

35774-05A 3609 Thornapple Street
MP Site 3574 Earll House

NOV 19 1974



GRAVEL
SAMPLE
- EARL HOUSE





THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 12, 2005

MEMORANDUM

TO: Marilyn & Tim Hanlon
3609 Thornapple St., Chevy Chase

FROM: ^{TG} Tania Tully, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application #380430

Your Historic Area Work Permit application for driveway and sidewalk changes was **Approved with Conditions** by the Historic Preservation Commission at its May 11, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **schedule a meeting** with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 12, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Tully, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit #380430

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions**.

1. Tree protection measures are in place during removal of existing paving materials.
2. If required by the Town of Chevy Chase, obtain a permit or Right-of-Way Use Agreement for the flagstone path.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Marilyn & Tim Hanlon

Address: 3609 Thornapple St., Chevy Chase

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work

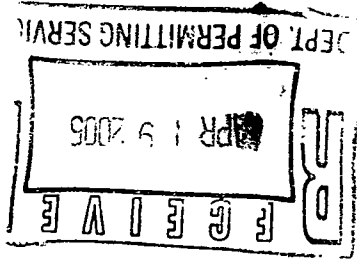


RETURN TO DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850
 240/777-6376

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**



Contact Person: MARILYN HANLON
 Daytime Phone No.: 301-656-2335

Tax Account No.: ^{MH} ~~00527763~~ 00527736
 Name of Property Owner: MARILYN & TIM HANLON Daytime Phone No.: 301-656-2335
 Address: 3609 THORNAPPLE ST. CHEVY CHASE MD 20815
Street Number City Street Zip Code
 Contractor: MARY MAY Creative Design Lds Pgs Phone No.: 301-598-5987
 Contractor Registration No.: MD: #126480 or #4613 also MD.
 Agent for Owner: MARY MAY Daytime Phone No.: 301-598-5987

LOCATION OF BUILDING/PREMISE EARL HOUSE
 House Number: 3609 Street: THORNAPPLE ST.
 Town/City: CHEVY CHASE, MD Nearest Cross Street: BROCKVILLE RD.
 Lot: 344 Block: 4 Subdivision: SECTION 5 (Historic early AREA OTERBOURNE) chcl.
 Liber: 3974 Folio: 468 Parcel: # 35/74 EARL HOUSE

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: <u>WALK & DRIVEWAY</u>			

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Marilyn Hanlon RT Hanlon 4/17/05
Signature of owner or authorized agent Date

Approved: with conditions For Chairman, Historic Preservation Commission
 Disapproved: _____ Signature: Julia O'Malley Date: 5/11/05
 Application/Permit No.: 3804/30 Date Filed: _____ Date Issued: _____

Edit 6/21/99 **SEE REVERSE SIDE FOR INSTRUCTIONS**

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:
 EARL HOUSE (Photo P1) 1894 sits on a double lot on THORNAPPLE ST. Designated to MASTER PLAN in 1999 because of its SPECIAL DUREN ANNE architectural features. It was the first house in the area + influenced building that followed. This a unique family home with an addition at the back + no changes on the front. Original chimneys are seen. THE DRIVEWAY WAS (in 1920) ASH + GRASS. THE FRONT WALKWAY WAS CONCRETE in 1970. OWNERS ADDED RAILOR COVERED DRIVEWAY ARE IN VERY BAD SHAPE. SEE PHOTOS

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:
 TO REPLACE ARCHIT (NOT REPAIRABLE) DRIVE WITH SEVENA CHIT AS DESCRIBED IN DOCUMENTS ENCLOSED. TO REPLACE WALKWAY WITH BRICK + TO ADD A WALKWAY TO THE DRIVE AS SHOWN IN ENCLOSED DOCUMENTS. IMPACT WOULD BE POSITIVE AS GRASS IS TERRIBLE + WALKS NOT REPAIRABLE. SITE WAS VISITED BY HPC STAFF MEMBER + SUGGESTIONS WERE IMPLEMENTED. (Tonya Tolley)

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:
 ENCLOSED

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.
 ENCLOSED

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the crane of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.
 ENCLOSED

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

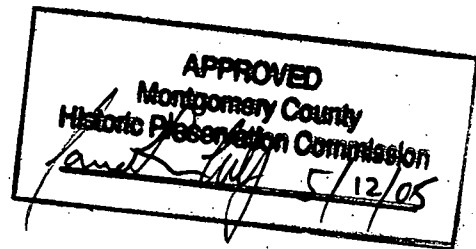
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owners of lots or parcels which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 279-1355.
 ENCLOSED

PLEASE PRINT IN BLUE OR BLACK INK OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
 PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



CREATIVE DESIGN LANDSCAPING

1700 GAYFIELDS DRIVE · SILVER SPRING, MD 20906
PHONE/FAX: (301) 598-5987



Client:

Marilyn & Timotny Hanlon
3609 Thornapple Street
Chevy Chase, MD. 20815
301-656-2335

EARL HOUSE

4/17/05

Hardscaping Specifications

1) Driveway

Demolish and remove existing asphalt (existing apron to remain as is.) Install a new driveway with ~ 2-3" of 3/8" Seneca Chip on a 6" base of CR6, (filter fabric to be installed between Seneca chip and CR-6 base.) Driveway will be bordered with EP Henry- Coventry Curbstone, (8"x9"x3 3/4") in Autumn Blend, ~ 3" above grade, except at the points where the driveway meets the new side walk, the front apron and the upper driveway, where it meets the woodpile and the flagstone walkway opposite.

2) Landing and walkways

Demolish and remove existing aggregate & brick-edged landing & walkway from the house to the street and install a new walkway using Boral Savannah Brown beveled 4"x8" modular brick with a C-323 mortar mix to match in running bond with a sailor course on a concrete base reinforced with wire mesh. Construct a second walkway from the center walk to the driveway using the same materials. Expand the landing to 9 1/2' x 4 1/2' in the same brick; Chip away part of the existing concrete steps at the base of the wooden steps and re-charge smooth for painting to match wooden steps.

3) Curb Bed

Replace existing flagstones with wider 2'x3' flagstone walk (10') from street to sidewalk and set in mulch.

