

9618 Dewitt Drive, Silver Spring

[HPC Case # 3619-114]

National Parks Seminary H.D.



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: December 22, 2011

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner *JS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #585177, alterations to house

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the December 21, 2011 meeting.

- 1. The applicants must comply with the conditions as set forth by the Maryland Historical Trust Easement Committee.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Gregory and Abigail Wahl

Address: 9618 Dewitt Drive, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: GREGORY WAHL
Daytime Phone No.: 571/345-9987

Tax Account No.: _____
Name of Property Owner: GREGORY/ABIGAIL WAHL Daytime Phone No.: 571/345-9987
Address: 4126 FIFTH ST NW, WASHINGTON DC 20011
Street Number City Street Zip Code
Contractor: RORY SWAN/SERVICEZ UNLIMITED Phone No.: 301/520-3557
Contractor Registration No.: 72866
Agent for Owner: MARK EVANS/SERVICEZ UNLIMITED Daytime Phone No.: 202/569-8720

LOCATION OF BUILDING/PREMISE

House Number: 9618 Street: DEWITT DR
Town/City: SILVER SPRING Nearest Cross Street: LINDEN LN
Lot: 62 Block: _____ Subdivision: FOREST GLEN PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revoceable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

11/16/11
Date

Approved: [Signature]
Disapproved: _____ Signature: _____ For Chairperson, Historic Preservation Commission Date: 1/9/12
Application/Permit No.: 585177 Date Filed: 11/22/11 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

November 30, 2011

Gregory and Abigail Wahl
4126 Fifth Street, NW
Washington, DC 20011

Re: New shingle roof installation and repair and/or in-kind replacement of tin porch roof at 9618 Dewitt Drive, Silver Spring, an Outstanding Resource within the National Park Seminary Historic District (#36/1)

Dear Mr. and Mrs. Wahl:

This letter is in response to your proposal to remove and replace the non-historic asphalt shingle roof with new fiberglass asphalt shingles and for repairs and/or in-kind replacement of the tin porch roof, at 9618 Dewitt Drive, an Outstanding Resource within the National Park Seminary Historic District (#36/1).

The Montgomery County Historic Preservation Commission (HPC) considers your request to replace the existing non-historic shingle roof, with a new fiberglass asphalt shingle roof as being consistent with Chapter 24A-6 (b). The proposed removal and replacement project constitutes repair of an exterior feature, which will have no material effect on the historic resource, as such a Historic Area Work Permit is not required.

The HPC also considers your request to repair and/or replace in-kind the tin roof of the porch to be ordinary maintenance and in-kind replacement and as such, your request is approved.

The proposed work is to be limited to the replacement of the shingle roof and repair and/or in-kind replacement of the tin porch roof only. Any changes to the approved work, such as selection of alternative materials, project revisions, or additional exterior alterations to this site, must be reviewed by the HPC prior to the project's commencement. This letter will serve as your official HPC approval for the above referenced projects at the subject property. Please note your project may be eligible to receive a Montgomery County Historic Preservation Tax Credit. For more information about the county's tax credit program visit our website (http://www.montgomeryplanning.org/historic/grants/tax_credit_programs.shtm).

Consistent with your approval letter from the Maryland Historical Trust, dated November 28, 2011, for the installation of insulation and a new roof, you must submit a metal roof and asphalt shingle specification to MHT staff for review and approval prior to the project's commencement.

If you have any additional questions, please do not hesitate to contact me at 301-563-3400 or joshua.silver@mncppc-mc.org. Thank you for your cooperation and assistance in this matter.

Sincerely,

Joshua Silver, Senior Planner
Historic Preservation Section

cc: Diane R. Schwartz Jones, Director, Department of Permitting Services
Amy Skinner, Easement Administrator, Maryland Historical Trust



Maryland Department of Planning
Maryland Historical Trust

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor

Richard Eberhart Hall
Secretary

Matthew J. Power
Deputy Secretary

November 28, 2011

Gregory and Abigail Wahl
4126 Fifth Street, NW
Washington, DC 20011

Re: American Bungalow: NPS, Montgomery County – Change/Alteration
Maryland Historical Trust Preservation Easement

Dear Mr. and Mrs. Wahl:

The Maryland Historical Trust (MHT) is in receipt of your application, dated November 8, 2011, requesting approval to install insulation and a new shingle roof. The MHT Easement Committee (Committee) reviewed the application at its meeting on November 15, 2011.

Based upon the review and recommendation of the Committee, I approve the installation of insulation and a new shingle roof as submitted in the November 8, 2011 application conditioned upon *exactly* matching existing metal roof areas, and submission of metal roof and asphalt shingle specifications to MHT staff for review and approval. This work is consistent with The Secretary of the Interior's *Standards for the Treatment of Historic Properties, General Rehabilitation Standard 6*.

Approval is valid for a period of six months from the date of this letter. Should you require additional time to complete the work, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Amy Skinner, Easement Administrator, at (410) 514-7632 or by email at askinner@mdp.state.md.us.

Sincerely,

J. Rodney Little
Director
Maryland Historical Trust

JRL/AMS

cc: Joshua Silver, M-NCPPC
Renee Novak, MHT



Maryland Department of Planning
Maryland Historical Trust

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor

Richard Eberhart Hall
Secretary

Matthew J. Power
Deputy Secretary

October 12, 2011

Gregory and Abigail Wahl
4126 Fifth Street, NW
Washington, DC 20011

Re: American Bungalow-NPS, Montgomery County – Change/Alteration
Maryland Historical Trust Preservation Easement

Dear Mr. and Ms. Wahl:

The Maryland Historical Trust (MHT) is in receipt of your application, dated September 27, 2011, requesting approval to rehabilitate the Bungalow. The MHT Easement Committee (Committee) reviewed the application at its meeting on October 4, 2011.

Based upon the review and recommendation of the Committee, I approve the rehabilitation of the American Bungalow (as outlined in the September 27, 2011 application to MHT) except for the proposed roof work. The Easement Committee did not review the roof work item at the Applicants' request and anticipates a future Changes/Alteration submission focusing on that work item. The Committee approved the construction of a new bedroom closet in the great room space contingent upon the closet height terminating at the height of the picture rail. While the Committee does not endorse blown-in insulation, the method is approved conditioned upon review and approval of the installation method and details on how cross bracing will be addressed. Lastly, the proposed architectural plans should be updated to be consistent with the approved work item #3 which states, "as for the entryway between the kitchen and the Great Room, the portion of the remaining wall to the left of the door opening will extend the depth of the kitchen cabinets and the height of the cased opening, thus creating a door opening that is larger than the current opening." This work is consistent with The Secretary of the Interior's *Standards for the Treatment of Historic Properties, General Rehabilitation Standards 3, 5, and 6.*

Approval is valid for a period of six months from the date of this letter. Should you require additional time to complete the work, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Amy Skinner, Easement Administrator, at (410) 514-7632 or by email at askinner@mdp.state.md.us.

Sincerely,

J. Rodney Little
Director
Maryland Historical Trust

JRL/AMS

cc: Rory Swan, Servicez Unlimited
Renee Novak, MHT
Josh Silver, M-NCPPC

Silver, Joshua

From: Silver, Joshua
Sent: Wednesday, November 30, 2011 9:34 AM
To: 'Wahl, Gregory C'
Cc: Rory Swan
Subject: RE: American Bungalow Roof Issue

Hi Gregory,

Thanks for sending me your proposed work scope for the roof replacement project at your property. After reviewing your application package I have determined the roof replacement project does not require a Historic Area Work Permit (HAWP). I will issue you a formal approval letter later today for the roof replacement project only. I look forward to the receipt of your HAWP application for the remaining work.

I hope this helps get the project moving along.

Please contact me with any questions.

Thanks,
Josh

From: Wahl, Gregory C [mailto:WahlGC@state.gov]
Sent: Tuesday, November 29, 2011 4:46 PM
To: Silver, Joshua
Cc: Rory Swan
Subject: American Bungalow Roof Issue

Hi Josh: Thanks for bringing this issue to my attention. Here is the rundown for our roof plan:

The roof of the building is currently shingled, the result of an update in the 1990s. There is no insulation between the roof and the interior ceilings. The interior ceilings and the roofline (including both the slope and the interaction with the dormer, as well as the look and materials of the front-most portion of the roof, covering the porch) have both been indicated by MHT as historically significant. The existing shingles will be removed. Prodex ADM 5-mm insulation (R-15.67) will be installed on existing sheathing. New ½-inch sheathing will be installed over the new insulation and new roofing felt paper installed over the sheathing. New roofing shingles (CertainTeed Landmark Colonial Slate AR Laminate Shingles) will be installed, in a dark gray/slate coloration to match existing look. The existing tin porch roof will be salvaged and/or repaired and replaced to remedy the holes and deterioration, but will retain its current appearance. This plan has been approved by MHT, with the caveat that MHT requires the approval of the exact replacement shingle.

Please let me know if this suffices?

Gregory Wahl

Foreign Affairs Officer
East/Central Europe & Major Events
Office of Intelligence & Threat Analysis - DS/TIA/ITA
U.S. Department of State
Office: 1.571.345.9987
Mobile: 1.571.218.9656

PERSONAL
This email is UNCLASSIFIED.

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9618 Dewitt Drive, Silver Spring	Meeting Date:	12/21/11
Applicant:	Gregory and Abigail Wahl (Mark Evans, Agent)	Report Date:	12/14/11
Resource:	Outstanding Resource National Park Seminary Historic District	Public Notice:	12/7/11
Review:	HAWP	Tax Credit:	Yes
Case Number:	36/01-11H	Staff:	Josh Silver
PROPOSAL: Alterations to house			

STAFF RECOMMENDATION:

- Approve
 Approve with conditions

- The applicants must comply with the conditions as set forth by the Maryland Historical Trust Easement Committee.*

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource
STYLE: Bungalow
DATE: 1895

PROPOSAL

The proposal described below has received a conditional approval by the Maryland Historical Trust Easement Committee. (See circles 18 and 19).

The applicants are proposing to:

- Repair and replace in-kind all original wood siding (shingles)
- Remove and replace in-kind existing half-round gutters and install new downspouts where necessary
- Remove and replace in-kind front porch floor with wooden tongue and groove flooring. New wooden lattice panels will be installed under the porch floor
- Create positive drainage away from the structure by grading around the entire exterior of the house. A section of the existing wooden and masonry foundation underneath the porch will be replaced and expanded to create additional interior space. The proposed expansion is located entirely within the footprint of the existing porch at the foundation level and will not be visible from the exterior of the structure.

The proposal also includes the removal and replacement of an existing non-historic shingle roof with new shingles and repair and/or in-kind replacement of the metal porch roof. It was determined by HPC staff the proposed removal/replacement roof projects constitute repair of a historic feature and ordinary maintenance and do not require a HAWP. On November 30, 2011 HPC staff issued an approval letter for the roof projects finding them as being consistent with Chapter 24A-6 (b). The proposed removal and replacement project constitutes repair of an exterior feature, which will have no material effect on the historic resource, as such a Historic Area Work Permit is not required. The applicants are continuing their consultation with the MHT to finalize materials selections for the roof.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the condition as specified on Circle 1** as being consistent with Chapter 24A-8(b) (1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: GREGORY WAHL
Daytime Phone No.: 571/345-9987

Tax Account No.: _____
Name of Property Owner: GREGORY/ABIGAIL WAHL Daytime Phone No.: 571/345-9987
Address: 4126 FIFTH ST NW, WASHINGTON DC 20011
Street Number City Street Zip Code
Contractor: RORY SWAN/SERVICEZ UNLIMITED Phone No.: 301/520-3557
Contractor Registration No.: 72866
Agent for Owner: MARK EVANS/SERVICEZ UNLIMITED Daytime Phone No.: 202/569-8720

LOCATION OF BUILDING/PREMISE

House Number: 9618 Street: DEWITT DR
Town/City: SILVER SPRING Nearest Cross Street: LINDEN LN
Lot: 62 Block: _____ Subdivision: FOREST GLEN PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|--|--|---------------------------------------|---|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Stab | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ | | | | |

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

G. Wahl
Signature of owner or authorized agent

11/16/11
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 585177 Date Filed: 11/22/11 Date Issued: _____

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THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance.

