

S417 MOHICAN ROAD, BETHESDA  
MASTER PLAN SITE # 35/29-2  
R.A. CHARLES CASTLE  
And PRELIMINARY CONSULTATION

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5417 Mohican Road, Bethesda	<b>Meeting Date:</b>	7/10/13
<b>Applicant:</b>	Ross McNair	<b>Report Date:</b>	7/3/13
<b>Resource:</b>	Master Plan Site #35/29-2, R.A. Charles Castle	<b>Public Notice:</b>	6/26/13
<b>Review:</b>	Preliminary Consultation	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	N/A	<b>Staff:</b>	Josh Silver

**PROPOSAL:** Construction of rear addition, enclosure of front porch, construction of new carport and other alterations

**STAFF RECOMMENDATION**

The HPC must determine if design option A or B is more compatible with the resource and provide the applicant with feedback on items (1 – 5) below:

1. Construction of a two-story rear addition
2. Materials treatments and details for the addition
3. Enclosure of front porch and left (north) elevation tower entrance
4. Construction of a two-bay carport in the rear yard
5. Installation of cobblestone court entryway at the rear of the property.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Master Plan Site #35/29-2, R.A. Charles Castle  
**STYLE:** Eclectic  
**DATE:** 1890

**ARCHITECTURAL HISTORY**

*The following was excerpted from Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland.*

This residence was built the same year as the more elaborate and larger scale Baltzley Castle, (located on the adjacent property), yet was also built of locally quarried stone, continuing the theme of the envisioned Rhineland on the Potomac. Both residences were built to take advantage of a dramatic view of the Potomac River. With its multi- and diamond-pane windows, hipped roof polygonal wing, and turned porch posts, the Charles Castle is essentially a Queen Anne style house sheathed in stone. R.A. Charles, an employee of the Treasury Department, bought land from Edward Baltzley in February 1890 and built the house soon thereafter. The *Manufacturer's Record* of 1891 stated that Mindeleff designed a Glen Echo Heights house for Edwin Baltzley for \$7,000.

**ARCHITECTURAL DESCRIPTION**

The subject property is a three bay by one bay, two and half story stone "castle" that faces south (west), and much smaller than the adjacent Baltzley Castle at 5415 Mohican Road.

Constructed of bluestone, the house has a two story screened porch with a flat roof at the southeast corner

of the south elevation. The enclosed second level is supported by three columns at the first level.

There is a screen porch on the north elevation that wraps around to the west elevation. Six columns support the half-hipped porch roof. A two story tower is located at the northwest corner of the west elevation with a conical roof.

There are 1/1, double-hung windows with stone lintels, and a variety of multi-paned transom or upper sashes above single light lower sashes. The south elevation has a hipped dormer window. The house has a hipped roof with red slate covering. There are two interior chimneys with corbelled caps.

## **BACKGROUND**

The HPC held a preliminary consultation hearing on January 23, 2013 where they considered a proposal for construction of a rear addition and new garage, roof replacement, construction of a side porch roof and enclosure, demolition, and rehabilitation and infill construction at the right (south) elevation.

The HPC offered the following comments in response to the applicant's proposal:

- The existing open porch at the front-right corner of the primary façade is a character-defining feature. Construction of new roof over the open porch and its enclosure with glass would have an adverse impact to this character-defining feature. Enclosure of an existing covered porch at the front elevation was encouraged to create additional habitable space.
- The proposed rear elevation (both options A & B), read to primary in nature and included a prominent entrance that detracted from recognizing the building's primary entrance located in the left elevation tower section.
- The scale and massing of the proposed addition was found to be incompatible with the historic massing. Recommendations for reducing the scale and massing included, construction of a one or two story addition at the rear with hyphen connector, elimination of the staircase tower, justification of the addition toward the proposed garage, and simplification of materials and details (e.g., more contemporary building elements and glazing).
- The proposed garage location and design could be approved if submitted as a HAWP.
- The proposed removal of the non-historic screen porch element, enclosure of the lower-level and rehabilitation of the 2<sup>nd</sup> story, flared, shingle feature could be approved if submitted as a HAWP.
- The preservation of existing trees within the vicinity of the existing resource and proposed addition was encouraged. The further examination of trees and potential impacts of new construction was recommended to determine site limitations for construction of an addition, garage and parking court area. [The full HPC meeting transcript begins on page 51]

## **PROPOSAL**

In response the HPC comments at the 1<sup>st</sup> preliminary consultation, the applicant is again providing two different design options (A and B). The proposal remains relatively unchanged in terms of the applicant's intentions for constructing an addition, adding a parking feature and creating additional habitable living space. The revised design includes more detail and floor plans to help the HPC better understand the interior program and how these spaces relate to one another.

Notable changes from the 1<sup>st</sup> preliminary consultation include the following:

The applicant has withdrawn their proposal to replace the roof on the historic massing, add a new porch roof with glass enclosure below at the front-right elevation, and construct a one story, two bay garage in

right-rear corner of the property.

The revised proposal includes the following:

**Rear addition:**

- Construct a two-story, (18' 10" x 20'), addition at the rear of the existing structure. The addition will connect to the primary structure via a glass and metal hyphen (12' x 8'). The proposed materials include a combination of flat roof stone and painted steel beams for the exterior, cooper seamed roofing and casement and fixed window sashes.

**Front porch roof replacement and enclosure:**

- Remove and replace a non-original asphalt roof with a seamed copper roof. Enclose the existing front porch by adding full view, fixed, reflective glass. The original wooden porch columns and stone piers will be preserved. A porch glazing detail can be found on page 23 of the staff report packet.

**Right (south) elevation alterations:**

- Remove a non-historic (c.1980s), one-story, shed roof screen porch extension. The existing wooden shingled, 2<sup>nd</sup> story flared massing with steep sloped roof will be preserved, new windows added, and the 1<sup>st</sup> story below (which currently is a screened porch) will be infilled to create a habitable interior space. The proposed infill is based on physical structural evidence on the interior and maintains the original porch footprint.

**Construction of two car detached carport and cobblestone entry court:**

- Construct a one-story, two-car, 24' x 24', detached, carport at the rear, right corner of the lot. The carport location is consistent with the garage the HPC reviewed and supported at the 1<sup>st</sup> preliminary consultation. The location complies with the county's setback requirements for accessory structures. Materials for the carport consist of a seamed copper roof and metal structural framing and posts consistent with the materials and details proposed for the addition section. A cobblestone entry court set in bluestone is proposed at the rear of the addition and in front of the proposed carport. The carport will be accessed via an existing driveway from Mohican Road.

**Other alterations:**

- Reset all loose stone work and repoint all mortar joints (No HAWP required)
- Rebuild front porch stone walls, remove and replace floor and roof framing, install new porch ceiling board, remove, strip and reinstall the existing wooden columns (No HAWP required)
- Strip, reglaze, and paint all existing wooden windows. Replace sash weights and chain as needed. Replace broken glass and rehabilitate existing window sashes, framing and trim as needed using salvaged lumber. (No HAWP required).

**The HPC is encouraged to provide the applicant with feedback on both options A & B.**

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Montgomery County Code; Chapter 24A-8:***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

Standard #1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

**Two story rear addition**

Staff finds that the applicant's revised proposal (both design options A & B), responds to the HPC's feedback at the 1<sup>st</sup> preliminary consultation hearing. The proposed addition, located entirely at the rear and connected to the primary structure by a glazed hyphen does not substantially alter historic features that are important to defining the character of the site. The massing and scale of the addition, lower, inset and smaller are compatible in character with the primary resource. The use of metal structural features,

extensive glazing and stone both complement and express differentiation between the addition and primary

structure.

In response to the HPC's feedback, the applicant investigated locating an addition further toward the right rear of the property (toward the proposed carport location). Due to the presence of 40" White Oak tree, locating an addition in this location is not possible without impacting the tree, which the applicant would like to preserve. Staff supports the location as proposed finding it responds to HPC's feedback and is in keeping with the guidance found in *The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, which recommend:

18.3 An addition should be compatible in scale with the primary structure.

- An addition should relate to the historic house in mass, scale and form. It should be designed to remain subordinate to the main structure.
- One option to help visually separate an addition from the primary building is to link the primary structure with a smaller breezeway.
- For a larger addition, break up the mass of the addition into smaller modules that relate to the historic house.
- An addition should be simple in design to prevent it from competing with the primary structure.

The applicant has not specified a window and door material for the proposed addition. Staff recommends a metal frame or clad windows for all new window locations throughout the addition.

#### **Porch roof replacement and enclosure of existing front porch**

Staff finds the replacement of the existing front porch roof with a copper roof as being consistent with Chapter 24A-8 (b) (1) & (2). The existing porch roof is not original to the house and therefore the proposal does not substantially alter an original exterior material. The use of a copper standing seam roofing material is compatible in character with the resource type and style. The HPC supported the applicant's proposal to remove and replace the porch roof with red slate at the 1<sup>st</sup> preliminary consultation.

Staff finds enclosure of the existing front porch with fixed glass as being consistent with *Standards # 1, 9 and 10* above. The proposal requires minimal change to distinctive materials and features and does not destroy historic materials that characterize the property, and if removed in the future, the essential form and integrity of the property would be unimpaired. The proposal involves installing glass in front of the existing wooden porch columns that are original to the structure. The design preserves the porch columns and requires minimal impact to the stone piers which the column bases engage at the bottom. The porch roof form will not be impacted and the changes are reversible if removed in the future.

Staff supports enclosing the arched entry way with full-light, outward swinging, metal frame doors with transom above at the left (north) elevation entry. Staff finds this alteration as having minimal impact to the resource and as being reversible [Standards #1, 9 and 10]. The applicant is proposing this alteration to increase the habitable area of the proposed front porch glass enclosure.

#### **Right (south) elevation alterations**

Staff supports the removal of the non-historic porch, infill below and rehabilitation of the 2<sup>nd</sup> story. The applicant has based construction of the infill location on physical structural evidence on the interior. The proposal maintains the original porch footprint. The HPC supported this part of the proposal when it was reviewed at the 1<sup>st</sup> preliminary consultation, which involved a similar plan.

#### **Construction of two bay detached carport**

Staff supports the proposed construction of a two bay detached carport set off the rear and right side property lines. The proposed size and location is consistent with the garage which the HPC supported at the 1<sup>st</sup> preliminary consultation.

#### **Cobblestone entry court and pathways**

Staff supports the proposed installation of a cobblestone entry court as shown on the plans. The applicant is working closely with a landscape architect and arborist and verbally stated to HPC staff the proposal as shown will not impact the trees.

**Other alterations:**

Staff supports the proposed maintenance and rehabilitation projects identified in the proposal section. The applicant is encouraged to apply for a county historic perseveration tax credit for eligible expenses associated with the project.

**STAFF RECOMMENDATIONS**

The HPC must determine if design option A or B is more compatible with the resource and provide the applicant with feedback on items (1 – 5) below.

1. Construction of a two-story rear addition
2. Materials treatments and details for the addition.
3. Enclosure of front porch and left (north) elevation tower entrance
4. Construction of a two-bay carport in the rear yard
5. Installation of cobblestone court entryway at the rear of the property.

Staff recommends that the applicants make revisions to the plans based on comments and feedback from the HPC and staff and return for a Historic Area Work Permit.



DPS-#8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: rossmcnair1@gmail.com Contact Person: ROSS McNair  
 Daytime Phone No.: 301-219-0380  
 Tax Account No.: 00508312  
 Name of Property Owner: ROSS McNair Daytime Phone No.: 301-219-0380  
 Address: 5415 Mohican Rd Bethesda Md 20816  
Street Number City State Zip Code  
 Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
 Contractor Registration No.: \_\_\_\_\_  
 Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PERMISE**

House Number: 5417 Street: Mohican Rd  
 Town/City: Bethesda Nearest Cross Street: MacArthur Blvd  
 Lot: ArtC Block: 3 Subdivision: Green Echo Heights Section 1  
 Liber: 40953 Folio: 265 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE**

- Construct  Extend  Alter/Reinstate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

**CHECK ALL APPLICABLE**

- ARC  Stab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: GARAGE

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSIVE ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 11-26-12  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Application/Permit No.: 1075055 Date Filed: 11/27/12 Date Issued: \_\_\_\_\_





ACHS SUMMARY FORM

M 35-24-2

(date)

1. Name: R.A. Charles' Castle

2. Planning Area/Site Number: 35/29/2 3. M-NCPPC Atlas Reference: Map 20  
Coordinate J-15

4. Address: 5417 Mohican Road  
Glen Echo Heights

5. Classification Summary

Category building  
Ownership private  
Public Acquisition N/A  
Status occupied  
Accessible no  
Present use private residence

Previous Survey Recording MNCPPC  
Title and Date: Historic Sites Inventory  
1976  
Federal      State x County x Local     

6. Date: 1890

7. Original Owner: R.A. Charles

8. Apparent Condition

a. good b. altered c. original site

9. Description: This three bay by one bay, two and a half story stone "castle" faces south, and is smaller than #5415.

Constructed of bluestone, the house has a two story screened porch with a flat roof at the southeast corner of the south elevation. The enclosed second level is supported by three columns at the first level.

There is a screened porch on the north elevation that wraps around to the west elevation. Six columns support the half-hipped porch roof. A two story tower is located at the northwest corner of the west elevation with a conical roof.

There are one-over-one double-hung windows with stone lintels, and a variety of multi-paned transoms or upper sashes above single light lower sashes. The south elevation has a hipped dormer window. The house has a hipped roof with red slate covering. There are two interior chimneys with corbelled caps.

10. Significance: This unusual dwelling is a reminder of a grandiose scheme to create a Washington "Rhineland of the Potomac". Twin brothers Edwin and Edward Baltzley bought 516 acres of land in 1888, built the Glen Echo National Chautauqua, and sold lots for a planned development across the street. Houses were to be of brick, stone or metal, but the use of granite was encouraged by offering stone delivered at quarry cost. This house was built for R.A. Charles in 1890 and was the second of two "castles" built in the planned development. The Baltzley castle was larger than this one and was probably intended as a model home.

A disastrous fire at the Glen Echo Cafe in November, 1890, coupled with rumors of malarial mosquitoes, put an abrupt end not only to the Glen Echo Chautauqua, but also to the Baltzleys' real estate business.

The Charles family owned this house for many years. The present owners purchased the "castle" in 1962, and rent it out.

11. Researcher and date researched: Candy Reed/Architectural Description  
Carlotta Anderson 4/79

12. Compiler: Peg Coleman 13. Date Compiled: 6/79 14. Designation.  
Approval

15. Acreage: 54,572 sq. ft.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**

11/26/2012

**OWNER'S MAILING ADDRESS**

J. Ross McNair  
5415 Mohican Rd  
Bethesda Md 20816

**HISTORIC SITE ADDRESS**

5417 Mohican Rd  
Bethesda Md 20816

**ADJACENT AND CONFRONTING PROPERTY OWNERS MAILING ADDRESSES**

Miguel Otero  
5301 Mohican Rd  
Bethesda MD 20816

Chris White  
5409 Mohican Rd  
Bethesda MD 20816

Maureen Jeffreys and Michael Bergsman  
5303 Mohican Rd  
Bethesda MD 20816

Miklos Gaal  
5407 Mohican Rd  
Bethesda MD 20816

Matthew Byrne  
5405 Mohican Rd  
Bethesda MD 20816

Stephen Seeber  
5309 Mohican Rd  
Bethesda MD 20816

William Barlow  
5311 Mohican Rd  
Bethesda MD 20816

Patrick Gates  
5421 Mohican Rd  
Bethesda MD 20816

Ned Miltenberg  
5410 Mohican Rd  
Bethesda MD 20816

John Lentz  
5424 Mohican Rd  
Bethesda MD 20816

Joy Brown  
5408 Mohican Rd  
Bethesda MD 20816

Whittington Lewis  
5404 Mohican Rd  
Bethesda MD 20816

Nathaniel Kendall  
5420 Mohican Rd  
Bethesda MD 20816

William Coolidge  
5423 Mohican Rd  
Bethesda MD 20816

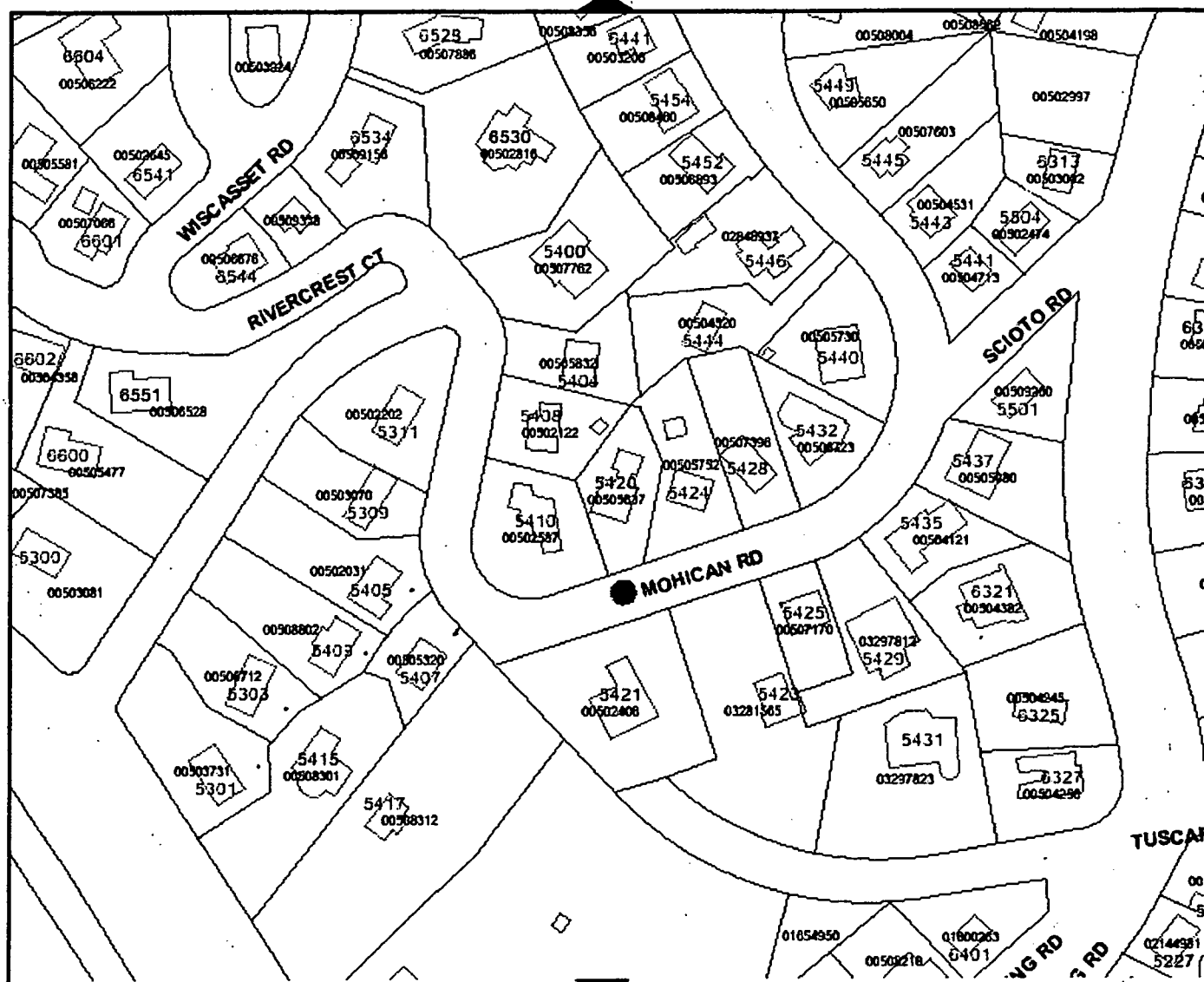
James Ross  
5425 Mohican Rd  
Bethesda MD 20816

Philip Warker  
5428 Mohican Rd  
Bethesda MD 20816



found

Locate Address	Search Keywords	Select Features	Zoom In	Zoom Out	Zoom All	Previous Map	Clear Map	Map Legend	Overview Map	Print Map		
Add Bookmark	Add Circle	Add Lines	Add Points	Add Polygons	Add Text	Crossing Streets	Data Error Reporting	Email Map	Identify Features	Measure	Pan	Query Builder



## **2nd Preliminary Consultation**

### **Options A & B**



**McNair  
Residence**

Owner:  
Ross McNair  
5415 Mochican Road  
Bethesda, MD 20816  
Current Issue:  
**Revised Historic  
Submittal**  
Revision:

**Pollock Dickerson  
Associates, PC**

Architect:  
PDA  
5842 Nicholson Lane  
Rockville, Maryland 20852  
Tel 301.237.7542

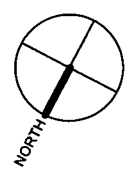
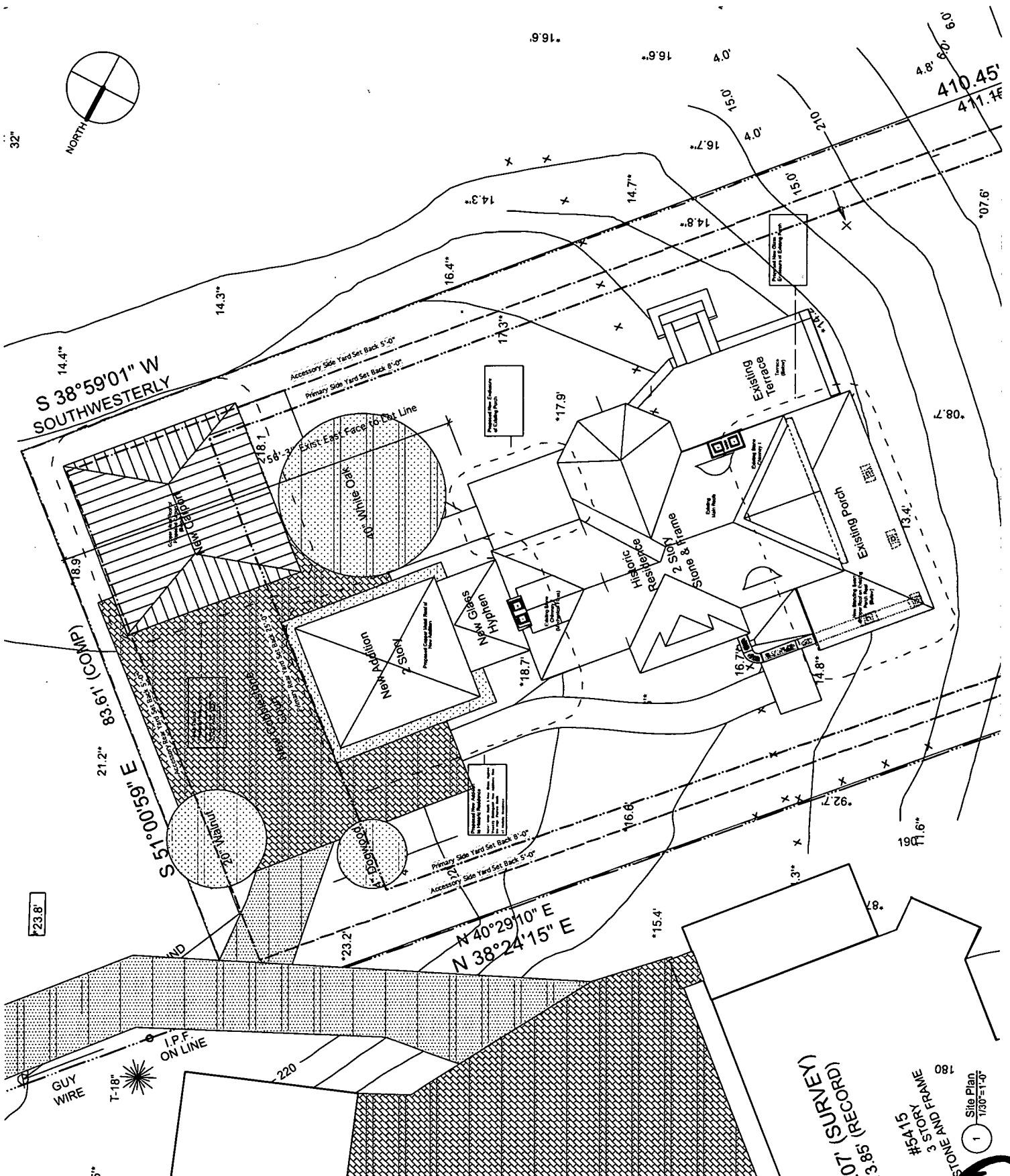
Consultants : TBD

Professional Certification:  
I am a duly licensed Professional Engineer in the State of Maryland, License No. 6228, Expiration Date: 06/15/2013.

Site Plan  
Scale: 1"=30'-0"

13 June 2013

**A.001**



3.85' (RECORD)  
3.07' (SURVEY)  
#5415  
3 STORY  
STONE AND FRAME

1  
Site Plan  
1/30"=1'-0"  
**12**

**McNair  
Residence**

Owner:  
Ross McNair  
5415 Mohican Road  
Bethesda, MD 20816

Current Issue:  
**Revised Historic  
Submittal**

Revisions:

**Pollock Dickerson  
Associates, PC**

Architect:  
PDA  
5640 Nicholson Lane  
Suite 300  
Bethesda, Maryland 20852  
Tel 301.237.7542

Consultants: TBD

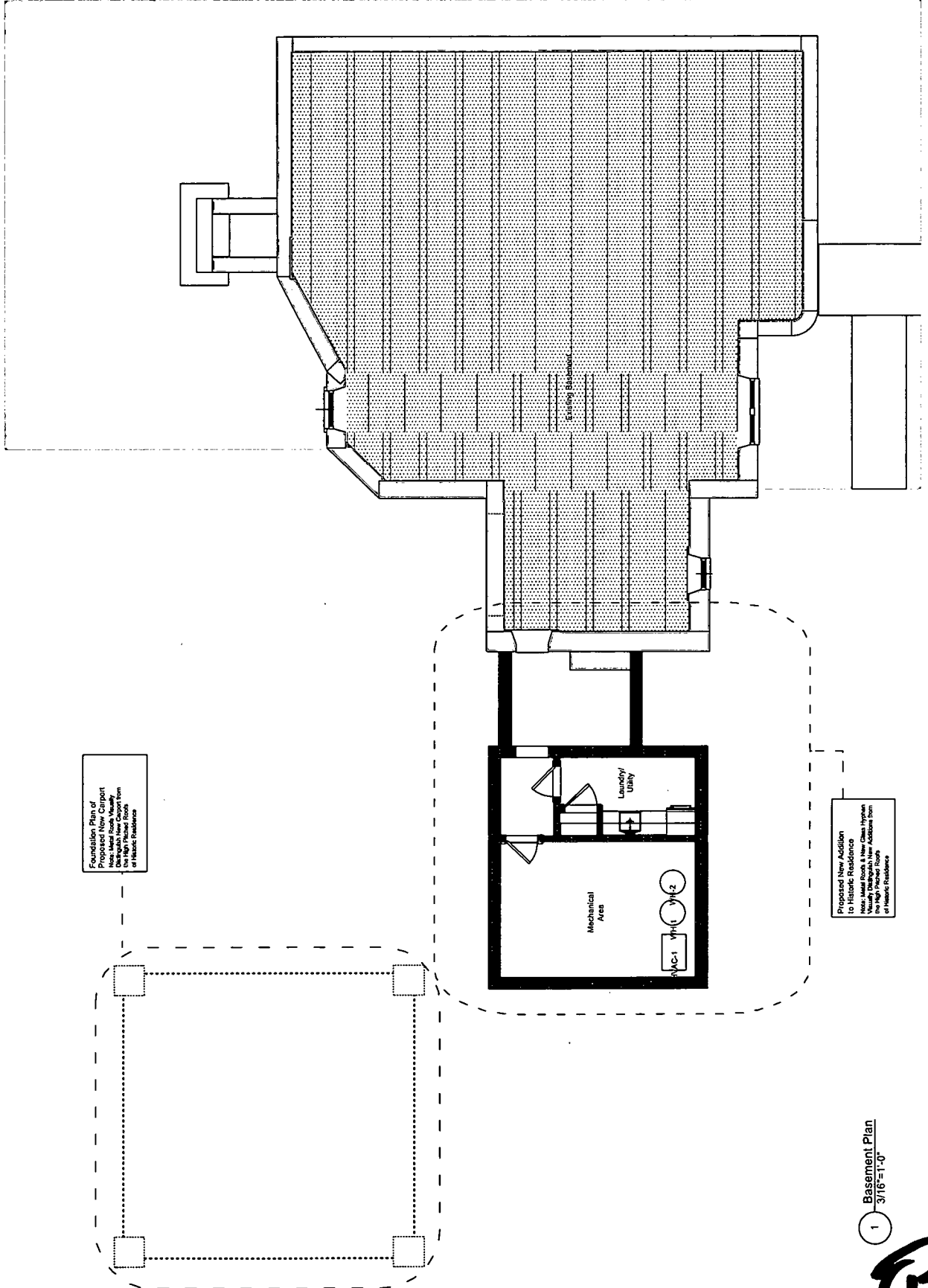
Professional Certification:  
I hereby certify that these documents were  
prepared by me or under my direct supervision  
and that I am a duly licensed professional architect under  
the laws of the State of Maryland.  
License No. 1329 Expiration Date: 06/11/2012

**Basement Plan**

Scale: 3/16" = 1'-0"

13 June 2013

**A.100**



1 **Basement Plan**  
3/16" = 1'-0"



**McNair  
Residence**

Owner:  
Ross McNair  
5415 Mopican Road  
Bethesda, MD 20816

Current Basis:  
**Revised Historic  
Submittal**

Revisions:

**Pollock Dickinson  
Associates, PC**

Architect:  
PDA  
5640 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel 301.427.7542

Consultants : TBD

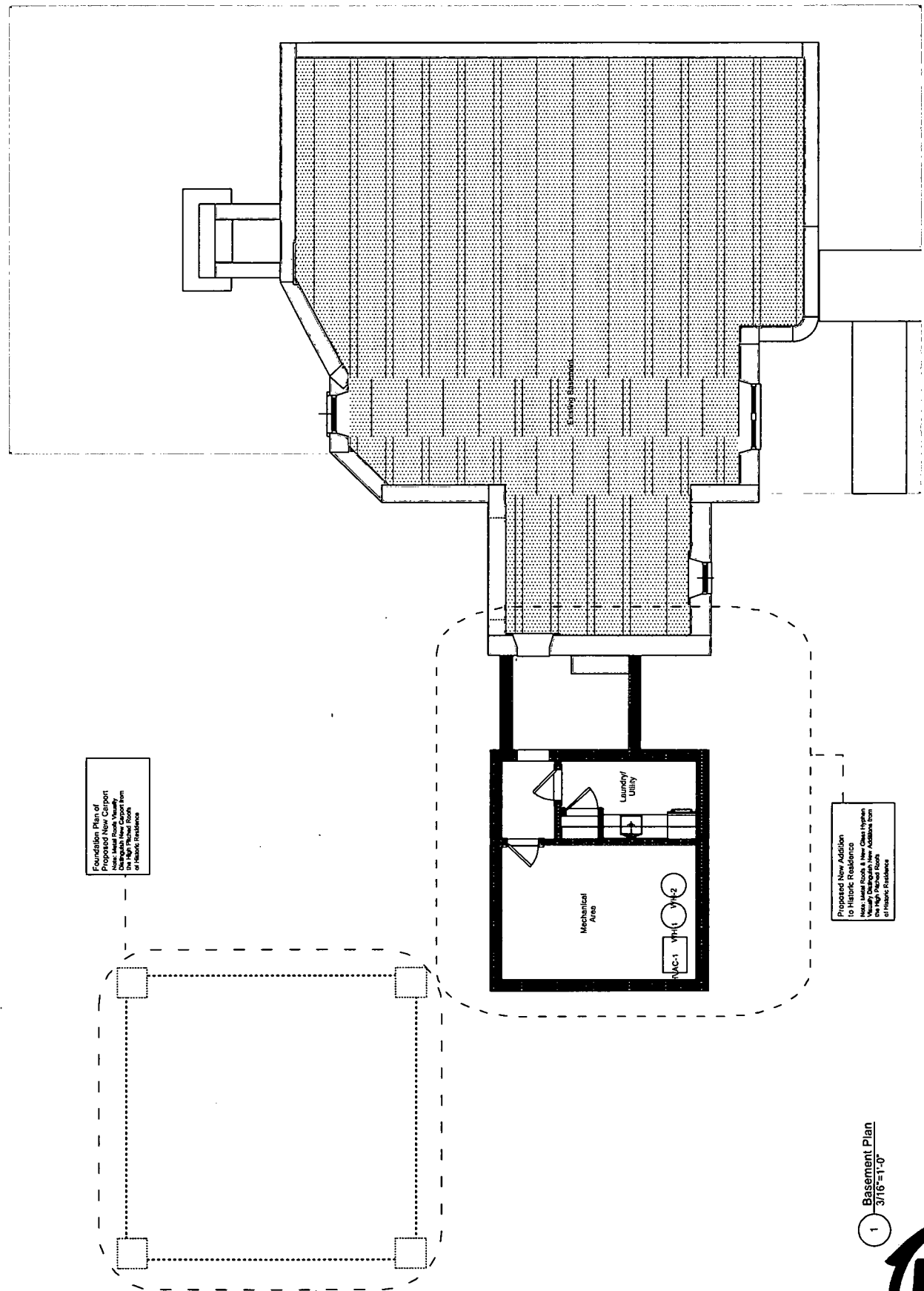
Professional Certification:  
I hereby certify that these documents were prepared by me or under my direct supervision and that I am a duly licensed professional architect under the laws of the State of Maryland, License No. 13283, Expiration Date: 06.11.2013

**Basement Plan**

Scale: 3/16"= 1'-0"

13 June 2013

**B.100**



1 **Basement Plan**  
3/16"=1'-0"



**McNair  
Residence**

Owner:  
Rene McNair  
5415 Michelson Road  
Bethesda, MD 20816

Current Issue:  
**Revised Historic  
Submittal**

Revisions:

**Pollock Dickerson  
Associates, PC**

Architect:  
PDA  
5940 Nicholson Lane  
Suite 300  
Manassas 20108  
Tel 301.237.7542

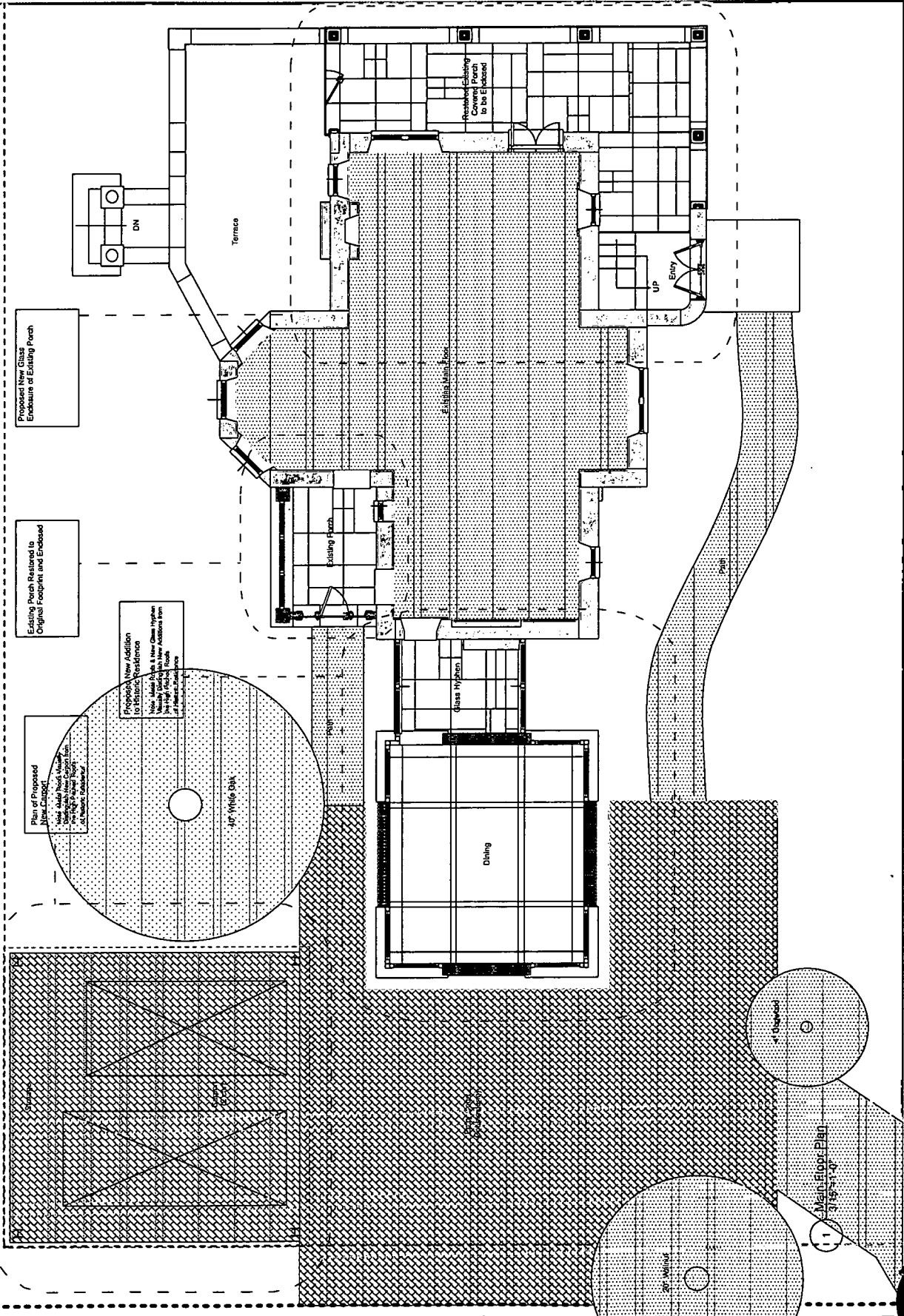
Consultants : TBD

Professional Certification:  
I hereby certify that these documents are  
prepared or approved by me, and that I am  
a duly Licensed Professional Architect  
in the State of Maryland.  
License No. 6208 Expiration Date: 04/15/2012

Main Floor Plan  
Scale: 3/16"=1'-0"

13 June 2013

**A.101**



Proposed New Glass Enclosure of Existing Porch

Existing Porch Restored to Original Footprint and Enclosed

Plan of Proposed  
UP - White Oak

Proposed New Addition to Historic Residence

Dining

Terrace

UP - White Oak

11  
UP - White Oak

15



**McNair  
Residence**

Owner:  
Ross McNair  
5415 Mohican Road  
Bethesda, MD 20816

Current Issue:  
**Revised Historic  
Submittal**  
Revisions:

**Pollock Dickerson  
Associates, PC**

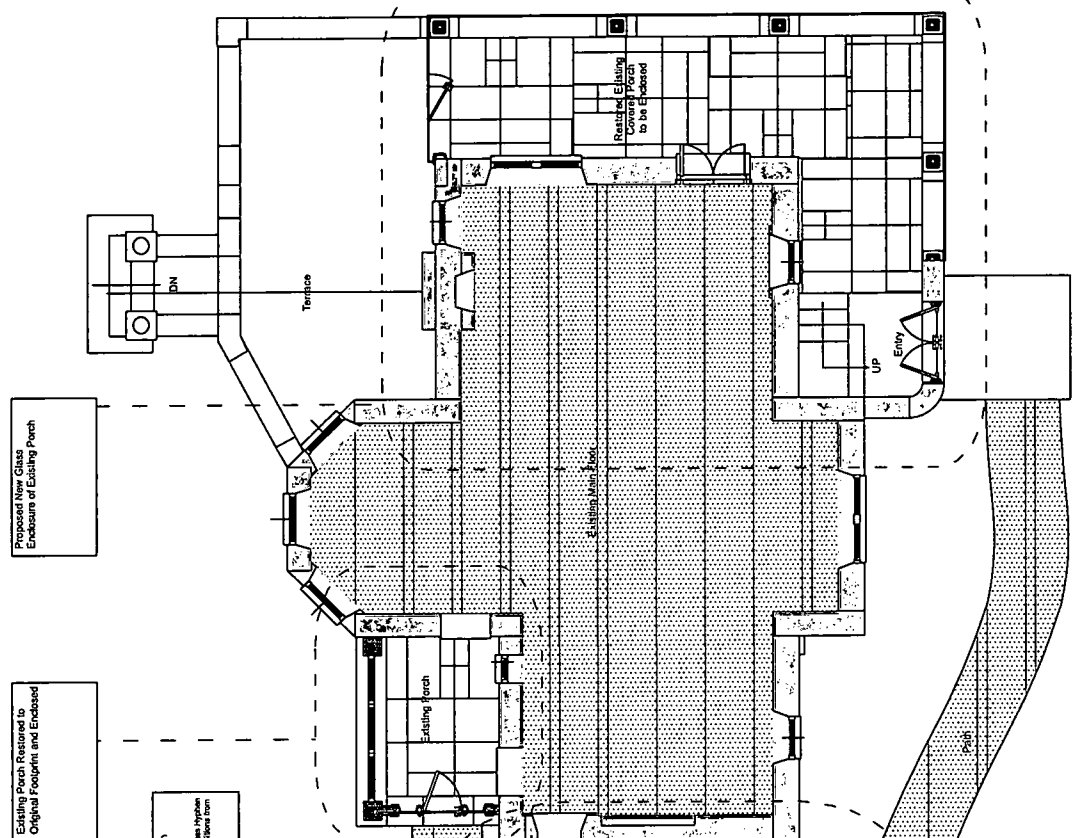
Architect:  
PDA  
3510 Nicholson Lane  
Suite 100  
Rockville, Maryland 20852  
Tel. 301.237.7542

Consultants: TBD

Professional Certification:  
I hereby certify that these documents are  
prepared or approved by me and that I am  
a duly Licensed Professional Architect in  
the State of Maryland.  
License No. 2027 (Expiration Date: 10/1/2017)

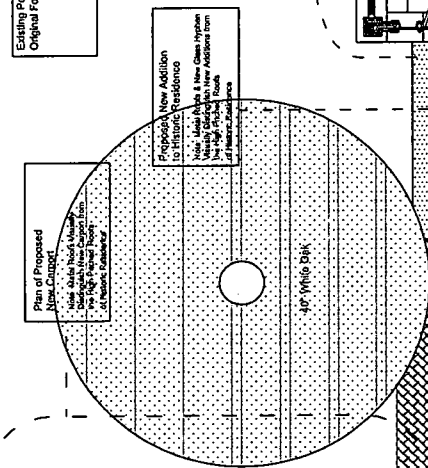
**Main Floor Plan**  
Scale: 3/16"=1'-0"

13 June 2013  
**B.101**



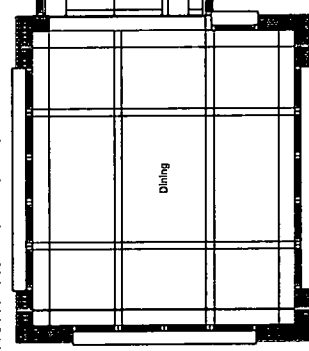
Proposed New Glass Enclosure of Existing Porch

Existing Glass Restored to Original Footprint and Enclosed

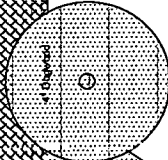


Plan of Proposed  
UP White Oak  
New Glass Enclosure  
The Glass Enclosure  
is to be installed  
at the existing location  
of the existing glass.