CREATIVE DESIGN - LANDSCAPING

1700 GAYFIELDS DRIVE
SILVER SPRING, MD. 20906
(301)-598 5987

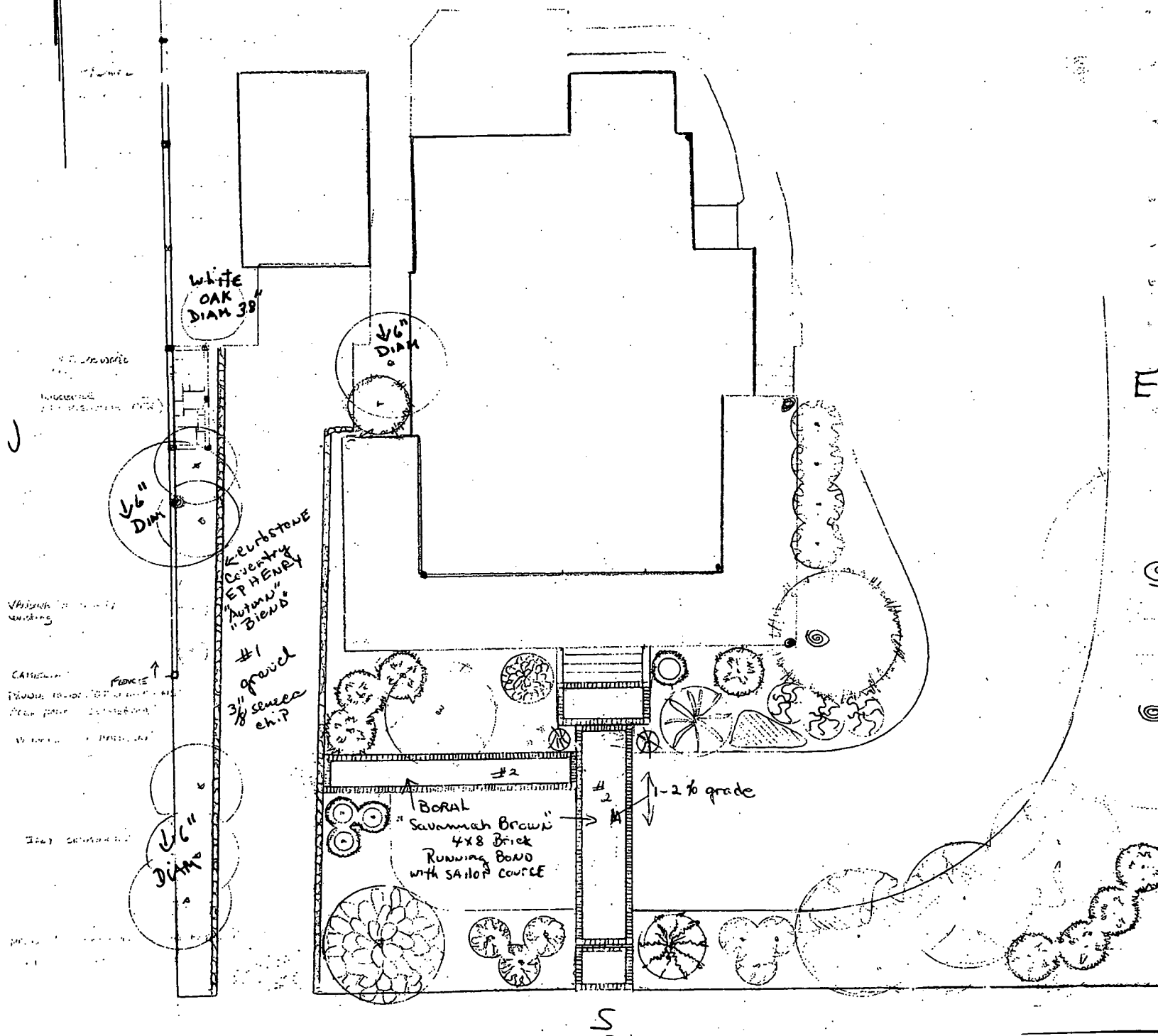
Client: Hanlon Residence *Earl House*

Address: 3609 Thornapple Street
Chevy Chase, MD. 20815

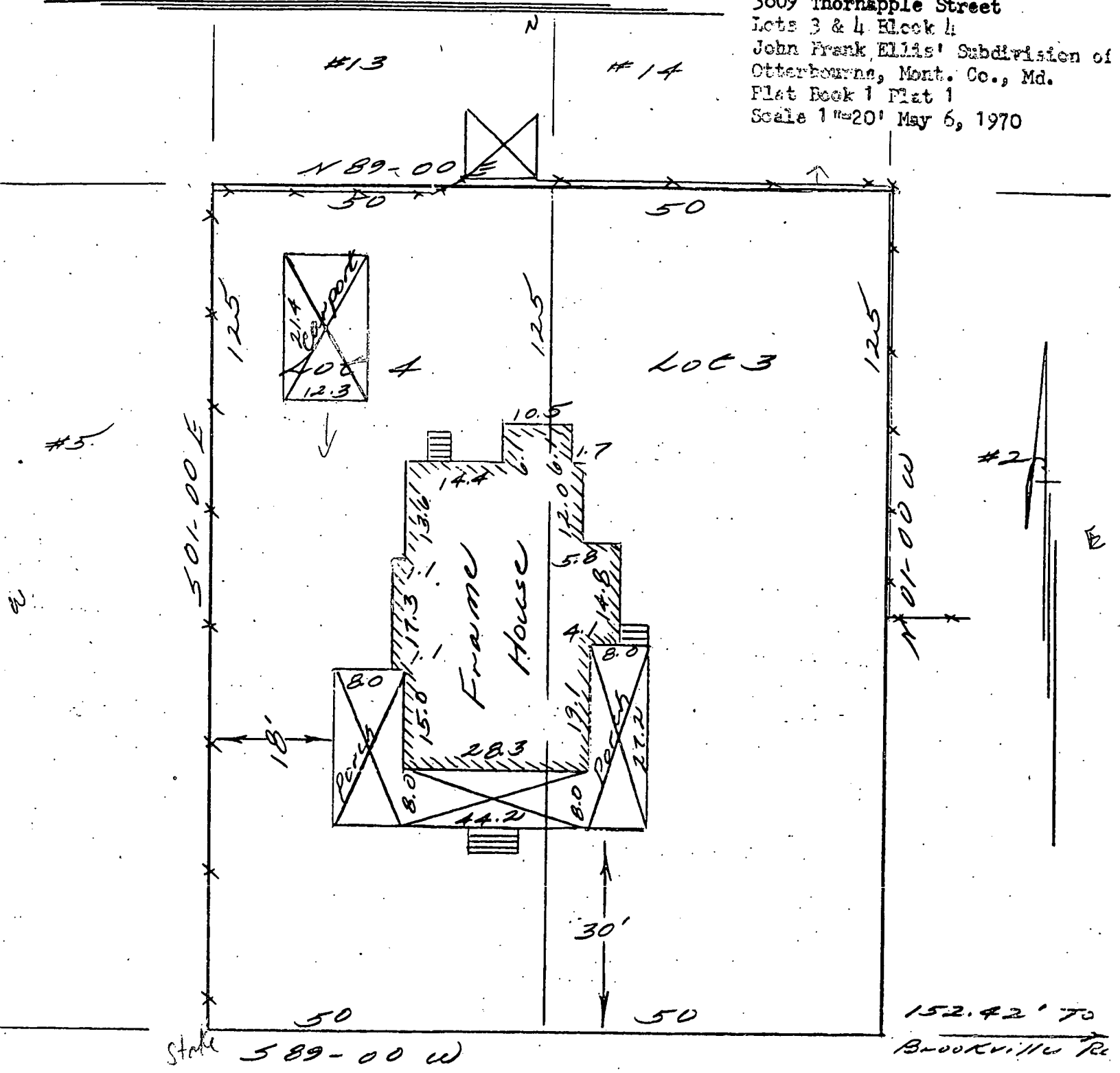
Project: Front Garden

Scale 1/8" inch = 1 foot

Date 3/5/05



APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 5/12/05



Thornapple Street

I HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE ABOVE PROPERTY BY TRANSIT-TAPE SURVEY, LOCATED IMPROVEMENTS THEREON, AND HAVE FOUND IT TO BE AS SHOWN ON THIS PLAT AND THAT THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN ON SAID PLAT

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

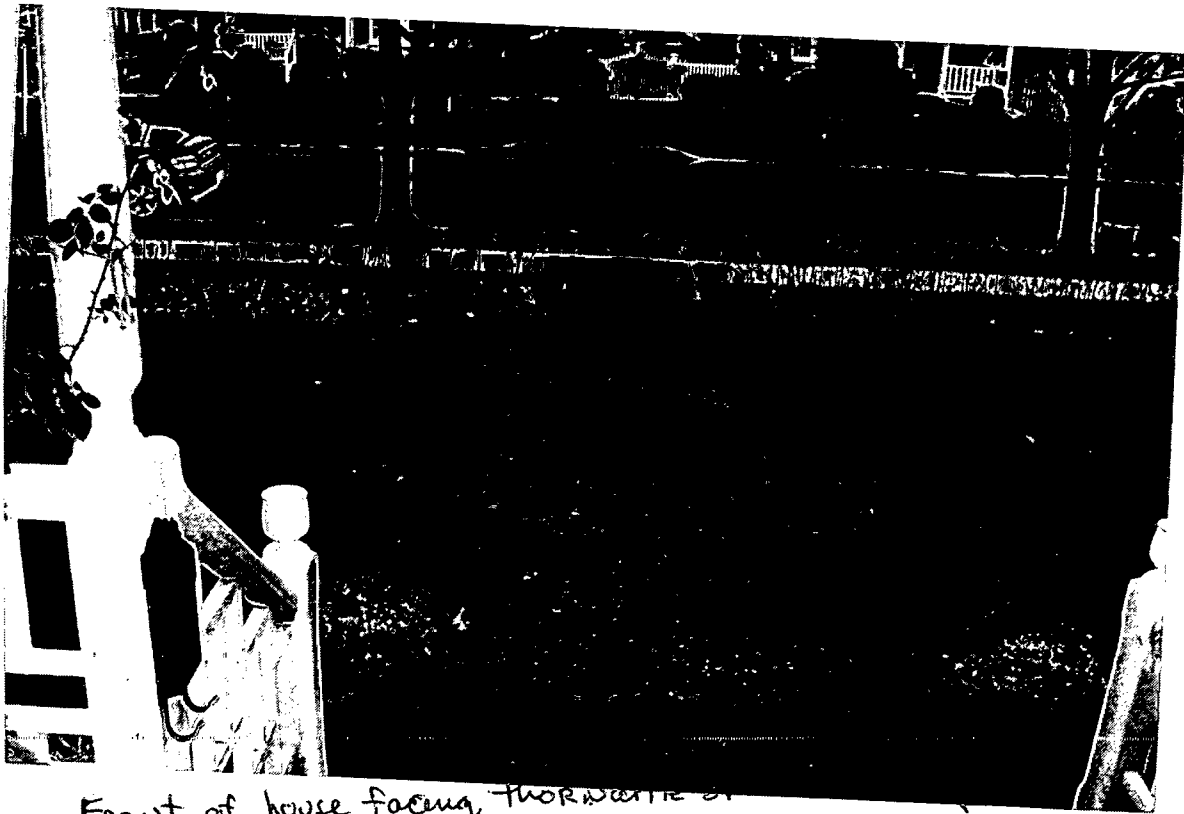
<p>Owner's mailing address</p> <p>3609 Thornapple St. Chevy Chase, MD. 20815</p>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p><i>E side</i></p> <p>Bruce + Ellen Kadow 3603 Thornapple St. Chevy Chase, MD. 20815</p>	<p><i>W side</i></p> <p>Rick + Rita Banks 3611 Thornapple St. Chevy Chase, MD. 20815</p>
<p><i>across facing</i></p> <p>Courtney Banks 3608 Thornapple St. Chevy Chase, MD 20815</p>	<p><i>across facing</i></p> <p>Scott + Claire Livingston 3606 Thornapple St. Ch. Ch. MD. 20815</p>

P1

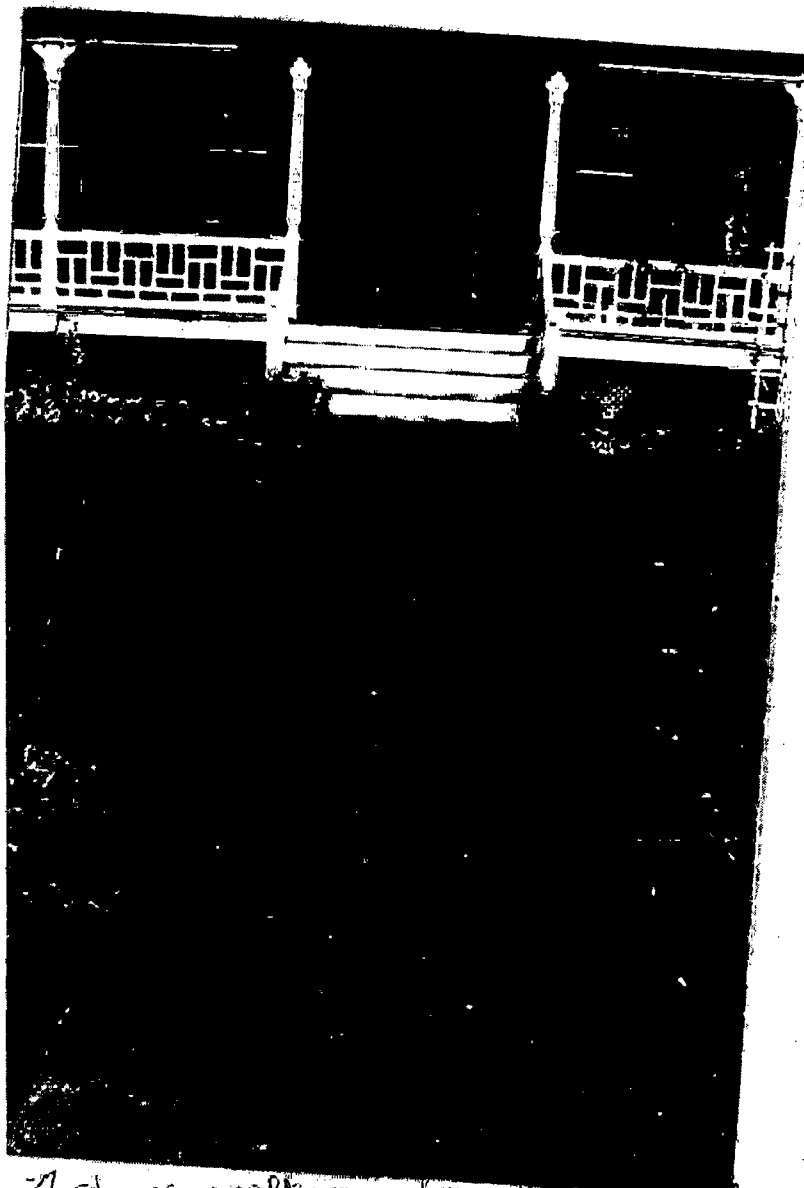
EARL HOUSE
3609 THORNAPPLE ST
Ch. ch. MD 20815



