

4115 JONES BRIDGE ROAD
HAWKINS LAKE H. D. 2A13
3564-13C



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 2/22/12

MEMORANDUM

TO: Diane Schwartz Jones, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #586654—installation of windows and replacement of doors

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on January 11, 2012.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: B & B Real Estate Holding LLC (Kathleen O'Hearn)
Address: 6124 MacArthur Boulevard, Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





[Redacted]

HP# 586654

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Kohearn@peoplepc.com Contact Person: Kathleen O'Hearn
 Tax Account No.: 07 00418062 Daytime Phone No.: 301-320-2067
 Name of Property Owner: B & B Real Estate Holding LLC Daytime Phone No.: 202-371-1500
 Address: 4350 East-West Hwy Bethesda MD 20814
Street Number City State Zip Code
 Contractor: Carnemark Phone No.: 301-657-5000
 Contractor Registration No.: 83501-01
 Agent for Owner: Kathleen O'Hearn Daytime Phone No.: 301-320-2067

LOCATION OF BUILDING/PREMISES

House Number: 6124 MacArthur Street: MacArthur
 Town/City: Bethesda Nearest Cross Street: Sangamore
 Lot: 2 Block: - Subdivision: 0001
 Liber: 32454 Folio: 72 Parcel: 0000

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 60,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ Date: 12-12-11
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: [Signature] Date: 2/22/12
 Application/Permit No.: 586654 Date Filed: 12/15/2011 Date Issued: _____

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Bonfield Garage is a two story + basement wood frame building dating 1921. In 1998 a rear/side addition was constructed. The original building is the oldest service station in the county. The garage service entrance is in the center of the front facade with wooden garage doors for closure. A restored sign for the garage remains. The original wood German siding was repaired/restored ~~in~~ during the previous renovation.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2 wood, aluminum clad windows are to be added to the rear of the addition, at the basement level. A set of double metal doors are to be replaced with an aluminum clad full lite door & sidelite in the exist. opening; Also in the addition at the lower level.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6124 MacArthur Boulevard, Bethesda	Meeting Date:	1/11/12
Applicant:	B & B Real Estate Holding LLC (Kathleen O'Hearn, Architect)	Report Date:	1/4/12
Resource:	<i>Master Plan Site #35/47</i> Bonfield's Garage	Public Notice:	12/28/11
Review:	HAWP	Tax Credit:	None
Case Number:	35/47-12A	Staff:	Anne Fothergill

PROPOSAL: Installation of windows and replacement of doors at foundation level of non-historic addition

STAFF RECOMMENDATION

Staff is recommending that the HPC approve the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan Site #35/47, Bonfield's Garage*
STYLE: Garage
DATE: c. 1921

Excerpt from Places from the Past:

Bonfield's garage, one of the last early automobile repair garages, represents the transformation of lower Montgomery County from a farming community into a residential suburb. The Bonfield family opened an auto repair garage here about 1927. For 70 years, Walter Bonfield, inheriting the business from his father, operated the garage and lived in the second-level apartment over the shop. Adjacent to the building are open-air grease pits, predating the hydraulic lifts in today's service stations. Bonfield expanded his business in 1936, installing gas pumps to supplement the automobile repair service. The 22-story front-gable structure is a traditional building form used for commercial structures as early as the mid-1800s. In contrast, the metal streamline sign announcing Bonfields services responded to the faster pace of the automobile age.

PROPOSAL

The applicants are proposing to install two aluminum clad wood windows at the rear of the 1998 addition on the foundation level. They also propose to replace a set of double metal doors in the addition at the lower level with an aluminum-clad full-lite door and sidelite in the existing opening.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed alterations are all in the 1988 addition to the historic garage and are at the foundation level. There will be no adverse impacts to the historic resource and staff recommends approval of this application.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application with one condition as being consistent with Chapter 24A-8(b)(1) and (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



Hott 586654

HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

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Town/City: Bethesda Nearest Cross Street: Sangamore
Lot: 2 Block: - Subdivision: 0001
Liber: 32454 Folio: 72 Parcel: 0000

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Stab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other

1B. Construction cost estimate: \$ 60,000

1C. If this is a revision of a previously approved active permit, see Permit #

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date: 12-12-11

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 586654 Date Filed: 12/13/2011 Date Issued:

4

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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

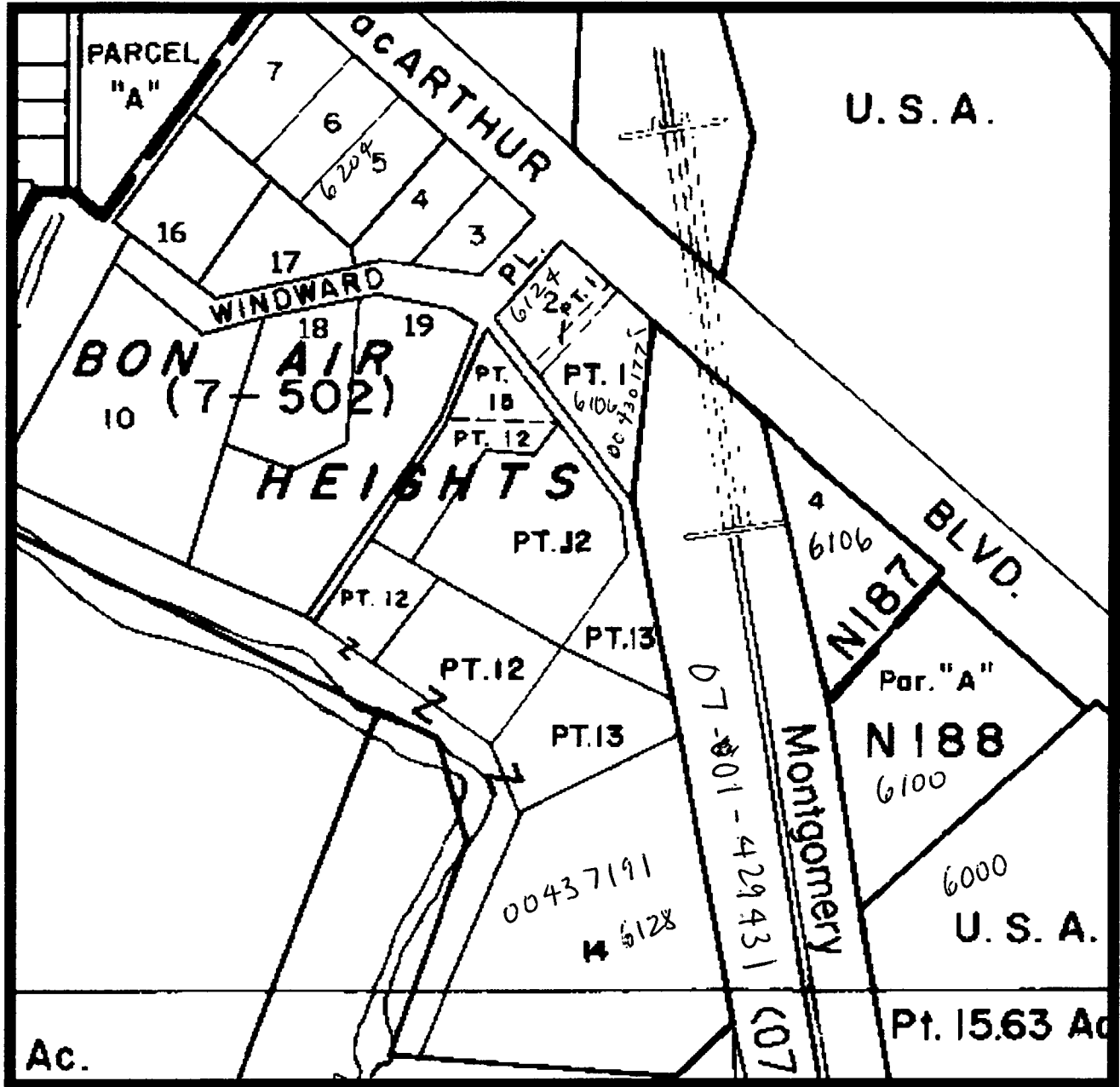
<p>Owner's mailing address Carri Bennet B+B Real Estate Holding, LLC 4350 East West Hwy Bethesda, MD 20814</p>	<p>Owner's Agent's mailing address Kathleen O'Hearn, AIA 6105 Massachusetts Avenue Bethesda, MD 20816</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Montgomery County 101 Monroe Street 10 FL Rockville, MD 20850</p>	<p>Patricia & Gregory Steis 6201 Windward Place Bethesda, MD 20816</p>
<p>Schimansky Helmut J & Cathy Kiefer 4230 Leeward Place Bethesda, MD 20816</p>	<p>Mac Arthur Assoc. Ltd Partnership 6106 MacArthur Blvd Bethesda, MD 20816</p>
<p>Mark McInturff trustee 4224 Leeward Place Bethesda, MD 20816</p>	



Maryland Department of Assessments and Taxation
MONTGOMERY COUNTY
Real Property Data Search

[Go Back](#)
[View Map](#)
[New Search](#)

District - 07 Account Number - 00418062



The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net.

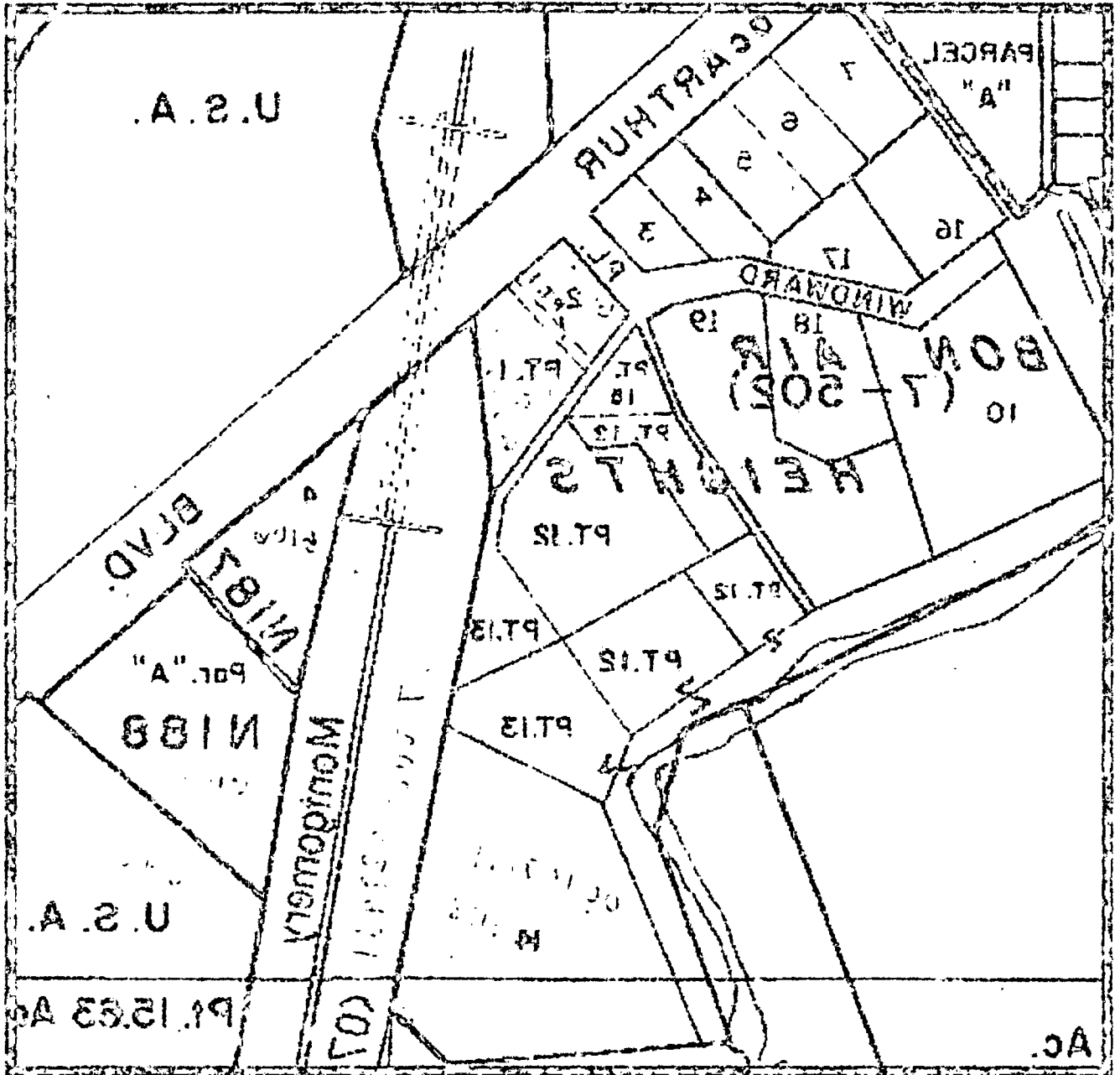
Property maps provided courtesy of the Maryland Department of Planning ©2009.

7

Maryland Department of Assessments and Taxation
 MONTGOMERY COUNTY
 Real Property Data Search

View Map
 Maryland

District - 07 Account Number - 00418063




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Property maps provided courtesy of the Maryland Department of Planning (2009).

47

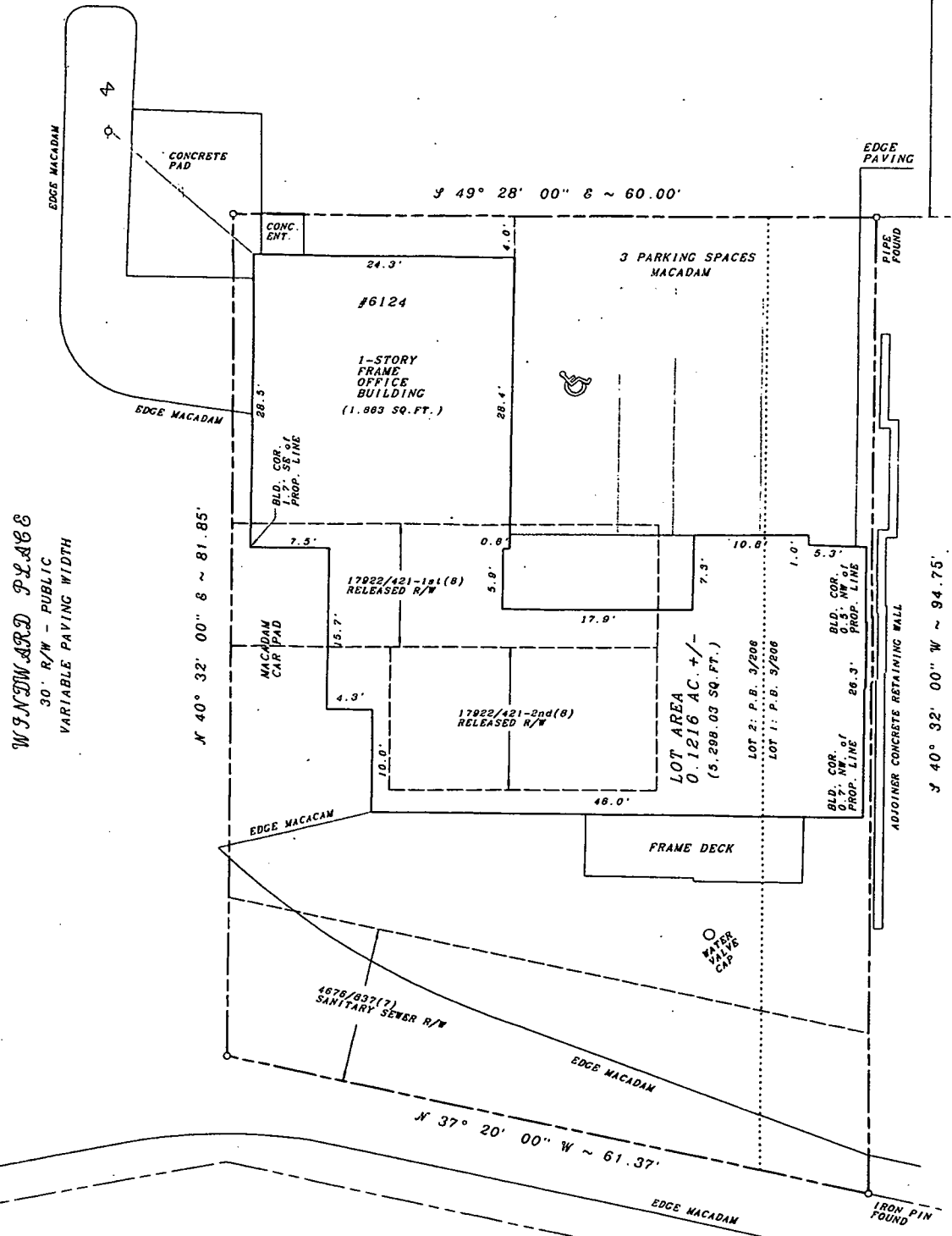


 PLAT NORTH
 P-B 3/206

MacARTHUR BOULEVARD
 66' R/W - PUBLIC
 56' PAVING

66' R/W

O'Hearn Architects
 441-EDG O-LEV. A.L. .ED J.P.
 30-350-2587



WINDWARD PLAGE
 30' R/W - PUBLIC
 VARIABLE PAVING WIDTH

N 40° 32' 00" E ~ 81.85'

N 40° 32' 00" W ~ 94.75'

N 37° 20' 00" W ~ 61.37'

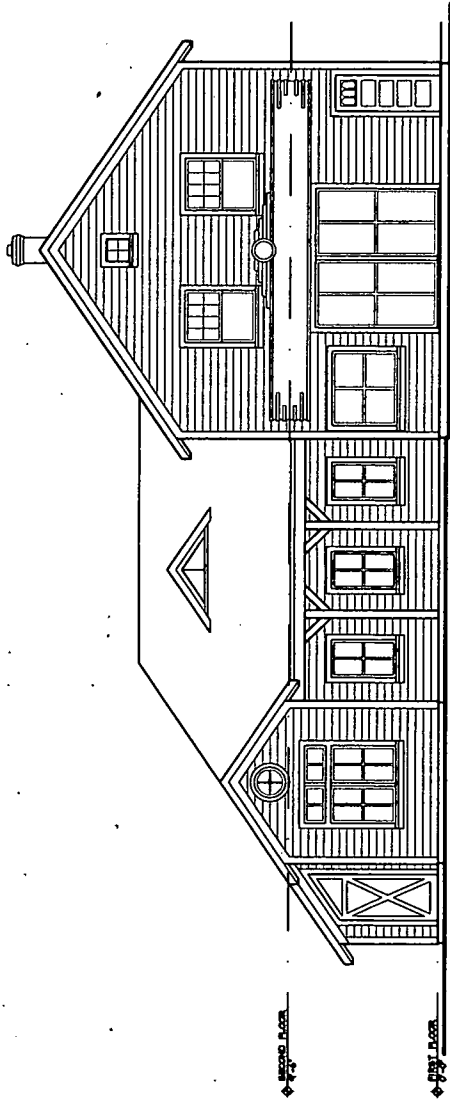
LEeward PLAGE
 10' R/W - PUBLIC
 VARIABLE PAVING WIDTH

SITE PLAN 1" = 1'-0"

MacARTHUR ASSOCIATES LIMITED PARTNERSHIP
 14335/512

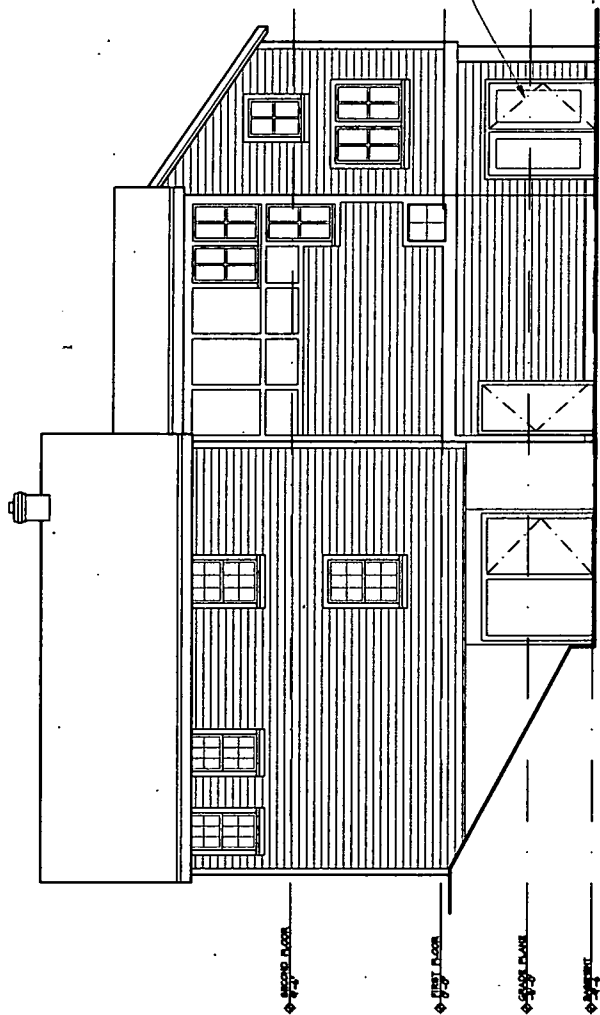
BENNET & BENNET TENANT FIT-OUT
 6124 MACARTHUR BOULEVARD BETHESDA, MD 20816

8



1 FRONT (NORTH) ELEVATION
SCALE: 1/8" = 1'-0"

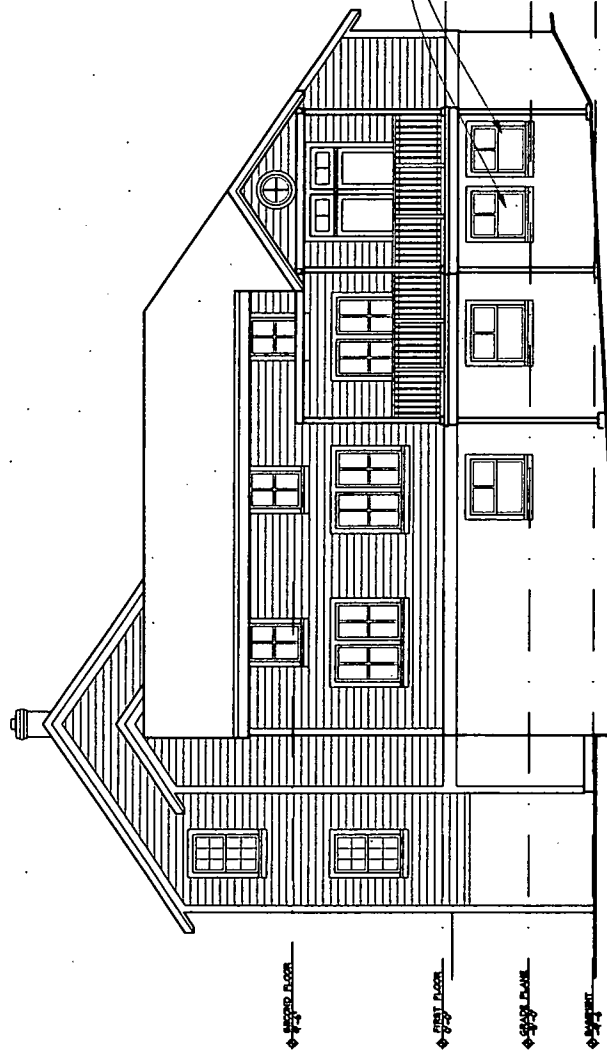
NO WORK AT FRONT ELEVATION - FOR REFERENCE ONLY



2 SIDE (WEST) ELEVATION
SCALE: 1/8" = 1'-0"

REPLACE EXIST. FLUSH METAL DOUBLE DOORS WITH ALUM. GLAD FULL LITE DOOR & SIDE LITE IN EXIST. OPENING

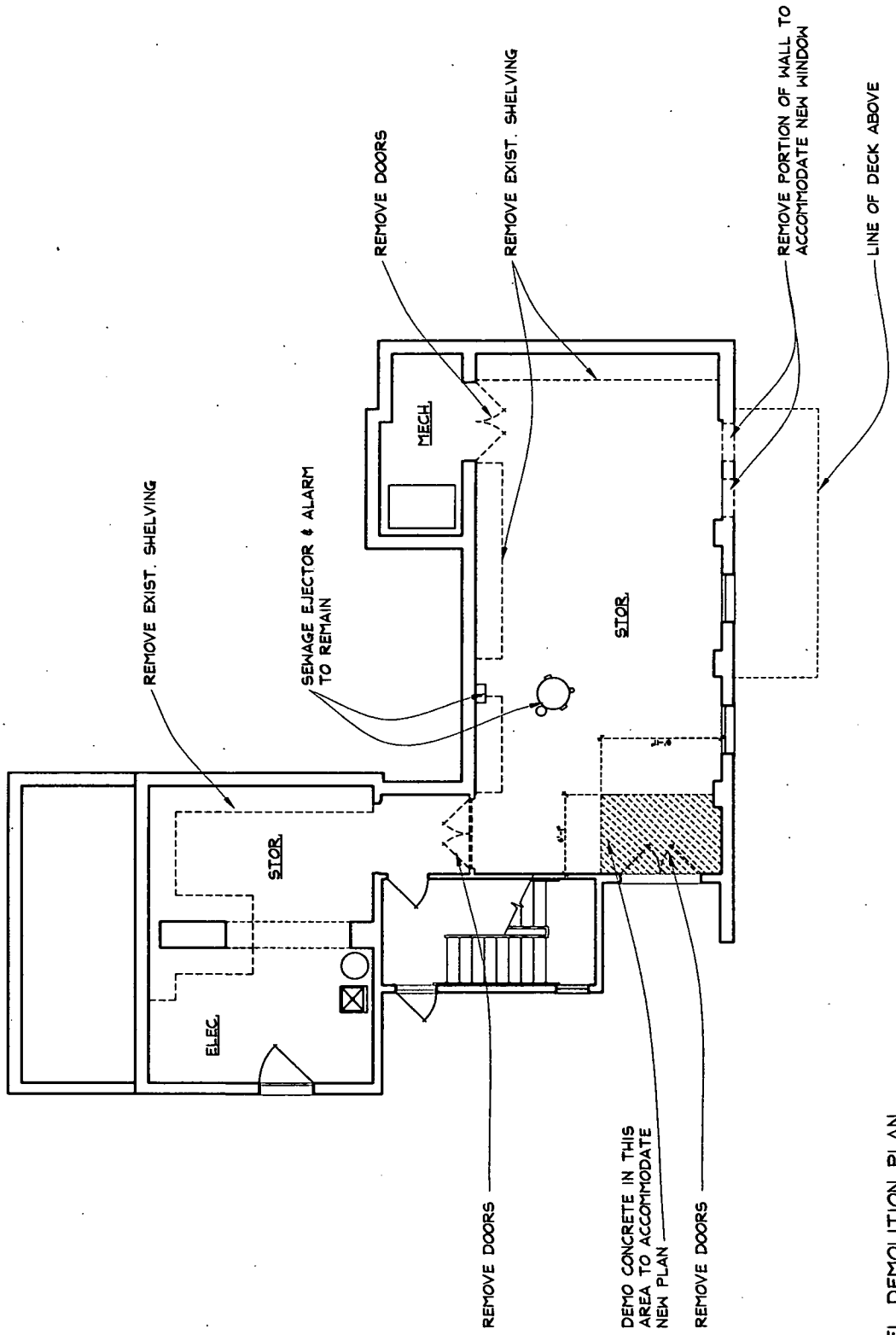
9.



ADD (2) ALUM. CLAD WOOD
WINDOWS, TO MATCH EXISTING
WINDOWS, IN NEW OPENINGS

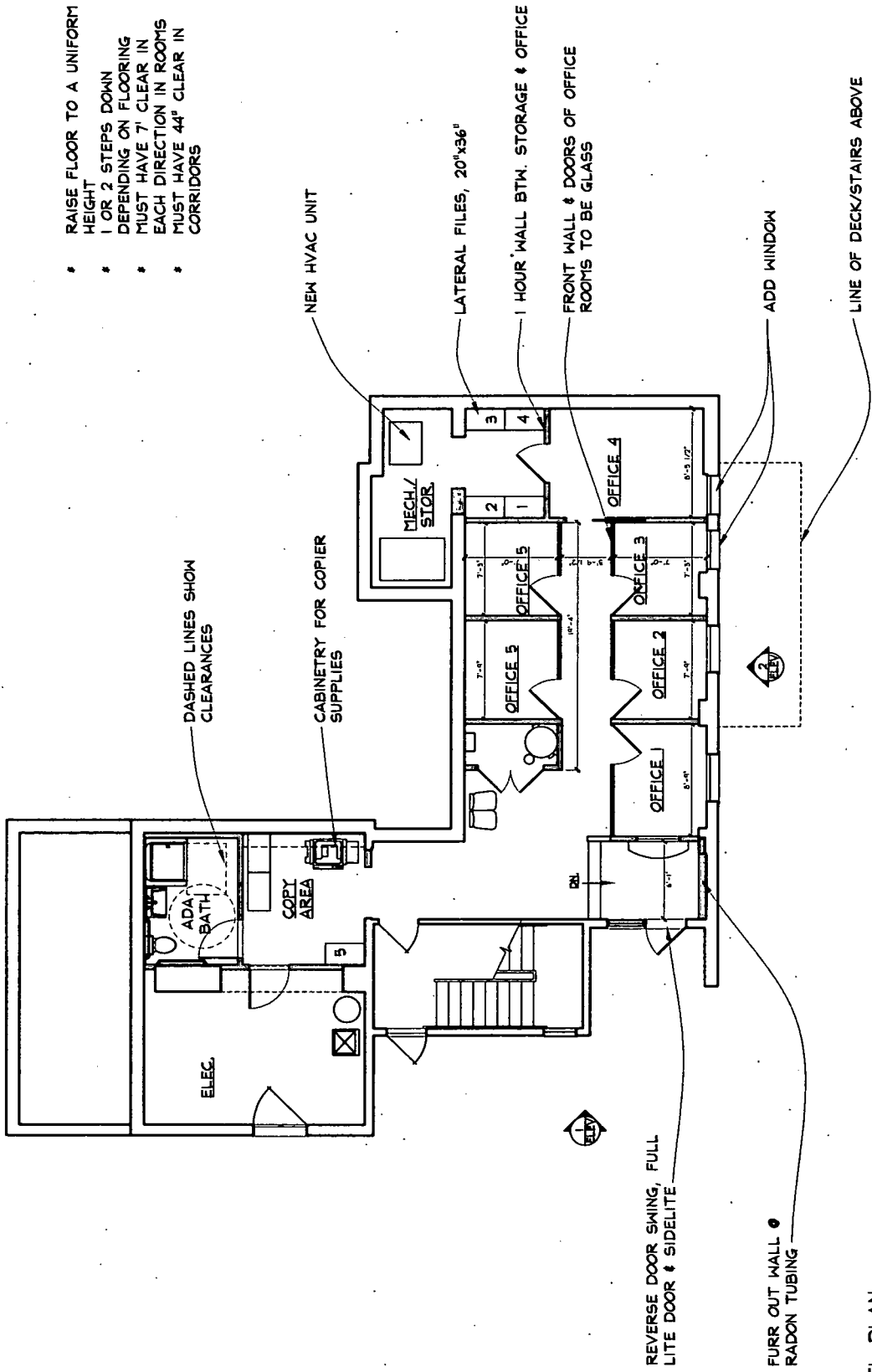
2 REAR (SOUTH) ELEVATION
SCALE: 1/8" = 1'-0"

10



LOWER LEVEL DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"





- RAISE FLOOR TO A UNIFORM HEIGHT
- 1 OR 2 STEPS DOWN DEPENDING ON FLOORING
- MUST HAVE 7' CLEAR IN EACH DIRECTION IN ROOMS
- MUST HAVE 44" CLEAR IN CORRIDORS

2

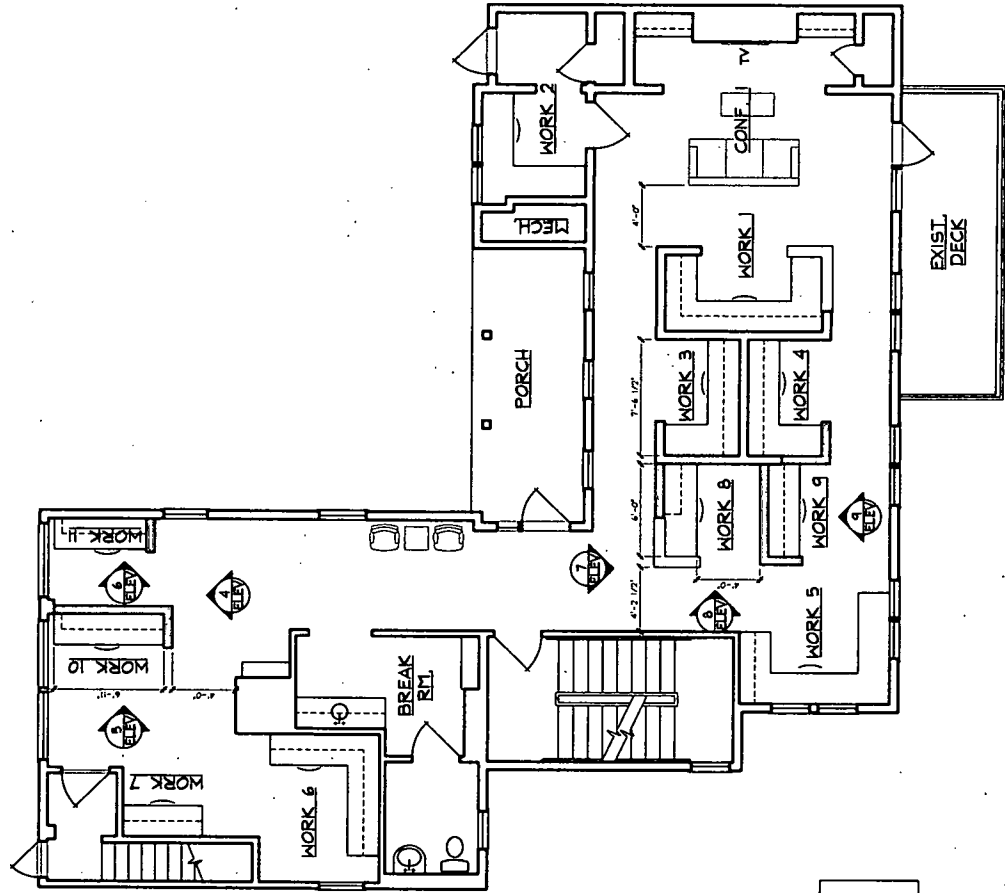
LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"

BENNETT & BENNETT TENANT FIT-OUT

6124 MACARTHUR BOULEVARD BETHESDA, MD 20816

12-11-11



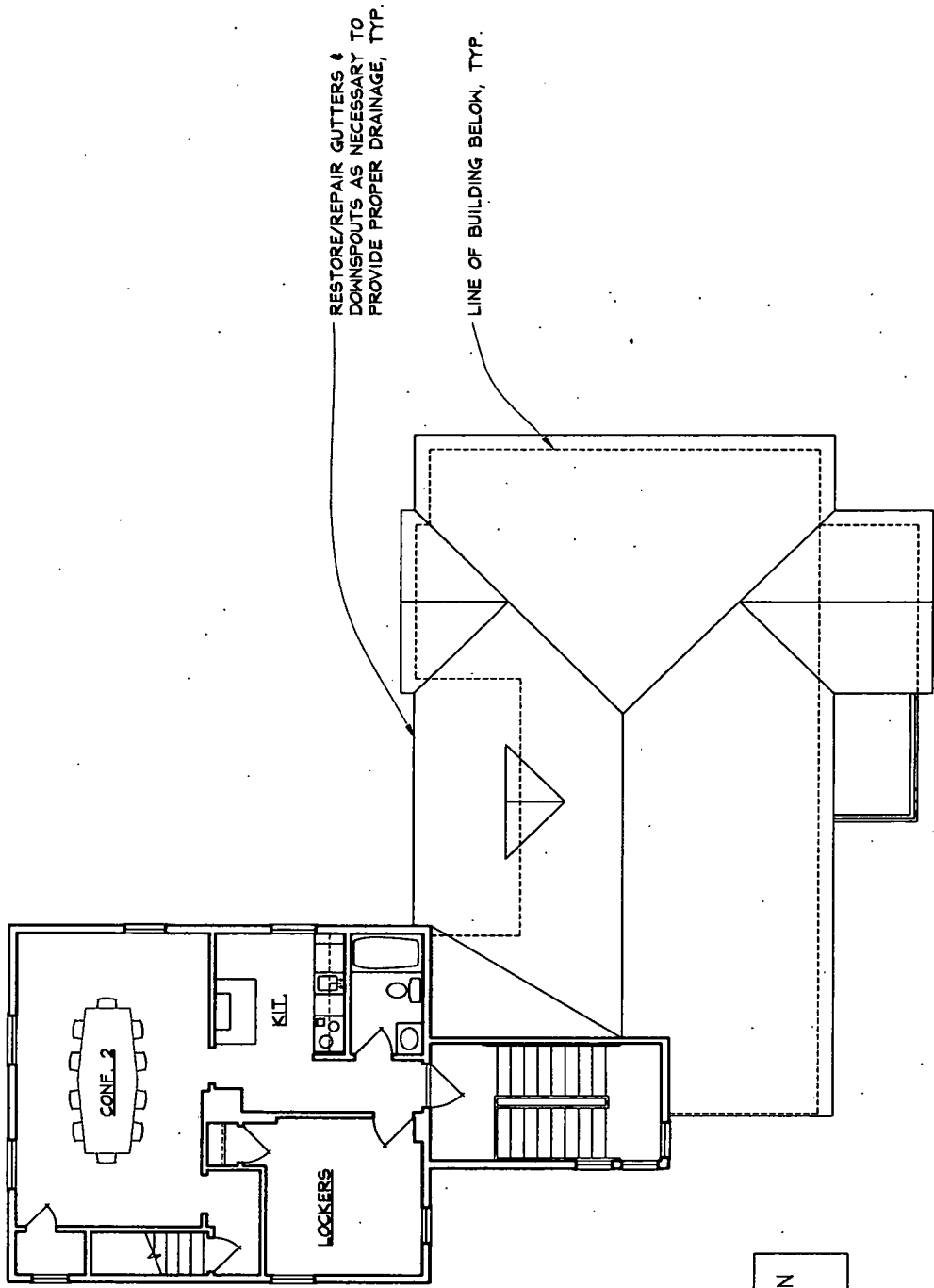


INTERIOR WORK ONLY ON THIS LEVEL



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

BENNET & BENNET TENANT FIT-OUT
6124 MACARTHUR BOULEVARD BETHESDA, MD 20816



INTERIOR WORK ONLY ON THIS LEVEL

14

SECOND FLOOR & PARTIAL ROOF PLAN
SCALE: 1/8" = 1'-0"

BENNETT & BENNETT TENANT FIT-OUT
6124 MACARTHUR BOULEVARD BETHESDA, MD 20816

12-11-11



Existing front facade. No new work at this facade. Reference only
facing MacArthur Boulevard

Historic Bonfield's
6124 MacArthur Boulevard
Bethesda MD 20816



Side Elevation, showing existing doors to be replaced
Facing Windward Ave



Rear Elevation. New windows will be below
deck, at the lower level.