Propose New Addition  
to Historic Residence  
This addition will be a  
new glass enclosure  
which encloses the  
existing porch. The  
new glass enclosure  
will be installed  
at the existing location  
of the existing glass.



Dining



UP White Oak

1:1  
Main Floor Plan  
3/16"=1'-0"

**McNair Residence**

Owner:  
 Ross McNair  
 5415 Mohican Road  
 Bethesda, MD 20816  
 Current Issue:  
**Revised Historic  
 Submittal**  
 Revisions:

**Poilock Dickerson  
 Associates, PC**

Architect:  
 PDA  
 5640 Nicholson Lane  
 Suite 300  
 Rockville, Maryland 20852  
 Tel 301.237.7542

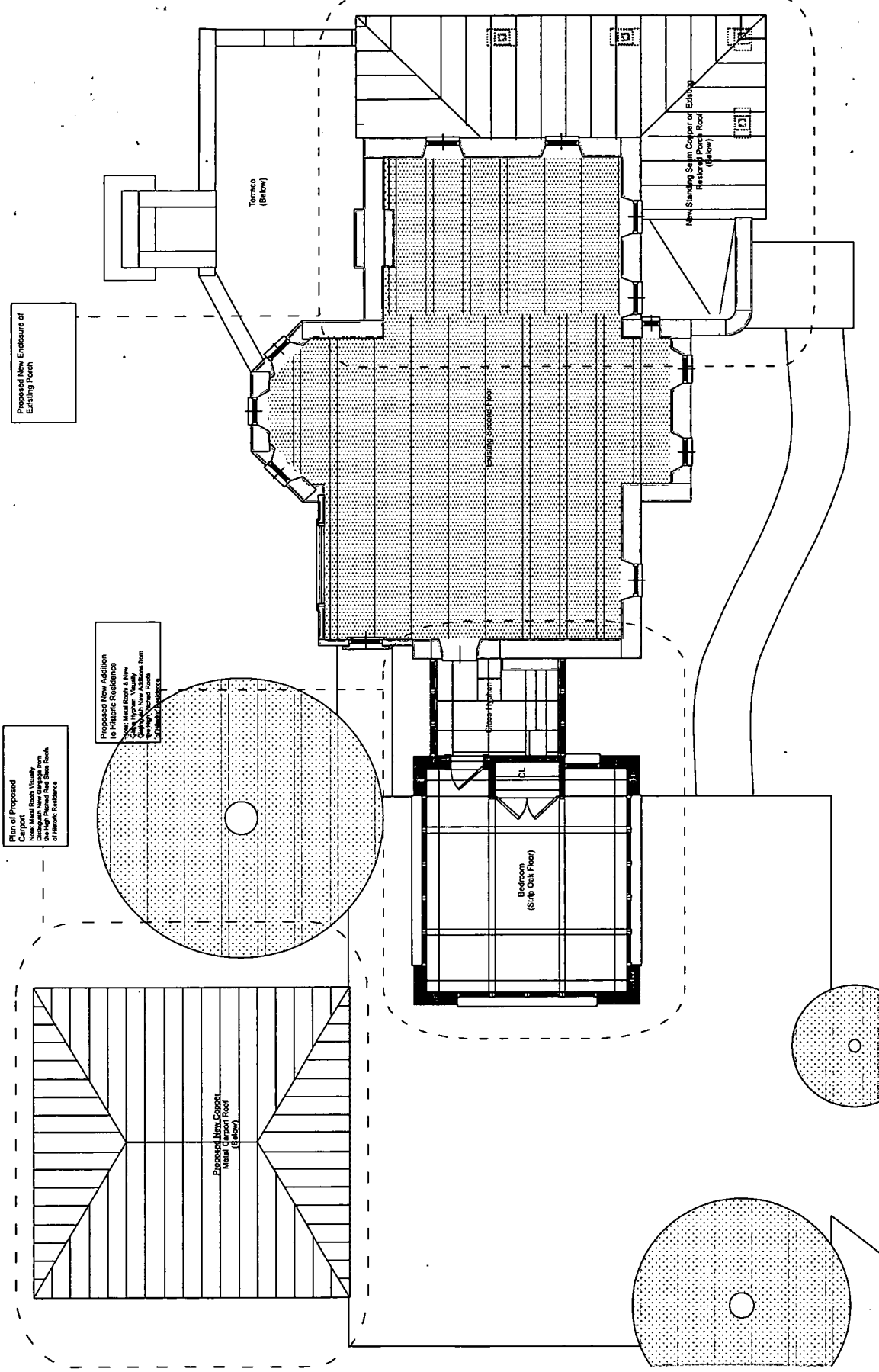
Consultants : TBD

Professional Certification:  
 I hereby certify that these documents were prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Maryland.  
 License No. 1222 Expiration Date: 04/11/2013

**Second Floor Plan**  
 Scale: 3/16"=1'-0"

13 June 2013

**B.102**



1 Second Floor Plan  
 3/16"=1'-0"

**McNair  
Residence**

Owner:  
 Ross McNair  
 5415 Mohican Road  
 Bethesda, MD 20816  
 Current Issue:  
**Revised Historic  
 Submittal**  
 Revisions:

**Pollock Dickerson  
 Associates, PC**

Architect:  
 PDA  
 6400 Nicholson Lane  
 Suite 300  
 Rockville, Maryland 20852  
 Tel 301.237.7542

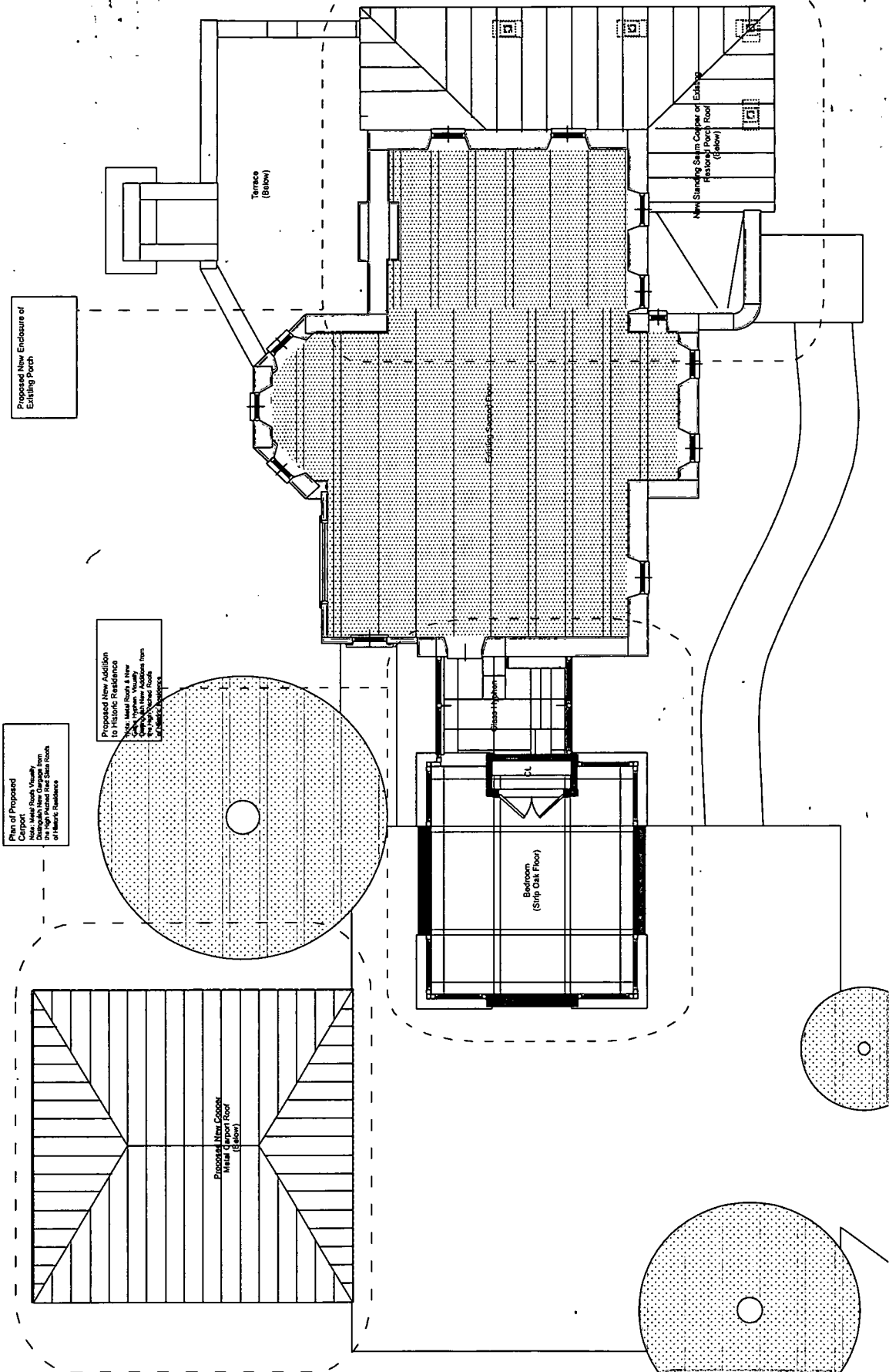
Consultants: TBD

Professional Certification:  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Architect in the State of the District of Columbia.  
 License No. 1232 (Expiration Date: 06/30/2013)

**Second Floor Plan**  
 Scale: 3/16"=1'-0"

13 June 2013

**A.102**



Plan of Proposed  
 New Addition  
 Note: Metal Clapnet Roof  
 Distinguish New Changes from  
 Existing Historic Rooms  
 of Historic Residence

Proposed New Addition  
 to Historic Residence  
 Note: Metal Clapnet Roof  
 Distinguish New Changes from  
 Existing Historic Rooms  
 of Historic Residence

Proposed New Corridor  
 Metal Clapnet Roof  
 (Below)

Terrace  
 (Below)

Bedroom  
 (Single Oak Floor)

New Standing Seam Copper or Existing  
 Historical Porch Roof  
 (Below)

1 Second Floor Plan  
 3/16"=1'-0"

**McNair  
Residence**

Owner:  
Rose McNair  
5415 Madison Road  
Bethesda, MD 20816  
Current Issue:  
**Revised Historic  
Submittal**  
Revisions:

**Poilock Dickerson  
Associates, PC**

Architect:  
PDA  
5660 Nicholson Lane  
Suite 300  
Montpelier 20852  
Tel: 301.237.7542

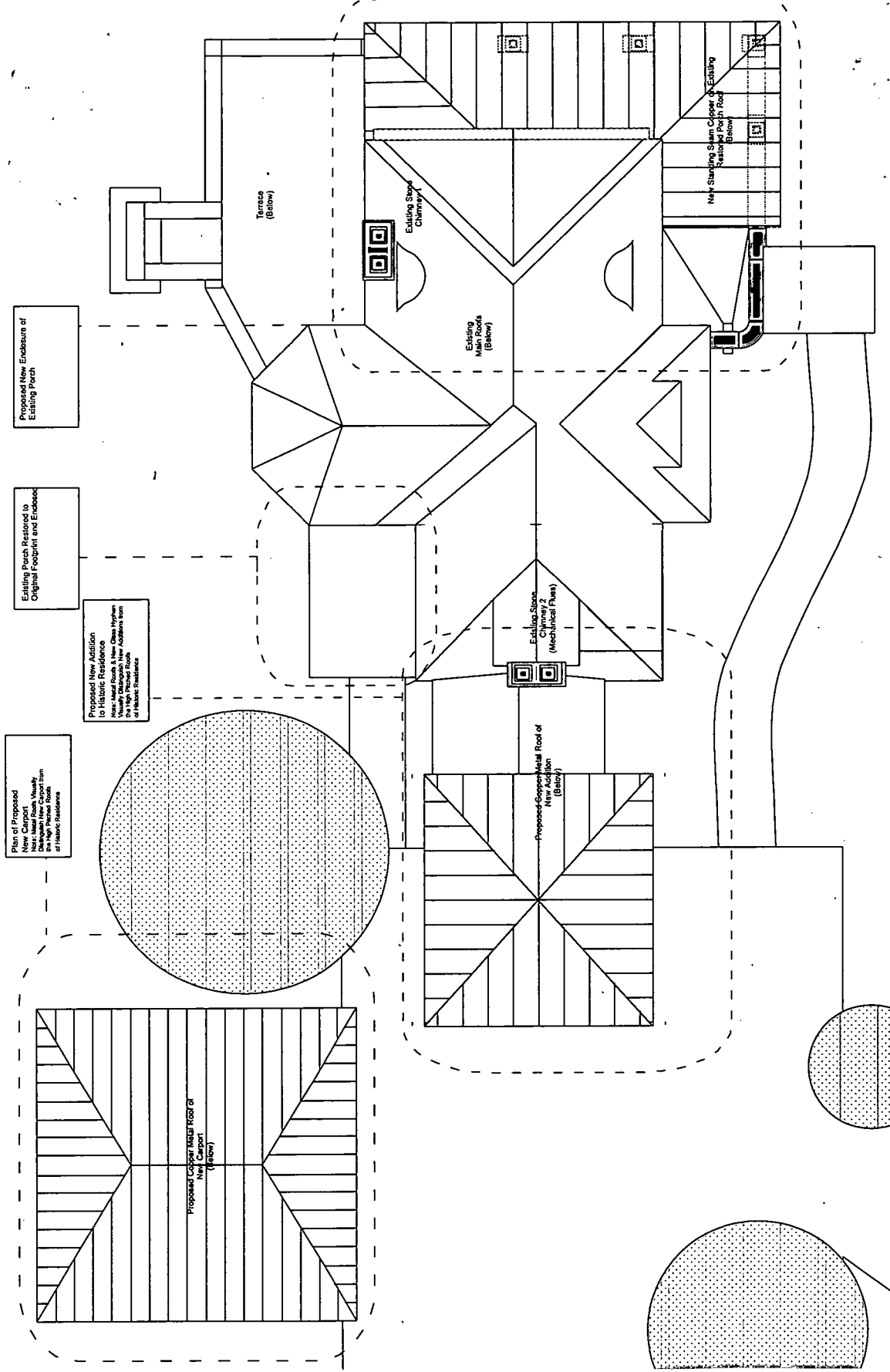
Consultants: TBD

Professional Certification:  
I hereby certify that these documents  
were prepared by me, or that I am  
a duly Licensed Professional Engineer  
in the State of Maryland.  
License No. 6225 Expiration Date: 06/13/2013

**Roof Floor Plan**  
Scale: 3/16"=1'-0"

13 June 2013

**A.103**



1 Roof Plan  
3/16"=1'-0"

**McNair  
Residence**

Owner:  
 Ross McNair  
 5415 Wilkison Road  
 Baltimore, MD 20916  
 Current Issue:  
**Revised Historic  
 Submittal**  
 Revisions:

**Pollock Dickerson  
 Associates, PC**

Architect:  
 PDA  
 5640 Nicholson Lane  
 Suite 300  
 Baltimore, Maryland 20852  
 Tel 301.737.7542

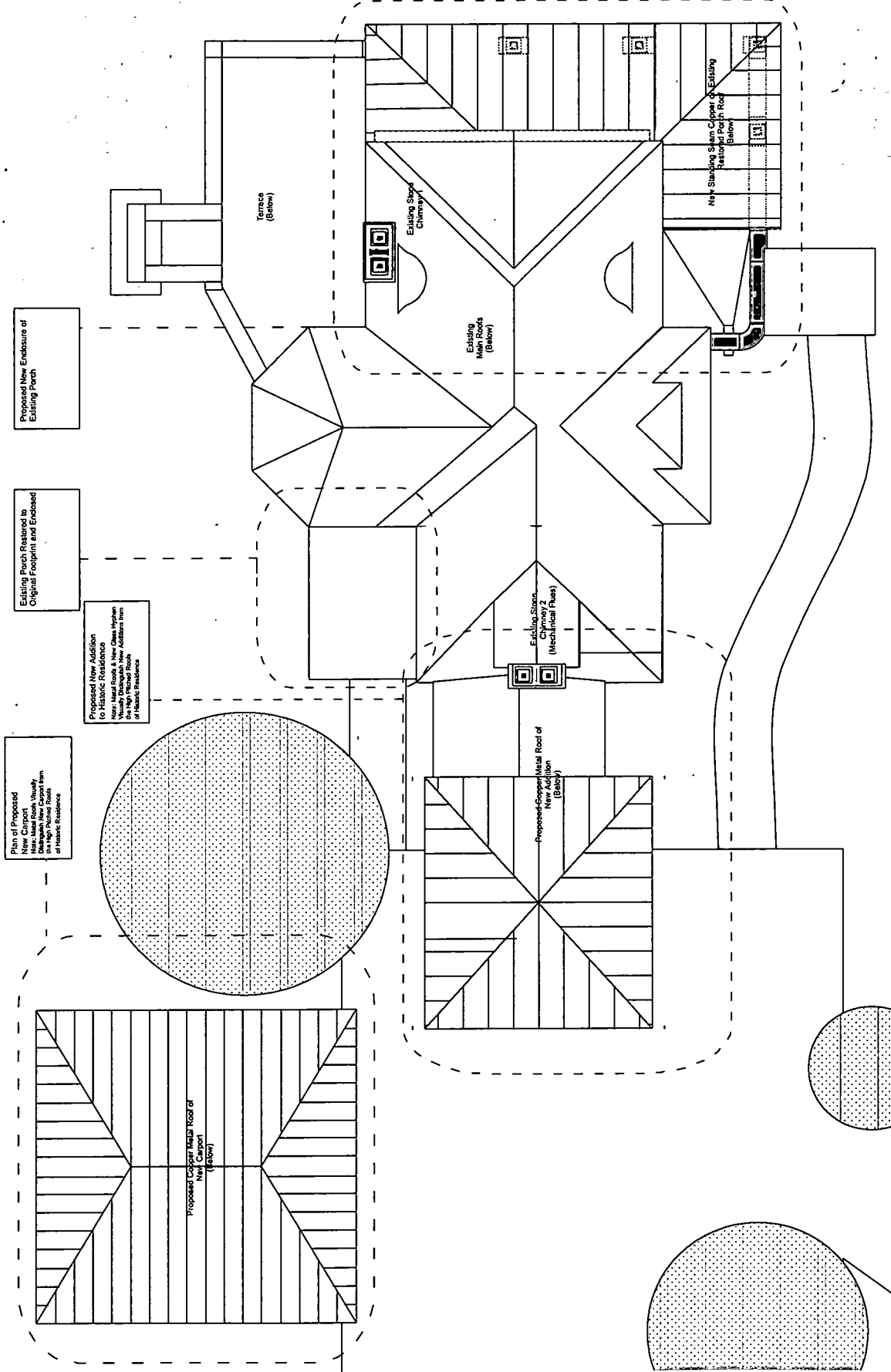
Consultants : TBD

Professional Certification:  
 I hereby certify that the above described work  
 was prepared by me, or under my direct supervision  
 and in accordance with the provisions of the  
 laws of the State of Maryland.  
 License No. 6323 Expiration Date: 10.11.2012

**Roof Floor Plan**  
 Scale: 3/16"=1'-0"

13 June 2013

**B.103**



Plan of Proposed  
 New Carport  
 New Main Room, usually  
 shown in high pitched roofs  
 of historic residence

Proposed New Addition  
 to Historic Residence  
 Note: Metal Roofs & New Open Hyphen  
 Usually Distinguish New Additions from  
 Historic Residence

Proposed New Enclosure of  
 Existing Porch

Existing Porch Restored to  
 Original Footprint and Enclosed

Proposed Copper Metal Roof of  
 New Carport  
 (Below)

Proposed Copper Metal Roof of  
 New Addition  
 (Below)

Terrace  
 (Below)

Existing Stone  
 Chimney

Existing  
 Main Roofs  
 (Below)

Existing Stone  
 Chimney 2  
 (Mechanical Plus)

New Standing Seam Copper Existing  
 Restored Porch Roof  
 (Below)

1 Roof Plan  
 3/16"=1'-0"



**McNair Residence**

Owner:  
 Ross McNair  
 5415 Mohican Road  
 Bethesda, MD 20816

Current Issues:  
 Revised Historic  
 Submittal

Revisions:

**Pollock Dickerson Associates, PC**

Architect:  
 PDA  
 5640 Nicholson Lane  
 Suite 300  
 Rockville, Maryland 20852  
 Tel 301.237.7542

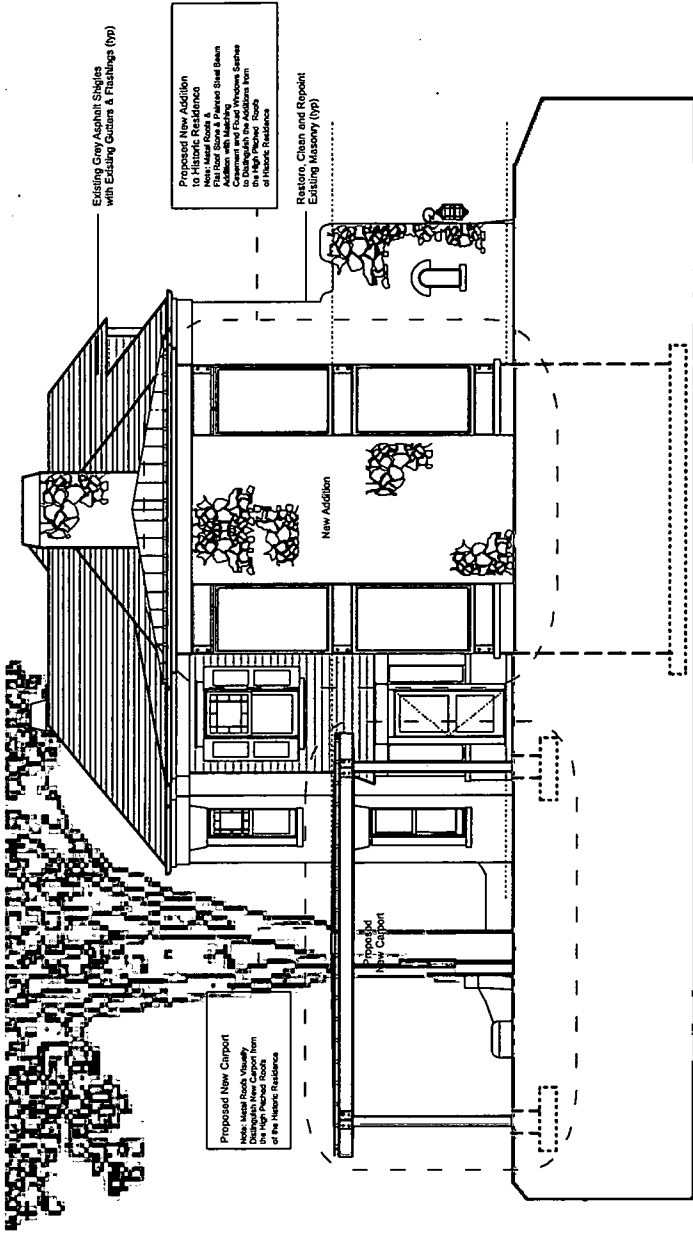
Consultants : TBD

Professional Certification:  
 I hereby certify that these documents were prepared by me or under my direct supervision and that I am a duly licensed professional architect under the laws of the State of Maryland. Date: 10.13.2012

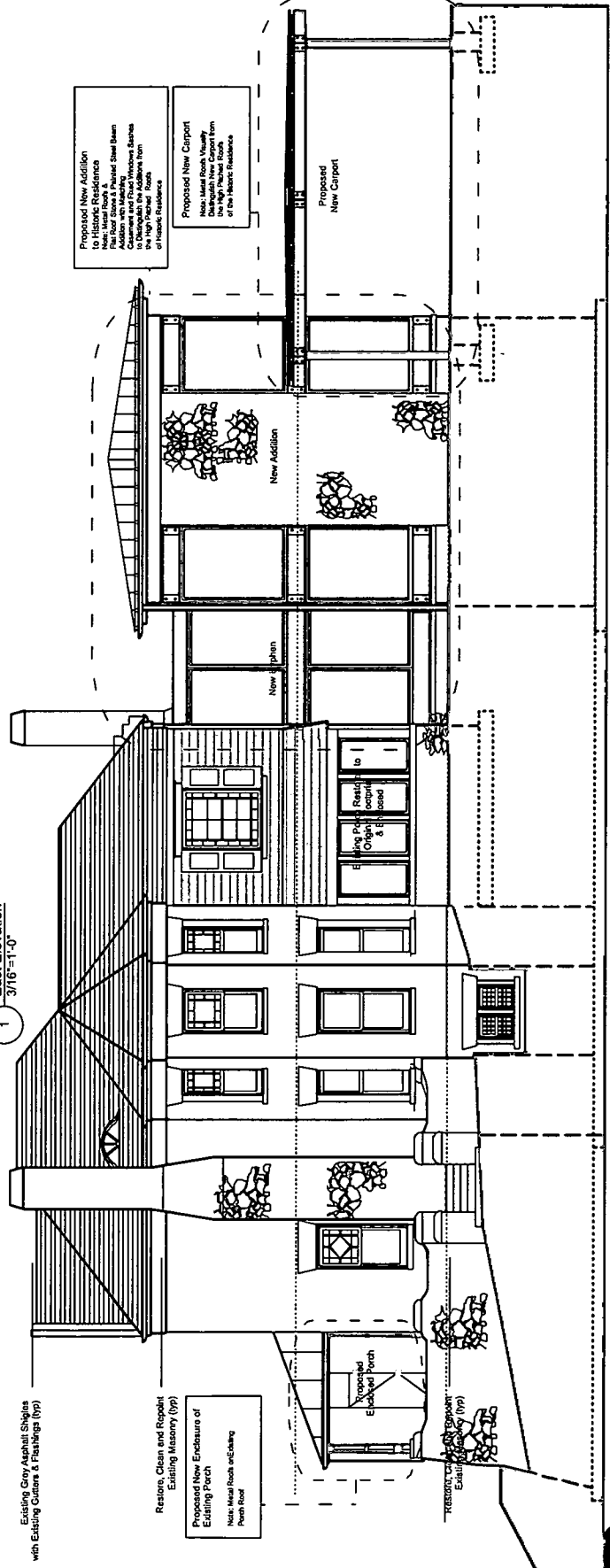
Elevations  
 Scale: 3/16"=1'-0"

13 June 2013

**A.201**



1 East Elevation  
 3/16"=1'-0"



2 South Elevation  
 3/16"=1'-0"

21

**McNair Residence**

**Owner:**  
 Ross McNair  
 5415 Mohican Road  
 Beltsville, MD 20816

**Current Issue:**  
 Revised Historic  
 Submittal

**Revisions:**

**Pollock Dickerson Associates, PC**

**Architect:**  
 PDA  
 5640 Nicholson Lane  
 Suite 300  
 Rockville, Maryland 20852  
 Tel 301.237.7542

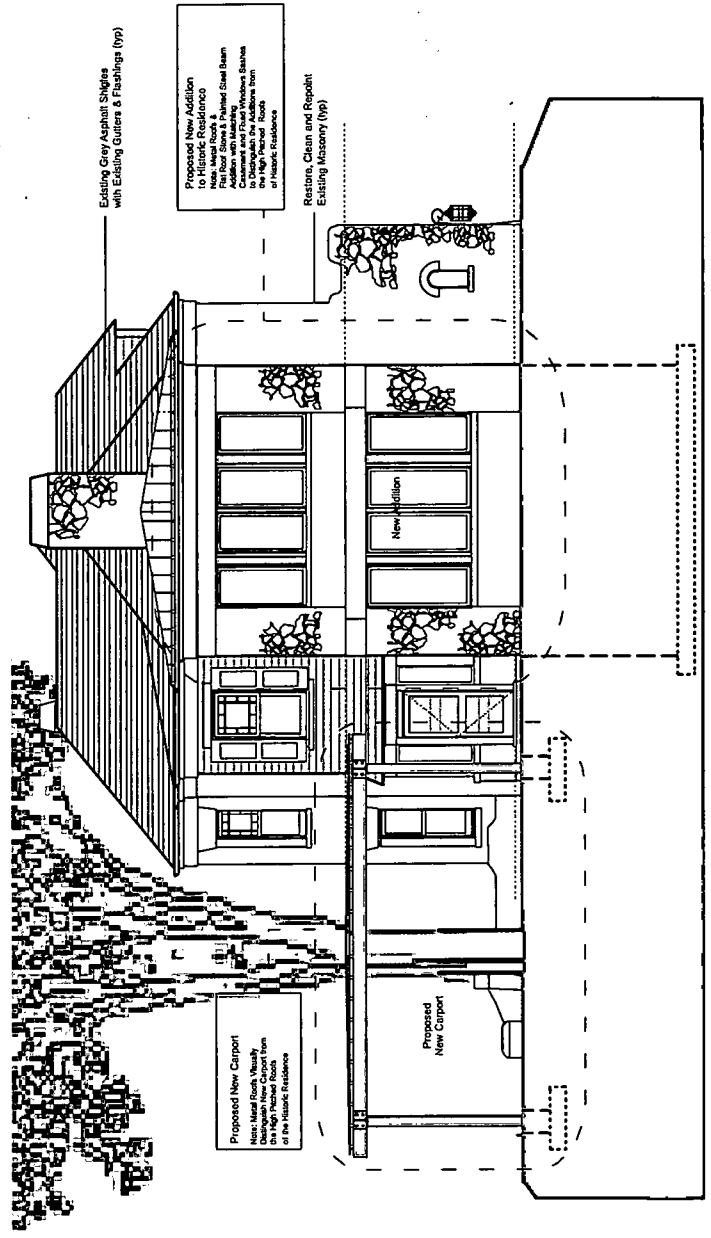
**Consultants:** TBD

**Professional Certification:**  
 I hereby certify that these documents were prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Maryland. My License No. is 1575. Expiration Date: 10-18-2012

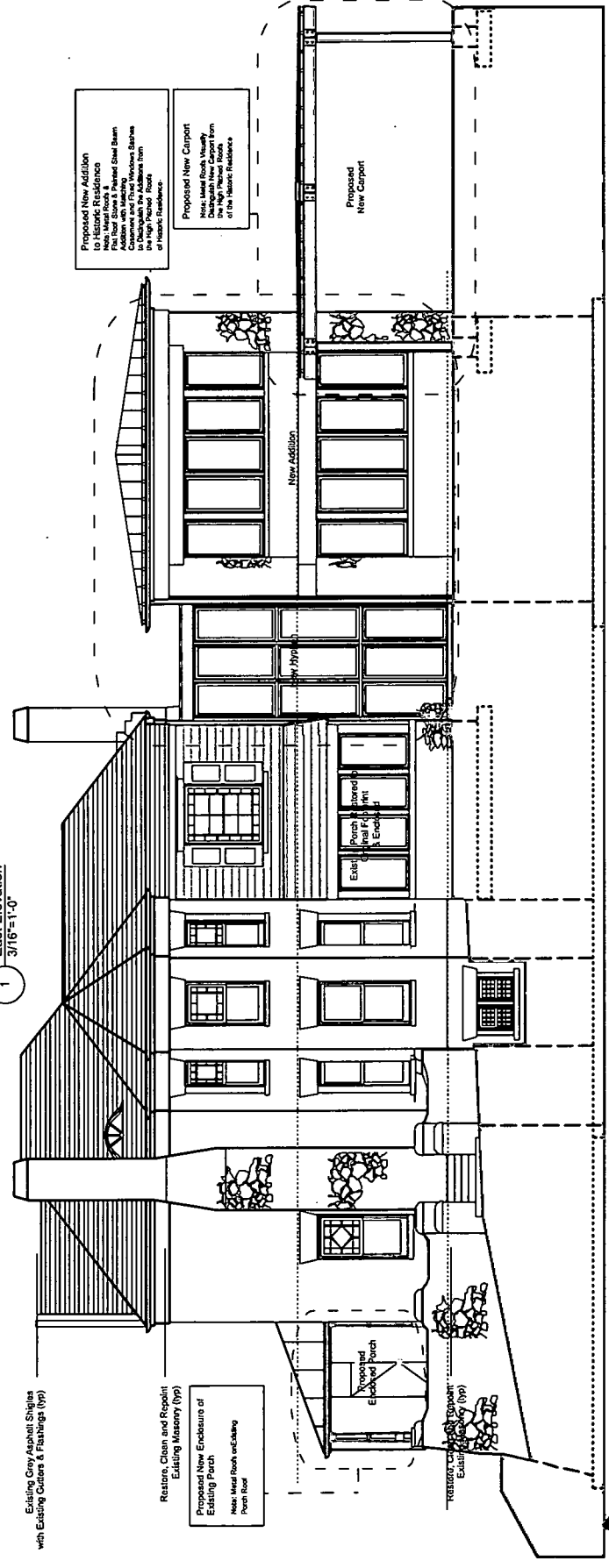
**Elevations**  
 Scale: 3/16"=1'-0"

13 June 2013

**B.201**



1 East Elevation  
 3/16"=1'-0"



2 South Elevation  
 3/16"=1'-0"

22

**McNair Residence**

Owner:

Ross McNair  
5415 Mohican Road  
Beltsville, MD 20816

Current Issue:  
**Revised Historic  
Submittal**

Revisions:

**Pollock Dickerson  
Associates, PC**

Architect:  
PDA  
3840 Nicholson Lane  
Rockville, Maryland 20852  
Tel 301.237.7542

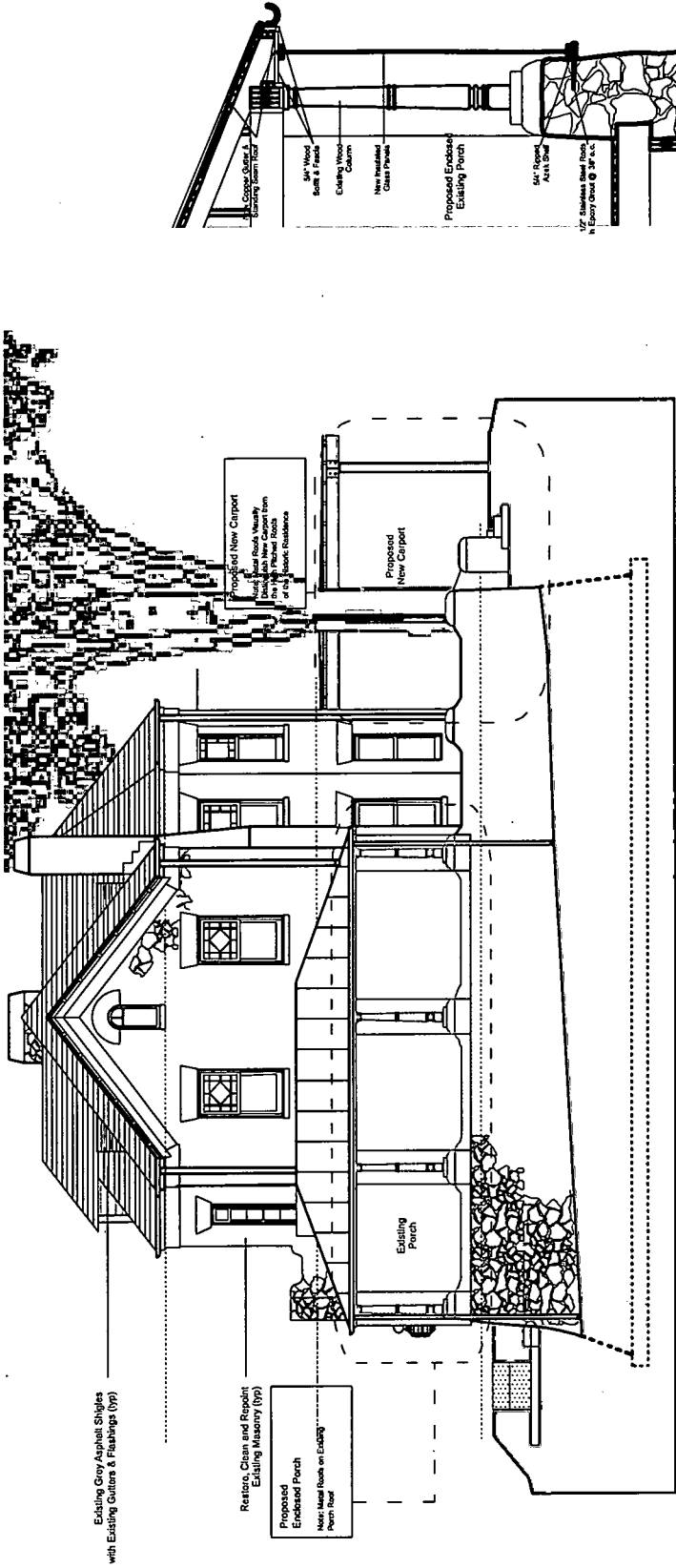
Consultants: TBD

Professional Certification:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Architect in the State of Maryland.  
License No. 1228 Expiration Date: 10/12/2017

Elevations  
Scale: 3/16"=1'-0"

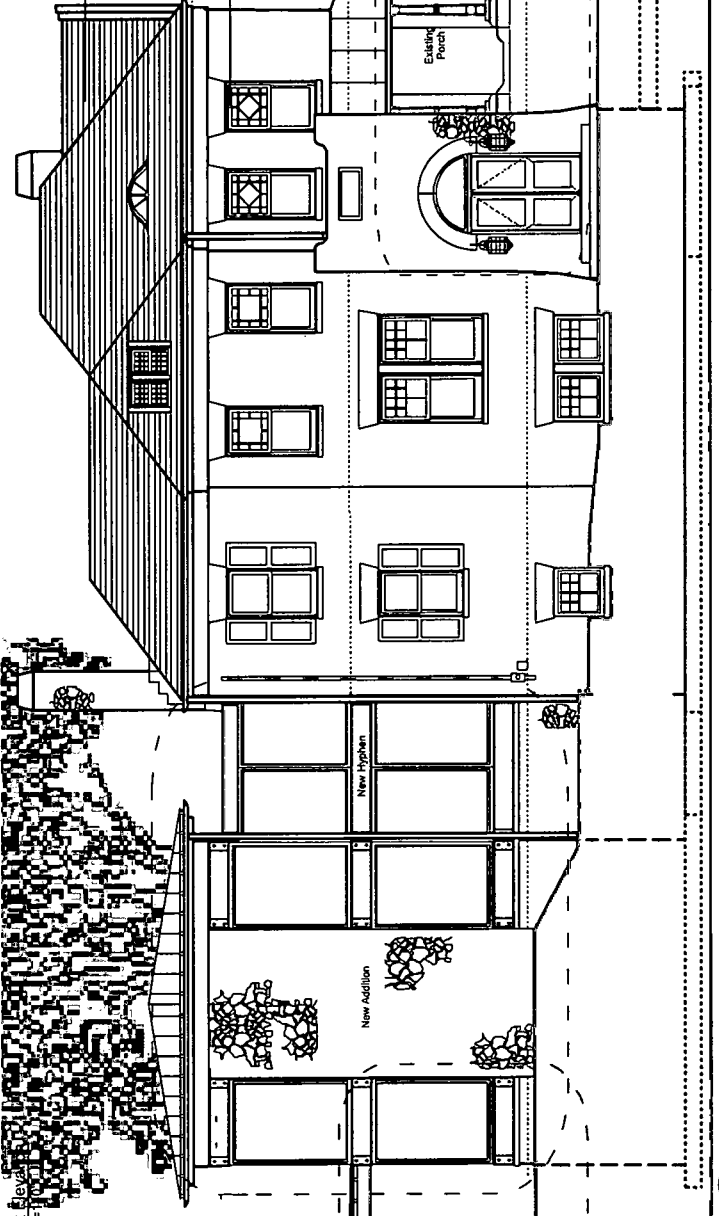
13 June 2013

**A.200**



3 Porch Glazing Detail  
1/2"=1'-0"

Existing Gray Asphalt Shingles with Existing Gutter & Flashings (typ)



2 North Elevation  
3/16"=1'-0"

Proposed New Addition to Historic Residence Note: Metal Roofs, Vinyl Siding, New Gutter from Existing New Carport to be Discontinued to Accommodate New Addition of Historic Residence

Proposed New Carport Note: Metal Roofs, Vinyl Siding, New Gutter from Existing New Carport to be Discontinued to Accommodate New Addition of Historic Residence