FRONT of House showing walkway - view from south



FRONT of house facing THORNAPPLE ST

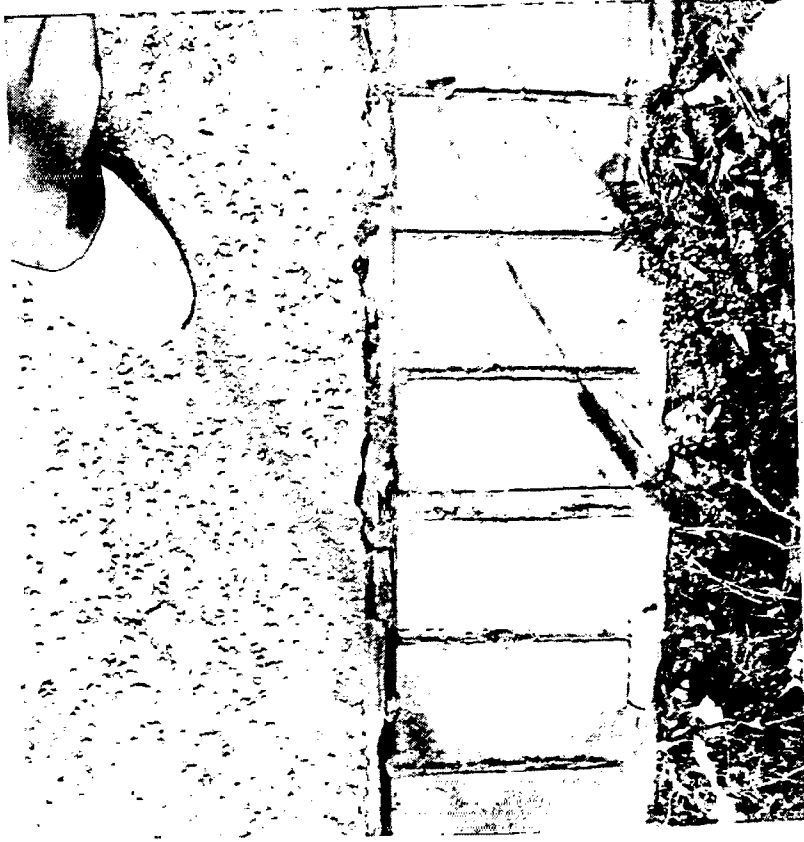


↗ shows walkway from sidewalk to front steps of house



↗ shows R side of walkway to house from sidewalk



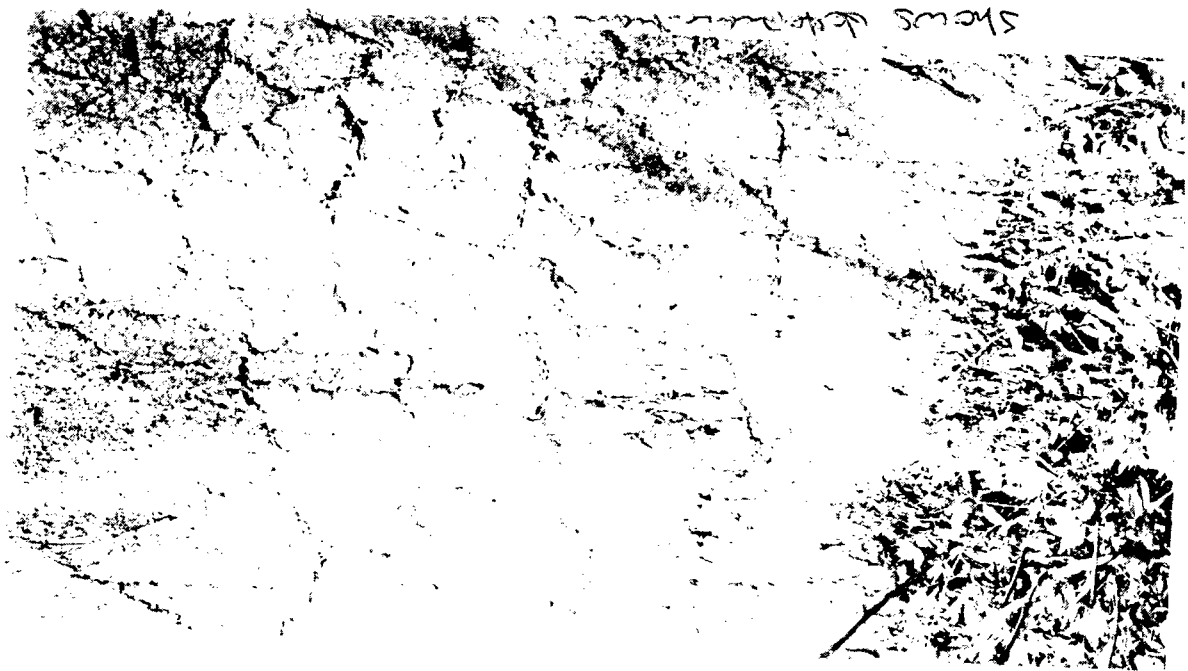


walk way all present condition 4/05

Shows deterioration of walk way



further deterioration of walk way



Shows depression

View from the road
looking into the field

View to west side including driveway (ASTRA)
to be replaced with gravel



View from the road



Shows Driveway on SW corner of house



Shows Driveway - state at Present 4/05



© 2005



Shows Driveway on SW corner of house.



Shows Driveway - state at Present 4/05



Shows Driveway Condition Now

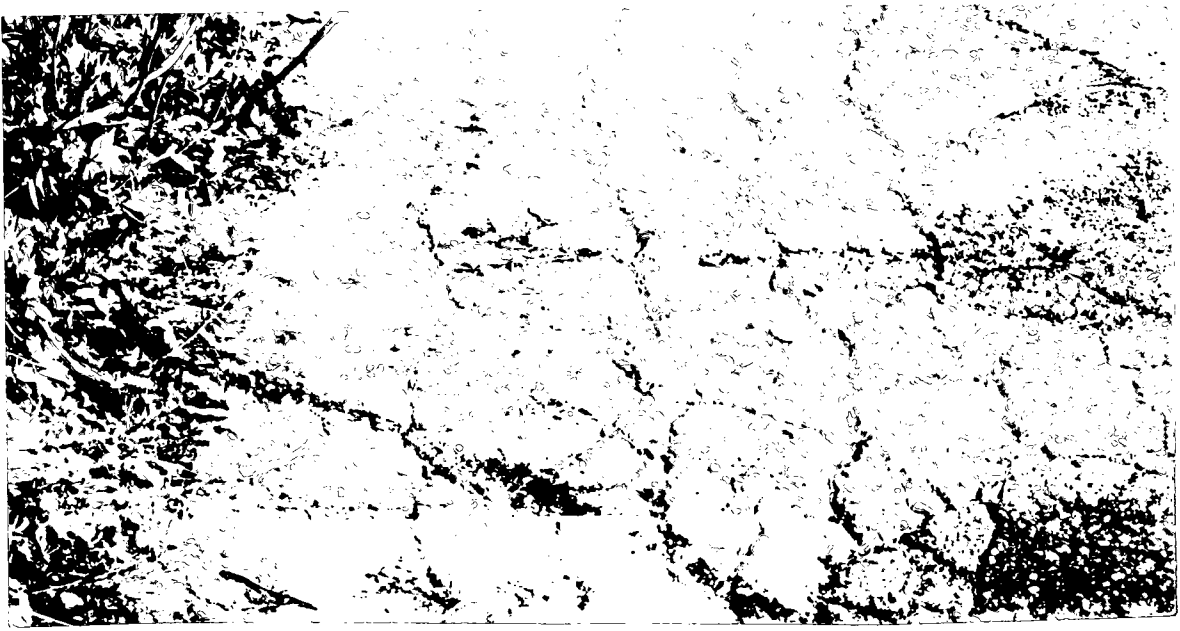
Fair House



view to West side including driveway (asphalt to be replaced with gravel



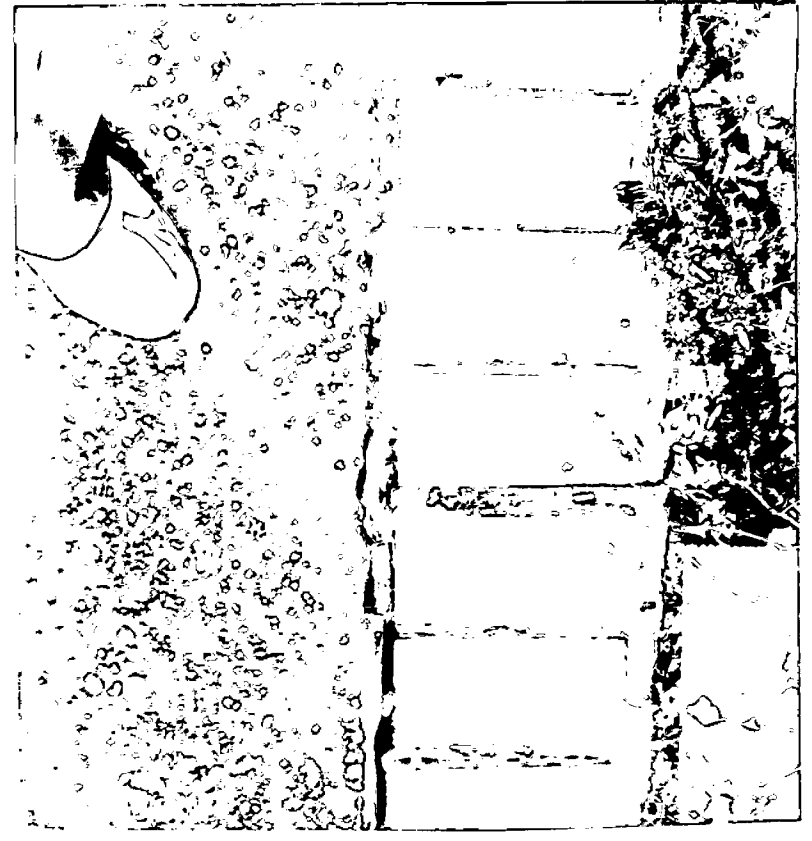
View of Driveway - area where new walkway is to be placed



