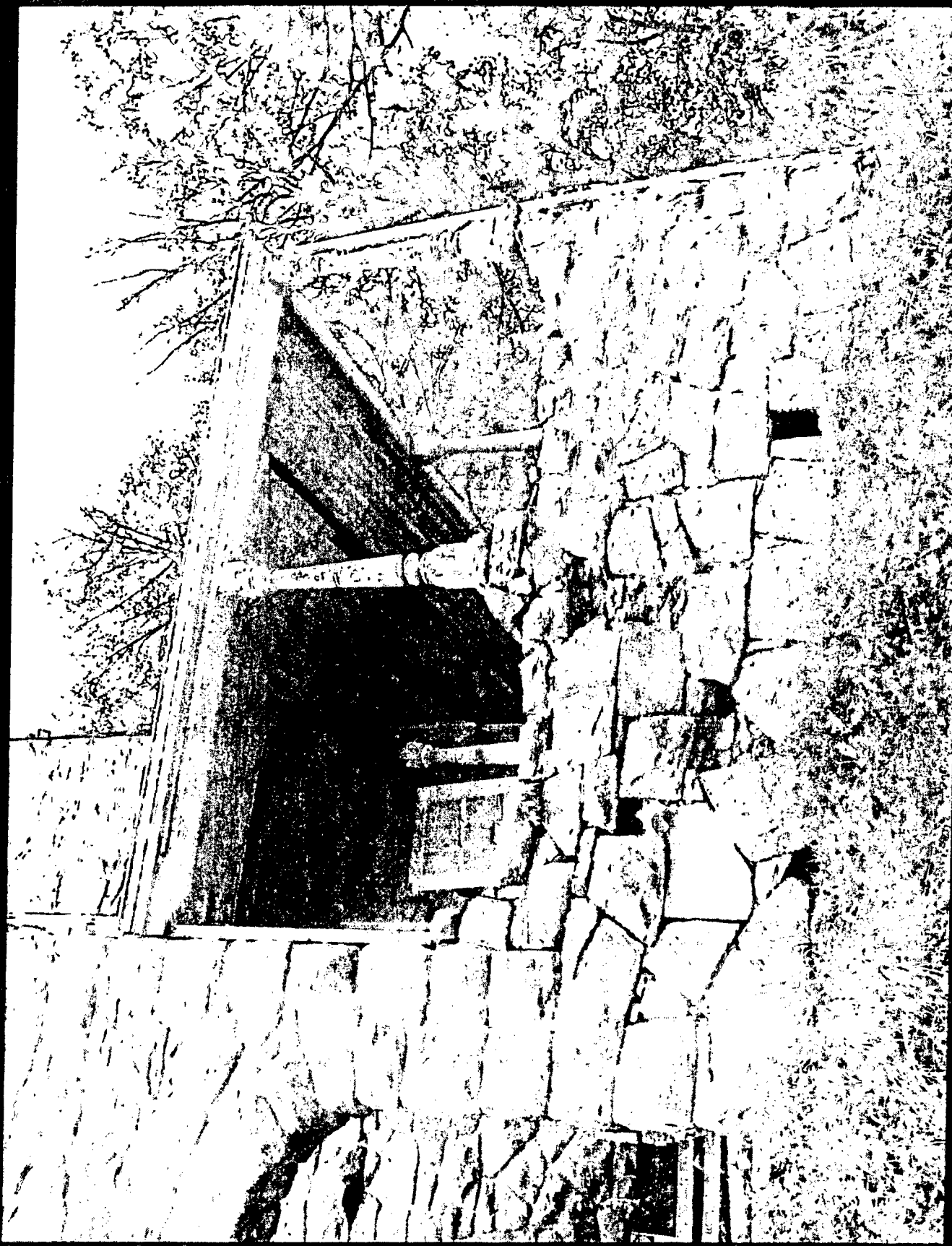


McNair Cottage Existing Condition Photo 3- East Side

McNair Cottage Existing Condition Photo 4-View of Existing Drive and Storage Bldg



McNair Cottage Existing Condition Photos - North and West Sides



McNair Cottage Existing Condition Photo 6-North Side View @ Porch

McNair Cottage Existing Condition Photo 7 - West and East Side



McNair Cottage Existing Condition Photo 8-West Side View @ Porch





McNair Cottage Existing Condition Photo 9- East Side Porch View



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

----- X
:
HISTORIC AREA WORK PERMIT - : HPC Case No. 35/13-13N
11 Hesketh Street :
:
----- X
:
PRELIMINARY CONSULTATION - :
9 Oxford Street :
:
----- X
:
PRELIMINARY CONSULTATION - :
6400 Brookeville Road :
:
----- X
:
PRELIMINARY CONSULTATION - :
5417 Mohican Road :
:
----- X

A meeting in the above-entitled matter was held on
July 10, 2013, commencing at 7:33 p.m., in the MRO
Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
20910, before:

COMMISSION MEMBERS

William Kirwan, Chair
Sandra Heiler
Jorge Rodriguez
Joseph Coratola
Kenneth Firestone
Brian Carroll
Marsha Barnes

Deposition Services, Inc.

12321 Middlebrook Road, Suite 210
Germantown, MD 20874

Tel: (301) 881-3344 Fax: (301) 881-3338

info@DepositionServices.com www.DepositionServices.com

ALSO PRESENT:

Scott Whipple

Anne Fothergill

Joshua Silver

APPEARANCES

STATEMENT OF:

PAGE

Andrei Lavrov

16

Andre Rittenov

25

George Myers

61

Luke Olson

61

Arthur Spitzer

71

Yael Summerfield

73

Natalie Wilensky

74

Andrea Kirsch

90

Ms. Decker

94

Ross McNair

111

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Case E	5
Case F	5
Case J	5
Case H	5
Case I	6
PRELIMINARY CONSULTATIONS	
Case 2A	45
Case 2B	87
Case 2C	98
OTHER BUSINESS	
Staff Items	133

1 wish you the best with that, that you bring us to the
2 equation. Now we can't guarantee approval.

3 MS. DECKER: Right.

4 MR. KIRWAN: We have one commissioner who is not
5 here.

6 MR. CORATOLA: Two commissioners.

7 MR. KIRWAN: Two commissioners who are not here
8 tonight, so there always might be some, something they see
9 in it, but so I can't give you that assurance tonight, but I
10 think you go away with a pretty strong opinion from us
11 tonight. So thank you.