EXISTING STRUCTURE IS AN 1895 FORMER SOCIALITY HOUSE ON THE GROUNDS OF THE FORMER NATIONAL PARK SEMINARY, FOLLOWING 30 YEARS OF DISUSE, WE PROPOSE TO TURN IT INTO A SINGLE-FAMILY HOME. THE HOME SITS ON DEWITT CIRCLE, AND IS BORDERED BY ONE OTHER HISTORICAL SINGLE-FAMILY HOME (THE DUTCH WINDMILL AT 20 DEWITT DRIVE) AS WELL AS THE NATIONAL PARK SEMINARY APARTMENTS.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district. CONVERSION WILL ENTAIL UPDATING LAYOUT AND SYSTEMS WITHIN BUILDING, AND WILL KEEP HISTORICAL MATERIALS AND LOOK AS MUCH AS POSSIBLE, HOMES IN AREA ALL UNDERGOING SAME PROCESS, SO EFFECT WILL BE MINIMAL, AND POSITIVE IN SHORT TERM.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your past. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly labeled photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONTIGUOUS PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and contiguous property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which be directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MARKING LABELS.

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2

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
4126 FIFTH ST NW WASHINGTON, DC 20011	SERVICEZ UNLIMITED % MARK EVANS 4006 CHELMONT LANE BOWIE, MD 20715
Adjacent and confronting Property Owners mailing addresses	
NATIONAL PARK SEMINARY 9610 DEWITT DR SILVER SPRING, MD 20910	RICHARD BIRDSONG 20 DEWITT COURT SILVER SPRING, MD 20910

Proposed alterations to the American Bungalow at 9618 Dewitt Drive, Silver Spring, as approved by the Maryland Historical Trust's Easement Committee on October 4, 2011:

EXTERIOR ALTERATIONS:

WOOD SIDING: Existing wood siding is shingles with several different layers of peeling paint. Most of the shingles are of salvageable condition, although some need replacement. Replace all damaged wood shingles in kind, remove lead-based paint by hand-sanding (no power washing), and repaint using oil-based primer and exterior latex paint. All openings or gaps requiring caulking will be filled with caulk the same color as siding.

GUTTERS: Existing gutters are in need of complete replacement. Holes in existing gutters and missing pieces abound. Replace half-round gutters in kind (no K-style gutters), with appropriate hangers evenly spaced for support. Installation will include outside gutters and downspouts. Slope will be 0.25" for every 25' of gutter. Gutter sealant will be used on all connections to corners, downspout outlets, and endpieces. Downspouts will be anchored to walls in at least three places, with tail pieces diverting water from base of building not less than three feet. No gutter will be installed on the dormer:

FRONT PORCH: Floorboards are not salvageable; large holes are dangerous and a deep gap underneath presents a hazard. Porch roof is not salvageable. Replace porch floor completely with in-kind tongue-and-groove flooring, as well as floor joists, beams, posts, and columns, stair tread and risers, handrails, and skirtboards. Lattice panels of appropriate size will be installed from skirt boards to grade. Porch roof will be rebuilt. Historic bead-board ceiling will be replaced in kind to maintain historic integrity. Historic metal roofing over porch will be removed for construction and re-placed if possible.

GRADING/ADDITION: Area under porch originally empty. Poor drainage over 115 years has caused major sedimentation that must be excavated. Pooling in this area has caused mold along existing wooden foundation wall (lower level, facing DeWitt Circle) requiring complete replacement, as well as along existing deteriorating masonry (lower level, facing DeWitt Drive). Grading around entire perimeter of home will slope away from building. Grade will be achieved under porch with 2-inch rocks at a depth of four inches. Infill under porch will be excavated, wooden foundation wall will be removed, and lower level foundation will be expanded to mimic footprint of porch, allowing for greater storage capability and expansion of existing lower-level half-bath into a full bathroom. When complete, expansion will not be notable from exterior of home, and will be fully within current footprint.

ROOFING: (**The roof plan was not approved by MHT on 10/4/11. Rather, a plan was submitted for MHT consideration at their 11/15/11 meeting. Because of the proximity of this date to the submission date for this application, the roofing plan has been included here. Should the plan be approved, a copy of the MHT approval letter will be attached to this application once received. Should the plan not be approved, this paragraph will be removed by owner from this application.*) Roof is currently shingled, the result of an update in the 1990s. There is no insulation between the roof and the interior ceilings. The interior ceilings and the roofline (including both the slope and the interaction with the dormer, as well as the

look and materials of the front-most portion of the roof, covering the porch) have both been indicated by MHT as historically significant. The existing shingles will be removed. Prodex AD5 5-mm insulation (R-15.67) will be installed on existing sheathing with the specifications outlined on the attached graphic. New 1/2-inch sheathing will be installed over the new insulation and new roofing felt paper installed over the sheathing. New roofing shingles will be installed, in a dark gray/slate coloration to match existing look. The existing tin porch roof will be salvaged and/or repaired and replaced to remedy the holes and deterioration, but will retain its current appearance.

INTERIOR ALTERATIONS:

GREAT ROOM: The great room, as it was originally designed, was one large room. When the home was owned by the army, it was divided by a large wall, which not only bisected the room's area but also the woodwork on the ceiling and the view from the front entrance. We propose removing the wall entirely to restore the room to its original state, as a great room stretching from one side of the house to the other. Historically unpainted woodwork will remain unpainted in the Great Room and throughout the house. Where it is deteriorated throughout the house, historic plaster will be repaired rather than replaced; where damaged beyond repair, drywall will be patched into areas where damaged plaster has been removed, and then skim-coated for an even appearance. Any replacement drywall will be installed within the existing wall plane of plaster.

HAZARD REMOVAL: Home inspection revealed an approximately 15-foot-long section of asbestos piping in the basement. As home has been unoccupied since 1983, it is likely lead-based paints were used in the interior and exterior. Hazardous materials will be removed according to regulation.

KITCHEN: Existing kitchen is located on lower level. Home has been unoccupied since 1983, and all appliances, cabinetry date from prior to that date, and were installed by the Army when they owned the home. We do not believe anything in the kitchen to be historic in nature. Above the current kitchen is an empty room that was originally a porch, but was enclosed possibly in the 1950s. We would like to remove the kitchen entirely, and move it to the room directly above where it is now, on the upper level. We propose to place our kitchen in this room, because of its proximity to the dining/living room, to which it is connected. We would like to place cabinetry along the floor under the windows. The cabinets and countertop would block a small lower portion of the windows; this would be done in a way not more intrusive than the current blockage of windows in the downstairs kitchen. All panes would remain, with a gap between the windows and cabinetry not dissimilar to the current arrangement downstairs. The two remaining walls of the kitchen would hold various appliances (refrigerator, range, etc.) and cabinetry. As for the entryway between the kitchen and the Great Room, the portion of the remaining wall to the left of the door opening will extend the depth of the kitchen cabinets and the height of the cased opening, thus creating a door opening that is larger than the current door opening.

MASONRY: Masonry foundation has areas of severe deterioration. Tuck-point all necessary joints in walls and foundation. Rebuild failing portions of porch skirt. Mortar joints will match those of existing masonry.

INTERIOR STAIRS: Interior stairs are in good condition. Repair balustrade and banister. Sturdiness and safety will meet local building code. Historically unpainted woodwork will remain unpainted:

WOOD FLOORING: Upper level flooring original in parts, lower level flooring likely replacement from 1950s Army upgrades. Lower-level flooring hides mold due to poor drainage and absence of insulation from ground, and must be replaced. Upper-level flooring is mostly or completely salvageable. Original flooring will be sanded and refinished, with all cracks filled. Several small areas will be repaired, and entirety will be finished with polyurethane not of a high-gloss nature. Lower-level flooring will be replaced with wood flooring after rigid foam-board and six-millimeter plastic are installed for proper sub-floor moisture-abatement purposes.

SYSTEMS ALTERATIONS:

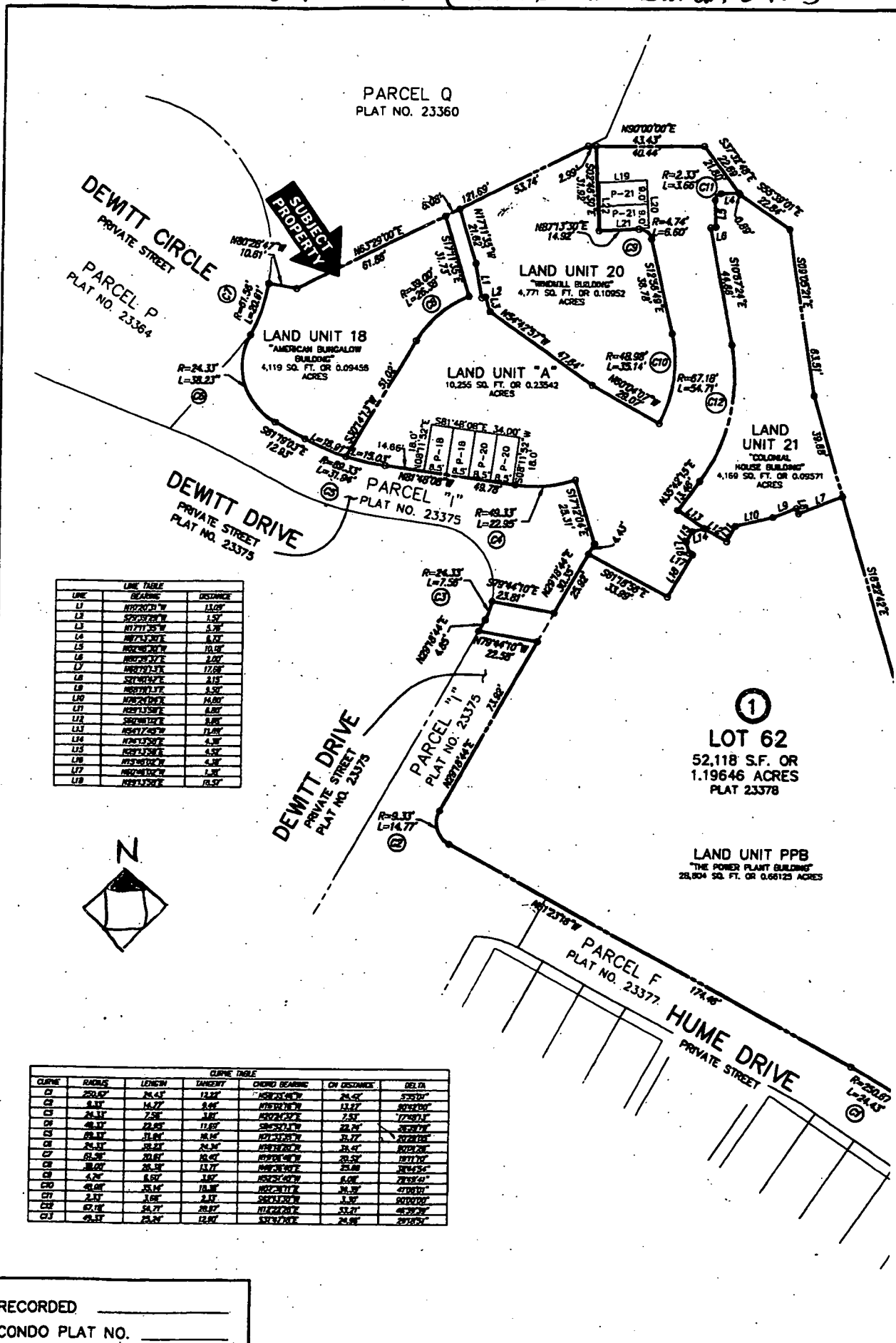
PLUMBING: Home has been unoccupied since 1983. Plumbing requires complete replacement. Install new pipes to entire house: two full baths; laundry room; kitchen; and exterior. New copper supply lines will be installed, as will new PVC waste lines where needed. For existing full bath on upper level, existing fixtures will be replaced and reconfigured to place shower at far end of room. Existing half-bath will be upgraded to a full bath with expansion under porch. Laundry room will be created directly under existing full bath. Plumbing systems drawings attached to application. Proposed piping will be concealed within existing secondary spaces. Bulkheads/chases will not block historic window/door openings or historic trim/molding.

ELECTRICAL: Home has been unoccupied since 1983. Electrical system requires complete replacement. Install electrical system conforming to local building codes. Electrical systems drawings attached to application.

HVAC: Home currently lacks air conditioning. Heating is conducted via original radiant system. Many existing radiators are cracked and unsalvageable, although some are in working order. Existing furnace is unsalvageable. Replace nonworking radiators with working models. Install new furnace, compressor, ducts, registers, and thermostat. HVAC systems drawings attached to application. Proposed duct-work will be concealed within existing secondary spaces. Bulkheads/chases will not block historic window/door openings or historic trim/molding.