Facing Leeward Alley

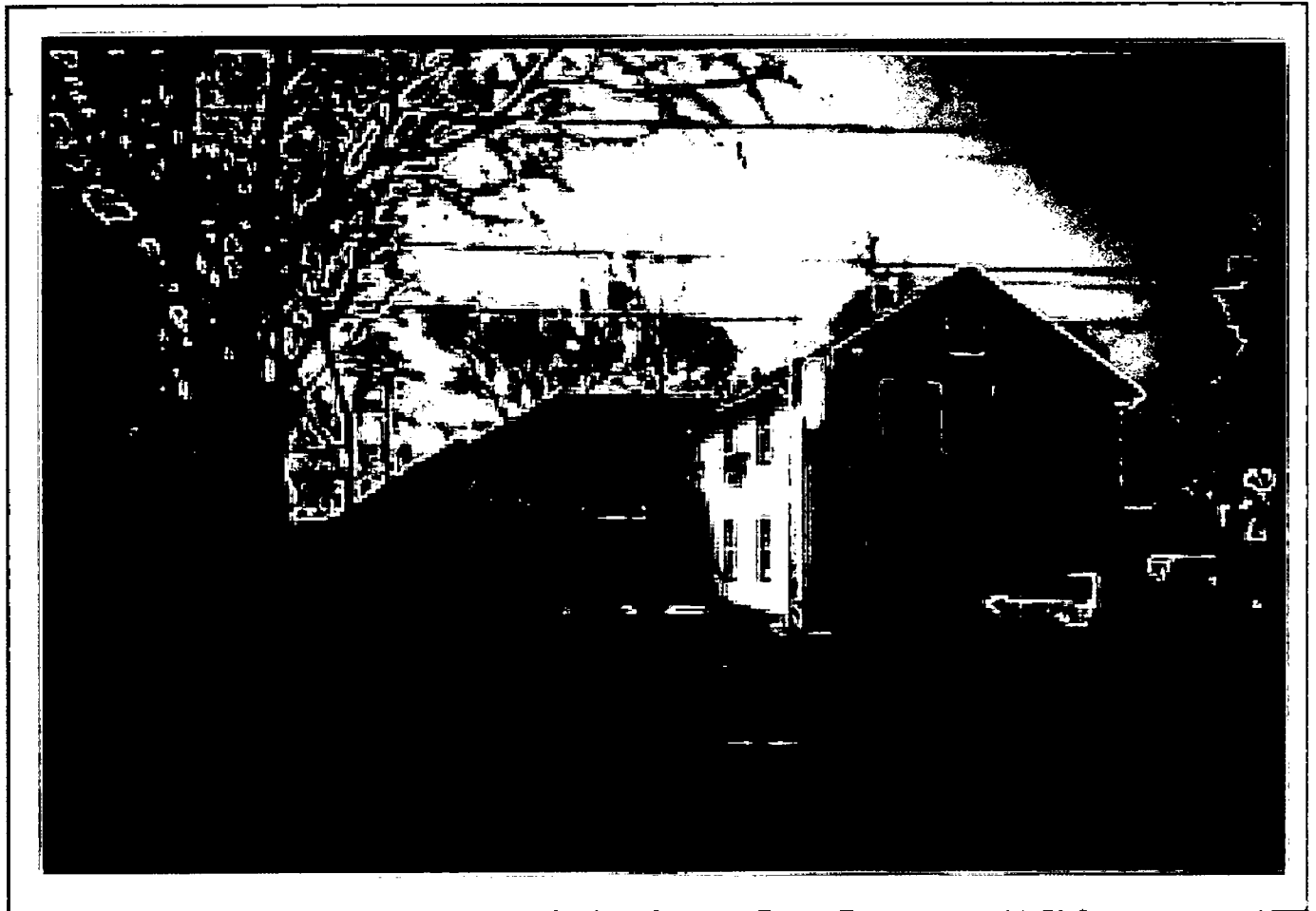
6124 MacArthur Blvd

Historic Bonfield

(16)



close up of rear windows, which the new
windows will match
Facing Leeward Alley



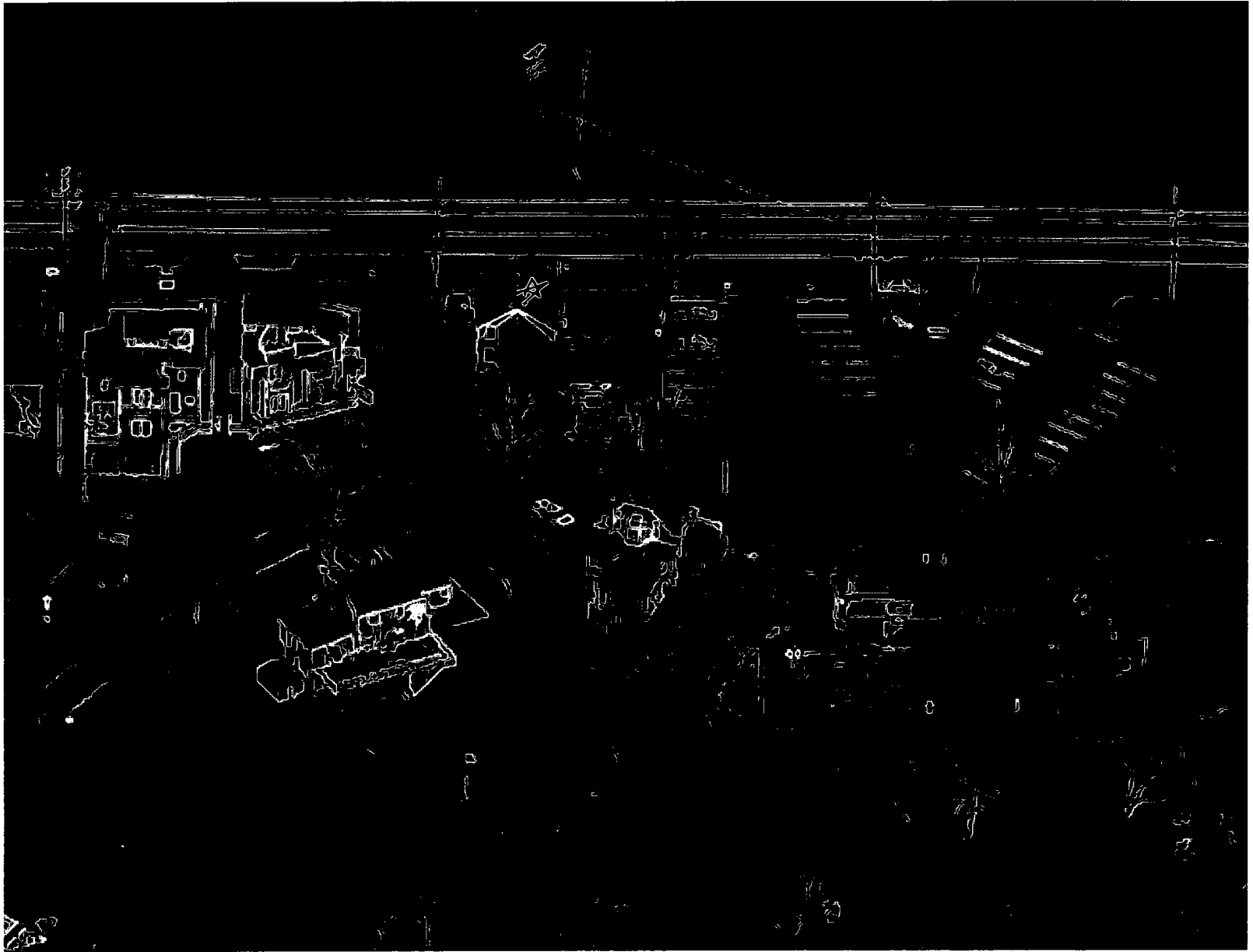
Bonfield's Garage



(c) Copyright 2008, Pictometry International



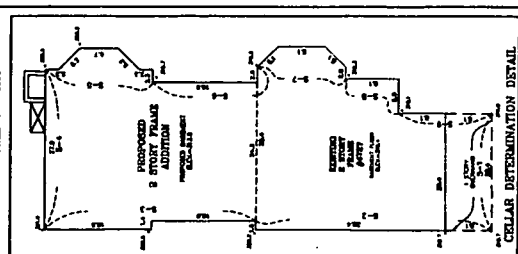
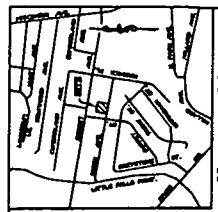
(c) Copyright 2008, Pictometry International



(c) Copyright 2006, Pictometry International

4727 Essex
Somerset H.D.

2011



SITE PLAN
#4727 ESSEX AVENUE
LOT 3 AND PART OF LOT 5
BLOCK 5
SOMERSET HEIGHTS
 BETHESDA (71b) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1" = 10'

SNIDER & ASSOCIATES
SURVEYORS
 2070 COLLEENWOOD LANE, SUITE 110
 GERMANTOWN, MARYLAND 20878
 301/794-0100 • Fax 301/794-1286

DATE: 02-29-13
 PROJECT: G-25029-2C
 APPROVAL: J.E.S.
 J.E.S.
 APPROVAL: J.E.S.

CALL "MISS UTILITY" AT 1-800-257-7777
 FOR UTILITY LOCATION AT LEAST 48
 HOURS PRIOR TO BEGINNING CONSTRUCTION.

TOPOGRAPHIC INFORMATION NOTES:

1. THE ELEVATIONS SHOWN HEREON HAVE BEEN OBTAINED BY A SURVEY OF THE PROPERTY AND THE ADJACENT AREAS WITHIN THE DISTRICT OF COLUMBIA AND THE DISTRICT OF MARYLAND. THE ELEVATIONS SHOWN HEREON ARE THE HIGHEST ELEVATIONS KNOWN TO THE SURVEYOR AND SHOULD BE USED AS SUCH UNLESS OTHERWISE INDICATED.
2. THE ELEVATIONS SHOWN HEREON ARE THE HIGHEST ELEVATIONS KNOWN TO THE SURVEYOR AND SHOULD BE USED AS SUCH UNLESS OTHERWISE INDICATED.
3. THE ELEVATIONS SHOWN HEREON ARE THE HIGHEST ELEVATIONS KNOWN TO THE SURVEYOR AND SHOULD BE USED AS SUCH UNLESS OTHERWISE INDICATED.

CELLAR DETERMINATION NOTES

FOUNDATION	AVG. GRADE	AVG. CELLAR	TOTAL
2-1	25.1	28.7	6.6
2-2	25.0	28.6	6.6
2-3	24.9	28.5	6.6
2-4	24.8	28.4	6.6
2-5	24.7	28.3	6.6
2-6	24.6	28.2	6.6
2-7	24.5	28.1	6.6
2-8	24.4	28.0	6.6
2-9	24.3	27.9	6.6
2-10	24.2	27.8	6.6
2-11	24.1	27.7	6.6
2-12	24.0	27.6	6.6
2-13	23.9	27.5	6.6
2-14	23.8	27.4	6.6
2-15	23.7	27.3	6.6
2-16	23.6	27.2	6.6
2-17	23.5	27.1	6.6
2-18	23.4	27.0	6.6
2-19	23.3	26.9	6.6
2-20	23.2	26.8	6.6
2-21	23.1	26.7	6.6
2-22	23.0	26.6	6.6
2-23	22.9	26.5	6.6
2-24	22.8	26.4	6.6
2-25	22.7	26.3	6.6
2-26	22.6	26.2	6.6
2-27	22.5	26.1	6.6
2-28	22.4	26.0	6.6
2-29	22.3	25.9	6.6
2-30	22.2	25.8	6.6
2-31	22.1	25.7	6.6
2-32	22.0	25.6	6.6
2-33	21.9	25.5	6.6
2-34	21.8	25.4	6.6
2-35	21.7	25.3	6.6
2-36	21.6	25.2	6.6
2-37	21.5	25.1	6.6
2-38	21.4	25.0	6.6
2-39	21.3	24.9	6.6
2-40	21.2	24.8	6.6
2-41	21.1	24.7	6.6
2-42	21.0	24.6	6.6
2-43	20.9	24.5	6.6
2-44	20.8	24.4	6.6
2-45	20.7	24.3	6.6
2-46	20.6	24.2	6.6
2-47	20.5	24.1	6.6
2-48	20.4	24.0	6.6
2-49	20.3	23.9	6.6
2-50	20.2	23.8	6.6
2-51	20.1	23.7	6.6
2-52	20.0	23.6	6.6
2-53	19.9	23.5	6.6
2-54	19.8	23.4	6.6
2-55	19.7	23.3	6.6
2-56	19.6	23.2	6.6
2-57	19.5	23.1	6.6
2-58	19.4	23.0	6.6
2-59	19.3	22.9	6.6
2-60	19.2	22.8	6.6
2-61	19.1	22.7	6.6
2-62	19.0	22.6	6.6
2-63	18.9	22.5	6.6
2-64	18.8	22.4	6.6
2-65	18.7	22.3	6.6
2-66	18.6	22.2	6.6
2-67	18.5	22.1	6.6
2-68	18.4	22.0	6.6
2-69	18.3	21.9	6.6
2-70	18.2	21.8	6.6
2-71	18.1	21.7	6.6
2-72	18.0	21.6	6.6
2-73	17.9	21.5	6.6
2-74	17.8	21.4	6.6
2-75	17.7	21.3	6.6
2-76	17.6	21.2	6.6
2-77	17.5	21.1	6.6
2-78	17.4	21.0	6.6
2-79	17.3	20.9	6.6
2-80	17.2	20.8	6.6
2-81	17.1	20.7	6.6
2-82	17.0	20.6	6.6
2-83	16.9	20.5	6.6
2-84	16.8	20.4	6.6
2-85	16.7	20.3	6.6
2-86	16.6	20.2	6.6
2-87	16.5	20.1	6.6
2-88	16.4	20.0	6.6
2-89	16.3	19.9	6.6
2-90	16.2	19.8	6.6
2-91	16.1	19.7	6.6
2-92	16.0	19.6	6.6
2-93	15.9	19.5	6.6
2-94	15.8	19.4	6.6
2-95	15.7	19.3	6.6
2-96	15.6	19.2	6.6
2-97	15.5	19.1	6.6
2-98	15.4	19.0	6.6
2-99	15.3	18.9	6.6
2-100	15.2	18.8	6.6

ZONING INFORMATION NOTES:

1. THE ZONING DISTRICT FOR THIS PROPERTY IS R-3000 (RESIDENTIAL SINGLE-FAMILY). THE ZONING DISTRICT FOR THE ADJACENT AREAS IS R-3000 (RESIDENTIAL SINGLE-FAMILY).
2. THE ZONING DISTRICT FOR THIS PROPERTY IS R-3000 (RESIDENTIAL SINGLE-FAMILY). THE ZONING DISTRICT FOR THE ADJACENT AREAS IS R-3000 (RESIDENTIAL SINGLE-FAMILY).

BUILDING RESTRICTION NOTES:

FRONT SETBACK: 10'
 REAR SETBACK: 10'
 SIDE SETBACK: 5'
 MAXIMUM HEIGHT: 35'
 MAXIMUM LOT COVERAGE: 35%
 MAXIMUM LOT AREA: 10,000 SQ. FT.
 MAXIMUM GROUND COVER: 35%
 MAXIMUM LOT AREA: 10,000 SQ. FT.
 MAXIMUM GROUND COVER: 35%

WATER AND SEWER NOTES:

1. THE LOCATION AND DEPTH OF ANY SEWER OR WATER MAINS SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND DEPTH OF ANY SEWER OR WATER MAINS SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY.
2. THE LOCATION AND DEPTH OF ANY SEWER OR WATER MAINS SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND DEPTH OF ANY SEWER OR WATER MAINS SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY.
3. THE LOCATION AND DEPTH OF ANY SEWER OR WATER MAINS SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND DEPTH OF ANY SEWER OR WATER MAINS SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY.

GENERAL NOTES:

1. PROPERTY ADDRESS: 4727 ESSEX AVENUE, BETHESDA, MD 20814
2. PROPERTY TAX MAP: MONTGOMERY COUNTY TAX MAP 112-01-0001
3. PROPERTY IS BOUND BY THE ADJACENT AREAS TO THE SOUTH AND EAST. THE PROPERTY IS BOUND BY THE ADJACENT AREAS TO THE SOUTH AND EAST.
4. THE PROPERTY IS BOUND BY THE ADJACENT AREAS TO THE SOUTH AND EAST. THE PROPERTY IS BOUND BY THE ADJACENT AREAS TO THE SOUTH AND EAST.
5. PROPOSED HOUSE IMPROVEMENTS SHOULD BE WORKED WITH THE ADJACENT AREAS TO THE SOUTH AND EAST. PROPOSED HOUSE IMPROVEMENTS SHOULD BE WORKED WITH THE ADJACENT AREAS TO THE SOUTH AND EAST.
6. ARCHITECTURAL PLANS PRIOR TO THE START OF CONSTRUCTION. ARCHITECTURAL PLANS PRIOR TO THE START OF CONSTRUCTION.
7. ANY UTILITIES SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY. ANY UTILITIES SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY.
8. ANY UTILITIES SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY. ANY UTILITIES SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY.
9. ANY UTILITIES SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY. ANY UTILITIES SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY.
10. ANY UTILITIES SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY. ANY UTILITIES SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY.

HEIGHT OF HOUSE NOTES:

HEIGHT OF HOUSE: 35'
 LOCATION OF HOUSE: 4727 ESSEX AVENUE, BETHESDA, MD 20814
 LOCATION OF HOUSE: 4727 ESSEX AVENUE, BETHESDA, MD 20814

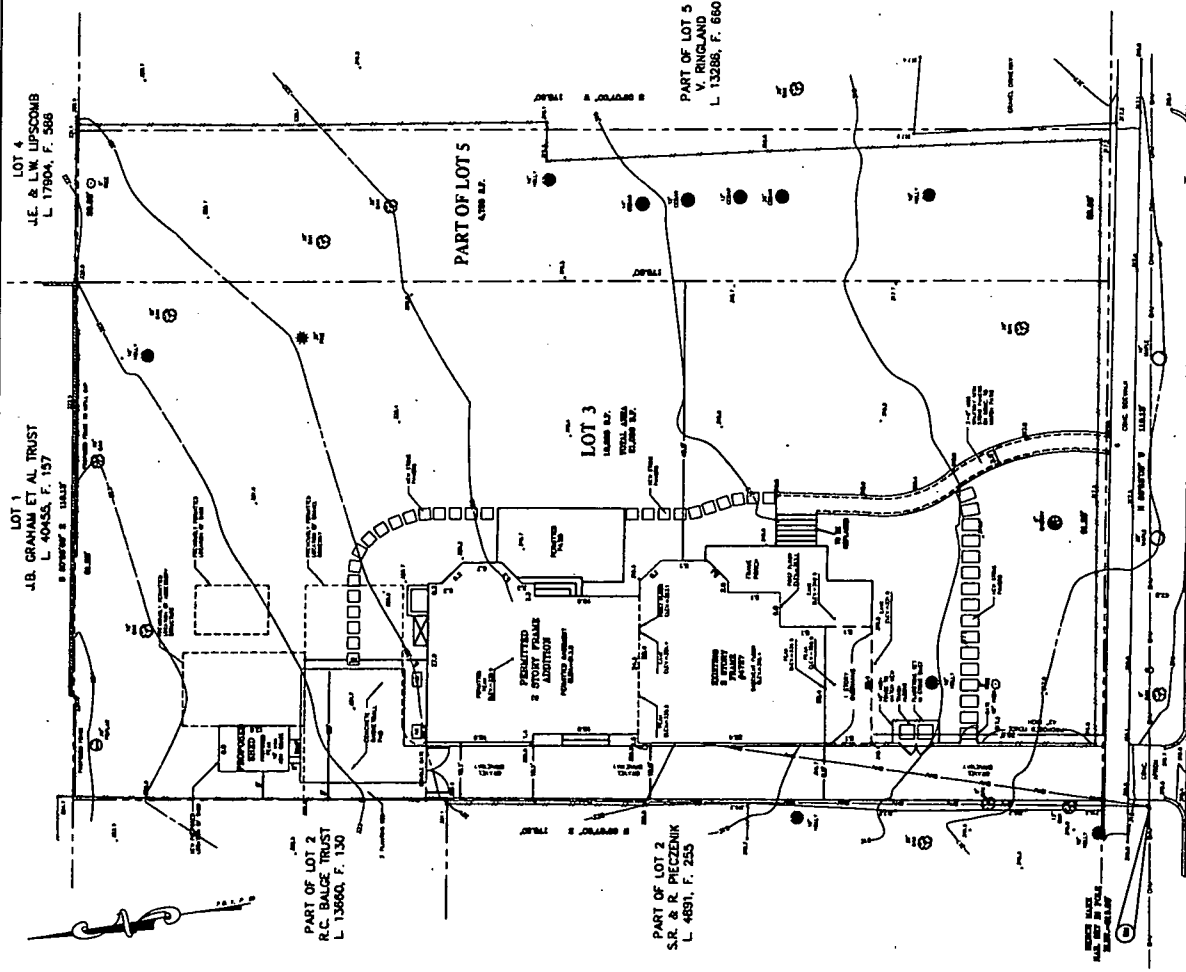
SURVEYOR'S CERTIFICATE:

I, JEFFREY L. SNIDER, SURVEYOR, DO HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON WAS OBTAINED BY ME OR BY AN ASSISTANT OR BY A LICENSED SURVEYOR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT IS TRUE AND CORRECT.

DATE: 02-29-13
 JEFFREY L. SNIDER
 MARYLAND PROFESSIONAL LAND SURVEYOR
 LICENSE NO. 10329
 EXPIRES: 02-29-2015

APPROVED
 Montgomery County
 Historic Preservation Commission

DATE: 02-29-13
 JEFFREY L. SNIDER
 MARYLAND PROFESSIONAL LAND SURVEYOR
 LICENSE NO. 10329
 EXPIRES: 02-29-2015



CALL "MISS UTILITY" AT 1-800-257-7777
 FOR UTILITY LOCATION AT LEAST 48
 HOURS PRIOR TO BEGINNING CONSTRUCTION.

Stamped plans

in bin

5/12

AF



3/13
3/13
Staff item
ok ✓

March 11, 2013

Anne Fothergill
Montgomery County Historic Preservation Commission
Planning Coordinator
1400 Spring Street, Suite 500 W
Silver Spring, MD 20910

Re: Proposed modifications to site plan at 4727 Essex Avenue, Somerset, MD

Dear Anne,

Please find attached for review and consideration the proposed modifications to the site plan which shall include the following items:

1. Previously permitted 10' high shed to be relocated 5' from property line.
2. Previously permitted gravel driveway to rear of house to be relocated and is now proposed to be a concrete basketball pad.
3. Existing front path to be made wider and new walkways added.
4. New AC units shown relocated as requested at April 17, 2012 meeting.
5. New fence to connect existing fence section & previously permitted fence section.
6. Note previously permitted garage is not to be built at this time.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'Matthew Fienn', written over a faint, illegible stamp or background.

Matthew Fienn, AIA, LEED AP

Fothergill, Anne

From: Matthew Fiehn <MFiehn@barnesvanze.com>
Sent: Friday, March 15, 2013 9:27 AM
To: Fothergill, Anne; 'manager@townofsomerset.com'; 'larryp914@verizon.net'
Cc: 'melissa goldman davidson'; 'Alan Davidson'; Donna Little
Subject: 4727 Essex Fence Design
Attachments: Image 3 - 60 Inch Rear Fence Detail.jpg; Image 1 - 42 Inch Front Square Picket fence.jpg;
Image 2 - 60 Inch Rear Fence.jpg

With the goal of compliance with the Town of Somerset's fence regulations, we are proposing the following images for the style height and material for fencing at 4727 Essex Avenue;

Image 1 – At front yard, 42" high natural wood fence 50% open.

Images 2 & 3 – At rear yard 60" high natural wood fence to match existing (in photo) 50% open.

Please let us know if you need any additional documentation.

Thank you,
Matthew









HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 5/2/12

MEMORANDUM

TO: Diane Schwartz Jones, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #595358—addition and alterations to house

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on April 25, 2012.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Alan and Melissa Davison
Address: 4727 Essex Avenue, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





AP 5 95 358

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: MELISSA DAVIDSON
Daytime Phone No.: 703-869-7057

Tax Account No.: _____
Name of Property Owner: ALAN & MELISSA DAVIDSON Daytime Phone No.: 703-869-7057
Address: 3915 THORNAPPLE ST. CHEVY CHASE 20815
Street Number City Street Zip Code
Contractor: BETHESDA CONTRACTING Phone No.: 301-656-9020
Contractor Registration No.: 10720
Agent for Owner: MATTHEW FIEHN Daytime Phone No.: 202-337-7255

LOCATION OF BUILDING/PREMISE

House Number: 4727 Street: ESSEX AVENUE
Town/City: Chevy Chase Nearest Cross Street: SURREY ST.
Lot: 3 & 5 Block: 5 Subdivision: _____
Liber: 14221 Folio: 257 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Stab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: GARAGE, PATIO

1B. Construction cost estimate: \$ 1,000,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ Date: 4.2.2012
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 5/2/12
Application/Permit No.: 595358 Date Filed: 5/14/12 Date Issued: _____
Eme

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1901 VICTORIAN HOUSE, WOOD SIDING & ASPHALT/SLATE ROOF.
FREE STANDING SHED, GRAVEL DRIVEWAY, COVERED PORCH, ENCLOSED
PORCH (PART OF LIVING ROOM).
BRICK CHIMNEY, PAINTED WOOD SHUTTERS, ALUMINUM GUTTERS & DS.
TURNED PORCH POSTS, CURVED CORNICE, 2/2 WINDOWS, ARCH TOP
GABLE WINDOWS. GABLE OVERHANG AT FACETED BAY. STONE
FOUNDATION.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REMOVAL OF SUBSEQUENT 1 STORY ADDITION. 2 STORY ADDITION.
ASPHALT ROOF, WOOD CLAPBOARD SIDING, CORNER BOARDS, 2/2
WINDOWS, BRICK VENEER FOUNDATION. ROUND GABLE WINDOWS, SMALLER
CURVED CORNICE. NO SHUTTERS. BRICK CHIMNEY WITH CAP DETAIL.
T.M.E. 1 STORY ENCLOSED PORCH AT HYPHEN.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and features proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way end of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	4727 Essex Avenue, Chevy Chase	Meeting Date:	4/25/12
Applicant:	Alan and Melissa Davidson (Matthew Fiehn, Architect)	Report Date:	4/18/12
Resource:	Contributing Resource Somerset Historic District	Public Notice:	4/11/12
Review:	HAWP	Tax Credit:	None
Case Number:	35/36-12B	Staff:	Anne Fothergill

PROPOSAL: Rear addition and alterations to house

STAFF RECOMMENDATION

Staff recommends that the HPC approve the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Somerset Historic District
STYLE: Queen Anne
DATE: 1901

BACKGROUND

In September 2011 the applicants had a Preliminary Consultation with the HPC. At that time staff expressed concern about the size of the addition but the Commission did not share that concern. Because the house is on a very large lot, the proposed addition is entirely at the rear of the house, and the proposed size of the house is not out of scale with others in the historic district, the majority of the Commission supported the overall size of the addition. The HPC recommended a few design suggestions so that the addition could be more differentiated from and deferential to the historic block.

See meeting transcript in Circles 43-53 and plans from the first Preliminary Consultation in Circles 54-65.

PROPOSAL

The applicants are proposing to remove the existing non-historic one story rear addition. In this location they propose to construct a two-story rear addition. The proposed addition is 36'8" x 27'11". The addition will have wood siding, brick veneer foundation, wood double hung windows and French doors, wood panels, round gable windows, brick chimney on the rear, and an asphalt shingle roof. On the left side there will be a new covered entry from the driveway to the house and on the right side there will be a covered entry leading to a new flagstone patio.

Within the historic block, they propose to remove a non-original picture window on the right side and replace with new wood sashes. They also propose to install two windows to replace one window on the right side off the porch. On the left side they propose to remove a replacement window in a shortened opening and replace it with a window to match the adjacent window in a larger opening. In the altered enclosed front porch they propose to replace one window with French doors. They also propose to remove the non-original windows from the enclosed front porch and install double hung wood windows with paintable synthetic panels and pilasters.

They propose to remove a 180 SF shed from the back of the house and construct a 12'9" x 20'9" x 13' tall (265 SF) garage and a 12 ½' x 8 ½' x 12' tall shed. The garage and shed will have fiber cement siding, asphalt shingle roofing, and wood windows and doors. The gravel driveway will be extended to the new garage. They propose to install 42" tall wood open fencing and gates along the driveway and also at the rear of the property (see fence plan in Circle 31).

The Town of Somerset has reviewed and approved the proposal.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use

and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland state:

Basic Principles for an Addition

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

Design a new addition to be compatible with the primary structure.

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.6 Use windows that are similar in character to those of the main structure.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

The removal of the non-historic rear addition is in keeping with the *Guidelines*. The removal of the non-historic shed and construction of a small detached compatible garage and shed behind the house are also in accordance with the *Guidelines*.

The original wraparound front porch was previously enclosed and the applicants are proposing changes to add more glazing which will assist in recalling the original open porch. At the Preliminary Consultation the Commission supported the proposed changes within the historic block as alterations that are appropriate and compatible.

In response to the Commission's concerns about the addition, the applicants lowered the roofline of the connector by an additional 1'-2" with that change the existing window in the rear gable can be retained. They eliminated the upper portion of the family room bay and pushed the gable above this bay back to align with the main body of the addition. They enlarged the size of the addition windows and simplified the window layout on the driveway side to match those of the rest of the house.

The proposed addition is entirely at the rear of the house and is clearly differentiated and the proposed materials for the addition are appropriate and compatible with the house.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) and (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR, ROCKVILLE, MD 20850
246.777.4300

DPS - #8

AP 5 95358

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MELISSA DAVIDSON
Daytime Phone No.: 703-869-7057

Tax Account No.: _____
Name of Property Owner: ALAN & MELISSA DAVIDSON Daytime Phone No.: 703-869-7057
Address: 3915 THORNAPPLE ST. CHEVY CHASE 20815
Street Number City Street Zip Code
Contractor: BETHESDA CONTRACTING Phone No.: 301-656-9020
Contractor Registration No.: 10720
Agent for Owner: MATTHEW FIEHN Daytime Phone No.: 202-337-7255

LOCATION OF BUILDING/PREMISE

House Number: 4727 Street: ESSEX AVENUE
Town/City: Chevy Chase Nearest Cross Street: SURREY ST.
Lot: 3 & 5 Block: 5 Subdivision: _____
Liber: 14221 Folio: 257 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate AAC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: GARAGE, PATIO
1B. Construction cost estimate: \$ 1,000,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ Date: 4.2.2012
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 595358 Date Filed: 4/4/12 Date Issued: _____
Eme

(5)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1901 VICTORIAN HOUSE, WOOD SIDING & ASPHALT / SLATE ROOF.
FREE STANDING SHED, GRAVEL DRIVEWAY, COVERED PORCH, ENCLOSED
PORCH (PART OF LIVING ROOM).
BRICK CHIMNEY, PAINTED WOOD SHUTTERS, ALUMINUM GUTTERS & DS.
TURNED PORCH POSTS, CURVED CORNICE, 2/2 WINDOWS, ARCH TOP
GABLE WINDOWS. GABLE OVERHANG AT FACETED BAY. STONE
FOUNDATION.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REMOVAL OF SUBSEQUENT 1 STORY ADDITION. 2 STORY ADDITION.
ASPHALT ROOF, WOOD CLAPBOARD SIDING, CORNER BOARDS, 2/2
WINDOWS, BRICK VENEER FOUNDATION. ROUND GABLE WINDOWS, SMALLER
CURVED CORNICE. NO SHUTTERS, BRICK CHIMNEY WITH CAP DETAIL
T.M.E. 1 STORY ENCLOSED PORCH AT HYATLEN.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

3915 THORNAPPLE ST
 CHEVY CHASE, MD 20815

Owner's Agent's mailing address

1000 POTOMAC ST NW
 STEL 2
 WASHINGTON, DC 20007

Adjacent and confronting Property Owners mailing addresses

STEVE R & R PIECZENIK
 4731 ESSEX AVENUE
 CHEVY CHASE, MD 20815

JOHN R & ASA BURFIELD
 4714 ESSEX AVENUE
 CHEVY CHASE, MD 20815

MICHAEL CHRISTIAN &
 SARA SHEA
 4718 ESSEX AVENUE
 CHEVY CHASE, MD 20815

ROBERT WACHBROIT &
 JUDITH A BAIGIS
 4716 ESSEX AVENUE
 CHEVY CHASE, MD 20815

JOSEPH E LIPSCOMB &
 LAURA WILL
 4722 DORSET AVENUE
 CHEVY CHASE, MD 20815

JAMES B ET AL TR GRAHAM
 4728 DORSET AVENUE
 CHEVY CHASE, MD 20815

VALENTINA KINGLAND
 4112 EDGEVALE CT
 CHEVY CHASE, MD 20815
 (4721 ESSEX AVENUE)

PLAT BOOK 1 PAGE 30



VICINITY MAP
DATE: 2/11/2012
SCALE: 1" = 1000'

GENERAL NOTES:

1. PROPERTY ADDRESS #4727 ESSEX AVENUE, CHEVY CHASE, MD 20815
2. PROPERTY IS RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND AS DESCRIBED IN DEED #103,000 AT 10:30 AM AND DEED #103,001 AT 10:30 AM AND DEED #103,002 AT 10:30 AM.
3. ALL PROPERTY CORNERS HAVE BEEN RECORDED OR SET AND VERIFIED BY FIELD SURVEY PERFORMED MARCH 15, 2012.