12 MS. KIRSCH: Thank you very much.

13 MR. SILVER: Thanks again for your patience this
14 evening.

15 MR. KIRWAN: And next case is Case 2 C at 5417
16 Mohican Road in Bethesda. Do you have a staff report?

17 MR. SILVER: Yes, we do. All right 5417 Mohican
18 Road. I can't go through this one quite as quickly, but
19 this is the second preliminary consultation. I think that,
20 I hope that the Commission will find that the applicant has
21 responded quite sufficiently to the comments and feedback
22 that they provided him with back in, I don't know when it
23 was, a while ago.

24 So the intent of this project remains the same.
25 You get Option A and Option B again, just in case, to keep

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2 equation. Now we can't guarantee approval.

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20 I hope that the Commission will find that the applicant has
21 responded quite sufficiently to the comments and feedback
22 that they provided him with back in, I don't know when it
23 was, a while ago.

24 So the intent of this project remains the same.

25 You get Option A and Option B again, just in case, to keep

1 you guys, make sure you're still awake over there. But the
2 intent remains the same, to construct a rear addition,
3 increase the habitable space of sort of the front section of
4 this building, as well as rather than a garage, there's now
5 a carport in a similar location and there certainly is more
6 details that have been flushed out, both with the exterior,
7 but also I do recall some criticism of that there was not
8 enough information about floor plans and some of those
9 details that has been provided, as well as some more
10 information about hardscape which you guys are all experts
11 at talking this evening.

12 So there are two options. They have some
13 similarities in terms of, you know, the size is certainly
14 similar and I'm mostly talking about the addition and not
15 the carport. That's sort of a done deal in terms of its
16 size and location. But the addition sizes are the same. A
17 lot of the details are the same for the most part. I mean
18 there are some, there, the biggest thing I see of a change
19 would be sort of the glazing aspects of the addition and
20 which you'll be able to sort of select one that you all feel
21 is more compatible with the character of the resource.

22 But what I want to point out is I want to go to
23 the background section. This will be particularly
24 beneficial for the newer commissioners and those who maybe
25 weren't here at the first preliminary consultation and what

1 the applicant has done to respond to those things. So as I
2 said, okay, it was January when the applicant was here.
3 I've already outlined what he was here for. And, again,
4 that remains the same, so I'm not going to really go into
5 great length in the proposal section.

6 But one of the things that was, the Commission had
7 a concern with was adding a roof and enclosing this, what is
8 now historically as this open right side or that's to the
9 right of the covered porch and to the left of the tower.
10 That's no longer being proposed at all. So good news, we
11 don't need to talk about that tonight because we talked
12 quite a bit about that after reading the transcript through.

13 In lieu of that, and was recommended by the
14 Commission, the applicant is now proposing to enclose the
15 section of the front porch and then part of its return
16 towards the left as it goes towards the rear of the house to
17 create this habitable space. There is a detail of that in
18 the plans for those commissioners that were not here and
19 those new commissioners. The house to the left that you see
20 there with the red slate roof is also owned by the
21 applicant. He's done a great restoration job of that, has
22 started the one on the R. A. Charles, which we're looking at
23 here.

24 And as part of that restoration effort, he added
25 an addition to that house that was, gone through the

1 preliminary consultation I believe twice, maybe once, and
2 then came in through a Historic Area Work Permit. I don't
3 have photos of that, but I'm adding that what's important
4 here is that he has successfully enclosed the front porch
5 that was an open porch in the front of the house to the
6 left, which is a much more grand resource, despite the fact
7 that R. A. Charles, this resource has lots of character, no
8 question about it. It's indisputable that the house to the
9 left has more character.

10 And so the HPC has approved enclosing a porch. I
11 want to be clear to the new commissioners on that, that that
12 is in keeping with, the Commission found that that is in
13 keeping with the Secretary of the Interior's standards and I
14 feel that that's the same case here. It's a little bit of a
15 different way of enclosing this porch because it's a
16 different resource, different columns, different challenges,
17 so I would imagine that select commissioners, I won't look
18 at them, I know who they're going to be, will want to talk a
19 little bit about those details. But, anyhow, that aspect
20 remains. That's a significant change from what was there
21 before.

22 There is no longer a roof replacement. The roof
23 is in the condition, and I don't think the applicant would
24 say that it was otherwise before, but to budget, among other
25 things, is investing in other aspects of this building

1 rather than roof replacement. So that's been taken off the
2 table as well. And I think that sort of covers the main
3 things. Obviously, the addition is what we're here to talk
4 about as well, which is significantly different and from my
5 perspective, I mean I had my own sort of constructive
6 criticisms about it at the first preliminary consultation
7 and I feel that he has responded very well and I think my
8 staff report reflects that.

9 So let me go -- I'm going to fast-forward to page
10 4 to the staff discussion. And I'm going to actually ask
11 the Commissioners, are there any questions about the
12 background? Does anybody need any clarification on that
13 before? No? Commissioner Barnes, yes?

14 MS. BARNES: With the picture we have in front of
15 us right now, my understanding, I got very confused reading
16 the previous preliminary, the porch that is there that is
17 covered sort of right behind the tree --

18 MR. SILVER: This right here? Yes.

19 MS. BARNES: -- is what will be enclosed?

20 MR. SILVER: Correct. And before this --

21 MS. BARNES: And --

22 MR. SILVER: -- where I'm pointing was what was
23 proposed at a roof here --

24 MS. BARNES: Right.

25 MR. SILVER: -- and then enclose this?

1 MS. BARNES: And that's not happening?

2 MR. SILVER: Correct.

3 MS. BARNES: But then you said this porch behind
4 the tree would be enclosed and it would also --

5 MR. SILVER: What I had said is that it's going to
6 return -- it's a tough angle to get a photo on. Let me see
7 if I can find one for you here. Actually -- okay. See this
8 right here?