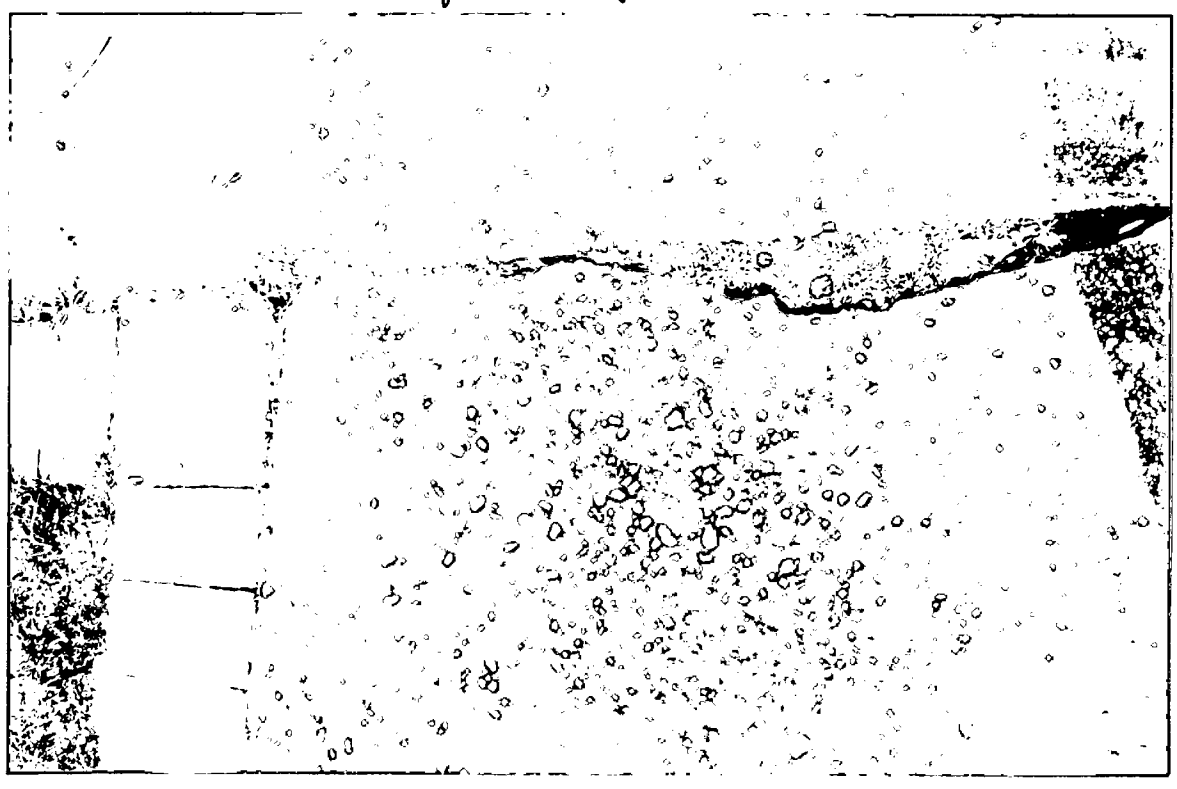
Shows deterioration of driveway



Shows deterioration of walkway



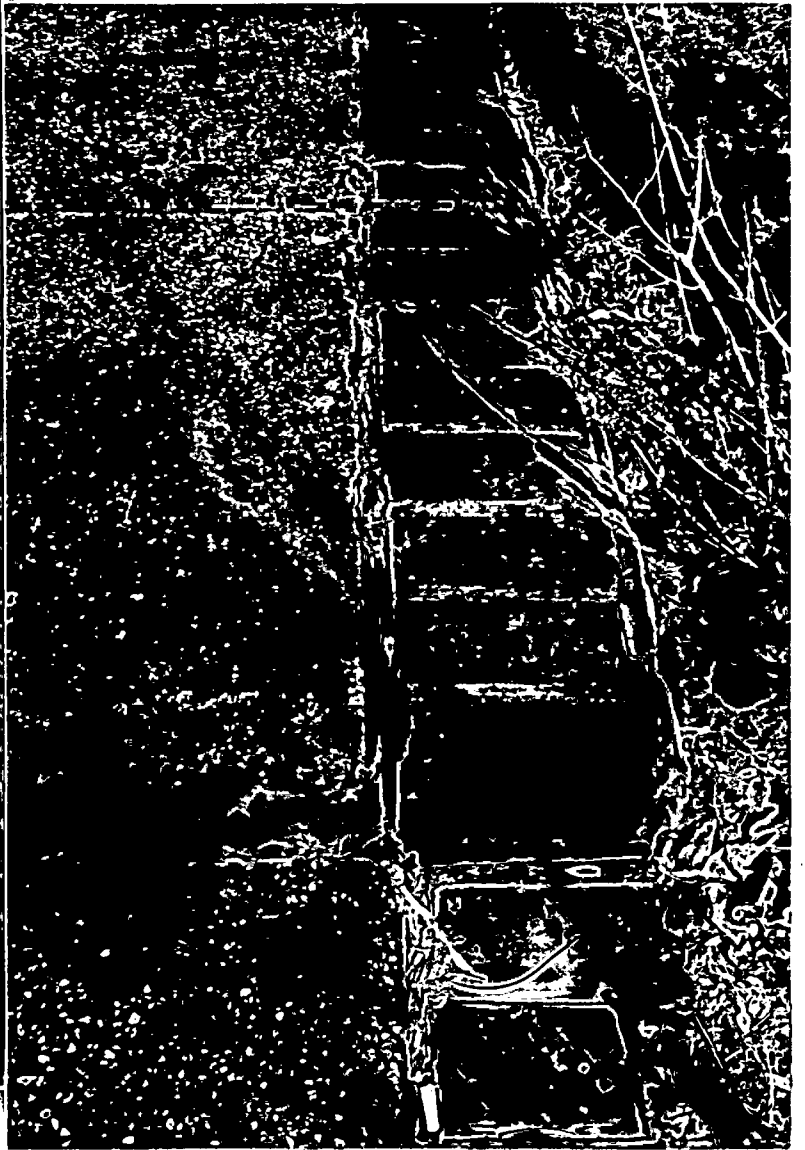
walkway all present condition 4/05



further deterioration of walk way



↗ shows walkway from sidewalk to front steps of house

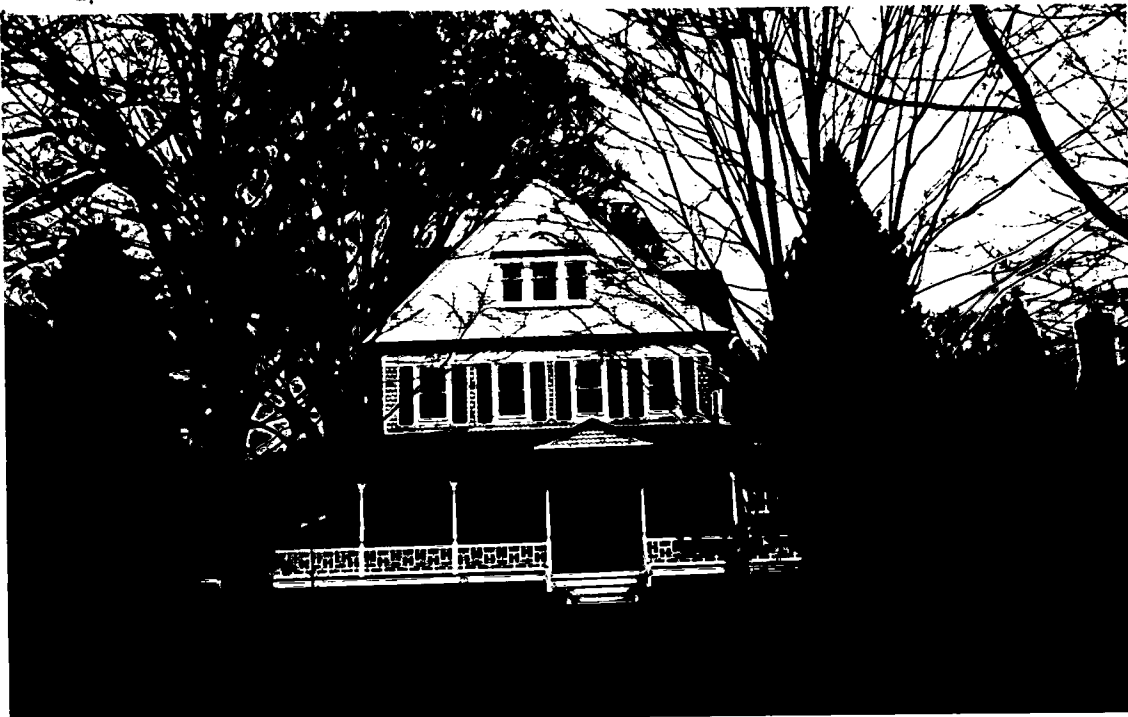


↗ shows R side of walkway to house from sidewalk



close view of step area above - left side of walkway

EARL HOUSE
3609 THORNAPPLE ST
Ch. ch. MD 20815



FRONT of House showing walkway - view from south



FRONT of house facing THORNAPPLE St. + walkway OUT

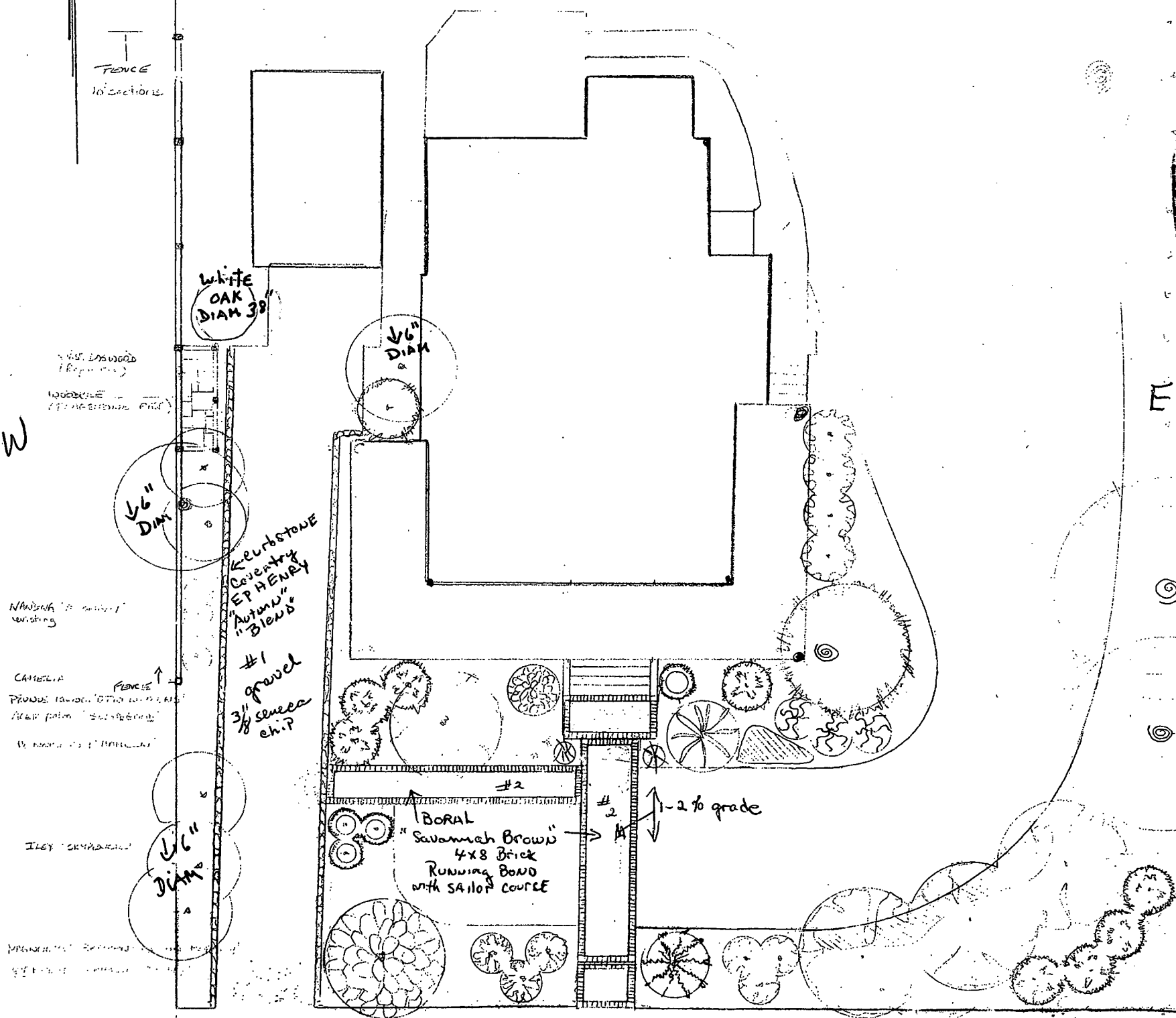
CREATIVE DESIGN - LANDSCAPING

1700 GAYFIELDS DRIVE
SILVER SPRING, MD. 20906
(301)-598 5987

Client: Hanlon Residence EA 11 Hoop
Address: 3609 Thornapple Street
Chevy Chase, MD. 20815

Project: Front Garden

Scale 1/8" inch = 1 foot Date 3/5/05



White
OAK
DIAM 38"

6"
DIAM

6"
DIAM

Kurbstone
Coventry
Autumn
Blend

#1
gravel
3/8" screen
chip

#2
BORAL
"Savannah Brown"
4x8 Brick
Running Bond
with SA1101 course

1-2% grade

6"
DIAM

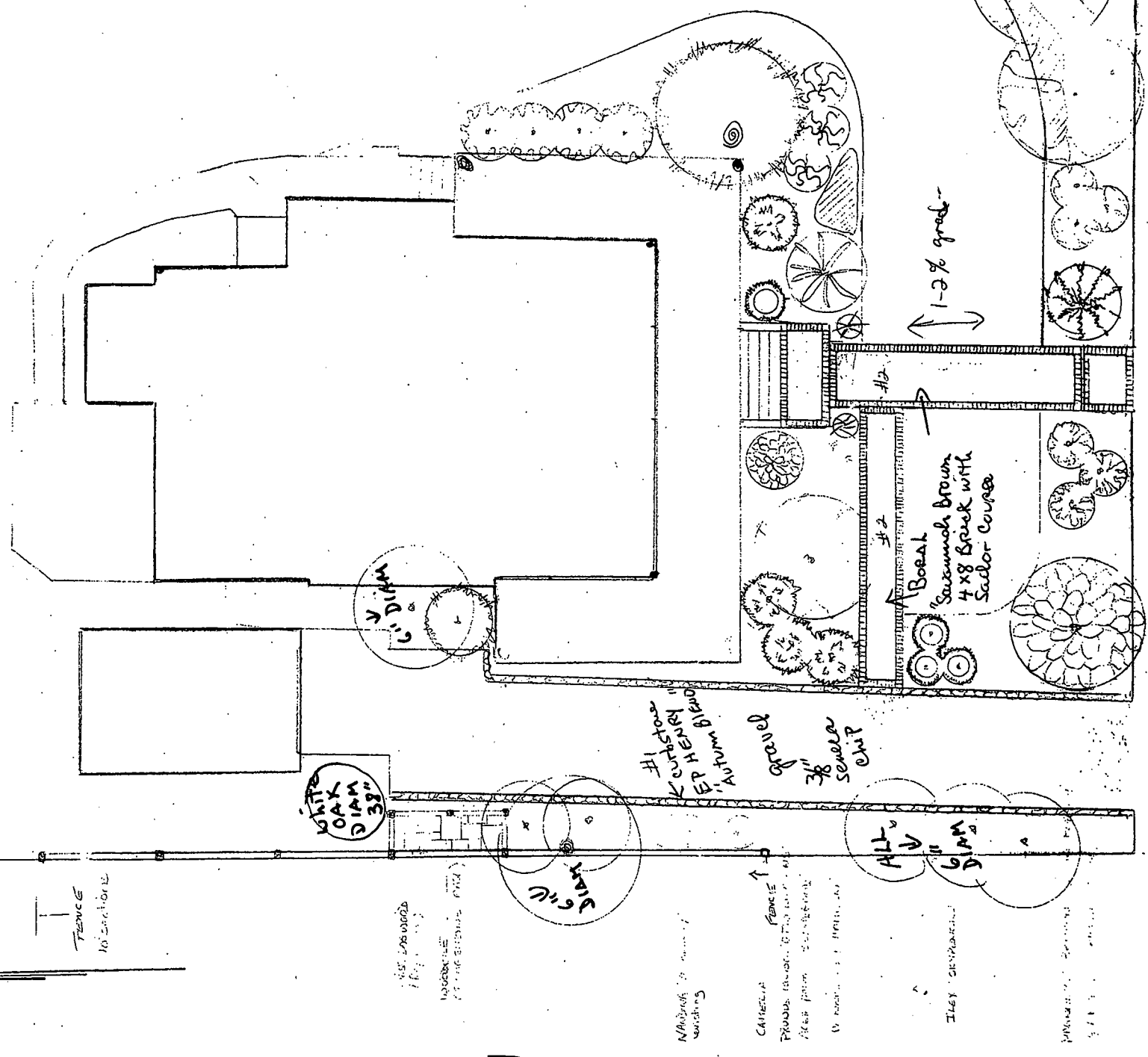
S
#3

CREATIVE DESIGN - LANDSCAPING

1700 GAYFIELDS DRIVE
SILVER SPRING, MD. 20906
(301)-598 5987

Client: Hanton Residence **Earl Howe**
Address: 3609 Thornapple Street
Chevy Chase, MD. 20815
Project: Front Garden
Scale 1/8" inch = 1 foot Date 3/5/05

N



N

S

#3



CREATIVE DESIGN LANDSCAPING

1700 GAYFIELDS DRIVE • SILVER SPRING, MD 20906
PHONE/FAX: (301) 598-5987

Client:

Marilyn & Timotny Hanlon
3609 Thornapple Street
Chevy Chase, MD. 20815
301-656-2335

EARL HOUSE

4/17/05

Hardscaping Specifications

1) Driveway