TOPOGRAPHIC INFORMATION NOTES:

1. THE ELEVATIONS SHOWN HEREON HAVE BEEN ESTABLISHED BY MEASUREMENTS TO THE BENCH MARKS SHOWN ON SHEET 2007 FOR CONTRACT #2100 AS SHOWN ON WASC 2007 SHEET 2007. THE BENCH MARK SHOWN FOR THIS DATUM HAS AN ELEVATION OF 298.11 FEET ABOVE MEAN SEA LEVEL.
2. THE FACE AND NUMBER OF ALL UTILITY SHOWNS HEREON HAS BEEN ESTABLISHED BY ON-SITE OBSERVATION AND FIELD LOCATION. ANY UTILITIES SHOWN SHOULD BE CONSIDERED INCOMPLETE AND HAVE NOT BEEN VERIFIED WITH ANY UTILITY COMPANY AS SHOWN IN PLANS OF RECORD.
3. 1" TOPOGRAPHY BY: SNIER & ASSOCIATES

SURVEYOR'S CERTIFICATE:

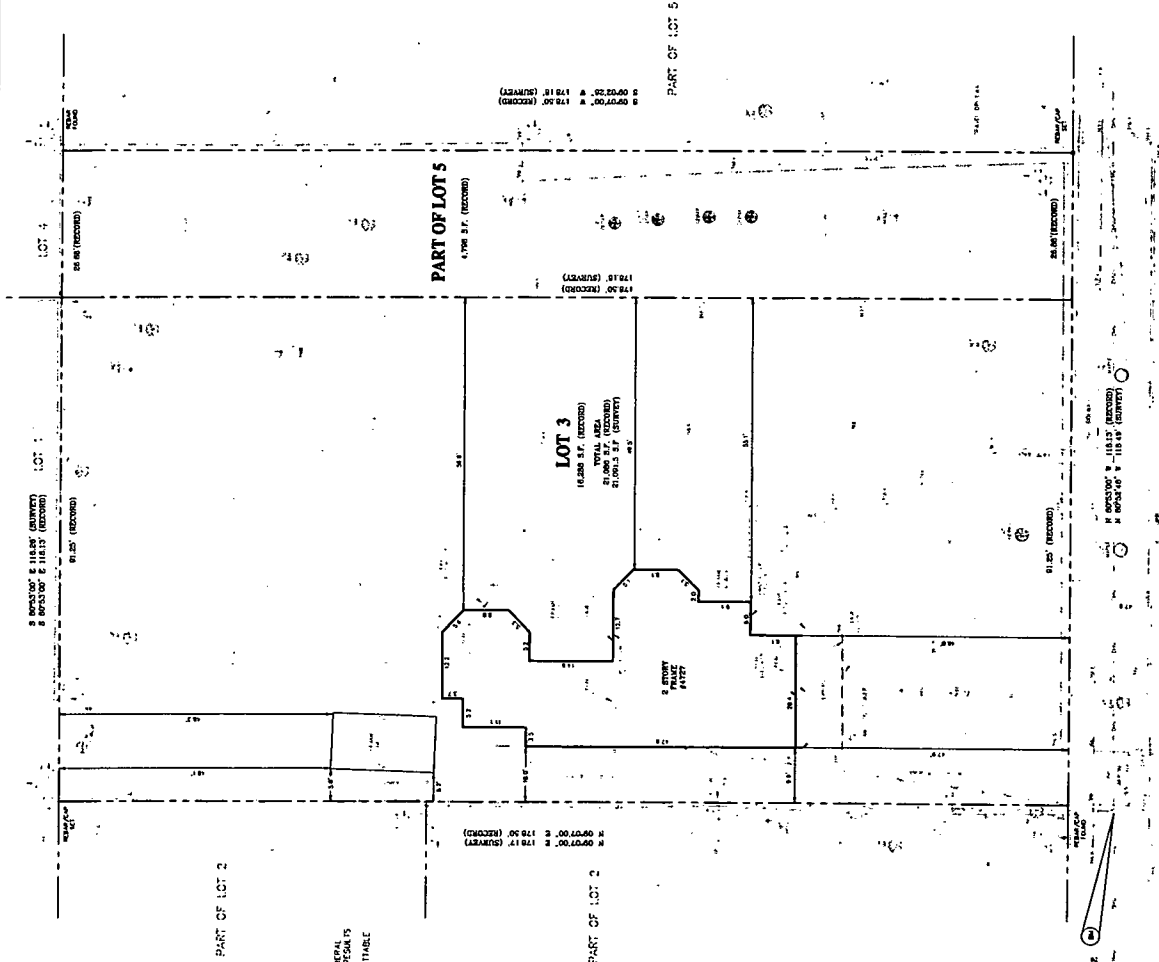
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON AN ACTUAL SURVEY OF THE PROPERTY DESCRIBED AND THAT THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE RECORD PROPERTY CORNER MARKERS HAVE BEEN RECORDED OR SET AND VERIFIED TO BE IN RELATIVE AGREEMENT WITH THE RECORD INFORMATION AS SHOWN.

DATE _____
 JOSEPH E. SNIER
 PROFESSIONAL LAND SURVEYOR
 MD REG. #12329
 EXPIRES 1-19-2013

PLAT OF SURVEY AND TOPOGRAPHIC WORKSHEET
 #4727 ESSEX AVENUE
 LOT 3 AND PART OF LOT 5
 BLOCK 5
 SOMERSET HEIGHTS
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1" = 10' MARCH, 2012

SNIER & ASSOCIATES
 LAND SURVEYORS
 2020 Goldenshoe Lane, Suite 110
 Gaithersburg, MD 20878
 301/948-5100 Fax 301/948-1286

STATE PROJECT: 12-28232
 DATE: 3/15/12
 DRAWN BY: J.E.S.



TITLE REPORT NOTES:

- PARADIGM TITLE & ESCROW COMPANY
 PARADIGM TITLE & ESCROW CASE NUMBER 612-11
 EXAMINED 03/15/12
- ITEMS 1-2 HAVE NOT BEEN SHOWN DUE TO LACK OF PLOTTABLE DESCRIPTION
- ITEM 3 HAS BEEN SHOWN HEREON
- ITEMS 4-6 HAVE NOT BEEN SHOWN DUE TO LACK OF PLOTTABLE DESCRIPTION

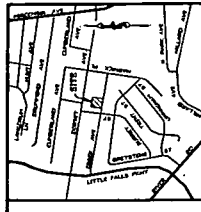
TOPOGRAPHIC SYMBOLS:

- ELECTRIC METER
- PUMP POLE
- SEWER MANHOLE
- SEWER
- WATER METER

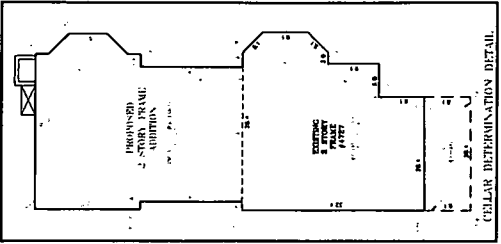
CALL "MISS UTILITY" AT 1-800-257-7777
 FOR UTILITY LOCATION AT LEAST 48
 HOURS PRIOR TO BEGINNING CONSTRUCTION.

EXISTING

9



VICINITY MAP
 AS SHOWN ON RECORD MAP
 SCALE 1" = 1000'



CELLAR DETERMINATION DETAIL

SITE PLAN
#4727 ESSEX AVENUE
LOT 3 AND PART OF LOT 5
SOMERSET HEIGHTS
 BETHESDA (7th) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1" = 10'

SNIDER & ASSOCIATES
 SURVEYORS
 28270 COLDSBORO LAKE, SUITE 110
 GAITHERSBURG, MARYLAND 20878
 301/740-5100 Fax: 301/740-1588

DATE: _____
 PROJECT: _____
 COMMENTS: _____

CALL "MISS UTILITY" AT 1-800-257-7777
 FOR UTILITY LOCATION AT LEAST 48
 HOURS PRIOR TO BEGINNING CONSTRUCTION

TOPOGRAPHIC INFORMATION NOTES:

1. THE DATA WERE OBTAINED FROM THE RECORD MAPS AND FIELD SURVEY. THE DATA WERE CHECKED AND FOUND TO BE CORRECT. THE DATA WERE USED TO DETERMINE THE EXISTING GRADE AND TO LOCATE THE EXISTING UTILITIES. THE DATA WERE USED TO DETERMINE THE EXISTING GRADE AND TO LOCATE THE EXISTING UTILITIES.
2. THE TOP AND BOTTOM SURFACE OF ALL UTILITIES SHOWN HEREON HAS BEEN DETERMINED BY SURVEY. THE DATA WERE USED TO DETERMINE THE EXISTING GRADE AND TO LOCATE THE EXISTING UTILITIES.
3. THE DATA WERE OBTAINED FROM THE RECORD MAPS AND FIELD SURVEY. THE DATA WERE CHECKED AND FOUND TO BE CORRECT. THE DATA WERE USED TO DETERMINE THE EXISTING GRADE AND TO LOCATE THE EXISTING UTILITIES.

CELLAR DETERMINATION NOTES

NO.	DESCRIPTION	DEPTH	DATE
1-1	318.8'	8/20/12
1-2	318.8'	8/20/12
1-3	318.8'	8/20/12
1-4	318.8'	8/20/12
1-5	318.8'	8/20/12
1-6	318.8'	8/20/12
1-7	318.8'	8/20/12
1-8	318.8'	8/20/12
1-9	318.8'	8/20/12
1-10	318.8'	8/20/12
1-11	318.8'	8/20/12
1-12	318.8'	8/20/12
1-13	318.8'	8/20/12
1-14	318.8'	8/20/12
1-15	318.8'	8/20/12
1-16	318.8'	8/20/12
1-17	318.8'	8/20/12
1-18	318.8'	8/20/12
1-19	318.8'	8/20/12
1-20	318.8'	8/20/12
1-21	318.8'	8/20/12
1-22	318.8'	8/20/12
1-23	318.8'	8/20/12
1-24	318.8'	8/20/12
1-25	318.8'	8/20/12

ZONING INFORMATION NOTES:

THE ZONING INFORMATION WAS OBTAINED FROM THE RECORD MAPS AND FIELD SURVEY. THE DATA WERE CHECKED AND FOUND TO BE CORRECT. THE DATA WERE USED TO DETERMINE THE EXISTING GRADE AND TO LOCATE THE EXISTING UTILITIES.

BUILDING RESTRICTION LINES:

.....

ACCESSORY BUILDING RESTRICTION LINES:

.....

TOP OF SOMERSET:

.....

WATER AND SEWER NOTES:

THE DATA WERE OBTAINED FROM THE RECORD MAPS AND FIELD SURVEY. THE DATA WERE CHECKED AND FOUND TO BE CORRECT. THE DATA WERE USED TO DETERMINE THE EXISTING GRADE AND TO LOCATE THE EXISTING UTILITIES.

GENERAL NOTES:

1. PROPERTY ADDRESS: 4727 ESSEX AVENUE, WASHINGTON, DC 20814
2. PROPERTY OWNER: S.R. & R. PEECE/SLUK
3. PROPERTY SIZE: 14,081 S.F.
4. PROPERTY ZONING: R-1
5. PROPERTY SURVEY: 1-13-2008, P. 580
6. PROPERTY MAPS: 1-13-2008, P. 580
7. PROPERTY RECORDS: 1-13-2008, P. 580
8. PROPERTY DEEDS: 1-13-2008, P. 580
9. PROPERTY TAXES: 1-13-2008, P. 580
10. PROPERTY UTILITIES: 1-13-2008, P. 580
11. PROPERTY EGRESS: 1-13-2008, P. 580
12. PROPERTY FLOODING: 1-13-2008, P. 580
13. PROPERTY EROSION: 1-13-2008, P. 580
14. PROPERTY SETTLEMENT: 1-13-2008, P. 580
15. PROPERTY COLLAPSE: 1-13-2008, P. 580
16. PROPERTY DAMAGE: 1-13-2008, P. 580
17. PROPERTY LOSS: 1-13-2008, P. 580
18. PROPERTY INJURY: 1-13-2008, P. 580
19. PROPERTY DEATH: 1-13-2008, P. 580
20. PROPERTY SUICIDE: 1-13-2008, P. 580
21. PROPERTY MURDER: 1-13-2008, P. 580
22. PROPERTY RAPE: 1-13-2008, P. 580
23. PROPERTY CHILD ABUSE: 1-13-2008, P. 580
24. PROPERTY ELDERS ABUSE: 1-13-2008, P. 580
25. PROPERTY DISCRIMINATION: 1-13-2008, P. 580
26. PROPERTY HARASSMENT: 1-13-2008, P. 580
27. PROPERTY STALKING: 1-13-2008, P. 580
28. PROPERTY INTIMIDATION: 1-13-2008, P. 580
29. PROPERTY UNLAWFUL ENTRY: 1-13-2008, P. 580
30. PROPERTY UNLAWFUL DETENTION: 1-13-2008, P. 580
31. PROPERTY UNLAWFUL INTERFERENCE: 1-13-2008, P. 580
32. PROPERTY UNLAWFUL INTERFERENCE WITH ENJOYMENT: 1-13-2008, P. 580
33. PROPERTY UNLAWFUL INTERFERENCE WITH POSSESSION: 1-13-2008, P. 580
34. PROPERTY UNLAWFUL INTERFERENCE WITH TITLE: 1-13-2008, P. 580
35. PROPERTY UNLAWFUL INTERFERENCE WITH CONTRACT: 1-13-2008, P. 580
36. PROPERTY UNLAWFUL INTERFERENCE WITH TORT: 1-13-2008, P. 580
37. PROPERTY UNLAWFUL INTERFERENCE WITH BUSINESS: 1-13-2008, P. 580
38. PROPERTY UNLAWFUL INTERFERENCE WITH REPUTATION: 1-13-2008, P. 580
39. PROPERTY UNLAWFUL INTERFERENCE WITH PERSONAL AND FAMILY LIFE: 1-13-2008, P. 580
40. PROPERTY UNLAWFUL INTERFERENCE WITH MENTAL AND EMOTIONAL WELL-BEING: 1-13-2008, P. 580
41. PROPERTY UNLAWFUL INTERFERENCE WITH PHYSICAL AND MENTAL WELL-BEING: 1-13-2008, P. 580
42. PROPERTY UNLAWFUL INTERFERENCE WITH LIFE: 1-13-2008, P. 580
43. PROPERTY UNLAWFUL INTERFERENCE WITH DEATH: 1-13-2008, P. 580
44. PROPERTY UNLAWFUL INTERFERENCE WITH HONOR AND REPUTATION: 1-13-2008, P. 580
45. PROPERTY UNLAWFUL INTERFERENCE WITH PRIVACY: 1-13-2008, P. 580
46. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF MOVEMENT: 1-13-2008, P. 580
47. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF SPEECH: 1-13-2008, P. 580
48. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF RELIGION: 1-13-2008, P. 580
49. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF ASSEMBLY: 1-13-2008, P. 580
50. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF PETITION: 1-13-2008, P. 580
51. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF CHOICE: 1-13-2008, P. 580
52. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF CONTRACT: 1-13-2008, P. 580
53. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF TRADE: 1-13-2008, P. 580
54. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF LABOR: 1-13-2008, P. 580
55. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF OCCUPATION: 1-13-2008, P. 580
56. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF PROFESSION: 1-13-2008, P. 580
57. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF INDUSTRY: 1-13-2008, P. 580
58. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF COMMERCE: 1-13-2008, P. 580
59. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF BUSINESS: 1-13-2008, P. 580
60. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF MANUFACTURE: 1-13-2008, P. 580
61. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF SERVICE: 1-13-2008, P. 580
62. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF TRANSPORTATION: 1-13-2008, P. 580
63. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF COMMUNICATION: 1-13-2008, P. 580
64. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF INFORMATION: 1-13-2008, P. 580
65. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF KNOWLEDGE: 1-13-2008, P. 580
66. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF UNDERSTANDING: 1-13-2008, P. 580
67. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF REASON: 1-13-2008, P. 580
68. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF LOGIC: 1-13-2008, P. 580
69. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF SCIENCE: 1-13-2008, P. 580
70. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF ART: 1-13-2008, P. 580
71. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF CULTURE: 1-13-2008, P. 580
72. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF SOCIETY: 1-13-2008, P. 580
73. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF HUMANITY: 1-13-2008, P. 580
74. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF GOD: 1-13-2008, P. 580
75. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF HEAVEN: 1-13-2008, P. 580
76. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF EARTH: 1-13-2008, P. 580
77. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF WATER: 1-13-2008, P. 580
78. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF FIRE: 1-13-2008, P. 580
79. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF AIR: 1-13-2008, P. 580
80. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF SPACE: 1-13-2008, P. 580
81. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF TIME: 1-13-2008, P. 580
82. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF ENERGY: 1-13-2008, P. 580
83. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF MATTER: 1-13-2008, P. 580
84. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF FORCE: 1-13-2008, P. 580
85. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF MOTION: 1-13-2008, P. 580
86. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF CHANGE: 1-13-2008, P. 580
87. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF GROWTH: 1-13-2008, P. 580
88. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF DEVELOPMENT: 1-13-2008, P. 580
89. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF PROGRESS: 1-13-2008, P. 580
90. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF ADVANCEMENT: 1-13-2008, P. 580
91. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF KNOWLEDGE: 1-13-2008, P. 580
92. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF UNDERSTANDING: 1-13-2008, P. 580
93. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF REASON: 1-13-2008, P. 580
94. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF LOGIC: 1-13-2008, P. 580
95. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF SCIENCE: 1-13-2008, P. 580
96. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF ART: 1-13-2008, P. 580
97. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF CULTURE: 1-13-2008, P. 580
98. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF SOCIETY: 1-13-2008, P. 580
99. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF HUMANITY: 1-13-2008, P. 580
100. PROPERTY UNLAWFUL INTERFERENCE WITH FREEDOM OF GOD: 1-13-2008, P. 580

HEIGHT OF HOUSE NOTE:

HEIGHT OF FINISH FLOOR AT HIGHEST POINT OF ROOF = 332.7'

HEIGHT OF PROPOSED FINISH FLOOR AT HIGHEST POINT OF ROOF = 332.7'

EXISTING FINISH FLOOR AT HIGHEST POINT OF ROOF = 332.7'

SURVEYOR'S CERTIFICATE:

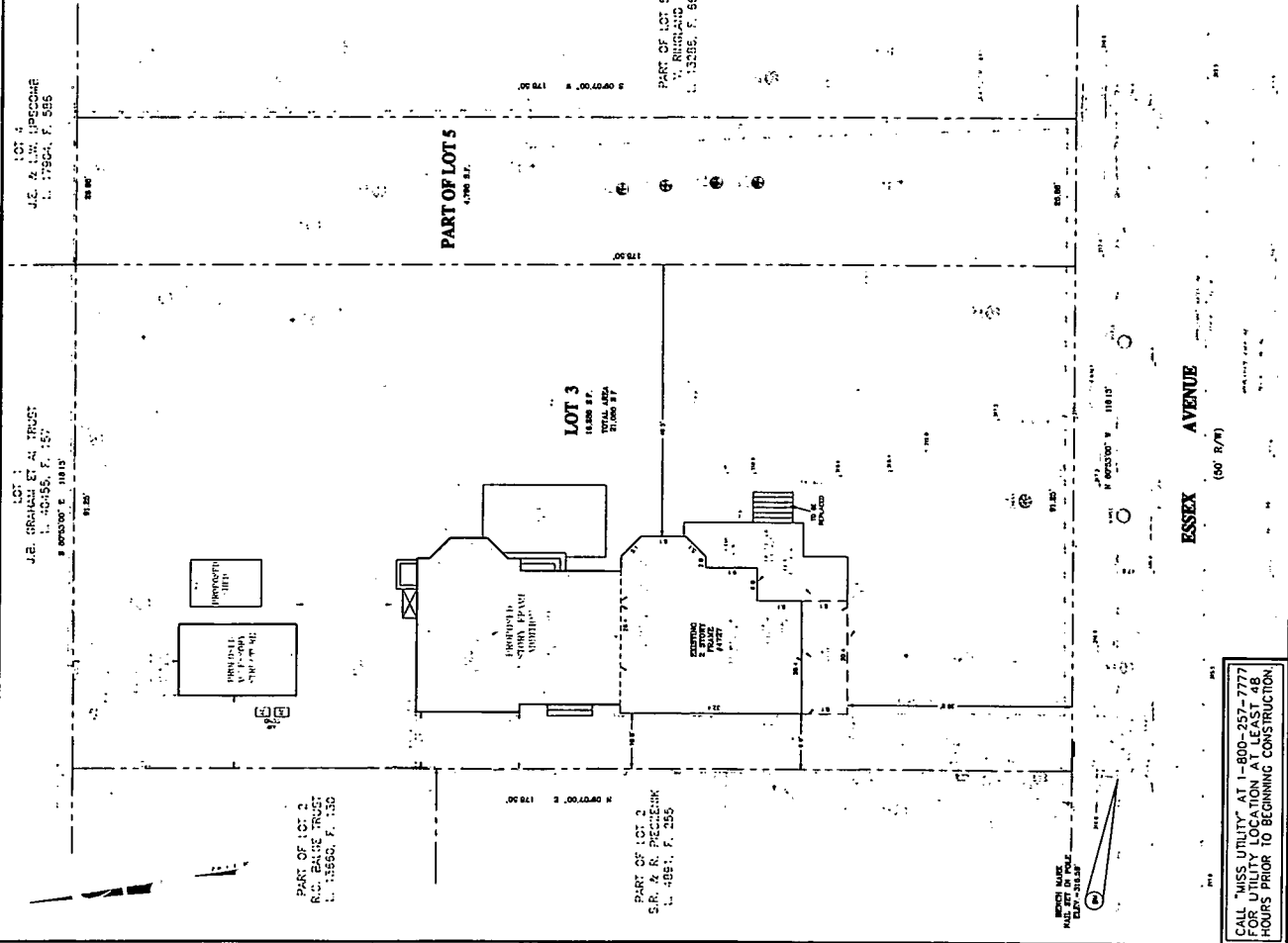
I, JENNIFER E. SNIDER, SURVEYOR, DO HEREBY CERTIFY THAT THE SURVEY WAS MADE AND THE DATA WERE CHECKED AND FOUND TO BE CORRECT. THE DATA WERE USED TO DETERMINE THE EXISTING GRADE AND TO LOCATE THE EXISTING UTILITIES.

DATE: _____

JENNIFER E. SNIDER
 MARYLAND PROFESSIONAL LAND SURVEYOR
 LICENSE NO. 118-2013

TOPOGRAPHIC SYMBOLS:

ELECTRIC WIRE
 POWER POLE
 SURVEY BENCH MARK
 WATER
 DRAINAGE
 DRAINAGE
 DRAINAGE
 DRAINAGE



CALL "MISS UTILITY" AT 1-800-257-7777
 FOR UTILITY LOCATION AT LEAST 48
 HOURS PRIOR TO BEGINNING CONSTRUCTION

Proposed

BARNES VANZEL
ARCHITECTS INC
1800 Parkway Street, N.Y.C.
Suite 1212
Washington, D.C. 20001
PH: 202.272.7200
FAX: 202.272.7200

DAVIDSON
RESIDENCE
4771 ESSEX AVENUE
CHEVY CHASE, MD 20815

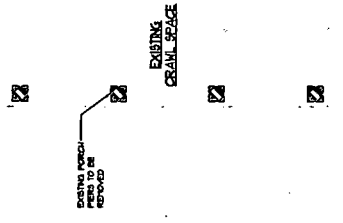
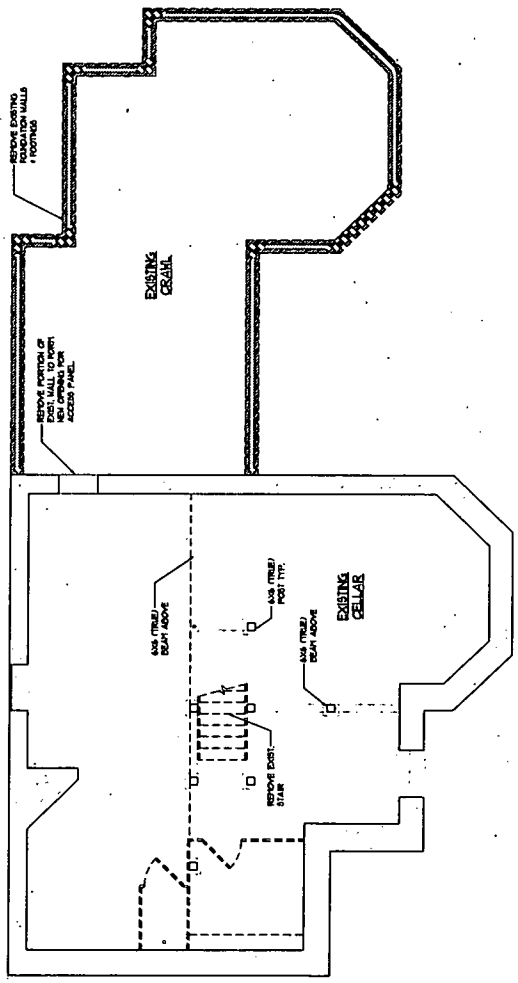
ISSUED:	01-15-10	PROGRESS SET
DRAWING:	CELLAR DEMOLITION PLAN	
DATE:	01-15-10	PROJECT NO:
BY:	01-15-10	DRAWING NO:

A2.0

DEMOLITION LEGEND:

[Dotted line symbol]	EXISTING TO REMAIN
[Dashed line symbol]	EXISTING TO BE DEMOLISHED
[Solid line symbol]	EXISTING DOOR TO REMAIN
[Dashed line symbol]	EXISTING DOOR TO BE REMOVED
[Dotted line symbol]	EXISTING WINDOW TO REMAIN
[Dashed line symbol]	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
1. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PERMITS, FEES AND AGENCY COMPLIANCE TO CODES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND AGENCIES APPROVALS.
 3. REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE.
 4. REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE.
 5. LOCATE ALL WATER, GAS, AND CUP OFF TO ALL PLUMBING REFERRED TO BE DEMOLISHED.
 6. REMOVE SUMP, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED.
 7. REMOVE & REPLACE ALL DETACHED CLAMPED, SAVED, DAMAGED AND/OR DEFLECTED PLUMBING.
 8. CONDUCT SURVEY BEFORE REMOVING ANY SHEDDING OR PLUMBING.
 9. REMOVE SOIL AS REQUIRED TO ALLOW A GRAVEL BASE BELOW SLAB.



A1 CELLAR DEMOLITION PLAN
A2.0 W-109

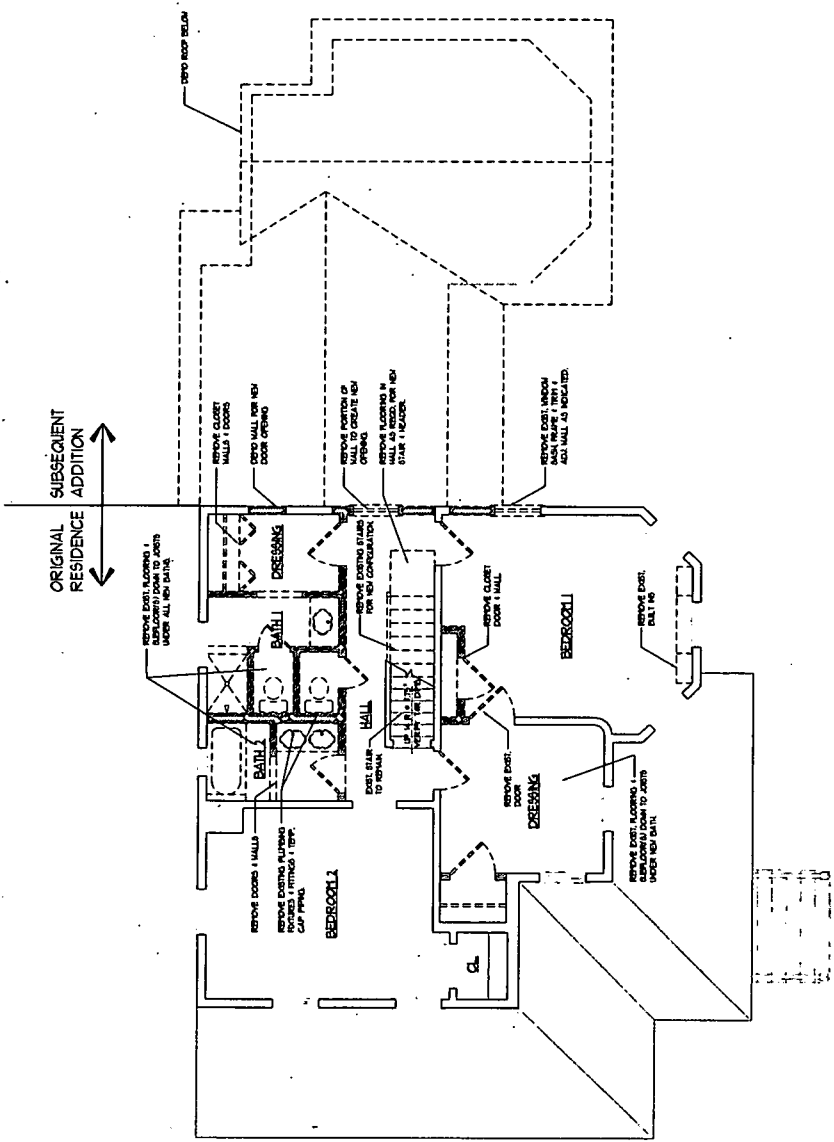


DEVIATION LEGEND:

	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REPOSED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REPOSED

DEVIATION NOTES:

- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PERMITS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
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- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.



A1 SECOND FLOOR DEVIATION PLAN
A2.2 11/11/07

13

DANNIS WAMZI
ARCHITECTS, INC.
1000 Pennsylvania Avenue, N.W.
Suite 1024
Washington, D.C. 20007
TEL: 202.331.7252
FAX: 202.331.7252

DAVIDSON
RESIDENCE
4777 ESSEX AVENUE
CHEVY CHASE, MD 20815

DRAWING: ATTIC DEMOLITION PLAN

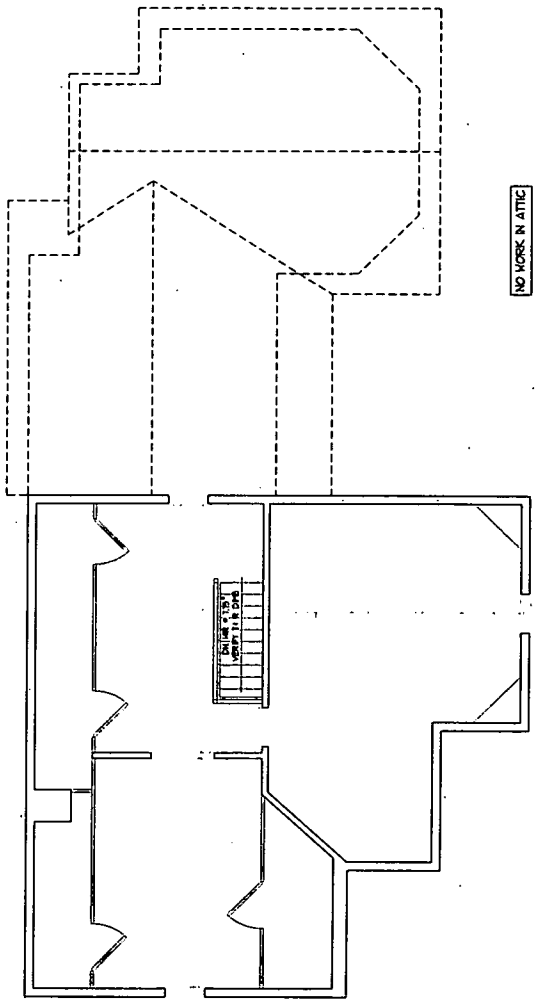
ISSUED: 09-13-00 PROJECT NO. 01
09-13-00 BUILDING PERMIT SET
04-02-00

DEMOLITION LEGEND:

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED

DEMOLITION NOTES:

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PERMITS, PERMITS JOB SAFETY, & COMPLIANCE TO CODES.
2. ALL DEMOLITION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL DEMOLITION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL DEMOLITION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
3. REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE.
4. REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE.
5. LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PIPING SERVICES TO BE DEMOLISHED.
6. REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP.
7. REMOVE & REPLACE ALL DEGRADED CLAMPING, BUCKS, BOLTS AND ACCESSORIES WITH APPROVED EQUIVALENTS.
8. REMOVE ALL EXPOSED REINFORCING BARS.
9. REMOVE JOBS AS REQUIRED TO ALLOW A GRAVEL BASE BELOW SLAB.



NO WORK IN ATTIC

BARNES VANSTI
ARCHITECTS INC.
1000 Parkside Square, N.W.
Atlanta, Georgia 30309
TEL: 404.525.1234
FAX: 404.525.1234

DAVIDSON
RESIDENCE
4727 ESSEX AVENUE
CHEVY CHASE, MD 20815

ISSUED:
03-19-08 PROGRAM SET
03-19-08 PROGRAM SET
03-19-08 DIALOG PAPER SET
04-01-08

A2.4

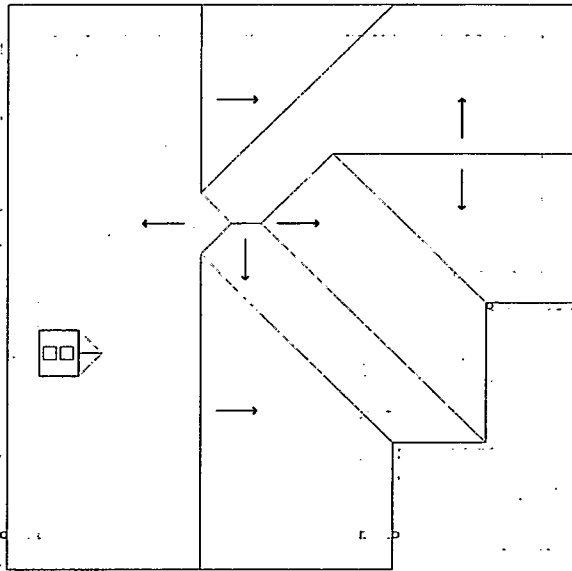
DRAWING: ROOF DEMOLITION PLAN

DEMOLITION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE DEMOLISHED

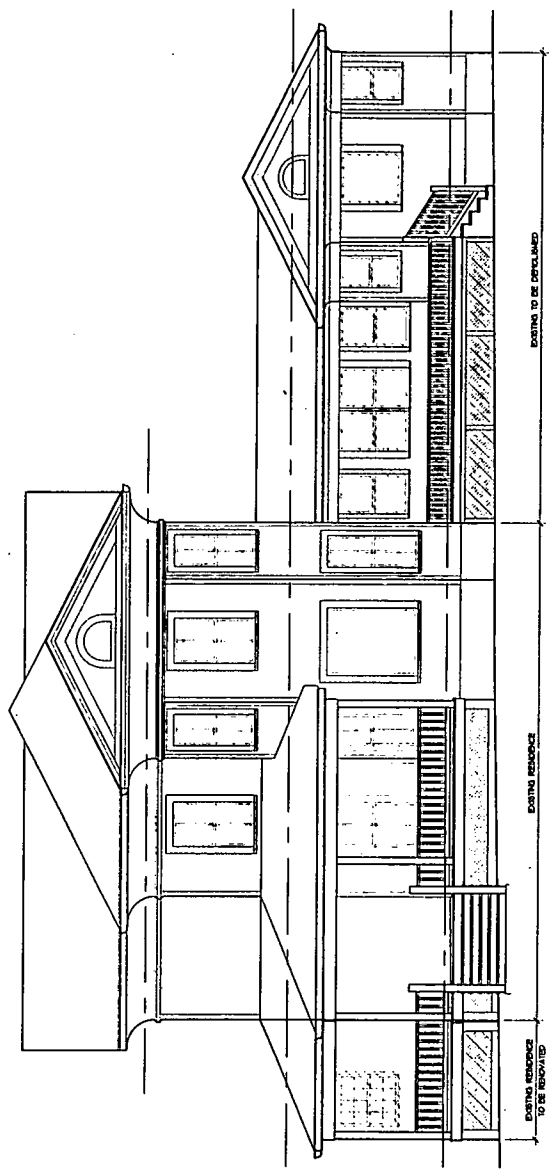
DEMOLITION NOTES

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PERMITS.
2. GENERAL CONTRACTOR SHALL BEWARE OF ADJACENT PROPERTY AND ALL OBSTRUCTIONS BETWEEN FIELD CONDITIONS AND DEMOLITION PERMIT.
3. REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE.
4. REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY REMOVE.
5. LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING REQUIRED TO BE DEMOLISHED.
6. REMOVE SUMP, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP.
7. REMOVE AND REPAIR ALL DETRIMENTED CLAMPED, SWEET, BOLTS AND ASSOCIATED TRIM.
8. CORRECT AND PATCH BEFORE REMOVING ANY SHEETROCK OR PLASTER.
9. REMOVE SOIL AS REQUIRED TO ALLOW A 4" BEARING BASE BELOW SLAB.