9 MS. BARNES: Where the door is?

10 MR. SILVER: Yes, exactly. That's going to be
11 enclosed in there to create this habitable space.

12 MS. BARNES: Okay. Thank you.

13 MR. SILVER: But it would be the door opening with
14 a double door and transom as being proposed, okay?

15 MS. BARNES: Thank you.

16 MR. SILVER: You're welcome. So, again, on page 4
17 of the staff report, I find that the applicant's revised
18 proposal for both design Options A and B, I have a preferred
19 option, but I'll leave that to the Commission to decide,
20 responds to the HPC's feedback at the first preliminary
21 consultation. The addition is now located entirely at the
22 rear and is connected to the primary structure by a glazed
23 hyphen and does not substantially alter historic features
24 that are important to defining the character of the site.
25 That was a major concern at the first preliminary

1 consultation, aside from adding the roof and enclosing the
2 porch, just some of the impacts to the tower features and
3 those things and I, again, I don't see that this does that
4 with either option.

5 The massing and the scale of the addition are now
6 lower in set and are smaller, and is compatible in character
7 with the resource. The use of metal structural features,
8 extensive glazing, and some stone both compliment and
9 express differentiation between the addition and primary
10 structure. In response, though, to the HPC's feedback, the
11 applicant did investigate locating the addition further
12 toward the right rear of the property. There was some
13 discussion about, or quite a bit of discussion rather about
14 the predominance of this rear elevation. This house, if
15 you've read the transcript, sort of was, has two sort of
16 primary facades. Certainly, I would -- my opinion or my
17 perspective is the front that faces MacArthur is the primary
18 facade, but this is certainly a facade that is important and
19 one which you interact with. That was discussed.

20 So he did investigate at pushing something more.
21 The staff puts us to the right, which is correct, but
22 looking at this photo it would be toward the left. And as
23 indicated on his site plan, there is a rather large, white
24 oak tree that is there, so locating an addition there is
25 not, well, I say it's not possible. It's possible, but it

1 would certainly have a major impact to require removal of
2 the tree, rather not an impact.

3 The applicant would like to preserve that tree. I
4 also laid out a few guidelines from the, design guidelines
5 for historic sites and districts in Montgomery County and I
6 feel that the addition, both Option A and B, are consistent
7 with those guidelines in terms of scale with respect to
8 incompatibility with the primary structure.

9 Moving down on page 5 to the porch and roof
10 replacement, enclosure of the existing porch, I find the
11 replacement of the existing front porch roof with copper is
12 being consistent with Chapter 24 A, B, 1 and 2. The
13 existing porch roof is not an original to the house and,
14 therefore, the proposal does not substantially alter an
15 original exterior material. That's Chapter 24 A, B, 1. The
16 use of copper standing seam roofing material is compatible
17 in character with the resource. The HPC did support the
18 applicant's proposal at the first preliminary to remove and
19 replace the porch roof with a red slate. The applicant has
20 revised this to use copper.

21 The staff finds the enclosure of the existing
22 front porch with fixed glass is being consistent with
23 standards 1 and 9 which are on page 4. It talks about
24 differentiation, compatibility, as well as removal of
25 features and the preservation of essential form and

1 integrity. And I think based on that installation method,
2 that would, that is possible. And so I would support that
3 alteration.

4 There is a detail, again, of that glass glazing
5 there. I also support enclosing the arched entry with a
6 full light, outward swinging doors and transom above. I
7 think that the Commission could offer some feedback that
8 would be helpful to the applicant on whether or not it's a
9 double door or a single door or some other type of door.
10 If, in fact, the Commission does support that alteration, I
11 think that would be a helpful thing, hint, hint.

12 I also, you know, I would support the removal of
13 the non-historic porch infill below. That has not changed.
14 The transcript is clear. The Commission supported that the
15 first time. I'm going to bring you around to that corner
16 here. It's to the right in the picture here and there's
17 some details of that. We went through this at the first
18 one. He wants to get rid of the screen porch, which is not
19 original. He wants to restore the flared roof section if
20 you're looking at the photo on the right on the screen right
21 now which we talked about. It's whether or not it's
22 original, but it does appear that below that, and the
23 applicant can confirm this for us, last time, again, in the
24 transcript that there is some original structural features
25 there that would support the idea that it was part of, a

1 historic part of the house, original or not, but certainly
2 historic and I don't, personally don't think we need to
3 discuss that unless there's a major issue with that. So
4 that remains, that remains the same.

5 I don't have any issue at all with the carport.
6 In fact, I think it's a great solution. Rather than adding
7 more in structure to this, to this property, it's
8 transparent. It's on posts. I think it's great. And the
9 HPC approved, I guess I would call it a, if I remember
10 correctly, a 2 1/2 car garage on the adjacent property which
11 is a much larger house if you recall for those that were
12 here which I think has come out quite nicely. But, again,
13 this is a smaller house, less grand. A carport, I think, is
14 completely appropriate. Also, talking with the applicant,
15 the tree drops lots of nuts and things like that. So to
16 park a couple cars under there, it would probably be nice to
17 have some sort of cover.

18 In the cobblestone entry court and pathways, this
19 -- so what the driveway that's there now will be used to
20 access the property. That was discussed the last time too.
21 I believe Commissioner Treseder, who is not here, had some
22 questions about that. But the applicant has also outlined
23 that they would like to sort of in the site plan use a
24 cobblestone entry court to create a, you know, more
25 permanent type surface. And then there is a series of

1 maintenance and rehabilitation projects that are all tax-
2 credit eligible and I know that Mr. McNair will, when the
3 time is right, be applying for the tax credit for those.

4 So I've outlined the five points that you also saw
5 on page 1. So guidance on these -- Option A, Option B for
6 the addition, material treatments and details, that would be
7 really specific, I would say, to, you know, the additions of
8 course, but also looking at the enclosure at the front which
9 is Item 3, carport and the cobblestone court entryway. And
10 I sort of flipped through the photos. There's aerials which
11 are kind of hard to see, but give me some questions or not.

12 MR. CORATOLA: Josh, could you go back to that
13 east elevation area, the, where the applicant is removing
14 that screened porch on the left-hand side?