INSULATION: Building currently entirely uninsulated. Install insulation throughout house, in interior and exterior walls, in floor joists, and roof (see roofing). All HVAC ductwork that passes through unheated spaces will be insulated. Insulation will be installed at a minimum rating of R-13 for walls, and R-19 for ceilings and crawl spaces. Although MHT does not recommend the use of blown-in insulation, without complete removal of exterior wood shingles, thus exposing the wall cavities between the studs, insulating the walls using batt insulation with a vapor barrier facing inwards toward the interior of the building will be impossible. We plan to insulate using blown-in insulation from the inside, reaching all cavities and repairing/replacing interior walls in kind, while maintaining present planes. We would, however, welcome any reasonable alternative solution.

9618 DEWITT DR ("A. ERICAN BUNGALOW")




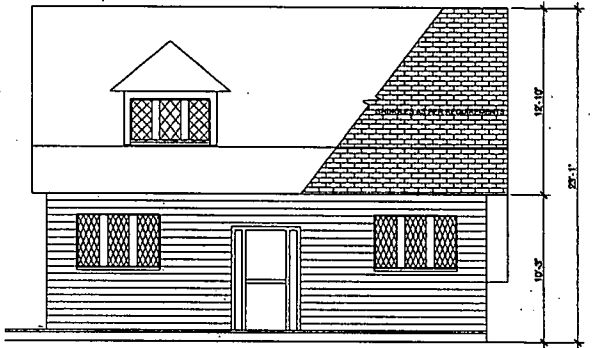
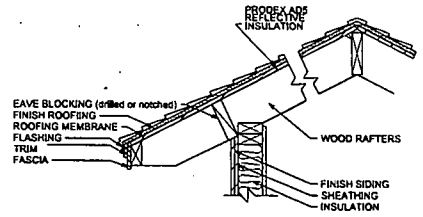
LINE	BEARING	DISTANCE
L1	N02420"W	11.05'
L2	S22030"E	1.57'
L3	N71153"E	8.32'
L4	N67153"E	8.17'
L5	N06300"E	10.95'
L6	N06300"E	1.00'
L7	N07915"E	17.65'
L8	S07000"E	4.15'
L9	N07015"E	8.57'
L10	N07240"E	14.60'
L11	N07153"E	8.86'
L12	S07015"E	1.88'
L13	N07140"E	17.65'
L14	N07153"E	4.18'
L15	N07153"E	4.57'
L16	N07030"E	4.18'
L17	N07030"E	1.58'
L18	N07153"E	19.57'

CLAVE	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD DISTANCE	DEF. AN.
C1	20.65'	24.65'	12.85'	N07030"E	24.65'	57.87°
C2	9.37'	14.77'	8.96'	N7030"E	14.77'	80.52°
C3	24.37'	7.58'	3.87'	N07030"E	7.58'	77.50°
C4	48.77'	22.65'	11.67'	S07015"E	22.65'	80.52°
C5	49.37'	31.67'	16.14'	N07153"E	31.67'	80.52°
C6	24.37'	38.87'	24.37'	N7030"E	38.87'	80.52°
C7	18.00'	28.87'	18.00'	N7030"E	28.87'	80.52°
C8	18.00'	8.00'	3.87'	N07030"E	8.00'	77.50°
C9	48.00'	31.14'	18.00'	S07015"E	31.14'	80.52°
C10	2.37'	3.08'	2.37'	S07015"E	3.08'	80.52°
C11	87.18'	54.77'	28.87'	N07030"E	54.77'	80.52°
C12	48.37'	24.37'	12.85'	S07015"E	24.37'	80.52°

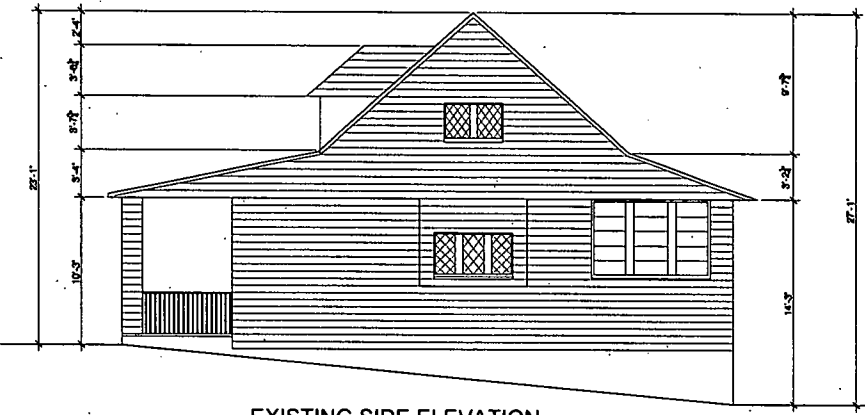
RECORDED _____
CONDO PLAT NO. _____

80

INSULATION LAYERS		PRODEX ADS THERMAL INSULATION	
<ul style="list-style-type: none"> polyethylene backing polyethylene backing polyethylene backing polyethylene backing 		<p>Technical specifications</p> <p>Product description</p> <p>Material composition and elements of the construction</p> <p>Product description and elements of the construction</p> <p>Product description and elements of the construction</p> <p>Product description and elements of the construction</p>	<p>Normal Thickness:</p> <p>5mm (± or - 0.5 mm)</p>



EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



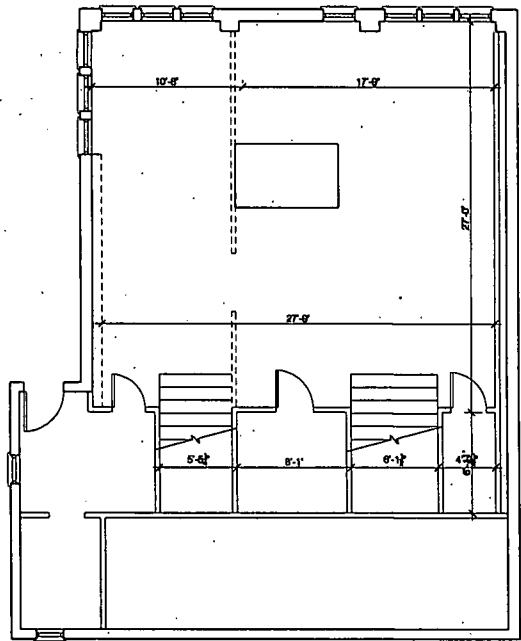
TELEPHONE: 301-484-8888
 FAX: 301-484-8888
BGK DESIGN BUILD LLC
 ARCHITECTURAL CONSULTANT
 MOHAMED A. KAMARA
 2827 4TH STREET, NE WASHINGTON, DC 20002
THE RENOVATION
 9618 DEWITT DRIVE
 MONTGOMERY COUNTY, MD
FRONT & SIDE ELEVATIONS

DESIGNER
 I/STAFF ARCHITECTS OR
 THEIR LICENSED STAFF
 SHALL PREPARE AND SEAL
 ALL ARCHITECTURAL
 CONSTRUCTION DRAWINGS
 IN ACCORDANCE WITH
 THE PROFESSIONAL
 REGISTERED ARCHITECTS
 ACT, TITLE 10, SUBTITLE
 10.02, OF THE CODE OF
 MONTGOMERY COUNTY, MD.

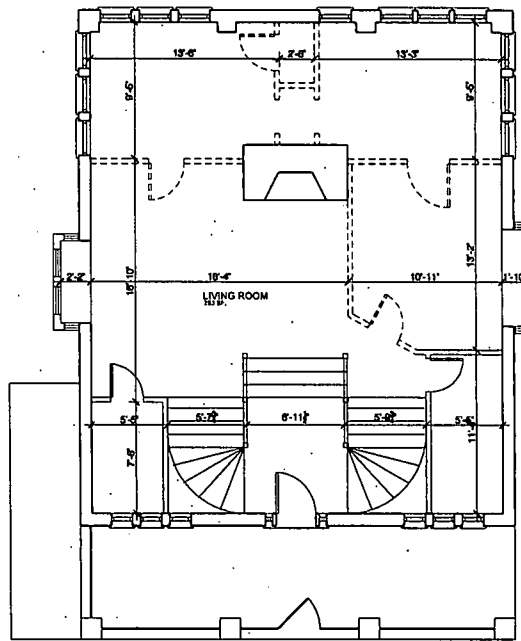


PROJ. NO.

11



EXISTING BSM'T FLOOR PLAN
 SCALE: 1/4" = 1'-0" 1430SF CLG HEIGHT 8'-4"



EXISTING FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0" 1124SF CLG HEIGHT 20'-2"

- DEMOLITION LEGEND**
- — — — — EXISTING WALL TO REMAIN
 - - - - - EXISTING WALL TO BE REMOVED
 - ▢ ▢ ▢ ▢ EXISTING WINDOWS TO BE REMOVED
 - ⌋ ⌋ ⌋ ⌋ EXISTING DOORS TO BE REMOVED
 - ⌋ ⌋ ⌋ ⌋ EXISTING STAIRS TO BE REMOVED
 - ⌋ ⌋ ⌋ ⌋ EXISTING RADIATORS TO BE REMOVED



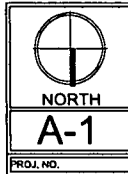
TELEPHONE
 202-390-8470
 FAX
 202-453-5050

BGK DESIGNBUILD LLC
 ARCHITECTURAL CONSULTANT
 2827 4TH STREET, NE WASHINGTON DC 20002
 ANNAPOLIS, MARYLAND

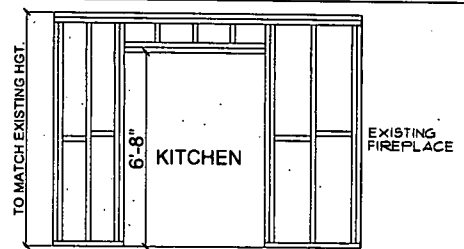
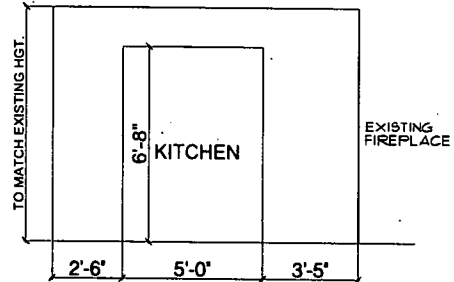
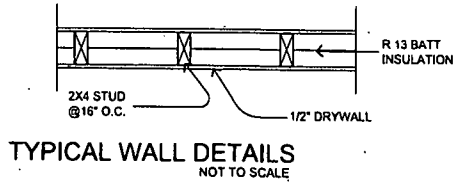
THE RENOVATION
 9618 DEWITT DRIVE
 MONTGOMERY COUNTY, MD

**EXISTING BSM'T & 1ST
 DEMOLITION PLANS.**

DISCLAIMER:
 ANY DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS IS NOT TO BE HELD BY ANY PARTY FROM THE DIMENSIONS AND CONDITIONS.

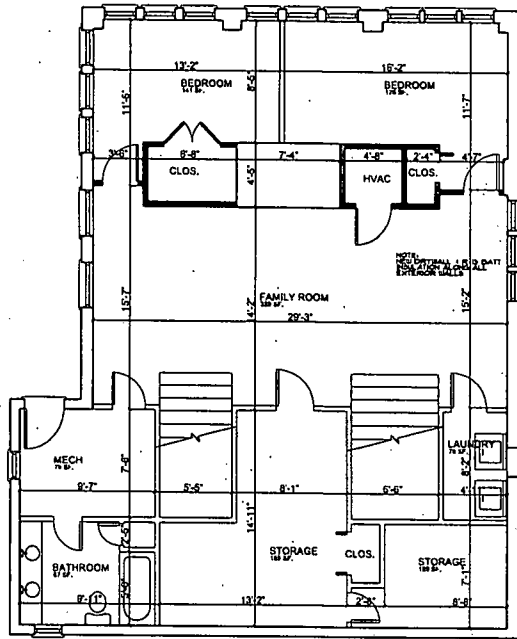


PROJ. NO.