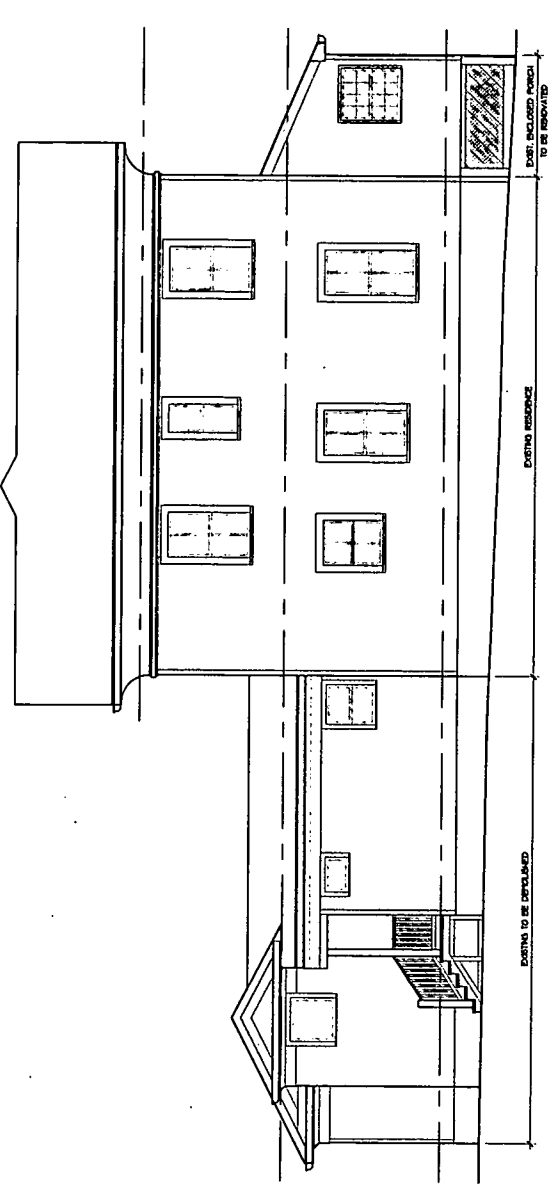


A1 ROOF DEMOLITION PLAN
A2.4

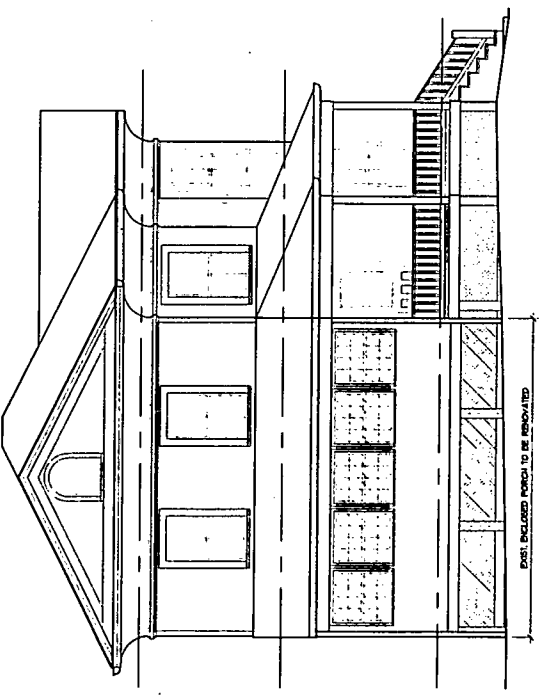
15



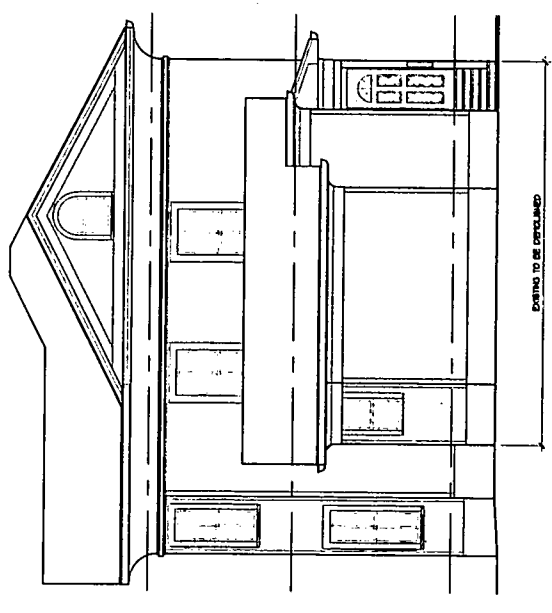
A2 EXISTING SIDE ELEVATION
A2.5 1/4" = 1'-0"



B1 EXISTING DRIVEWAY ELEVATION
B1.5 1/4" = 1'-0"



A1 EXISTING FRONT ELEVATION
A1.5 1/4" = 1'-0"



B1 EXISTING REAR ELEVATION
B1.5 1/4" = 1'-0"



DAVIDSON RESIDENCE
477 ESSEX AVENUE
CHEVY CHASE, MD 20815

DRAWING: PROPOSED CELLAR PLAN

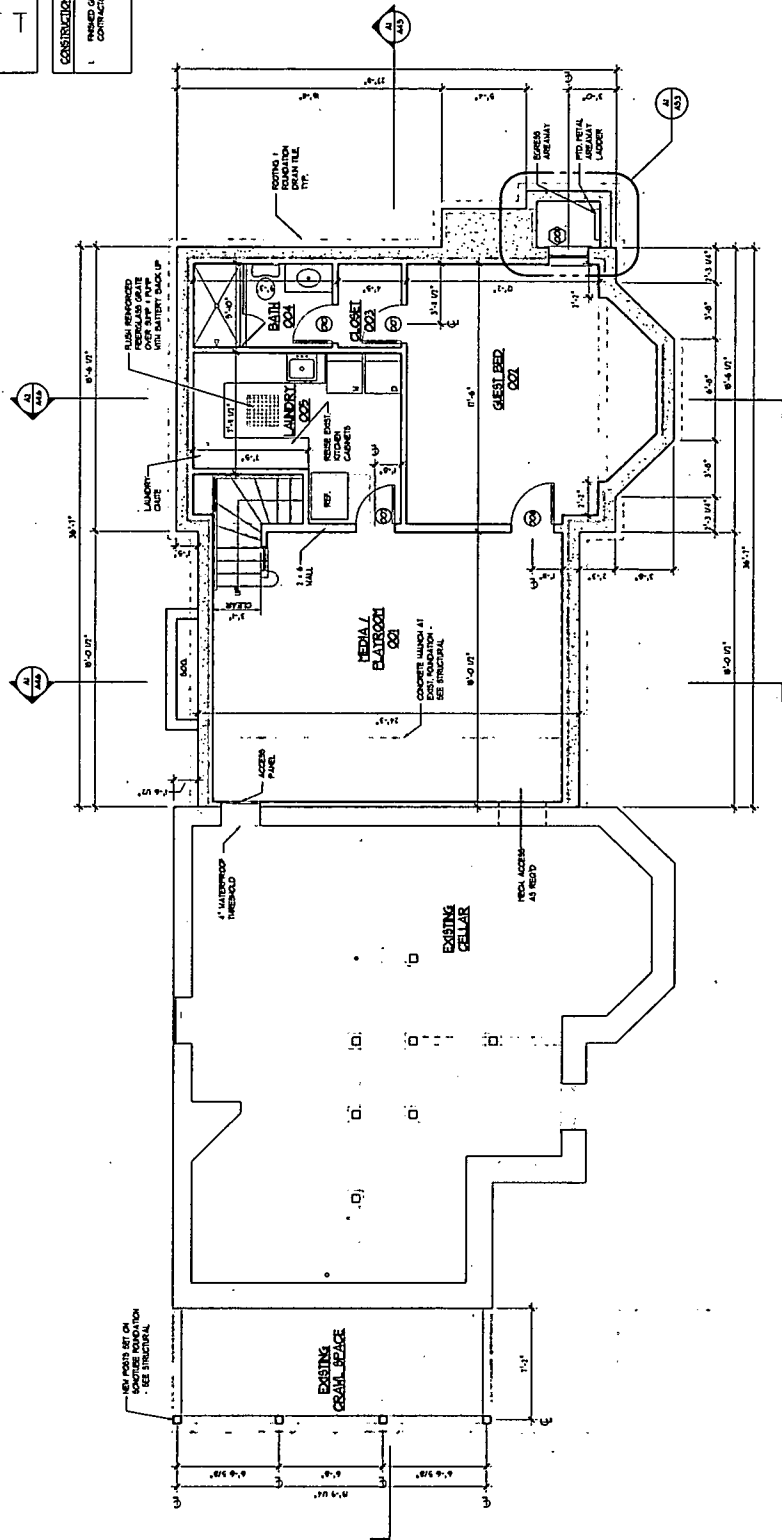
A3.0

CONSTRUCTION LEGEND

- DOTTING TO REPLAN
- NEW STD WALL 2"X8" W/ 1/2" WALL DOG
- POURED CONCRETE
- DOTTING DOOR TO REPLAN
- NEW DOOR
- DOTTING WINDOW TO REPLAN
- NEW WINDOW
- REMOVE DOOR/DOOR TO STD OR WINDOW/ WINDOW DOG
- FINISH EXPANSION

CONSTRUCTION NOTES

1. FINISHED GRADES ARE INDICATED TO SHOW DESIGN INTENT. GENERAL CONTRACTOR SHALL DETERMINE ACTUAL ROOF ELEVATION.



GARIN'S VANZI ARCHITECTS INC.
 1800 Pleasant Street, N.Y.
 Suite 12, 10007
 TEL: 914.487.8855
 FAX: 914.487.8856

DAVIDSON RESIDENCE
 4177 Essex Avenue
 Chevy Chase, MD 20815

ISSUES:
 07-17-00 PROBLEMS SET
 07-17-00 PROBLEMS SET
 04-01-00 BUILDING PERMIT SET

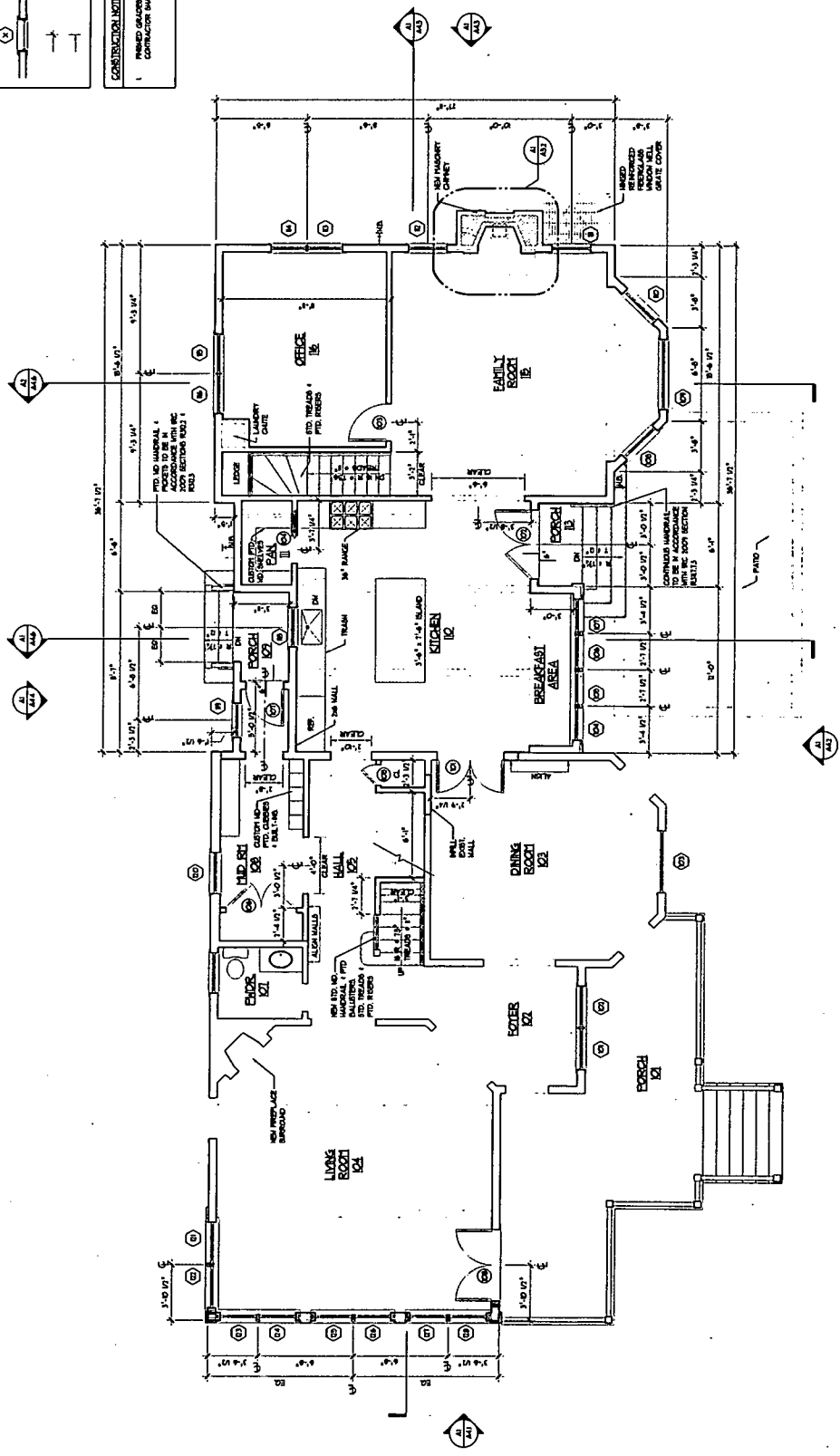
A3.1

CONSTRUCTION LEGEND

- EXISTING TO REMAIN
 NEW 2" HD WALL 2X4 W/CGC OR WALL 2X4
 POURED CONCRETE
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- REMOVE EXISTING AND NEW
 OR FINISH EXISTING, WOOD
 FINE FINISH

CONSTRUCTION NOTES

1 FINISH SCHEDULE AND SPECIFICATIONS TO NEW FINISH WORK. GENERAL CONTRACTOR SHALL DETERMINE DETAILED REQUIREMENTS.



A1 PROPOSED FIRST FLOOR PLAN
 DRAWING SCALE: 1/8" = 1'-0"

BARNES VASZL
ARCHITECTS INC.
1800 Park Ave. Suite 200, N.Y.
New York, N.Y. 10028
TEL: 212.757.7333
FAX: 212.757.8899

DAVIDSON
RESIDENCE
4727 ESSEX AVENUE
CHEVY CHASE, MD 20815

ISSUED: 03-11-03
PROCESSED BY: [Signature]
DATE: 03-11-03
DRAFTING: PROPOSED SECOND FLOOR PLAN

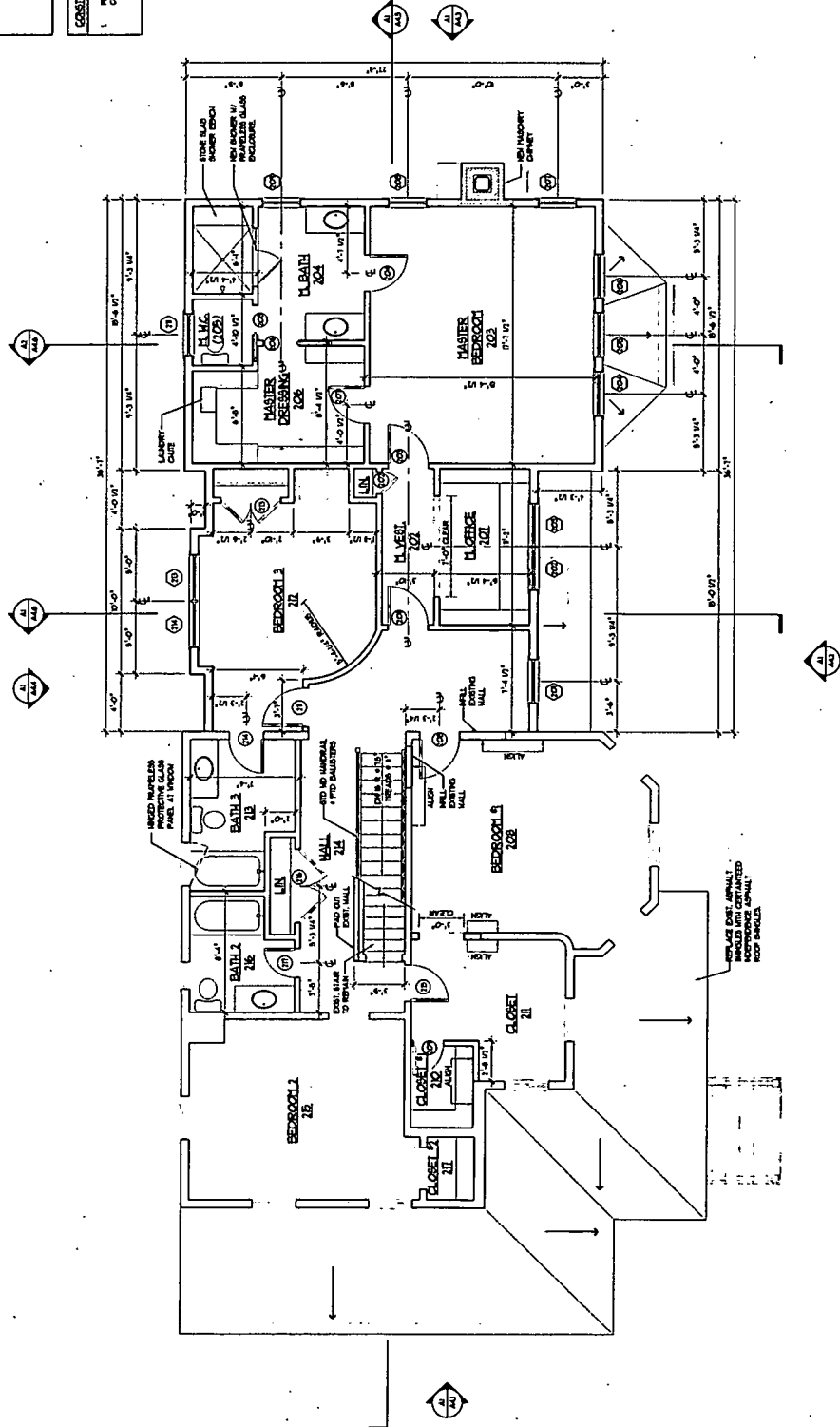
A3.2

CONSTRUCTION LEGEND:

- EXISTING TO REMAIN
- NEW FIBER WALL, 200 MESH 2"X1 WALLS, 2"X10
- NEW FIBER WALL, 200 MESH 2"X1 WALLS, 2"X10
- POURED CONCRETE
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- REPAIRS TO REMAIN TO BE DONE OR REPAIRS TO REMAIN TO BE DONE
- NEW FINISH

CONSTRUCTION NOTES:

1. DIMENSIONS ARE INDICATED TO FACE UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL DETERMINE ALL REQUIREMENTS.



A1 PROPOSED SECOND FLOOR PLAN
DRAWING SCALE: 1/4" = 1'-0"

DAVIDSON
RESIDENCE
4777 ESSEX AVENUE
CHEVY CHASE, MD 20815

ISSUED:
09-12-2001 PROGRESS SET
09-12-2001 BALDING PROJECT SET
04-01-2001

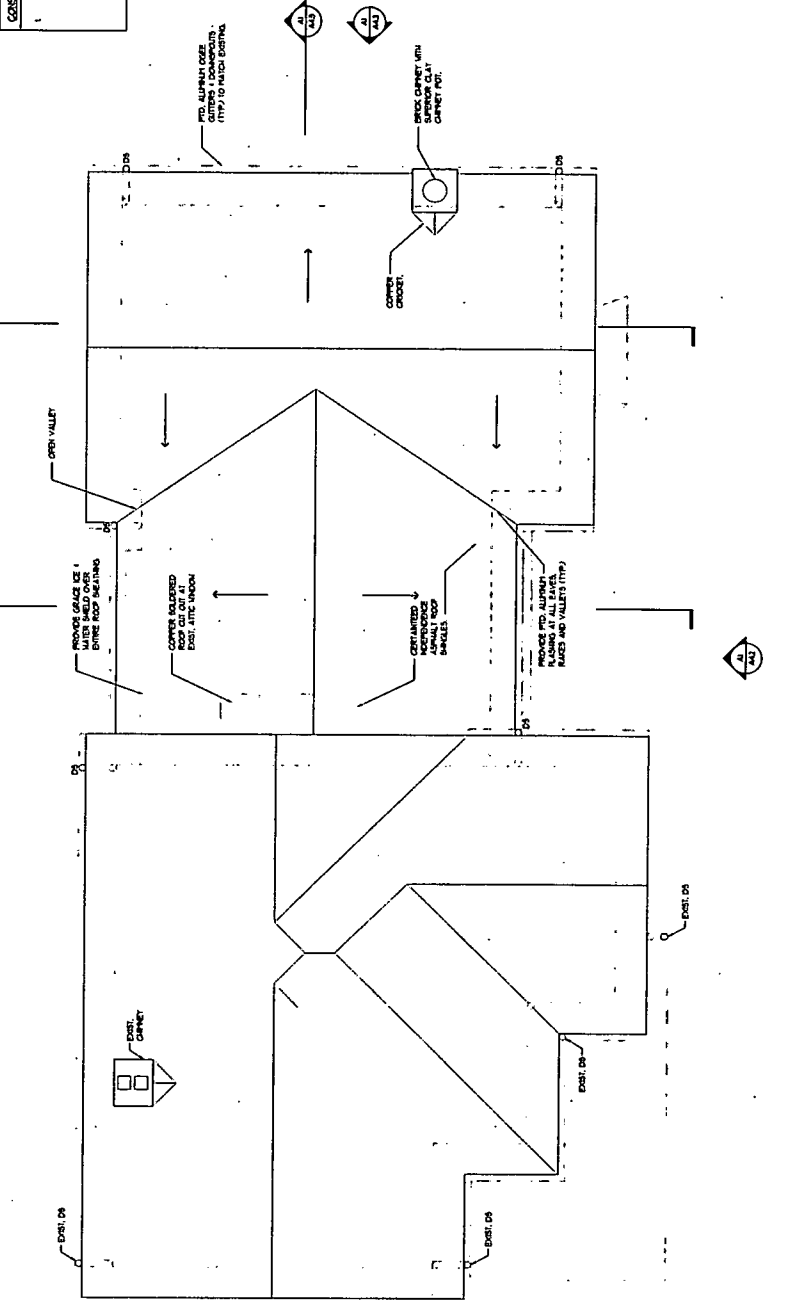
A3.3

CONSTRUCTION LEGEND:

- EXISTING TO REMAIN: Hatched pattern
- NEW END WALL FOR WOOD FRAMING: Solid line
- POURED CONCRETE: Stippled pattern
- EXISTING DOOR TO REMAIN: Door symbol with hatched frame
- NEW DOOR: Door symbol with solid frame
- EXISTING WINDOW TO REMAIN: Window symbol with hatched frame
- NEW WINDOW: Window symbol with solid frame
- NEW FINISH: Dashed line
- FRAMING OPENINGS TO STOP: Symbol with 'X'
- FRAMING OPENINGS TO BE REOPENED: Symbol with 'O'
- NEW FINISH: Solid line

CONSTRUCTION NOTES:

- FRAMING OPENINGS ARE REQUIRED TO STOP ROOF JOIST INTER. GENERAL CONSTRUCTION SHALL OBSERVE GENERAL SUBSTITUTION.



PROPOSED ROOF PLAN
A3.3



DAVIDSON ARCHITECTS INC.
1800 Pennsylvania Ave., N.W.
Washington, D.C. 20007
TEL: 202.331.7759
FAX: 202.331.7899

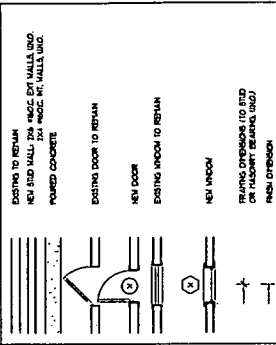
DAVIDSON
RESIDENCE
4777 ESSEX AVENUE
CHEVY CHASE, MD 20815

DRAWING: PROPOSED GARAGE / ACCESSORY BUILDING PLANS

ISSUED:
DATE: 04-15-04
PROJECT: 04-12-04
DRAWING: 04-12-04

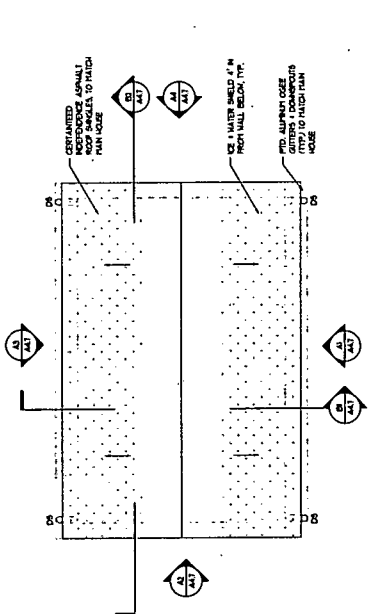
A3.4

CONSTRUCTION LEGEND:

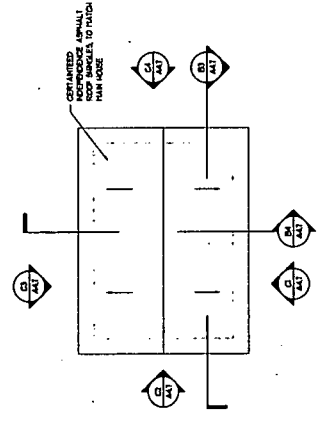


CONSTRUCTION NOTES:

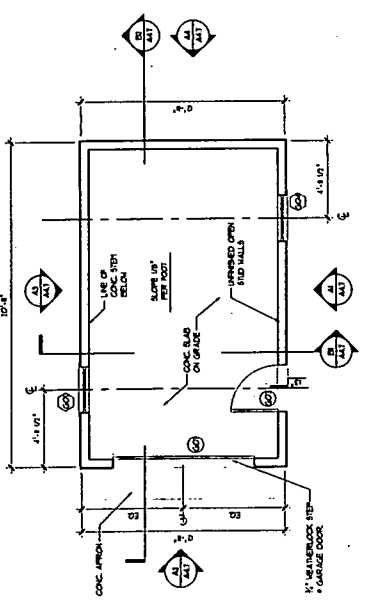
1. FINISH GRADES ARE INDICATED TO SHOW DESIGN INTENT. GENERAL CONTRACTOR SHALL DETERMINE OFFICIAL RECORDS.



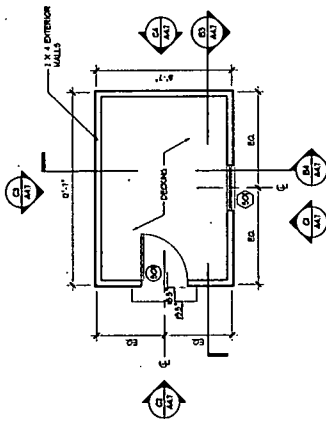
A1 PROPOSED GARAGE ROOF PLAN
A3.3 14' x 17'-0"



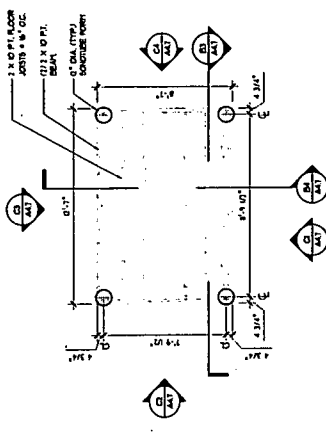
B1 PROPOSED SHED ROOF PLAN
A3.3 10' x 17'-0"



A1 PROPOSED GARAGE FOUNDATION PLAN
A3.3 14' x 17'-0"



B1 PROPOSED SHED FOUNDATION PLAN
A3.3 10' x 17'-0"



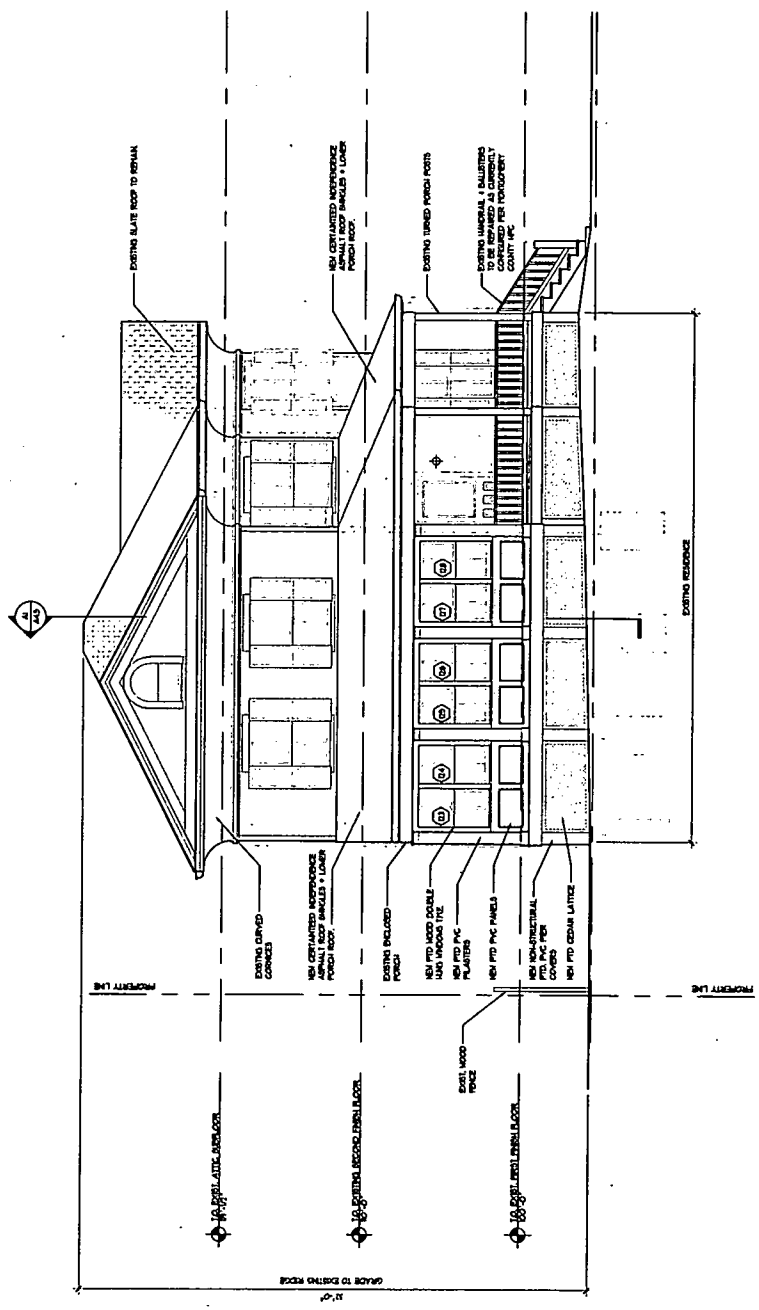
B1 PROPOSED SHED FLOOR PLAN
A3.3 10' x 17'-0"

GARBUS VASZI
ARCHITECTS INC.
1000 Pennsylvania Avenue, N.W.
Suite 404
Washington, D.C. 20007
TEL: 202.462.1000
FAX: 202.462.1001