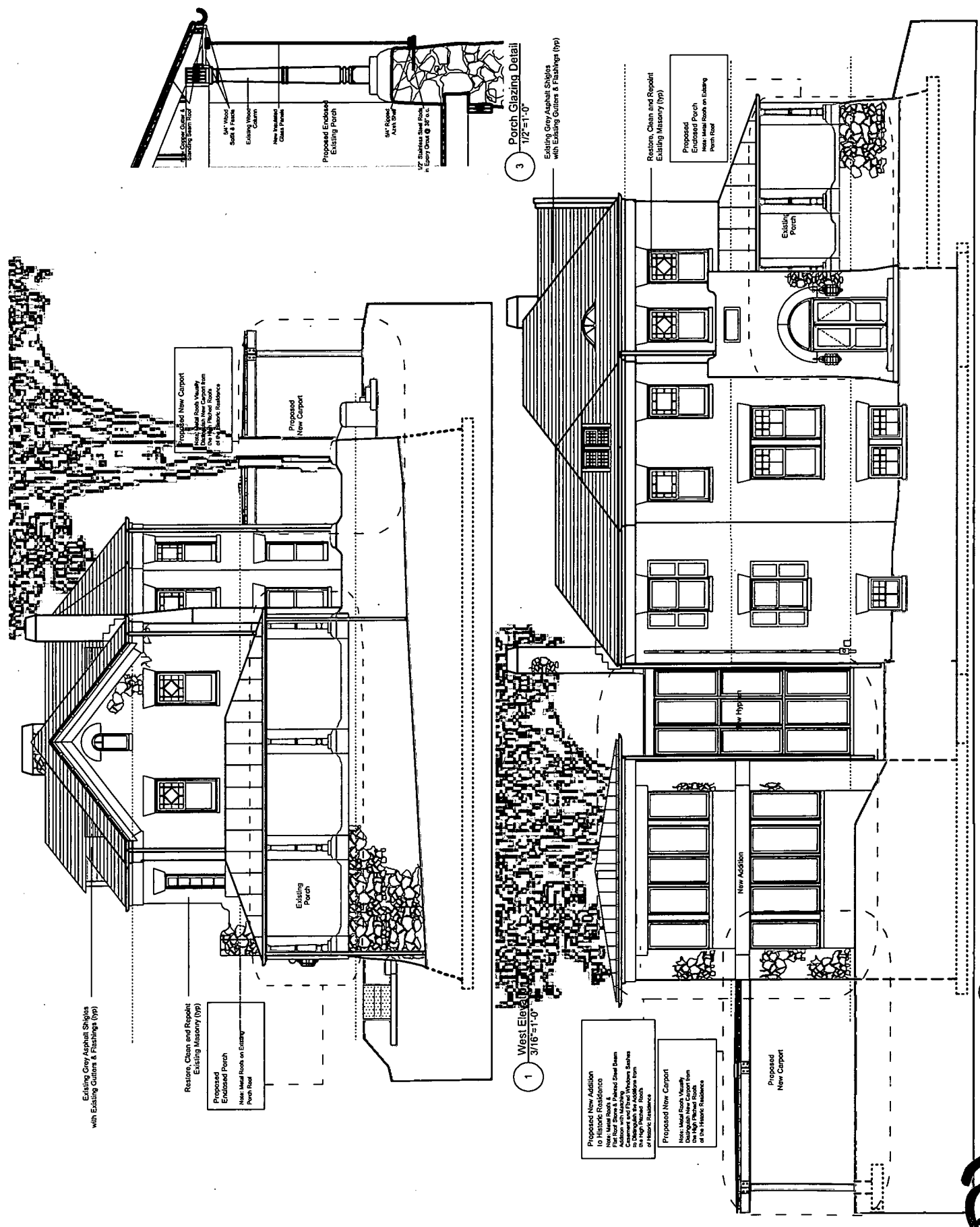
**McNair Residence**  
 Owner: Ross McNair  
 5415 Mohican Road  
 Bethesda, MD 20816  
 Current Issue: Revised Historic Submittal  
 Revisions:

**Pollock Dickerson Associates, PC**  
 Architect:  
 P.O.A.  
 2940 Nicholson Lane  
 Rockville, MD  
 Rockville, Maryland 20852  
 Tel 301.237.7542

Consultants: TBD  
 Professional Contribution:  
 I hereby certify that these documents are prepared or approved by me, and that I am a duly Licensed Professional Architect in the State of Maryland.  
 License No. 6226 Expiration Date: 04.12.2015

Elevations  
 Scale: 3/16"=1'-0"  
 13 June 2013

**B.200**



Existing Grey Asphalt Shingles with Existing Gutters & Flashings (typ)

Restore, Clean and Recoat Existing Masonry (typ)

Proposed Enclosed Porch  
 New Metal Roofs on Existing Porch Roof

Existing Porch

Proposed New Carport  
 Finish: Metal Roofs Visually Coordinate New Carport from the Historic Residence

1 West Elevation  
 3/16"=1'-0"

Proposed New Addition  
 Finish: Metal Roofs & Flashings  
 Flat Roof Stone & Painted Steel Beam  
 New Metal Roofs & Flashings  
 Coordinate and Flash Windows Sashes  
 to Historic Porch  
 to Historic Residence

Proposed New Carport  
 Note: Metal Roofs Visually Coordinate New Carport from the Historic Residence

Proposed New Carport

New Addition

Existing Porch

Restore, Clean and Recoat Existing Masonry (typ)

Proposed Enclosed Porch  
 New Metal Roofs on Existing Porch Roof

3 Porch Glazing Detail  
 1/2"=1'-0"

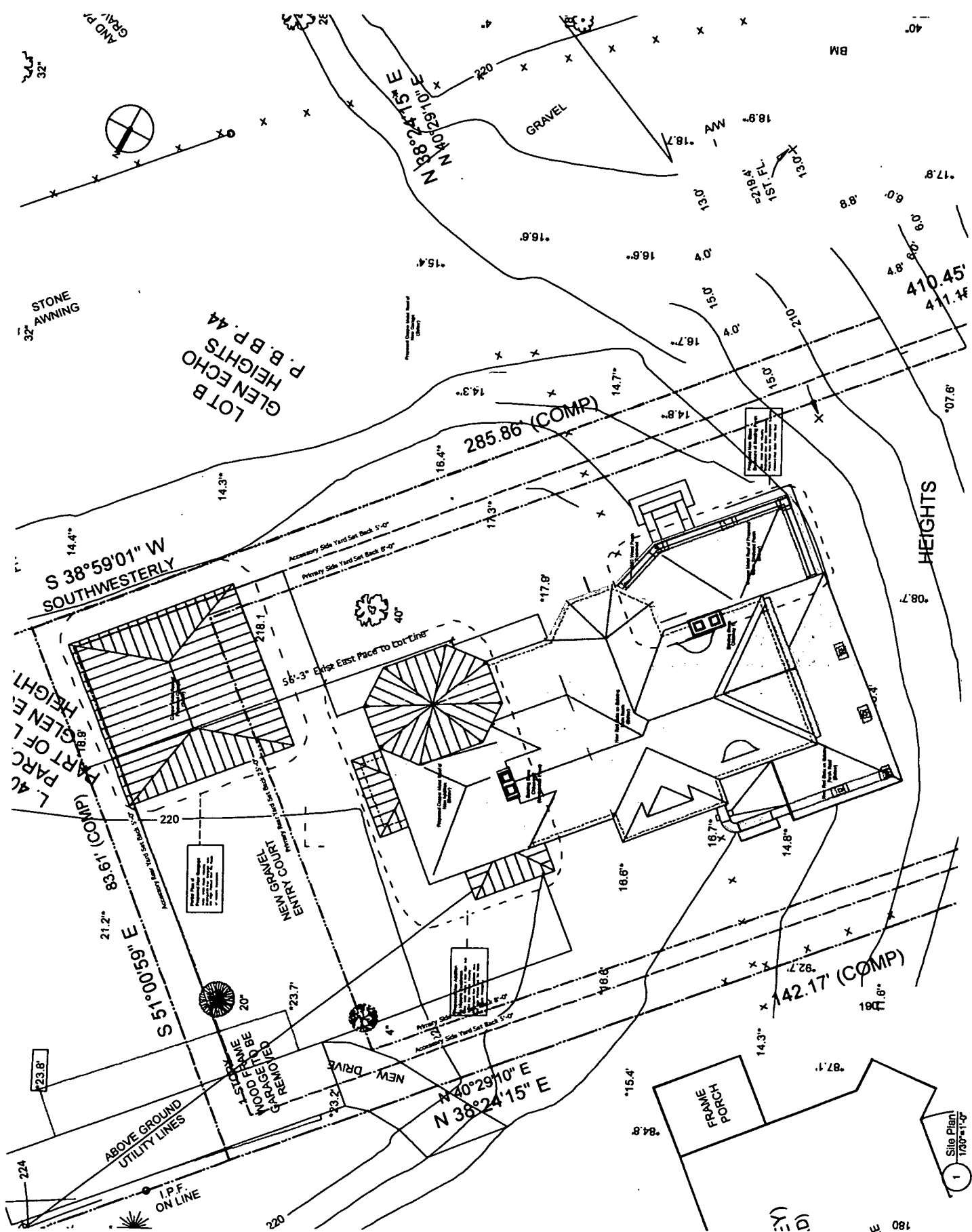
Existing Grey Asphalt Shingles with Existing Gutters & Flashings (typ)

2 North Elevation  
 3/16"=1'-0"

24

**1<sup>st</sup> Preliminary Consultation**

**Option A**

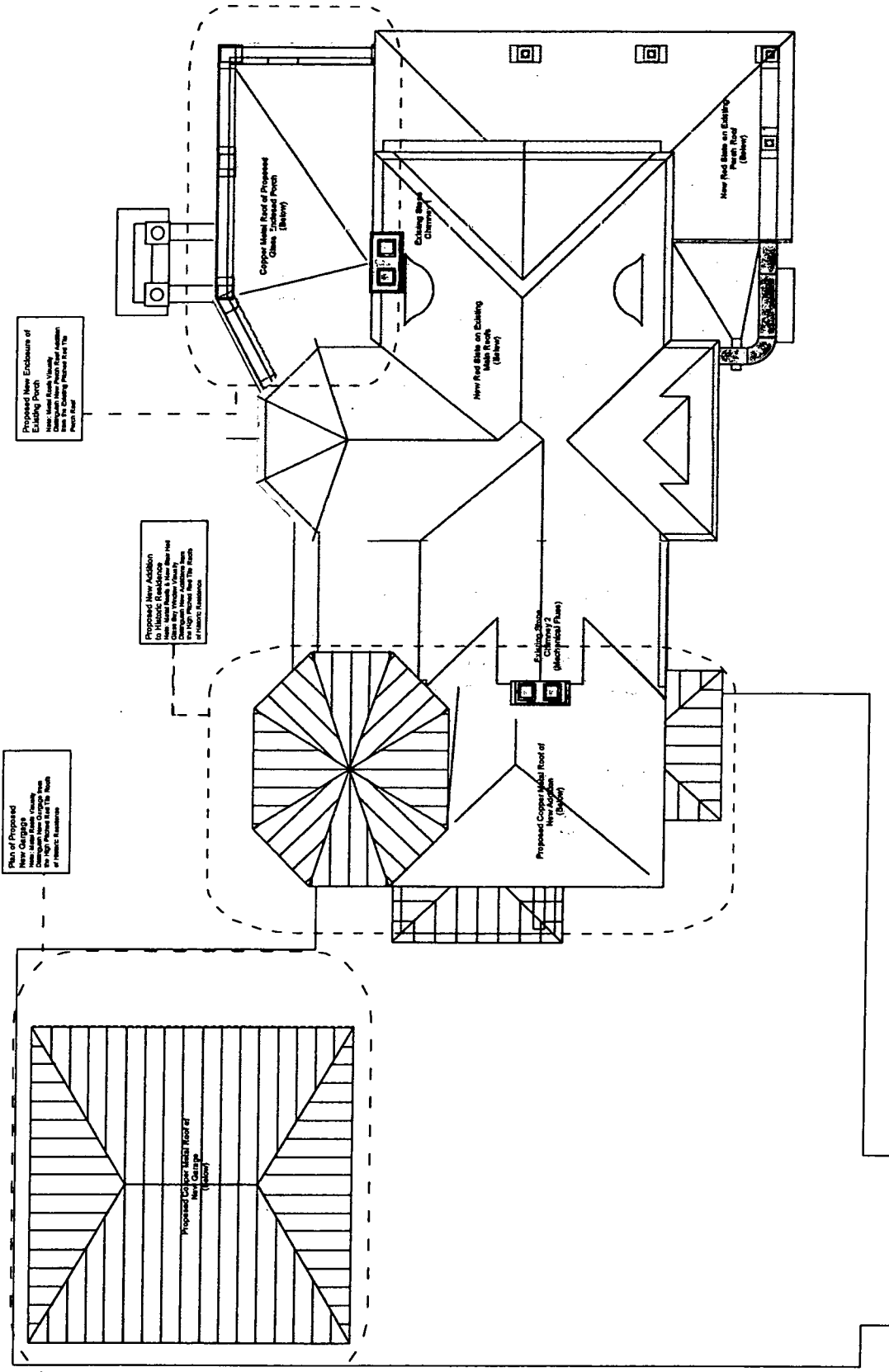


410.45'  
411.4'

HEIGHTS

1 Site Plan  
1/800 = 1/4"





Proposed New Enclosure of Existing Main House. Existing Main House Parapet Roof. New Metal Deck Under. Existing Main House Parapet Roof. Existing Main House Parapet Roof. Existing Main House Parapet Roof. Existing Main House Parapet Roof.

Proposed New Addition. Existing Main House Parapet Roof. Existing Main House Parapet Roof. Existing Main House Parapet Roof. Existing Main House Parapet Roof. Existing Main House Parapet Roof.

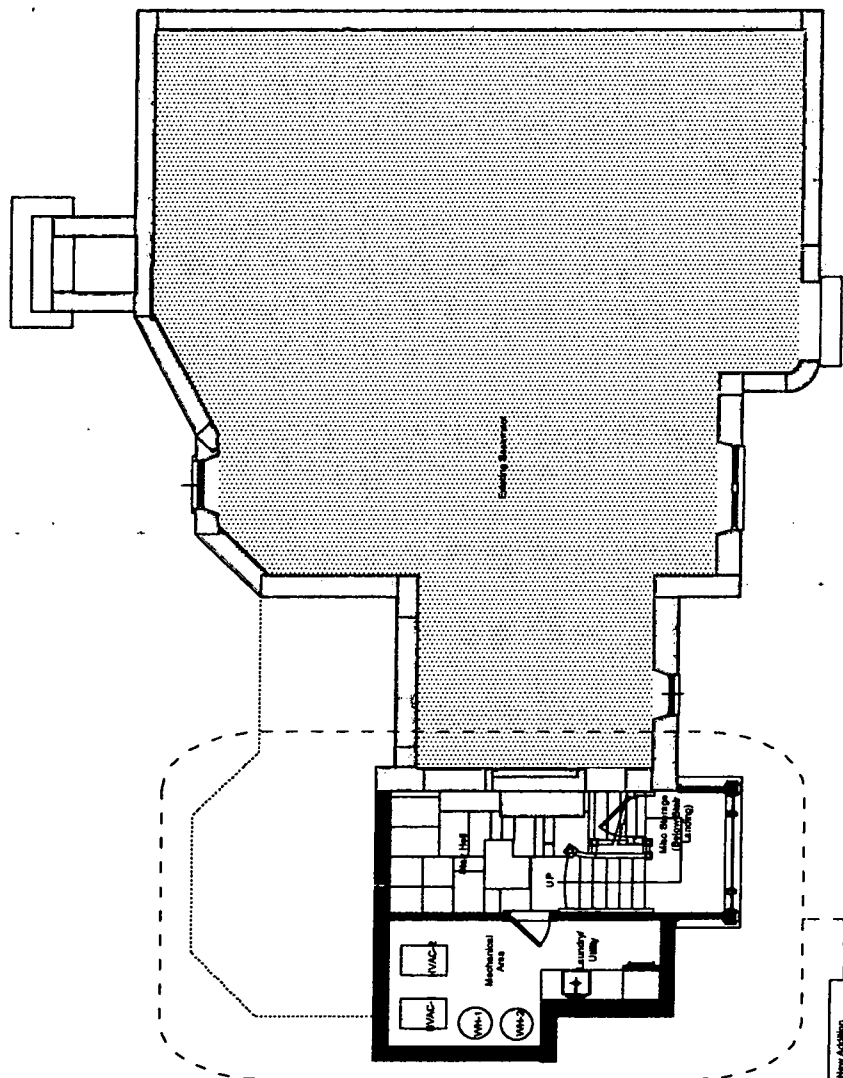
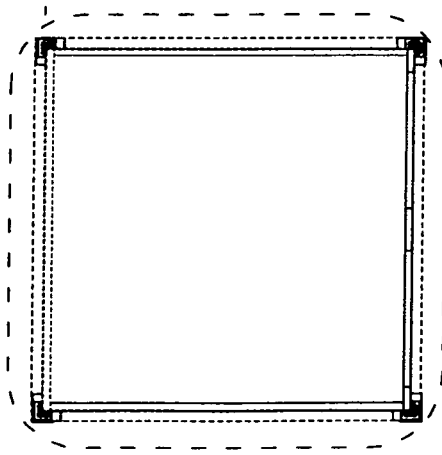
Plan of Proposed New Glass Enclosure. Existing Main House Parapet Roof. Existing Main House Parapet Roof. Existing Main House Parapet Roof. Existing Main House Parapet Roof. Existing Main House Parapet Roof.

Proposed Copper Metal Roof of New Addition (Mechanical Room).

1 Roof Plan 3/16"=1'-0"

27

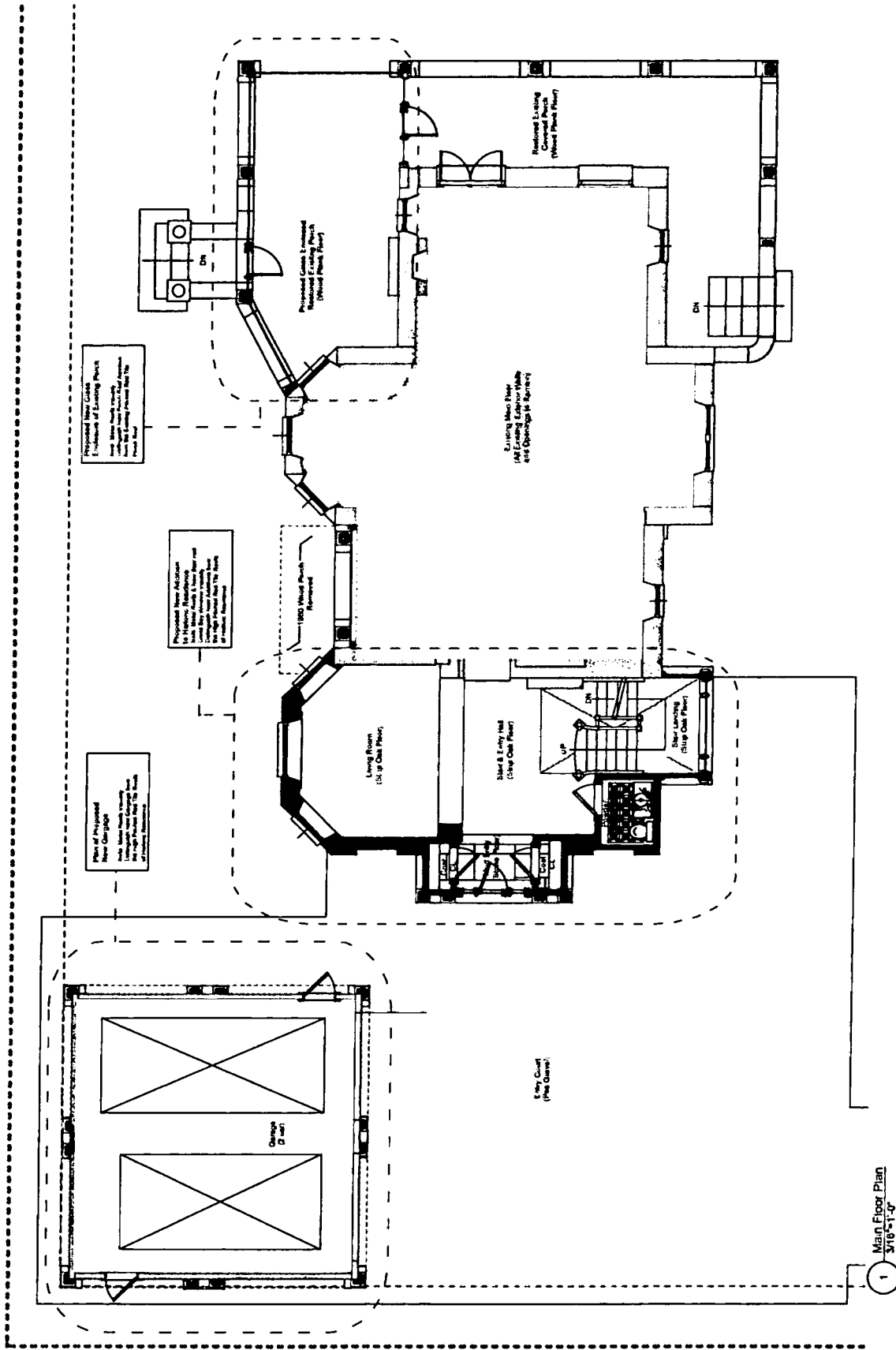
Foundation Plan of  
Proposed New Garage  
Disregard from Garage  
at Right Hand Side of Block  
at Historic Residence



Proposed New Addition  
to Historic Residence  
Disregard from Addition  
at Right Hand Side of Block  
at Historic Residence

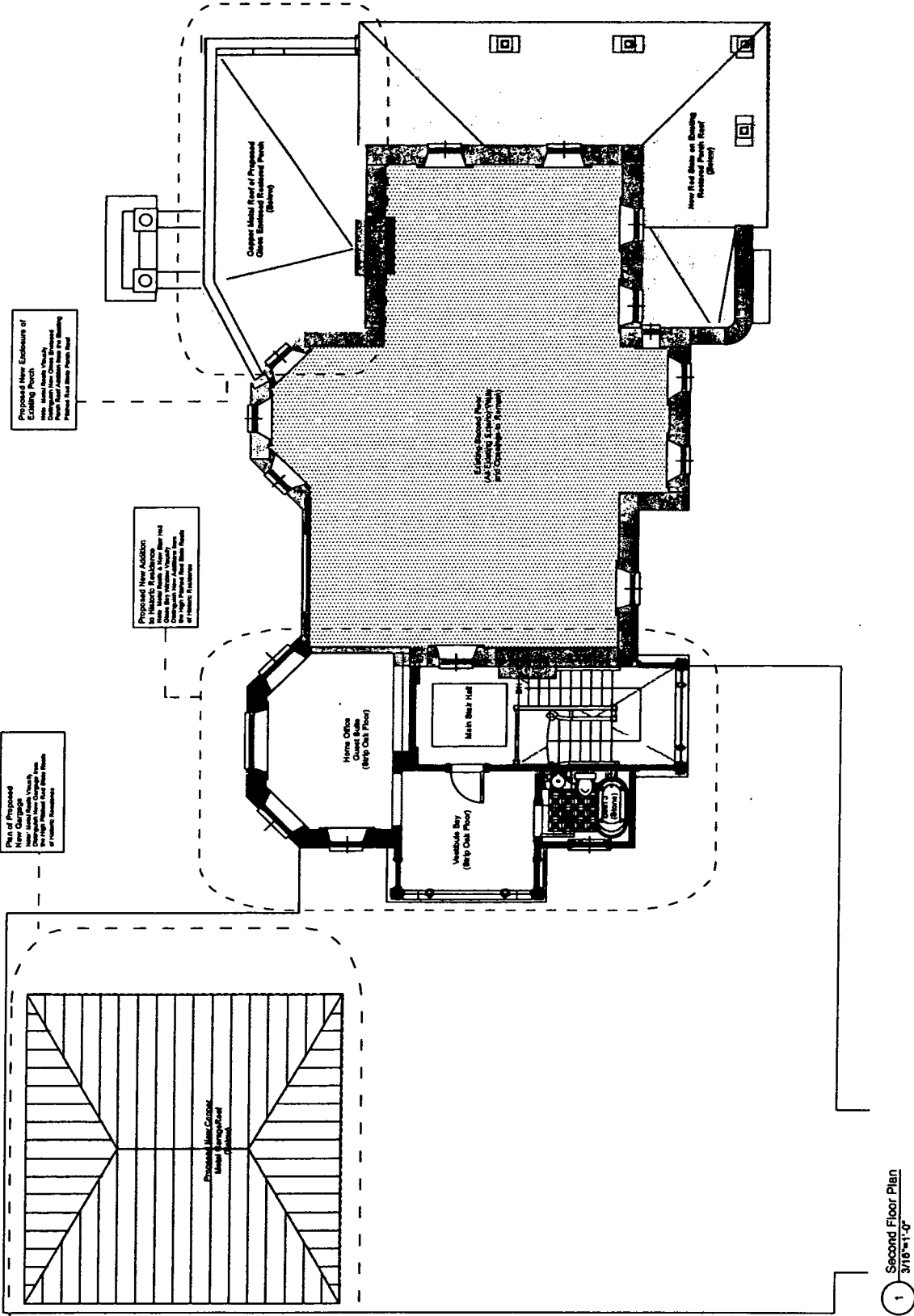
1 Basement Plan  
3/16"=1'-0"





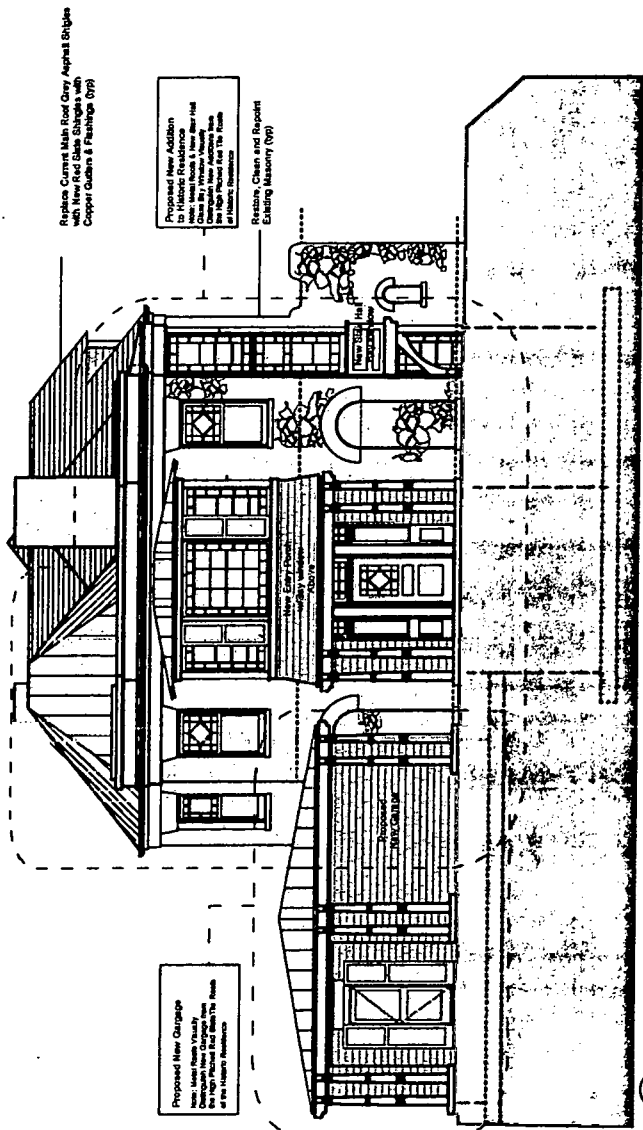
1 Main Floor Plan  
3/10-1-0





1 Second Floor Plan  
 3/16"=1'-0"



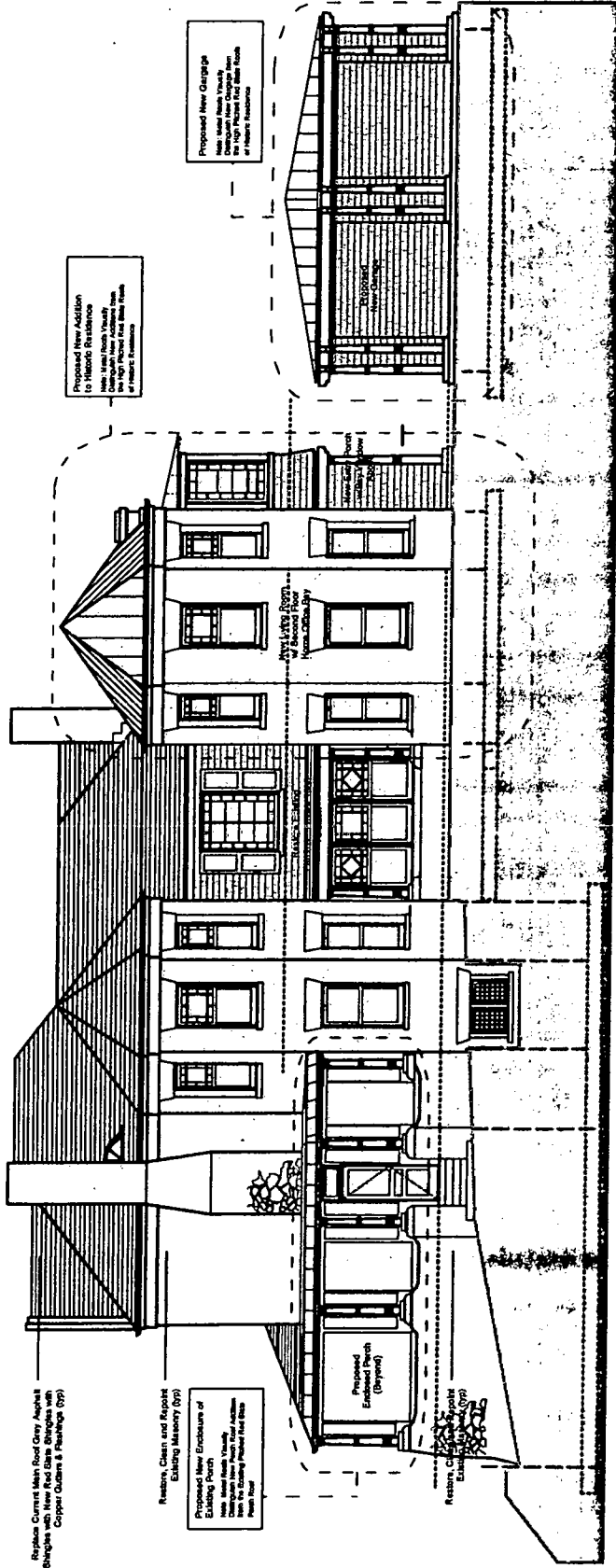


Proposed New Garage  
Note: New Main Roof, Vinyl Siding, New Main Porch, and New Porch Enclosure are to be in the Historic Residence

Proposed New Addition to Historic Residence  
Note: New Main Roof, Vinyl Siding, New Main Porch, and New Porch Enclosure are to be in the Historic Residence

Restore, Clean and Repoint Existing Masonry (NY)

1 East Elevation  
3/18" = 1'-0"



Proposed New Garage  
Note: New Main Roof, Vinyl Siding, New Main Porch, and New Porch Enclosure are to be in the Historic Residence

Proposed New Addition to Historic Residence  
Note: New Main Roof, Vinyl Siding, New Main Porch, and New Porch Enclosure are to be in the Historic Residence

Restore, Clean and Repoint Existing Masonry (NY)

Proposed New Enclosure of Existing Porch  
Note: New Main Roof, Vinyl Siding, New Main Porch, and New Porch Enclosure are to be in the Historic Residence

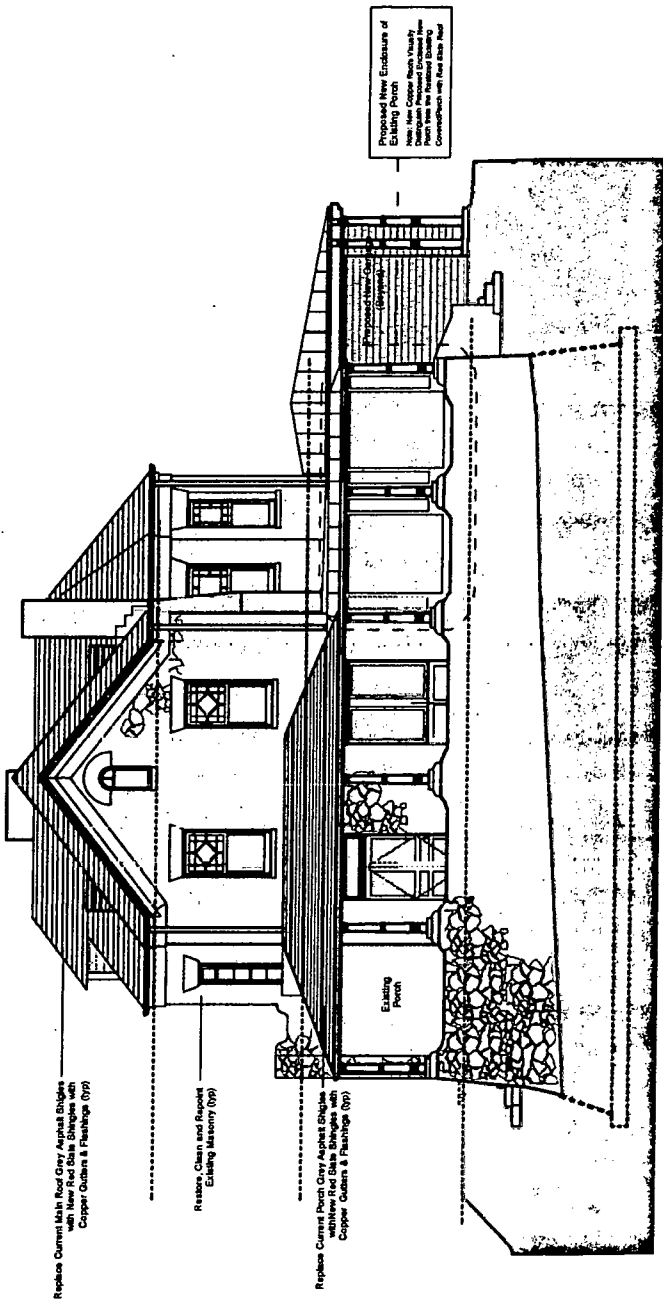
Proposed New Garage  
Note: New Main Roof, Vinyl Siding, New Main Porch, and New Porch Enclosure are to be in the Historic Residence

Proposed New Enclosure of Existing Porch  
Note: New Main Roof, Vinyl Siding, New Main Porch, and New Porch Enclosure are to be in the Historic Residence

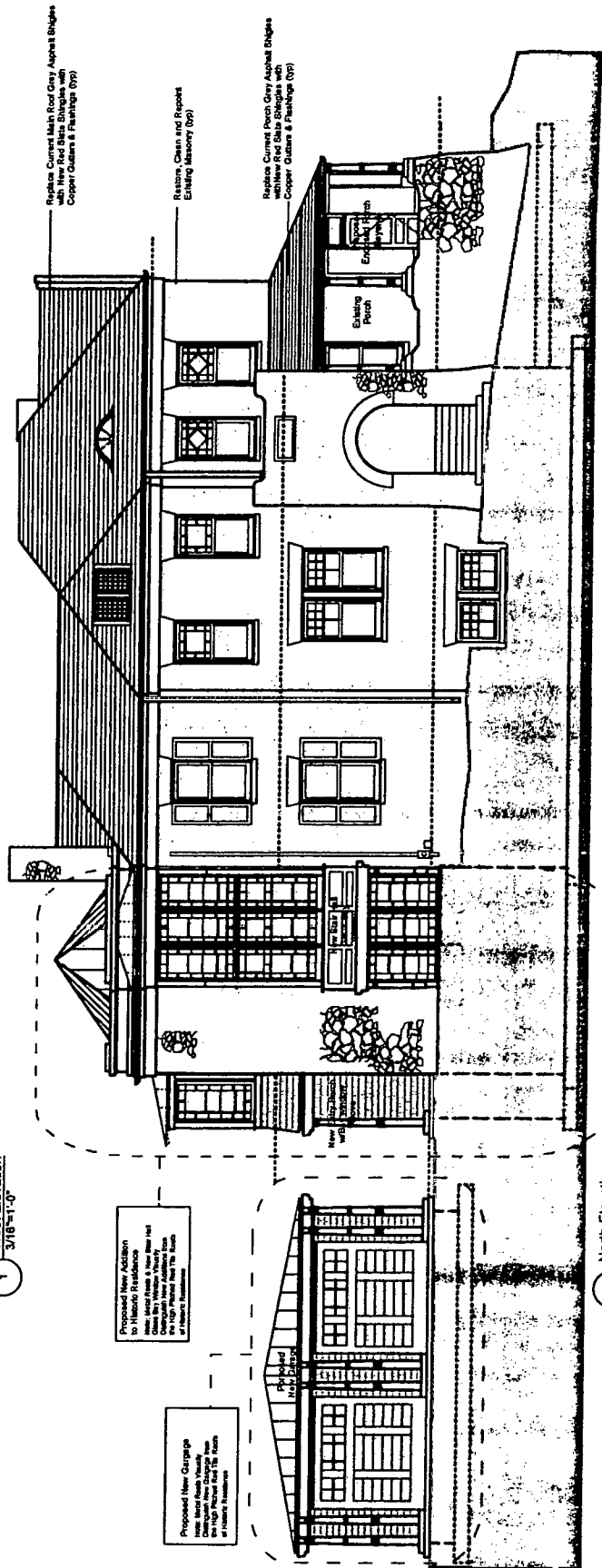
2 South Elevation  
3/18" = 1'-0"







1 West Elevation  
3/16"=1'-0"



2 North Elevation  
3/16"=1'-0"



**1<sup>st</sup> Preliminary Consultation**

**Option B**

**McNair Residence**

Owner:  
 Ross McNair  
 6115 Mablean Road  
 Gaithersburg, MD 20878  
 Current Use:  
 Prelim Historic  
 Submittal  
 Revision:

Architect:  
 Pollock Dickerson  
 Associates, PC

Architect:  
 PDA  
 5640 Nicholson Lane  
 Suite 300  
 Rockville, Maryland 20852  
 Tel: 301.227.7542

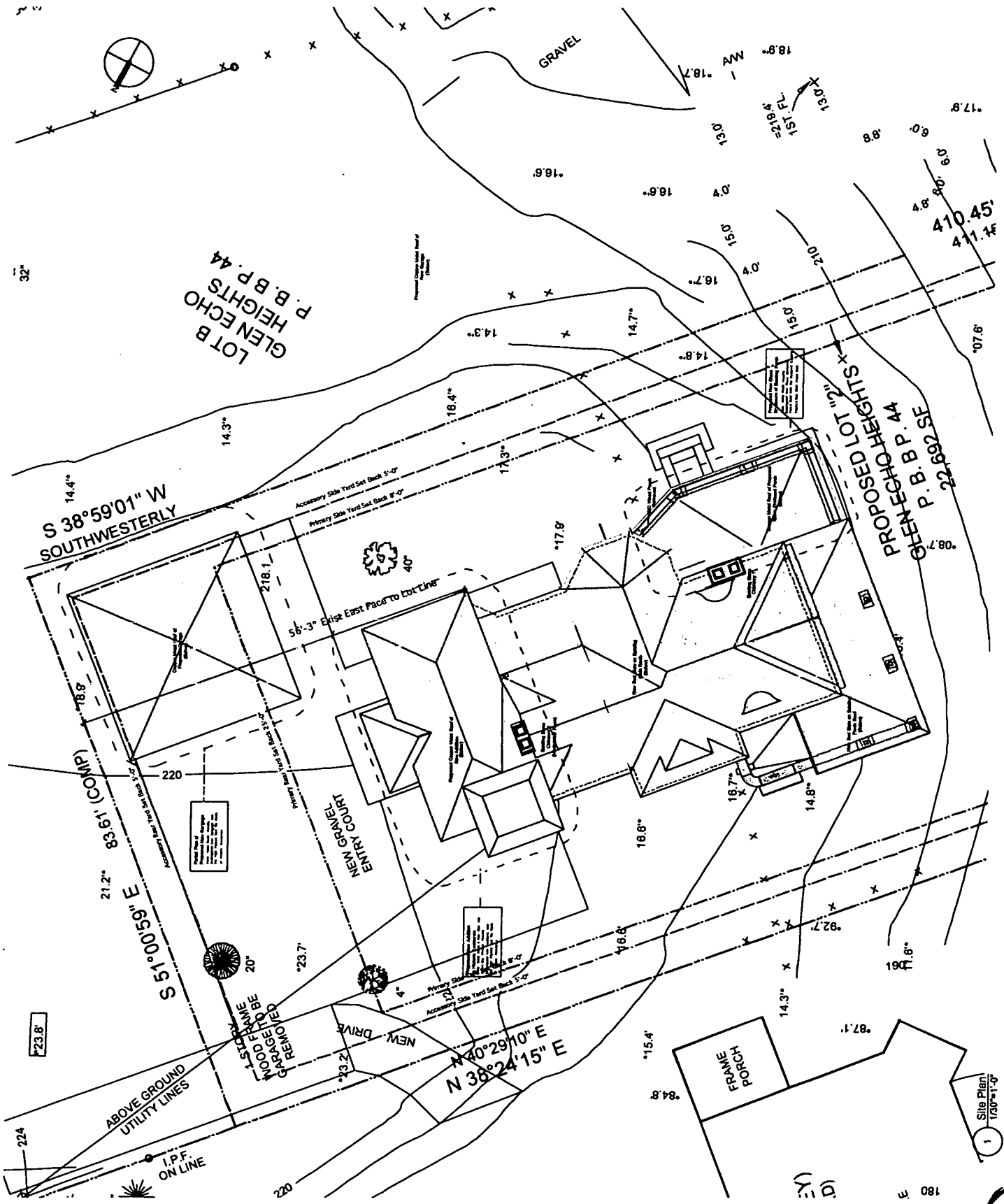
Consultants: TBD

Professional Certification:  
 I am a duly licensed Professional Engineer in the State of Maryland. I am duly licensed in the State of Maryland. I am duly licensed in the State of Maryland.