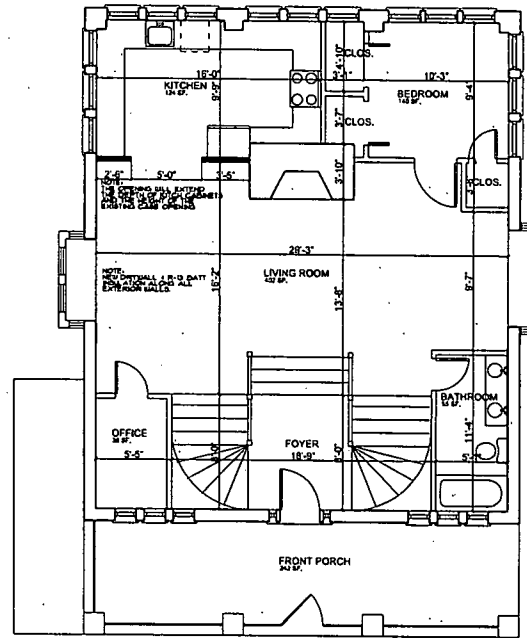


NOTE:
THE OPENING WILL EXTEND
THE DEPTH OF KITCH CABINETS
AND THE HEIGHT OF THE
EXISTING CASE OPENING

PROPOSED DOOR OPENING @ KITCHEN
SCALE: 1/2" = 1'-0"



PROPOSED BSM'T FLOOR PLAN
SCALE: 1/4" = 1'-0" 1630SF CLG HEIGHT 8'-2"

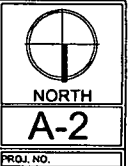


PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 1124SF CLG HEIGHT 20'-2"

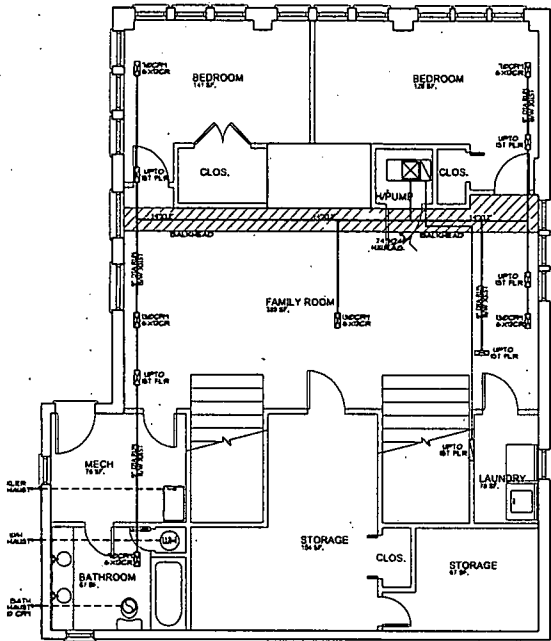


ARCHITECTURAL CONSULTANT
MOHAMED A. KAMARA
2827 4TH STREET, NE WASHINGTON DC 20002
TELEPHONE 202-390-9470
FAX 202-635-5660
DESIGN BUILD

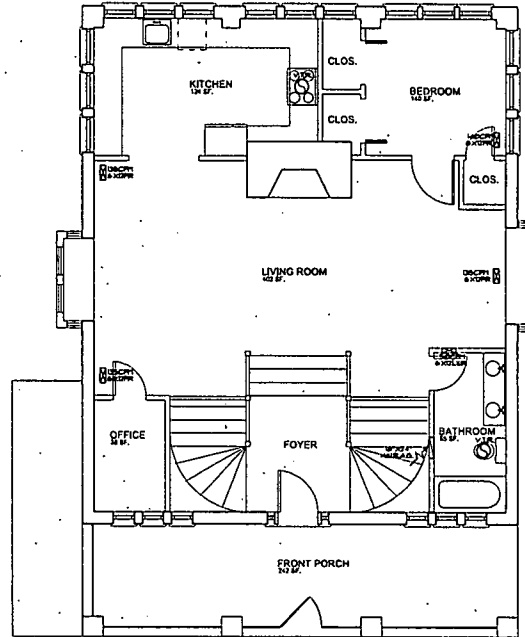
DISCLAIMER:
IF YOU DISCOVER ON THESE DRAWINGS SHALL HAVE RECEIVED UNDER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE NOT BE RESPONSIBLE FOR THE DIMENSIONS AND CONDITIONS.



PROJ. NO.



PROPOSED BSM'T FLOOR PLAN
 SCALE: 1/4" = 1'-0" 1430SF CLG HEIGHT 8'-4"

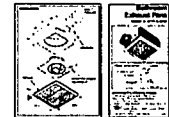
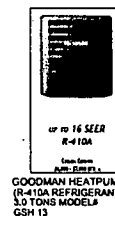


PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0" 1124SF CLG HEIGHT 20'-2"

MECHANICAL LEGEND

- ↑ RETURN AIR
- AFF ABOVE FINISH FLOOR
- CR CEILING REGISTER
- FR FLOOR REGISTER
- ⊙ EXHAUST FAN
- BS BIRD SCREEN
- HWR HIGH WALL REGISTER
- LWR LOW WALL REGISTER
- CFM CUBIC FEET PER MINUTE
- HRAR HIGH RETURN AIR REGISTER
- LRAR LOW RETURN AIR REGISTER
- ☒ SUPPLY DUCT
- ☐ RETURN DUCT
- WALL SUPPLY REGISTER
- ⊙ T THERMOSTAT
- UC UNDERCUT DOOR
- ⊙ AIR COOLED CONDENSING UNIT

UNIT	GOODMAN AIR CONDITIONER/FURNACE SCHEDULE						INDOOR UNIT MODEL	OUTDOOR UNIT MODEL	WATER HEATER MODEL & CAPACITY
	NOM TONS	CFM	NOMINAL COOLING BTU	SEER	EER	HEIGHT (IN)			
1	3.0	1200	36,000	16.0	12.8	48	37	34	GOODMAN ARPF 363618
5200 wats Max. Heat Strip = 5200 wats @ 65% = 5275 wats Total A/CCL Load = 6075 wats (9.075 kw) 1 Ton = 12000 BTU/hr									

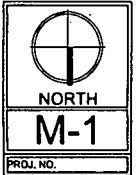


BGK DESIGNBUILD LLC
 ARCHITECTURAL CONSULTANT
 ARCHITECTURE & INTERIOR DESIGN
 2827 4TH STREET, NE WASHINGTON DC 20002
 TELEPHONE 202-390-9470
 FAX 202-635-6080

THE RENOVATION
 9618 DEWITT DRIVE
 MONTGOMERY COUNTY, MD

PROPOSED BSM'T & 1ST FLOOR PLANS.

NOTICE:
 WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL PREVAIL OVER ALL OTHER DIMENSIONS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL BE RESPONSIBLE FOR THE DIMENSIONS AND CONDITIONS.

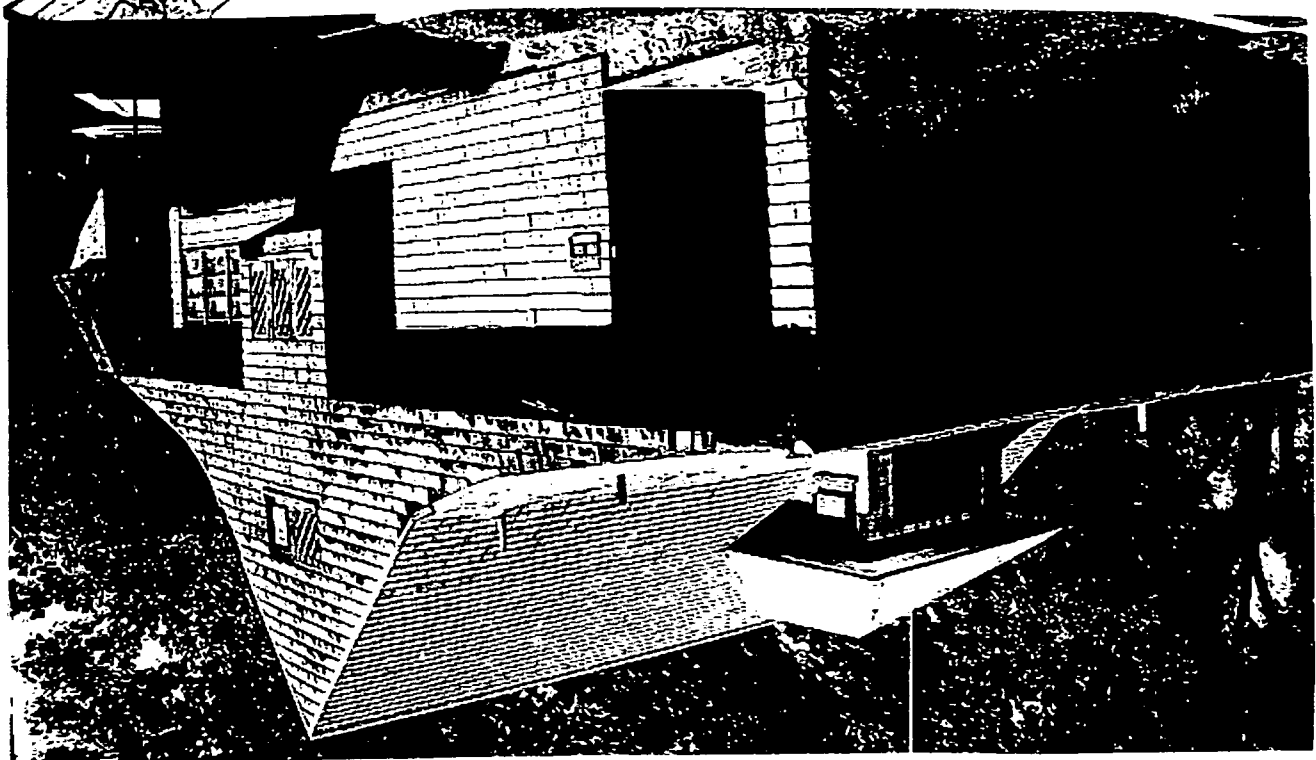


FI

VIEW OF REAR OF HOME
AS VIEWED FROM CORNER
OF DEWITT DR. + DEWITT CT.



VIEW OF FRONT OF HOME
AS VIEWED FROM NATIONAL
PARK SEMINARY APTS, 9610 DEWITT DR.



Existing Property Condition Photographs (duplicate as needed)

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VIEW OF EAST SIDE OF HOME AS VIEWED FROM 20 DEWITT CT. (DUTCH WINDMILL)

NE CORNER OF HOME. PROPOSED ADDITION UNDER PORCH BEGINS AT NE CORNER, CONTINUES UNDER N. PORCH LINE TO NW CORNER.

16

Existing Property Condition Photographs (duplicate as needed)



up

VIEW OF PORCH ROOF
- INDICATIVE OF WOOD CONDITION
AND PORCH-ROOF DETERIORATION



CLOSE-UP VIEW OF REAR OF HOME
- INDICATIVE OF WINDOW / PAINT /
SHINGLE DETERIORATION

Applicant: WAHL

Page: 11

7



Maryland Department of Planning
Maryland Historical Trust

Martin O'Malley
Governor
Anthony G. Brown
Lt. Governor

Richard Eberhart Hall
Secretary
Matthew J. Power
Deputy Secretary

October 12, 2011

Gregory and Abigail Wahl
4126 Fifth Street, NW
Washington, DC 20011

Re: American Bungalow-NPS, Montgomery County – Change/Alteration
Maryland Historical Trust Preservation Easement

Dear Mr. and Ms. Wahl:

The Maryland Historical Trust (MHT) is in receipt of your application, dated September 27, 2011, requesting approval to rehabilitate the Bungalow. The MHT Easement Committee (Committee) reviewed the application at its meeting on October 4, 2011.

Based upon the review and recommendation of the Committee, I approve the rehabilitation of the American Bungalow (as outlined in the September 27, 2011 application to MHT) except for the proposed roof work. The Easement Committee did not review the roof work item at the Applicants' request and anticipates a future Changes/Alteration submission focusing on that work item. The Committee approved the construction of a new bedroom closet in the great room space contingent upon the closet height terminating at the height of the picture rail. While the Committee does not endorse blown-in insulation, the method is approved conditioned upon review and approval of the installation method and details on how cross bracing will be addressed. Lastly, the proposed architectural plans should be updated to be consistent with the approved work item #3 which states, "as for the entryway between the kitchen and the Great Room, the portion of the remaining wall to the left of the door opening will extend the depth of the kitchen cabinets and the height of the cased opening, thus creating a door opening that is larger than the current opening." This work is consistent with The Secretary of the Interior's *Standards for the Treatment of Historic Properties, General Rehabilitation Standards 3, 5, and 6.*

Approval is valid for a period of six months from the date of this letter. Should you require additional time to complete the work, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Amy Skinner, Easement Administrator, at (410) 514-7632 or by email at askinner@mdp.state.md.us.

Sincerely,

J. Rodney Little
Director
Maryland Historical Trust

JRL/AMS

cc: Rory Swan, Servicez Unlimited
Renee Novak, MHT
Josh Silver, M-NCPPC



Maryland Department of Planning
Maryland Historical Trust

Martin O'Malley
Governor
Anthony G. Brown
Lt. Governor

Richard Eberhart Hall
Secretary
Matthew J. Power
Deputy Secretary

November 28, 2011

Gregory and Abigail Wahl
4126 Fifth Street, NW
Washington, DC 20011

Re: American Bungalow: NPS, Montgomery County – Change/Alteration
Maryland Historical Trust Preservation Easement

Dear Mr. and Mrs. Wahl:

The Maryland Historical Trust (MHT) is in receipt of your application, dated November 8, 2011, requesting approval to install insulation and a new shingle roof. The MHT Easement Committee (Committee) reviewed the application at its meeting on November 15, 2011.