DAVIDSON
RESIDENCE
4727 ESSEX AVENUE
CIBBY CHASE, MD 20815

ISSUED:	03-12-02
PROCESSED SET	03-12-02
DATE:	03-12-02
DATE:	04-01-02

A4.1



A1 PROPOSED FRONT ELEVATION
A4.1 W-1-C

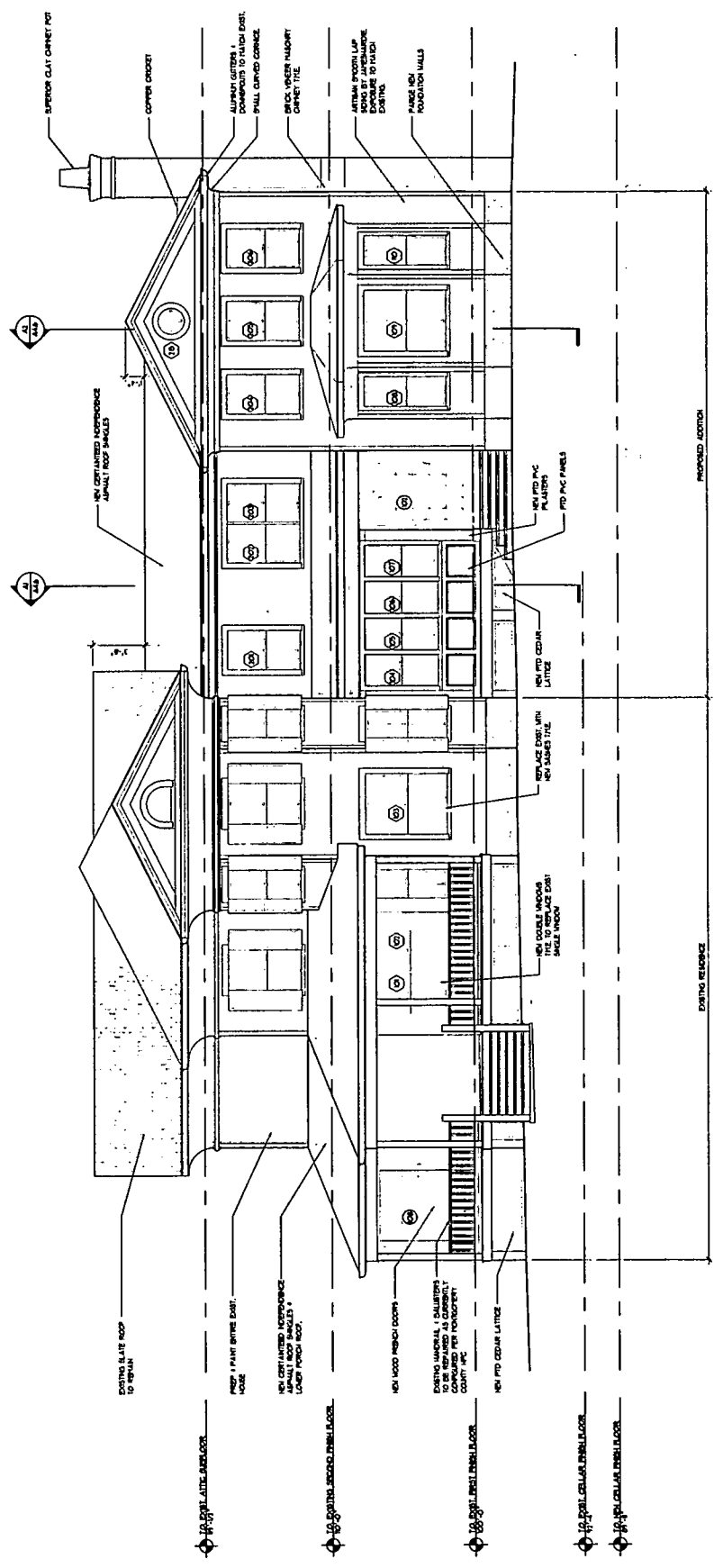
22

AVINIS/AVINIZZI
ARCHITECTS, INC.
1000 W. WASHINGTON ST.
Arlington, VA 22202
TEL: 703.247.7800
FAX: 703.247.8800

**DAVIDSON
RESIDENCE**
4778 ESSER AVENUE
CHEVY CHASE, MD 20815

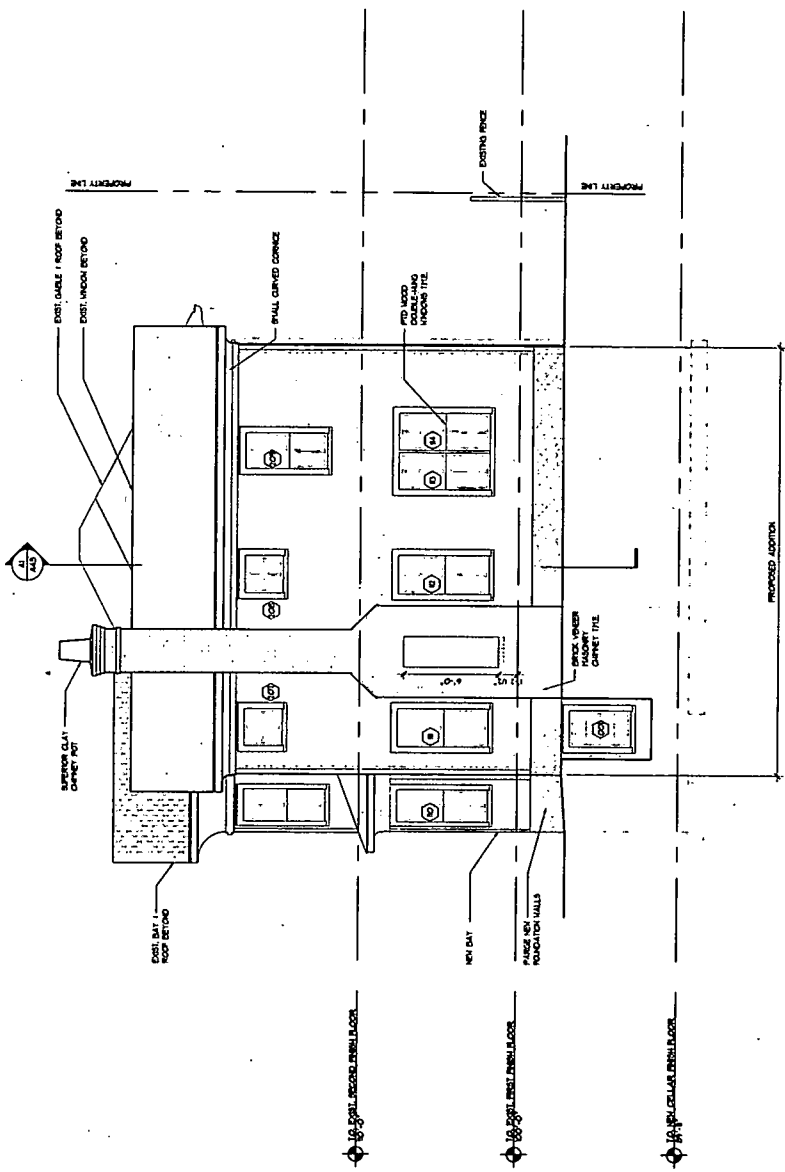
ISSUED: 09-29-05
PROGRAM: RES
DRAWN: 09-29-05
PROJECT NO: 04-02-005
BUILDING PERMIT SET

A4.2

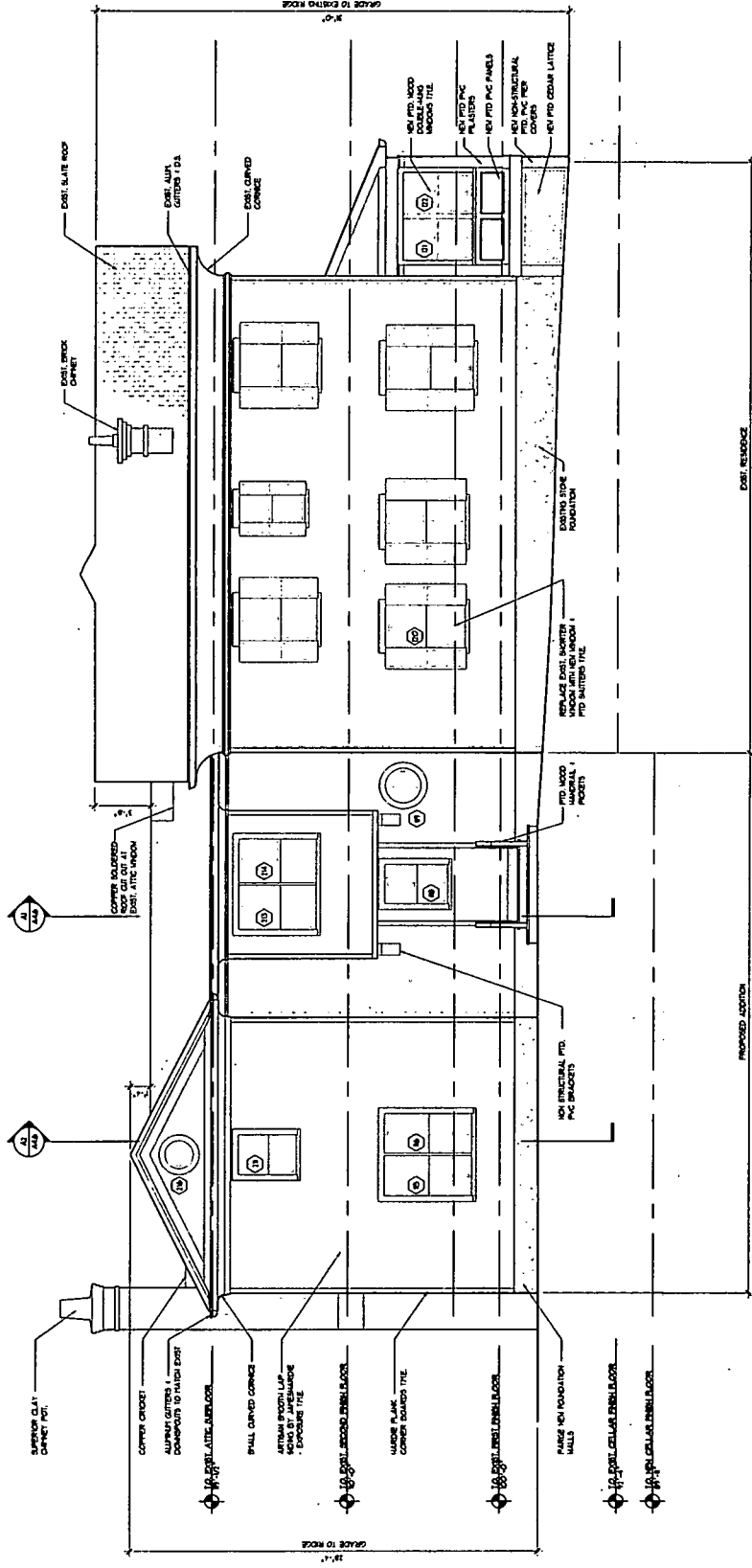


AI PROPOSED SIDE ELEVATION
1/4" = 1'-0"

ISSUED:	PROPOSED REAR ELEVATION
03-21-20	PROGRESS SET
03-18-20	PROGRESS SET
04-07-20	DRAWING REVISION SET

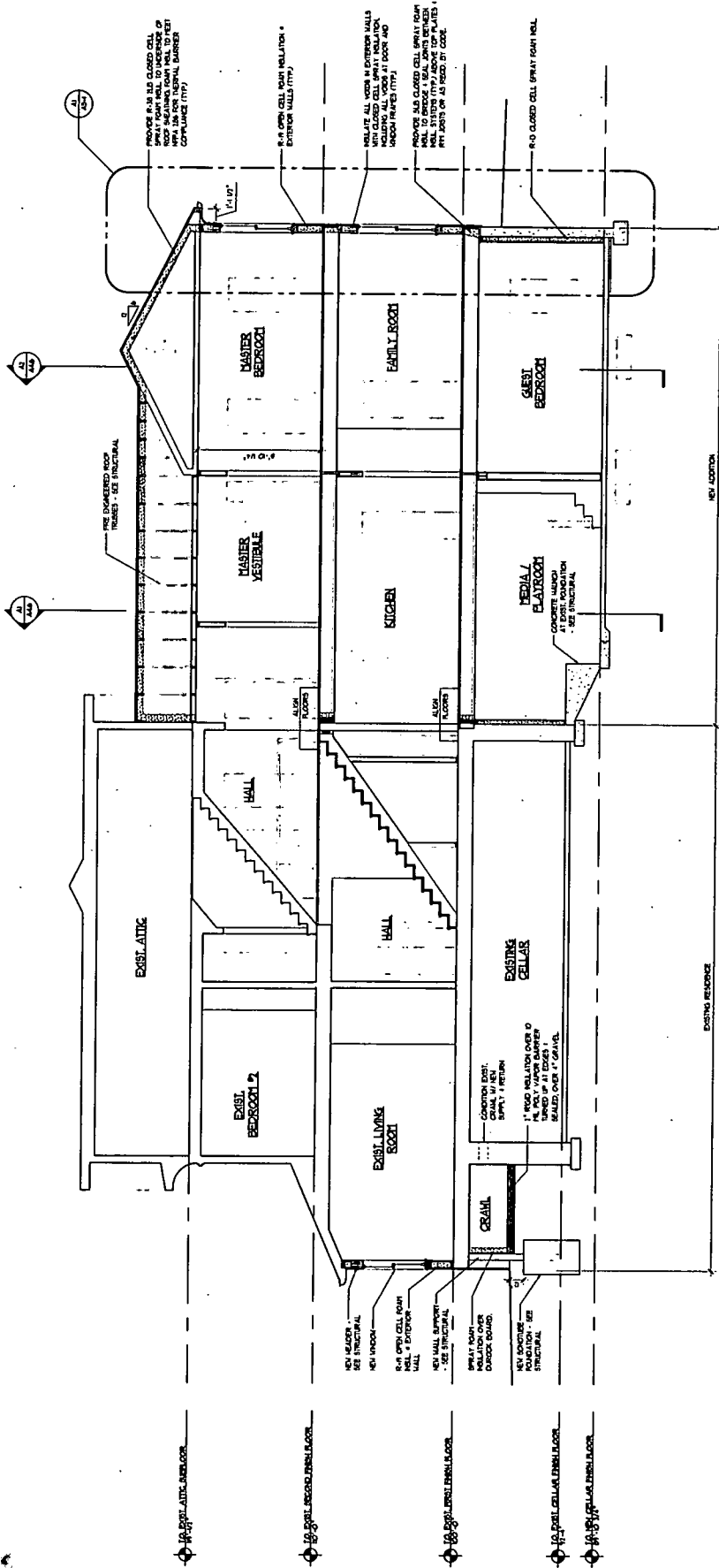


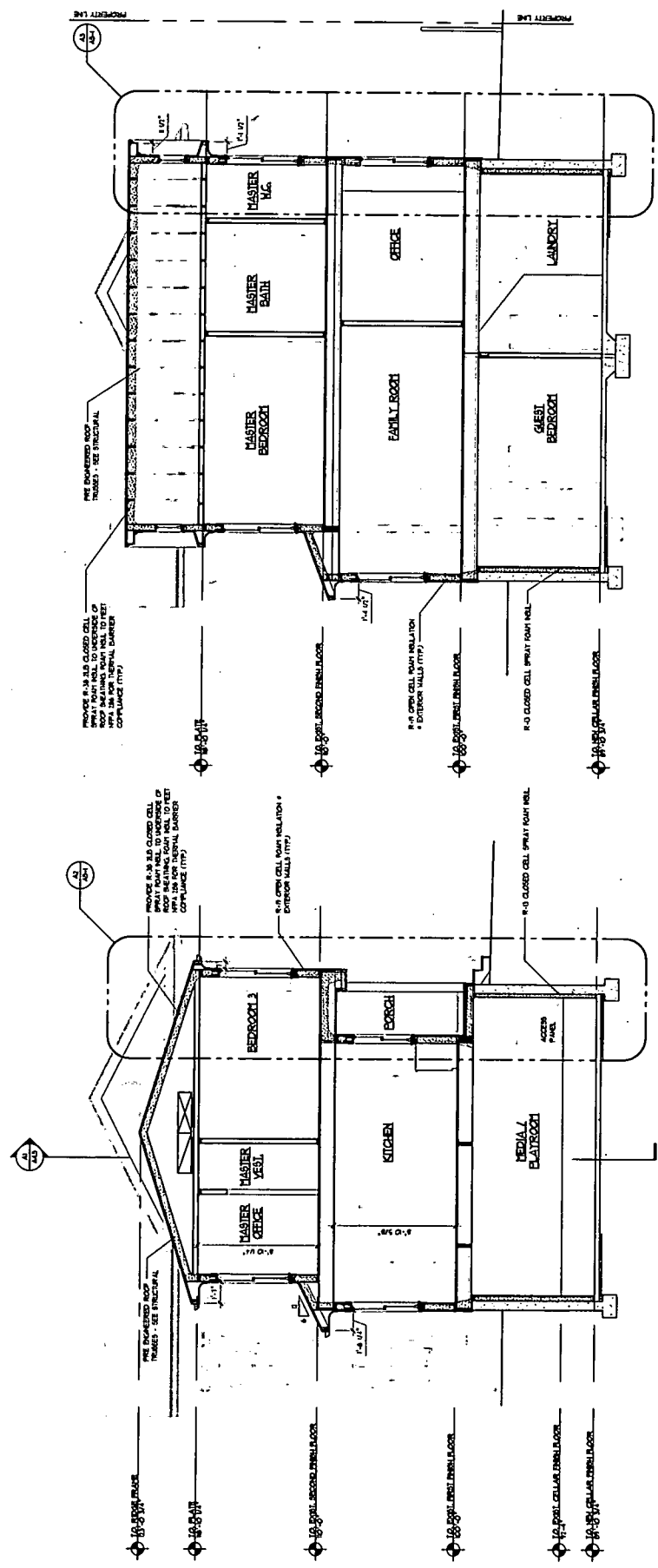
41. PROPOSED REAR ELEVATION
 1/4" = 1'-0"



A1 PROPOSED SIDE ELEVATION
 A4.4 1/4" = 1'-0"

52





A2 BUILDING SECTION
 1/4" = 1'-0"

A1 BUILDING SECTION
 1/4" = 1'-0"

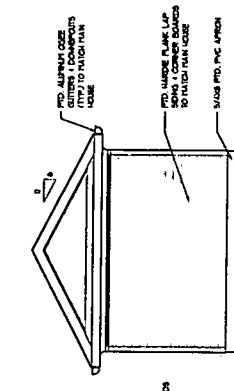
27

DAVIDSON ARCHITECTS INC
1000 Pennsylvania Avenue, N.W.
Washington, D.C. 20004
TEL: 202.331.7500
FAX: 202.331.7500

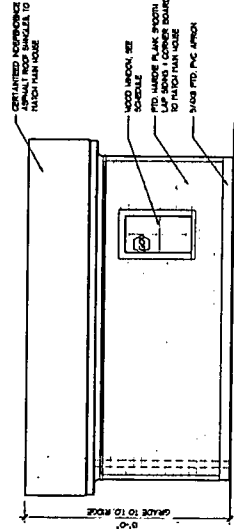
DAVIDSON
RESIDENCE
4717 ESSICK AVENUE
CHRY CHASE, MD 21115

ISSUED: 03-20-00 PROPOSED LET
03-20-00 PROPOSED LET
04-01-00 BUILDING PERMIT SET

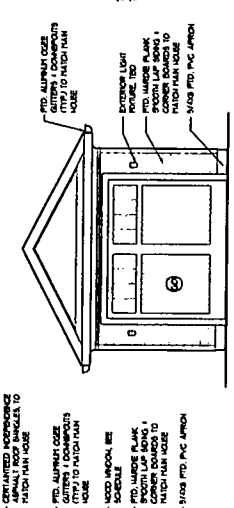
A4.7



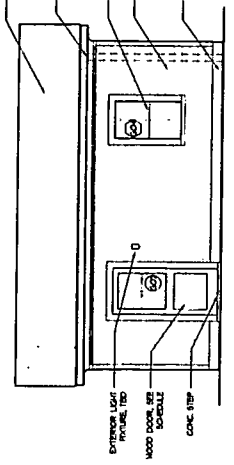
A1 PROPOSED GARAGE FRONT ELEVATION
4.4.7 11' x 11'0"



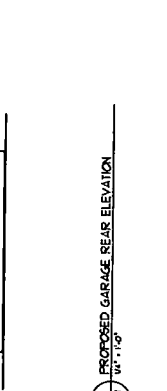
A3 PROPOSED GARAGE SIDE ELEVATION
4.4.7 11' x 11'0"



A4 PROPOSED GARAGE REAR ELEVATION
4.4.7 11' x 11'0"



B1 PROPOSED GARAGE SECTION
4.4.7 11' x 11'0"



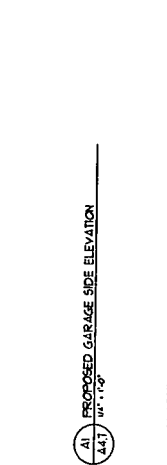
B3 PROPOSED SHED FRONT ELEVATION
4.4.7 11' x 11'0"



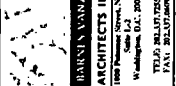
B4 PROPOSED SHED SECTION
4.4.7 11' x 11'0"



C1 PROPOSED SHED REAR ELEVATION
4.4.7 11' x 11'0"



C2 PROPOSED SHED SECTION
4.4.7 11' x 11'0"



DAVIDSON ARCHITECTS INC. 477 ESSEX AVENUE CHEVY CHASE, MD 20815

ISSUED: 03-25-08 REVISIONS: 03-28-08 CLIENT: POWER FET DRAWING: WINDOW SCHEDULE

A1.2A

WINDOW SCHEDULE - CONTINUED

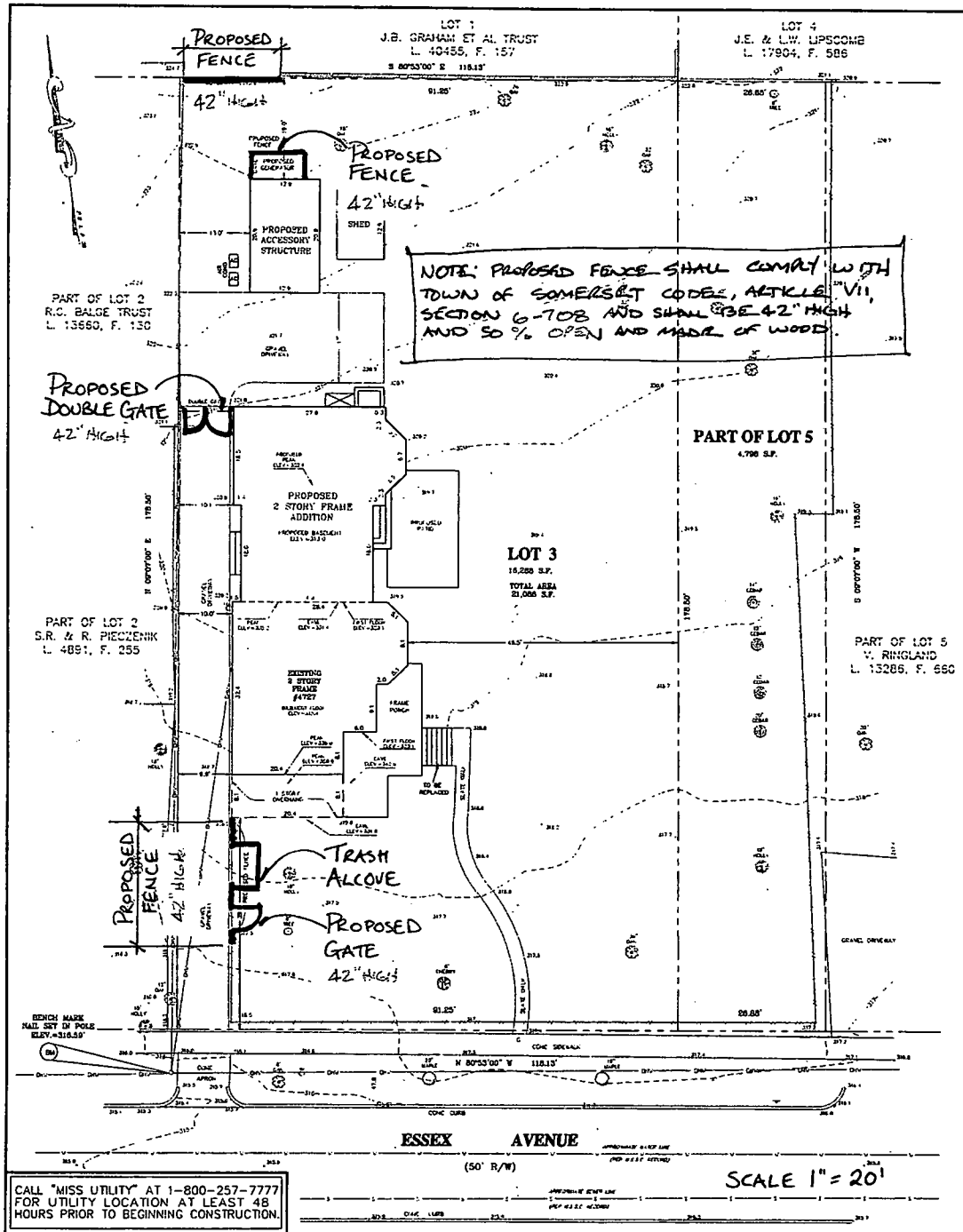
Table with columns for window type, size, material, and notes. Includes notes on manufacturer requirements, installation, and hardware.

WINDOW SCHEDULE

Table with columns for window type, size, material, and notes. Includes notes on manufacturer requirements, installation, and hardware.

Table with columns for window type, size, material, and notes. Includes notes on manufacturer requirements, installation, and hardware.

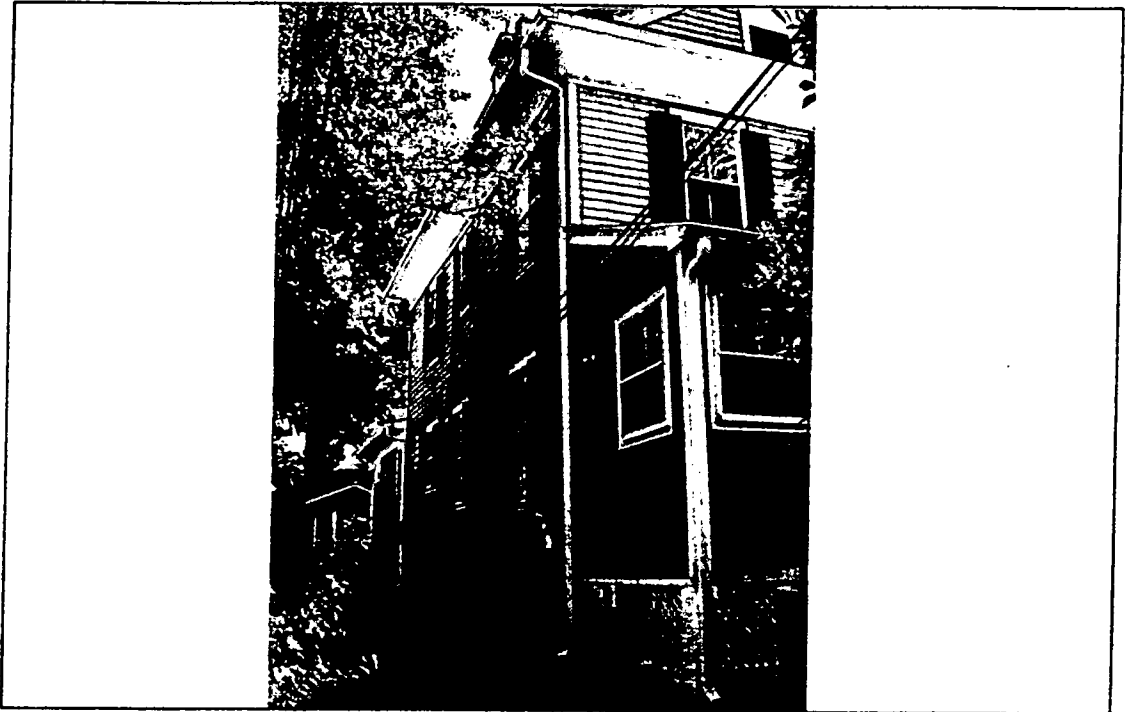
Table with columns for window type, size, material, and notes. Includes notes on manufacturer requirements, installation, and hardware.



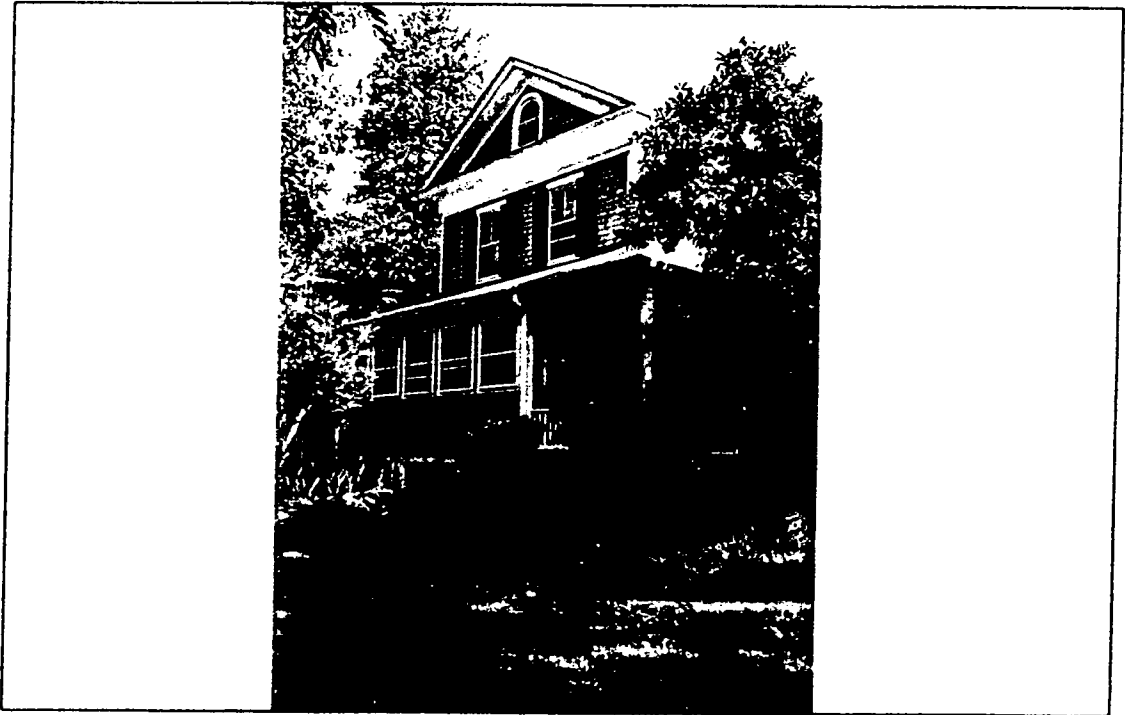
*Proposed
Fencing*

DAVIDSON RESIDENCE
 4727 ESSEX AVENUE
 NEW FENCE SCOPE
 BARNES VANZEL ARCHITECTS
 04.13.12 1"=20'-0"

Existing Property Condition Photographs (duplicate as needed)



Detail: WEST ELEVATION



Detail: SOUTH ELEVATION

Applicant: DAVIDSON

Existing Property Condition Photographs (duplicate as needed)



Detail: SOUTH EAST ELEVATION



Detail: EAST ELEVATION

Existing Property Condition Photographs (duplicate as needed)



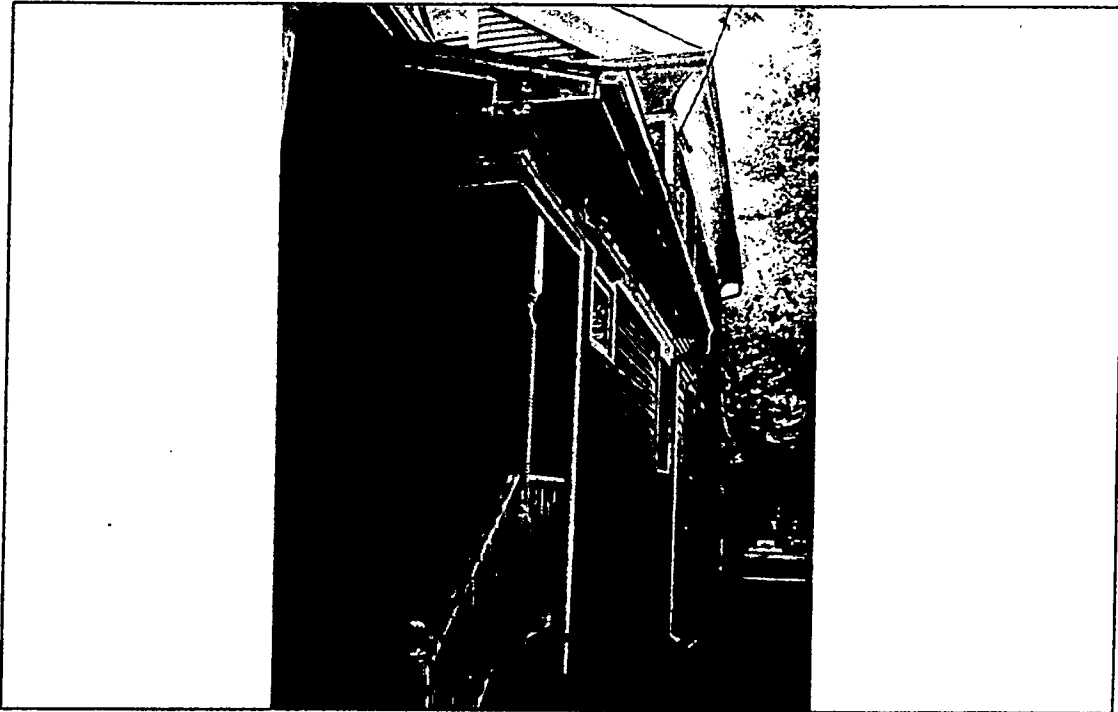
Detail: EAST ELEVATION



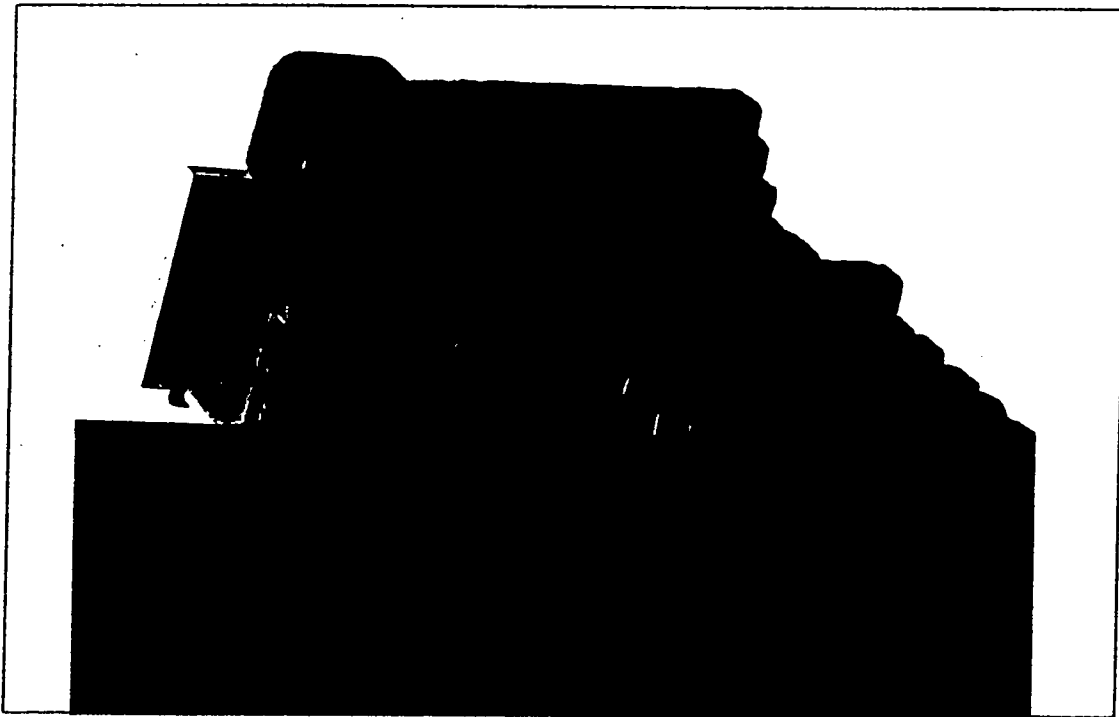
Detail: NORTH ELEVATION

Applicant: DAVIDSON

Existing Property Condition Photographs (duplicate as needed)