Site Plan  
 Scale: 1"=30'-0"

2 January 2013

**A.001**



1 Site Plan  
 1/30"=1'-0"

39

**McNair  
Residence**

Owner:  
Rosa Mottler  
419 Hickman Road  
Crown Ebor, MD 20816  
Current Year  
Project: Historic  
Submittal  
Revisions:

**Pollock Dickerson  
Associates, PC**

Architect:  
PDA - Pollock Dickerson  
300  
Rockville, Maryland 20852  
Tel 301.237.7542

Consultants: TBD

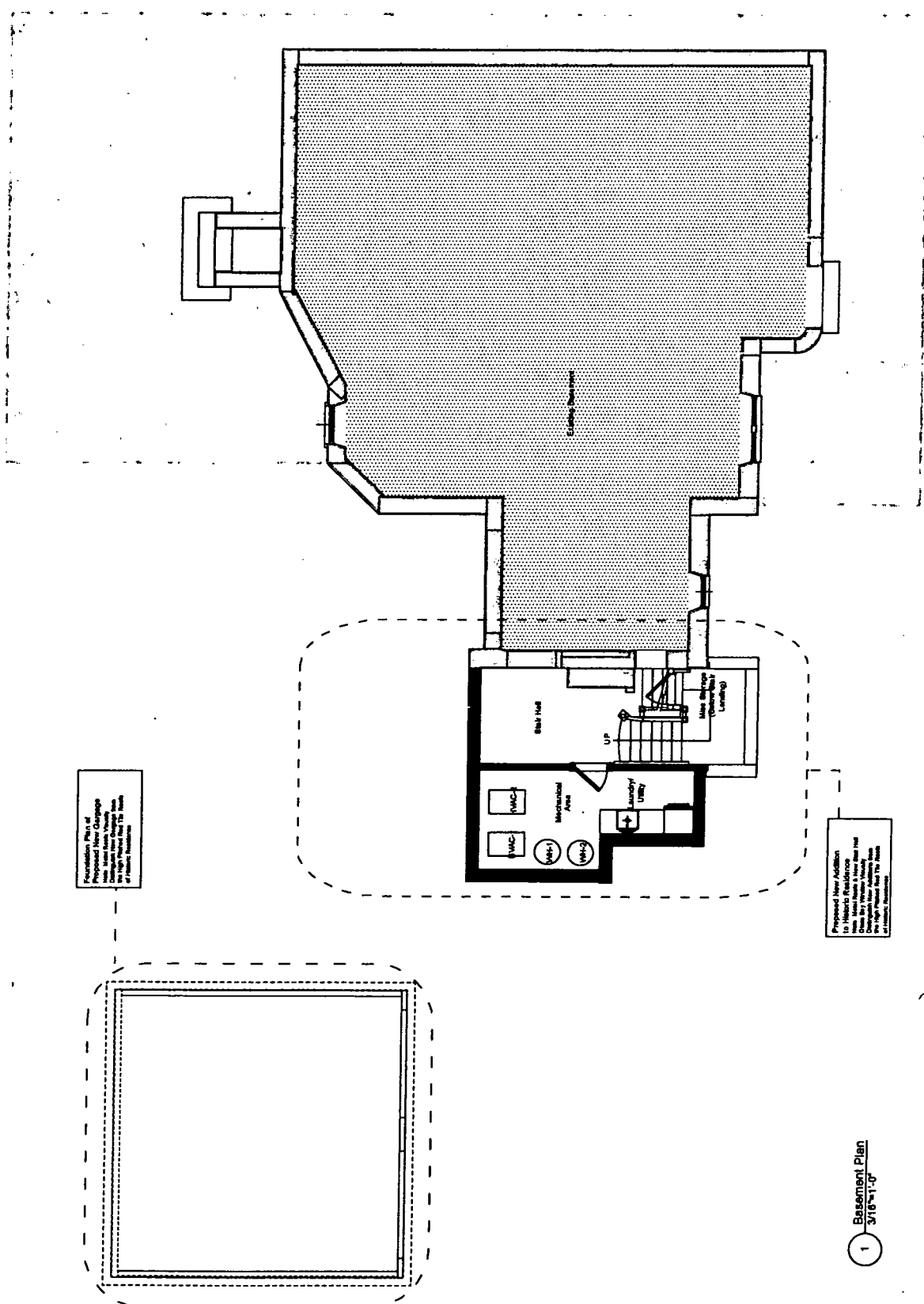
Professional Certification:  
I am a duly Licensed Professional Architect in the State of Maryland, License No. 112913  
I am a duly Licensed Professional Engineer in the State of Maryland, License No. 112913  
I am a duly Licensed Professional Engineer in the State of Maryland, License No. 112913

**Basement Plan**

Scale: 3/16" = 1'-0"

2 January 2013

**A.100**



1 Basement Plan  
3/16" = 1'-0"

35

**McNair  
Residence**

Owner:  
Rosa McNair  
5415 Mohican Road  
Glen Echo, MD 20818

Current Issue:  
Preliminary Historic  
Restoration

**Pollock Dickerson  
Associates, PC**

Architect:  
PDA  
8640 Nicholson Lane  
Rockville, Maryland 20852  
Tel: 301.237.7542

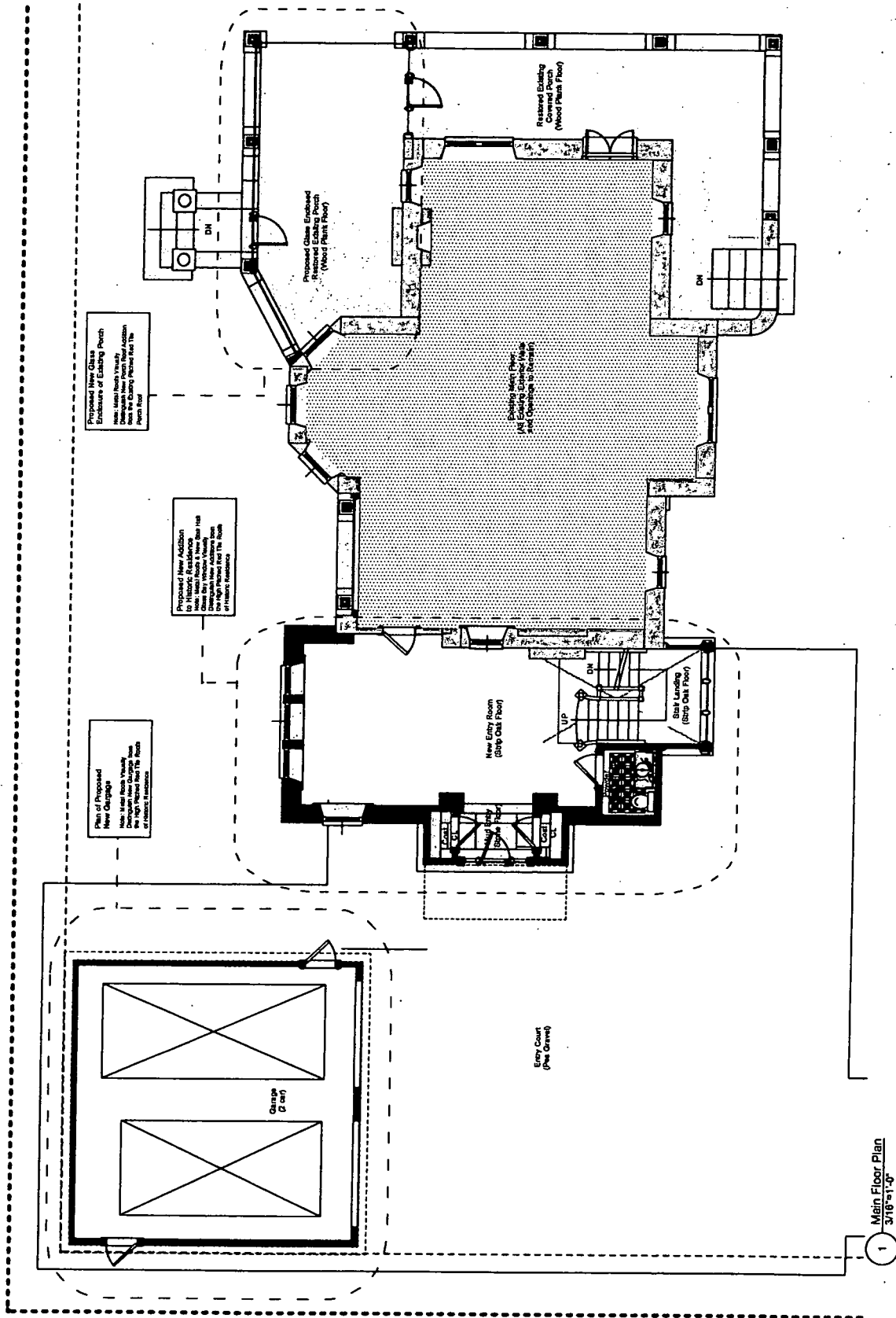
Consultants: TBD

Professional Certification:  
I am a duly licensed Professional Architect in the State of Maryland and I am duly licensed in the State of Virginia. My license number is 13298 and my registration number is 13298. My registration expires on 06/30/2013.

Main Floor Plan  
Scale: 3/16"=1'-0"

2 January 2013

**A.101**



1 Main Floor Plan  
3/16"=1'-0"

36



# McNair Residence

Owner:  
 Ross McKelr  
 5415 Michens Road  
 Glen Echo, MD 20818

Current Issue:  
 Prelim Historic  
 Submittal  
 Revisions:

Pellock Dickinson  
 Associates, PC

Architect:  
 PDA  
 6640 Nicholson Lane  
 Suite 300  
 Rockville, Maryland 20862  
 Tel: 301.227.7544

Consultants: TBD

Professional Certification:  
 I hereby certify that these documents were prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Maryland. License No. 1223, Expiration Date: 06/15/2017

Elevations  
 Scale: 3/16"=1'-0"

2 January 2013

**A.200**

Replace Current Main Roof Groy Asphalt Shingles with New Red Slate Shingles with Copper Gutters & Flashings (typ)

Proposed New Addition  
 New Second Floor  
 New Main Floor  
 New Entry  
 New Porch  
 New Stairs  
 New Windows  
 New Doors  
 New High Pitched Roof  
 New Masonry  
 New Foundation

Restoration, Clean and Repair  
 Existing Masonry (typ)

Proposed New Garage  
 New Main Floor  
 New Entry  
 New Porch  
 New Windows  
 New Doors  
 New High Pitched Roof  
 New Masonry  
 New Foundation

1 East Elevation  
 3/16"=1'-0"

Replace Current Main Roof Groy Asphalt Shingles with New Red Slate Shingles with Copper Gutters & Flashings (typ)

Proposed New Addition  
 New Second Floor  
 New Main Floor  
 New Entry  
 New Porch  
 New Windows  
 New Doors  
 New High Pitched Roof  
 New Masonry  
 New Foundation

Restoration, Clean and Repair  
 Existing Masonry (typ)

Proposed New Enclosure of  
 Existing Porch  
 New Main Floor  
 New Entry  
 New Porch  
 New Windows  
 New Doors  
 New High Pitched Roof  
 New Masonry  
 New Foundation

Proposed New Garage  
 New Main Floor  
 New Entry  
 New Porch  
 New Windows  
 New Doors  
 New High Pitched Roof  
 New Masonry  
 New Foundation

New Entry  
 New Porch  
 New Windows  
 New Doors  
 New High Pitched Roof  
 New Masonry  
 New Foundation

2 South Elevation  
 3/16"=1'-0"



# McNair Residence

Owner:  
 Ross McNair  
 8419 Alderman Road  
 Glen Echo, MD 20816  
 Current Issue:  
 Prelim Historic  
 Submittal  
 Revisions:

Pollock Dickerson  
 Associates, PC

Architect:  
 P.D.A.  
 5640 Nicholson Lane  
 Suite 300  
 Maryland 20862  
 Tel: 301.237.7542

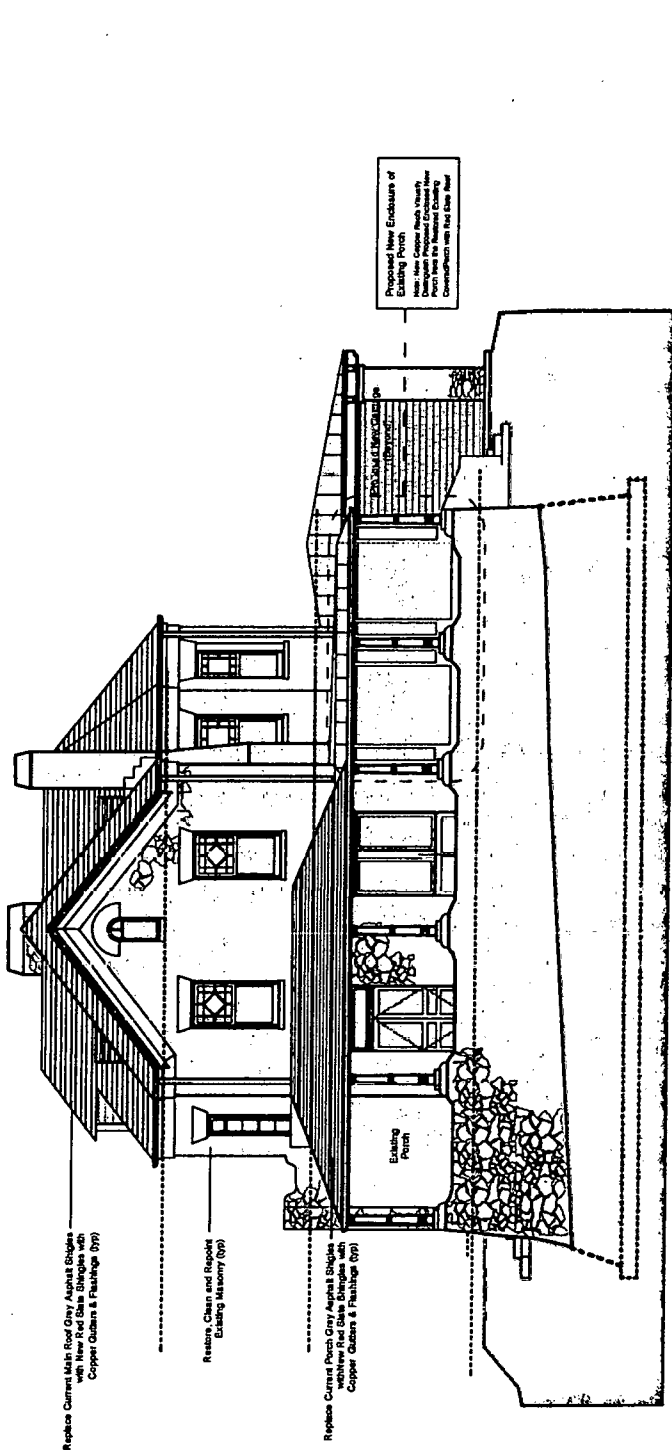
Consultants: TBD

Professional Certification:  
 I am a duly Licensed Professional Architect  
 in the State of Maryland, License No. 1240  
 License No. 1240  
 License No. 1240

Elevations  
 Scale: 3/16"=1'-0"

2 January 2013

## A.201



39



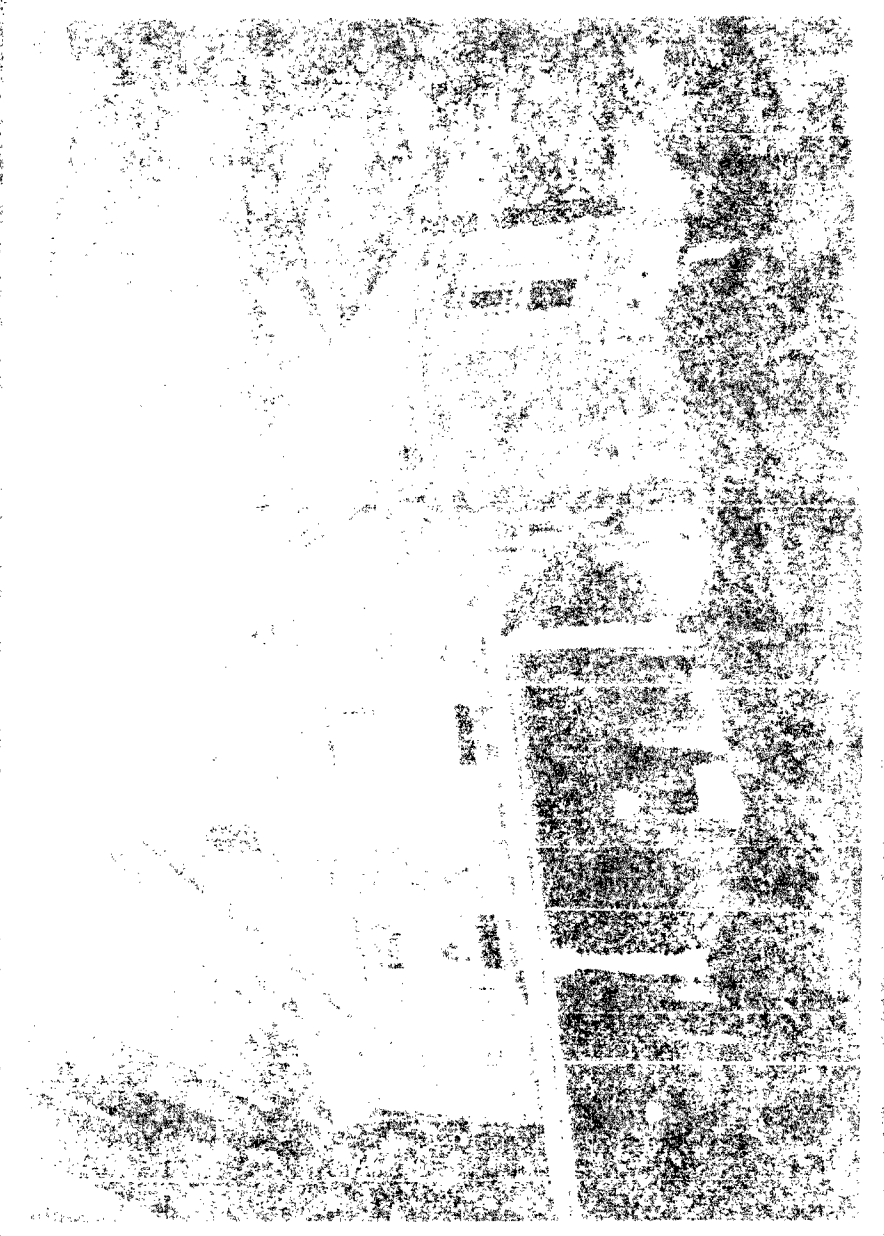
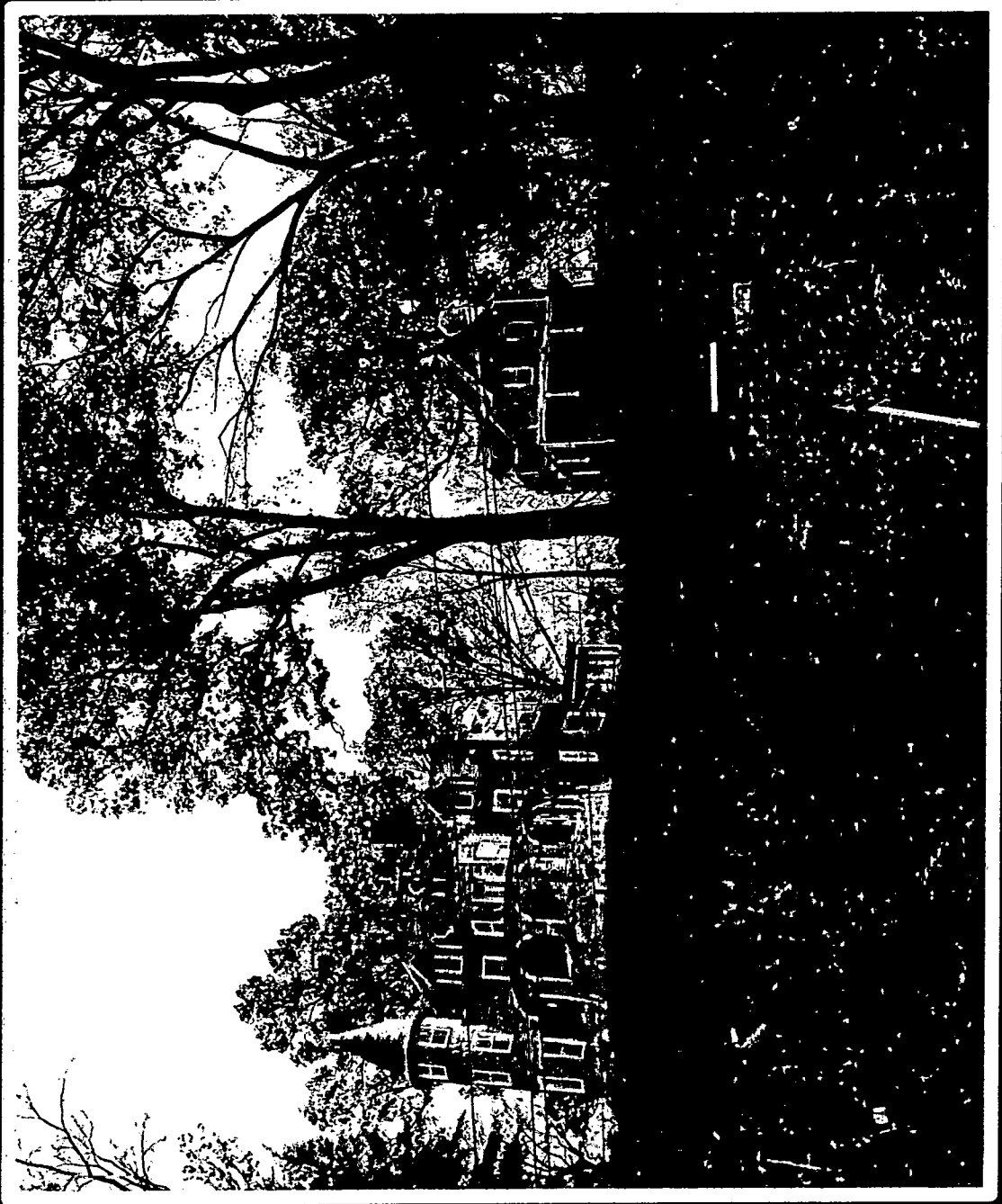


PHOTO COURTESY OF THE  
POLICE DEPARTMENT

Existing Condition Photos

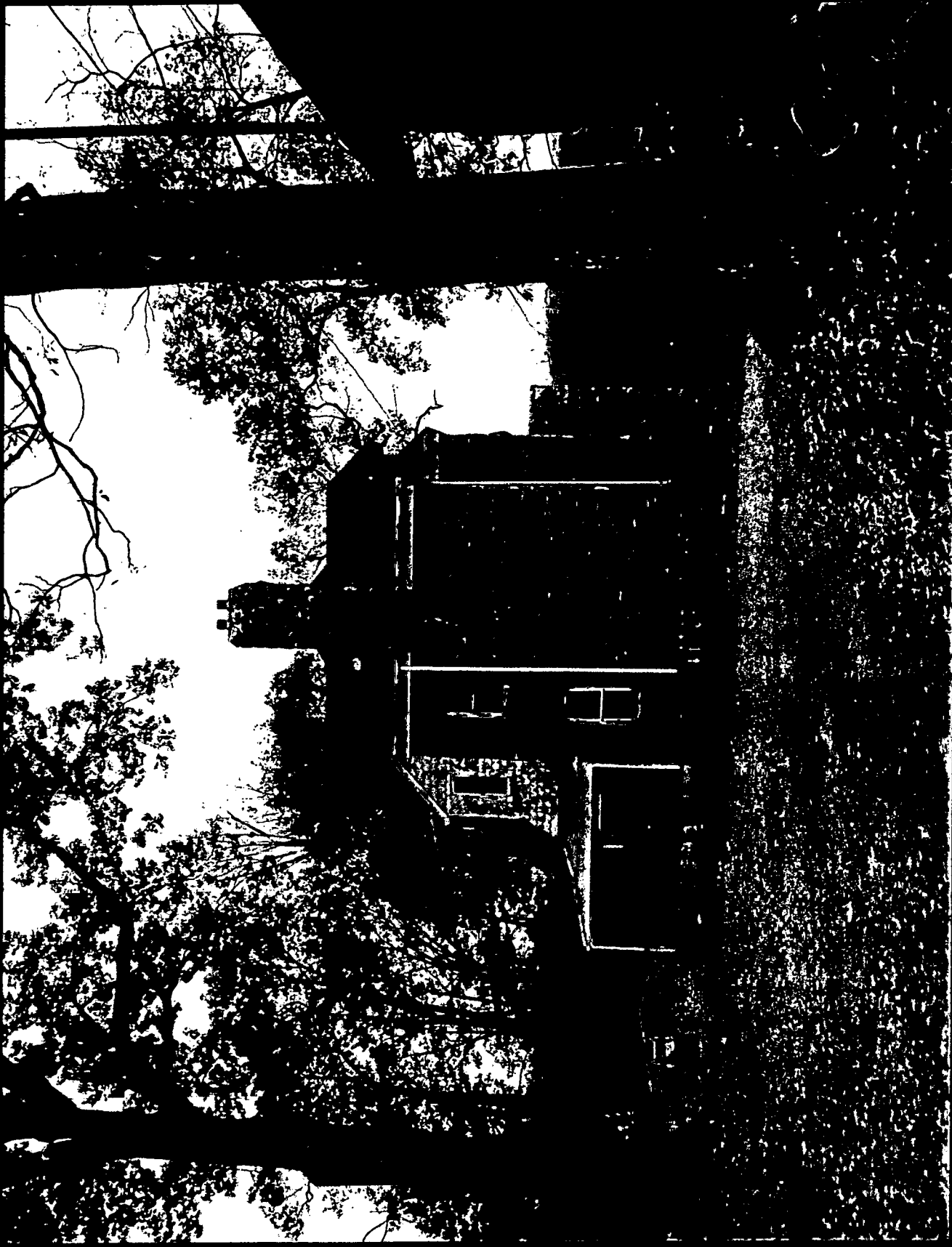




McNair Cottage Existing Condition Photo 1-Entry Drive from East Side



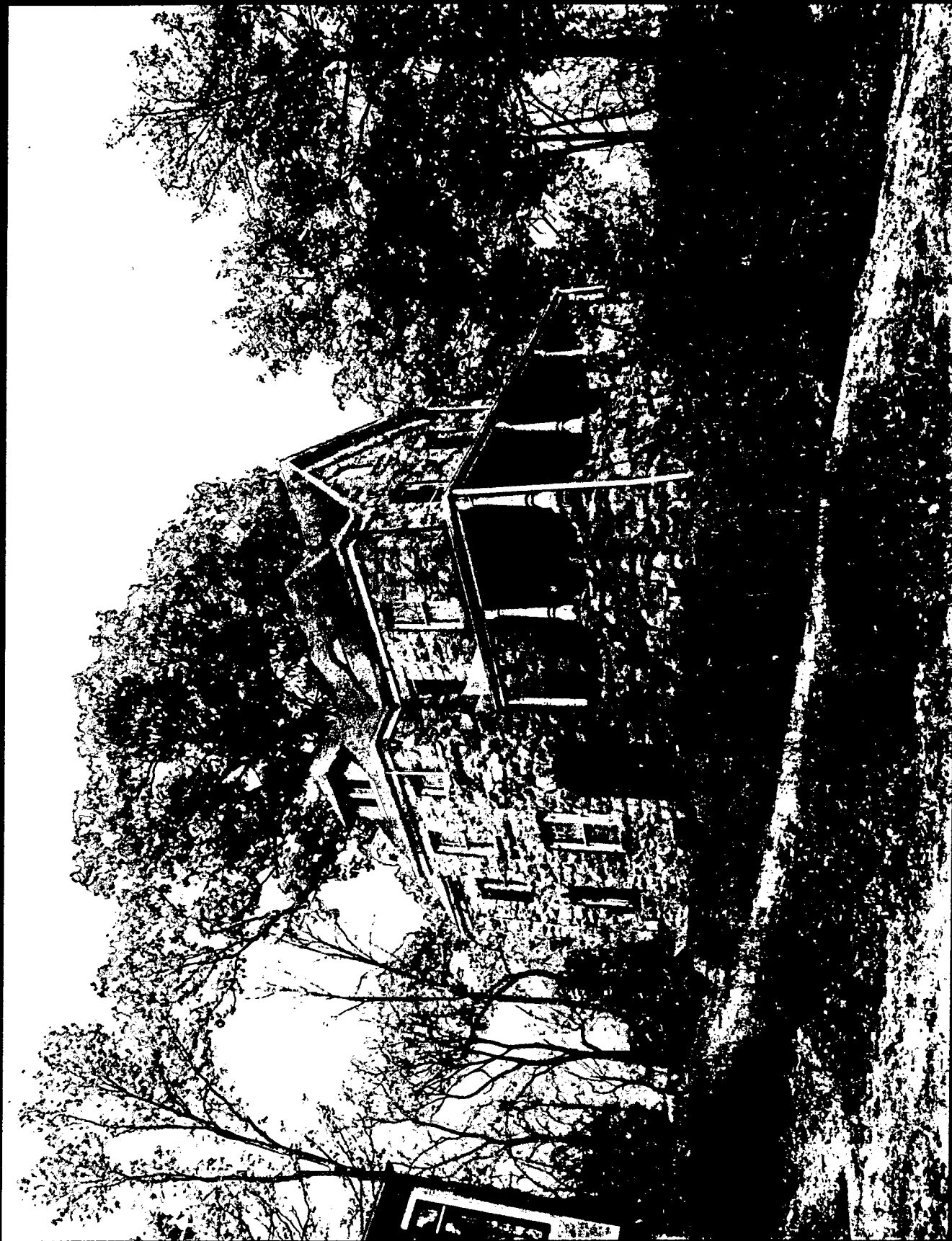
McNair Cottage Existing Condition Photo 2-East and North Sides



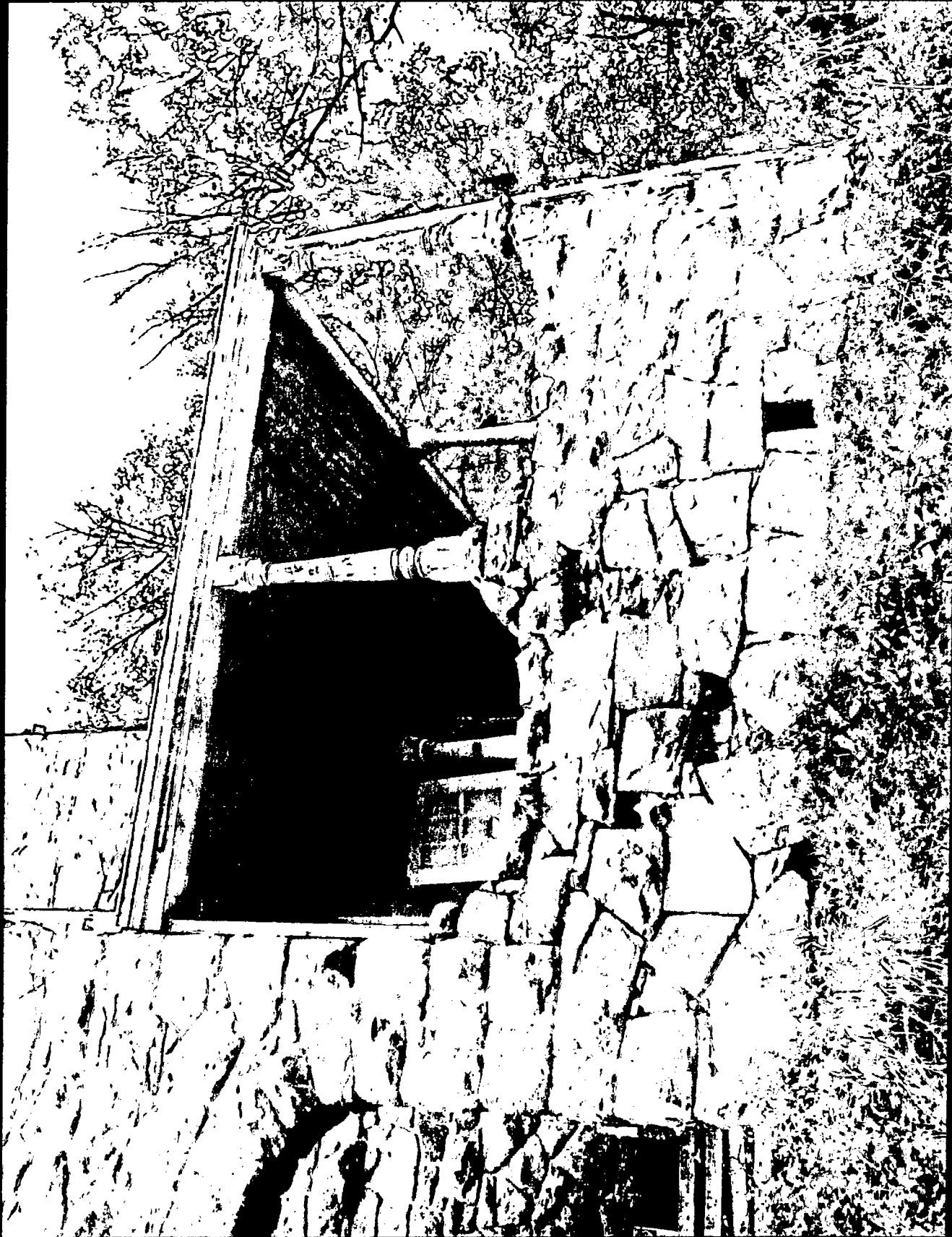
McNair Cottage Existing Condition Photo 3- East Side



McNair Cottage Existing Condition Photo 4-View of Existing Drive and Storage Bldg



McNair Cottage Existing Condition Photo 5-North and West Sides

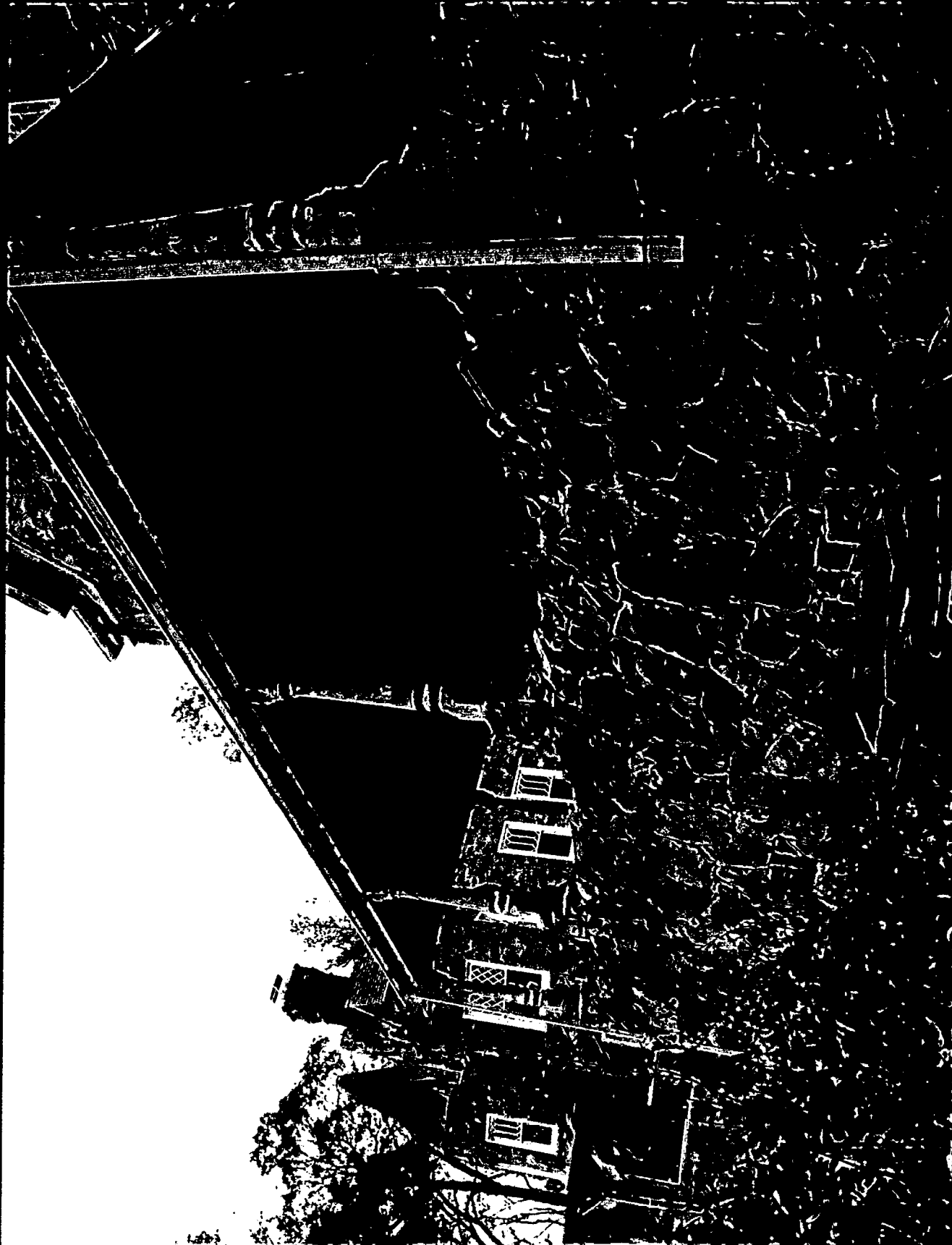


McNair Cottage Existing Condition Photo 6-North Side View @ Porch





McNair Cottage Existing Condition Photo 7-West and East Side



McNair Cottage Existing Condition Photo 8-West Side View @ Porch



McNair Cottage Existing Condition Photo 9- East Side Porch View

1 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

2

3

4 ----- X

5 :

6 PRELIMINARY CONSULTATIONS - :

7 5417 Mohican Road :

8 7500 Carroll Avenue :

9 :

10 ----- X

11 A meeting in the above-entitled matters was held  
12 on January 23, 2013, commencing at 7:34 p.m., in the MRO  
13 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland  
14 20910, before:

15 COMMITTEE MEMBERS

16 Leslie Miles, Chair

17 William Kirwan, Vice Chair

18 Sandra Heiler

19 Paul Treseder

20 Joe Coratola

21 M=Lisa Whitney

22 Craig Swift

23 Max van Balgooy

24

25

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ALSO PRESENT:

Scott Whipple

Karen Theimer Brown

Joshua Silver

APPEARANCES

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Ross McNair	16
Erik Leibmann	64

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P R O C E E D I N G S

1  
2 MS. MILES: Good evening. Welcome to the January  
3 23rd, 2013, despite what it says on your agenda, meeting of  
4 the Montgomery County Historic Preservation Commission. My  
5 name is Leslie Miles. I'm the Chair. I'm going to ask all  
6 the members of the Commission and staff to introduce  
7 themselves starting at my left end.

8 MR. VAN BALGOOY: Max van Balgooy, Rockville.

9 MR. SWIFT: Craig Swift from Rockville.

10 MR. TRESEDER: Paul Treseder from Bethesda.

11 MR. KIRWAN: Bill Kirwan, Silver Spring.

12 MS. WHITNEY: M'Lisa Whitney, Burtonsville.

13 MR. CORATOLA: Joe Coratola, Gaithersburg.

14 MS. HEILER: Sandra Heiler, Brookeville.

15 MR. WHIPPLE: Scott Whipple, Historic Preservation  
16 Staff.

17 MS. THEIMER BROWN: Karen Theimer Brown, Historic  
18 Preservation Staff.

19 MR. SILVER: Joshua Silver, Historic Preservation  
20 Staff.

21 MS. MILES: Thank you, and welcome to Karen. This  
22 is her first meeting with us. We're going to begin with  
23 those matters that we believe can be handled on an  
24 expeditious basis. Have these Historic Area Work Permits  
25 been duly advertised?

1 MR. SILVER: Yes. They were advertised in the  
2 January 9th, 2013 edition of the Washington Examiner.

3 MS. MILES: Thank you. If you are here in  
4 opposition to any of these HAWPs, please do indicate. Is  
5 anyone here in opposition to the permit for 3904 Washington  
6 Street in Kensington, for 5 Newlands Street in Chevy Chase,  
7 or for 222 Park Avenue in Takoma Park?

8 MR. KIRWAN: Madame Chair, hearing none, I move  
9 that we approve the following Historic Area Work Permits in  
10 accordance with the staff reports, based upon the record  
11 before us, and in consideration of the recommendations of  
12 the Local Advisory Panels, when those have been provided,  
13 HPC Case No. 36/02-13B at 3904 Washington Street in  
14 Kensington; HPC Case No. 35/13-13D at 5 Newlands Street in  
15 Chevy Chase, including the condition recommended by staff;  
16 and HPC Case No. 37/03-13B at 222 Park Avenue in Takoma  
17 Park, including the conditions recommended by staff and with  
18 the added condition that staff also review a sample of the  
19 steel carriage house style door that is being submitted by  
20 the applicant.

21 MS. MILES: Is there a second?

22 MR. CORATOLA: I second.

23 MS. MILES: Thank you. All in favor, please raise  
24 your right hand.

25 VOTE.

1 MS. MILES: It's unanimous. If this is your  
2 Historic Area Work Permit, please see staff tomorrow. Thank  
3 you for providing us with easily approvable permit requests.

4 We're now going to hear preliminary consultations  
5 first for 5417 Mohican Road, the R.A. Charles Castle, and  
6 the applicant can come forward and join us at the table.  
7 And do we have a staff report?

8 MR. SILVER: Yes, we do. 5417 Mohican Road in  
9 Bethesda is an individually designated master plan site, the  
10 R.A. Charles Castle. This is a preliminary consultation.  
11 I've outlined a recommendation on page 1, and I'll go into  
12 this a little bit more but there are two design options that  
13 were submitted by the applicant included with the staff  
14 report packet, and I've included items 1 through 5 for which  
15 the HPC should provide comments and feedback on.

16 The proposal, again, includes two different design  
17 options, A and B. Staff's evaluation of the application  
18 focused on design option B. Staff met with the applicant  
19 initially for an initial consultation meeting and staff  
20 recommended some changes to the plans which the applicant  
21 responded to by providing option B.

22 The proposal is for construction of a two-story  
23 addition at the rear of the structure, the installation of a  
24 side porch roof and enclosure of the porch on the front and  
25 right side elevations of the subject property, removal and



1 replacement of an existing three-tab tab asphalt shingle  
2 roof and installation of a red slate. It is referred to in  
3 the architectural description from the designation file, the  
4 original roofing material on the house was red slate.