Demolish and remove existing asphalt (existing apron to remain as is.) Install a new driveway with ~ 2-3" of 3/8^{lb} Seneca Chip on a 6" base of CR6, (filter fabric to be installed between Seneca chip and CR-6 base.) Driveway will be bordered with EP Henry- Coventry Curbstone, (8"x9"x3^{3/4}") in Autumn Blend, ~ 3" above grade, except at the points where the driveway meets the new side walk, the front apron and the upper driveway, where it meets the woodpile and the flagstone walkway opposite.

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Demolish and remove existing aggregate & brick-edged landing & walkway from the house to the street and install a new walkway using Boral Savannah Brown beveled 4"x8" modular brick with a C-323 mortar mix to match in running bond with a sailor course on a concrete base reinforced with wire mesh. Construct a second walkway from the center walk to the driveway using the same materials. Expand the landing to 91/2' x 41/2' in the same brick, Chip away part of the existing concrete steps at the base of the wooden steps and re-parge smooth for painting to match wooden steps.

3) Curb Bed

Replace existing flagstones with wider 2'x3' flagstone walk (10') from street to sidewalk and set in mulch.

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3609 Thornapple Street, Chevy Chase	Meeting Date:	05/11/05
Applicant:	Marilyn & Tim Hanlon	Report Date:	05/04/05
Resource:	<i>Master Plan</i> Site #35/74-05A Earll House	Public Notice:	04/27/05
Review:	HAWP	Tax Credit:	None
Case Number:	35/74-05A	Staff:	Tania Tully
PROPOSAL:	Driveway and sidewalk material change	RECOMMENDATION:	Approve with Conditions

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan* Site #35/74-05A Earll House
STYLE: Queen Anne
DATE: c.1894

PROPOSAL:

- Replace deteriorated asphalt driveway with stone edged gravel
- Replace deteriorated concrete sidewalk with brick
- Add new brick sidewalk to driveway
- Widen flagstone path from sidewalk to curb.