Detail: WEST ELEVATION



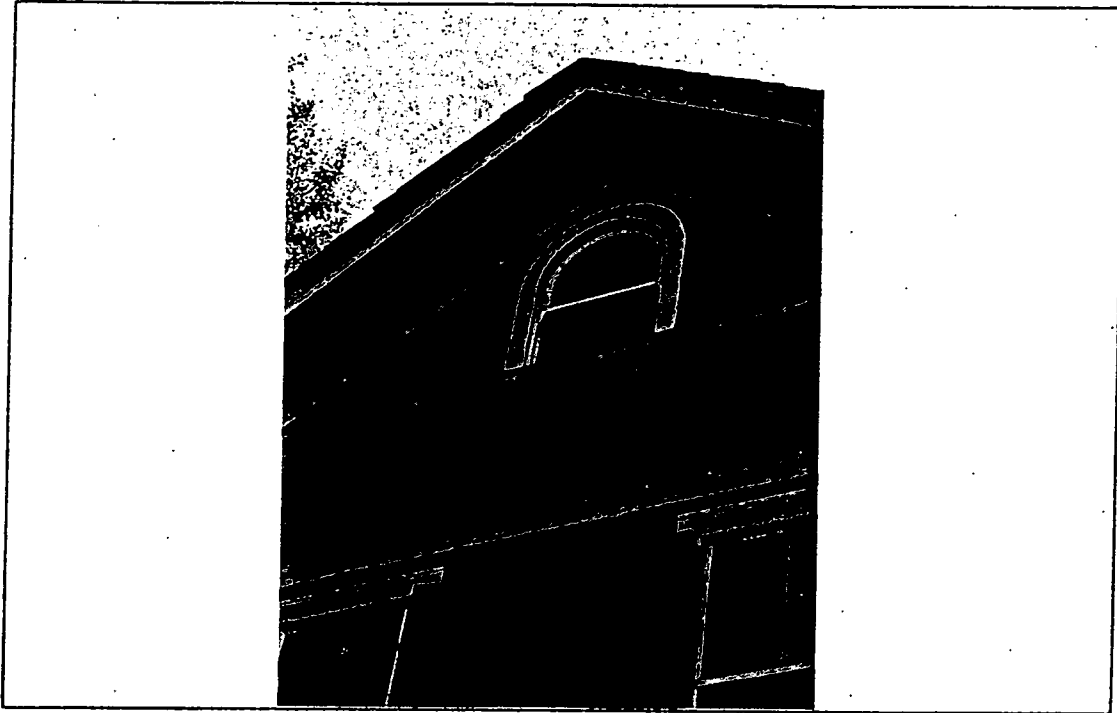
Detail: BRICK CHIMNEY

Applicant: DAVIDSON

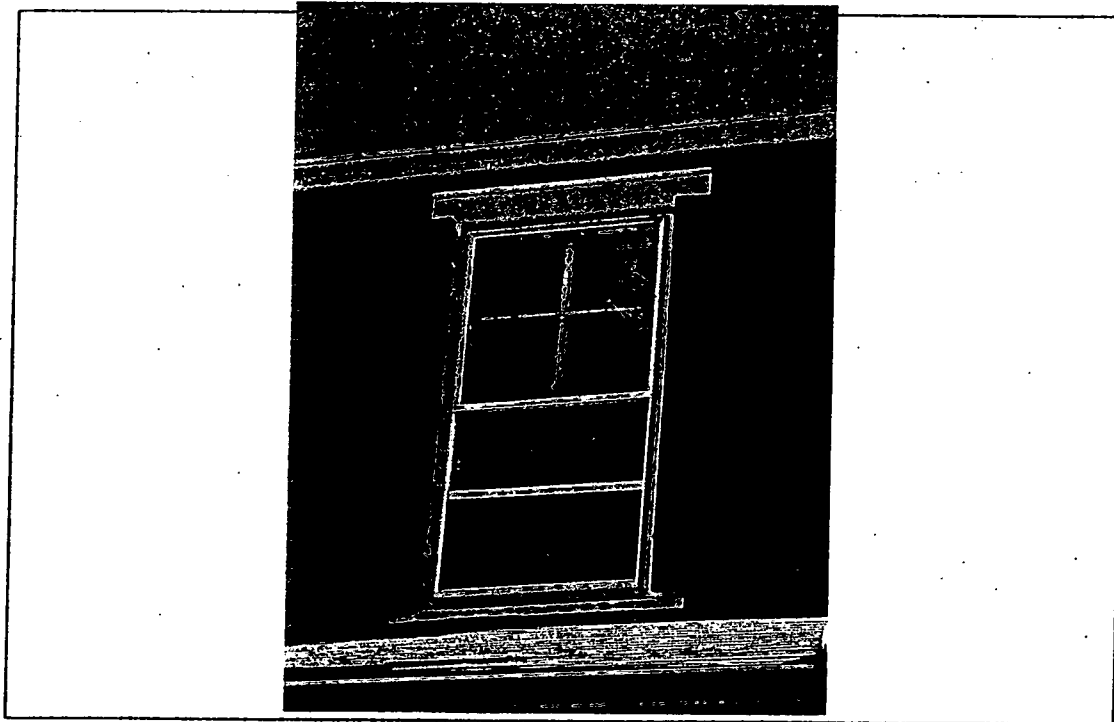
Page: 4

35

Existing Property Condition Photographs (duplicate as needed)



Detail: GABLE END



Detail: WOOD SHUTTERS

Applicant: DAVIDSON

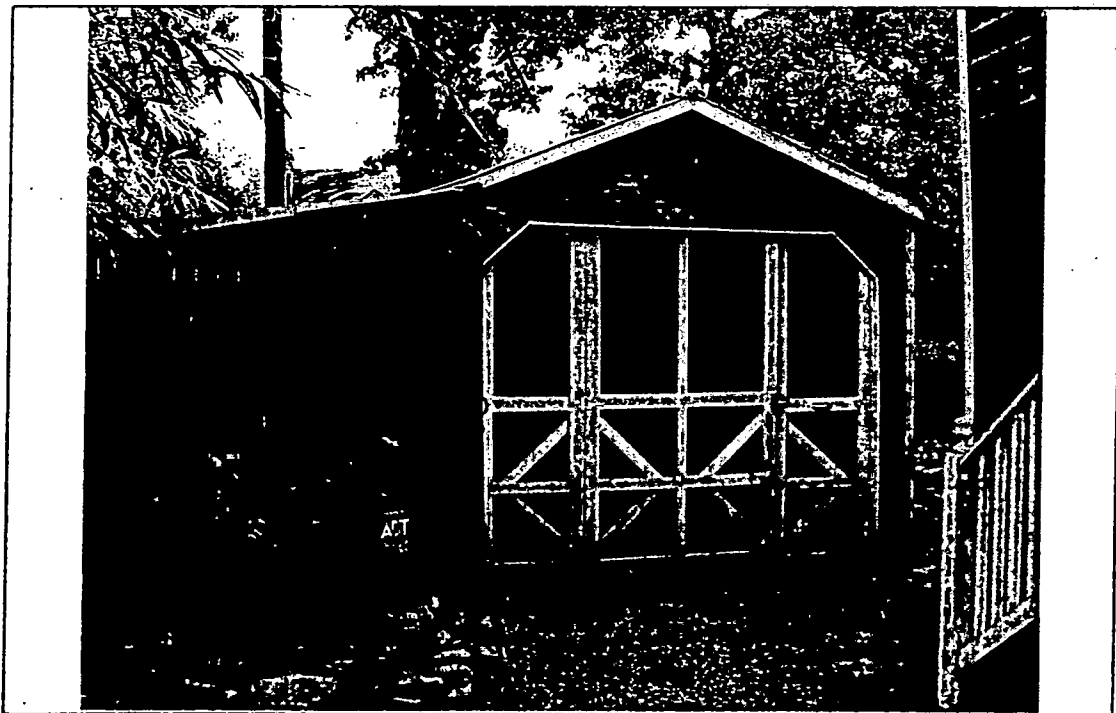
Page: 5

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Existing Property Condition Photographs (duplicate as needed)



Detail: EAST ELEVATION @ SHED



Detail: SOUTH ELEVATION @ SHED

Applicant: DAVIDSON

Page: 6

(37)

Existing Property Condition Photographs (duplicate as needed)



Detail: NORTH ELEVATION @ SHED

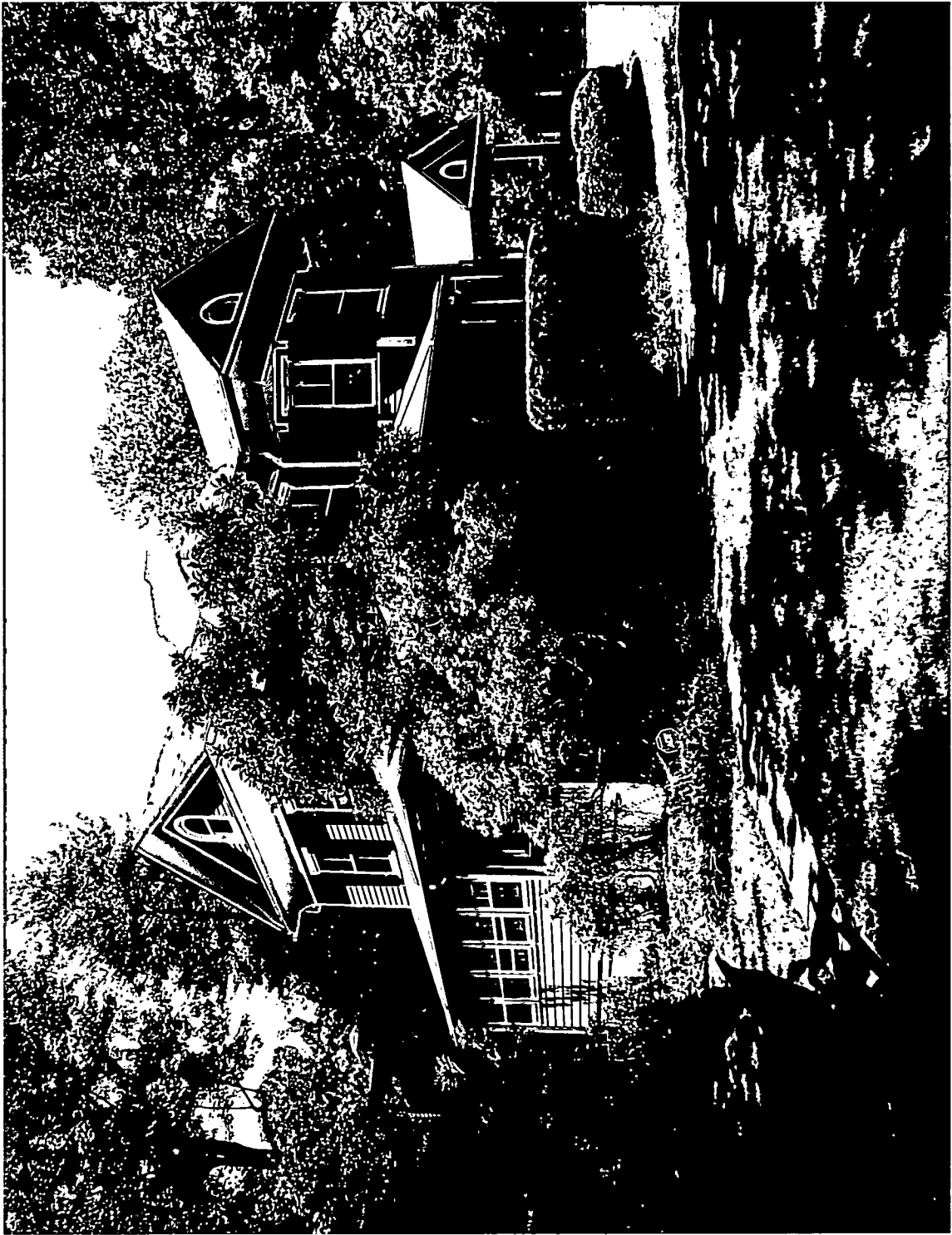


Detail: WEST ELEVATION @ SHED

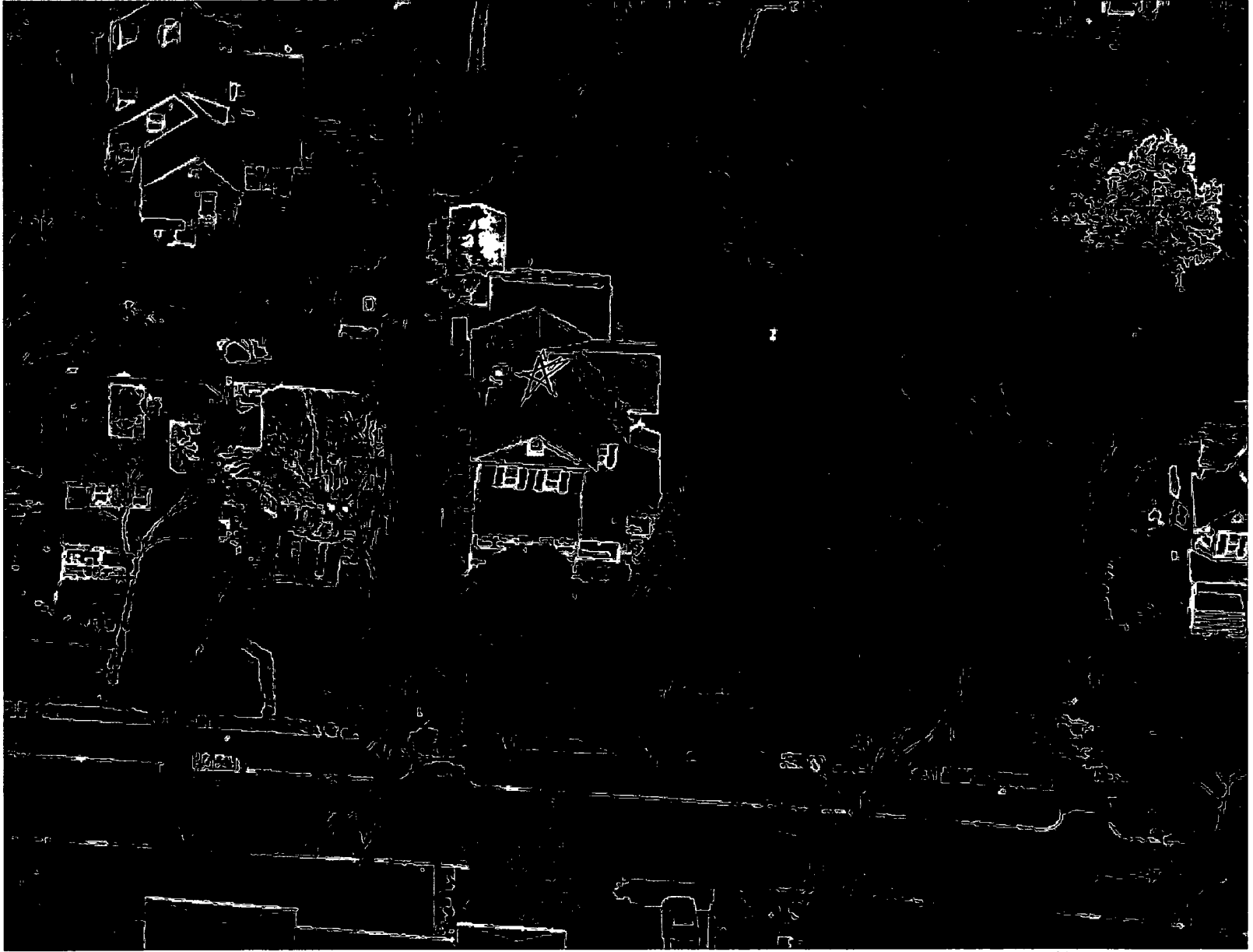
Applicant: DAVIDSON

Page: 7

(38)



4727 eslx



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40



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42

September 27, 2011 HPC meeting transcript

MS. FOTHERGILL: There is. 4727 Essex Avenue is in the Somerset Historic District. It is a contributing resource constructed in 1901. I'll just note that Somerset has only contributing and non-contributing. It's not that there are also outstanding resources in Somerset. There is a brief history of the Somerset Historic District in your staff report, and that is also excerpted from the Places From The Past.

Here you can see an aerial photo. Oh, it's not up yet, sorry. The applicants are proposing, you will be able to see an aerial photo in a minute, are proposing to remove the existing non-historic one-story rear addition, which you can sort of see in this photo and probably see better in the next one. You also can see in this photo that it is a very large lot and with a large side yard and rear yard. So they are proposing to remove that one-story rear addition and in that location they propose to construct a two-story rear addition. And the proposed addition is 37 feet by 28 feet. It will have wood siding, a brick veneer foundation, wood double hung windows and French doors, wood panels, round gable windows, brick chimney on the rear and an asphalt shingle roof.

On the left side there will be a new covered entry from the driveway to the house, and on the right side there will be a covered entry leading to a new patio. They are proposing a few changes within the historic block. They propose to remove a non-original picture window on the right side and replace it with new wood sashes. They also propose to install two windows to replace one window on the right side off of the porch. On the left side they propose to remove a replacement window in a shortened opening and replace it with a window to match the adjacent window in the larger opening.

In this photo you'll see that the original front porch was at one point enclosed and they are proposing to remove these non-original windows and install double hung wood windows with wood panels below to better recall a porch. They also propose to replace one window with French doors.

They also propose to remove a 180 square foot shed from the back of the house and construct a 273 square foot garage. Overall the applicants propose to expand the first floor footprint

from 2126 square feet to 2336 square feet, so a relatively minor increase, and the second floor footprint, because right now there is not that two-story addition, would go from 878 to 1870 square feet.

So I will show you photos of the house and the plans. So here is the front porch that we talked about. Here is that large picture window that they are proposing to replace with a more appropriate window. And there is the one-story addition that would be removed. And here's the side yard. So, here you can see the existing site plan, and then this is the proposed site plan. So you can see in the hatched lines the new footprint, and also you can see the new accessory structure in the back.

Here is the existing first floor plan and the proposed. You can see in this that the addition is inset at both sides. That the rear bay does not project as far as the original bay on the right side. And these are various things that the architect has done in response to staff's concerns and discussion about the addition.

Here is the second floor plan and the proposed second floor plan. And again, the original corners read and the sides are within the side planes of the historic house. Here is the existing and proposed front elevation. There you can see those changes to the front windows to better recall an open porch. This is the left side and along the driveway. Here you can see the addition which has the lower roof line and here you can see where they are replacing that shorter window in the historic block with a more appropriate sized window for that location.

Here is the rear elevation that is primarily addition, you can see the existing gable and roof beyond. It's the rear elevation of the addition. And here is the right side elevation, which is the, where the large yard is, the side yard. You can see the new French doors that are in that enclosed porch space. You can also see a new window, a new double window to replace an existing single window in order to bring more light into the entry area. And then again, the picture window being replaced, and then the new addition, which draws some details from the historic block but is differentiated in roof

height and other design details.

Here is the proposed garage. And then, I think this is my last slide, so that you get a sense of sort of the change in scale from the one-story to two-story addition since the footprint is not changing substantially, but you get a sense here of the visual and physical impact. So, overall staff's comments were that the removal of the non-historic rear addition is in keeping with the guidelines. Same with the non-historic shed and a small detached compatible garage behind the house are also in accordance with the guidelines.

Staff opposes the changes to the front porch that was previously enclosed but now will have additional glazing to better recall the open porch. And, the other changes to the non-original windows that are more appropriate and compatible. The proposed materials for the addition are appropriate and compatible, as I mentioned, they have lowered the roof line of the addition, inset the corners. So staff's main concern, as discussed in the staff report, is with the overall size of this addition. And, the length of the addition is four feet shorter than the length of the historic block, if you include the front porch. And the lot is large, and this addition will not substantially increase the lot coverage, but staff's concern is the overall impact on the house in terms of size and scale and that the addition needs to be subservient and defer to the historic house, and staff is concerned that this is essentially a doubling of the historic house and that the impact is too great. And that concludes the staff report.

MS. MILES: I have one question, Anne. To what degree is the proposed addition going to be visible from the public right-of-way?

MS. FOTHERGILL: Well, because of that large side lot, I would argue that quite visible. As opposed to some rear additions that we see where the houses are quite dense, this would be quite visible as you approach from the right side.

MS. MILES: Thank you. Does anyone else have any questions for staff. Very good. If you would all please turn on your microphones by depressing the large button and letting go, and

identifying yourselves for the record. And you can either respond to the staff report, make a presentation or respond to questions from the commission.

MR. DAVIDSON: Hi, I'm Alan Davidson, and I'm joined here by my wife, Melissa, who's sitting in the audience, and our two architects, Anthony Barnes to my far left and Matthew Fiehn. And we do have a short presentation to make, if it's okay, and of course we really welcome your questions and thank you for your time.

So I wanted to just say that we're really excited about this house. We've been looking in the Somerset neighborhood, which is a great neighborhood, for a long time, and we finally found a house that we had fallen in love with. We of course fell in love with this lot because it's a gorgeous lot, but we also fell in love with this house, and particularly because it's an old house and it's a historic house.

And our hope is to renovate it and to live in it for many years with our two young children and raise them there. We've tried in our planning to be, you know, faithful to the historic features of the house, and make it a house that can be an attractive place to live for, you know, for another hundred years. It's a 110 year old house.

In do so, I think we had two things that we've tried to do, and I think the staff said it well which is, one, is that we wanted to try to restore some features of the old block to make it more in keeping with its history, and the second thing is that we wanted to do an addition that would be, make it a more liveable house for a family, and doing so in a way that was sort of in keeping with the rules as we understood them. And we've taken great pains, for example, to make it so that when you look at this house from the street, at least head on, the addition is not visible, despite the size of the lot. We were quite tempted and desired in fact to try to move out into the lot, but we've kept it so that the addition is completely to the back, to the rear of the house. We've kept the lines, our architects could say more about it.

And I just also wanted to say that we've worked and really appreciated the input of the staff. We've had several conversations, and we've made a number of changes to try to be responsive to the original concerns. We actually had tried to get on the docket, or wanted to be on the docket a month ago, but decided to withdraw and come a month later because we made even further substantial revisions to what we originally had. So, our hope is that we're in the ball park here. And maybe I'll just turn it over to our architects then to say a few words about it. Thank you.

MR. BARNES: Good evening, thank you. Anthony Barnes. I'm not sure he needs us because I think he told you everything that we were trying to do. But, we have worked hard with staff to try and meet the intent of the guidelines, as well as the letter of the guidelines, and I think the staff report is very detailed and good.

I would just say that the only comment I'd make based on the staff report is we're not doubling the size of the house. You know, I think that if you have a very small house and you make it bigger, it's still not a big house. This house is 4200 feet as proposed under roof, which in this neighborhood is not a big house. There are a number of other houses similar in size or scale with additions that are massing wise perhaps close to the size of the original house. And for the size of this lot I think it's perfectly appropriate if you just look at our immediate neighbors.

Our coverage goes to 18.43 percent of the lot, and the neighbors average about 20 percent. So I mean we're still very much in keeping with open space proportions on the lot. And staff's other comment about how visible the house is, certainly plant some mature plantings filter any views from the street as you approach from the right side, and we have gone to some pains to narrow and make longer and narrower so it'd be less visible from the street, the addition at the back.

We originally had a shorter addition, which was a later deeper, still narrower than the existing, but closer in depth to that sort of bay that's been set further back, and that's the one thing you'd probably see as you drive down the road. So I think that it's very differential to the existing

house. There's no question that the second floor is, you know, a sizeable addition compared to the existing second floor. The existing second floor has two useable bedrooms in it, and the original family that lived there raised kids apparently in the attic, which by today's standards is quite illegal.

So, we really have no opportunity to go to the third floor for accommodations, so I think if you look at the size and the accommodations within the house, extremely reasonable for reasonable use. Four bedrooms on the second floor, you know, a kitchen, family room and a study on the first floor. So I think the program is modest. The sizes are all really quite modest in scale with the existing house. So besides the issues of the language being respectful and the roof slopes being lower and the eave being lower and subservient, I think that we've met, we tried hard to meet the intent of the guidelines while still designing a house of a reasonable size for this family. So now, Matthew if you'd add anything?

MR. FIEHN: That about covers it. We did make an effort --

MS. MILES: If you could please just identify yourself for the record.

MR. FIEHN: I'm sorry. Matthew Fiehn from Barnes Vince Architects. We did make an effort to work with the existing fabric of the building and be respectful of it, but not to overtly copy it or replicate it.

MS. MILES: Are there any questions for the applicant or his architects?

MS. WHITNEY: Can you tell me when the addition, the one-story addition was built?

MR. BARNES: It was in the '80s I believe. '88, '89, something like that.

MS. WHITNEY: Thank you.

MS. MILES: In the absence of other questions, can we begin with some comments.

MS. FOTHERGILL: Did you have a presentation you wanted to show?

MR. BARNES: You know, I think that your slides were show, and the drawings explained it well, we can refer to ours if need be.

MS. MILES: Commissioner Coratola?

MR. CORATOLA: Looking through the slides and reviewing everything, you know, seeing what you were doing on the front elevation and sort of reintroducing better proportion windows on the enclosed, on the original enclosed porch I think works well. The proportions match the house. I don't see any issues with that.

Looking at the overall massing of the addition, you know, the scale of the house, it is a large addition, but looking at the massing of it compared to the original house I don't have a real issue with the scale that's being added here. I know the neighborhood well, and I think this house would fit in. I know that staff was looking at not this addition to the neighborhood but this addition to the house where there could be some argument there. But, from my standpoint I don't have a real issue of what you're trying to pull off here.

I think the one comment I would have is the master bedroom wing addition and the family room office addition, I would look at scaling that back slightly. Not extremely from what you have, but I would look more at the proportion of the existing dining room block with the bay shape. I think that proportion might work a little bit better on that family room/master bedroom wing. It might be a little more elegant, I think, on the facade as well to give that sort of wrapping feeling and the terminus to the addition.

Yeah, I think the window portions hit, they match the original house really well. You know, I don't know if you studied adding any of the shutters to the addition. I don't know how appropriate that would be because we are trying to differentiate the addition from the main house. And the only other piece I was looking at was on the, I guess it's the driveway elevation with the three square windows on the second floor, which are where the bedroom, the bathroom is. I probably would look at the proportions of those to the original house. Those seem a little out of scale with the rest of the house. Those are my comments.

MS. MILES: Can I just ask, Anne, do you have any need to have a comment from us about the garage?

MS. FOTHERGILL: Staff had supported it, so I think if you don't, that would be helpful.

MS. MILES: Thank you. All right, continue.

MS. HEILER: I agree with almost everything Commissioner Coratola said. I think the changes to the windows, to the garage enhance the house, they make it better. I think you've done a beautiful job on the design of the addition, particularly the master bedroom part of it. The gabled part.

I do have an objection the, I think the size of the addition is overwhelming compared to the house, and I think it's not that gabled part so much as the connection. The fact that the roof line is the same all the way from that gabled part to the main block of the house, makes it appear huge. And I think if there were any way to make that section between the master bedroom part and the original house appear lower, if it were, you know, I think your program can't support a single story addition.

If there were a way to lower the roof line to make it a story and a half, to, you know, I'm not a designer. I don't know what you can do to it, but I think that, just that roof on that intermediate section contributes most of what makes it look like a very large addition. I don't think the size of the addition itself is objectionable, it's the look of that huge roof line that I think is a problem. Otherwise, I think the garage is great, the windows are great, the materials are great, and you've done a design that's really compatible with the house that doesn't exactly copy the house, and I think that I congratulate you on that.

MR. KIRWAN: I think you've heard some excellent comments by the previous two commissioners. I think, particularly Commissioner Heiler's suggestion that that middle section roof line gets somehow lowered and that second story becomes possibly or the attic of that connection is a very good idea.

And I share a lot of Commissioner Coratola's suggestions about the rear facade and the

side facing your neighbor. Part of my concern, and again I think the size of the addition is not really an issue with me. I think that's, I think it's fine and I think the size of the lot can take this kind of addition. I think it's just really in the details at this point as you're beginning to hear.

I think for me it's that facade of the family room/master bedroom. Mimicking, I think, pretty strongly that faceted bay on the original house. And while I think you've done some things to distance yourself from that a little bit, it may be a little too similar right now. I think one of the things that's very nice about the original house is this wrap around porch on those two sides. And it really helps with the scale of that building. It's a two-story building with this attic, and that porch really helps to bring it down to the scale of the front and side yard.

And that faceted two-story bay that faces the side yard on the original house is really the one thing that breaks that, you know, except for that narrow side yard facade. But that really sort of breaks that scale. So I'm a little concerned about sort of replicating that in a sense with the addition. And possibly, you know, maybe the bay of that facade should just be a one-story bay off the family room, and the master bedroom facade goes back further. I think that would also help push that gable back a little bit, which right now is pretty much coplanar with the gable of the original faceted bay. That might help sort of, you know, push the scale of the addition back a little bit. And again, you know, putting a roof on that bay, you know, and it sort of visually connects with the roof of your connector piece on the side there. That may all help with the scale of that piece and help bring that scale down. And really let that original faceted sort of tower piece of the building really stand proud amongst that composition. You know, again, I think the footprint of it's fine. The two-story footprint is fine. The garage is fine. It's really just in these little details I think that you're beginning to hear tonight, where I think the, a very good solution otherwise. A very good start.

MR. SWIFT: I think I agree with most of the previous comments. I think the second story addition, I think it's all appropriate, the footprint, and the second story extending all the way back.

I think I agree with the previous commissioners that the, is, maybe, it still fees a bit too high and what struck me, I think, was the gable and its overhang on the bay there, and maybe the bay itself. But I actually like Commissioner Kirwan's suggestion to maybe take it to a first story by and to somehow get, I don't know if you get rid of that gable, but it seems kind of overbearing to me to have an overhang there. So somehow reducing that a bit make it work better for me, especially when this is the side exposed to the property most, so I think scaling it back a little bit works. But in general, I think it's pretty close.

MS. WHITNEY: I'm afraid I'm of a slightly different mind than my fellow commissioners. I think this addition is overwhelming to the original structure. There are certain constraints with historic properties and this one is not meeting any of those constraints whatsoever. This addition to me appears to be simply a mirror of the original. It is competing with it. You need a much simpler design for an addition. Even though it is on the back of the house, it is not subservient to the original at all. The windows and the gable, the faceted bay, I, it looks like a massive duplex and it should be an addition. I would like to see it reduced and made simple.

MS. MILES: I am going to endorse all of the, I think, very insightful comments by Commissioners Coratola, Heiler, Kirwan and Swift, and I'm going to say that I think that a lot of what they have proposed will go a long way to easing Commissioner, my colleague to the right's concerns to Commissioner Whitney's concerns. So I think that it is close, and I think that it can be improved through tweaks that are, I think you've gotten a lot of very strong suggestions, and I think that it will be approvable on the next round, if you adopt the suggestions that we make. Any questions?

MR. BARNES: Thank you so much. Very helpful comments. Just a point of clarification. Do you think we can work with staff to follow these comments and to come back for final work permit, or do you think we should come back for another consultation?

MS. MILES: I think that if you respond to the comments that we've made tonight, and

staff will be able to direct you more fully, I think that you should come back for a HAWP. Commissioner Heiler?

MS. HEILER: I just wanted to second Commissioner Kirwan's suggestion. I hadn't thought of that, but I think it's a great idea to make it one-story bay. It would push the overhang back and it would put a groove on the bay that would emphasize the diagonal rather than vertical.

MR. BARNES: I think it's a great comment. I have to admit, we looked at that briefly. We were too tempted to do something that was almost as elegant as that beautiful bay, so maybe we should have just followed that earlier instinct. But they're all great comments. I think we'll be happy to respond to those and work with staff and come back.

MR. KIRWAN: One last thing. And we can't make you take down something you don't plan to change, but I really hope you consider that stockade fence in the front and think about something lower in the end to allow that view of the side yard and the house ultimately.

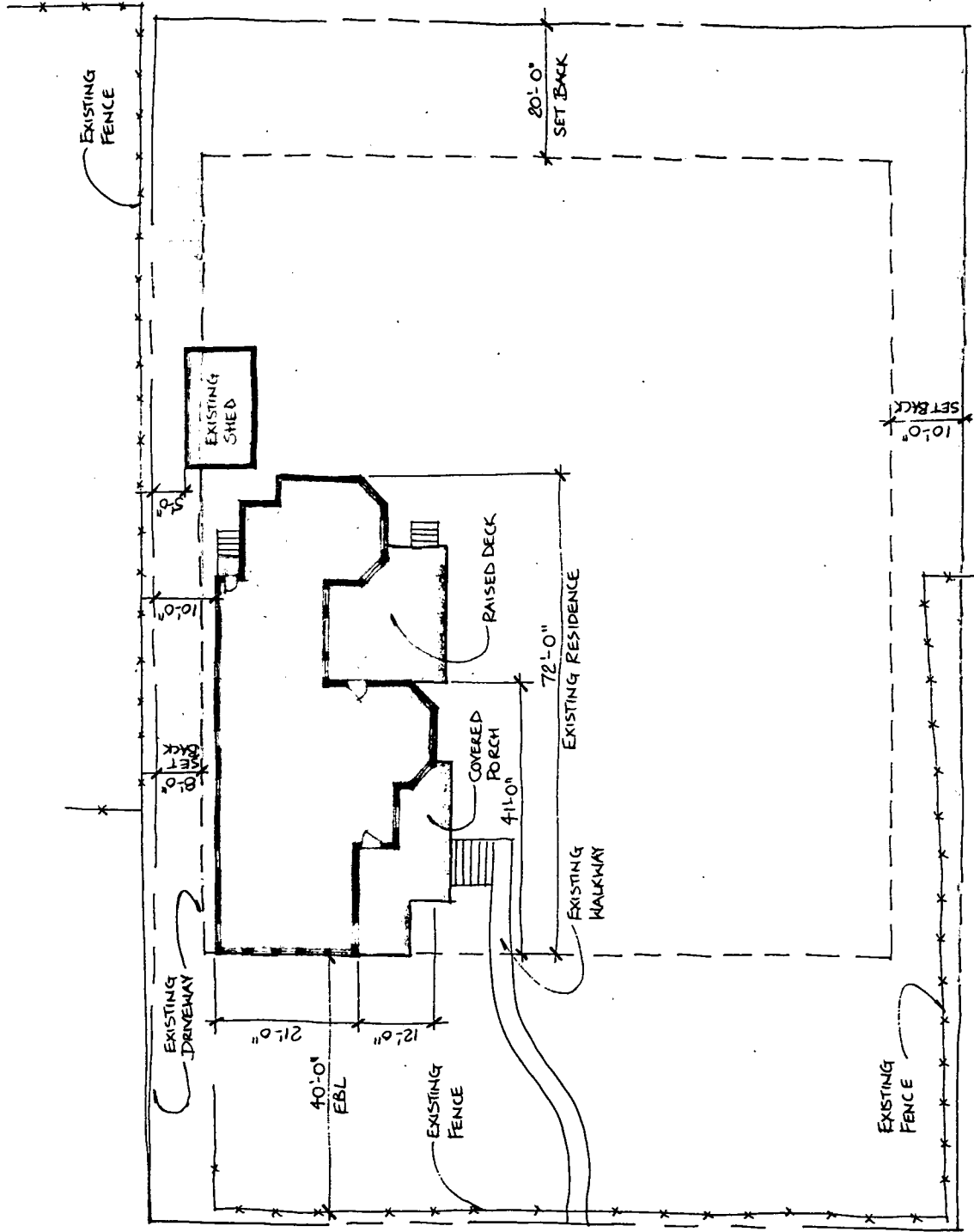
MR. BARNES: It's not a very friendly fence.

MR. DAVIDSON: We've talked about what we could do about that, so thank you.

MR. BARNES: Thank you so much. Do you want to add something?

MR. DAVIDSON: All I was going to say, I really appreciate, we really appreciate the comments and we've worked hard to try to make it, I mean, we've struggled a little bit and we did reduce the roof line, and we appreciate where you're coming from. We've struggled a little bit to try and make it, continue to make it a house that a family feels comfortable in, and we'll talk this back and I think we've got some good ideas so, we really appreciate it. Thank you.

MS. MILES: Thank you, gentlemen.