Based upon the review and recommendation of the Committee, I approve the installation of insulation and a new shingle roof as submitted in the November 8, 2011 application conditioned upon *exactly* matching existing metal roof areas, and submission of metal roof and asphalt shingle specifications to MHT staff for review and approval. This work is consistent with The Secretary of the Interior's *Standards for the Treatment of Historic Properties, General Rehabilitation Standard 6*.

Approval is valid for a period of six months from the date of this letter. Should you require additional time to complete the work, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Amy Skinner, Easement Administrator, at (410) 514-7632 or by email at askinner@mdp.state.md.us.

Sincerely,

J. Rodney Little
Director
Maryland Historical Trust

JRL/AMS

cc: Joshua Silver, M-NCPPC
Renee Novak, MHT

Existing Property Condition Photographs (duplicate as needed)



VIEW OF FRONT OF HOME
AS VIEWED FROM NATIONAL
PARK SEMINARY APTS, 9610 DEWITT DR.



VIEW OF REAR OF HOME
AS VIEWED FROM CORNER
OF DEWITT DR. + DEWITT CT.

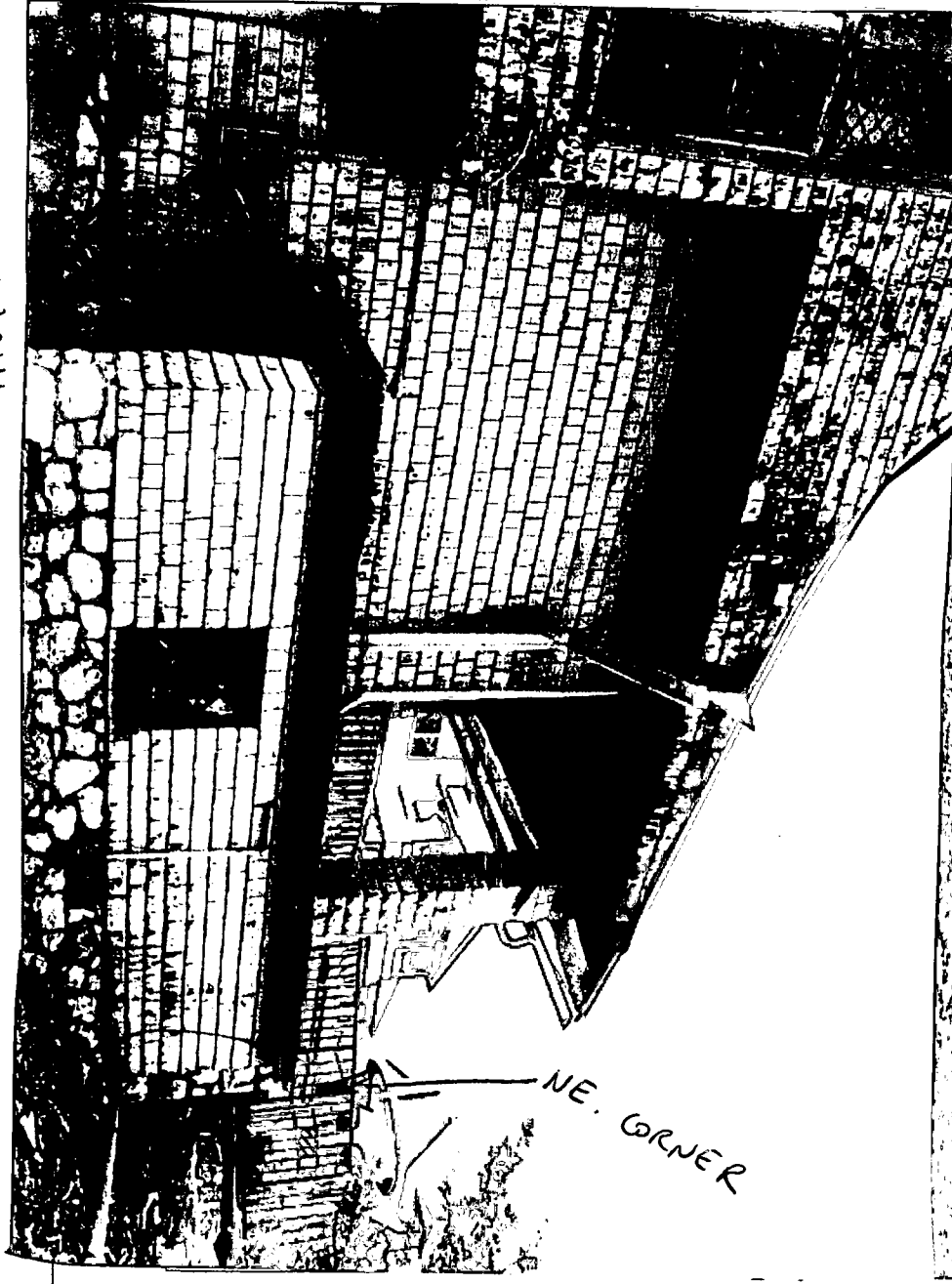
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Applicant: WAHL

Page: 9



VIEW OF EAST SIDE OF HOME
AS VIEWED FROM 20 DAULT CT.
(DUTCH WINDMILL)



NE CORNER OF HOME.
PROPOSED ADDITION UNDER PORCH
BEGINS AT NE CORNER, CONTINUES
UNDER N. PORCH LINE TO
NW CORNER.

Existing Property Condition Photographs (duplicate as needed)



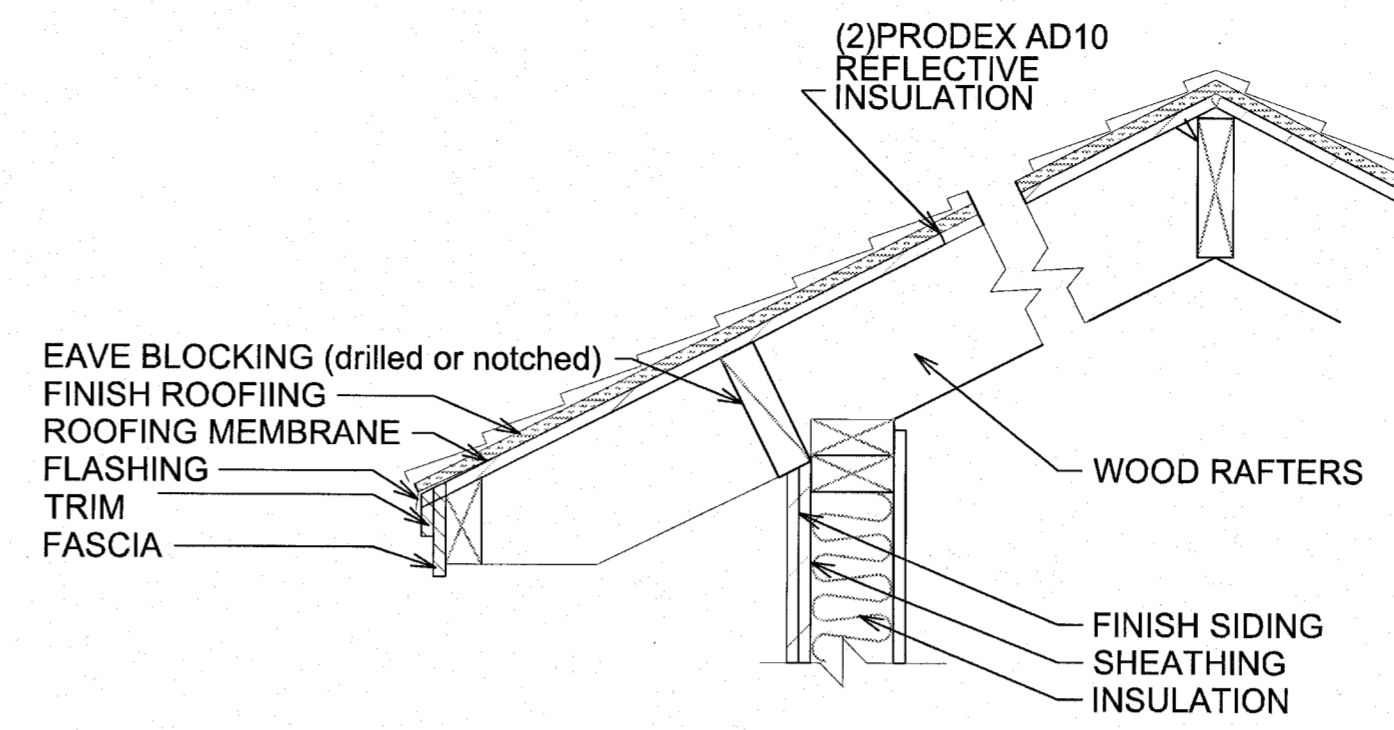
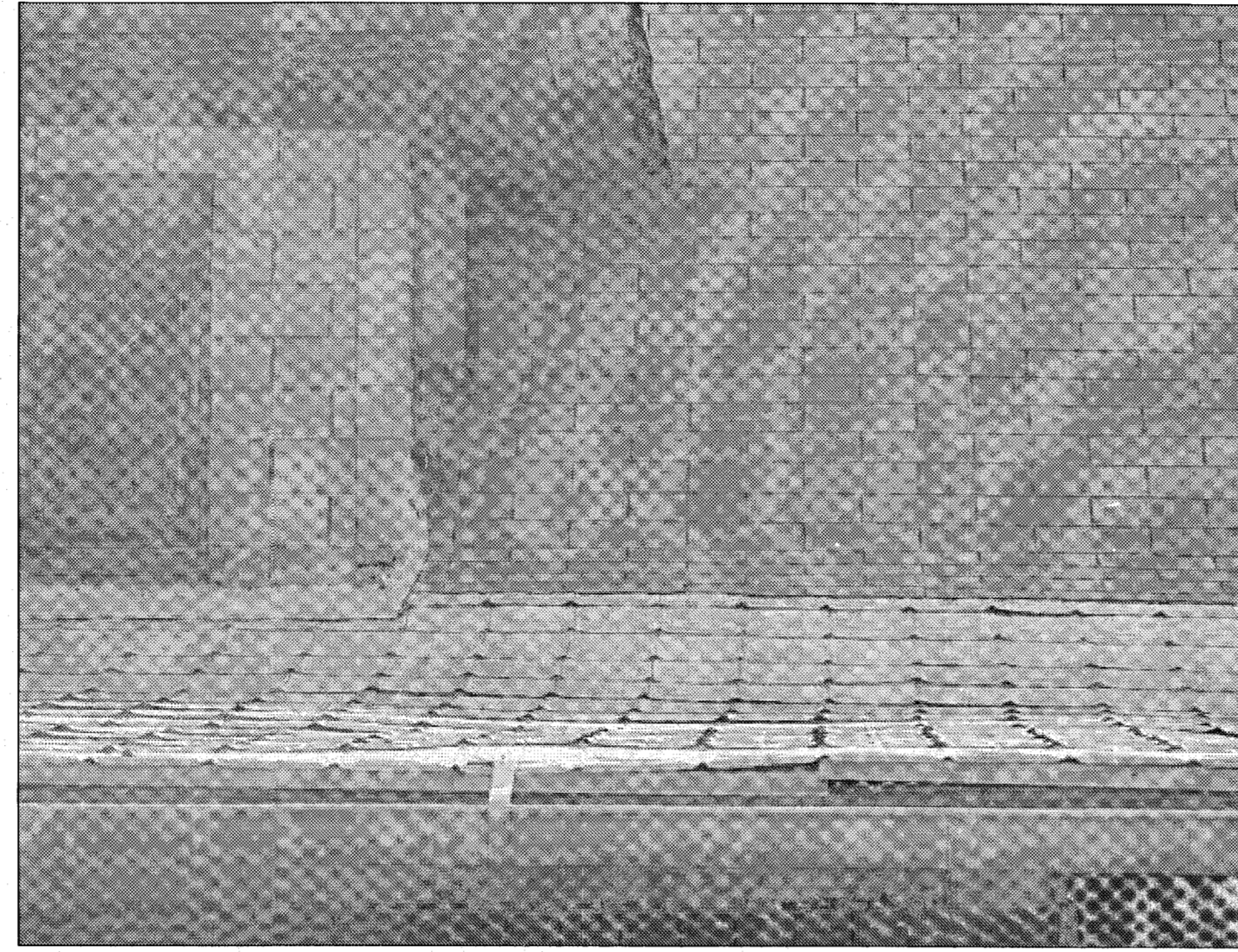
VIEW OF PORCH ROOF
- INDICATIVE OF WOOD CONDITION
AND PORCH-ROOF DETERIORATION