5           On the right south elevation, alterations include  
6 removal of a non-historic one-story shed roof screen porch  
7 extension, and an infill below the existing second-story  
8 flared roof massing will be added on that side. Also,  
9 construction of a two-car, a one-story two-car garage at the  
10 property as well as some other alterations which, for the  
11 most part, constitute routine or ordinary maintenance and  
12 would not require a Historic Area Work Permit such as  
13 repointing and rehabilitation repair of stone work,  
14 stripping and re-glazing of windows sash weights and other  
15 trim details.

16           Staff supports design option B moving forward from  
17 both the detail and massing perspective. With respect to  
18 the two-story rear addition, staff supports the construction  
19 of a two-story addition. I indicated that we had met and  
20 the applicant responded by providing option B. What staff  
21 sees as a more favorable aspect of option B is that it  
22 eliminated the two-story conical roof addition and there is  
23 a simplified hipped roof tower at the south right elevation.  
24 I recognize that the existing tower on the historic massing  
25 is a character-defined feature and repeating this feature as

1 a new construction at the larger scale could diminish the  
2 predominance of the existing tower feature which  
3 characterizes the property.

4 I've outlined a few section, or a section from the  
5 district, historic district and individual site district  
6 guidelines for Montgomery County and consistent with the  
7 guidelines, I've pointed out in the staff report that I am  
8 recommending a hyphen where the addition meets the historic  
9 massing. A hyphen in this location would aid in  
10 differentiating the historic massing in the addition, B,  
11 preserve the stone corners of the historic massing and C,  
12 preserve the south right elevation second story wooden  
13 shingle flare wall section. It should be clear that that  
14 would be the right section of that flared section.

15 I would also support a small increase to the  
16 square footage of the addition by extending it further into  
17 the rear yard to accommodate the insertion of a hyphen, and  
18 I know that the applicant is going to want to talk to you a  
19 little bit about his approach to sort of preserving the  
20 legibility of the corners and how one experiences the  
21 property but I will let him go into that a little bit more  
22 sort of when you all go down the line about the points. I  
23 have outlined a couple possible, or a possible hyphen design  
24 at the top of page 5.

25 I also recommend removing the circle window from

1 the north left elevation. I find that a round window is not  
2 in keeping with the characteristics of the primary  
3 structure. I also recommend reducing the width of the  
4 addition to be coplanar of the existing building footprint,  
5 not the portraits but the building footprint itself, to help  
6 preserve the basic rectilinear building form. Modest  
7 reduction of the width of the addition at the north and  
8 south sides would better integrate the addition with that  
9 form of the historic building footprint. However, the HPC  
10 could find that by adding a hyphen and/or through the  
11 introduction of a material change, that a reduction in the  
12 width of the addition might not be necessary.

13           The applicant has not spelled out window and door  
14 materials in any great detail but we've had a sort of  
15 preliminary conversation about that. I recommended, made a  
16 few recommendations with respect to that north left  
17 elevation stair tower. They should have like a metal frame  
18 window and the rest should be a wood, wood window. I know  
19 the applicant is looking for guidance on that. Support the  
20 roof treatments. I've already pointed out that the house  
21 had red slate based on the designation file. I also am  
22 recommending the applicant explore other materials for the  
23 exterior cladding as the design evolves. I certainly hope  
24 that the Commission is in a position to provide some  
25 guidance to the applicant in that area. I know that he is,

1 would like to talk a little bit about that as well.

2           As the staff report points out, the stone exterior  
3 is a defining element of the house. Redundancy of a similar  
4 or matching stone as the primary building material for the  
5 addition would compete with the historic massing whereas an  
6 addition should read separate and subordinate. Certainly,  
7 there's a number of different material options to do this.  
8 This does not completely suggest that stone be eliminated  
9 from this addition section completely but perhaps, as the  
10 dominant material in this case, perhaps it needs to be  
11 reduced to avoid this competing and perhaps there's a  
12 balance too, as well, between adding a hyphen or some other  
13 differentiation in stone could continue via the primary  
14 building material. I've laid out some recommendations for  
15 the addition inset plus use of stone and elimination of the  
16 round window for the northwest elevation.

17           Moving onto the side porch roof enclosure, I've  
18 cited the Secretary of Interior standards. I'd call them 1  
19 through 4 but they are the standards and basically, I've  
20 laid out that the Commission should test this design aspect  
21 of the proposal against 1, 2, 3 and 4. I'm not going to go  
22 into reading those but as I pointed out, the intent here is  
23 for construction of a new low-pitched roof over the north  
24 and west, front right elevations of the existing porch and  
25 the installation of a full view fixed glass between vertical

1 support columns. That's something that the Commission  
2 reviewed and approved over on the Baltzley Castle, the  
3 adjacent property, last year, year before.

4           If the HPC does determine construction of the  
5 porch roof and the fixed glass is consistent with any of the  
6 review criteria that I put on page 5, I do recommend that  
7 terminating the porch roof at the right side of the chimney  
8 versus extending it to meet the wall point of the existing  
9 tower feature. And again, I identified that feature, that  
10 tower as a character-defining feature and I feel that in  
11 order to preserve that feature, you know, the new porch and  
12 roof should not engage the tower to preserve its legibility.

13           So roof replacement, I've already gone over that  
14 twice. I support that. The proposal is consistent with  
15 what the designation has called. I would recommend that the  
16 Commission approve that as submitted as a HAWP. I support  
17 the removal of the non-historic porch, infill below and  
18 rehabilitation of the second story on the right south  
19 elevation. The applicant has based construction of the  
20 infill location on physical structural evidence on the  
21 interior and the porch maintains the, the proposal, excuse  
22 me, maintains the original porch footprint. I would  
23 recommend that the Commission approve that as submitted as a  
24 HAWP.

25           And then the garage and other alterations, I've

1 already talked about the other alterations so I'm just going  
2 to go with the garage, that I support the construction of a  
3 two-car detached garage. It's set off to the right of the  
4 rear, right side property line so I believe as close as  
5 possible. I support the garage size, location and I do  
6 recommend materials for the garage take cues from the final  
7 material treatments that are selected for the addition to  
8 the main house.

9           So with that said, I again, I've recommended that  
10 the Commission must determine if design A, option A or B is  
11 more compatible with the resource and provide the applicant  
12 with feedback on the items below, construction of a two-  
13 story addition, construction of the side porch roof  
14 enclosure, roof replacement, demolition, rehabilitation and  
15 infill construction at the right south elevation and  
16 construction of a two-story garage, and that the applicant  
17 make revisions to the plan based on the comments and  
18 feedback from the Commission as well as the HPC in return  
19 for Historic Area Work Permit.

20           I can walk you through a couple quick photos.  
21 Obviously, Baltzley is on the left. The arrow is pointing  
22 to R.A. Charles. That's the rear elevation. You can see  
23 the screened porch on the left and that flared roof section.  
24 The second story, west and south. Where you see that open  
25 section there to the right of the porch roof, that would be

1 the section where the roof which is proposed to be added and  
2 the glass infill. That's the tower that I've referred to  
3 four times.

4           That wasn't supposed to do that. There we go.  
5 South right side elevation. Just sort of give you a little  
6 bit of, bring you around the right side of the house. Those  
7 stairs are going to be maintained, repaired, rehabilitated.  
8 Some different angles of that porch and flared roof section  
9 to be infilled. And then sort of this would be looking from  
10 the rear of the house towards the front showing you that  
11 left elevation. And as I told you upstairs, the garage  
12 driveway location. So Mr. McNair, you can correct me if I'm  
13 wrong but I believe sort of where the tarp is, is the  
14 approximate area for the garage. We can come back to that  
15 if necessary.

16           And then here are some things, more just to sort  
17 of inform you of what's going on there with the addition.  
18 The glass enclosure and sort of how it's coming along.  
19 There's still some work to be done but it's looking quite  
20 nice having just been out there. And you can also see the  
21 garage that is set into the slope there as well. So that's  
22 all I have.

23           MS. MILES: Thank you, Josh. Would you address  
24 the new entry porch that's on circle 27 on the east  
25 elevation and just how it's going to possibly compete with

1 the existing entry?

2 MR. SILVER: Well, let's see if I can specifically  
3 answer your question. But actually, hold on a second. I  
4 think it might be more helpful for me to look at actually  
5 the floor plan on page 25. But I mean, in terms of -- you  
6 used the word compete, right, with the existing entry? Is  
7 that the word that you used?

8 MS. MILES: You're right. Let's just discuss the  
9 new entry porch.

10 MR. SILVER: Okay. Well, I think it's the intent  
11 to sort of create this additional, I mean, I'll say this  
12 and, you know, not verbatim but sort of paraphrasing the  
13 conversation I had with Mr. McNair is that he, you know, he  
14 wanted to create some, obviously, additional habitable  
15 space. He wanted to use a similar methodology as was used  
16 at Baltzley but in this case, creating sort of a new space.  
17 It's a stone building. It's a dark building. I know that  
18 he, you know, was looking at having a space with some  
19 additional light to it but I think, you know, it is  
20 maintaining the existing porch stairs that are there as I  
21 showed you in the photo or I can go back to so it's not,  
22 it's not changing that particular aspect of it there.

23 There is no new, you know, door piercing into the  
24 historic massing there. There's the chimney that's staying  
25 and then, you know, you had, I think there was some, a space



1 constraint with respect to getting toward, to talk about why  
2 this can't be done with the existing L porch space there,  
3 and I think the applicant can probably better respond to  
4 that but that's sort of what I can tell you.

5 MS. MILES: Okay. Does anyone have any questions  
6 for staff?

7 MR. CORATOLA: I have one. Josh, if you could go  
8 -- well, in this photo you have up now, the extended sloping  
9 roof on the far right side, is that original or is that the  
10 addition you were talking about?

11 MR. SILVER: That's the 19, circa 1980s addition  
12 that, the first level, the first level -- there's a better  
13 photo here actually. Yeah. Look at the bottom left photo  
14 there that you're looking at. That section there is an  
15 addition.

16 MR. CORATOLA: That, the porch component.

17 MR. SILVER: That screened porch section is an  
18 addition, yeah.

19 MR. CORATOLA: So the upper level is original.

20 MR. SILVER: Original, historic, older, yeah.

21 MR. CORATOLA: Okay.

22 MR. SILVER: Yes.

23 MR. MCNAIR: The first floor extended out a little  
24 bit more.

25 MS. MILES: Mr. McNair, please turn on your

1 microphone.

2 MR. MCNAIR: Hi Ross McNair. If you, you can see  
3 one of those earlier pictures. If you look at the framing,  
4 you see that angled line that starts to come down and then  
5 it cuts across. So the first floor was slightly bigger than  
6 the second floor.

7 MR. KIRWAN: Where was the original entry for the  
8 house?

9 MR. MCNAIR: It's over --

10 MR. SILVER: It's a little bit hard to see I guess  
11 here. Well, let's see.

12 MR. KIRWAN: The stone arch right there on the  
13 side of the house?

14 MR. SILVER: Let me try to get to another side on  
15 the front.

16 MR. MCNAIR: Right there.

17 MR. SILVER: Yeah. Right there.

18 MR. KIRWAN: And, Josh, you don't have any  
19 interior floor plans for the existing?

20 MR. SILVER: I don't, no. What you have is what  
21 was submitted with the application package.

22 MS. MILES: Okay. Any other questions for Josh?

23 MR. VAN BALGOOY: Madam Chair. For the side  
24 porch, Josh, could you just clarify for me? You mentioned  
25 you don't want the side porch to engage with the bay tower.

1 Is it the intent of the applicant to, looking at circle 26  
2 where the side porch engages with that tower, is the intent  
3 of the applicant to turn that window into a door so they can  
4 walk out there or not?

5 MR. SILVER: I don't, I don't believe so, right?

6 MR. VAN BALGOOY: Thank you. That's it. Thank  
7 you.

8 MS. MILES: Okay. Mr. McNair, you can either make  
9 a presentation, show us scheme B, talk about scheme A,  
10 answer questions, however you'd like to use your time.

11 MR. MCNAIR: Okay. Thank you. Ross McNair. If  
12 you have circled page 29, this is a more, a little bit  
13 larger version of the same house that the same architect  
14 designed so what we did is we put a lot of research into  
15 finding different designs that Chandler's done and we've  
16 been in touch with his collection up in Pennsylvania. So  
17 we've taken a lot of cues from, from a house that he  
18 designed and then this house was more cottage style. So,  
19 you know, we originally put in for a faceted bay much  
20 mimicking this and then Josh had said that he wanted to have  
21 that, that squared addition which really matches what one of  
22 the original designs would have been.

23 You can see over on the left side this porch we're  
24 talking about. It has the wrap-around porch that comes over  
25 and fully engages with the bay projection. What, what our

1 thought was if -- we can use any kind of skin material on  
2 this. We could use a different kind of stone which I think  
3 would, would look better, but we could use brick like the  
4 Kimmel House that's about four houses around the corner that  
5 has an HAWP approval on it and it was all done in red brick.

6           So we could use a red brick, we could use siding,  
7 we could use panelized systems but if all of the new work is  
8 clearly differentiated from the old work by having a  
9 different color or a different type of skin and everything  
10 that is new is a flat copper roof as opposed to a sloped  
11 roof, then it would be very easy to be able to see where the  
12 original house is and where the, where the new construction  
13 is.

14           One of the thoughts that we had, if you go to page  
15 28, is the stair tower addition would be 100 percent glass.  
16 And then, Josh, could you go to the back of the house? So  
17 this wall, we've already repointed that wall so we're going  
18 to leave that wall like it is so that as you enter into the  
19 addition, you're going to see that. So where the stair  
20 tower goes, which actually projects out from the face of  
21 that building, all of that is glass, so you can look through  
22 this, this glass stair tower and see, see the corner, see  
23 everything that is there.

24           I think there was a question on the windows. My  
25 understanding is this is kind of a preliminary hearing.

1 What I would like to do is I'd like to have a finalized set  
2 of drawings which kind of incorporates most of the opinions  
3 of most of the people. We can do it as a wood window. We  
4 can do it as an aluminum clad window like the addition that  
5 we did next door at Baltzley. So because the two houses  
6 are, have a very strong presence together, there may be a  
7 benefit of having some similar materials used, so we used a  
8 lot of, we used a lot of copper in this and we used red clad  
9 windows so with the addition, we could use a red clad  
10 window, we could use a wood window. I don't have a strong  
11 preference. So it's really whatever, you know, you all  
12 think would look best.

13           There's a couple things with, with the historic  
14 write-up that I'm not sure about. When this property, it  
15 was, I guess it was identified and then designated, they  
16 were talking about a two-story porch and then they were  
17 talking about a wrapped porch. The way that I'm reading  
18 this is the two-story porch was where we're wanting to build  
19 that glass enclosure but I don't have -- there are very few  
20 photos of this property. One of the nice things on working  
21 with Baltzley is there was a tremendous amount of  
22 information we could get and we could replicate things.  
23 This house is like the little brother house and it kind of  
24 got forgotten about so I don't have a lot of photos that are  
25 historic photos of this property so if there's something

1 that historic has on a two-story porch or a wrap-around  
2 porch, if we could get that.

3 MR. SILVER: Unfortunately, we don't. I'm holding  
4 the designation file here which contains that narrative  
5 piece that you're referring to, which is part of the staff  
6 report, but it is very thin in contents in terms of photos  
7 and those things and so I looked around a little bit more.  
8 I know that you've already looked at this at one point as  
9 well but, yeah. We don't have anything.

10 MR. MCNAIR: It's kind of similar to everything  
11 that I found. There's just so much information on Baltzley  
12 and so little information on Charles. So what I'd like to  
13 do is kind of turn it over and try to get some feedback and  
14 see what your thoughts and ideas are.

15 MS. MILES: Okay. I would just comment initially  
16 that of course I drive by your property every day and I'm  
17 very happy with the way the addition looks on Baltzley. I  
18 think that's exactly how I thought it would look and I'm  
19 very pleased with how it's coming along.

20 MR. MCNAIR: Thank you.

21 MS. MILES: Are there any questions from the  
22 Commission for the applicant? I know there are.

23 MR. TRESEDER: Real quick. On the site plan,  
24 you're entering through the existing drive and you're making  
25 a right angle turn toward the garage. Am I reading that

1 correctly?

2 MR. MCNAIR: Which page is this? I have --

3 MR. TRESEDER: Well, let me see if I can find it.

4 Hold on.

5 MR. WHIPPLE: I think I see it at circle 15.

6 MR. TRESEDER: I had it but now I've lost it.

7 MS. WHITNEY: Circle 23.

8 MR. WHIPPLE: 15 and 23.

9 MR. TRESEDER: Okay. Circle 15.

10 MR. MCNAIR: All right.

11 MR. TRESEDER: Just so I understand, you're coming  
12 in from the back through that existing drive easement or  
13 something, correct? And then you're making a 90 degree turn  
14 to get into the garage. Is that how, is that the path? Is  
15 that the --

16 MR. MCNAIR: Yeah. Right now, there is, there's a  
17 wooden one-story garage that was built, I don't know the  
18 date but it was, it would have been built by the Shaffers  
19 probably in the '60s or '70s and then, and then the driveway  
20 loops around there. What we would like to do is take down  
21 the one-story garage and have the driveway go where it used  
22 to go.

23 MR. TRESEDER: Okay. I'm reading it --

24 MR. MCNAIR: Right along, right along the property  
25 line.

1           MR. TRESEDER: Right. But then you're taking a  
2 left turn down a paved area. That whole area would be like  
3 a paved courtyard in front of the house with a garage at the  
4 end, and I guess my main question is, is that indeed what  
5 I'm reading? Is that, is that all area proposed to be paved  
6 and if so, I see there is a major tree there. Is that being  
7 proposed, is there a proposal to protect that or what is  
8 the, what is the story in general with the paving in that  
9 area?

10           MR. MCNAIR: What I'd like to do with the  
11 hardscape is follow the same pattern that we got our  
12 approval on for Baltzley which is going to be a combination  
13 of granite Belgian block and travertine to create some  
14 courtyards, and then having some granite block pavers set in  
15 a mud set with, with gravel. So we've gone to a lot of  
16 historic sites, like Tudor Place and Dumbarton Oaks and a  
17 lot of places, and one of the things that you'll see a lot  
18 with these is a big use of gravel that has a border to  
19 contain the gravel and then in high-use areas, they'll have  
20 more of a hardscape. So in turnaround areas or right in  
21 front of the garage where tires would be scrubbing and  
22 stuff, we would have more of a hardscape plan and then where  
23 it's a straight shot, then we'll have, we'll have gravel.

24           MR. TRESEDER: So you're thinking that that system  
25 would protect the tree. The tree would not need any



1 additional protection?

2 MR. MCNAIR: Which tree are we talking about, the  
3 20-inch tree or --

4 MR. TRESEDER: Yeah. The 20 --

5 MR. MCNAIR: -- the 40-inch tree?

6 MR. TRESEDER: I'm seeing a 20-inch tree here  
7 that's in the middle of, within the paved area.

8 MR. MCNAIR: Oh.

9 MR. TRESEDER: Is that being proposed to be  
10 removed or --

11 MR. MCNAIR: No, no, no. That's, that's this  
12 walnut tree right here.

13 MR. TRESEDER: Okay.

14 MR. MCNAIR: No. We want to preserve the trees so  
15 we'd have a big area around it.

16 MR. TRESEDER: Okay. So you would, you would use  
17 the same kind of system to create a sort of little tree  
18 protection area around it.

19 MR. MCNAIR: Yeah.

20 MR. TRESEDER: To protect the roots. Good. Thank  
21 you.

22 MR. KIRWAN: Just to clarify, are you, is the  
23 driveway coming, is it hugging that property line --

24 MR. MCNAIR: Yes.

25 MR. KIRWAN: -- that we're seeing at the bottom of

1 the page and you're going to be entering between the 40-inch  
2 and the 20-inch trees? You're sort of coming in between  
3 those trees to get into the drive court?

4 MR. MCNAIR: Yes.

5 MR. KIRWAN: Or are you driving --

6 MR. MCNAIR: Yeah.

7 MR. KIRWAN: Okay.

8 MR. MCNAIR: So what this shows is the drive that  
9 goes down to Baltzley and I guess what it really doesn't  
10 show is how that drive would loop around to get, get to the  
11 garage.

12 MR. KIRWAN: I've got a couple more questions.

13 What's happening to the stair in the existing house? Why  
14 the need for a new stair?

15 MR. MCNAIR: It's going to be a lot more dramatic  
16 having the stair where it is in the proposed location. The  
17 existing stair bites into -- this is a modest house. The  
18 living room is fairly small and it's got bite where this L-  
19 shaped stair goes. The master bedroom has the stair  
20 interrupting into that space. By removing the stair and  
21 then having one, one flight of steps -- right now, there's a  
22 flight of steps outside to go to the basement, there's a  
23 flight of steps from the living room to go up to the second  
24 floor and then there's a separate flight of steps to go from  
25 the second floor up to the third floor, so this house has

1 three flights of stairs.

2 MR. KIRWAN: And going to the porch, the porch  
3 addition, why not enclose the existing porch like you did at  
4 Baltzley instead of adding this porch to the resource?

5 MR. MCNAIR: A couple reasons. I didn't think  
6 that you all would want that because that would have been  
7 the main entrance to the house. Two, that, the footprint is  
8 six-and-a-half feet so if we enclose it, all we're getting  
9 is a glorified hallway. So where that entrance comes in and  
10 then the doors come into the back and then the door that  
11 would then go onto this side area, by the time you discount  
12 for the pedestrian traffic flow areas, where are you going  
13 to put furniture, whereas if we fill this space in and then  
14 that gives you a dead end location so it's a destination  
15 room. It would be a glass room with beautiful views and you  
16 could really furnish the space.

17 MR. KIRWAN: But you get to that space by going  
18 outside to get back into it?

19 MR. MCNAIR: Uh-huh.

20 MR. KIRWAN: Why is that? Why not connect it  
21 internally?

22 MR. MCNAIR: Okay. Can we connect it internally?  
23 I would love to. Just like your recommendation on getting  
24 rid of the screened in porch that used to be at Baltzley and  
25 then we could have one integrated structure, so I would love

1 to hear some more comments from you. It would work a lot  
2 better having an internal access.

3 MS. MILES: Any other questions?

4 MR. VAN BALGOOY: Madam Chair?

5 MS. MILES: Yes.

6 MR. VAN BALGOOY: Mr. McNair, I don't have any  
7 questions about or concerns about any of the areas of your  
8 proposal except for the two-story rear addition and the side  
9 porch roof so if that, if that helps. I will say I'm very  
10 pleased with the work you're doing and you are going where  
11 angels fear to tread by tackling a house like this so I  
12 appreciate your courage in tackling this very, very  
13 important building.

14 On the side porch, I mean, I'm looking at the  
15 original summary form and they refer to a two-story screen  
16 porch and I assume that was on that location which is now  
17 empty, is that correct?

18 MR. MCNAIR: I have no evidence of a two-story  
19 porch. I have not been able to find any photographs.  
20 Anything. As I said, there are not, this is not a highly  
21 photographed house. I have found photographs of the other  
22 side of the house and it's really, it's a photograph of  
23 Baltzley --

24 MR. VAN BALGOOY: Baltzley. In the background.

25 MR. MCNAIR: -- and it just happens to be, you

1 know, close by. I have not found any photographs of this  
2 side.

3 MR. WHIPPLE: Commissioner --

4 MR. VAN BALGOOY: Any evidence of --

5 MR. WHIPPLE: I apologize. It's my reading that  
6 the two-story porch is that, is that section that we had an  
7 earlier question about where there's a screened in, a later  
8 screened in porch below.

9 MR. VAN BALGOOY: To the rear.

10 MR. WHIPPLE: It's not the section that we're  
11 seeing here. I think that that was the porch. It's  
12 attached. It's sort of a secondary space and it's framed  
13 attachments to this heavily, this heavy masonry building.  
14 And so that's, that's my reading is that this was the  
15 screen, the two-story porch.

16 MR. VAN BALGOOY: Okay, because on circle 18 and  
17 19, these floor plans refer to it as a restored porch. Is  
18 that incorrect then? It's not --

19 MR. MCNAIR: Well, this is the north side of the  
20 house where, on the lower picture. The south/southeast is  
21 that, is the other side so I don't, I don't know what was  
22 there.

23 MR. WHIPPLE: Having been briefly inside this  
24 house, this has, that is off of a bedroom and it almost has  
25 the feel of a sleeping porch.

1 MR. VAN BALGOOY: Okay.

2 MR. WHIPPLE: That's sort of how I interpreted  
3 that space when I was there.

4 MR. VAN BALGOOY: So that's what we believe in the  
5 ACHS summary form when it refers to a two-story porch.  
6 That's the two-story porch.

7 MR. WHIPPLE: That's my reading of it.

8 MR. VAN BALGOOY: Okay.

9 MS. MILES: Do you think the glazing is later on  
10 the second floor there, that it was originally open or,  
11 because it looks like that's fixed.

12 MR. WHIPPLE: When I was there, I wasn't trying to  
13 figure that out and so I don't know. It, it's a bit of a  
14 hodgepodge and so it wouldn't surprise me if it was  
15 originally a sleeping porch and then later enclosed with  
16 those, with that glazing. Relatively early but later.

17 MR. MCNAIR: All the glass is the historic glass,  
18 and we've been researching a lot of stuff with historic  
19 glass for making all the repairs everywhere but every pane  
20 in that window, those windows are constructed the same way,  
21 the glass is the same kind of glass. This is, this is not  
22 new glass. The third paragraph on this architectural  
23 description calls for a screened porch on the north side  
24 that wraps around to the west elevation and then six columns  
25 support the half-hipped porch roof.

1           So there's a description of two porches, two  
2 separate porches, one on, one on the north elevation and one  
3 on the southeast of the, southeast corner of the south  
4 elevation, so the descriptions clearly calling out for two  
5 porch, one of them being a two-story, one of them being a  
6 one-story but the framing for this, the floor joists for the  
7 second floor, the ceiling joists for the first floor, extend  
8 out and pick up that wooden structure and then there's  
9 sloped framing that ties into those floor framing. So the  
10 floor framing stagger so it's 1, 3, 5, 7.

11           So that, that structure is original to the house.  
12 It's got, it's got the original wood, original floor joists,  
13 the original knob and tube where they would have the, the  
14 casing sleeves where and knob and tube wiring would go  
15 through. So because it's, it's the same material that  
16 they've built the rest of the house with, I would not think  
17 that that would have been an open porch.

18           MS. MILES: Commissioner Van Balgooy?

19           MR. VAN BALGOOY: Okay. Putting aside that porch,  
20 I'm, let's talk about the one that's where the porch  
21 currently exists and it's covered. That portion is what I  
22 really want to talk about to keep this straight. I'll just  
23 note on your plans, there's no north arrow so I have no  
24 idea. When I refer to them, I have to refer to them in this  
25 orientation so --

1 MR. MCNAIR: Okay.

2 MR. VAN BALGOOY: -- I hope you can follow along  
3 as I do this. I'm looking at plan on sheet 18, and this is  
4 at the top right side. This is back porch is what I want to  
5 talk about. It says here it's restored porch. Is that  
6 referring to the covering? Is there any evidence that that  
7 porch was covered?

8 MR. MCNAIR: Sheet 18.

9 MR. VAN BALGOOY: Well, circle 18 to be clear.

10 MR. MCNAIR: So we're talking about on, without,  
11 on the front of the house.

12 MR. VAN BALGOOY: Yes.

13 MR. MCNAIR: Up to the right side of the page.

14 MR. VAN BALGOOY: Yes.

15 MR. MCNAIR: Okay. This is where this whole  
16 thing, was there a two-story screened in porch there, what  
17 was there. This -- it's kind of odd that they would have  
18 this open element there. Right now, there is no structure  
19 so then if it says restored, that writing is so small I can  
20 barely read it, proposed glass enclosed porch, restore,  
21 restore existing porch. It is not, it is not enclosed right  
22 now. We would like to enclose it.

23 MR. VAN BALGOOY: Okay.

24 MR. SILVER: I think, if I may, I think,  
25 Commissioner Van Balgooy, I think that perhaps some of the



1 restoration refers to some of the things, you know, such as  
2 -- I understand where you're going. I think. I think I  
3 understand where you're going. There's this careful usage  
4 of words here, restore, rehabilitate, preserve, but I think  
5 that it may be like restoring some of the features like  
6 repairing, repairing, not restoring, the stonework so I  
7 think it's maybe just not notated correctly.

8 MR. VAN BALGOOY: What I want to clarify is was  
9 there a covered porch at that location originally. It  
10 doesn't sound - I'm looking at your photographs, I haven't  
11 been on site, I don't see any evidence of it tying into the  
12 wall or that, that the existing porch roof had been modified  
13 in some way. It is not unusual in late 19th Century houses  
14 though to find a portion of a porch like this covered and  
15 portions uncovered. I can give you plenty of examples like  
16 that. So that's why I'm a little hesitant about, because it  
17 is the front side of the house, this is a character defining  
18 feature, to cover that porch and enclose it in glass. I'm  
19 just hesitant about that. I just want to lay that out.

20 I understand you'd like to have an enclosed area  
21 that's sort of weather protective, because the views. I'm a  
22 little hesitant because of the location on this property.  
23 And I have no evidence, unless you can give it to me, that  
24 there was a porch and you're actually trying to restore  
25 something. Then, then I'm going to be much more, I can

1 accept that.

2           On the addition to the rear, I do agree with staff  
3 about a hyphen or some distinction. I do have just some  
4 questions and maybe you can just explain your thinking. The  
5 stair tower does have this very large window or windows in  
6 it, a lot of light to bring into that space. I believe I  
7 understand you want to do that. It's very common to have  
8 stairways with windows on them. It does strike me as being  
9 quite different than the rest of the house and how windows  
10 are used in the sort of ratio between windows and walls, so  
11 can you talk a little bit more about that, why you chose  
12 that or do you have some evidence to, on what you're basing  
13 your decision?

14           MR. MCNAIR: I mean, this whole process is trying  
15 to second-guess what, what we can get the historic approval  
16 on. Baltzley, it took me four complete sets of drawings at  
17 400 percent of my architectural budget. What I'm trying to  
18 do here is, is, you know, what direction is the wind  
19 blowing. What, what do I think you all might want. So I  
20 think that a glass-enclosed stair tower is an attractive  
21 feature. I think that it telegraphs through your site  
22 lines, you can see what the original house is. So I was  
23 thinking with the combination of those two things, it would  
24 be something that would be positive.

25           On a living in the house standpoint, to climb up

1 those stairs, having all that glass around with the river  
2 views that are looking down river, it's a gorgeous setting.  
3 So, you know, it would be the type of setting that every  
4 single time you traversed the first floor to the second  
5 floor and you're getting this solid glass wall with the  
6 views that it has, its spectacular.

7 MR. VAN BALGOOY: Well, I'm going to have my  
8 doubts about, I understand the views would be beautiful, it  
9 would be great to have light in that space but in terms of  
10 this building and in keeping and being compatible, it  
11 doesn't strike me as being correct.

12 MR. MCNAIR: Well --

13 MR. VAN BALGOOY: Typically, I see in stair towers  
14 like this where they have a lot of windows to add light is  
15 that they're stained glass windows or they're somewhat  
16 broken up with framed views through windows.

17 MR. MCNAIR: Okay, but I thought we were supposed  
18 to differentiate the addition from the existing so that you  
19 look at it and you see here is the new and here is the old.

20 MR. VAN BALGOOY: Yes. It's always a balance.  
21 You need to distinguish but be compatible, and there's a lot  
22 of leeway in that to make that happen so.

23 MR. MCNAIR: If --

24 MR. VAN BALGOOY: Maybe the other Commissioners  
25 have other suggestions to help us get there. I feel

1 uncomfortable with what you're proposing here.

2 MR. MCNAIR: Okay.

3 MS. MILES: Are there any other questions?

4 MR. CORATOLA: Can we go back to -- there is a  
5 photograph, Josh, of the south elevation showing -- yeah. I  
6 was looking, the previous photograph shows on the front  
7 porch, you can see where the wood column hits a stone  
8 pediment at the base and then as you're following that porch  
9 line to the open area, there appears to be that same type of  
10 pediment at the top of the wall. I don't know if that's a  
11 corner of the wall or if -- can you go back to that other  
12 photograph because it doesn't show the stones that we're  
13 seeing at the, where the stair intersects, that wall on the  
14 left and right. Are those just stones sitting on top of the  
15 wall or is that constructed?

16 MR. MCNAIR: That's the same thing that happens as  
17 you wrap around. So you can see where the posts, where you  
18 have the wood posts, the wood posts come down and there's an  
19 elevated stone and then there's a flat and --

20 MR. CORATOLA: Then it goes up again on the open  
21 area and around, same thing. It goes up by where the stair  
22 intersects.

23 MR. MCNAIR: Correct.

24 MR. CORATOLA: I'm not versed that well in this  
25 style but that says, I don't know if that is just the style

1 or if that triggers that there were columns sitting on top  
2 of those piers.

3 MR. VAN BALGOOY: Based on my experience, it's  
4 common in that style to have piers without columns on them  
5 so.

6 MR. TRESEDER: Actually, I do, I have a question  
7 about this since we're talking about stone. What is --  
8 you've been working now on both of these houses for a while.  
9 What has been your experience with being able to match the  
10 stone and the style of the grout and the stonework? Have  
11 you had good luck with that and do you feel that if you did  
12 indeed use stone in the addition, that you could get a good  
13 match to it?

14 MR. MCNAIR: We've been able to use all stone from  
15 the houses. All the stone that had fallen out of the houses  
16 we were able to put back in place. The house had, it was  
17 really built more of a river silt so there, especially with  
18 Baltzley. Baltzley was more fine-crafted stone that was set  
19 together. It was really sand. It did have a beautiful  
20 extended joint line so we, we were able to match that.  
21 Because the stone is so hard, we were able, I think it's  
22 granite, so we used a stronger mortar and we did, we did the  
23 joint. So we really didn't have to find stone. We were  
24 able to use stone.

25 From the Chandler collection, we got some high

1 definition JPEGs of these glass negatives. There were three  
2 photographs that they have. He founded the School of  
3 Architecture and they have a Chandler collection that has  
4 all of these houses to be designed. So there were three  
5 photographs of Baltzley, so we were able to get those  
6 photographs and then blow those up and see exactly what that  
7 detail was and then we matched that detail. We did the same  
8 thing on the columns that -- see those wooden brackets? We  
9 blew those columns up. We could, we could measure the  
10 difference and they're beautiful, beautiful columns with all  
11 of the detailing.

12           We have really restored this house. Painstakingly  
13 restored it. We would like to do the same thing with  
14 Charles. One of the things that, you know, that -- this has  
15 probably the ugliest roof that you can imagine on it. The  
16 house would have had a red slate roof. It would have had,  
17 you know, a decorative copper hipped coverings. It would  
18 have had some ornamental copper pieces with probably some  
19 weathervanes and stuff on it. We, you know, we can restore  
20 this house. A red slate roof is a ridiculously expensive  
21 roof so, you know, hopefully, there's a little bit of horse  
22 trading that we can do here.

23           I would like to restore this house. You know,  
24 we're matching the mortar joints that were there, we can fix  
25 the slate the way that was there, I could put all the

1 details that were there, we can preserve all these windows,  
2 I can find the historic glass. We can do everything on this  
3 thing so it looks like it did when it was built. It would  
4 probably be better built when we finish it than it was when  
5 it was built.

6           What we'd like to do is we'd like to have a glass  
7 porch that's not too different from the original design that  
8 Chandler did but differentiated as a flat roof and not a  
9 sloped roof, put some additional spaces on it that aren't  
10 that different from a Chandler design but have a different  
11 color stone or different colored material or something and  
12 have a flat roof so that all of the new work is  
13 differentiated but you have a painstakingly restored house  
14 with some modern amenities.

15           MS. MILES: If there are no other questions, I'm  
16 going to ask that we begin deliberations, but I don't want  
17 to cut anybody off.

18           MR. VAN BALGOOY: Madam Chair?

19           MS. MILES: Yes.

20           MR. VAN BALGOOY: Mr. McNair, can you just clarify  
21 who the architect, the historic architect was on this  
22 building? Is it Chandler or Mindeleff?

23           MR. MCNAIR: All the designs that I -- there's no  
24 reference to who the architect is. There's, there's a big  
25 reference to Mindeleff that it Baltzley paid him \$7,000.

1 Baltzley didn't have anything to do with the construction of  
2 his home. Baltzley owned the land but he owned all the land  
3 from the Sycamore Store to the one-lane bridge. He sold  
4 land. In more of the things that I've read, Chandler  
5 designed it. When I found this design, this design looks  
6 exactly like this house except it's a smaller version.  
7 Things that I've read on the Kimmel House referenced  
8 Chandler designing it. So Chandler designed maybe half of  
9 the stuff at Glen Echo and then there were some other  
10 architects involved. But, you know, one of the problems on  
11 this house is it's, it's the step-child house. It's not the  
12 main house so it does not have all of the information.

13 MR. VAN BALGOOY: So you believe it's done by  
14 Chandler but there's no, we have no documentation.

15 MR. MCNAIR: I, I think that this, this looks  
16 exactly like a Chandler design that we found.

17 MR. VAN BALGOOY: Okay, great. But if not,  
18 Mindeleff definitely not.

19 MR. MCNAIR: I would not be able to say he did or  
20 he didn't. I think that he, he designed houses in a cottage  
21 style. I think most of the stuff that he did was more  
22 commercial and industrial. I don't think that he was a big  
23 house designer. Chandler was a prolific architect. He  
24 designed hundreds of houses.

25 MR. VAN BALGOOY: Well, what you say sounds



1 reasonable to me so.

2 MS. MILES: All right. If anyone would like to go  
3 first or I'm just going to start calling on you all. It  
4 looks like Commissioner Kirwan is willing to bear the  
5 burden.

6 MR. KIRWAN: Not a problem. Mr. McNair, first of  
7 all, I want to thank you for coming to a preliminary and  
8 being as open as you are about, you know, wanting to hear  
9 what we have to say and getting our, getting our help and  
10 creating a direction for this and also, for coming to  
11 preliminary with a couple of options. I mean, that's  
12 something I've been encouraging for a long time. I think  
13 it's really helpful for us to see different ways to approach  
14 it so we can help sort of, you know, find the pros and cons  
15 of the approaches.

16 Unfortunately in this case, I can't support either  
17 A or B. I think there needs to be a C and possibly a D  
18 option that we'd see in the future, and I'll sort of start  
19 with my, my more specific concerns. And all of this is sort  
20 of being influenced by 24A-8(b)(1) of the Montgomery County  
21 Code is where I'm sort of coming from on this.

22 I think the, the placement of the addition is  
23 going to end up obscuring much too much of this resource  
24 from Mohican Road. I think there are two important sides to  
25 this house. I think the more important side is MacArthur

1 but I also think the Mohican Road side is important because  
2 that's really where the public will see that there are these  
3 wonderful historic resources sitting up on that hill as they  
4 drive through the neighborhood and see it up close.

5           And one of the things that concerns me about  
6 positioning the additions, the addition where you have it,  
7 the future addition where you have it in option A and B, is  
8 exactly what happened at the Kimmel House. I think that the  
9 Kimmel House is actually an unfortunate occurrence that that  
10 happened there. I think the additions there so obscure the  
11 original resource, from the street, I think that that's,  
12 that was a mistake in my, in my opinion. So I think an  
13 approach, an approach here has to somehow preserve the  
14 visibility of the resource from Mohican Road.

15           I also don't support the porch. I think that when  
16 you drive along the MacArthur Boulevard side, that is such  
17 an important view of that house, and the fact that we don't  
18 have any evidence that any porch ever existed there before,  
19 and I do believe it's very feasible that that was just an  
20 open terrace, and the way the corner of that house comes  
21 down to that terrace or the chimney comes down that terrace,  
22 the visibility of the turret that you get from MacArthur  
23 Boulevard, I think it would be a shame to lose a lot of  
24 that, and for it to be concealed by this porch addition. I  
25 know you're doing glass and you're trying to make it

1 transparent but it's still, you know, the glass would be,  
2 nonetheless would be reflective and it will lose that sort  
3 of exposure on that side that we'd get.

4           So, so I can't, I sort of start with the premise  
5 on this project that I really can't support any kind of  
6 change to that corner of the house. I think that's too  
7 significant. I, as I mentioned in the questions, I could  
8 support possibly enclosing that existing porch. I think  
9 that's a less evasive affect to the existing resource, like  
10 you did on the Baltzley Castle but building a new porch  
11 there, I would have a problem with that.

12           So and also, when I studied the addition -- it  
13 would also be very helpful for you to come to the, to,  
14 hopefully, a future preliminary, in my opinion, with, allow  
15 us a better understanding of what's happening inside the  
16 house. I know we don't have the ability to comment and  
17 render any opinion about the entry of the house but it would  
18 help us understand some of the need for the additions and  
19 what is creating it for instance. That's why I asked the  
20 question about the stair and what's wrong with keeping it.  
21 I have to imagine with a house like this, it must have had a  
22 pretty decent stair inside. At least one stair going from  
23 the first floor to the second.

24           So understanding the need to add such an evasive  
25 element to the addition and to this house, this sort of

1 major two-story element that this house never had, also  
2 concerns me because as you described in your, in your up-  
3 front testimony, this is a very modest house and I think we  
4 have to be very careful going forward that we sort of  
5 maintain the modesty that this house has. As you said, it's  
6 sort of the step-child to the Baltzley Castle and I think  
7 that's an important thing to preserve here nonetheless. So  
8 your analysis and the floor plans of a very large foyer  
9 space and a very large home office, I see basically two  
10 program elements in addition to the stair and I'm not  
11 convinced that that necessarily has to be in a two-story  
12 addition on the, on the Mohican Road side of this house.

13           And to sort of begin to head toward what I think  
14 might be a possible option C or option D, and one of the  
15 successes of Baltzley Castle is the fact that you kept the  
16 additions there one-story in nature. I mean, they're two-  
17 story including the basement on one side but they're one-  
18 story in nature. They really allow the house to be exposed  
19 on really all four sides as you go up from the second floor  
20 up to the roofline and there is very minimal sort of affect  
21 to the rest of the house, and I think that's a, that's a  
22 very, that's an approach that I think we should maybe begin  
23 to think about with this resource as well.