15 MR. SILVER: Yes.

16 MR. CORATOLA: And then reconstructing the upper
17 section?

18 MR. SILVER: Correct.

19 MR. CORATOLA: It's being expanded, right, like a
20 foot or so?

21 MR. SILVER: Oh, what's below it? You mean where
22 he's -- I don't think the upper --

23 MR. CORATOLA: Because I'm looking at the, the
24 elevation show a different roof line.

25 MR. SILVER: Which page are you on, Commissioner

1 Coratola?

2 MR. CORATOLA: Circle 22.

3 MR. SILVER: 22?

4 MR. CORATOLA: Yes.

5 MR. SILVER: Oh, the, okay. I see what --

6 MR. CORATOLA: Am I looking at that correctly?

7 MR. SILVER: That's the roof below it I think.

8 MR. CORATOLA: Yea, the roof, the roof line --

9 MR. SILVER: Yes.

10 MR. CORATOLA: -- changed and the window got

11 wider, which looks like there's --

12 MR. SILVER: Yes.

13 MR. CORATOLA: -- a little bit of work.

14 MR. SILVER: Yes, that's correct. I do agree with

15 you there and, you know, we sort of talked about those

16 windows. I'm going to go up a slide or maybe two, sorry.

17 Those paired windows, I'm looking at the left photo there --

18 MR. CORATOLA: Yes.

19 MR. SILVER: -- you know, that some level of

20 alteration could occur there because we weren't -- as

21 discussed in the transcript, there was some fuzziness --

22 MR. CORATOLA: Yes, I just --

23 MR. SILVER: -- in terms of whether or not it was,

24 how intact that feature was.

25 MR. CORATOLA: Yes, I just wanted to make sure I

1 was looking at it correctly.

2 MR. SILVER: Yes.

3 MR. CORATOLA: Thanks.

4 MR. KIRWAN: Any other questions?

5 (No audible response.)

6 MR. KIRWAN: I have one, a couple. Josh, just a
7 second. Given the guidelines that govern our review of this
8 resource, and this is in reference to the enclosure of the
9 porch, when we, when, if we were to approve the enclosure as
10 proposed and the existing porch columns become interior to
11 the building, would we no longer have any controls over
12 those porch columns because those become interior elements
13 of the house?

14 MR. SILVER: That's a fair question. You know, in
15 the past when we've reviewed projects for like, you know,
16 porches or, you know, we've taken calls for porches, you
17 know, things that are on the inside, you know, it has become
18 a porch and, right, you would lose that control or
19 jurisdiction over that.

20 MR. KIRWAN: It becomes a part of the interior
21 condition, part of the house --

22 MR. SILVER: Yes, that's a good observation.

23 MR. KIRWAN: -- which you usually lose?

24 MR. SILVER: That's right.

25 MR. KIRWAN: Lose our control over that.

1 MR. SILVER: That's right.

2 MR. KIRWAN: My question is it looks like from the
3 detail, well, from the -- if you go back to the photograph,
4 that angled view of that facade right there, there doesn't
5 appear to be any soffit or overhang around the entablature
6 of the porch. It looks like there's a gutter --

7 MR. SILVER: Uh-huh.

8 MR. KIRWAN: -- and that's the extent of it. The
9 detail clearly shows a much deeper soffit which is going to
10 be required to receive the exterior glaze panel. Deepening
11 that soffit will, in turn, probably cause a chain reaction
12 of having to rebuild or overlay a structure on top of that
13 existing porch roof. So the porch roof will be changed in a
14 sense. It will be, material will be added to it to achieve
15 that soffit, is that, was that identified at all or was the
16 understanding that there was no change to the --

17 MR. SILVER: I don't want to put words in
18 anybody's mouth. I think that's a great question and Mr.
19 McNair would be able to answer that best. I think that's a
20 great observation on both accounts. I can't, I honestly
21 can't answer. Well, I can answer that. No, we didn't
22 discuss that at any point, no.

23 MR. KIRWAN: All right. So no further questions?
24 All right. Give our applicant seven minutes to provide some
25 testimony. Go ahead.

1 MR. MCNAIR: Hi, Ross McNair. So we designed the
2 house trying to separate the addition from the historic
3 resource. We used a light glass hyphen. It's got a lower
4 roof line than the addition in the main house.

5 We did look at trying to locate the addition over
6 on the other side. I think if you go to the site plan
7 you'll see that because of the location of the 40-inch white
8 oak, there's really no way to put the addition over there.
9 We also changed the carport that everybody had given us
10 approval on, I guess. But what we decided to do is to do
11 four pier footers and then use a steel design that wraps
12 around and just keep a nice, light structure, but it also
13 has minimal impact on the tree. The cobblestone court sets
14 in a bluestone dust, so it absorbs all the water that comes
15 down, so that also has minimal impact on the walnut, the oak
16 and the dogwood.

17 We think that the option A with the corner windows
18 really differentiates the addition from the existing house
19 sufficiently so that when you look at it, it's clear that it
20 is a new addition. So then to try and make it compatible
21 with both Charles and Baltzley, what we've done is try and
22 find the stone that matches the stone of the original house
23 and then have windows that have the same sort of character
24 that we use next door at Baltzley and also the steel
25 highlights that we used at Baltzley because you're going to

1 see, you see the addition on, the kitchen addition on
2 Baltzley is here and the addition is here, so you're going
3 to be seeing both of these. So to have some similarity
4 between the two additions I thought would aide in things
5 being compatible. So I think that, what I'll probably do is
6 surrender some of my time so we can address some of the
7 questions that come up.

8 MR. KIRWAN: Thank you. Any questions for the
9 applicant?

10 MR. CORATOLA: Mr. McNair, the, where you're
11 enclosing the original front entrance to the porch with the
12 double doors, what's the width of that opening, do you know?

13 MR. MCNAIR: It's 4 foot, 10 inches.

14 MR. CORATOLA: Okay.

15 MR. CORATOLA: And at the east elevation where
16 that screened porch is going away and you're enclosing it,
17 is that a screen enclosure or is that a glass enclosure
18 we're looking at on the first floor level?

19 MR. MCNAIR: What is it now or what is it
20 proposed?

21 MR. CORATOLA: What will it be?

22 MR. MCNAIR: It would be enclosed.

23 MR. CORATOLA: As a glass room or a screened
24 porch?

25 MR. MCNAIR: A glassed-in room.

1 MR. CORATOLA: Okay. Thanks.

2 MR. KIRWAN: Questions?

3 MR. RODRIGUEZ: Yes. Can you talk a little more
4 about this enclosure of the porch because I notice what
5 Commissioner Kirwan discussed already, that to do what
6 you're proposing, you realize that you are going to have to
7 change the structure of the roof and that changes the line
8 on how the porch relates to the house which is a very
9 critical detail when you see the columns on the edge of the
10 house, how they work, the columns, the gutter, this little
11 soffit between the columns and the fascia that, all those
12 elements are integrated and they are part of the whole
13 detail that goes from the column to the lot. So can you
14 explain exactly what you're trying to do because I really
15 have concerns about bringing pieces of glass that not only
16 enclose the porch outwards of this perimeter at this moment,
17 but also that they are, seem to be hanging in the air with
18 no connection to any -- and it's a little strange to me and
19 I want to understand what is it exactly what you're trying
20 to do?