CLOSE-UP VIEW OF REAR OF HOME
- INDICATIVE OF WINDOW / PAINT /
SHINGLE DETERIORATION

Applicant: WAHL

Page: 11



INSULATION LAYERS		PRODEX AD10 THERMAL INSULATION																																																							
Aluminum Foil		Technical specifications																																																							
polyethylene backing		1. PRODUCT																																																							
Closed-cell Polyethylene foam		2. MEASUREMENTS AND TOLERANCES OF THE STANDARD PRODUCT																																																							
polyethylene backing		3. CHARACTERISTICS OF THE PRODUCT																																																							
Aluminum Foil																																																									
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EXISTING FRONT ELEVATION

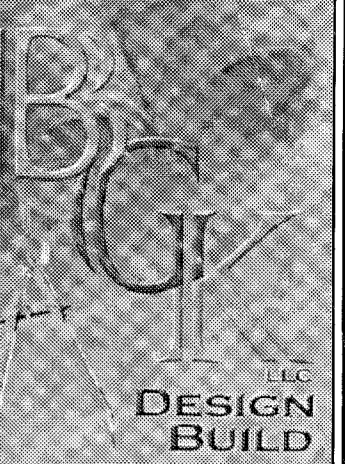
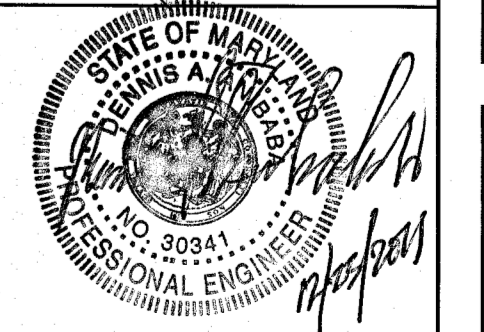
SCALE: 1/4" = 1'-0"



EXISTING SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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202-635-6060

ARCHITECTURAL CONSULTANT
MOHAMMED A. KAMARA

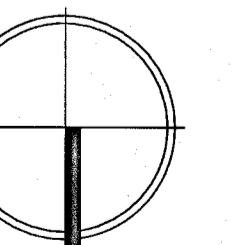
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THE RENOVATION
9618 DEWITT DRIVE
MONTGOMERY COUNTY, MD

FRONT & SIDE ELEVATIONS

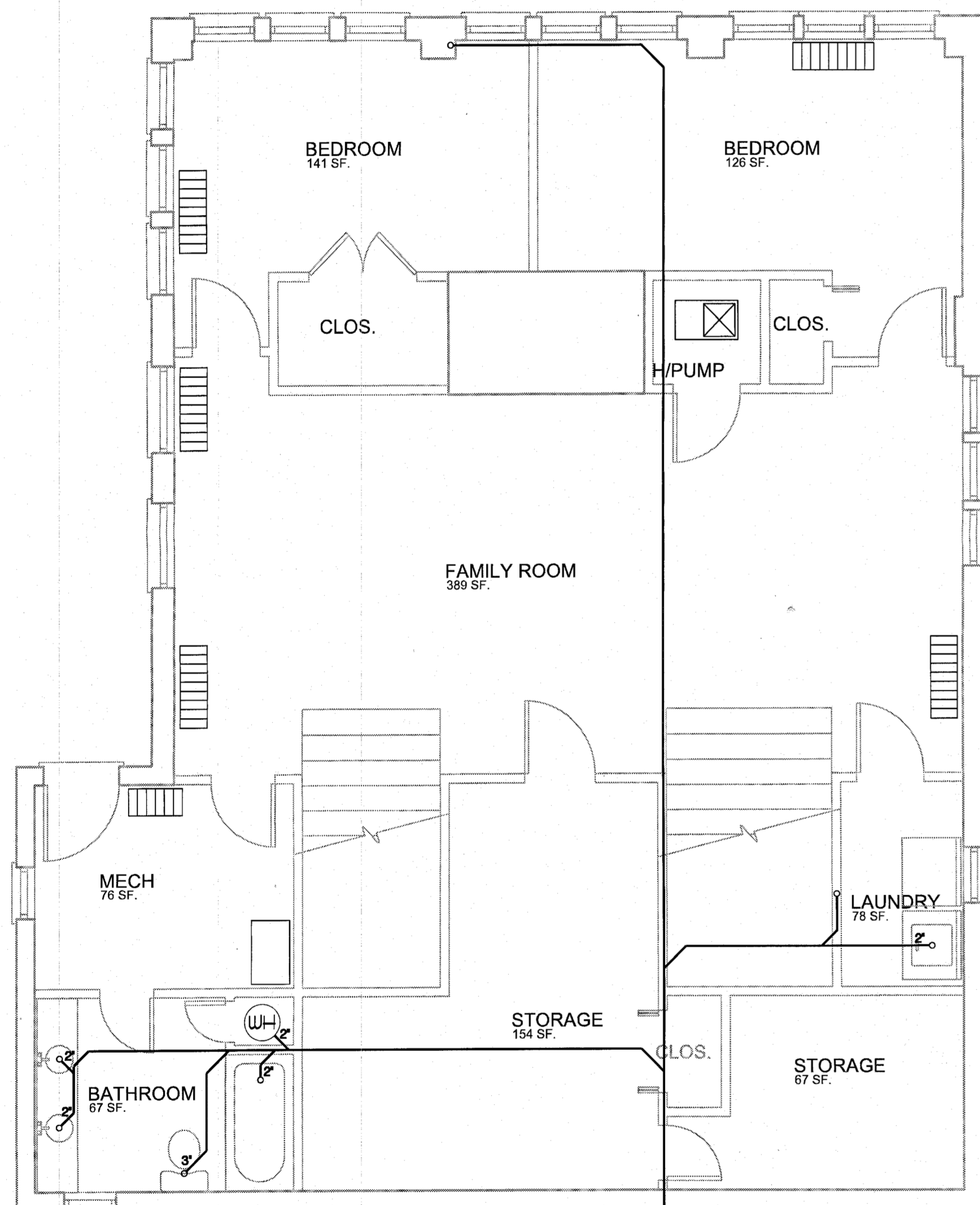
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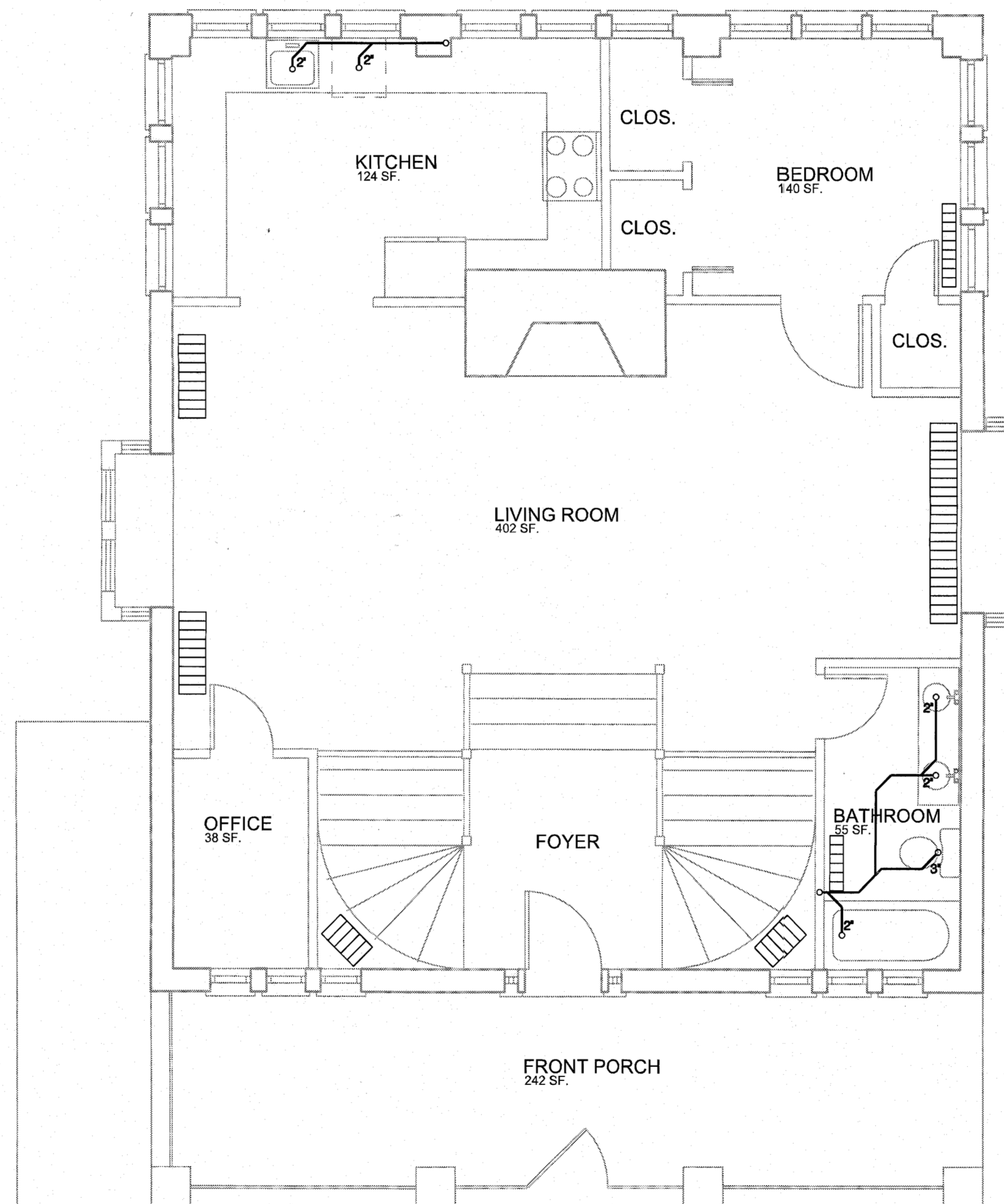


NORTH
ELEV-1

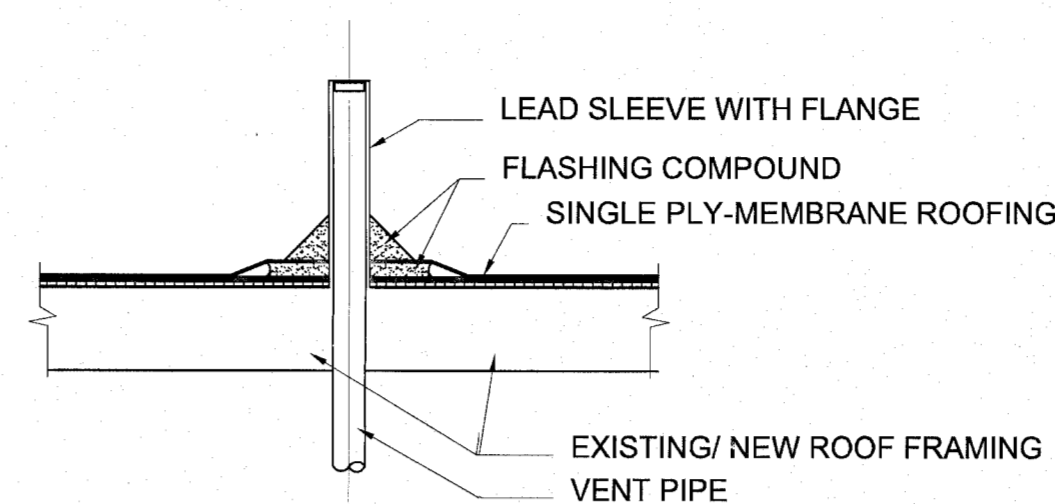
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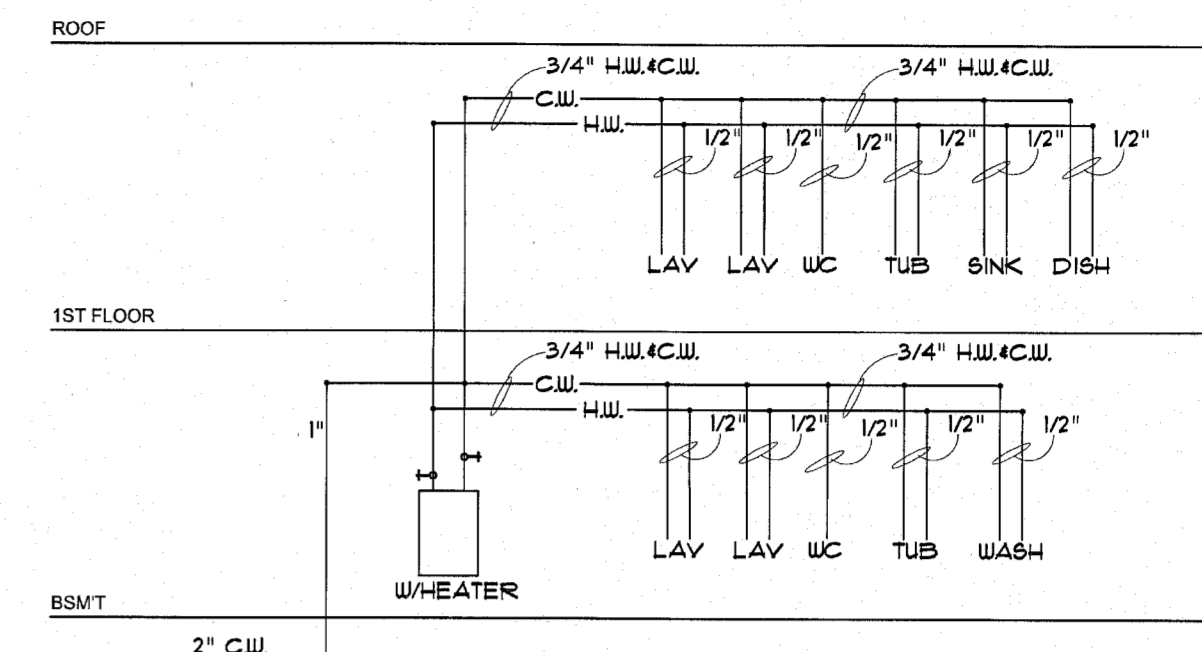
PROPOSED BSM'T FLOOR PLAN
SCALE: 1/4" = 1'-0" 1430SF CLG HIEIGHT 8'-4"