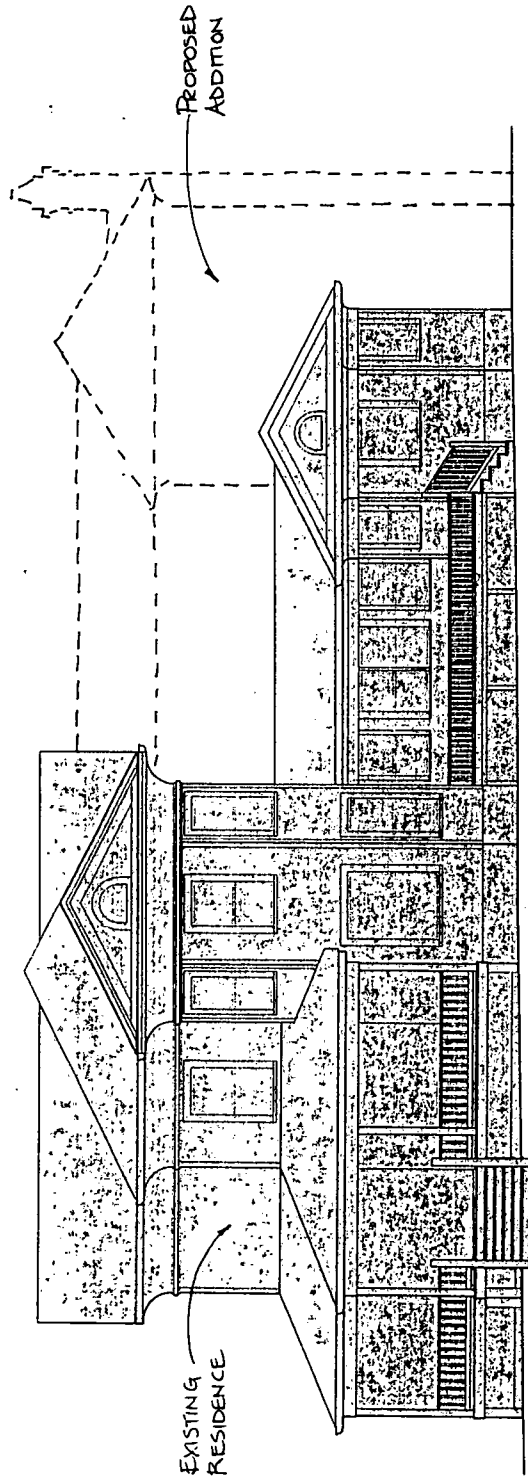


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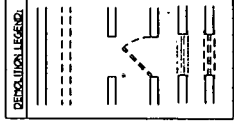
DAVIDSON RESIDENCE
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 BARNES VANZE ARCHITECTS
 09.27.11
 1/16" = 1'-0"

ESSEX AVENUE

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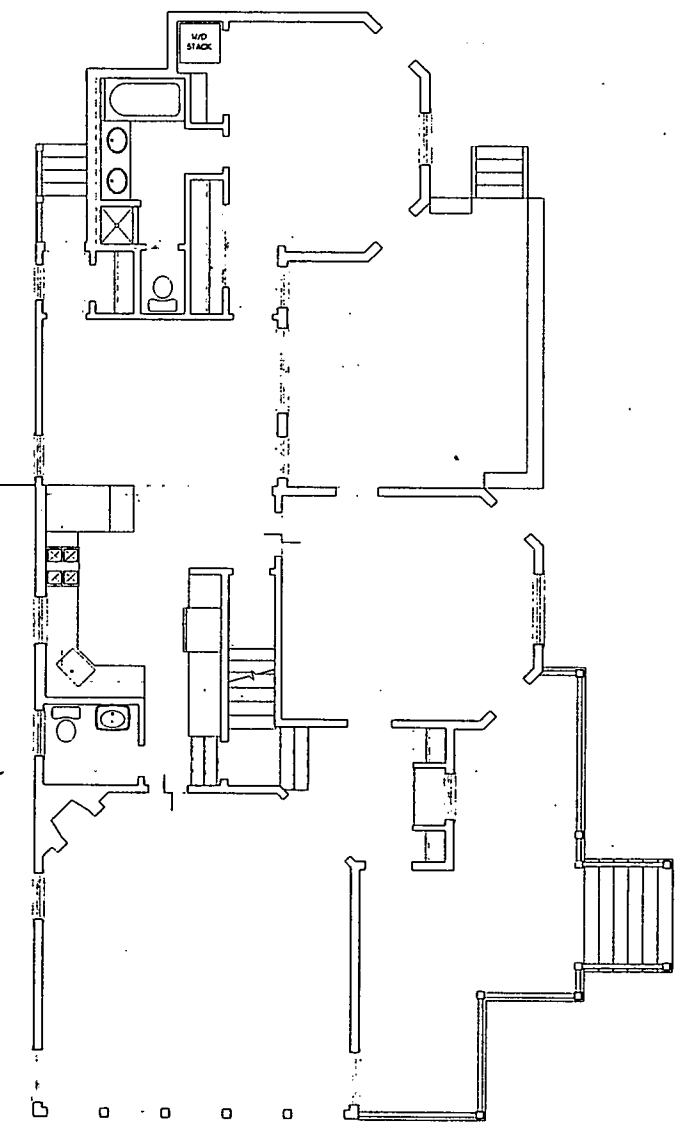


DAVIDSON RESIDENCE
SIDE ELEVATION
BARNES VANZE ARCHITECTS
09.27.11 1/8" = 1'-0"



- DEMOLITION NOTES:
1. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PERMITS, PERIODS, JOB SAFETY, & COMPLIANCE TO CODES.
 2. GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING PRIOR TO START.
 3. ALL UNLINED PIPING LINES MUST BE ACCESSIBLE AND PROPERLY TERMINATE.
 4. REMOVE ALL UNLINED ELECTRICAL LINES (WIRE, ACCESSIBLE AND PROPERLY TERMINATE).
 5. LOCATE ALL WATER SHUT-OFFS AND CUT TO ALL PIPING IN ROOMS TO BE DEMOLISHED.
 6. REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP.
 7. REMOVE & REPLACE ALL DETERIORATED CLIMBBOARD, PANELS, GUTS AND ASSOCIATED TRIM.
 8. CONSULT WITH OWNER BEFORE REMOVING ANY STRUCTURE OR FINISH.
 9. REMOVE SOIL AS REQUIRED TO ALLOW 6" GRAVEL BASE BELOW SLABS.

ORIGINAL RESIDENCE
SUBSEQUENT ADDITION



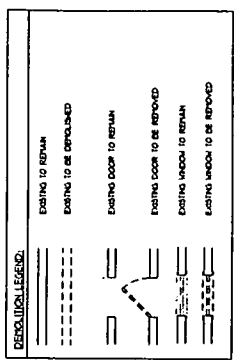
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ISSUED
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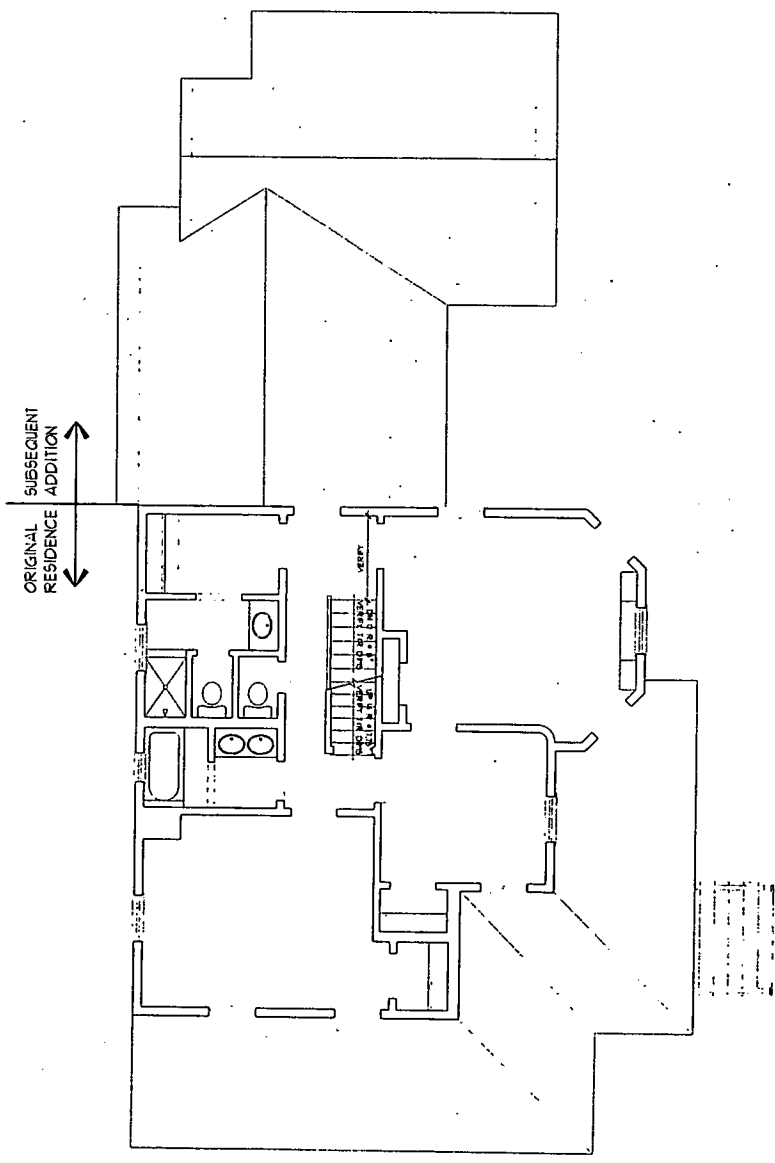
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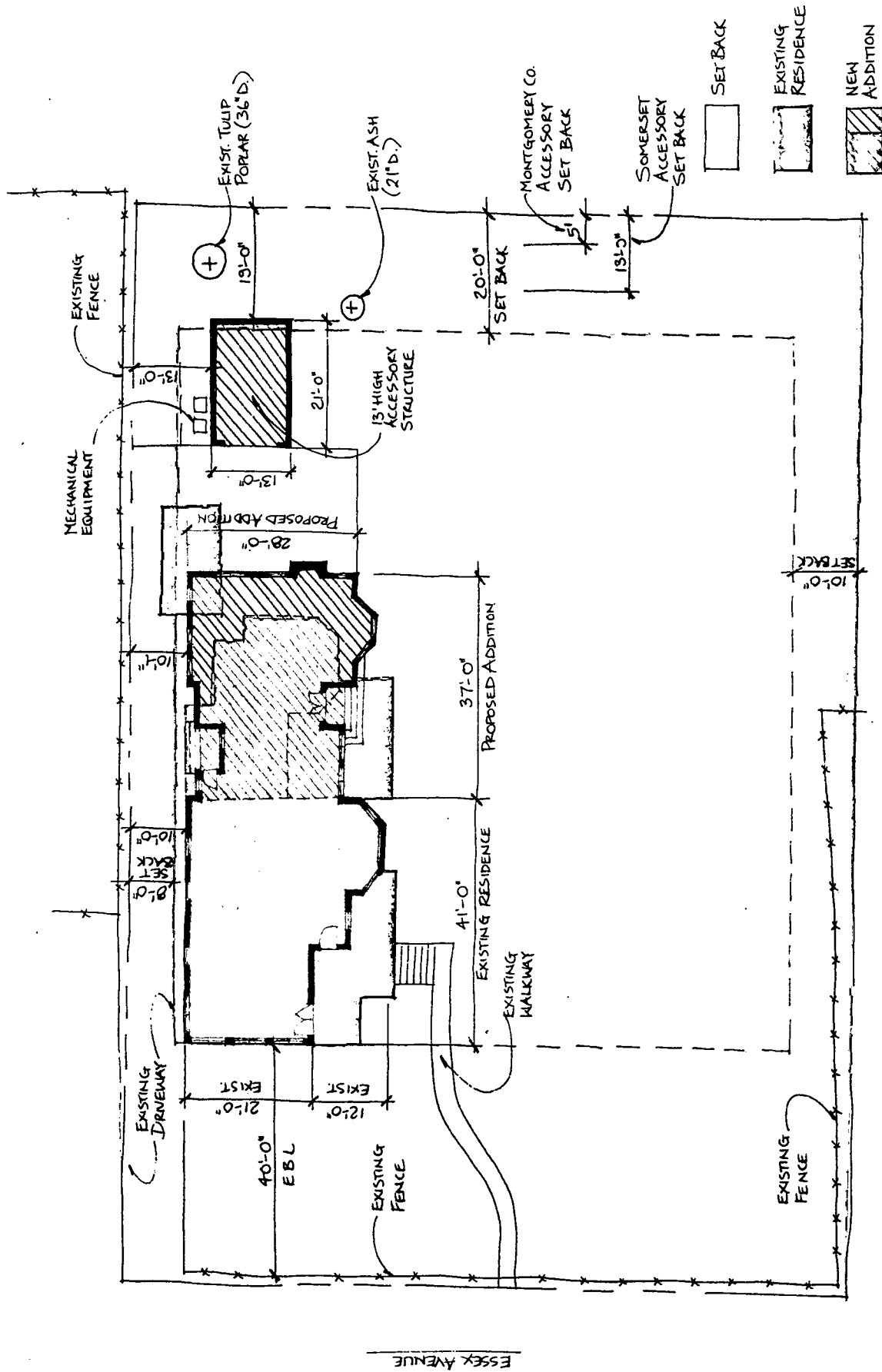
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- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PERMITS, PERMITS, JOB SAFETY, & COMPLIANCE TO CODES.
 - GENERAL CONTRACTOR SHALL REFER TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING WITHIN 10 DAYS OF COMMENCEMENT OF WORK.
 - REMOVE ALL UNUSED PUMPING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE.
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE.
 - CUT ALL WATER MAINS AND GAS OFF TO ALL PUMPING POINTS TO BE DEMOLISHED.
 - REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP.
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 - CONVERT WITH OWNER BEFORE REMOVING AIR.
 - REMOVE EOL AS REQUIRED TO ALLOW 6" GRAVEL DUNE BELOW SLABS.

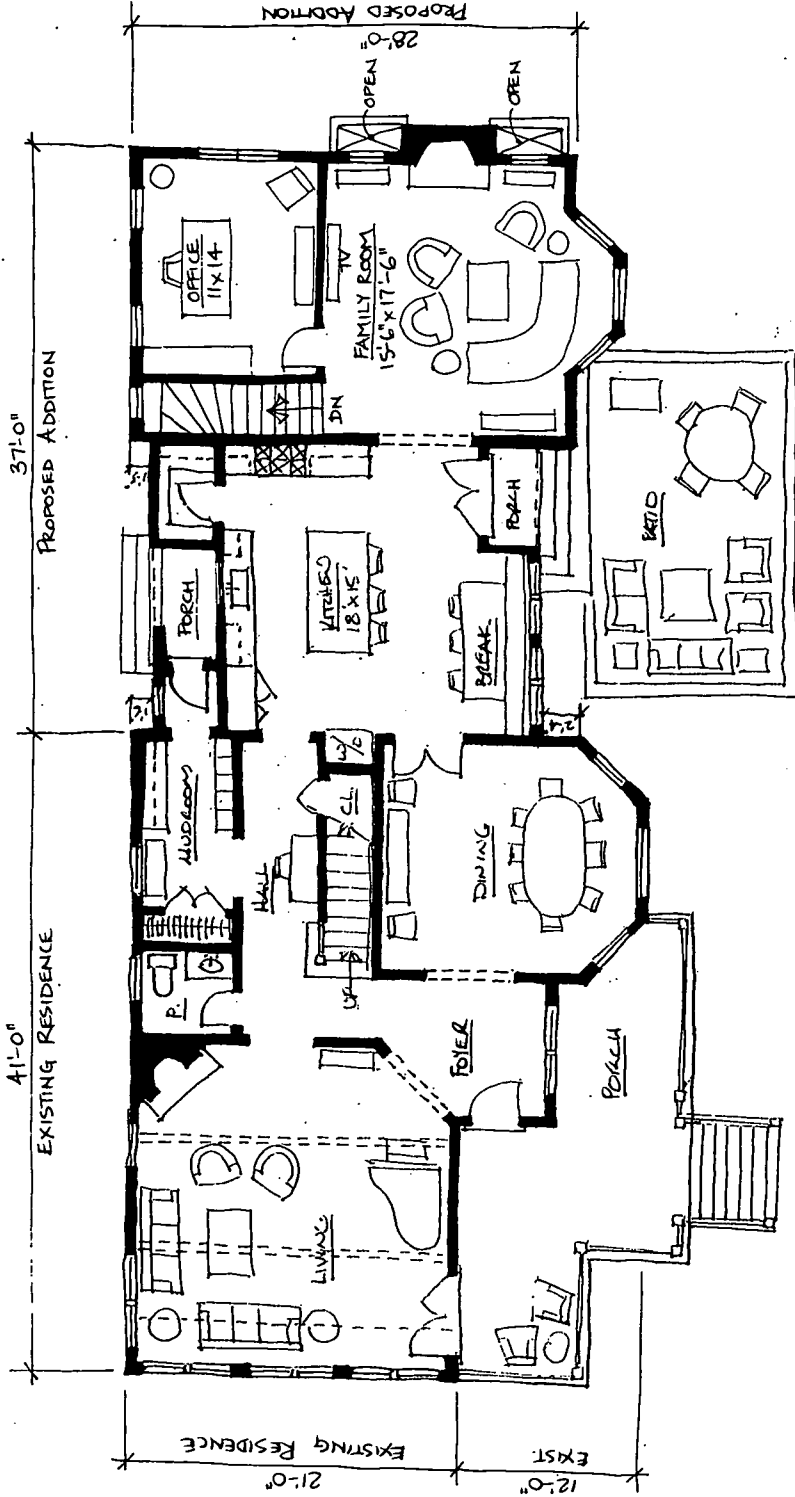


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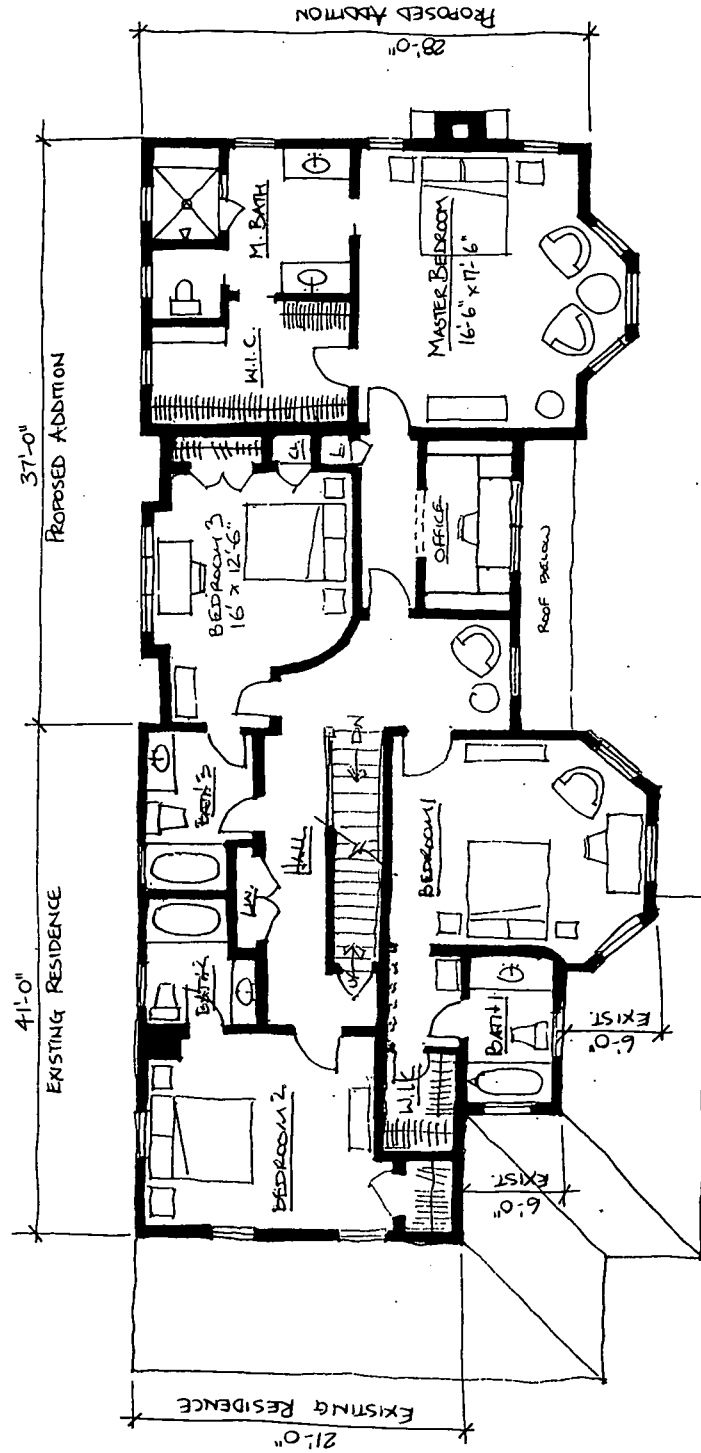
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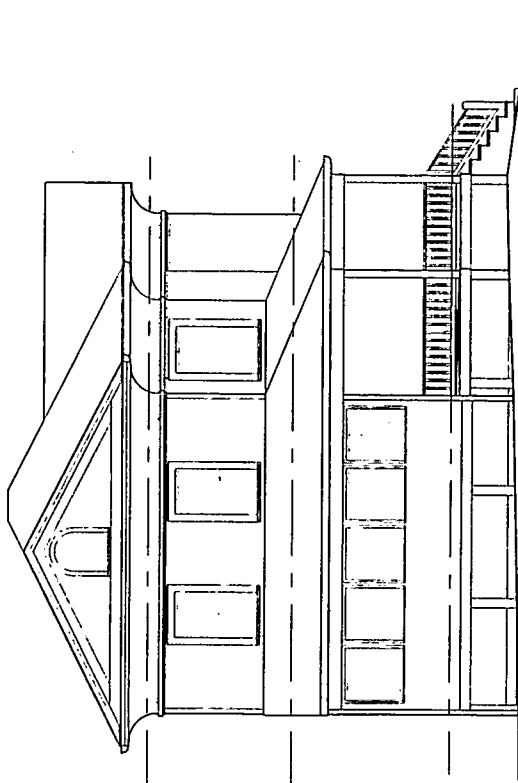
DAVIDSON RESIDENCE
 FIRST FLOOR PLAN
 ERNEST VANZE ARCHITECT'S
 09-27-11
 1/8" = 1'-0"

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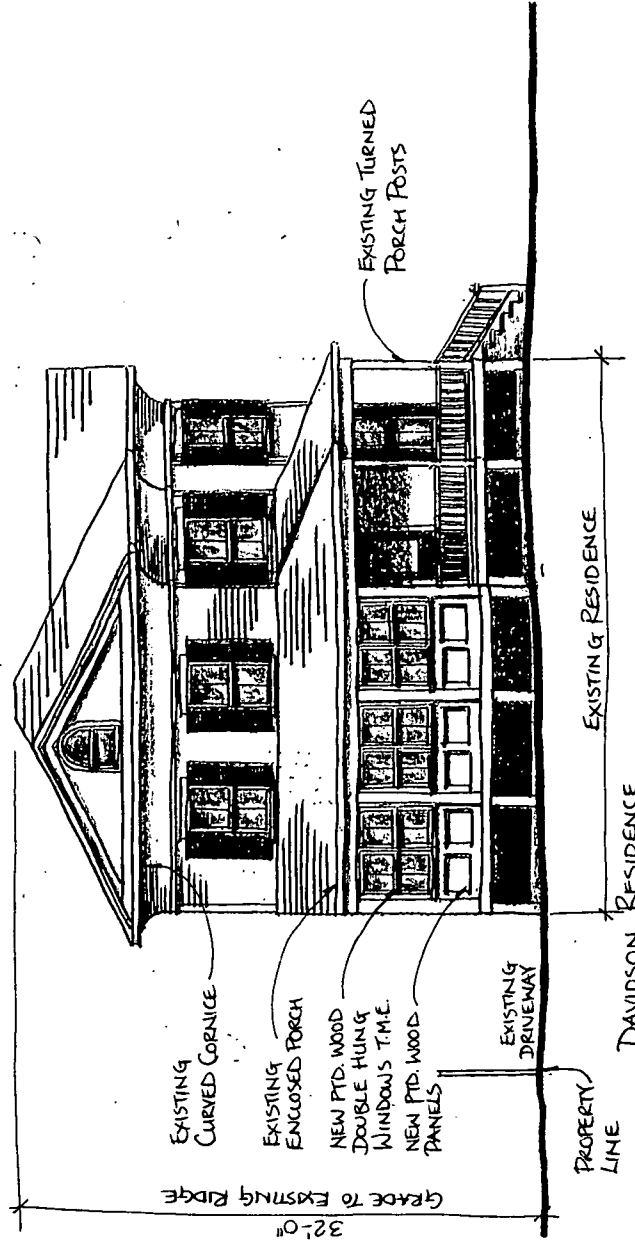


DAVIDSON RESIDENCE
 SECOND FLOOR PLAN
 RICHARD VAUZE ARCHITECTS
 09.27.11
 1/8" = 1'-0"

15 60



EXISTING RESIDENCE



32'-0"
GRADE TO EXISTING RIDGE

EXISTING CURVED CORNICE
EXISTING ENCLOSED PORCH
NEW PTD. WOOD DOUBLE HUNG WINDOW'S TRIM
NEW PTD. WOOD PANELS

EXISTING TURNED PORCH POSTS

EXISTING DRIVEWAY

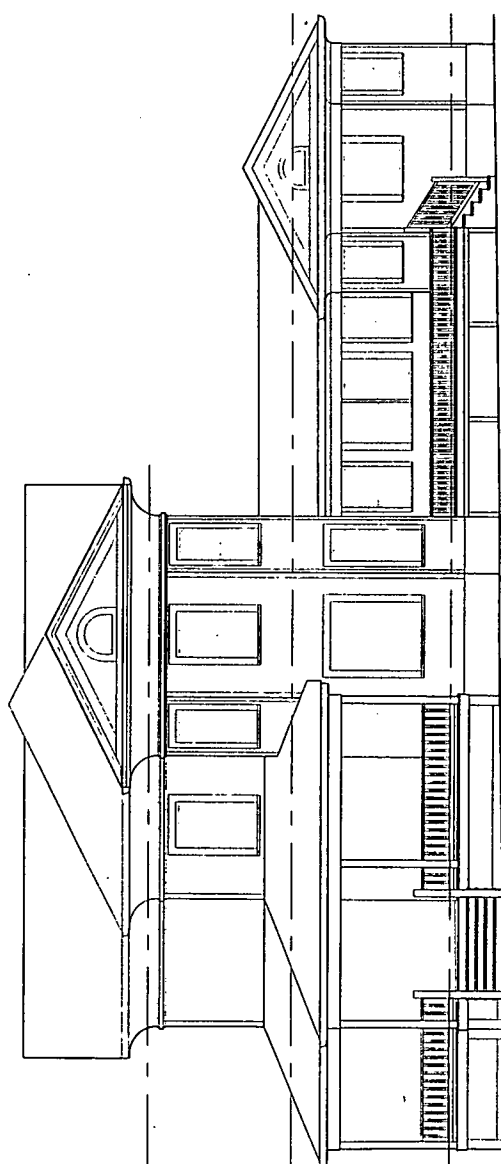
PROPERTY LINE

EXISTING RESIDENCE

DAVIDSON RESIDENCE

FRONT ELEVATION
BARNES VANZE ARCHITECTS
09.27.11
1/8" = 1'-0"

61
16



EXISTING RESIDENCE



EXISTING SLATE ROOF

P.D. WOOD SHUTTERS

EXISTING ASPHALT ROOF

NEW FRENCH DOORS

NEW DBL WINDOWS TIME TO REPLACE EXIST. SINGLE WINDOW

ROUND GABLE WINDOW

SMALL CURVED CORNICE

GABLE OVERHANG AT FACED BAY

P.D. WOOD DOUBLE HUNG WINDOWS T.M.E.

BRICK VENEER FOUNDATION

NEW FRENCH DOORS

PROPOSED ADDITION

REPLACE EXIST. W/NEW SAVED TIME WOOD PANELS

EXISTING RESIDENCE

NEW P.D. WOOD PANELS

DAVIDSON RESIDENCE

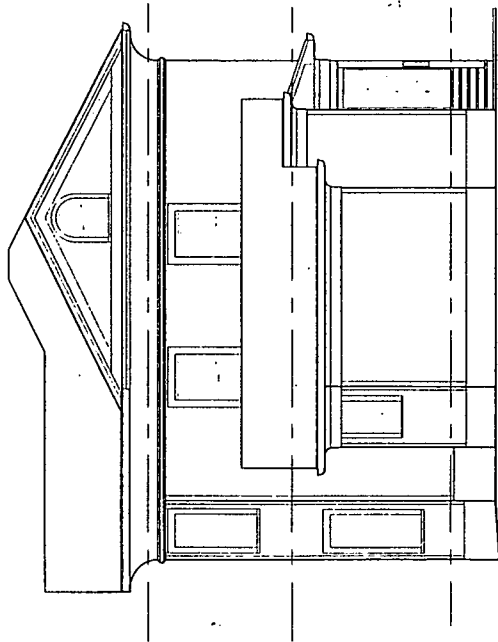
SIDE ELEVATION

BARNES YANZE ARCHITECTS

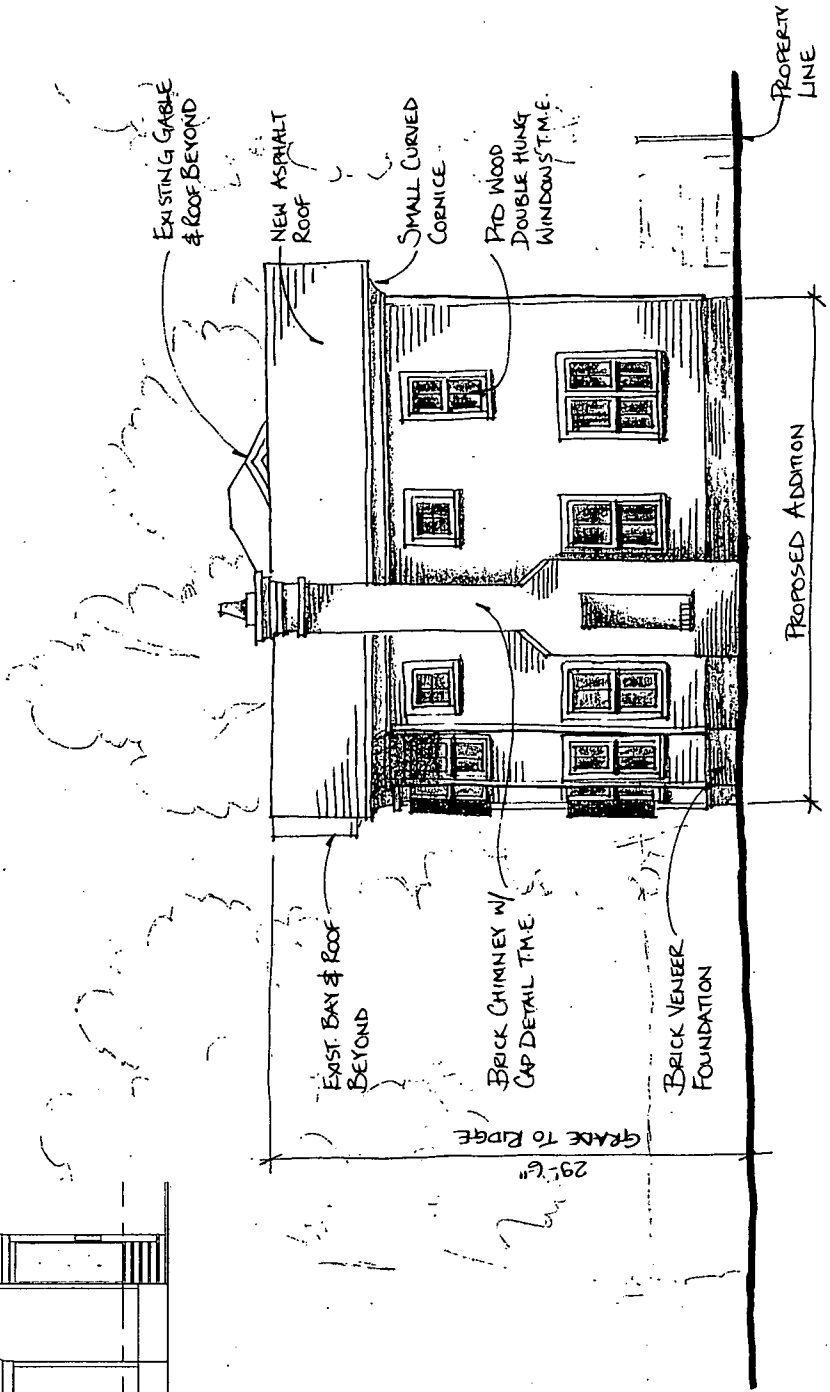
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1/8" = 1'-0"

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EXISTING RESIDENCE



EXISTING GABLE & ROOF BEYOND

NEW ASPHALT ROOF

SMALL CURVED CORNICE

PTD WOOD DOUBLE HUNG WINDOWS/T.M.E.

PROPERTY LINE

PROPOSED ADDITION

EXIST. BAY & ROOF BEYOND

BRICK CHIMNEY W/ CAP DETAIL T.M.E.