21 MR. MCNAIR: These are turned columns, so it's
22 going to be difficult to use the column as something that
23 would receive the glass. I think the columns would stand
24 out more if they were left alone. We could scallop some
25 wood into them and set the glass back, but I was thinking

1 that what you all would prefer is if I put the glass on the
2 outside and then is there -- is there a better view of the
3 back of the house?

4 MR. SILVER: Like a photo-like view or -- I don't
5 have --

6 MR. MCNAIR: Photo.

7 MR. SILVER: I don't have any -- those are the
8 plans that I have, but --

9 MR. MCNAIR: Okay. Well, if we could go back one?

10 MR. SILVER: Yes.

11 MR. MCNAIR: So you see where the columns come
12 down? So there's one stone that sets on and then that sets
13 on either two or one larger stone. So what the idea was was
14 to have one panel of glass that was the width of both of
15 those stones, so that you have a panel that's like 2-foot
16 wide and then you have a flat section and then you have
17 another 2-foot and then a flat section and another 2-foot.
18 So we could use a flat section so that those columns would
19 telegraph through.

20 And what I saw -- a detail that we've used a lot
21 is we've had stainless steel pins where we can drill that
22 into the mortar and then have a bottom shelf that receives
23 that. So that's what the support for the glass is. And
24 then it would come up and then be picked up at the eave
25 line.

1 MR. RODRIGUEZ: I understand that part, the part I
2 don't understand is, for example, you used all the glass and
3 you are enclosing the porch, so I assume you want to enclose
4 all the sides, otherwise, you cannot condition the space
5 with this the idea. Then there is a point where the glass
6 goes from this phase that we are seeing in the photograph,
7 crosses the wall to close the side of the porch basically
8 where you had a turn in the roof.

9 MR. MCNAIR: The sides over here?

10 MR. RODRIGUEZ: Exactly. So there is a whole
11 detail of the glass crossing the wall, where it goes, how to
12 support it, that's what I'm trying to understand. I
13 understand what you did in the previous house and I
14 understand the idea, but I'm just trying to figure out why
15 it has to be so upwards and if there was any, I don't know,
16 desire to do something else or what it was driving at. I
17 understand the technicality that I don't know if you can see
18 all the technical problems that I can foresee when you need
19 to turn the glass 90 degrees to close the side of the porch.

20 MR. KIRWAN: And what about that soffit? Does it
21 have to be rebuilt as the detail shows to --

22 MR. MCNAIR: We don't have to do anything to the
23 main roof framing, so I was just going to pad out that
24 soffit to receive that glass.

25 MR. KIRWAN: Well, that will drop the entablature

1 then that's existing? I mean if you extend that existing
2 roof plane down, right, and out to give you an overhang
3 where there is no overhang, that will create -- you'll be,
4 again, to enclose the entablature that's there?

5 MR. MCNAIR: That, the existing fascia alignments
6 would remain, so it would just go out the inch or inch and a
7 half that we need.

8 MR. KIRWAN: You're showing the detail about a
9 foot or more of overhang and that's not consistent with what
10 you're describing.

11 MR. MCNAIR: Okay. I can revise the detail.

12 MR. KIRWAN: Because to replace the glass as where
13 you're putting it is going to require, I think, the soffit
14 as you're showing in the detail or something close to it, so
15 I think that's something that needs to be looked at, but I
16 would probably listen to more comments about the glazing of
17 that porch before we have to deal with that issue. Any
18 other questions? Yes.

19 MR. CARROLL: Mr. McNair, what do you know about
20 the columns on the porch? Are they original to the house or
21 do you have any way of knowing that?

22 MR. MCNAIR: I don't.

23 MR. KIRWAN: Is that the assumption they are
24 original?

25 MR. MCNAIR: I mean they're definitely older. I

1 mean I would, you know --

2 MR. CARROLL: It's not something that was studied
3 from the site visits?

4 MR. MCNAIR: Right. I mean I've looked at them.
5 I mean, you know --

6 MR. KIRWAN: Let me ask you, there's no reason to
7 think they were replaced at some point, they seem consistent
8 --

9 MR. SILVER: That's one way --

10 MR. KIRWAN: -- with the resource?

11 MR. SILVER: That's one way of looking at it,
12 yeah. I mean I don't, I can't say with certainty, but I
13 mean we don't like have photographic documentation. You
14 might recall from the last time and Mr. McNair has
15 researched these extensively and, unfortunately, us as well
16 as him, we were unable to come up with many photos of this
17 to give an exact determination.

18 MR. KIRWAN: But, I mean compared to other
19 elements you see in historic resources like this, you've
20 made the assumption that they were like an original given
21 that --

22 MR. SILVER: That would be my line of thinking.

23 MR. KIRWAN: -- observation?

24 MR. SILVER: That would be my line of thinking.

25 MR. MCNAIR: We're not proposing to replace them,

1 though.

2 MR. RODRIGUEZ: Yes, but just in, by the picture
3 we have in front of us, you can see the eave line around the
4 house, around the tower. Those elements more or less from
5 the picture where I can see the geometry is very close and
6 follows the columns. So I assume that the columns are rear
7 to the house.

8 MR. KIRWAN: Any other questions?

9 (No audible response.)

10 MR. KIRWAN: All right. Well, let's begin our --
11 we'll give you some comments and feedback on your
12 application, or on your preliminary which you've submitted.
13 I'll go ahead and start tonight just to give my colleagues a
14 break.

15 I'll start with the addition. I think Option B is
16 my preferred option in this case. I think Option A is a
17 little too, I mean you described it as being, as
18 differentiating, but I think it differentiates too much. I
19 think it creates something that is too much contrast to the
20 existing resource given the importance of this resource. So
21 what I like about Option B is sort of the simplicity of the
22 windows, it doesn't have all that steel, all those steel
23 elements that I think worked well and that on your smaller
24 scale addition that at Baltzley, but I think in this case it
25 would be very overwhelming duplicated on two stories like it

1 would be here.