STAFF RECOMMENDATION:

- Approval
 Approval with conditions

- Tree protection measures are in place during removal of existing paving materials.
- If required by the Town of Chevy Chase, obtain a permit or Right-of-Way Use Agreement for the flagstone path.

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

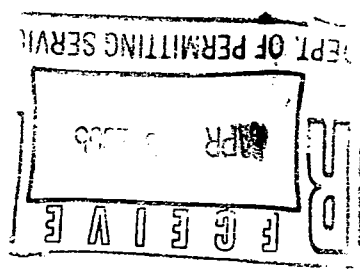


RETURN TO DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370

DP6 - #8

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT



Contact Person: MARILYN HANLON
 Daytime Phone No.: 301-656-2335

Tax Account No.: ^{MH} ~~00527763~~ 00527736
 Name of Property Owner: MARILYN & TIM HANLON Daytime Phone No.: 301-656-2335
 Address: 3609 THORNAPPLE ST. CHEVY CHASE MD 20815
Street Number City Street Zip Code
 Contractor: MARY MAY CREATIVE DESIGN LdsPgs Phone No.: 301-598-5987
 Contractor Registration No.: MD: #120480 or #4613 also MD.
 Agent for Owner: MARY MAY Daytime Phone No.: 301-598-5987

LOCATION OF BUILDING/PREMISE EARL HOUSE
 House Number: 3609 Street: THORNAPPLE ST.
 Town/City: CHEVY CHASE, MD Nearest Cross Street: BROOKVILLE RD.
 Lot: 344 Block: 4 Subdivision: SECTION 5 "Historic" early AREA CATERBOURNE) chial.
 Liber: 3974 Folio: 468 Parcel: # 35/74 EARL HOUSE

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|--|--|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/fitze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable. | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: <u>WALK & DRIVEWAY</u> | | | | |
- 1B. Construction cost estimate: \$ 20,000
- 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
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PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Marilyn Hanlon RT Hanlon 4/17/05
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: 3804/30 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EARL HOUSE (Photo P.1) 1894 SITS ON A DOUBLE LOT ON THORNAPPLE ST. DESIGNATED TO MASTER PLAN IN 1999 BECAUSE OF ITS SPECIAL JUREN ANNE ARCHITECTURAL FEATURES. IT WAS THE FIRST HOUSE IN THE AREA + INFLUENCED BUILDING THAT FOLLOWED. IT IS A SINGLE FAMILY HOME WITH AN ADDITION AT THE BACK + NO CHANGES ON THE FRONT ORIGINAL CHIMNEYS ARE SEEN. THE DRIVEWAY WAS (IN 1970) ASH + GRAVEL. THE FRONT WALKWAY WAS CEMENT AGGREGATE IN 1970. OWNERS ADDED SAILOR COURSE OF BRICK. WALKWAY + DRIVEWAY ARE IN VERY BAD SHAPE. SEE PHOTOS

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

TO REPLACE ASPHALT (NOT REPAIRABLE) DRIVE WITH SENeca CHIP AS DESCRIBED IN DOCUMENTS ENCLOSED. TO REPLACE WALKWAY WITH BRICK + TO ADD A WALKWAY TO THE DRIVE AS SHOWN IN ENCLOSED DOCUMENTS. IMPACT WOULD BE POSITIVE AS GROUND IS PERMEABLE + WALKS NOT REPAIRABLE. SITE WAS VISITED BY HPC STAFF MEMBER + SUGGESTIONS WERE IMPLEMENTED. (TONYA TULLY)

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

ENCLOSED

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

ENCLOSED

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

ENCLOSED

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

ENCLOSED

6. TREE SURVEY

If you are proposing construction adjacent to or within the circumference of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

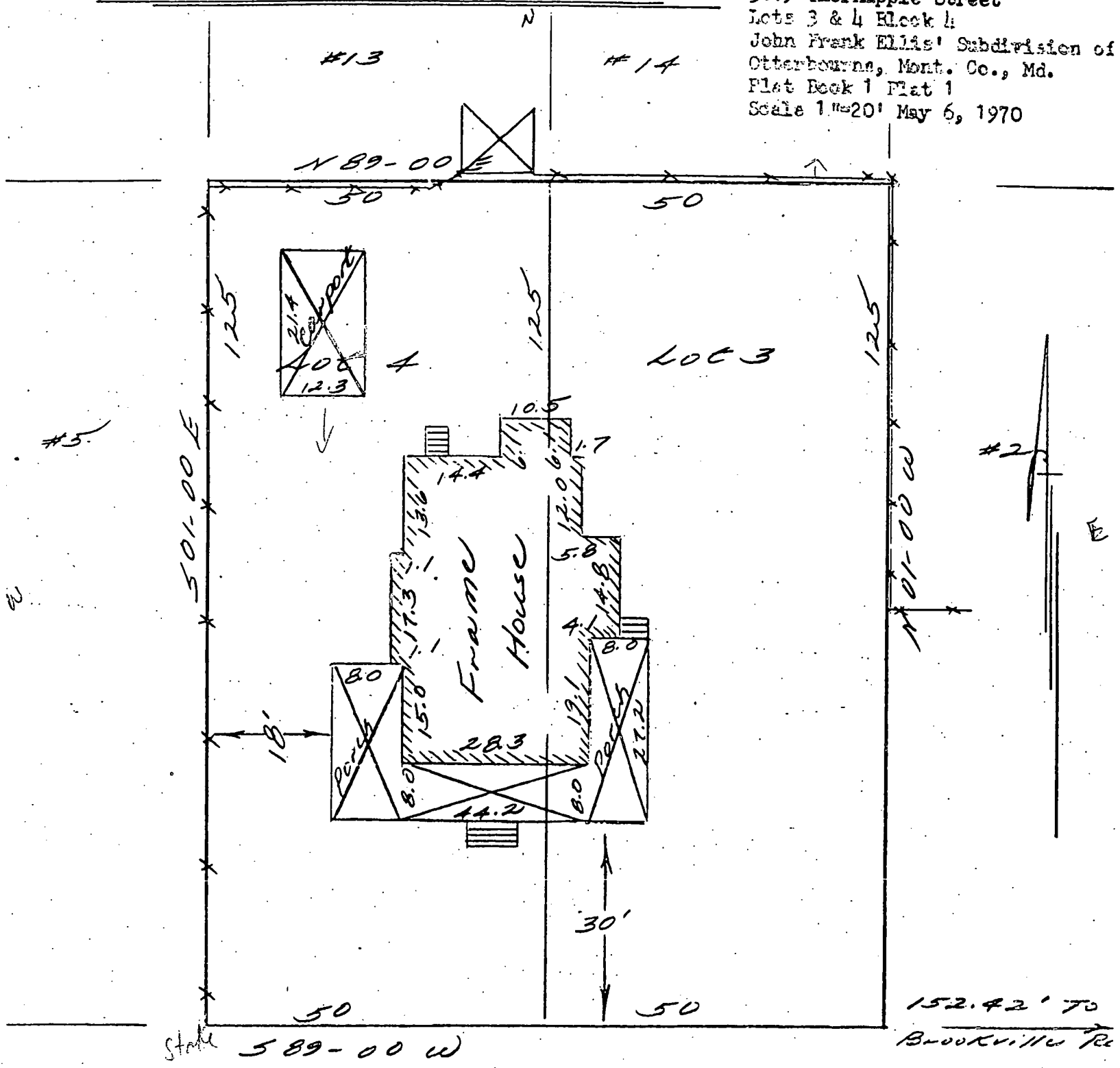
ENCLOSED

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

ENCLOSED

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



Thornapple Street

I HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE ABOVE PROPERTY BY TRANSIT-TAPE SURVEY, LOCATED IMPROVEMENTS THEREON, AND HAVE FOUND IT TO BE AS SHOWN ON THIS PLAT AND THAT