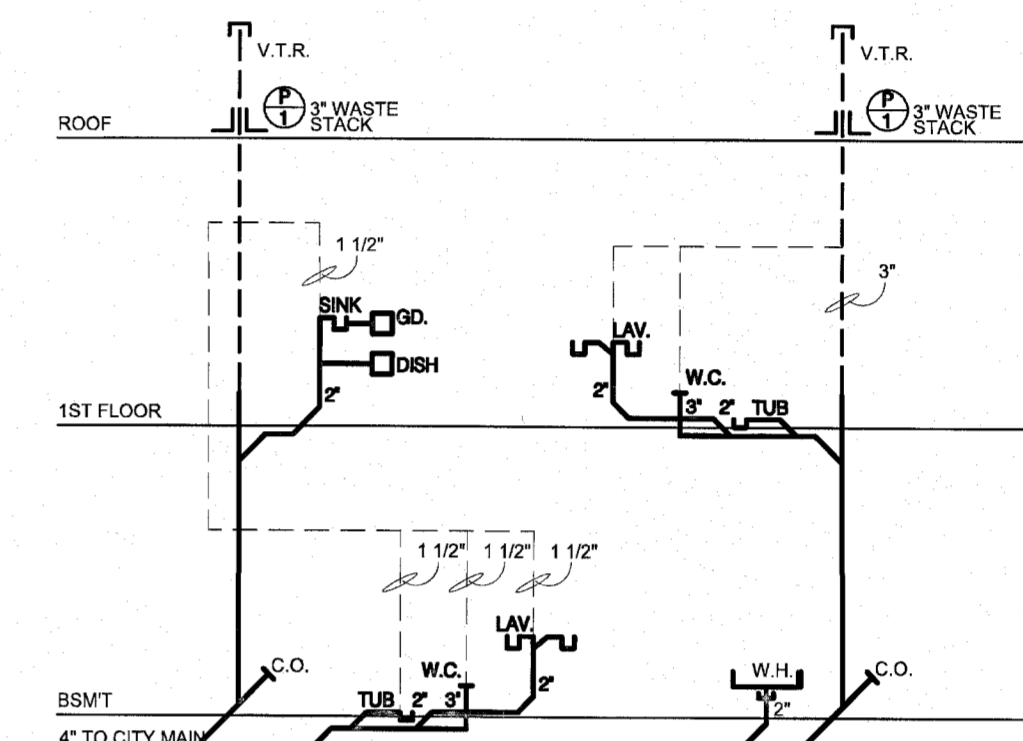
PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 1124SF CLG HIEIGHT 20'-2"



VENT THROUGH ROOF



WATER SUPPLY RISER DIAGRAM



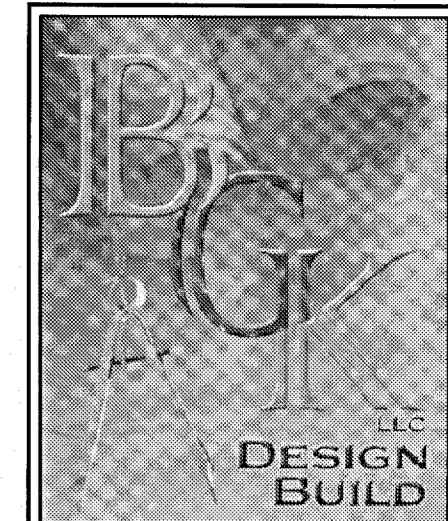
SANITARY RISER DIAGRAM

PLUMBING NOTES

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, TOOLS AND MATERIALS REQUIRED FOR THE COMPLETE INSTALLATION OF PLUMBING AS SHOWN ON THE DRAWINGS, INCLUDING THE FOLLOWING: SANITARY DRAINAGE SYSTEM, COMPLETE WATER DISTRIBUTION SYSTEM AND NEW PLUMBING FIXTURES AS INDICATED.
2. ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL BE NEAT MECHANICALLY CORRECT AND SHALL SHOW THE HIGHEST STANDARDS OF TRADE SKILLS IN ITS APPEARANCE UPON COMPLETION AND IN ACCORDANCE WITH B.O.C.A. CODE AND DC CODE.
3. ALL WORK SHALL BE PROTECTED FROM DAMAGE AND ALL PIPES SHALL BE PROPERLY CLOSED WITH TEST PLUGS OR SCREW CAPS TO PREVENT STOPPAGE. ALL FIXTURES SHALL BE ADEQUATELY PROTECTED DURING CONSTRUCTION.
4. ALL PLUMBING LINES SHALL RUN PARALLEL WITH BUILDING LINES WHERE POSSIBLE.
5. SLOPE DRAINAGE PIPING WITH A FALL OF 1" PER FOOT, WHERE POSSIBLE.
6. BELOW GROUND SOIL AND WASTE PIPING SHALL BE CAST IRON SERVICE WEIGHT, ABOVE GROUND SOIL, WASTE AND VENT PIPING MAY BE SCHEDULE #40 PLASTIC PIPE IN LIEU OF CAST IRON.
7. DOMESTIC WATER PIPING SHALL BE COPPER TUBING OR COPPER ALLOY WITH WROUGHT COPPER OR CAST BRONZE FITTINGS.
8. HOT AND COLD WATER PIPING SHALL BE INSULATED WITH 1" PRE-FORMED PIPE INSULATION.
9. ALL PIPING SHALL BE PROPERLY SUPPORTED AND ANCHORED WITH METAL SLEEVES WHERE PIPING PENETRATES WALLS. PROVIDE BRASS ESCUTCHEONS IN FINISHED AREAS.
10. ALL WATER PIPING SHALL BE INSULATED WITH 1" GLASS FIBER PRE-FORMED PIPE INSULATION WITH VAPOR BARRIER JACKET.
11. ALL GAS PIPING SHALL BE SCHEDULE #40 BLACK, ASTM A120 WITH 150 LB. BANDED MALLEABLE IRON SCREWED FITTINGS.

LEGEND		
V.T.R.	VENT THRU ROOF	DOMESTIC WATER SUPPLY
TUB	BATH TUB	HOT WATER SUPPLY LINE
LAV.	LAVATORY	SPRINKLER SUPPLY
WC	WATER CLOSET	SPRINKLER HEAD (ORDINARY HAZARD @ 130 SF/HEAD)
WASH	WASHER	GAS SUPPLY LINE
NFWH	NON-FREEZE WATER HYDRANT	WATER SHUT OFF VALVE
CW	COLD WATER	CLEANOUT
HW	HOT WATER	WATER METER
SH	SHOWER	FD
---	WASTE	FLOOR DRAIN
⊕	VENT	GAS SHUT OFF VALVE
⊕	HOSE BIB (HB)	AIR ADMITTANCE VALVE (AAV)

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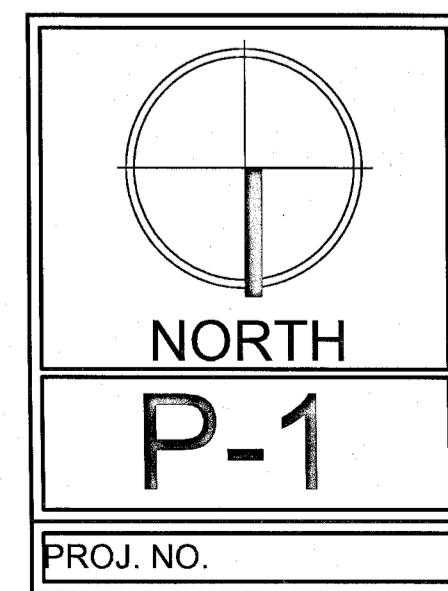
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THE RENOVATION
9618 DEWITT DRIVE
MONTGOMERY COUNTY, MD

**PROPOSED BSM'T & 1ST
PLUMBING FLOOR PLANS.**

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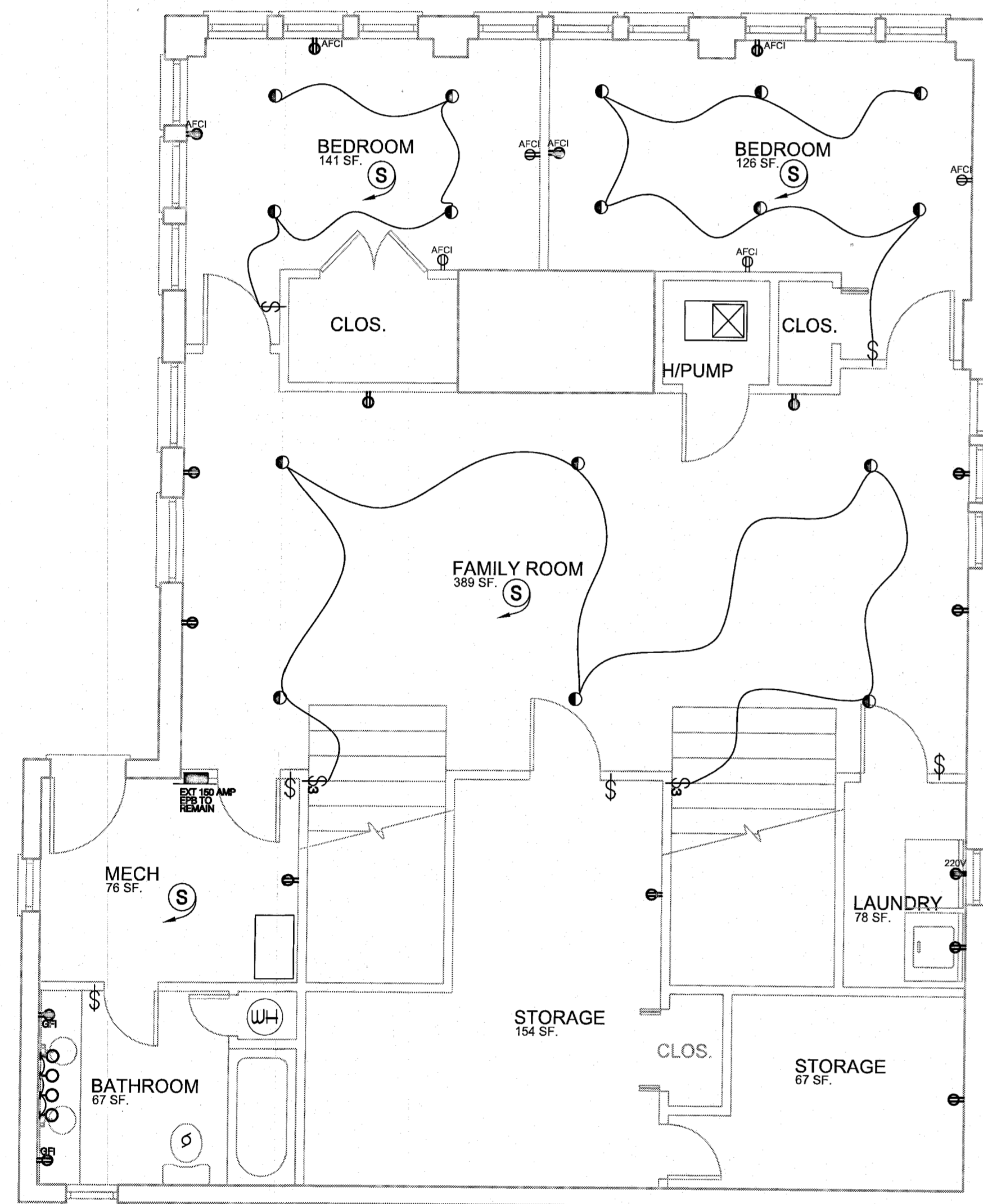