2 My only main concern with the addition itself is
3 on the north and south elevations the grouping of windows
4 becomes very horizontal in their orientation which I think
5 actually takes away from the original resource. The
6 original resource tends to have vertically proportioned
7 elements on it, both in the massing of the building parts,
8 but also in the window proportions too. But the grouping of
9 these windows begins to create this sort of ribbon effect.
10 And, you know, my suggestion would be -- and somehow the
11 effect is not as significant on the east elevation where you
12 have four windows grouped together. So what I would
13 actually suggest is you take that four window grouping and
14 just use it again on the north and south elevations. It
15 will give you slightly wider stone corner piers on those
16 north and south elevations which actually I would think
17 won't be a bad thing given the amount of stone plane that
18 there is on the existing resource.

19 Another comment just on the site plan, the parking
20 structure, I think the parking structure seems fine. It
21 seems very tight when you look at how a car is going to back
22 out, especially the car that's closest to the tree, the
23 white oak. You know, you might end up with corner bollards
24 on that addition, so I would encourage you to try to get the
25 addition. You can't move the garage further back on the

1 site to try to push, shift the addition, maybe reduce the
2 width of the glass height and to give yourself a little more
3 breathing room as cars pull in and out of the garage.

4 I absolutely could not support the exterior.
5 enclosure of the porch. As I questioned staff, I think my
6 biggest concern there is that, you know, even though it
7 might not be you who would ever change those existing porch
8 columns, it takes away -- those porch columns then, we're
9 effectively throwing them away as well because we would no
10 longer have any purview over their protection. So I would
11 encourage you to explore an enclosure method that is either,
12 you know, is either in line with the columns, easy to
13 describe, you know, potentially a piece of wood trim that
14 follows the contours of the column to receive the glass or
15 doing the similar detail that you're doing in the exterior
16 to the interior of the porch, you know, more like you did at
17 Baltzley.

18 And I think that also will help address the very
19 well pointed out concerns that Commissioner Rodriguez had
20 about how that glass is going to turn the corner. I think
21 that would be a very distracting detail. But I can't even
22 get there because I think it's really inappropriate to bring
23 those columns inboard into the structure. Again, I think
24 related to that too, my gut feeling is it's going to have a
25 chain reaction with that roof structure as I've already

1 described. So, again, I think that's an non-starter for me.

2 I think that covers my issues. So I'll open it up
3 to whoever wants to speak next.

4 MR. MCNAIR: But --

5 MR. KIRWAN: Yes.

6 MR. MCNAIR: So you're not saying we can't enclose
7 the porch, you don't want the glass over the column?

8 MR. KIRWAN: That's right.

9 MR. MCNAIR: So you want the glass to meet the
10 columns or be behind the columns?

11 MR. KIRWAN: That's right. Yes, I don't have any
12 problem with the enclosure of the porch or the changes to
13 the porch. I think generally all these things that we're
14 being asked to look at tonight, I'm not that concerned
15 about. I would be a little -- at one point I did not make -
16 - I'm a little concerned about what the material is that's
17 the spandrel material below the windows in Option A. So it
18 would be helpful when you come back to define that more
19 clearly whether that's stone or whether that's a stucco
20 material or something else. You know, again, if you, if you
21 hear from others that Option B is the one that should be
22 pursued.

23 MR. RODRIGUEZ: Okay. I would like to go next if
24 nobody complains. I wasn't here the first preliminary
25 hearing, so I look at this at a completely new process for

1 me, but I read through the records as fast as I could and
2 I'm trying to understand the background.

3 I am really concerned with trying to understand
4 why these two properties are a master plan properties.
5 These are very interesting pieces of architecture and
6 historic architecture that corresponds to a very particular
7 time of the development of this, of the, area in D.C. And
8 they have all these kind of images that when I look at them
9 are very, this romantic architectural, 1918, '17, 1900's.
10 The previous building that we reviewed had these very
11 vertical proportions and this building plays along those
12 lines of the vertical proportions, buildings that were
13 somewhat designed to be seen from far below and far away.

14 And I have a concern that enclosing the porch with
15 the way you're proposing it is deviating from that, which I
16 think is one of the characters, definitive characters that
17 define these and it's a definitive change to the element of
18 the house. And I think it's not resolved. It's not the way
19 to do it. I don't have any problem to come in with an idea
20 how to enclose the porch, but the technicalities have to be
21 resolved and they can, with the detail that we have in front
22 of us, I think it's the way the property or the reserves
23 will be affected is too high to allow that or to support
24 that as a permit.

25 There is a point that I want to make is I think

1 the issue aside in plan, it is going the wrong way. It
2 should be much narrower in the front and much deeper on,
3 that put it very closer to the tree bed. When you look at
4 these and the positioning, and on the site plan I think it
5 is definitely the wrong thing.

6 I have really concerns on the treatment in
7 general. I think it is either one thing or the other. It's
8 either a completely modern addition and then becomes the
9 glass house like Billy Johnson's glass house, or it's
10 something that is more toned down and becomes more, follows
11 more closely the clues. I have problems when I look at
12 these, the proportions of the roof, the little overhangs of
13 the roof, the way -- even the same shape of the roof in
14 these elements. These are absolutely distracting and
15 doesn't offer any quality to the house. It's not a good,
16 compatible element there. And I just find that it's very
17 poorly designed is my impression.

18 So I will definitely be very concerned with
19 approving an addition that I think is wrong to place it in
20 the side and I don't think that the design is developed well
21 enough to show clearly the detail that I would expect with
22 something that is going to be so visible because this is,
23 the other part is if we approve this, this is going to be
24 extremely visible and we are changing definitely the way
25 that we perceive the house and how the house sits in the

1 landscape and how the house is seen from far away.

2 MR. CORATOLA: I'm going to hop on Commissioner's
3 Kirwan's comments. I agree with the direction in Option B,
4 the direction you're going with that. And I'll hop on with,
5 the window proportions. Those are a key component to making
6 this work well so that they, like Commissioner Kirwan said,
7 it reads less horizontal and more proportionally to what's
8 with the house.