CREATIVE DESIGN - LANDSCAPING

1700 GAYFIELDS DRIVE
SILVER SPRING, MD. 20906
(301)-598 5987

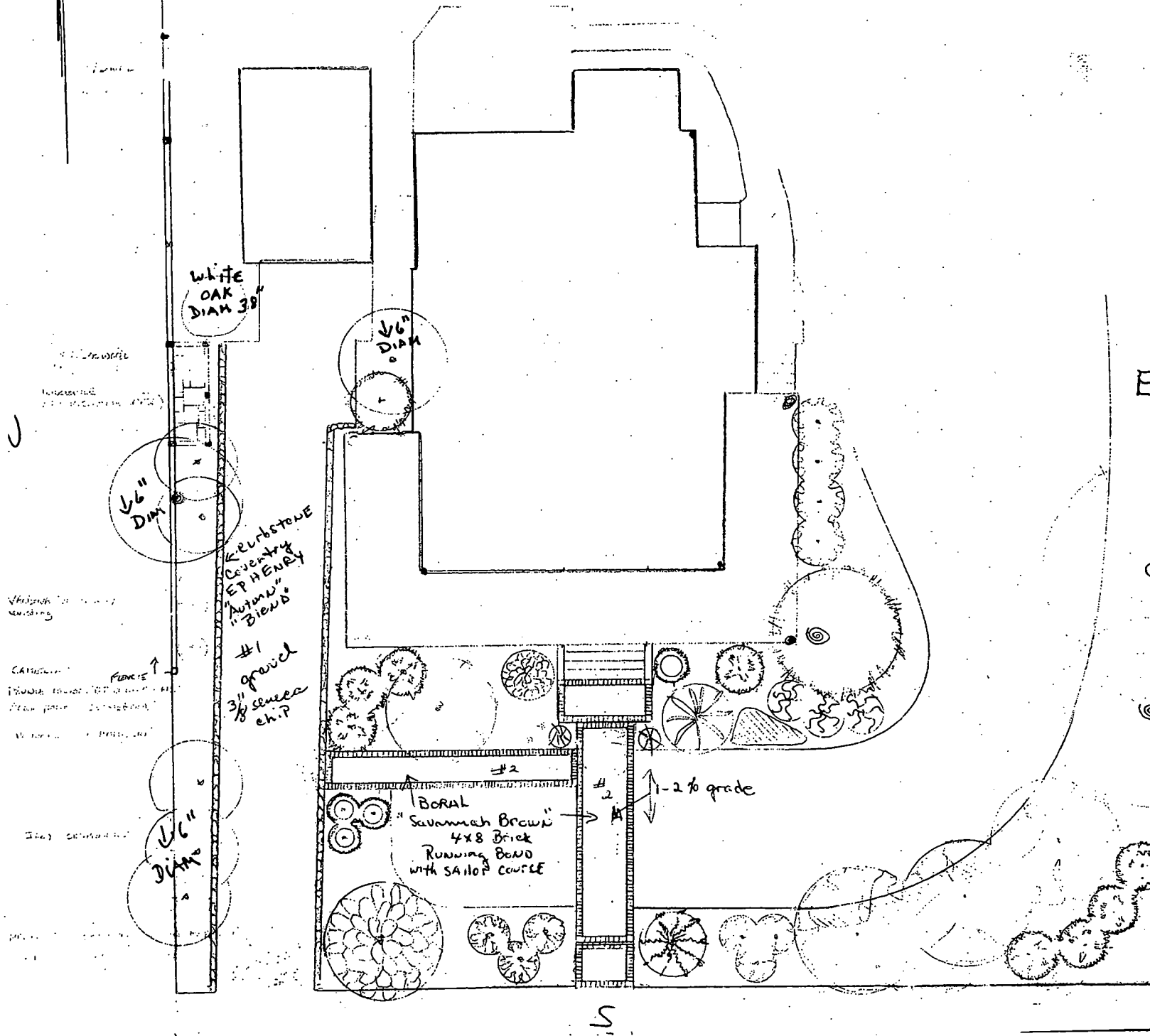
Client: Hanlon Residence **EARL HOUSE**

Address: 3609 Thornapple Street
Chevy Chase, MD. 20815

Project: Front Garden

Scale 1/8" inch = 1 foot

Date 3/5/05





CREATIVE DESIGN LANDSCAPING

1700 GAYFIELDS DRIVE • SILVER SPRING, MD 20906
PHONE/FAX: (301) 598-5987

Client:

Marilyn & Timothy Hanlon
3609 Thornapple Street
Chevy Chase, MD. 20815
301-656-2335

EARL HOUSE

4/17/05

Hardscaping Specifications

1) Driveway

Demolish and remove existing asphalt (existing apron to remain as is.) Install a new driveway with ~ 2-3" of 3/8" Seneca Chip on a 6" base of CR6, (filter fabric to be installed between Seneca chip and CR-6 base.) Driveway will be bordered with EP Henry- Coventry Curbstone, (8"x9"x3^{3/4}") in Autumn Blend, ~ 3" above grade, except at the points where the driveway meets the new side walk, the front apron and the upper driveway, where it meets the woodpile and the flagstone walkway opposite.

2) Landing and walkways

Demolish and remove existing aggregate & brick-edged landing & walkway from the house to the street and install a new walkway using Boral Savannah Brown beveled 4"x8" modular brick with a C-323 mortar mix to match in running bond with a sailor course on a concrete base reinforced with wire mesh. Construct a second walkway from the center walk to the driveway using the same materials. Expand the landing to 9 1/2' x 4 1/2' in the same brick, Chip away part of the existing concrete steps at the base of the wooden steps and re-parge smooth for painting to match wooden steps.

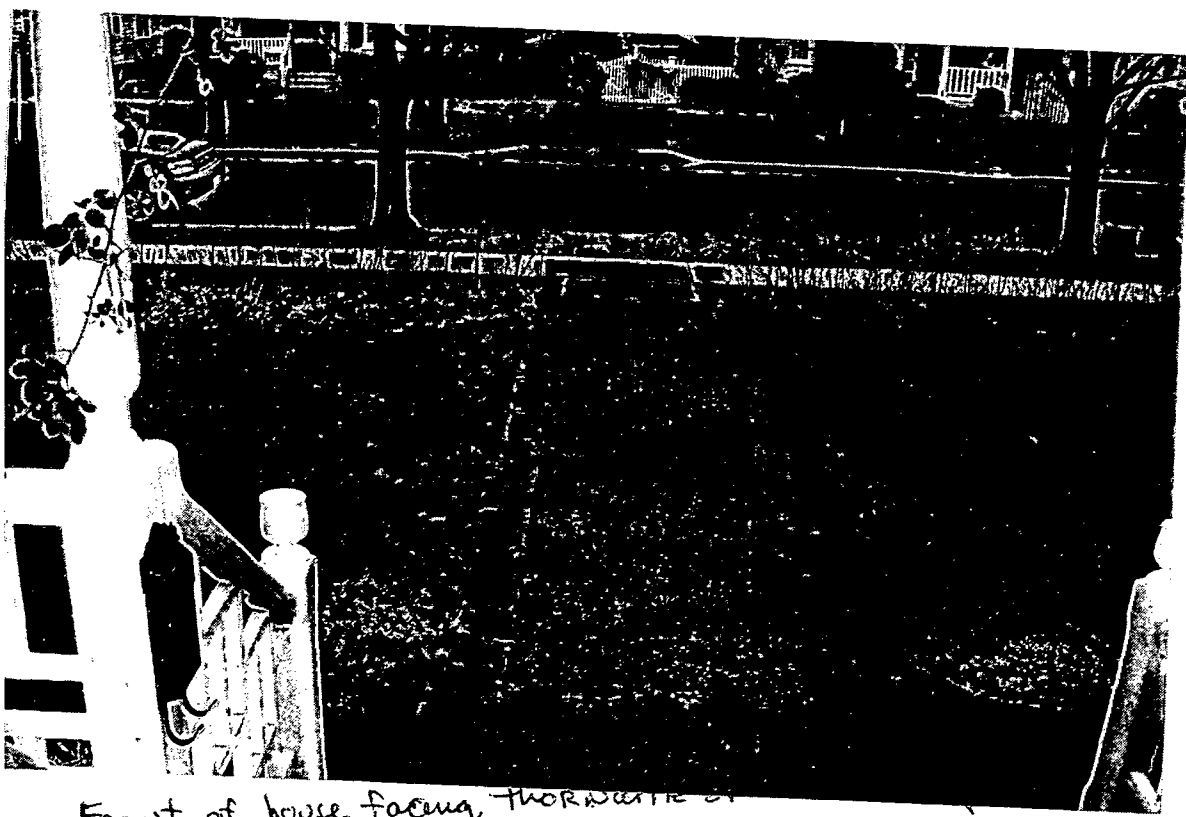
3) Curb Bed

Replace existing flagstones with wider 2'x3' flagstone walk (10') from street to sidewalk and set in mulch.