24           So, you know, a possible thing I see as a solution  
25 is to take that addition and sort of -- and I think I would

1 really encourage you to keep it one-story if you can. I  
2 think the stair can just be, do a new stair inside the  
3 existing house, you know. Either restore the existing stair  
4 or do a great new one inside the house. But take those what  
5 appear to be two program elements, you have. You can  
6 probably work that into a nice one-story addition that maybe  
7 is behind the garage and off that corner of the house where  
8 we have that sort of odd two-story element there now, and  
9 you can still create that entry court.

10           That addition would begin to, it would, of course  
11 couldn't be connected to the garage because of your setbacks  
12 but would begin to help form that courtyard including the  
13 garage, the addition of the two-story element on the Mohican  
14 Road side of that house. I think that, that, to me, would  
15 be a more acceptable way to approach this project would be  
16 sort of keep the additions, to really downplay it, very  
17 modest in nature and not to sort of create this new front  
18 for the house.

19           And coupled with that, I would also encourage you  
20 to, you know, again, because we don't have the floor plans,  
21 we can't really tell whether this would work or not but I  
22 think this door in the front, the original front door of  
23 this house, the original front entry of the house would be a  
24 real plus as well. That's one of the concerns I have about  
25 this is you're creating this new front door to the house and

1 I think this resource, and it really takes away from the,  
2 from the original importance of that sort of northwest  
3 facade.

4           So I think, you know, a combination of doing a  
5 much more similar addition, putting the stair inside the  
6 house and restore it, looking at restoring the original  
7 front entry to the house I think would go a long way for me  
8 for an approvable solution. Thank you.

9           MS. MILES: Commissioner, could you just comment  
10 on whether you think the garage is acceptable in design,  
11 location, whatever comments you can make?

12           MR. KIRWAN: Yeah. I think the garage is, as I  
13 sort of mentioned, I think the garage is well-placed. I  
14 think an addition sort of behind it would be worthwhile with  
15 it. I think the material choices I'm not quite so far from  
16 being able to get to a sort of a massing solution that  
17 works. I think material choices would come to me at another  
18 preliminary. I think stone could probably work into a  
19 solution.

20           I think one of the things that might be helpful  
21 with a one-story addition is you could maybe take your clues  
22 from the, from that two-story porch piece we were talking a  
23 lot about earlier with the shingle elements, and a shingled  
24 one-story and shingled garage might be a very nice thing to,  
25 again, differentiate but you're using a material that's

1 already been used to sort of differentiate on that house and  
2 I think that could be a, a material to think about and maybe  
3 with, incorporate that with a stone base for the, for the  
4 addition.

5 MS. MILES: Thank you. Who would like to go  
6 second? If nobody volunteers, it is going to be Max.

7 MR. VAN BALGOOY: Well, Mr. McNair, again, I  
8 appreciate you taking this on, and I'll just give you my  
9 comments again. I think you know sort of where I'm heading.  
10 On the two-story rear addition, I also have still questions  
11 about the size and the massing. I think the option B is  
12 reducing the scale a little bit. I have concerns about the  
13 windows on the stairs because it doesn't seem to be, you  
14 know, additions need to be simple in design according to our  
15 guidelines and need to be subordinate to the main structure.  
16 It seems to, when you look at that side of the house, it  
17 seems to instead, you're calling attention to that side so  
18 maybe think about that.

19 I like the idea of the hyphen. That might give  
20 you that way to differentiate it and still, and still allow  
21 you to use the space as you want. I'm intrigued by  
22 Commissioner Kirwan's suggestion to maybe make it a one-  
23 story. I can understand why you may want to make it have an  
24 entry to the house instead of going all the way around  
25 because that's where the car is parked but maybe there's a

1 way to make it a little smaller. I don't know. I'm not  
2 here to design a solution. I would agree with staff that  
3 the circle window on north elevation isn't in keeping with  
4 the house.

5           On the side porch and the enclosure proposing, I  
6 also feel uncomfortable putting a porch there when none ever  
7 existed on a primary facade like that unless you can provide  
8 some evidence of that, then we can talk about it. And it  
9 may be by actually going physically on site and looking to  
10 see if there's any previous evidence of construction or  
11 attachment, but it doesn't look like it on the pictures and  
12 certainly for this time period so all these terraces were  
13 not necessarily covered even though they have piers on them.

14           The garage I think is in a good location. I can't  
15 figure out a better place to put it. You don't have much  
16 space actually. And I agree as well. I can't really think  
17 about materials until we get a little farther down the road  
18 and figure out sort of how things fit together. That's all.

19           MS. MILES: Thank you. Commissioner Swift?

20           MR. SWIFT: This house confuses me. It feels like  
21 there are a lot of fronts to it and that puts you in a tough  
22 spot as far as how to add onto it, and I think you're  
23 hearing that from everyone here. I think I would be open to  
24 something along the solution you proposed, which is an  
25 addition potentially two stories on this face of the



1 building that we're looking at, but I really think it needs  
2 to be a very open transparent addition that almost frames  
3 the house with glass, and I'd be interested to see what that  
4 looks like. You'd have to do the visualizing for me before  
5 I could approve it so I think that's one possibility.

6 I understand the challenge of going back to the,  
7 to the original entry, as it's essentially in the Baltzley  
8 Castle's backyard and doesn't serve as, to me as well, as a  
9 main entrance to this, to this property. So I guess I'm  
10 open to seeing some more development of a two-story rear  
11 addition but I think if you look at this, this elevation, I  
12 think it would need to be transparent and I think keeping  
13 the roof flat and below the cornice line here would be  
14 something that might be worth looking at.

15 I also agree, as far as the porches, I don't think  
16 putting in a new porch at the current terrace is  
17 appropriate. I would be willing to look at enclosing the  
18 existing porch. I think the roof replacement would be a  
19 great addition here or a great change, and I think the  
20 garage is in an appropriate location. I think that being  
21 out of stone and a heavier material is appropriate because  
22 it's already set apart from the house against the, with a  
23 little bit different detailing, it would clearly be separate  
24 and not competing.

25 So I do think you're doing great, making a great

1 effort on this property. It's one of the more challenging  
2 ones I feel like I have looked at. I don't think there's  
3 any very clear solutions.

4 MS. MILES: Commissioner Treseder?

5 MR. TRESEDER: Okay. It helps to have people gone  
6 before me because I can say -- I think one thing that I  
7 think that you're hearing and I'll make a point is that I  
8 would not recommend taking the approach that you took with  
9 that historic photograph that you included in the package  
10 because even though it is sort of an interesting coincidence  
11 that adding this on would create a similar pattern, that  
12 would really be, I think all these proposals you're showing  
13 really are stuck on that idea of making it very much like  
14 the existing house and I think that it might be more  
15 important to really make this material-wise and  
16 stylistically different than the existing house even though  
17 you've, you know, come to really love the details of this  
18 work.

19 So I could be supportive of a two-story addition  
20 in the rear. I understand it obscures the house from  
21 Mohican Road but I just think that you don't have all that  
22 many options and I think that it is technically the rear of  
23 the house and so I would be more supportive of that.  
24 Perhaps if -- I definitely agree that there should be a  
25 hyphen. In fact, I think the stair tower is sort of the

1 beginning of a hyphen on the one side and a similar kind of  
2 transparent structure on the other could, I think, go a long  
3 ways toward, toward letting the original house read better.

4           So I think there are some pieces here that could  
5 be incorporated in a scheme C personally. I think -- but  
6 this particular scheme B, scheme A doesn't fly because  
7 that's, I think, trying to do too much what the historic  
8 photograph is doing, the historic drawing.

9           I think scheme B has some pieces that can be  
10 recycled if you will. Perhaps if there is a hyphen, it's  
11 less critical to maintain the setback. I know you've been  
12 very careful on this scheme B to hold to the side, that the  
13 projection lines carry through from the bays by making your  
14 addition no wider than the existing house but actually,  
15 Commissioner Kirwan's idea is actually, you know, suggested  
16 maybe offsetting it more and not necessarily holding to that  
17 line might actually be more deferential to the existing  
18 resource so I think maybe you, there might be support on the  
19 Commission for actually more latitude on those particular,  
20 that particular issue.

21           I too support the garage location where it is. As  
22 far as the porch in the front is concerned, I feel that what  
23 you've designed meets the, meets the four tests that the  
24 Secretary of Interior guidelines lays out. I'm not sure  
25 that I'm thrilled with it but at the same time, it's

1 reversible and if it's transparent and done well with a flat  
2 roof, I could accept it.

3 MS. MILES: Commissioner Whitney?

4 MS. WHITNEY: I don't have really have too much at  
5 all to offer that's different from everything that you are  
6 hearing. I would like to comment that this is a cottage and  
7 is intentionally, by landscape and design, subordinate to  
8 the castle so the more it is, more additions we add to this  
9 and the more grandiose, the less it maintains subordination  
10 to the castle. So with that said, I could, I would rather  
11 entertain an addition of just one level and not, and not  
12 two, much as you may like the additional space. Again, with  
13 the different material, I can't envision at the moment other  
14 materials, as was said before, until I see a little more  
15 about the design.

16 I would like to see that corner of the screened in  
17 porch with the half addition over there joined together a  
18 little better. They're two jigsaw pieces that just simply  
19 do not, not fit together there. The garage seems fine. I'm  
20 sure you will be happy to have a garage on site there. And  
21 other than that, my comments are more the same with the  
22 things that you have heard before.

23 MR. MCNAIR: What was the jigsaw part?

24 MS. WHITNEY: Oh, the screened in porch there.  
25 We've called it so many different things. We've got it up

1 on the screen right there. That. Those are two pieces of a  
2 jigsaw puzzle which they just, they don't fit together.  
3 They don't work. I would like to see that attended to which  
4 I know you have plans to do so. Those two pieces just don't  
5 fit to me, so that's the jigsaw puzzle pieces that I'm  
6 referring to.

7 MS. MILES: Commissioner Coratola?

8 MR. CORATOLA: I'm actually headed towards the  
9 direction of Commissioner Swift. I don't have, I don't have  
10 a real issue with a two-story addition if it's read as a  
11 lighter addition rather than such a heavy component. And if  
12 it had, like you did before, more contemporary flair to it,  
13 more glass and possibly pulling it, like Commissioner Kirwan  
14 says, more towards the garage. You know, I don't understand  
15 your whole program and the spaces you're trying to achieve  
16 but I, you know, if it's a two-story space that you need to  
17 pull that off, I think it can be done gracefully in a more  
18 contemporary flair, more glass.

19 I think that the garage is in a correct placement  
20 and maybe the, where you're sort of creating a new front  
21 entrance, that becomes a secondary entrance and maybe pull  
22 it towards the garage side, so that might even give you  
23 direct connection to the garage. I'm pretty sure you can't  
24 physically make a connection to the garage because of  
25 setback requirements but if you pull that, that entrance

1 piece there and then tucked, if you're trying to create a  
2 stair, a new stair, maybe that stair is tucked into that,  
3 that left side as I'm looking at the plan, towards the  
4 garage side.

5 I'll go into, because I sort of started picturing  
6 a design as Commissioner Swift started talking about it, if  
7 it were less engaged, in this photograph here, if it was  
8 less engaged from the right side of that chimney and more  
9 engaged to the left-hand side and it became a, like I said,  
10 a more open piece, with a one-story, that could go all the  
11 way across the base, but having that entrance more towards  
12 the garage side rather than smack in the middle.

13 As far as materials, you know, again, if we're  
14 trying to create this layer, stone is probably not  
15 appropriate going all the way up. If you created sort of a  
16 stone plinth that pulled off of what's there and then built  
17 more of an open structure above it, I think you can pull off  
18 a two-story addition in that scenario.

19 As far as the front porch extension, I haven't  
20 seen enough to say, yes, I can go forward to that. Right  
21 now what I'm seeing, design-wise, it's not pulling it off so  
22 I don't feel strongly that, that that will help the front  
23 facade. So I'm leaning more towards not recommending  
24 enclosing that porch and more towards enclosing the existing  
25 porch. Did I forget that? Yeah. I'm in favor of the roof

1 component that you're restoring the roof material.

2           And then the garage piece. The garage sort of  
3 takes a lot of cues from what staff was talking about where  
4 you have the stone piers and then the infill component. I  
5 think you might be able to pull that off with the addition  
6 where you had some stone pieces and then a lot of glass  
7 inset because you're, from what I'm looking at in the plans,  
8 these are entry components and home office so they would  
9 lend themselves to being an open, open space and that would  
10 allow for, you know, the view, if this were a glass  
11 component, the view of the existing house. That's about all  
12 I -- I don't know if I missed any points, the five points.  
13 No. That's it.

14           MS. MILES: Thank you. Commissioner Heiler?

15           MR. MCNAIR: Could I add one thing?

16           MS. MILES: Of course.

17           MR. MCNAIR: A problem on shifting everything over  
18 is there's a beautiful 40-inch oak tree that is to the right  
19 side so what we did on the basement is we, we brought the  
20 foundation walls back farther away than we did the first  
21 floor and second floor walls. So I was going to build this  
22 so that the foundation -- if you look at 15, you see where  
23 this 40-inch oak is so to have, have the addition more, grow  
24 in that direction, presents a problem with that, that oak  
25 tree.

1 MR. CORATOLA: Well, when I was saying growing  
2 that, I was talking more of the two-story aspect. So not  
3 actually pushing the whole footprint in that direction but  
4 more of, you know, your one-story component could go similar  
5 in the footprint that you have but the two-story doesn't go  
6 all the way up on that footprint. That's what I, really  
7 what I was trying to get at.

8 MS. MILES: Commissioner Heiler?

9 MS. HEILER: I have little to add to what  
10 Commissioner Swift and Coratola said. I do agree that it's,  
11 with Commissioner Kirwan that it's a problem that it's so  
12 visible, it will be so visible from MacArthur but I think  
13 you don't have any other choices. Certainly, by process of  
14 elimination, this looks like the only place to build the  
15 addition if you need an addition. And I agree. If you put  
16 an extensive red slate roof, you can't have a cottage  
17 anymore. I do think the hyphen would help, and I agree that  
18 enclosing that place that looks like there never was a  
19 porch, where it was an open terrace, I think will lose a lot  
20 and you should avoid that.

21 I think the garage is in the right place and I  
22 would agree with everyone that anything, the more you could  
23 move toward the garage, the better it is. Possibly, you  
24 can't get very close because of this 40-inch oak tree but  
25 you may be able to move off the corner that you were



1 intending to build on and move toward the garage and that  
2 would help. The hyphen will also help. The materials, I  
3 think can't really comment on them until we see a design.  
4 You know, certainly the use of stone ties it together. On  
5 the other hand, it diminishes the ability to distinguish  
6 between the old and the new.

7 MS. MILES: Well, I would agree with Commissioner  
8 Swift that this house is confusing, that it's hard to know  
9 where the front is, and I've seen this house a lot and I've  
10 even been in this house. I would largely agree with  
11 Commissioner Kirwan. I think that the, although I think we  
12 all are in agreement that this is the only side of the house  
13 where you could put an addition that -- I don't want to see  
14 an entirely new house, essentially, from Mohican Road and I  
15 think that's what your two-story completely across the  
16 entire east elevation addition would do.

17 I could not support a bay that would compete with  
18 the existing bay. I could not support an entry of such  
19 substance that would compete with the existing entrance. I  
20 could not support enclosing or creating a porch where there  
21 is not one and certainly not one that infringes on the  
22 existing bay. I don't think it should be constructed there.  
23 I do think that it's possible that we could enclose the  
24 existing porch and its existing footprint.

25 I would agree that the more you could shift the

1 addition towards the garage to the south, that would improve  
2 it. I think the garage is fine where you placed it. And  
3 although I think it is too early to talk about materials, I  
4 would tend to concur with Commissioner Heiler that I think  
5 it would be, although stone ties it together, perhaps a band  
6 of stone at the base or foundation or something that ties it  
7 but not to give it such heavy, strong appearance. I do  
8 think it's still a cottage. I think even with the red slate  
9 roof, it's going to read as a cottage and we shouldn't try  
10 to turn it into something more grandiose than that.

11           So I think you've heard fairly consistent views  
12 actually across the Commission with some variation of level  
13 but I think you've gotten some pretty clear guidance. Do  
14 you have any questions for us, or you don't want to, you  
15 just want to cut your losses and walk away now.

16           MR. MCNAIR: Well, as I understand, it is part of  
17 the preliminary where we're just kind of batting ideas  
18 around and what, what would work. The bedrooms are small.  
19 The bathrooms are tiny. We really do need to get some more  
20 space on the second floor. If, if this volume space were to  
21 grow more, if the garage wasn't a garage, if I found another  
22 spot for a garage on here, if the structure which is the  
23 garage maybe came a little bit closer and there's a  
24 connector link and that's a two-story volume, is, is that  
25 kind of the direction that some of you are heading to?

1 MS. MILES: Can I suggest that rather than, you  
2 know, I think we don't want to kind of get into the let's  
3 redesign your whole project here. I would suggest that you,  
4 I think staff understands where we're going and I would  
5 suggest that you talk to Josh and have some better  
6 understanding of, you know, maybe what we mean and sit down  
7 and hash out some ideas but we really, we could be here all  
8 night batting back and forth ideas. I think that's probably  
9 a little further out than we're prepared to respond to.

10 MR. KIRWAN: Could I just sort of --

11 MR. MCNAIR: Sure.

12 MR. KIRWAN: I mean, just follow up on that. I  
13 think that thought's intriguing so I would, I would  
14 encourage you to go on design. What I don't quite  
15 understand though, is the property boundary flexible? Has  
16 it not yet been -- when you say put the garage somewhere  
17 else, how would you do that? It seems to be right at the  
18 back end of your property right now, or the front end from  
19 Mohican Road.

20 MR. MCNAIR: Garage space is important but  
21 habitable space is more so, you know, if there's a way to  
22 preserve more of the historic resource but still get the  
23 habitable space that a property like this needs, it would be  
24 important.

25 MR. KIRWAN: Well, I think I would encourage you

1 to pursue that option you began to talk about it. I'm not  
2 quite sure I'm, I can only speak for myself, I'm not sure  
3 I'm comfortable with a two-story addition yet but so I would  
4 encourage it to stay one-story along those lines because I  
5 think it gives you a lot more floor area to work with. It  
6 gives you, it can give you a much larger first floor in that  
7 regard but, you know, I think that's something that's  
8 certainly worth exploring.

9 MR. TRESEDER: Could I just make two suggestions?  
10 One is to -- it looks to me like this tree is actually going  
11 to be a pretty important thing so I would consult with an  
12 arborist and really find out truly how much you can  
13 encroach, what kind of, perhaps, you know, pier footings and  
14 things like that because that will really help us in helping  
15 you.

16 And secondly, just in general, the drawings, I  
17 feel we have a hard time reading them. One thing, they've  
18 been reduced, they're very small but also, they're very  
19 hard-edged and they don't communicate the softness of the,  
20 you know, the flexibility which I think you have at this  
21 time, at this stage of the job. And to the extent that your  
22 presentation can clearly, you know, reflect sort of what is  
23 known and what is unknown I think would be because these  
24 kind of computerized drawings look very sharp or hard-edged  
25 and it's hard, for instance, just the way the stone is

1 rendered, it's hard to get a feeling for it. And so that  
2 might help, help us review it.

3 MS. MILES: Thank you. We will look forward to  
4 seeing you again. You don't look quite as enthusiastic  
5 about the idea but we will look forward to seeing you again.

6 MR. MCNAIR: Okay. Thank you.

7 MS. MILES: Thank you, Mr. McNair. Just to repeat  
8 what was said, if the plans show the direction of north and  
9 if we had interiors, it just would help us to gather our  
10 bearings because as everyone has agreed, it's a hard house  
11 to understand and somehow, knowing what we're looking at,  
12 the stairs that go up to bedroom three or whatever,  
13 something that made it easier to read what's going on would  
14 also help us to understand what's feasible.

15 MR. MCNAIR: Okay.

16 MS. MILES: Agreed. All right. We have another  
17 preliminary consultation for 7500 Carroll Avenue for  
18 exterior alterations. The applicant can come forward, and  
19 do we have a staff report?

20 MR. LEIBMANN: I have a much easier problem. I  
21 hope, I hope.

22 MS. MILES: We're very relieved.

23 MS. THEIMER BROWN: All right. The applicant is  
24 proposing to add painted wood brackets on the first and  
25 second story gable rooflines on the front facade and a

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5417 Mohican Road, Bethesda	<b>Meeting Date:</b>	1/23/13
<b>Applicant:</b>	Ross McNair	<b>Report Date:</b>	1/16/13
<b>Resource:</b>	<i>Master Plan</i> Site #35/29-2, R.A. Charles Castle	<b>Public Notice:</b>	1/9/13
<b>Review:</b>	Preliminary Consultation	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	N/A	<b>Staff:</b>	Josh Silver

**PROPOSAL:** Construction of rear addition, replacement of roof, enclosure of side porch, construction of new garage and other alterations

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**STAFF RECOMMENDATION**

The HPC must determine if design option A or B is more compatible with the resource and provide the applicant with feedback on items (1 – 5) below.

1. Construction of a two-story rear addition
2. Construction of side porch roof and enclosure
3. Roof replacement
4. Demolition, rehabilitation and infill construction at the right (south) elevation
5. Construction of a two-car garage.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** *Master Plan* Site #35/29-2, R.A. Charles Castle  
**STYLE:** Eclectic  
**DATE:** 1890

**ARCHITECTURAL HISTORY**

*The following was excerpted from Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland.*

This residence was built the same year as the more elaborate and larger scale Baltzley Castle, (located on the adjacent property), yet was also built of locally quarried stone, continuing the theme of the envisioned Rhineland on the Potomac. Both residences were built to take advantage of a dramatic view of the Potomac River. With its multi- and diamond-pane windows, hipped roof polygonal wing, and turned porch posts, the Charles Castle is essentially a Queen Anne style house sheathed in stone. R.A. Charles, an employee of the Treasury Department, bought land from Edward Baltzley in February 1890 and built the house soon thereafter. The *Manufacturer's Record* of 1891 stated that Mindeleff designed a Glen Echo Heights house for Edwin Baltzley for \$7,000.



## **ARCHITECTURAL DESCRIPTION**

The subject property is a three bay by one bay, two and half story stone "castle" that faces south (west), and much smaller than the adjacent Baltzley Castle at 5415 Mohican Road.

Constructed of bluestone, the house has a two story screened porch with a flat roof at the southeast corner of the south elevation. The enclosed second level is supported by three columns at the first level.

There is a screen porch on the north elevation that wraps around to the west elevation. Six columns support the half-hipped porch roof. A two story tower is located at the northwest corner of the west elevation with a conical roof.

There are 1/1, double-hung windows with stone lintels, and a variety of multi-paned transom or upper sashes above single light lower sashes. The south elevation has a hipped dormer window. The house has a hipped roof with red slate covering. There are two interior chimneys with corbelled caps.

## **PROPOSAL**

The applicant's submission includes two different design options (A and B) for construction of a two-story rear addition, enclosure of an existing side porch, removal and replacement of a 3-tab asphalt shingle roof with red slate, and construction of one-story, two-car garage at the subject property.

The HPC is encouraged to provide the applicant with feedback on both options A & B. Staff's evaluation of the application focused on design option B.

### **Rear addition:**

- Construct a two-story, approximately 15' x 31', addition at the rear of the existing structure. The addition is essentially concentrated at the rear of the structure, with the north and south elevation walls extending slightly beyond the historic building footprint. The proposed materials include a combination of stone, wood shingles, and flat seam cooper roofing.

### **Side porch roof and enclosure:**

- Install a low-pitched, flat seam copper, roof over an existing open style porch. Enclose the porch by adding full view, fixed, reflective glass between new vertical support columns. All existing stone will be cleaned and repointed. An existing (historic) side loading stair unit will remain.

### **Roof replacement:**

- Remove and replace an existing 3-tab asphalt shingle roof on the historic massing with red slate. As referred to in the architectural description above, the original roofing material on the house was red slate.

### **Right (south) elevation alterations:**

- Remove a non-historic (c.1980s), one-story, shed roof screen porch extension. The existing wooden shingled, 2<sup>nd</sup> story flared massing with steep sloped roof will be preserved, new windows added, and the 1<sup>st</sup> story below (which currently is a screened porch) will be infilled to create a habitable interior space. The proposed infill is based on physical structural evidence on the interior and maintains the original porch footprint.

### **Construction of two car detached garage:**

- Construct a one-story, two car, 24' x 24', detached, framed garage at the rear, right corner of the

lot set 5' off from the property line setbacks. Materials for the garage consist of a stone foundation, wooden siding and wooden swinging carriage doors, and a flat seam copper roof.

**Other alterations:**

- Reset all loose stone work and repoint all mortar joints (No HAWP required)
- Rebuild front porch stone walls, remove and replace floor and roof framing, install new porch ceiling board, remove, strip and reinstall the existing wooden columns, and install red slate roof. (HAWP required)
- Strip, reglaze, and paint all existing wooden windows. Replace sash weights and chain as needed. Replace broken glass and rehabilitate existing window sashes, framing and trim as needed using salvaged lumber. (No HAWP required).

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Montgomery County Code; Chapter 24A-8:***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little



historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

Standard #1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Staff supports design option B moving forward from both a detail and massing perspective.

**Two story rear addition:**

Staff supports the construction of a 2 story addition at the rear of the historic massing. Staff met with the applicant last year who presented design option A at which time staff recommended an overall simplification of the details, materials and roof forms. Subsequent to this meeting, the applicant presented revised design option (B), to respond to staff's comments. Option B eliminates the two story conical roof addition and introduces a simplified hipped roof tower at the south (right) elevation. Staff recognizes the existing conical tower on the historic massing as a character-defining feature, repeating this feature as new construction and at a larger scale diminishes the predominance of the existing tower feature, which characterizes this elevation of the structure.

*The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland* recommend:

18.3 An addition should be compatible in scale with the primary structure.

- An addition should relate to the historic house in mass, scale and form. It should be designed to remain subordinate to the main structure.
- One option to help visually separate an addition from the primary building is to link the primary structure with a smaller breezeway.
- For a larger addition, break up the mass of the addition into smaller modules that relate to the historic house.
- An addition should be simple in design to prevent it from competing with the primary structure.

Consistent with the guidelines above staff recommends a hyphen where the addition meets the historic massing. A hyphen in this location would: a.) aid in differentiating the historic massing and addition, b.) preserve the stone corners of the historic massing, and c.) preserve the south (right) elevation 2<sup>nd</sup> story, wooden shingle, flared wall section. Staff would support an increase to the square footage of the addition by extending it further into the rear yard to accommodate the insertion of a hyphen. This recommendation should not be interpreted as requiring any sacrifice of habitable interior space.

A possible design for the hyphen could include adding one additional bay of glass along the north elevation where the addition meets the historic massing. Staff recommends a lower and recessed hyphen where the addition and historic massing meet to define the connection. Staff would support an alternative hyphen design at the south (right) elevation that does not include a lower and recessed glass bay feature as described above for the south (right) elevation. This assumes any hyphen at the south (right) elevation would preserve the original stone corner of the historic massing.

Staff recommends removing the circle window from the north (left) elevation. A round window is not in keeping with the characteristics of the primary structure.

Staff recommends reducing the width of the addition to be coplanar with the existing building footprint, (i.e., the conical bay on the south (right) elevation and squared two-story tower with hipped roof on the north (left) elevation) to preserve the basic rectilinear building form (less porches and projecting bays/towers). A modest reduction to the width of the addition at the north and south sides would better integrate the addition with the rectilinear form of the historic building footprint.

The HPC could find that by adding a hyphen, staff's recommendation to reduce the width of the addition would not be necessary.

The applicant has not specified a window and door material for the proposed addition. Staff recommends a metal frame window for the north (left) elevation stair tower and all wood windows in other locations. Staff supports the proposed roofing treatments. Staff recommends exploring other materials for the exterior cladding as the design evolves. The stone exterior is a defining element of the main house, the redundancy of a similar or matching stone as the primary building material for the addition would compete with the historic massing, whereas an addition should read separate and subordinate; materials such as composite panels, metal cladding or combination of metal and glass where feasible should all be considered. Staff would support a stone material at the foundation/grade sections of the addition.

Staff recommendations:

- Inset addition by adding a hyphen where the addition meets the historic massing
- Less use of stone exterior materials. Exterior materials such as composite panels, metal with glass or others should be considered where feasible
- Eliminate round window from north (left) elevation.

Side porch roof and enclosure:

The HPC must determine if construction of a new low-pitched roof over the north and west (front and right) elevations of the existing porch and installation of a full view, fixed glass between new vertical support columns is consistent with the following *Standards*:

1. If the property would be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. If the alteration would destroy historic materials, features, and spatial relationships that characterize the property.
3. If the proposed work is differentiated from the old and is compatible with the historic materials, features, size, scale and proportion, and massing and protects the integrity of the property and its environment.
4. If the new construction would be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If the HPC determines construction of a porch roof and installation of fixed glass is consistent with any of review criteria 1 -4 above, staff recommends terminating the porch roof at the right side of the chimney versus extending it to meet the wall plane of the existing conical tower feature. Staff identified the tower as a character-defining feature above. To preserve this feature staff finds it necessary that a new porch roof not engage the tower to preserve its legibility.

Staff recommendation:

Determine if construction of a new roof and enclosure of the side porch is consistent with any of review criteria 1 -4 above. If the HPC determines the proposal is inconsistent with the review criteria above, but it could support an alternative design, it must recommend changes to the plans to make it approvable if submitted as part of a HAWP application proposal.

**Roof replacement:**

The designation file refers to the structure as originally having a red slate roof, as such staff supports the proposed roof replacement.

Staff recommendation:

Approve if submitted as a HAWP.

**Right (south) elevation alterations:**

Staff supports the removal of the non-historic porch, infill below and rehabilitation of the 2<sup>nd</sup> story. The applicant has based construction of the infill location on physical structural evidence on the interior. The proposal maintains the original porch footprint.

Staff recommendation:

Approve if submitted as a HAWP.

**Construction of two car detached garage:**

Staff supports the proposed construction of a two car detached garage set off the rear and right side property lines. Staff supports the proposed garage size and location. Staff recommends materials for the garage take cues from the final material treatments that are selected for the proposed addition to the main house.

Staff recommendation:

Approve size and location of garage if submitted as a HAWP. Revise material treatments to match those for the proposed addition after consulting with the HPC.

**Other alterations:**

Staff supports the proposed maintenance and rehabilitation projects identified in the proposal section. The applicant is encouraged to apply for a county historic perseveration tax credit for eligible expenses associated with the project.

Staff recommendation:

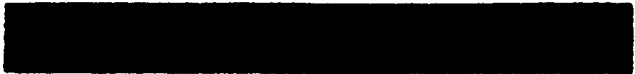
Approve if submitted as a HAWP.

**STAFF RECOMMENDATIONS**

The HPC must determine if design option A or B is more compatible with the resource and provide the applicant with feedback on items (1 – 5) below:

1. Construction of a two-story rear addition
2. Construction of side porch roof and enclosure
3. Roof replacement
4. Demolition, rehabilitation and infill construction at the right (south) elevation
5. Construction of a two-car garage.

Staff recommends that the applicants make revisions to the plans based on comments and feedback from the HPC and staff and return for a Historic Area Work Permit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: rossmcnair1@gmail.com Contact Person: ROSS MCNAIR  
 Daytime Phone No.: 301-219-0380  
 Tax Account No.: 00508312  
 Name of Property Owner: ross mcnair Daytime Phone No.: 301-219-0380  
 Address: 5415 Mohican Rd Bethesda Md 20816  
Street Number City State Zip Code  
 Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
 Contractor Registration No.: \_\_\_\_\_  
 Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PERMIT**

House Number: 5417 Street: Mohican Rd  
 Town/City: Bethesda Nearest Cross Street: MacArthur Blvd  
 Lot: ARC Block: 3 Subdivision: Glenn Echo Heights Section 1  
 Liber: 40953 Folio: 265 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Garage

1B. Construction cost estimate: \$ \_\_\_\_\_  
 1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

J. Ross McNair  
Signature of owner or authorized agent

11-26-12  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 1019022 Date Filed: 11/27/12 Date Issued: \_\_\_\_\_



WRITTEN DESCRIPTION OF THE WORK  
R. A. CHARLES CASTLE  
5417 MOHICAN RD

**ROOF**

Remove the 3 tab asphalt shingle roofing material and replace with red slate to replicate the original roof. This red slate will match the roofing material on the Baltzley Castle next door. The proposed work includes the removal of the asphalt shingle, stripping all underlayment and flashings, replace damaged framing / sheathing, installation of snow and ice shield, titanium underlayment, new copper flashing, copper gutters & downspouts.

**STONE**

Reset all loose stone and repoint all mortar joints

**ONE STORY ENCLOSED SIDE PORCH**

Install flat seam copper roof structure and enclosed the side porch with full view, fixed, low reflective glass.

**FRONT PORCH**

Rebuild the stone walls, remove and replace floor and roof framing, install porch ceiling board, remove / strip / reinstall the existing wood columns, install a red slate roof

**WINDOWS**

Strip, reglaze, prime and paint existing wood windows. Replace sash weights & chain as needed. Replace broken glass with matching historic single pane glass. Rebuild window sash / frame and trim as needed using salvaged lumber.

**CONSTRUCT A TWO STORY REAR ADDITION**

Construct a two story 15ft x 31ft addition on the rear - north east elevation. Building materials to be a combination of stone and wood shingles, with a flat seam copper roof.

**2 CAR GARAGE**

Construct a 2 car 24ft x 24ft detached garage set off the rear and left side property lines 5 ft. Stone foundation with wood siding and wood posts, wood swinging carriage doors with a flat seam copper roof.

ACHS SUMMARY FORM

M.35-29-2

(date)

1. Name: R.A. Charles' Castle

2. Planning Area/Site Number: 35/29/2 3. M-NCPPC Atlas Reference: Map 20  
Coordinate J-15

4. Address: 5417 Mohican Road  
Glen Echo Heights

5. Classification Summary

Category building  
Ownership private  
Public Acquisition N/A  
Status occupied  
Accessible no  
Present use private residence

Previous Survey Recording MNCPPC  
Title and Date: Historic Sites Inventory  
1976

Federal      State x County x Local     

6. Date: 1890

7. Original Owner: R.A. Charles

8. Apparent Condition

a. good b. altered c. original site

9. Description: This three bay by one bay, two and a half story stone "castle" faces south, and is smaller than #5415.

Constructed of bluestone, the house has a two story screened porch with a flat roof at the southeast corner of the south elevation. The enclosed second level is supported by three columns at the first level.

There is a screened porch on the north elevation that wraps around to the west elevation. Six columns support the half-hipped porch roof. A two story tower is located at the northwest corner of the west elevation with a conical roof.

There are one-over-one double-hung windows with stone lintels, and a variety of multi-paned transoms or upper sashes above single light lower sashes. The south elevation has a hipped dormer window. The house has a hipped roof with red slate covering. There are two interior chimneys with corbelled caps.

10. Significance: This unusual dwelling is a reminder of a grandiose scheme to create a Washington "Rhineland of the Potomac". Twin brothers Edwin and Edward Baltzley bought 516 acres of land in 1888, built the Glen Echo National Chautauqua, and sold lots for a planned development across the street. Houses were to be of brick, stone or metal, but the use of granite was encouraged by offering stone delivered at quarry cost. This house was built for R.A. Charles in 1890 and was the second of two "castles" built in the planned development. The Baltzley castle was larger than this one and was probably intended as a model home.

A disastrous fire at the Glen Echo Cafe in November, 1890, coupled with rumors of malarial mosquitoes, put an abrupt end not only to the Glen Echo Chautauqua, but also to the Baltzleys' real estate business.

The Charles family owned this house for many years. The present owners purchased the "castle" in 1962, and rent it out.

11. Researcher and date researched:

Candy Reed/Architectural Description  
Carlotta Anderson 4/79

12. Compiler: Peg Coleman

13. Date Compiled: 6/79

14. Designation Approval     

15. Acreage: 54,572 sq. ft.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**

11/26/2012

**OWNER'S MAILING ADDRESS**

J. Ross McNair  
5415 Mohican Rd  
Bethesda Md 20816

**HISTORIC SITE ADDRESS**

5417 Mohican Rd  
Bethesda Md 20816

**ADJACENT AND CONFRONTING PROPERTY OWNERS MAILING ADDRESSES**

Miguel Otero  
5301 Mohican Rd  
Bethesda MD 20816

Chris White  
5409 Mohican Rd  
Bethesda MD 20816

Maureen Jeffreys and Michael Bergsman  
5303 Mohican Rd  
Bethesda MD 20816

Miklos Gaal  
5407 Mohican Rd  
Bethesda MD 20816

Matthew Byrne  
5405 Mohican Rd  
Bethesda MD 20816

Stephen Seeber  
5309 Mohican Rd  
Bethesda MD 20816

William Barlow  
5311 Mohican Rd  
Bethesda MD 20816

Patrick Gates  
5421 Mohican Rd  
Bethesda MD 20816

Ned Miltenberg  
5410 Mohican Rd  
Bethesda MD 20816

John Lentz  
5424 Mohican Rd  
Bethesda MD 20816

Joy Brown  
5408 Mohican Rd  
Bethesda MD 20816

Whittington Lewis  
5404 Mohican Rd  
Bethesda MD 20816

Nathaniel Kendall  
5420 Mohican Rd  
Bethesda MD 20816

William Coolidge  
5423 Mohican Rd  
Bethesda MD 20816

James Ross  
5425 Mohican Rd  
Bethesda MD 20816

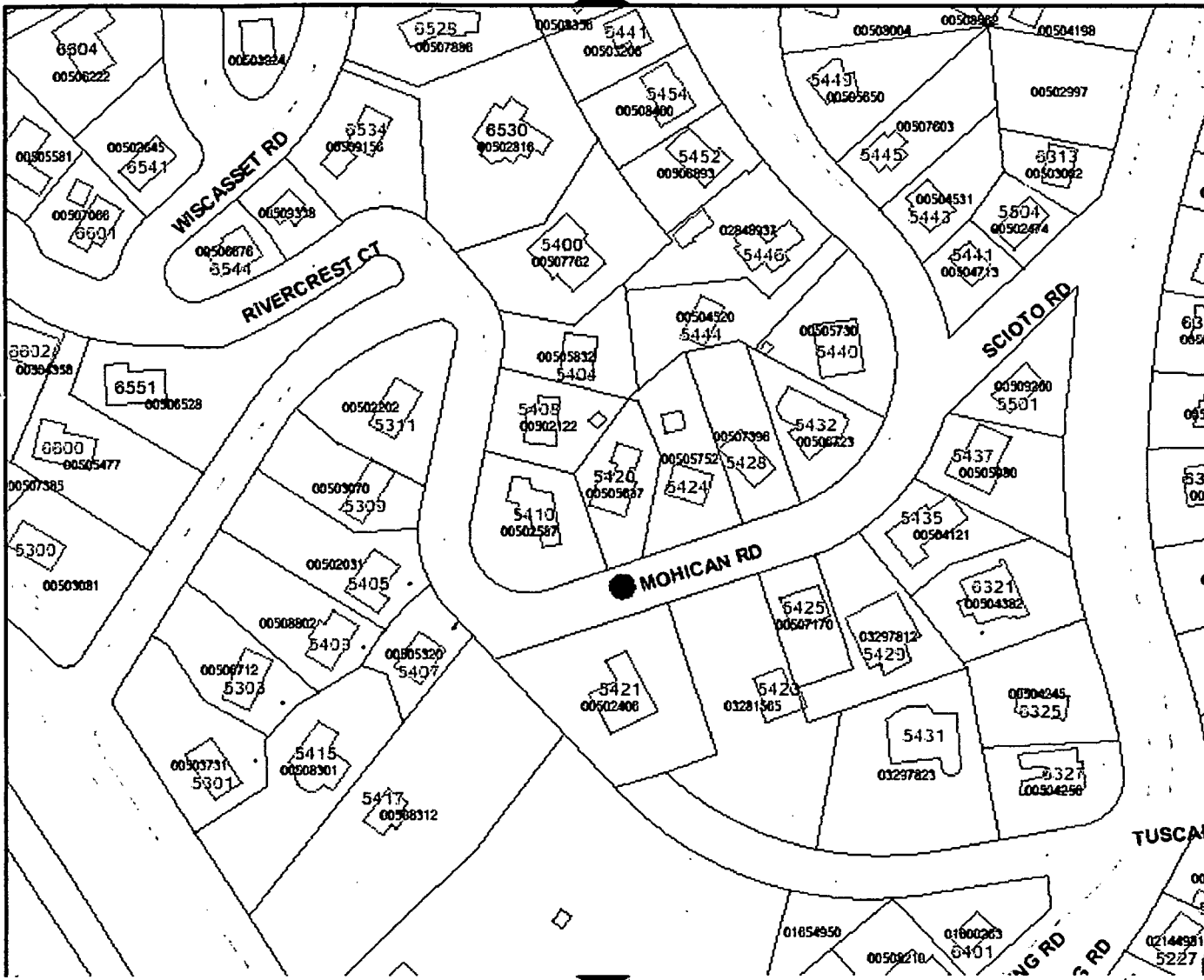
Philip Warker  
5428 Mohican Rd  
Bethesda MD 20816





e found

Locate Address	Search Keywords	Select Features	Zoom In	Zoom Out	Zoom All	Previous Map	Clear Map	Map Legend	Overview Map	Print Map		
Add Bookmark	Add Circle	Add Lines	Add Points	Add Polygons	Add Text	Crossing Streets	Data Error Reporting	Email Map	Identify Features	Measure	Pan	Query Builder



12

# McNair Residence Preliminary Historic Submittal

**Project Team**

**Owner:**  
Ross McNair  
5415 Molliken Road  
Glen Echo, MD 20819

**Contractor:**  
McNair Builders  
5415 Molliken Road  
Glen Echo, Maryland 20819

**Architect:**  
Pollock Dickerson Associates, PC  
520 Molliken Lane  
Glen Echo, Maryland 20819

**Contact:**  
Mr. Christopher NEASE, LEED AP  
Tel: 202-832-9772  
Email: chris@pollockdickerson.com

**Project Information**

**Project Address:**  
5415 Molliken Road  
Glen Echo, MD 20819  
Baltimore, Maryland 20819

**Site:**  
5415 Molliken Road  
Glen Echo, MD 20819

**Site Data**

**Lot Size:**  
22,472 sq ft

**Footprint Size:**  
8,211 sq ft

**Residence Height:**  
1.5 stories

**Structure:**  
2 1/2 stories

**Scope of Work**

Historic preservation study and report for the McNair Residence, including a detailed architectural drawing of the exterior elevations and a list of recommended materials and finishes. The study will also include a list of recommended materials and finishes for the interior spaces. The study will be completed by the end of the project.