9 The other piece I would add on to is to connect
10 the hyphen, make it read more glass; so maybe simplifying
11 the amount of mullions they have, the mulls between the
12 units so it reads more transparent. And then look at that,
13 where the roof line hits that. That horizontal band might
14 need to pop up a couple more inches or something like that.
15 It seems to hit just off slightly.

16 And I agree with the front porch comment.
17 Enclosing it, I think it's fine. I think the concept of the
18 all glass panels I think would work well in this, but I
19 would bring them to the inside so that those columns read.
20 And how you're breaking them up where you have the narrow
21 section behind the column and the wide panel, I think for
22 me, works fine because that wide, the wide, narrow, wide
23 will accentuate those columns that are there. But I think
24 the detail, in order to make those details work and in order
25 to make it read as a glass box in that porch, it would need

1 to be on the inside. And as Commissioner Rodriguez said,
2 resolving that turn back to the house with your glass doors
3 to the exterior I think would work better if the glass
4 panels were mounted on the inside.

5 And then I'll just tap onto what Josh was
6 referring to, the enclosure to the original arched entrance
7 to the porch. You know, I think that, with a 4-foot opening
8 either having a single 4-foot door or a double door, I think
9 the double door proportionally works better, you know.
10 You're reading more vertical on an entrance which is
11 compatible with the windows on the main house. The double-
12 hung windows are a more vertical than horizontal type unit
13 and you're accentuating that with the doors. I would study
14 the panel-style that you have, maybe it's more glass than,
15 you know, two over two, but you know the double-door
16 scenario, what you have there, I think is working well. And
17 that's all I have to add.

18 MR. KIRWAN: Mr. Firestone.

19 MR. CORATOLA: And let me just add, I think the
20 carport design works well, You know, I think having it
21 open, having this steel structure that you've got going on,
22 I think, you know, it says what it is. It's a modern
23 convenience, modern use and you're accentuating that modern
24 use with the modern columns.

25 MR. FIRESTONE: I really don't have anything much

1 to add. I concur with the previous comments about the
2 bringing the glass in on the porch to keep the columns
3 outside and I also prefer Option B for the rear.

4 MR. CARROLL: I'm going to go ahead and concur
5 with my fellow commissioners, that I think Option B is
6 better. It's a little cleaner. And I would also agree that
7 the, having the glass on the outside I think would really
8 drastically change the way the house looks, particularly
9 from down MacArthur Boulevard. I think looking up you want
10 to see those columns. And the only reason I asked if they
11 were original is if they were replacement columns, they
12 could be routed for a channel for glass. If they were
13 original, I guess I wouldn't do that, but certainly I'd like
14 to see it behind the, either, like you said, in line with or
15 behind them so you can read those columns from down on
16 MacArthur and you really see the house the way it was
17 intended to be, to be seen.

18 And then it's just a really picky detail, but on
19 the north elevation on B, you put a round window on the
20 drawings in the bathroom in the back and there's something
21 about that, that header over the window that looks like a
22 fypon bracket stuck on the house with the keystone in it and
23 everything.

24 MR. MCNAIR: What are we talking about?

25 MR. CARROLL: It's the north elevation. On my

1 sheet it's page 39. Is that an old design?

2 MS. BARNES: I think that's OBE.

3 MR. CARROLL: Oh, okay. All right. Then ignore my
4 last comment. But I would think Option B and with the glass
5 inboard a little bit, I think the house would maintain a lot
6 more of its character, but I appreciate the work you're
7 doing on it, so thank you.

8 MS. HEILER: Like almost everyone, I also echo
9 Commissioner's Kirwan's suggestions. I did have one
10 question. The way that you enclosed the porch on Baltzley,
11 can you describe that and why if it's not just, was too
12 expensive, why you couldn't use something that was somewhat
13 similar? That just seemed like the ideal way to enclose the
14 porch.

15 MR. MCNAIR: Baltzley has 18 by 18 inch stone
16 columns, so there it was real easy to take a C-channel and
17 bolt the C-channel to the column and then pad that out and
18 then have a set bead and a stop bead to receive glass.
19 These wood columns -- maybe what we could do is scallop some
20 sort of piece of metal so that it's thin. It goes in and
21 then it comes out and then there's a clip that could receive
22 the glass.

23 I was thinking that it would, you know, my having
24 the 2-foot panels and 4-foot panels and 2-foot panels, it
25 would really show up everything that was there. So I can't

1 use the same detail, but I can give some more thought to
2 the, how to do this, how to attach the glass.

3 MS. HEILER: I'm not saying it has to be that way,
4 but that preserved those columns so that they remain the
5 defining characteristic of the front of that house. And
6 somehow I'm doing something that minimizes the look of glass
7 and maximizes the look of the columns set on stone. It
8 seems like the best we could hope for.

9 MR. MCNAIR: Okay.

10 MS. BARNES: Well, Mr. McNair, I admire your
11 patience for working through all of this and I appreciate
12 the work you've done as I frequently drive along MacArthur
13 Boulevard and look up at the two houses and have always been
14 kind of curious about them. I have to say that some of the
15 concerns about the glass on the porch seems to me slightly
16 superfluous having spent a lot of time along the Rhine, I
17 could envision this just being a terrace with no covering at
18 all rather like it is on the side where the chimney is,
19 open.

20 I would support your plan to enclose it. I do
21 have a question that Commissioner Rodriguez raised about how
22 you get to the end and what you do with the glass and
23 whether you would have a door onto the open terrace on the
24 side, in front of this chimney wall. But I think if
25 everybody is excited about the columns being inside makes

1 sense, but I would be very curious to know if those columns
2 and that roof really are not something that came a little
3 bit later.

4 And in terms of your proposal in the back, I would
5 be supportive of B as many of the other commissioners are.
6 And I wish you all of the best of luck with this and I'm
7 also pleased that you're concerned about that big oak tree.

8 MR. KIRWAN: Well, I think you heard sort of
9 general concurrence to a preference of Option B with some
10 questions about details and things like that, concerning
11 that, and I think you generally heard that most of use were
12 supportive of either bringing the porch glass in line with
13 the columns or inboard. Commissioner Barnes may have been
14 indicating that she was okay with them being outboard, but
15 seemed to defer -- okay, so you did defer to that
16 suggestion. That's fine.