BRICK VENEER FOUNDATION

GRADE TO RIDGE

29'-6"

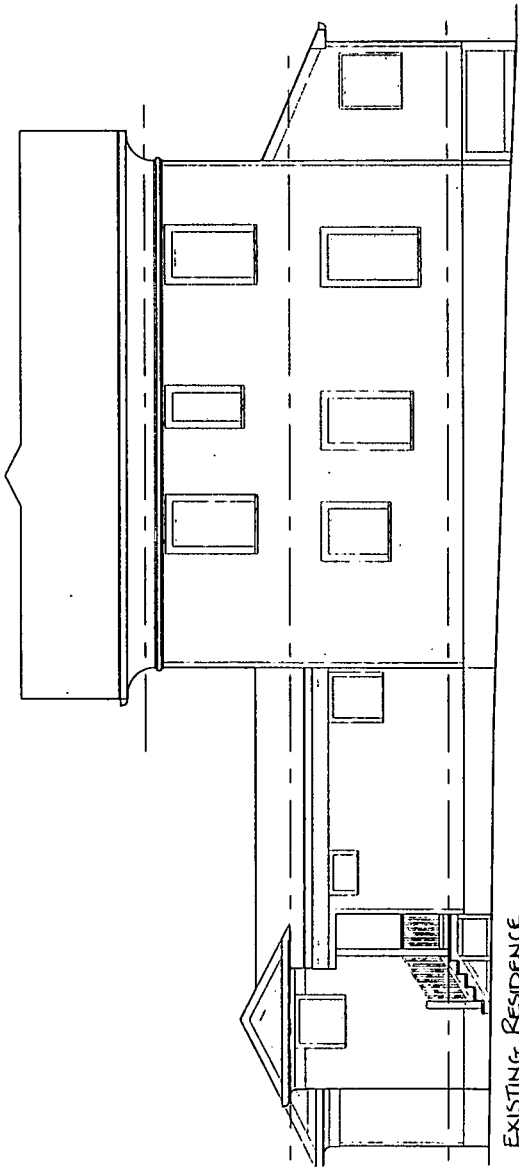
DAVIDSON RESIDENCE

REAR ELEVATION

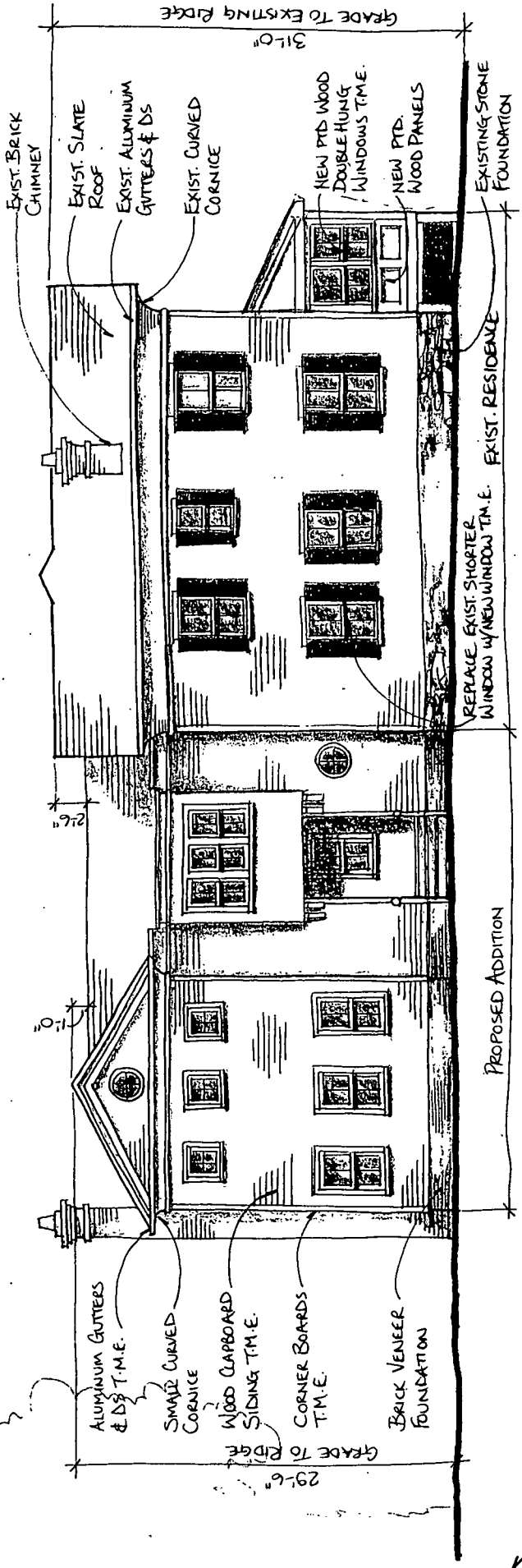
BARNES VANZE ARCHITECTS
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EXISTING RESIDENCE



EXIST. BRICK CHIMNEY
 EXIST. SLATE ROOF
 EXIST. ALUMINUM GUTTERS & DS
 EXIST. CURVED CORNICE
 NEW PTD WOOD DOUBLE HUNG WINDOWS T.M.E.
 NEW PTD WOOD PANELS
 EXISTING STONE FOUNDATION

31'-0" GRADE TO EXISTING RIDGE

REPLACE EXIST. SHORTER WINDOW W/ NEW WINDOW T.M.E.
 EXIST. RESIDENCE

27'-0"

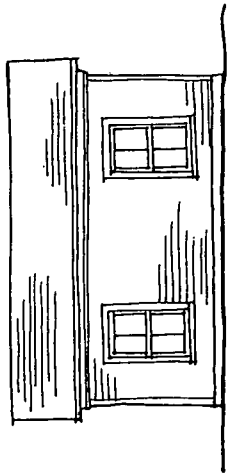
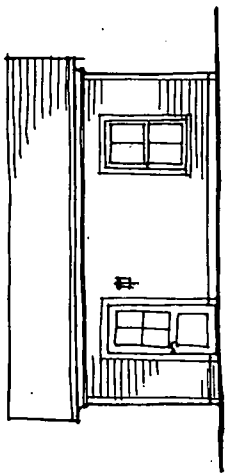
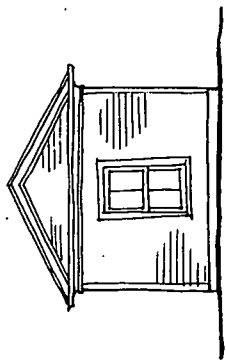
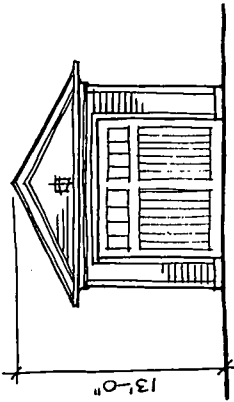
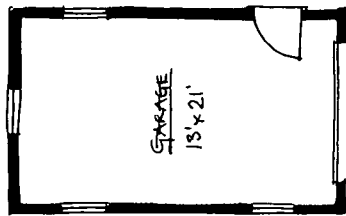
PROPOSED ADDITION

11'-0"

29'-6" GRADE TO RIDGE
 ALUMINUM GUTTERS & DS T.M.E.
 SMALL CURVED CORNICE
 WOOD CLAPBOARD SIDING T.M.E.
 CORNER BOARDS T.M.E.
 BRICK VENEER FOUNDATION

DAVIDSON RESIDENCE
 DRIVEWAY ELEVATION
 BARNES VANZE ARCHITECTS
 09.27.11 1/8" = 1'-0"

64
 64



DAVIDSON RESIDENCE
GARAGE PLAN & ELEVATIONS
BARNES VANIZE ARCHITECTS
09.27.11 1/8"=1'-0"

65
20

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	4727 Essex Avenue, Chevy Chase	Meeting Date:	9/27/11
Applicant:	Alan and Melissa Davidson (Matthew Fiehn, Architect)	Report Date:	9/20/11
Resource:	Contributing Resource Somerset Historic District	Public Notice:	9/13/11
Review:	Preliminary Consultation	Tax Credit:	None
Case Number:	N/A	Staff:	Anne Fothergill

PROPOSAL: Rear addition and alterations to house

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions based on the HPC's comments and return for a HAWP.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Somerset Historic District
STYLE: Queen Anne
DATE: 1901

Excerpt from Places in the Past:

36/35 SOMERSET HISTORIC DISTRICT (1890)

Somerset Heights, established in 1890, was one of Montgomery County's earliest streetcar suburbs. Five U.S. Department of Agriculture scientists formed the Somerset Heights Land Company, together purchasing 50 acres of the Williams Farm just outside of Washington D.C. Founders platted a community with a grid system of streets named after counties in England. Large lots with 30-foot setbacks sold for prices lower than those in the District of Columbia, were promoted as healthful and free of malaria. Three electric trolley lines and a steam railway (the present Georgetown Branch) were nearby for an easy commute to the District, while low taxes and the ability to vote in Maryland were also attractive selling points.

The Somerset Heights Land Company provided only minimal amenities to early residents. The company installed rudimentary water and sewer service. Though it promised improved roads, thoroughfares were muddy streets for many years. In addition, sewer problems, roaming farm animals, frozen water pipes, and lack of local schools and fire rescue were conditions plaguing early residents. In 1905, there were 35 families living in Somerset. Citizens successfully petitioned for a State Charter to incorporate as a town government and elected a mayor on May 7, 1906. The town council greatly improved the community's

quality of life, upgrading roads, repairing pipes, providing adequate water service, and contracting for fire service.

Most of the houses in Somerset were not architect-designed showplaces but builder's versions of plan-book designs. Residents were solidly middle class, many of who worked for the USDA. Resident community founders did not construct high-style architectural gems, as in Chevy Chase's Section 2 or Otterbourne. If their houses, the first built in the community, set a tone for subsequent residences it was one of unassuming comfort.

Four of the company founders, Dr. Harvey E. Wiley, Dr. Charles Crampton, Dr. Daniel E. Salmon, and Miles Fuller had built large homes for themselves, by 1895. The intersection of Summit and Dorset Avenues, where the houses clustered, is known locally as Founder's Corners. The first house built in Somerset was the *Wiley-Ringland House* (1891 NR), 4722 Dorset Avenue, which Harvey Wiley, founder of the Pure Food and Drug Act, intended as a home for his parents. Its cubical Four Square form is enlivened with a polygonal bay and wrap-around porch. After a 1978 fire, the house was abandoned and is now in the process of restoration. Daniel Salmon, a community founder, built the *Salmon House* (1893), 4728 Dorset Avenue, a front-gable Colonial Revival residence with wrap-around porch. Salmon was an internationally known scientist and chief of the USDA's Bureau of Animal Industry. The first occupied house in Somerset was the *Crampton House* (1893), 4805 Dorset Avenue. Dr. Crampton, assistant chief of the USDA's Bureau of Chemistry, was Somerset's first mayor.

Early examples of standardized builder houses are found in Somerset. In 1900, developer Edward C. Halliday contracted with builders Richard and William Ough to build speculative houses. Most of the Ough houses date from 1901 and are Four Squares with gable-on-hip roofs.

The *Biggs House*, 4718 Cumberland, (1899) was the first house in Somerset with central heating and radiators. Warren W. Biggs was Mayor of Somerset from 1912 -16. One of the few examples of high-style architecture in Somerset is the *Nelson House* (c1910), 4823 Dorset Avenue. Dr. James Nelson, a USDA entomologist built this multi-gabled, Shingle Style house.

Today, the mature trees, landscaping, and original grid system of streets complement the visual streetscape established a century ago. Other important features enhancing the historic character of the Somerset community include: the spacing and rhythm of the buildings, the uniform scale of the existing houses, the relationship of houses to the street, the ample-sized lots and patterns of open space in the neighborhood.

PROPOSAL

The applicants are proposing to remove the existing non-historic one story rear addition. In this location they propose to construct a two-story rear addition. The proposed addition is 37' x 28'. The addition will have wood siding, brick veneer foundation, wood double hung windows and French doors, wood panels, round gable windows, brick chimney on the rear, and an asphalt shingle roof. On the left side there will be a new covered entry from the driveway to the house and on the right side there will be a covered entry leading to a new patio.

Within the historic block, they propose to remove a non-original picture window on the right side and replace with new wood sashes. They also propose to install two windows to replace one window on the right side off the porch. On the left side they propose to remove a replacement window in a shortened opening and replace it with a window to match the adjacent window in a larger opening. In the altered enclosed front porch they propose to replace one window with French doors. They also propose to remove the non-original windows from the enclosed front porch and install double hung wood windows with wood

panels below.

They also propose to remove a 180 SF shed from the back of the house and construct a 13' x 21' (273 SF) garage.

Overall the applicants propose to expand the first floor footprint from 2126 SF to 2336 SF and the second floor footprint from 878SF to 1870 SF (see Circle 21).

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland state:

Basic Principles for an Addition

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

Design a new addition to be compatible with the primary structure.

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.6 Use windows that are similar in character to those of the main structure.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

The removal of the non-historic rear addition is in keeping with the *Guidelines*. The removal of the non-historic shed and construction of a small detached compatible garage behind the house are also in accordance with the *Guidelines*.

The original wraparound front porch was previously enclosed and the applicants are proposing changes to add more glazing and assist that enclosure in recalling the original open porch. Staff supports this and the other window changes within the historic block as alterations that are appropriate and compatible.

The proposed materials for the addition are also appropriate and compatible with the house. The applicants have lowered the roof line of the addition and inset the addition at the corners of the historic block to assist in differentiation. Staff's main concern is with the overall size of the proposed addition. Because there is an existing addition, the first floor footprint is not actually increasing a large amount (see

Circle 21), and the length of the addition is four feet shorter than the length of the historic block (including the front porch). The lot is large and this addition will not substantially increase the lot coverage. But the original second floor is 878 SF and with the addition it will more than double to 1870 SF. The overall impact on the historic house is large and staff is very concerned about the size and scale of the proposed addition. In order for an addition to be compatible, it needs to be subservient and defer to the historic house and staff is concerned that this addition does not do that.

At the Preliminary Consultation the HPC should provide the applicants with feedback and whether they support the addition as proposed and, if not, what the applicants need to revise in order to meet the applicable *Guidelines*.

STAFF RECOMMENDATION

Staff recommends that the applicants make any revisions based on the HPC's comments and return for a HAWP.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
253 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240-777-9270

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MELISSA DAVIDSON
Daytime Phone No.: 703-869-7057

Tax Account No.: _____
Name of Property Owner: ALAN & MELISSA DAVIDSON Daytime Phone No.: 703-869-7057
Address: 3915 THORNAPPLE ST CHEVY CHASE 20815
Street Number City State Zip Code

Contractor: TBD Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: MATTHEW FIEHN Daytime Phone No.: 202-337-7255

LOCATION OF BUILDING/PREMISE

House Number: 4727 Street: ESSEX AVENUE
Town/City: SOMERSET Nearest Cross Street: SOMERSET ST
Lot: 345 Block: 5 Subdivision: _____
Liber: 14221 Folio: 257 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: GARAGE, PATIO
1B. Construction cost estimate: \$ 625,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

9.6.11

Signature of owner or authorized agent

Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

6

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1901 VICTORIAN HOUSE, WOOD SIDING & ASPHALT / SLATE ROOF.
FREE STANDING SHED, GRAVEL DRIVEWAY, COVERED PORCH, ENCLOSED
PORCH (PART OF LIVING ROOM).
BRICK CHIMNEY, PAINTED WOOD SHUTTERS, ALUMINUM GUTTERS & DS.
TURNED PORCH POSTS, CURVED CORNICE, 2/2 WINDOWS, ARCH TOP
GABLE WINDOWS. GABLE OVERHANG AT FACETED BAY. STONE
FOUNDATION.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

REMOVAL OF SUBSEQUENT 1 STORY ADDITION. 2 STORY ADDITION.
ASPHALT ROOF, WOOD CLAPBOARD SIDING, CORNER BOARDS, 2/2
WINDOWS, BRICK VENEER FOUNDATION. ROUND GABLE WINDOWS, SMALLER
CURVED CORNICE. NO SHUTTERS. BRICK CHIMNEY WITH CAP DETAIL
T.M.E. 1 STORY ENCLOSED PORCH AT HYAHEN.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>3915 THORNAPPLE ST CHEVY CHASE, MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>1000 POTOMAC ST NW STEL 2 WASHINGTON, DC 20007</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>STEVE R & R PIECZENIK 4731 ESSEX AVENUE CHEVY CHASE, MD 20815</p>	<p>JOHN R & ASA BURFIELD 4714 ESSEX AVENUE CHEVY CHASE, MD 20815</p>
<p>MICHAEL CHRISTIAN & SARA SHEA 4718 ESSEX AVENUE CHEVY CHASE, MD 20815</p>	<p>ROBERT WACHBROIT & JUDITH A BAIGIS 4716 ESSEX AVENUE CHEVY CHASE, MD 20815</p>
<p>JOSEPH E LIPSCOMB & LAURA WILL 4722 DORSET AVENUE CHEVY CHASE, MD 20815</p>	<p>JAMES B ET AL TR GRAHAM 4728 DORSET AVENUE CHEVY CHASE, MD 20815</p>

VALENTINA KINGLAND
 4112 EDGEVALE CT
 CHEVY CHASE, MD 20815
 (4721 ESSEX AVENUE)

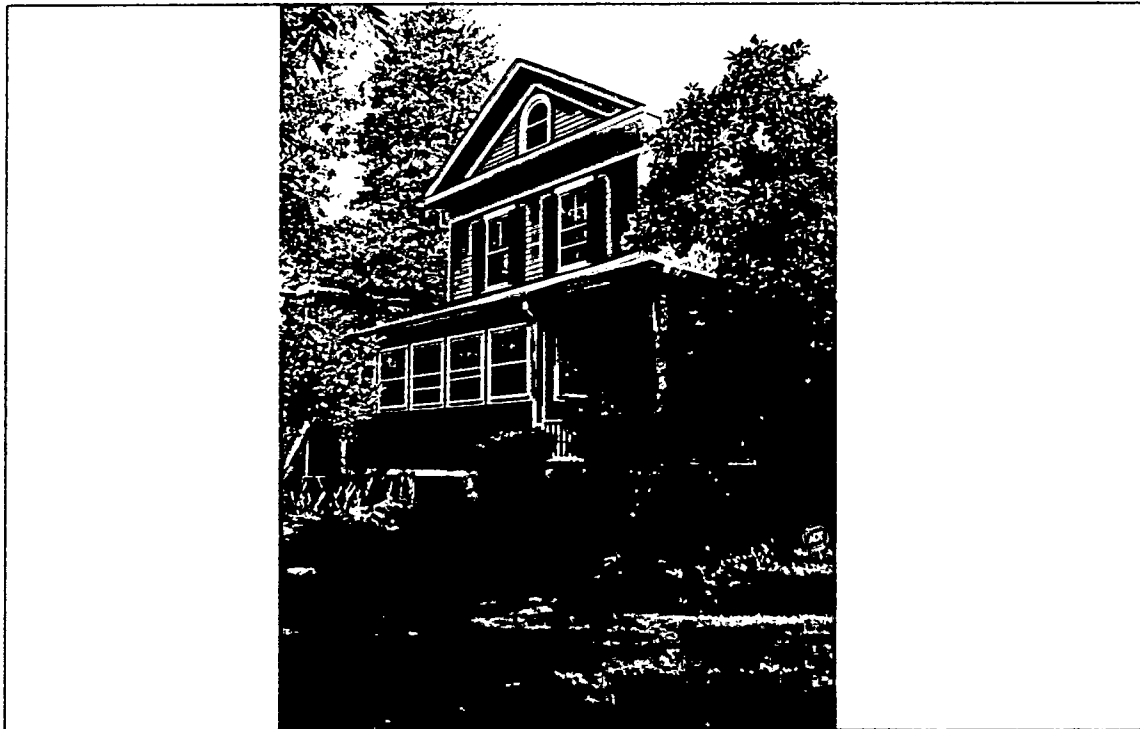
Davidson Residence
 4727 Essex Avenue, Somerset
Existing and Proposed Areas 09.27.11

Existing Footprint		Proposed Footprint	
First Floor (Conditioned):	1578 s.f.	First Floor (Conditioned):	2016 s.f.
First Floor Porch (Covered):	279 s.f.	First Floor Porch (Covered):	320 s.f.
Under Roof:	1857 s.f.	Under Roof:	2336 s.f.
Deck (Raised):	269 s.f.	Deck (Raised):	0 s.f.
Total Footprint:	2126 s.f.	Total Footprint:	2336 s.f.
Second Floor (Conditioned):	878 s.f.	Second Floor (Conditioned):	1870 s.f.
Total under roof:	2735 s.f.	Total under roof:	4206 s.f.
Shed:	180 s.f.	New accessory structure:	273 s.f.

Existing Property Condition Photographs (duplicate as needed)



Detail: WEST ELEVATION



Detail: SOUTH ELEVATION

Existing Property Condition Photographs (duplicate as needed)



Detail: SOUTH EAST ELEVATION



Detail: EAST ELEVATION

Existing Property Condition Photographs (duplicate as needed)

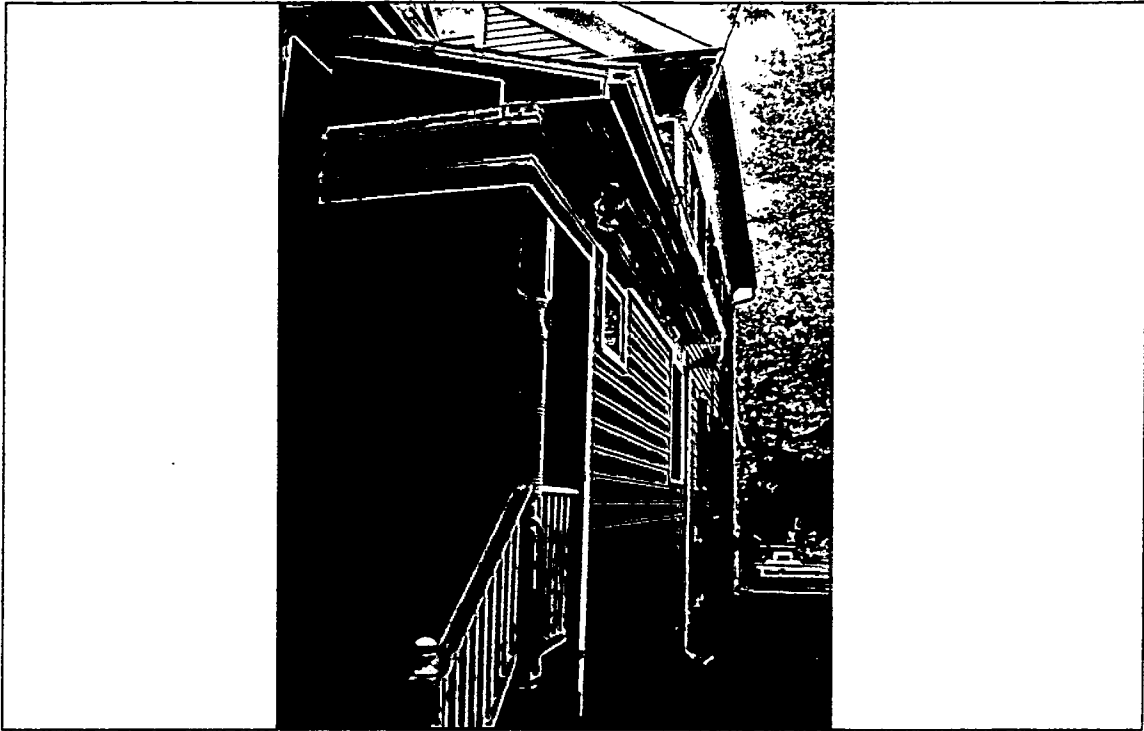


Detail: EAST ELEVATION

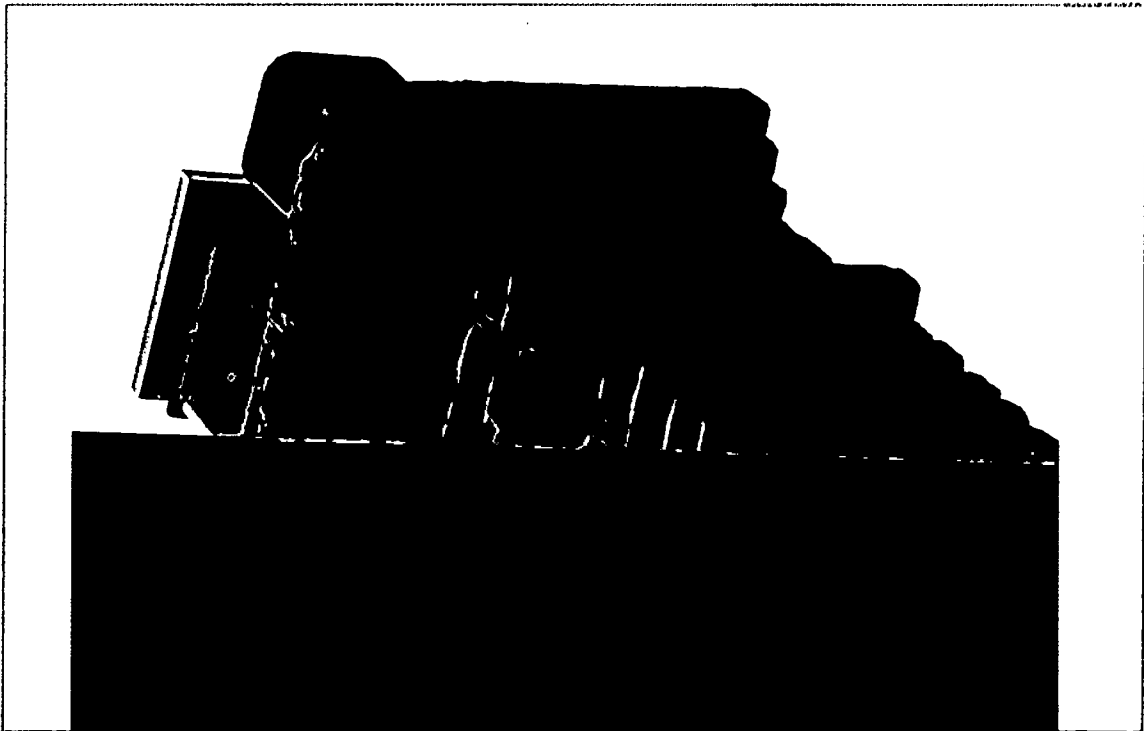


Detail: NORTH ELEVATION

Existing Property Condition Photographs (duplicate as needed)

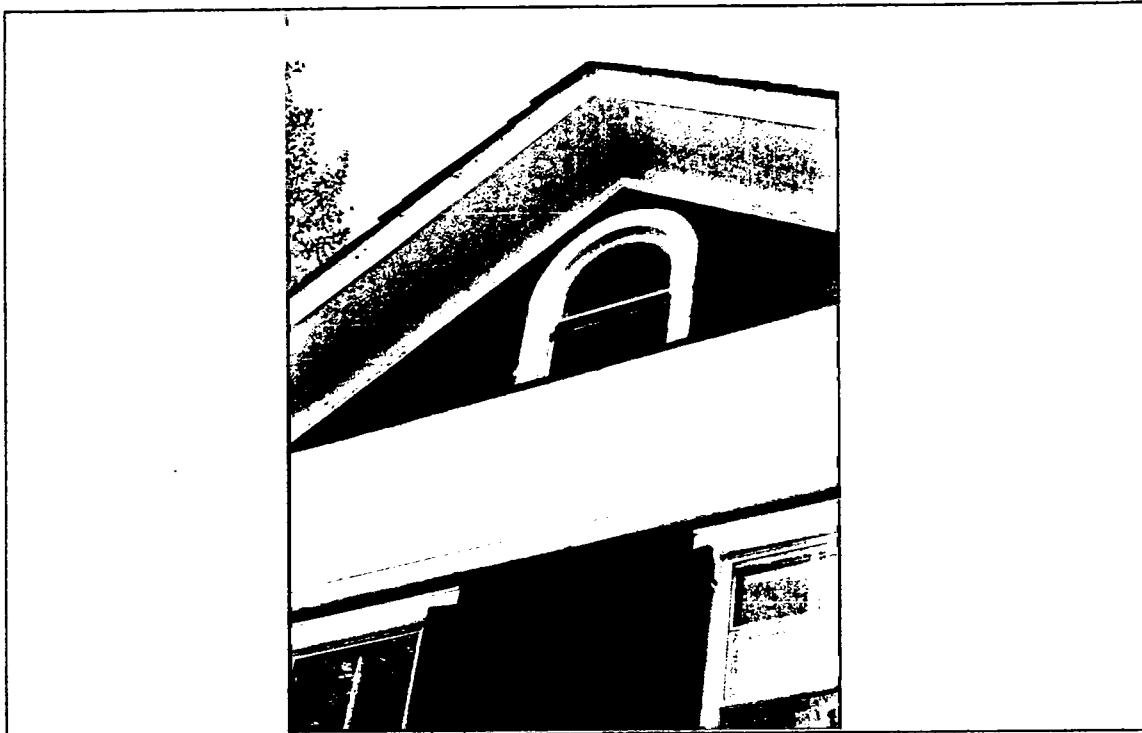


Detail: WEST ELEVATION

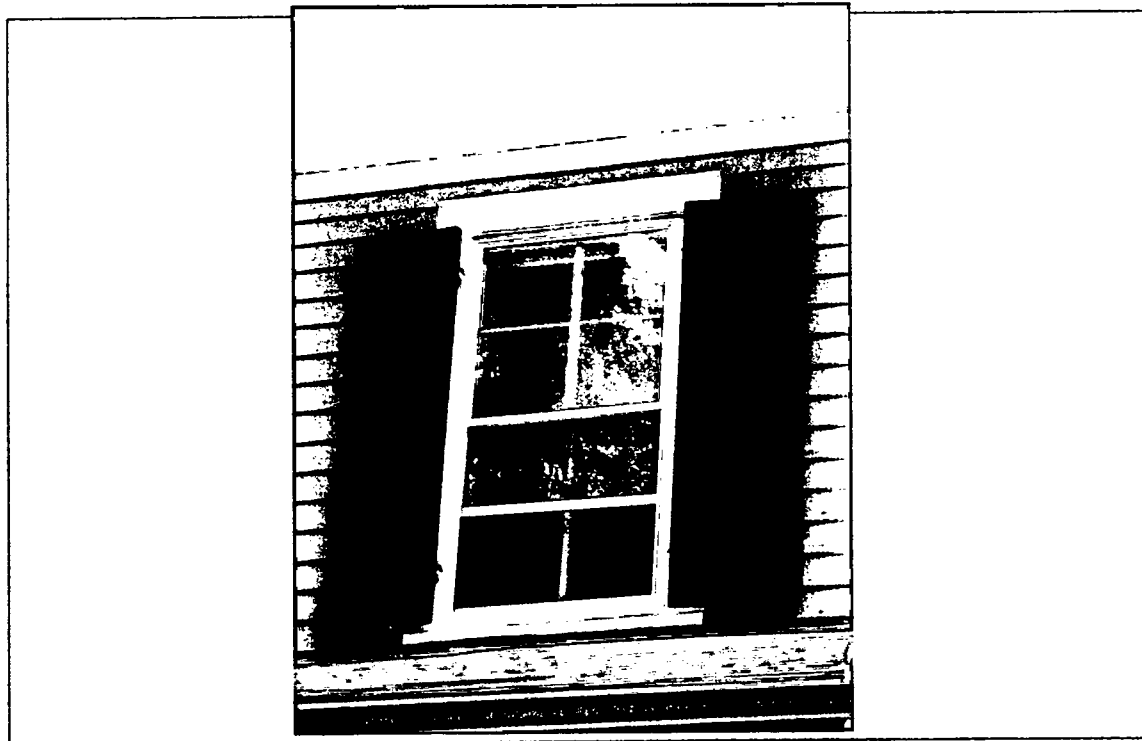


Detail: BRICK CHIMNEY

Existing Property Condition Photographs (duplicate as needed)



Detail: GABLE END



Detail: WOOD SHUTTERS

Existing Property Condition Photographs (duplicate as needed)



Detail: EAST ELEVATION @ SHED



Detail: SOUTH ELEVATION @ SHED

Existing Property Condition Photographs (duplicate as needed)



Detail: NORTH ELEVATION @ SHED



Detail: WEST ELEVATION @ SHED



RETURN TO DEPARTMENT OF PERMITTING SERVICES
155 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20856
241 77 3177

DPS - #8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: MELISSA DAVIDSON
Daytime Phone No.: 703-869-7057

Tax Account No.: _____

Name of Property Owner: ALAN & MELISSA DAVIDSON Daytime Phone No.: 703-869-7057
Address: 3915 THORNAPPLE ST CHEVY CHASE 20815
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: MATTHEW FIEHN Daytime Phone No.: 202-337-7255

LOCATION OF BUILDING/PREMISE

House Number: 4727 Street: ESSEX AVENUE
Town/City: SOMERSET Nearest Cross Street: SOMERSET ST
Lot: 345 Block: 5 Subdivision: _____
Liber: 14221 Folio: 257 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: GARAGE, PATIO

1B. Construction cost estimate: \$ 625,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

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3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies, and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

9.6.11
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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PORCH (PART OF LIVING ROOM).
BRICK CHIMNEY, PAINTED WOOD SHUTTERS, ALUMINUM GUTTERS & DS.
TURNED PORCH POSTS, CURVED CORNICE, 2/2 WINDOWS, ARCH TOP
GABLE WINDOWS. GABLE OVERHANG AT FACETED BRK. STONE
FOUNDATION.

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REMOVAL OF SUBSEQUENT 1STORY ADDITION. 2 STORY ADDITION.
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WINDOWS, BRICK VENEER FOUNDATION. ROUND GABLE WINDOWS, SMALLER
CURVED CORNICE. NO SHUTTERS, BRICK CHIMNEY WITH CAP DETAIL
T.M.E. 1 STORY ENCLOSED PORCH AT HYPHEN.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

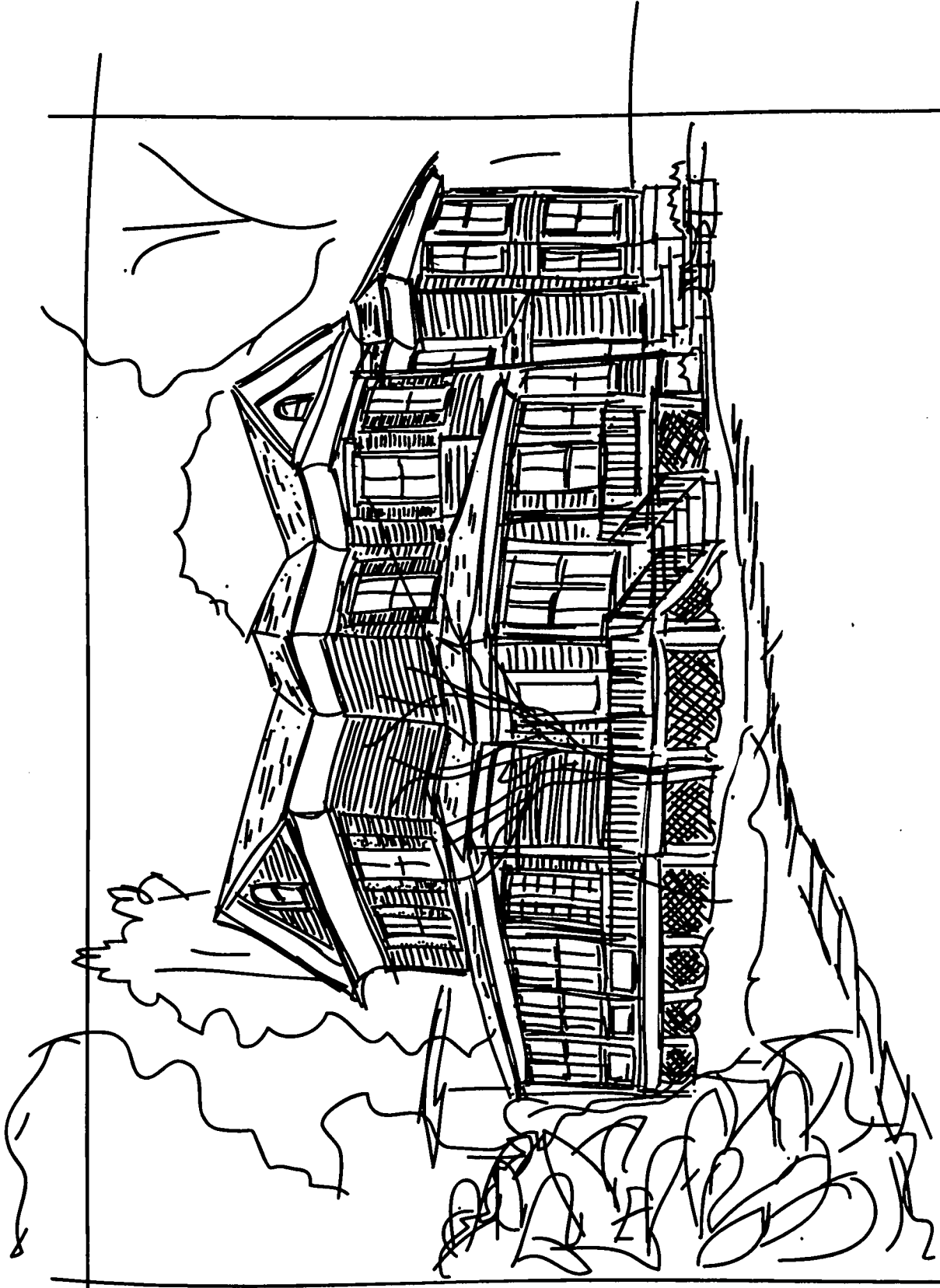
<p>Owner's mailing address</p> <p>3915 THORNAPPLE ST CHEVY CHASE, MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>1000 POTOMAC ST NW STEL 2 WASHINGTON, DC 20007</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>STEVE R & R PIECZENIK 4731 ESSEX AVENUE CHEVY CHASE, MD 20815</p>	<p>JOHN R & ASA BURFIELD 4714 ESSEX AVENUE CHEVY CHASE, MD 20815</p>
<p>MICHAEL CHRISTIAN & SARA SHEA 4718 ESSEX AVENUE CHEVY CHASE, MD 20815</p>	<p>ROBERT WACHBROIT & JUDITH A BAIGIS 4716 ESSEX AVENUE CHEVY CHASE, MD 20815</p>
<p>JOSEPH E LIPSCOMB & LAURA WILL 4722 DORSET AVENUE CHEVY CHASE, MD 20815</p>	<p>JAMES B ET AL TR GRAHAM 4728 DORSET AVENUE CHEVY CHASE, MD 20815</p>

VALENTINA KINGLAND
 4112 EDGEVALE CT
 CHEVY CHASE, MD 20815
 (4721 ESSEX AVENUE)

Davidson Residence
 4727 Essex Avenue, Somerset
Existing and Proposed Areas 09.27.11

Existing Footprint		Proposed Footprint	
First Floor (Conditioned):	1578 s.f.	First Floor (Conditioned):	2016 s.f.
First Floor Porch (Covered):	279 s.f.	First Floor Porch (Covered):	320 s.f.
Under Roof:	1857 s.f.	Under Roof:	2336 s.f.
Deck (Raised):	269 s.f.	Deck (Raised):	0 s.f.
Total Footprint:	2126 s.f.	Total Footprint:	2336 s.f.
Second Floor (Conditioned):	878 s.f.	Second Floor (Conditioned):	1870 s.f.
Total under roof:	2735 s.f.	Total under roof:	4206 s.f.
Shed:	180 s.f.	New accessory structure:	273 s.f.





4727 ESSEX AV.

BVA 07.05.11