**Applicable Codes**

Design criteria required by the International Historic Preservation Act (16 USC 470) and the National Historic Preservation Act (54 USC 30610).

**Index of Drawings**

- A 001 Site Plan
- A 100 Exterior Elevations
- A 101 Interior Elevations
- A 102 Section Views
- A 200 Details
- A 201 Details

**McNair Residence**

**Owner:**  
Ross McNair  
5415 Molliken Road  
Glen Echo, MD 20819

**Prelim Historic Submittal**

**Contractor:**  
McNair Builders  
5415 Molliken Road  
Glen Echo, Maryland 20819

**Pollock Dickerson Associates, PC**

**Architect:**  
PDA  
5640 Nicholson Lane  
Rockville, Maryland 20852  
Tel: 301.231.7542

**Consultants:** TBD

**Professional Certification:**  
I hereby certify that I am a duly Licensed Professional Architect in the State of Maryland, License No. 8327, Expiration Date: 01/13/2017.

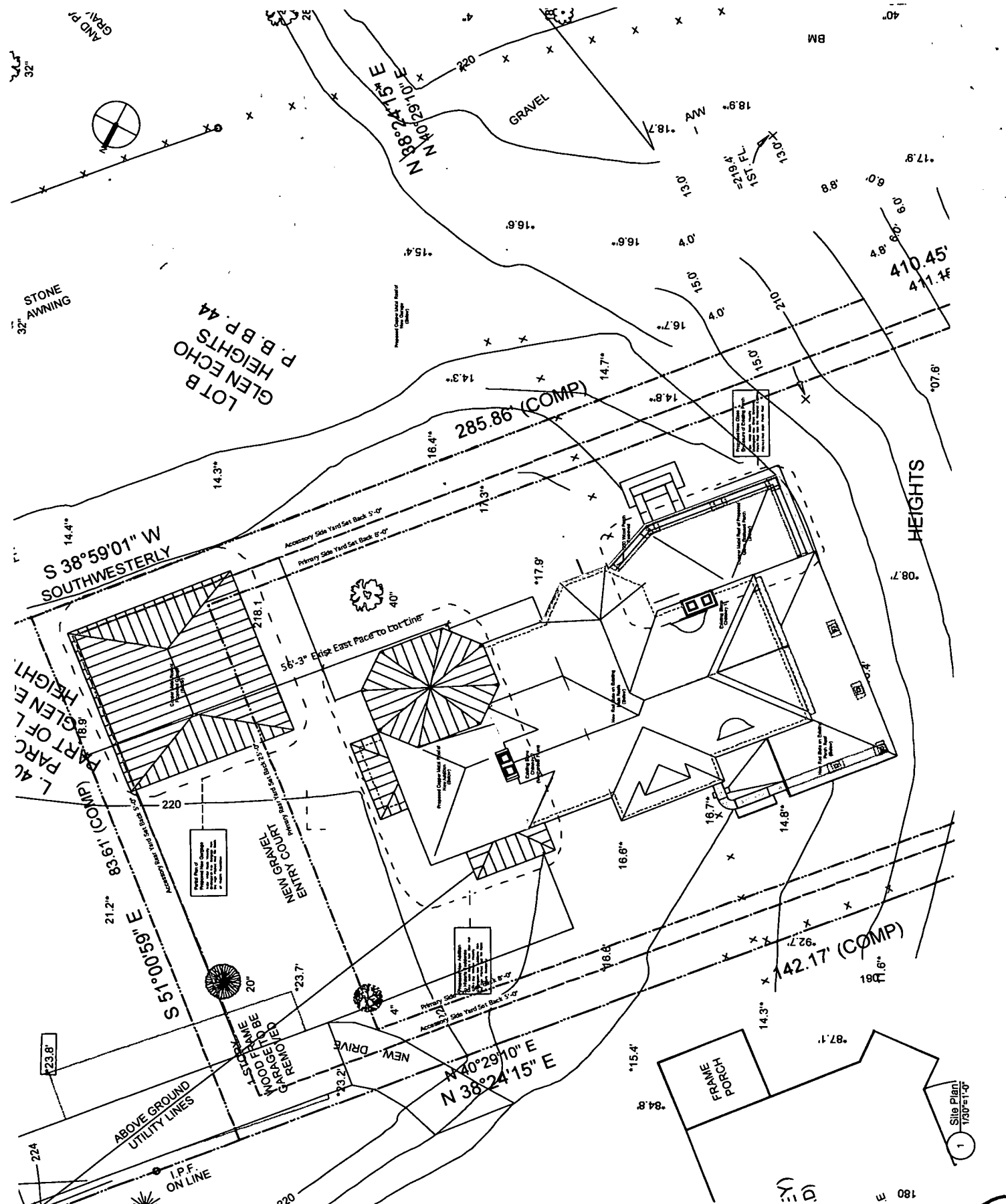
**Cover**

**Scale:** NA

**2 January 2013**

**A.000**

Option A

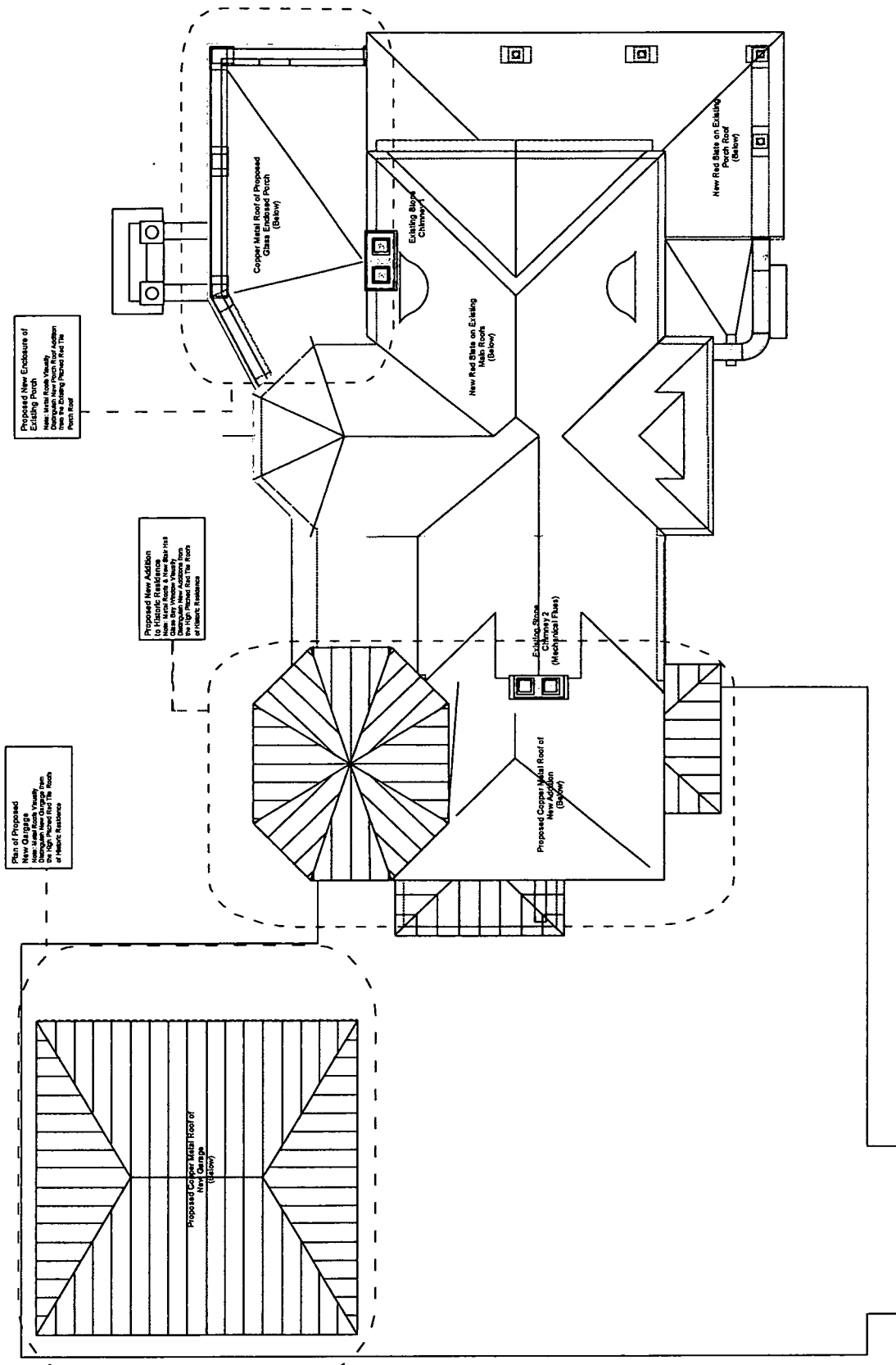


410.45'  
411.4'

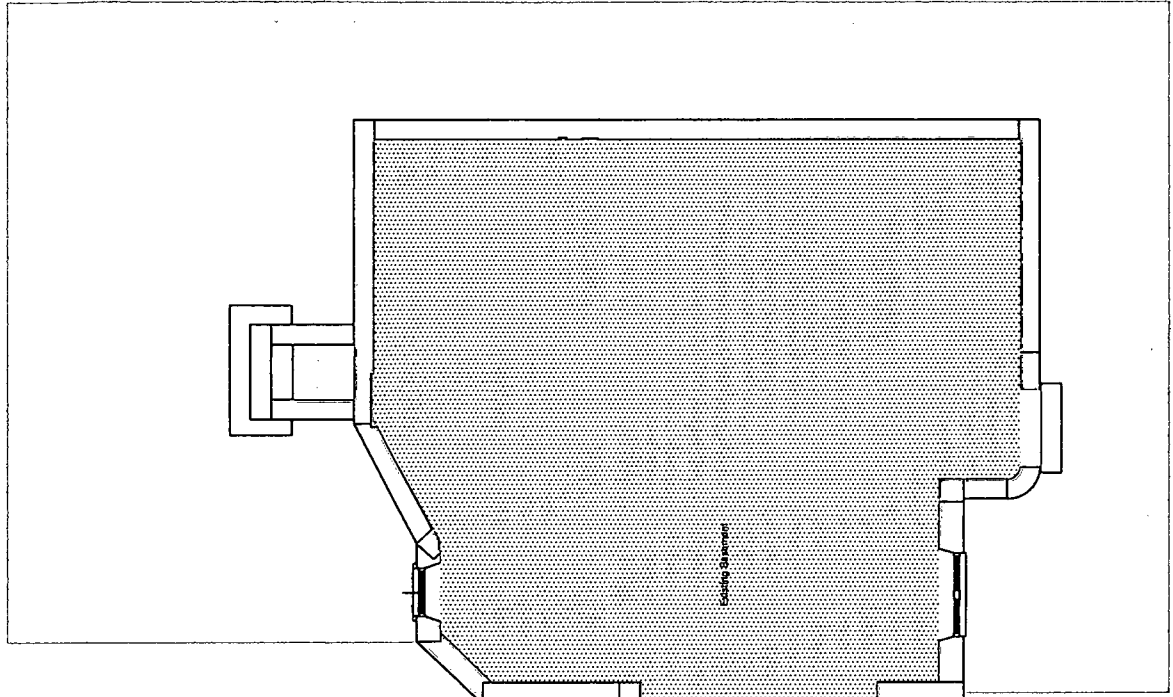
HEIGHTS

1  
Site Plan  
1/20/14

15

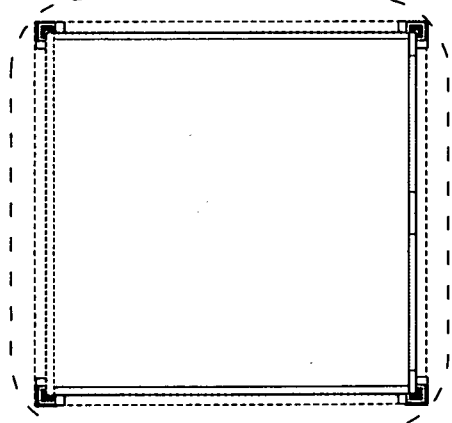


1 Roof Plan  
3/16"=1'-0"

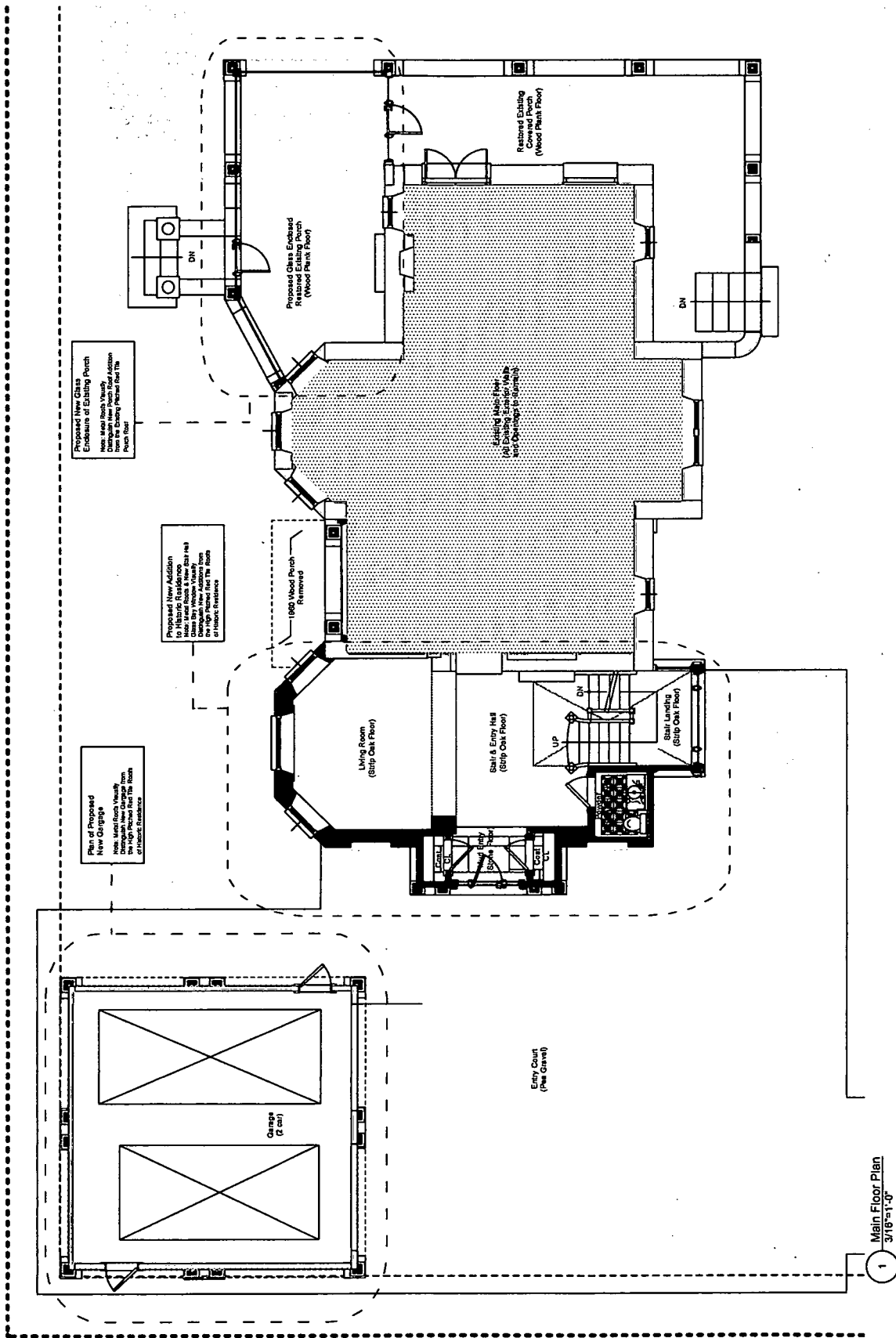


Proposed New Garage  
 Foundation Plan of  
 Proposed New Garage  
 Note: Area From Visual  
 Survey of High Pressure in the Room  
 of Historic Residence

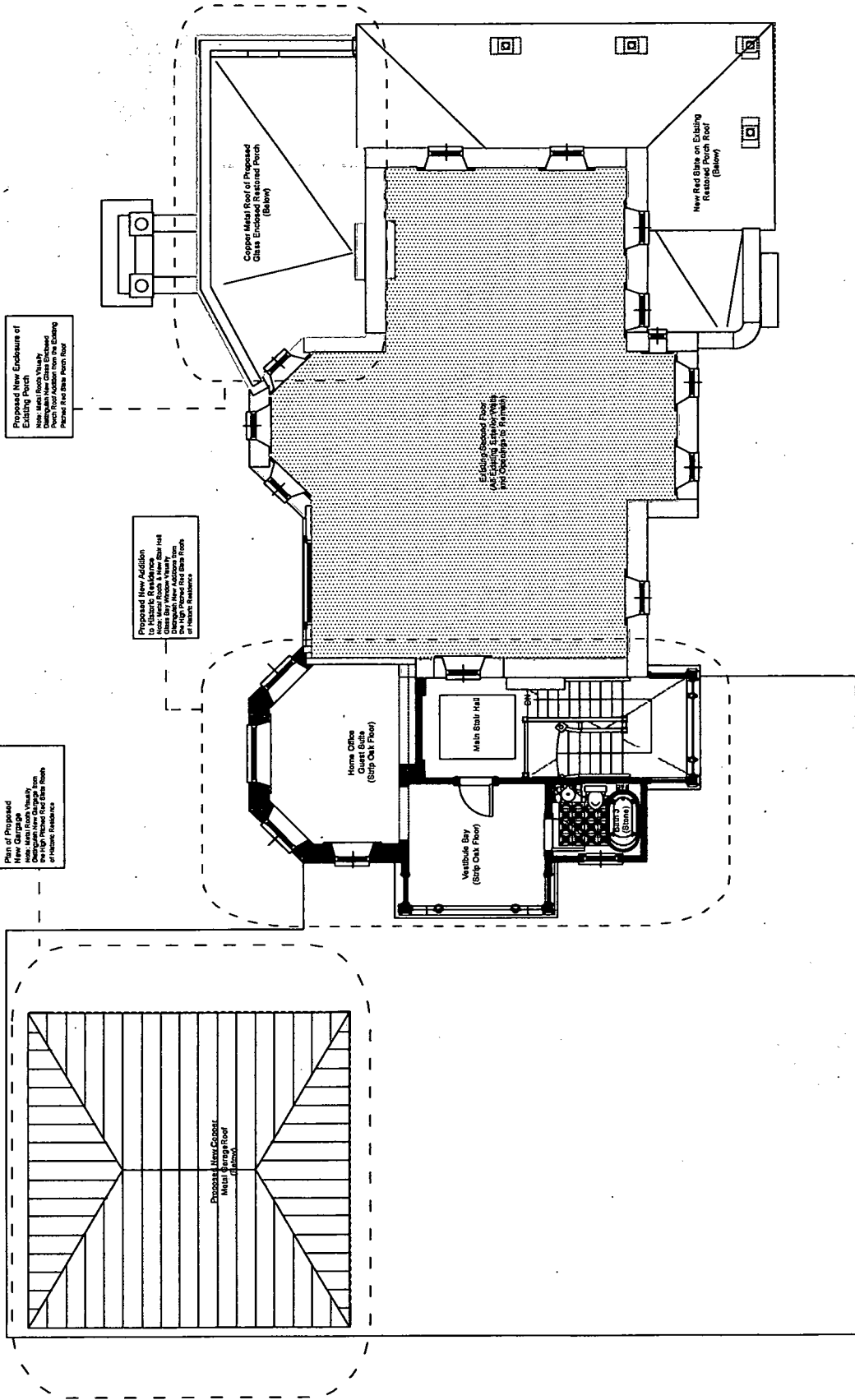
Proposed New Addition  
 Foundation Plan of  
 Proposed New Addition  
 Note: Area From Visual  
 Survey of High Pressure in the Room  
 of Historic Residence



1 Basement Plan  
 3/18/11-07



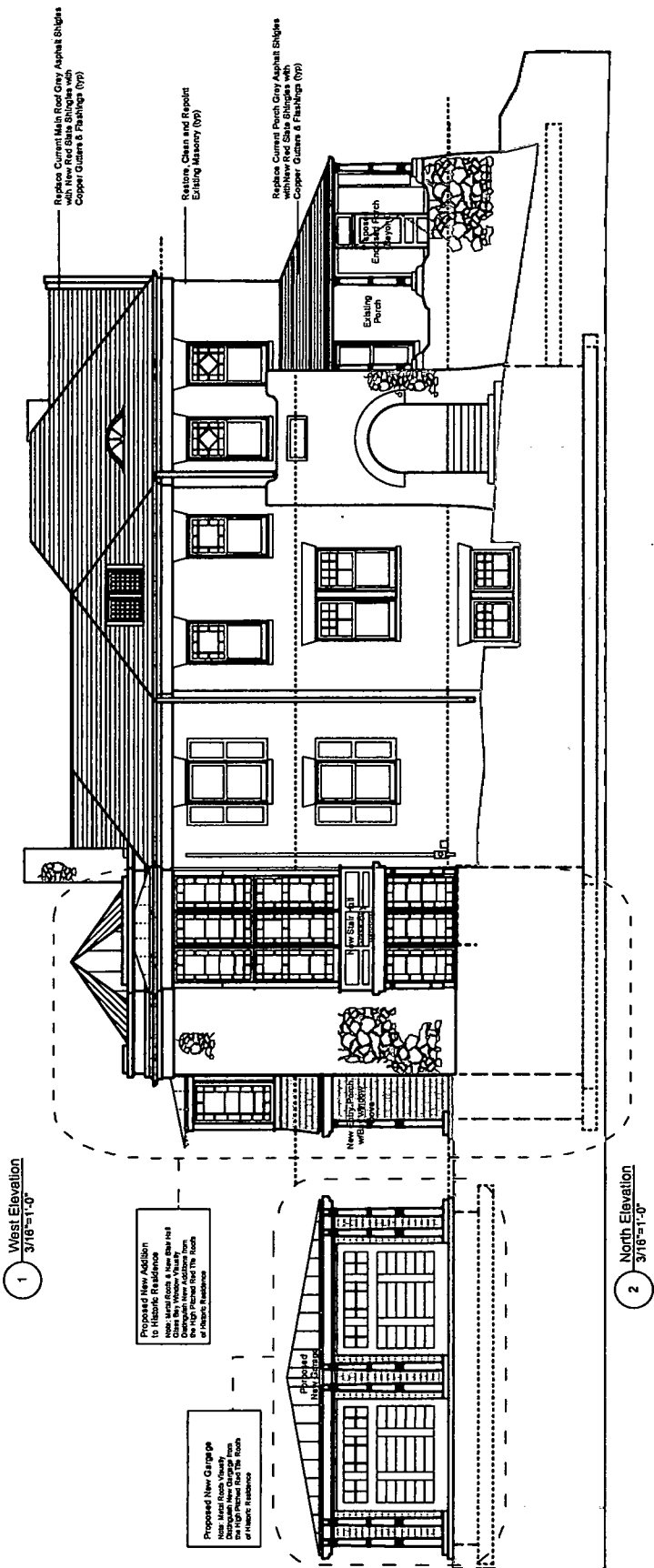
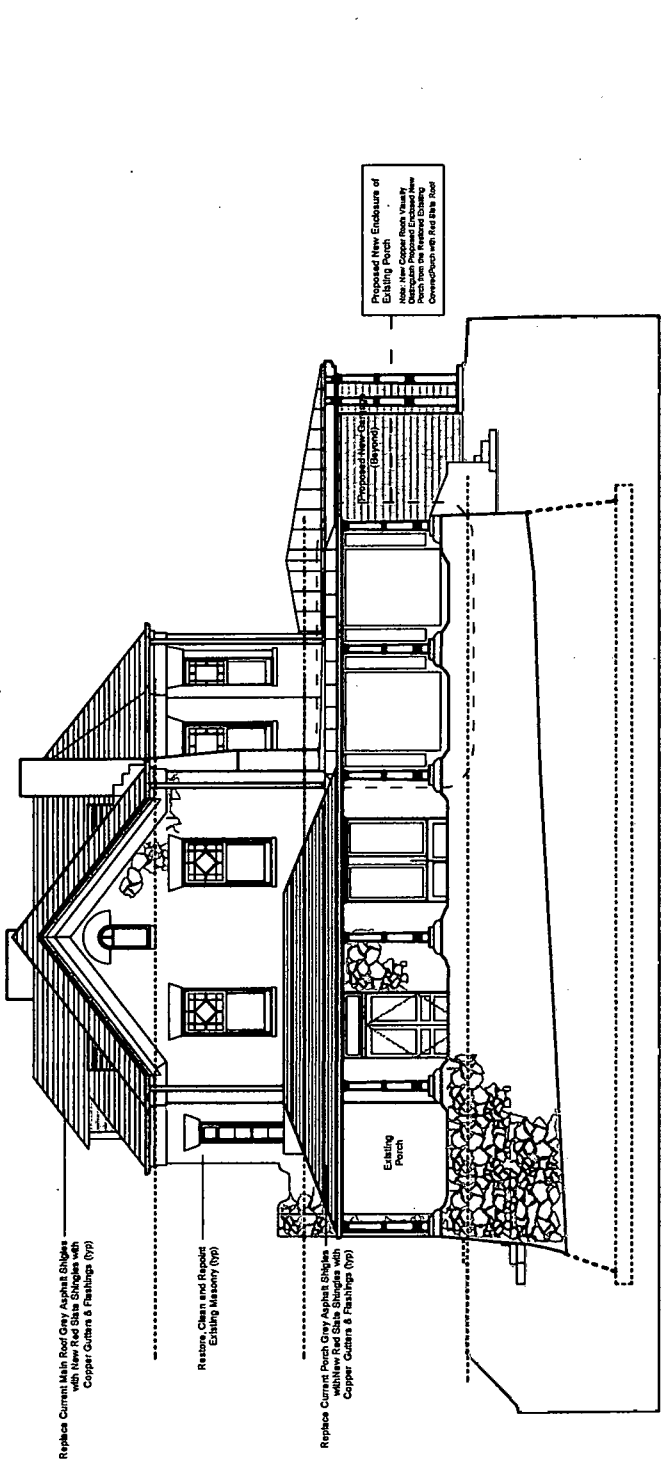
1 Main Floor Plan  
3/16" = 1'-0"



1 Second Floor Plan  
 3/18/17-Q







Option B

**McNair Residence**

Owner:  
 Ross McNair  
 5415 Mohican Road  
 Glen Echo, MD 20818

Current Issue:  
 Prelim Historic  
 Submittal  
 Revisions:

**Pollock Dickerson Associates, PC**

Architect:  
 PDA  
 5600 Nicholson Lane  
 Suite 300  
 Silver Spring, Maryland 20912  
 Tel 301.237.7842

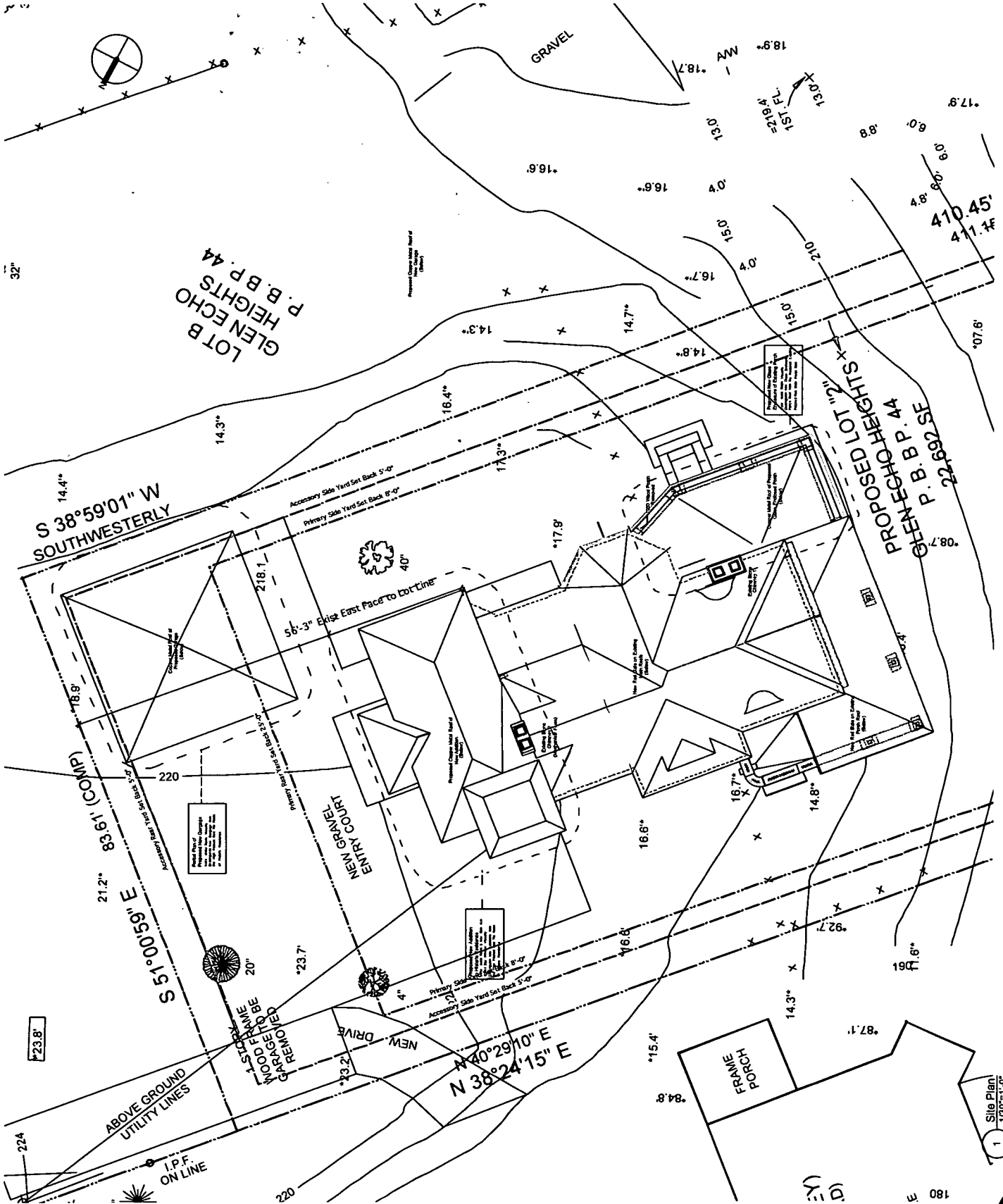
Consultants: TBD

Professional Certification:  
 I am a duly Licensed Professional Architect in the State of Maryland and I am duly Licensed Professional Engineer in the State of Maryland. My License No. is 13322. Expiration Date: 10/11/2012

Site Plan  
 Scale: 1"=30'-0"

2 January 2013

**A.001**



1 Site Plan  
 1/30/13 J.P.

23

**McNair  
Residence**

Owner:  
Ross McNair  
5415 Mohican Road  
Glen Echo, MD 20818

Current Issue:  
**Prelim Historic  
Submission**

Revisions:

**Pollock Dickerson  
Associates, PC**

Architect:  
PDA  
5640 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel 301.237.7542

Consultants : TBD

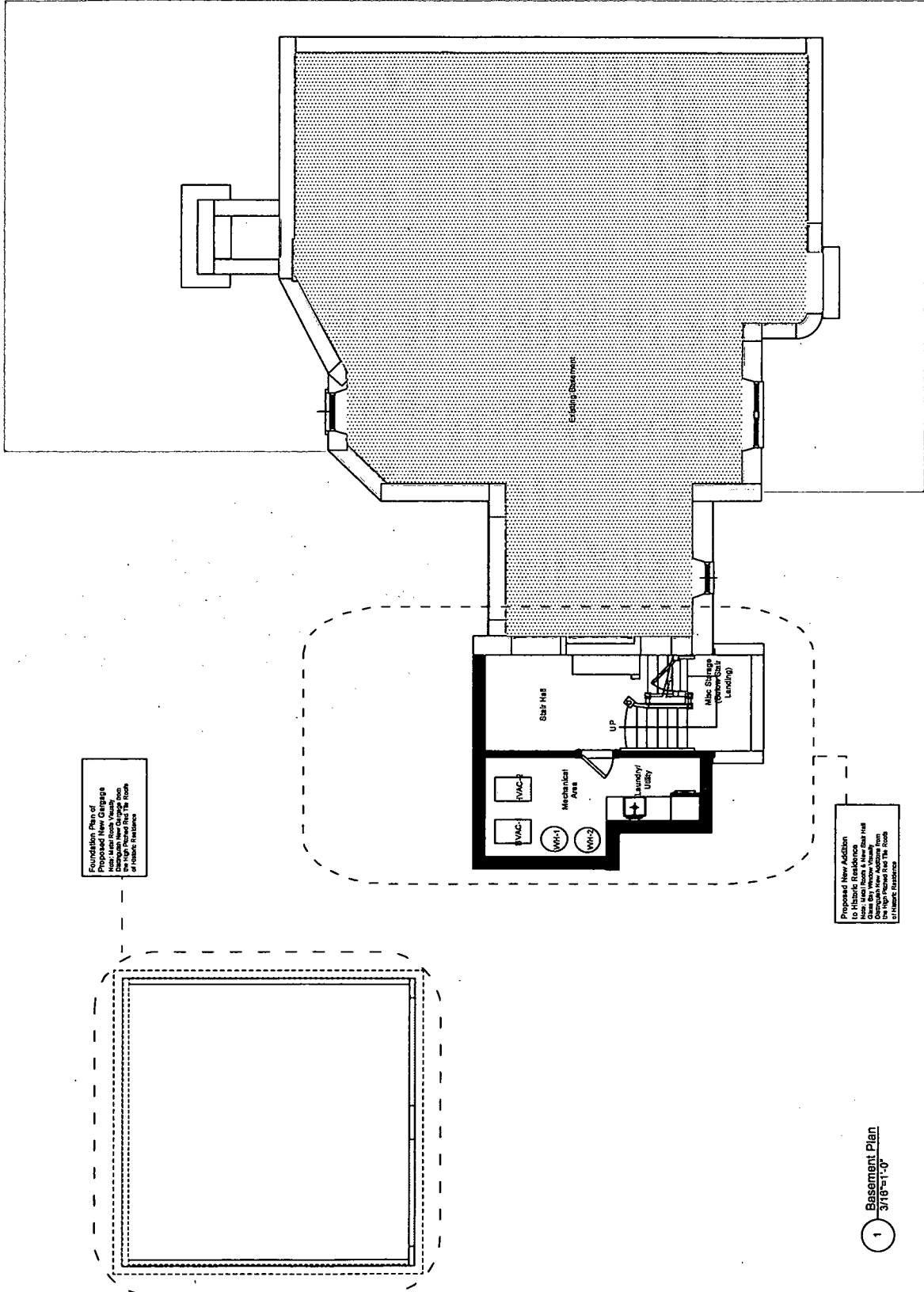
Professional Certification:  
I am a duly Licensed Professional Architect in the State of Maryland. My License No. is 1312513.

**Basement Plan**

Scale: 3/16" = 1'-0"

2 January 2013

**A.100**



Foundation Plan of  
Existing Structure  
Note: Marked from Visual  
Survey of the Existing Structure  
and the Proposed New Addition  
of Historic Residence

Proposed New Addition  
Note: Marked from Visual  
Survey of the Existing Structure  
and the Proposed New Addition  
of Historic Residence

1 Basement Plan  
3/16" = 1'-0"

**McNair  
Residence**

Owner:  
Ross McNair  
5415 Michlain Road  
Glen Echo, MD 20816

Current Issue:  
**Prelim Historic  
Submittal**  
Revisions:

**Follock Dickerson  
ASSOCIATES, PC**

Architect:  
PDA  
5940 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel 301.237.1542

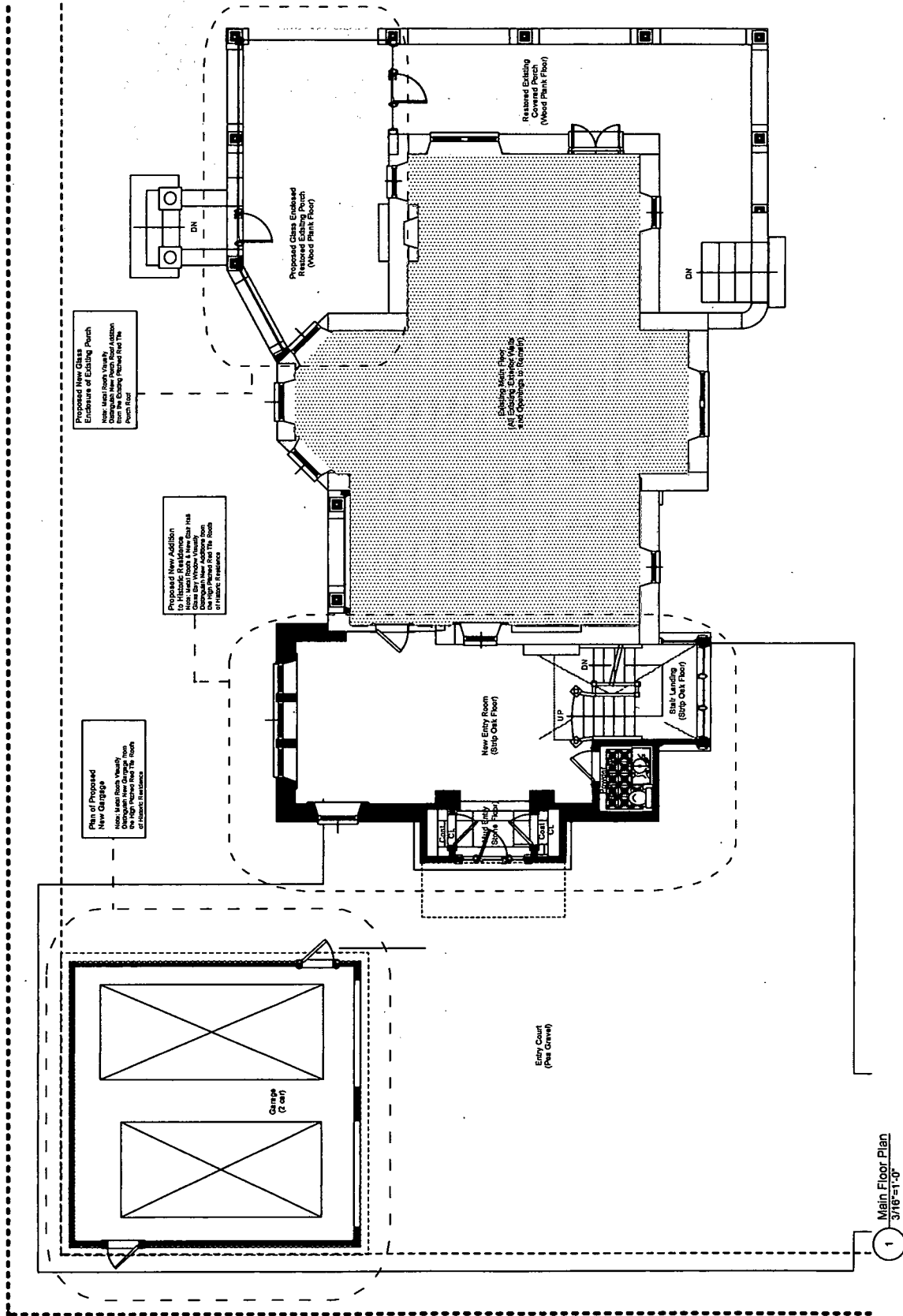
Consultants : TBD

Professional Certification:  
I hereby certify that these documents were  
prepared by me or under my direct supervision  
and that I am a duly licensed professional under  
the laws of the State of Maryland, No. 13  
License No. 1233 Expires Dec. 15, 2013

Main Floor Plan  
Scale: 3/16"=1'-0"

2 January 2013

**A.101**



25

**McNair  
Residence**

Owner:  
Ross McNair  
5415 Mohican Road  
Glen Echo, MD 20819

Current Use:  
Prelim Historic  
Submission  
Revisions:

**Pollock Dickerson  
Associates, PC**

Architect:  
PDA Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel 301.237.7542

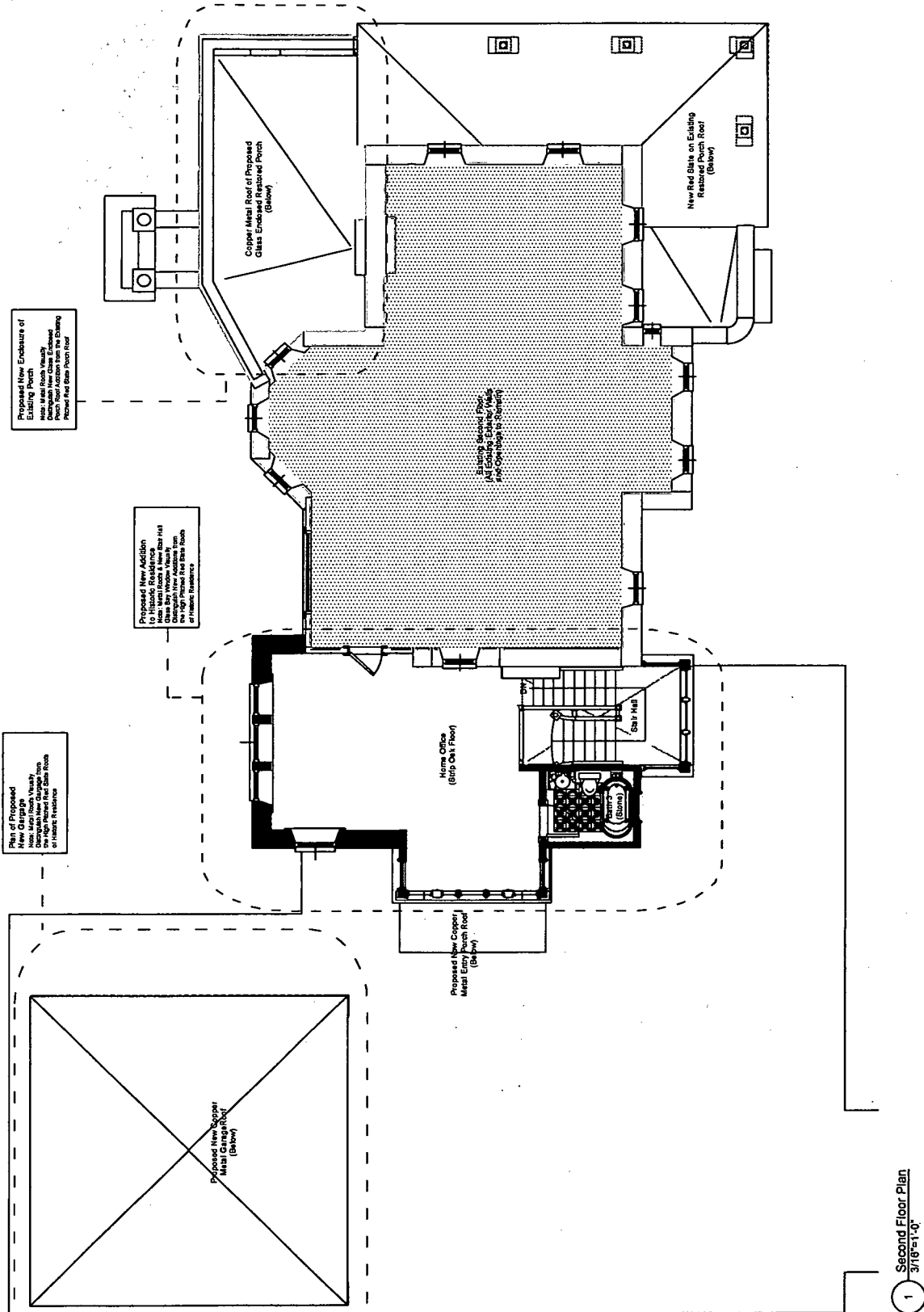
Consultants: TBD

Professional Certification:  
I hereby certify that I am a duly licensed Professional Architect in the State of Maryland and that I am the author of the architectural drawings herein.