17 And I think although the other elements, I didn't
18 hear a lot of opposition to the -- I mean I heard some
19 suggestions, but it seems like everything else is good to
20 go. So I, we look forward to seeing you come back.

21 MR. SILVER: Mr. Chair, may I just real quick? I
22 don't want to summarize your summary, but we need a little
23 bit more detail or perhaps a lot more detail with the front
24 porch was of great emphasis and then I was hearing
25 fenestration and a little bit -- for the addition,

1 fenestration treatments, organization, orientation and a
2 little bit more detail about the materials for that
3 addition, is that accurate?

4 MR. KIRWAN: That's right.

5 MR. SILVER: Okay. And in -- also I ask --

6 MR. KIRWAN: I, let me just to recognize that
7 there was one commissioner who was opposed to either option.
8 In order to --

9 MR. SILVER: Thank you for that. And I'd like to
10 poll the Commission in terms of the next step for Mr.
11 McNair, whether or not is a third preliminary consultation
12 necessary or is it ready to go to a Historic Area Work
13 Permit if, you know, the details for the front porch -- I
14 mean I feel confident in dealing with the back, the addition
15 and those details. I've worked with him many times already
16 and we'll get those, I think, just about right or close
17 enough for those that supported Option B. But what is the
18 Commission's, what's the tenor of the Commission with that?

19 MR. KIRWAN: Well, I'll -- I mean I can only speak
20 for myself, but I feel comfortable if the applicant is
21 responding to the comments that were made --

22 MR. SILVER: Okay.

23 MR. KIRWAN: -- that it can come back for a HAWP.
24 Does anybody differ from that?

25 MR. CORATOLA: I agree. I mean --

1 MR. SILVER: Okay. Great.

2 MR. CORATOLA: -- you guys have been doing a good
3 job together, so --

4 MR. SILVER: Yes. Okay. Thank you for that.
5 Appreciate it.

6 MR. FIRESTONE: I agree also.

7 MR. KIRWAN: Thank you very much. I appreciate
8 all your work on this resource and for your patience as
9 Commissioner Barnes mentioned.

10 Next item on our agenda is minutes. Do we have
11 minutes to look through today?

12 MR. WHIPPLE: The June 26th minutes are not
13 available yet.

14 MR. KIRWAN: All right. Are these --

15 UNIDENTIFIED SPEAKER: I'm so sorry. I've been
16 here since the beginning of the meeting and everything went
17 really fast. I didn't, I got confused on what to do and --

18 MR. KIRWAN: What case were you?

19 UNIDENTIFIED SPEAKER: -- I think it would have been
20 -- I'm sorry?

21 MR. KIRWAN: What case were you on our agenda?

22 UNIDENTIFIED SPEAKER: This is for the Hawkins
23 Lane for the garage that was damaged.

24 MR. KIRWAN: We're very -- your case was
25 expedited. It was approved and expedited.

1 UNIDENTIFIED SPEAKER: It's approved, yes, I know.

2 MR. KIRWAN: Okay.

3 UNIDENTIFIED SPEAKER: So the reason why I came is
4 because the owners don't live here, so they asked me to
5 attend the meeting and I have a set of drawings --

6 MR. WHIPPLE: Sir, we'll talk with you out in the
7 lobby and help you out there.

8 UNIDENTIFIED SPEAKER: Okay.

9 MR. WHIPPLE: Okay?

10 UNIDENTIFIED SPEAKER: Okay. All right. I'm
11 sorry. Thank you.

12 MR. KIRWAN: Thank you.

13 MS. BARNES: I'm sorry you had to wait.

14 UNIDENTIFIED SPEAKER: No, I'll be there.

15 MR. KIRWAN: Okay. Thank you. So we have no
16 minutes. Are there any Commission items?

17 MR. KIRWAN: Any staff items?

18 MR. WHIPPLE: Two very briefly given the hour. I
19 just want to report that there was a Long Branch Public
20 Hearing last night and the Commission presented testimony in
21 support of designating the Flower Theater and on Monday the
22 Government Operations Committee held a work session on the
23 tax credit bill. They were not able to take action because
24 there were only two members present and one of them was
25 wanting to recuse himself because he lives in the Historic

1 District. They will poll the third member. She's a co-
2 sponsor, so I suspect that she will be ready to favorably
3 recommend it. The bill also picked up the Council president
4 and so, as a co-sponsor, and so it now has five co-sponsors.
5 It needs six votes to pass, but I suspect hopefully out of
6 the remaining members we can get at least that many votes
7 for passage. It should be back before the full Council very
8 soon. I don't have a date for you yet, but I'm hopeful that
9 it will be quick.

10 MR. KIRWAN: And what's the timetable on the
11 Flower Avenue, Sir? And I think there was a tour today?

12 MR. WHIPPLE: There was a tour today and there
13 will be a Council Committee work session, the Fed Committee
14 work session will be in about two weeks, followed by a
15 second work session about two weeks after that.

16 MR. KIRWAN: Thank you. Anything else?

17 MR. CORATOLA: I had a question, a couple
18 questions for Scott. A couple meetings ago we talked about
19 getting together with the different LAPs and the Board of
20 Appeals, just sort of a meet and greet kind of discussion.
21 Are we moving in any direction with any of those or what?

22 MR. WHIPPLE: Not yet, no.

23 MR. KIRWAN: All right. If that's it, then we are
24 adjourned.

25 (Whereupon, at 10:36 p.m., the meeting was

Preliminary Consultation – 5417 Mohican Road, Bethesda
Hearing date: July 10, 2013

- Concerns with proposed front porch glass enclosure method. Concerns included potential impacts to the front porch roof soffit and entablature.
- Majority supported enclosure of the front porch if the glass were either set behind or co-planar with the existing wooden porch columns. Specific focus should be given to the detail of where the glass meets the front elevation of the house.
- One commissioner stated opposition to the front porch enclosure and addition as proposed.
- Majority of the Commission supported Option B as the preferred design for the addition.
- Majority supported enclosing the left elevation tower entrance with doors and transom above. One commissioner recommended studying the double-door panel dimension more closely.
- Additional simplification and transparency were discussed for the hyphen i.e., less banding.
- Change addition window proportions from a horizontal to more vertical orientation. Specifically the north and south elevations were discussed.
- Consensus the carport as proposed would be approved if submitted as a HAWP.
- No issues with proposed hardscape.