EARL HOUSE
3609 THORNAPPLE ST
Ch. Ch. MD 20815



FRONT of House showing walkway - view from south



FRONT of house facing THORNAPPLE ST



↗ shows walkway from sidewalk to front steps of house

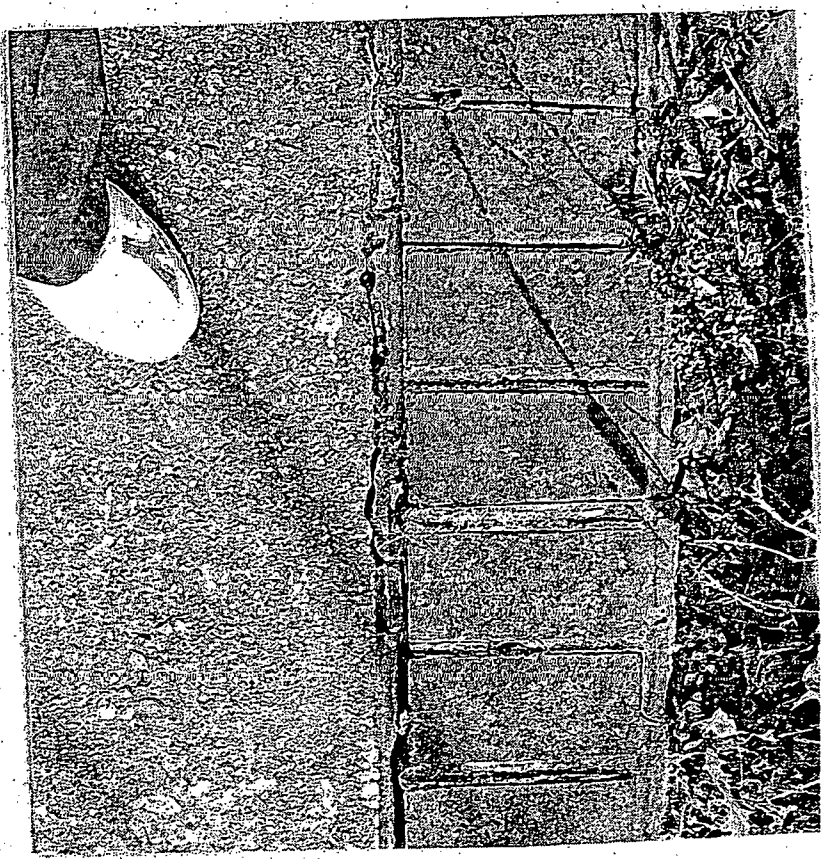


↗ shows R side of walkway to house from sidewalk





Shows deterioration of walk way

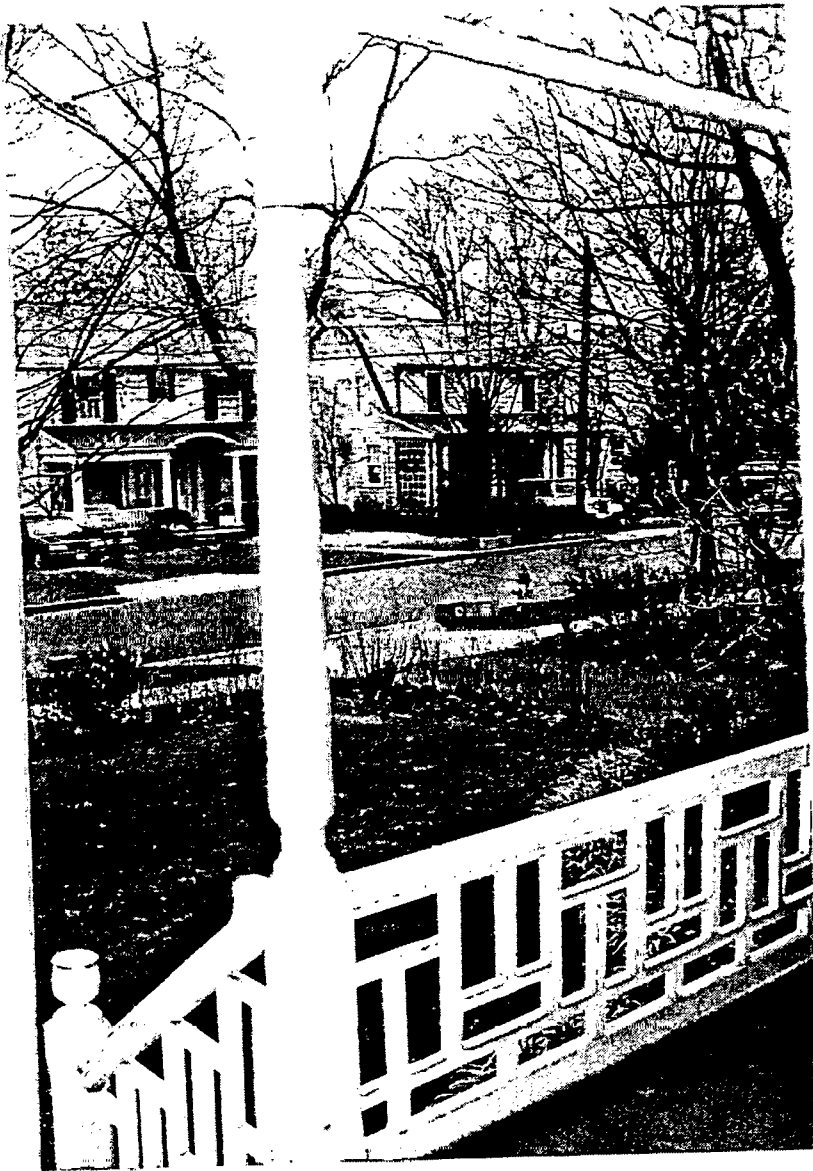


walk way all Present.
condition 4/05



further deterioration of walk way

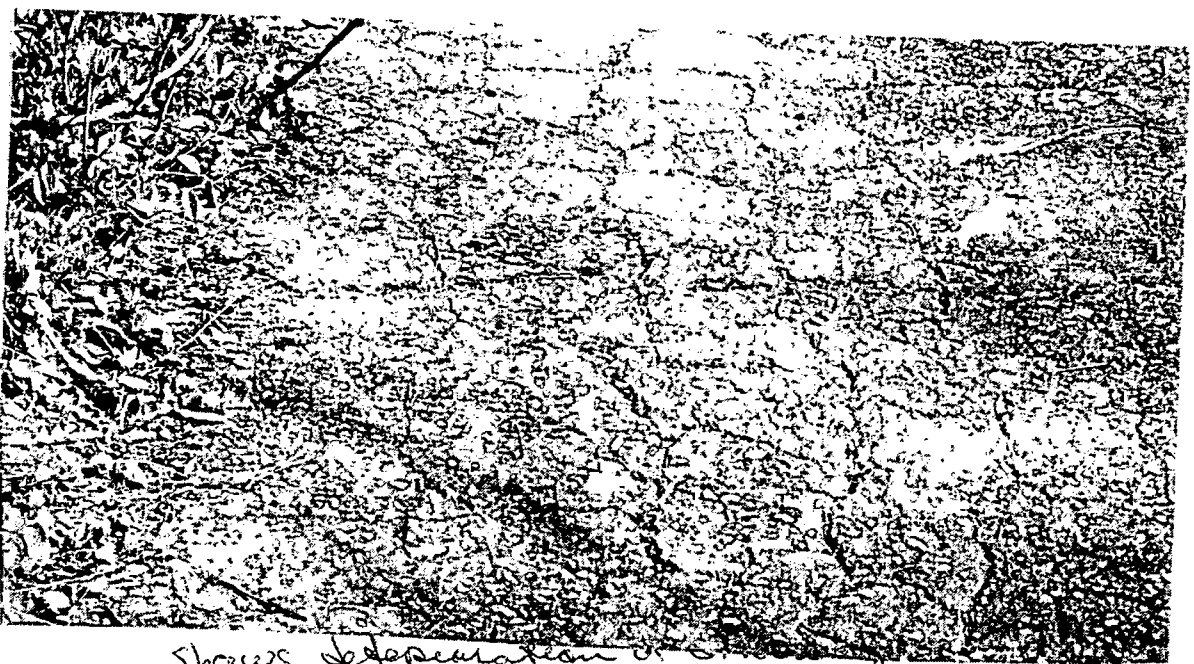
Ezell House



View to West side including driveway (asphalt) to be replaced with gravel



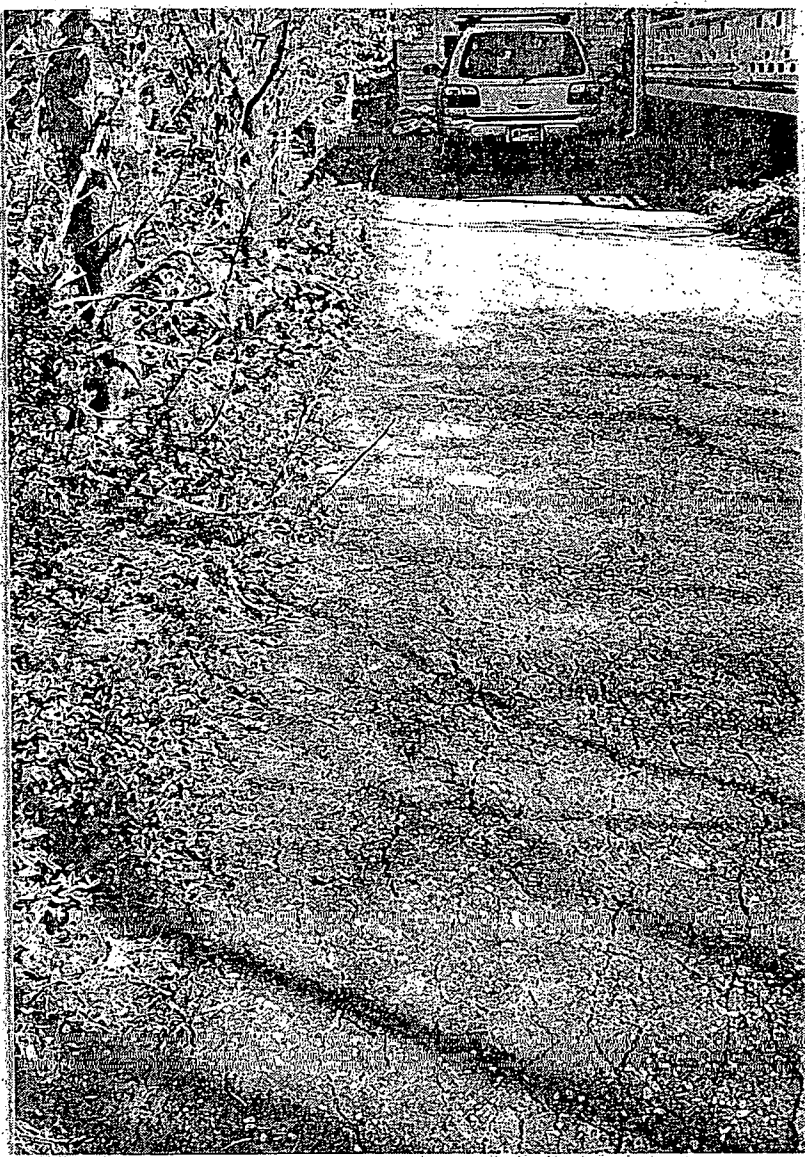
View of Driveway - area where new walkway is to be placed



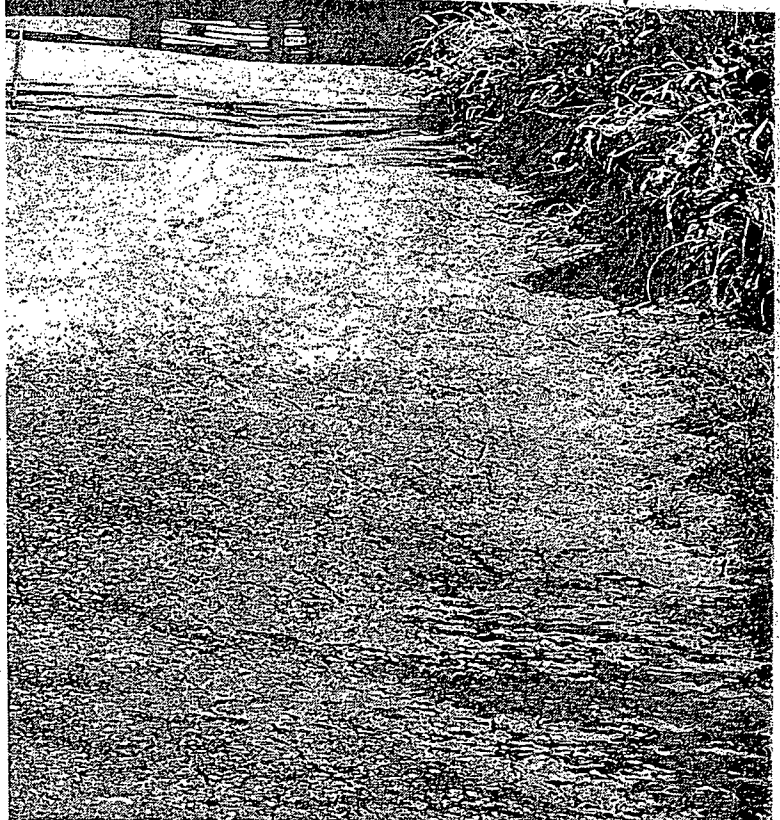
Shows separation of gravel



Shows Driveway on SW corner of house



Shows Driveway - state at Present 4/05



of driveway now

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>3609 Thornapple St. Chevy Chase, MD. 20815</p>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>E side</p> <p>Brian + Ellen Kadow 3603 Thornapple St. Chevy Chase, MD. 20815</p>	<p>W side</p> <p>Rick + Rita Banks 3611 Thornapple St. Chevy Chase, MD. 20815</p>
<p>across facing</p> <p>Courtney Bantz 3608 Thornapple St Chevy Chase, MD 20815</p>	<p>across facing</p> <p>Scott + Claire Livingston 3606 Thornapple St Ch. Ch. MD. 20815</p>