Second Floor Plan  
Scale: 3/16"=1'-0"

2 January 2013

**A.102**



26





**McNair  
Residence**

Owner:  
Ross McNair  
5415 Mohican Road  
Glen Echo, MD 20818

Current Issue:  
**Prelim Historic  
Submission**  
Revisions:

Proposed New Enclosure of  
Existing Porch  
Back View  
Demolish Existing Porch  
Demolish Existing Enclosure  
Construct New Enclosure  
Consistent with Historic Style

Replace Current Main Roof Grey Asphalt Shingles  
with New Red Slate Shingles with  
Copper Gutters & Flashings (typ)

Restore, Clean and Repoint  
Existing Masonry (typ)

Replace Current Porch Grey Asphalt Shingles  
with New Red Slate Shingles with  
Copper Gutters & Flashings (typ)

Replace Current Main Roof Grey Asphalt Shingles  
with New Red Slate Shingles with  
Copper Gutters & Flashings (typ)

Restore, Clean and Repoint  
Existing Masonry (typ)

Replace Current Porch Grey Asphalt Shingles  
with New Red Slate Shingles with  
Copper Gutters & Flashings (typ)

1 West Elevation  
3/18"=1'-0"

2 North Elevation  
3/18"=1'-0"

Proposed New Gable  
Addition New Addition from  
Demolish Existing Addition from  
Historic Residence

Proposed New Addition  
to Historic Residence  
Class B  
Demolish Existing Addition from  
Historic Residence

**Pellock Dickerson  
Associates, PC**

Architect:  
PDA  
5840 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel: 301.271.7542

Consultants: TBD

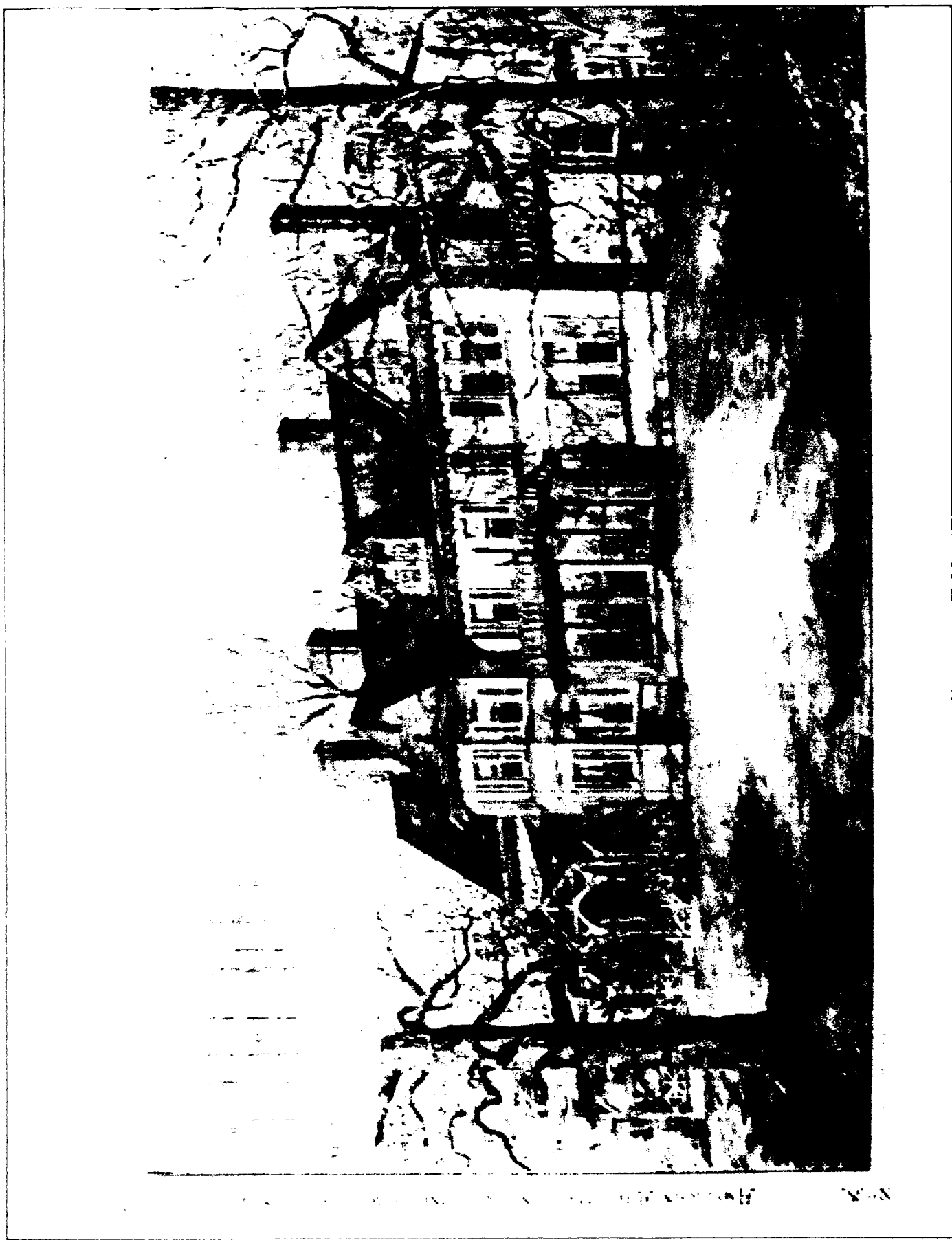
Professional Certification:  
I hereby certify that these drawings were  
prepared by me or under my direct supervision  
and that I am a duly Licensed Professional  
Architect No. 12322 Expires Dec. 10, 11, 2017

Elevations  
Scale: 3/18"=1'-0"

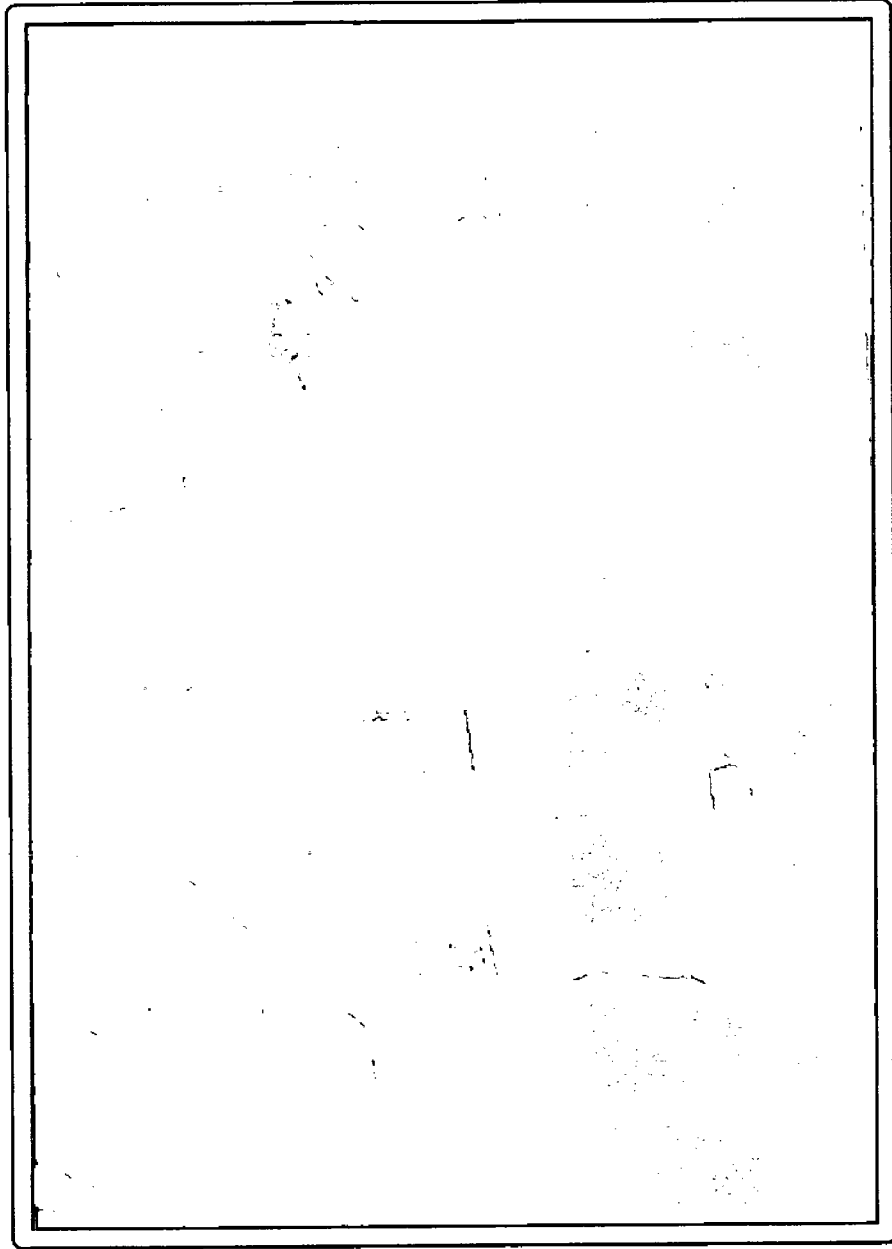
2 January 2013

**A.201**

28

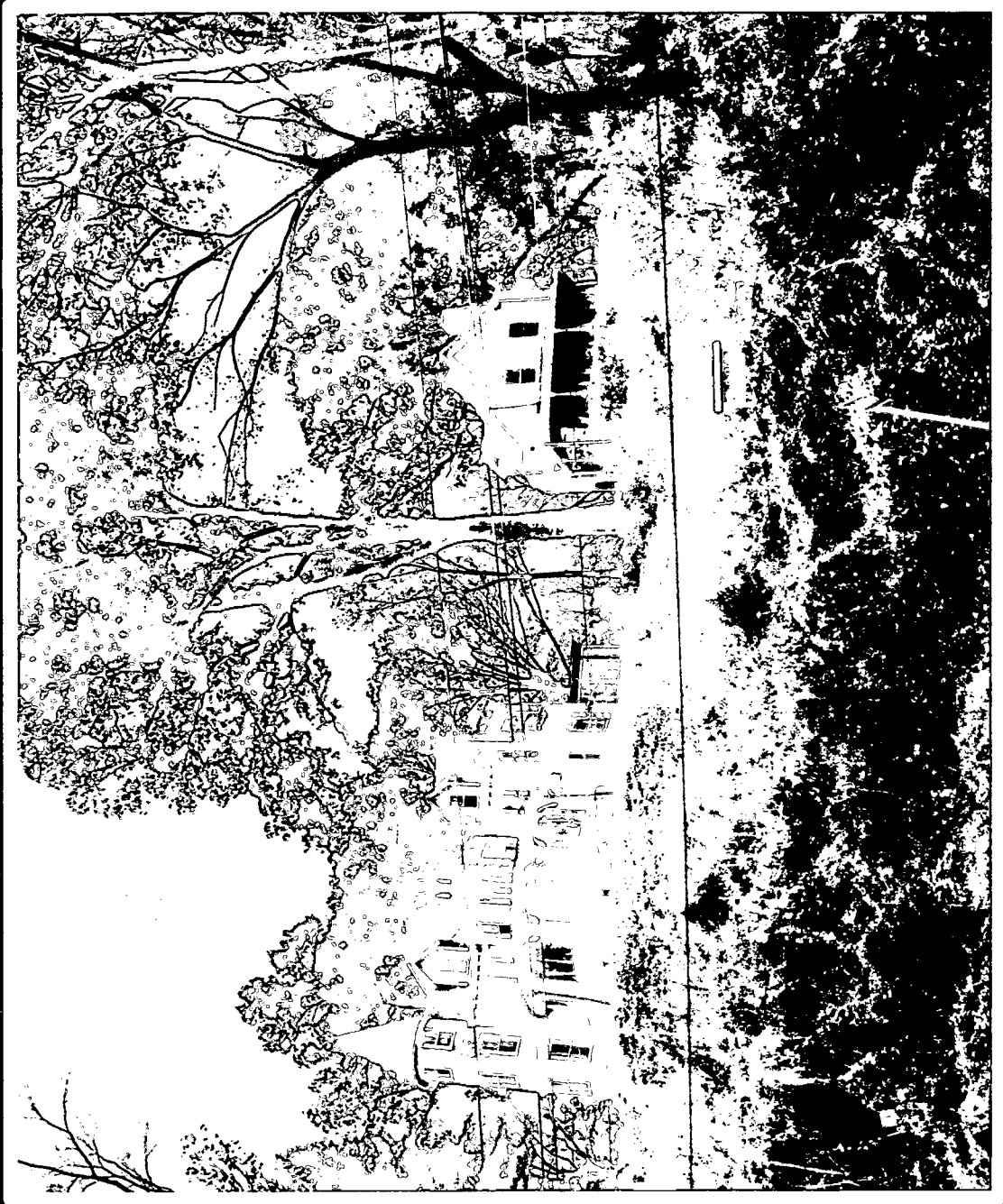


**McNair Cottage  
Proposed Historic Restoration & Additions**



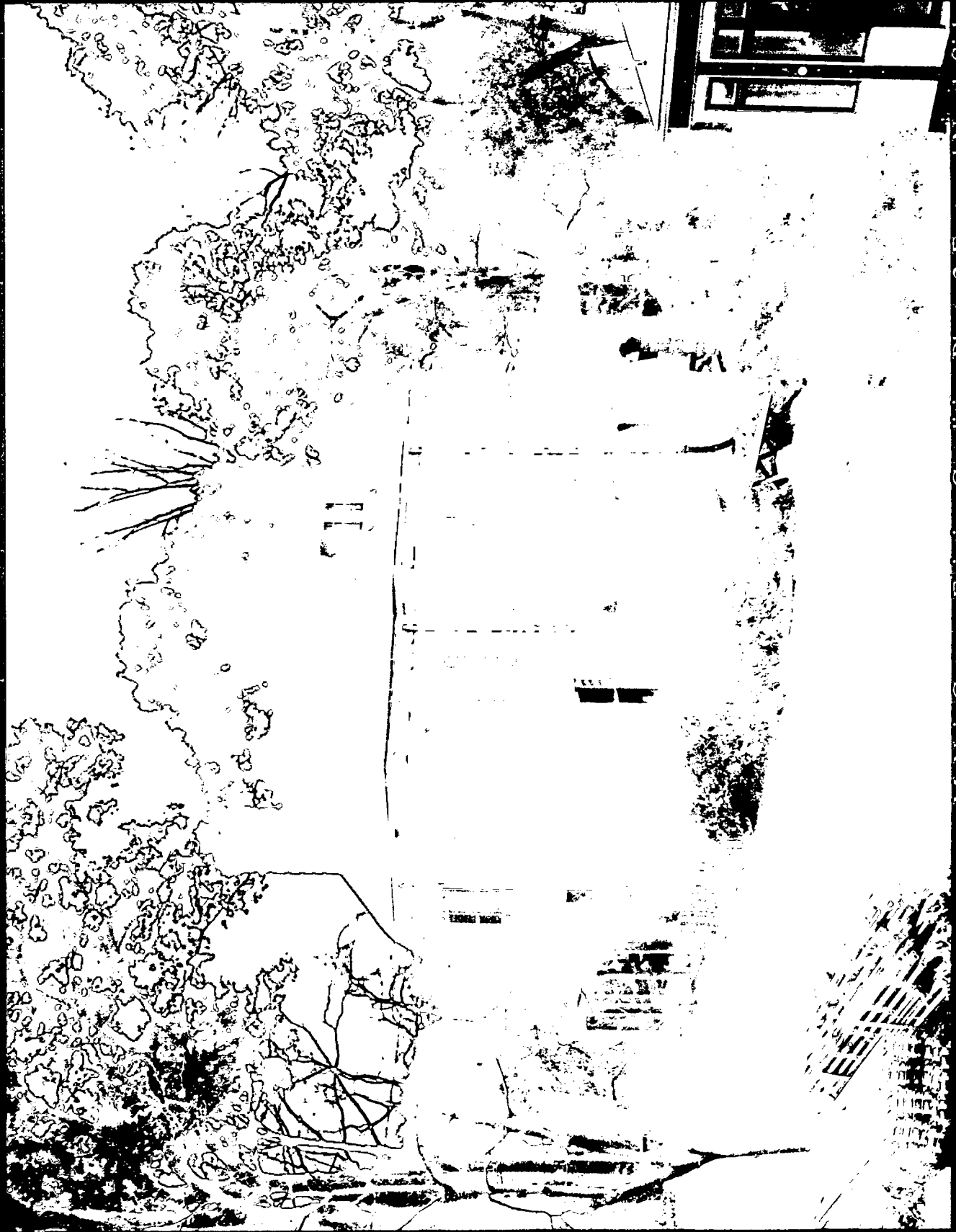
**Presentation of Schematic Options  
November 2012**

Existing Condition Photos





McNair Cottage Existing Condition Photo 1-Entry Drive from East Side



McNair Cottage Existing Condition Photo 2-East and North Sides

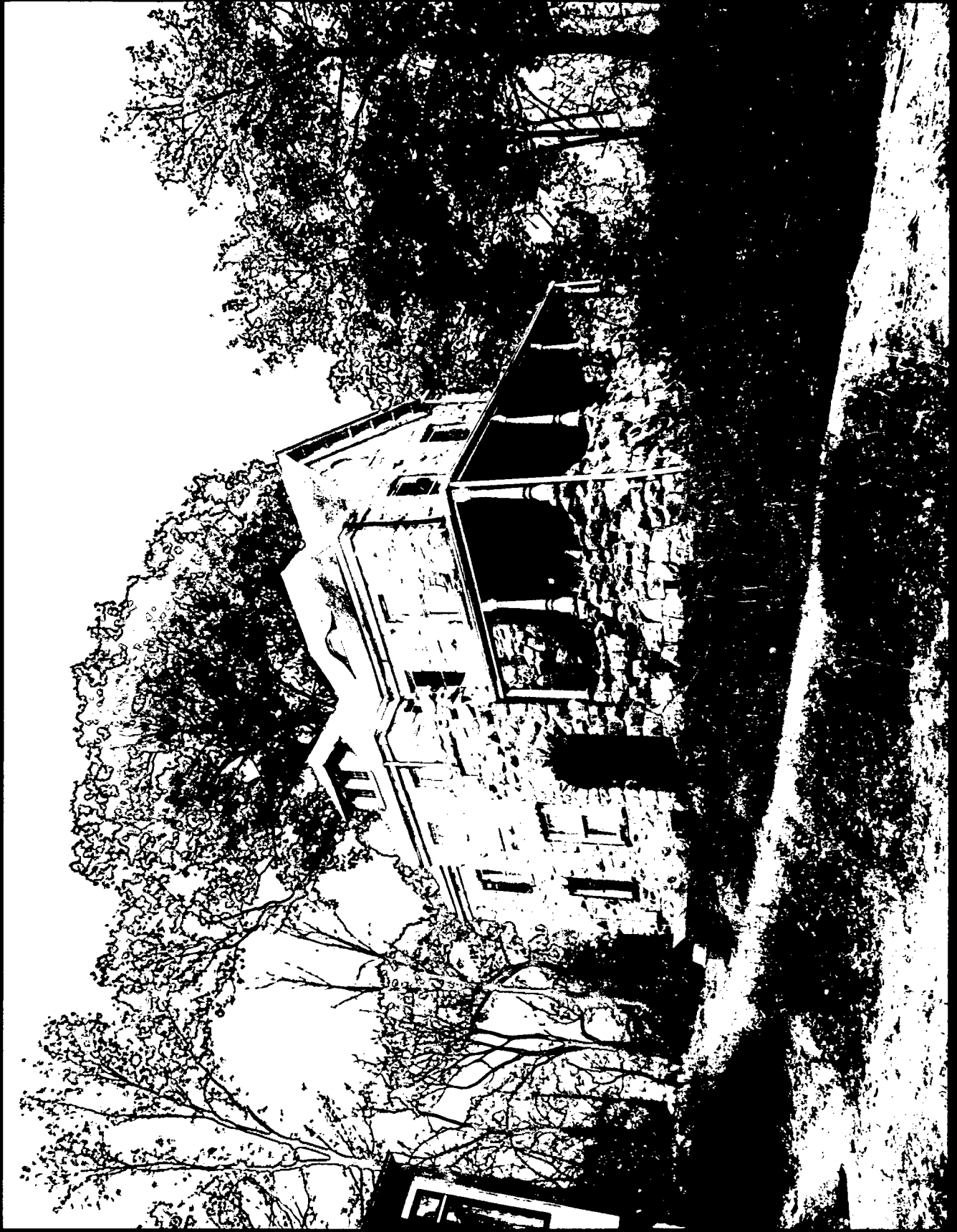


McNair Cottage Existing Condition Photo 3- East Side



McNair Cottage Existing Condition Photo 4-View of Existing Drive and Storage Bldg

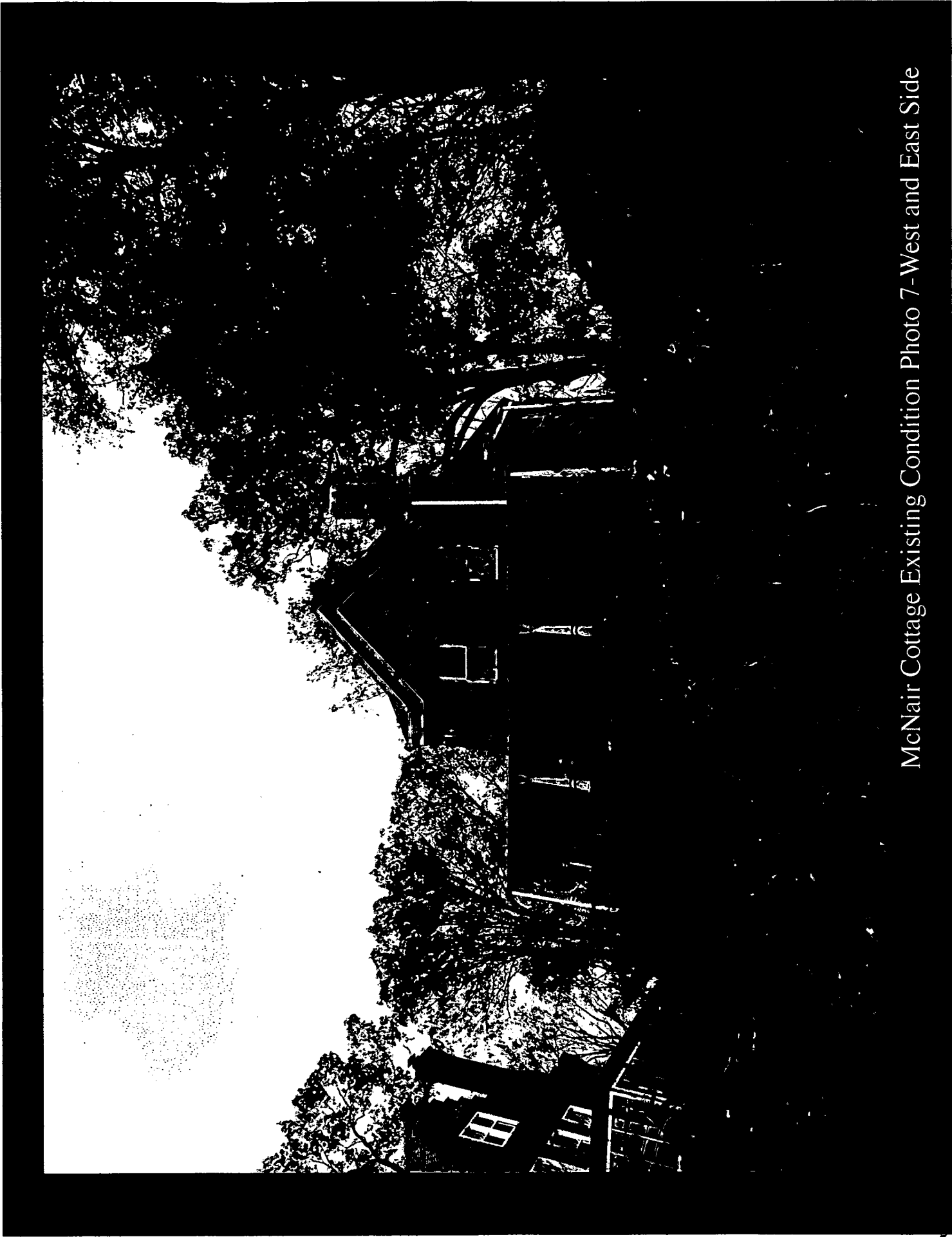




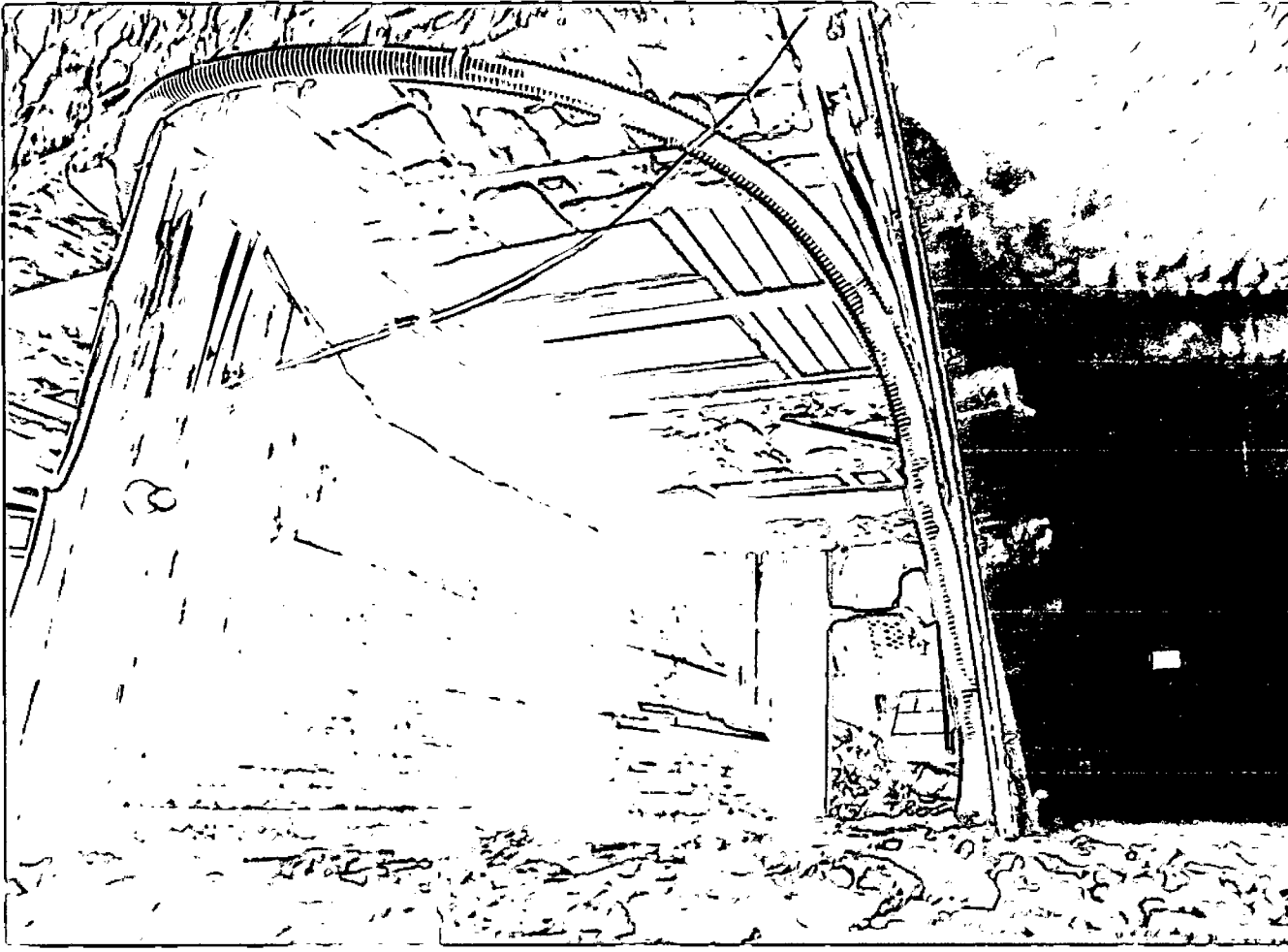
McNair Cottage Existing Condition Photo 5-North and West Sides



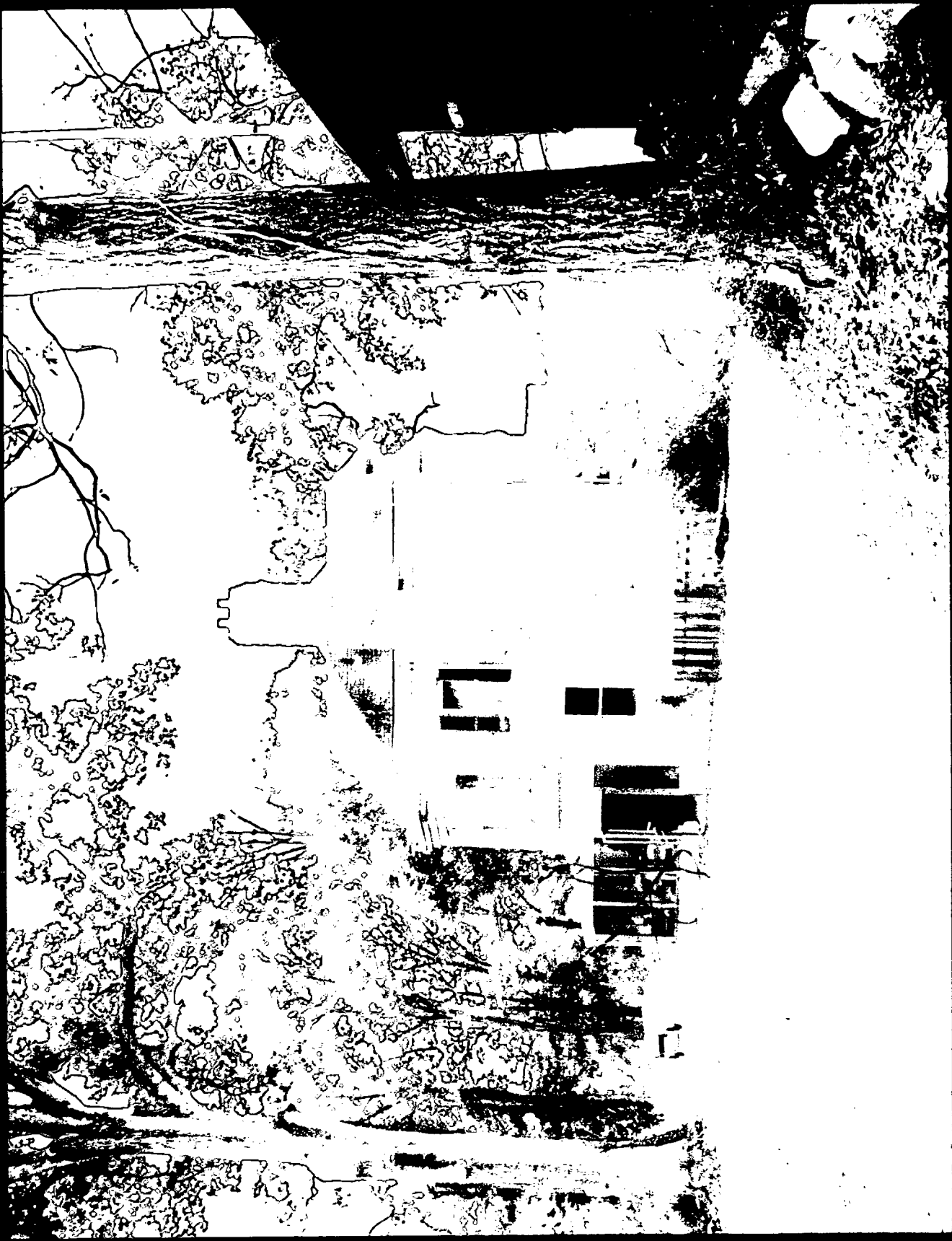
McNair Cottage Existing Condition Photo 6-North Side View @ Porch



McNair Cottage Existing Condition Photo 7-West and East Side



McNair Cottage Existing Condition Photo 9- East Side Porch View



McNair Cottage Existing Condition Photo 3- East Side

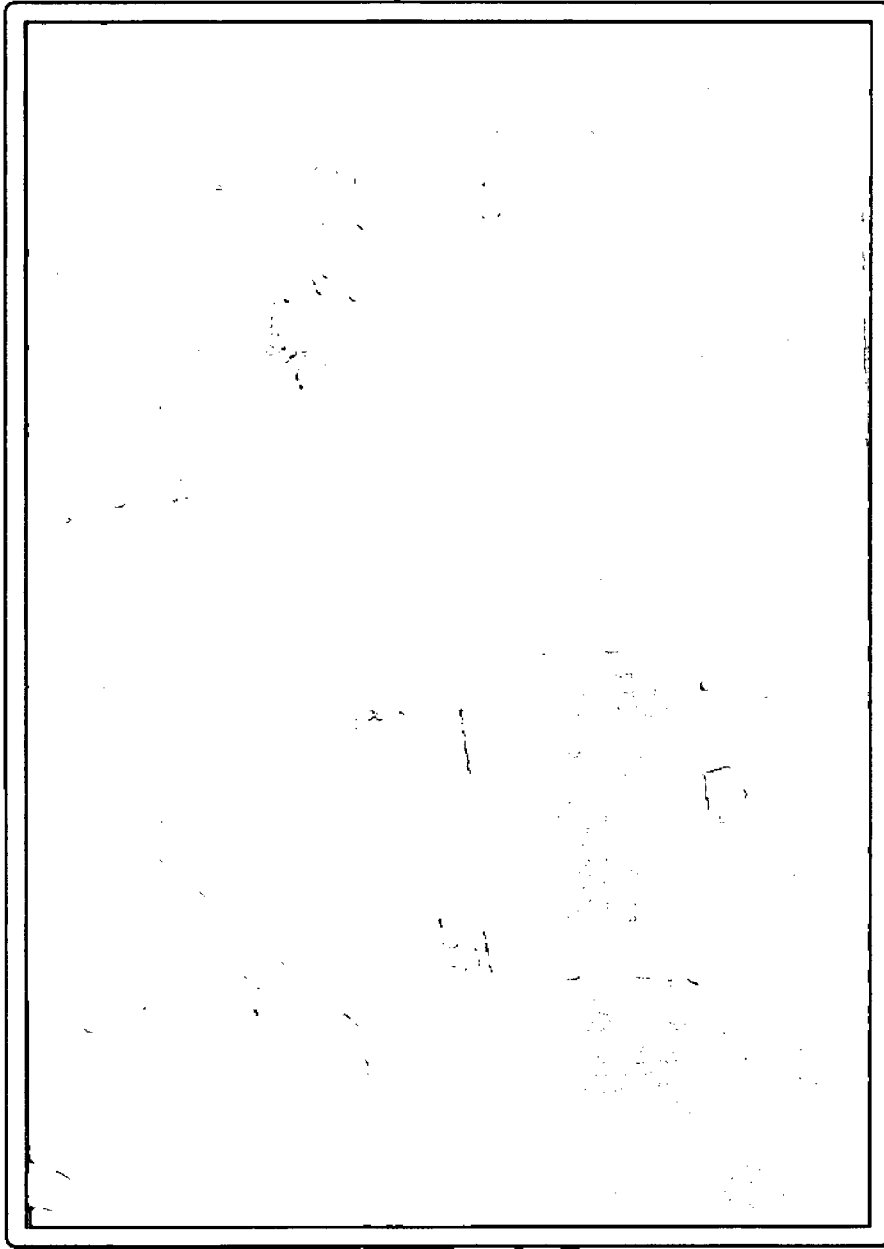


McNair Cottage Existing Condition Photo 4-View of Existing Drive and Storage Bldg



McNair Cottage Existing Condition Photo 1-Entry Drive from East Side

# McNair Cottage Proposed Historic Restoration & Additions



Presentation of Schematic Options  
November 2012



Existing Condition Photos





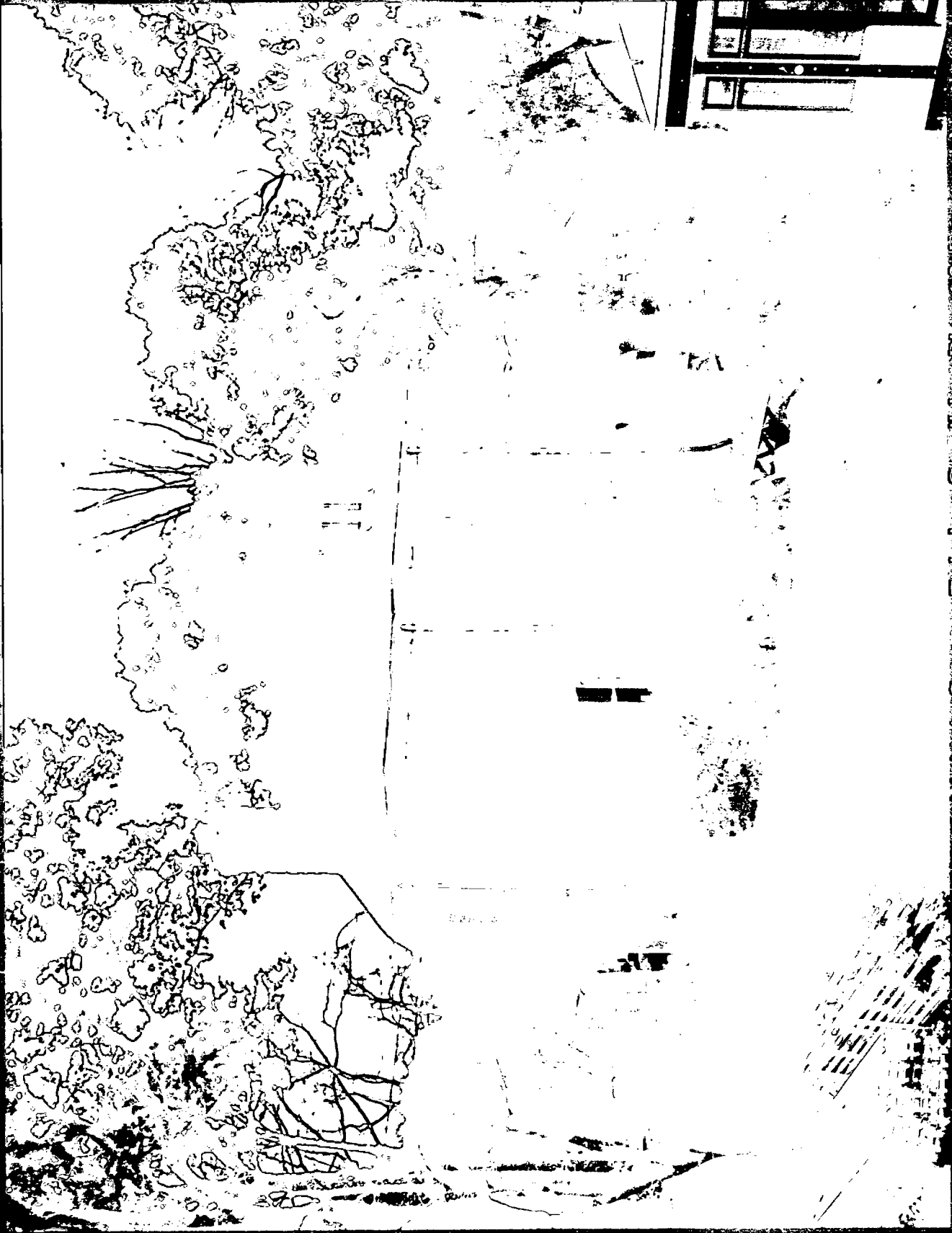
McNair Cottage Existing Condition Photo 5-North and West Sides



McNair Cottage Existing Condition Photo 6-North Side View @ Porch



McNair Cottage Existing Condition Photo 7 - West and East Side



McNair Cottage Existing Condition Photo 2 - East and North Sides



McNair Cottage Existing Condition Photo 8-West Side View @ Porch



McNair Cottage Existing Condition Photo 9- East Side Porch View