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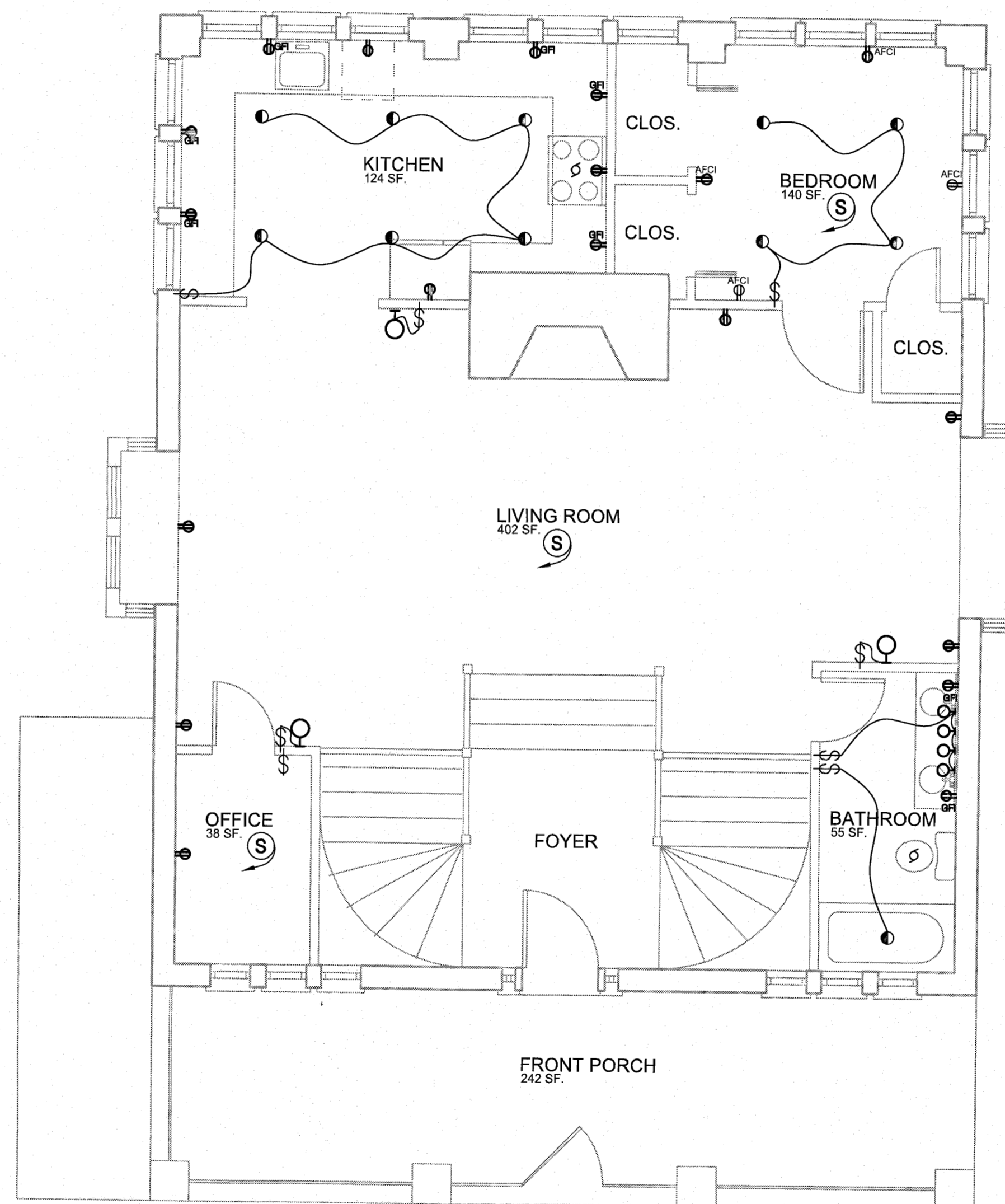
ELECTRICAL NOTES

- ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- CIRCUIT NUMBERS SHOWN ARE FOR IDENTIFICATION ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BALANCE ALL PHASES IN THE PANELBOARD. (BALANCE LOAD).
- SEE MECHANICAL PLANS FOR EXACT LOCATIONS OF ALL MOTORS AND OTHER EQUIPMENT BEFORE ROUGH-IN.
- WHERE WIRE SIZES ARE INDICATED ON THE PLANS FOR INDIVIDUAL CIRCUITS, THE INDICATED WIRE SIZE SHALL APPLY TO THE COMPLETE CIRCUIT UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY ALL EQUIPMENT NOT FURNISHED UNDER THIS SECTION BEFORE ROUGH-IN.
- SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF BUILDING EQUIPMENT BEFORE ROUGH-IN.
- CONDUIT AND/OR CABLE RUNS ARE SHOWN SCHEMATICALLY. BUILDING CONDITION WILL DETERMINE ACTUAL RUNS.
- ALL JUNCTION BOXES SHALL BE OF CODE GAUGE AND OF THE SIZE, REQUIRED TO ACCOMMODATE CONSTRUCTION SHOWN.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EQUIPMENT REQUIRING ELECTRICAL CONNECTION BEFORE ROUGH-IN.
- THE CONTRACTOR SHALL VERIFY WITH THE MANUFACTURER THE EXACT LOCATION OF CONNECTION BOX TO MECHANICAL EQUIPMENT BEFORE
- THE CONTRACTOR SHALL EXTEND WIRING FROM THE JUNCTION BOX, RECEPTACLE, ETC., AND MAKE FINAL CONNECTION TO ALL BUILDING ELECTRICAL CONNECTIONS.
- ALL WORKMANSHIP, MATERIALS AND EQUIPMENT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER THE ACCEPTANCE OF CONSTRUCTION BY THE OWNER.
- LOAD CENTER SHALL BE THE CIRCUIT BREAKER TYPE AS MANUFACTURED BY SQUARE D CO., CUTTLER HAMMER OR EQUAL.
- THE CONTRACTOR SHALL VISIT EXISTING SITE AND DETERMINE WHICH MATERIALS EFFECT HIS BID.
- THE CONTRACTOR SHALL RESTORE ALL SYSTEMS AND AREAS DISTURBED BY HIS WORK TO THE SATISFACTION OF THE OWNER AND DEVELOPER.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND CERTIFICATIONS OF INSPECTIONS INCLUDING THE COST OF SAME IN HIS CONTRACT.
- ALL NEW MATERIALS FURNISHED FOR THIS PROJECT SHALL BE LISTED BY THE UNDERWRITER'S LABORATORIES, INC.
- ALL PHOTOCELLS SHALL BE WEATHERPROOFED, SURFACED MOUNTED WITH CORROSION PROOF PLATE AND SHALL BE MANUFACTURED BY TORK OR SIMILAR.
- THE CONTRACTOR MUST ASSURE EQUIPMENT GROUNDING SYSTEM CONTINUITY.
- THERMOSTAT WIRING SHALL BE AS PER DIAGRAM BY UNIT MANUFACTURER, SEE MECHANICAL PLANS FOR EXACT LOCATION.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, AND OTHER RULES AND REGULATIONS OF THE LOCAL ELECTRICAL AND BUILDING CODES.

- ALL WIRING SHALL BE "BX" WITH COPPER GROUND.
- OUTLETS MONTED ON COMMON WALL SHALL NOT BE MONTED BACK TO BACK. THEY SHALL BE STAGGERED TO PREVENT SOUND TRANSMISSION.
- NUMBER AND SIZE OF CONNECTORS, CONDUIT, CONTROL PANEL AND MANUFACTURER TO PERFORM WORK AS REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION.
- UNIT SHALL BE PREWIRED WITH A MINIMUM OF 2 PAIR OF 24 AWG TELEPHONE CABLES USING MODULRAS JACKS, TERMINATING IN STANDARD NETWORK INTERFACE AS REQUIRED BY C & P TELEPHONE COMPANY.
- THE CONTRACTOR SHALL COORDINATE DOOR ENTRY SYSTEM REQUIREMENTS WITH OWNER PRIOR TO ROUGH-IN AND PROVIDE ALL NECESSARY COMPONENTS TO ENSURE THAT A COMPLETE OPERATING SYSTEM IS PROVIDED.
- BRANCH CIRCUIT CONNECTORS SHALL BE MINIMUM NO. 12 AWG, HOMERUNS SHALL BE NO. 10 AWG = TW INSULATION +/- LARGER = FEEDERS = THWN INSULATION.



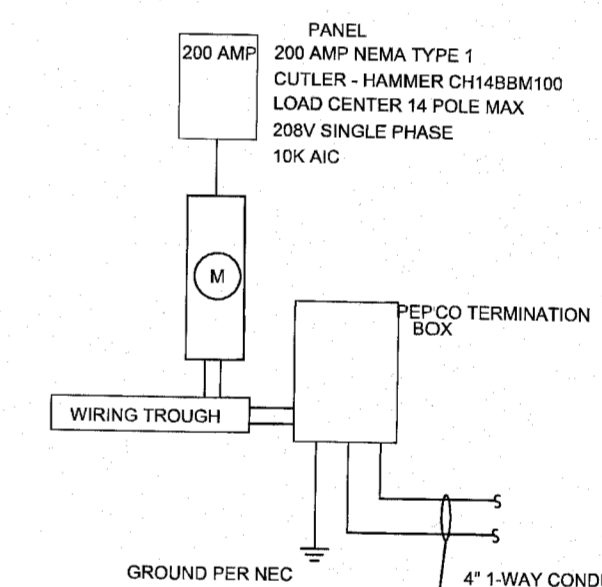
PROPOSED BSM'T FLOOR PLAN
SCALE: 1/4" = 1'-0" 1430SF CLG HIEGHT 8'-4"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 1124SF CLG HIEGHT 20'-2"

TYPICAL UNIT PANEL SCHEDULE

amp	amp	amp	amp		
20	1	kitchen	2	kitchen	20
20	3	garbage disp	4	refridg	20
15	5	gen. lights	6	gen. lights	15
60	7	elec. furnace	8	heat	30
50	9	and blower	10	pump	30
50	11	elec. range	12	smoke detect.	15
			13	WASHER/DRYER	30



ELECTRIC RISER DIAGRAM

ELECTRICAL SYMBOL LIST

- 1x4' FLUORESCENT FIXTURE
- INCANDESCENT LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- WALL MOUNTED FIXTURE
- MOTOR
- BUZZER
- SINGLE POLE LIGHT SWITCH
- THREE WAY LIGHT SWITCH
- WP WATER PROOF
- TELEPHONE JACK
- ELECTRIC PANEL BOX
- PS PULL CHAIN SWITCH
- THERMOSTAT
- 120V SMOKE DETECTOR (HARDWIRED & INTERCONNECTED) W/ BATT BACK UP
- OUTLET 110V
- GFI GROUND FAULT INTERRUPT
- AFCI ARC FAULT CIRCUIT INTERRUPTER
- OUTLET 220V
- ELECTRICAL PANEL
- CHIMES/BELL
- CEILING FAN W/ LIGHT FIXTURE

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number _____, Expiration Date: _____

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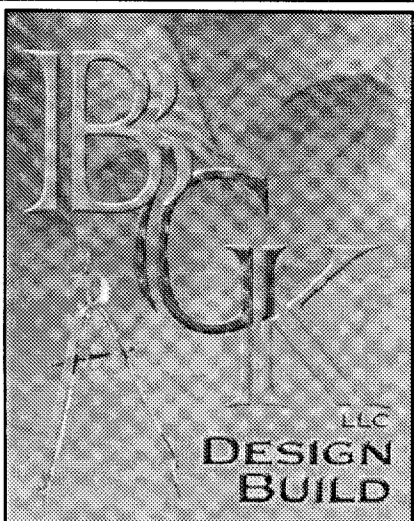
**PROPOSED BASEMENT & 1ST FLOOR
ELECTRICAL PLANS**

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NORTH

E-1

PROJ. NO.



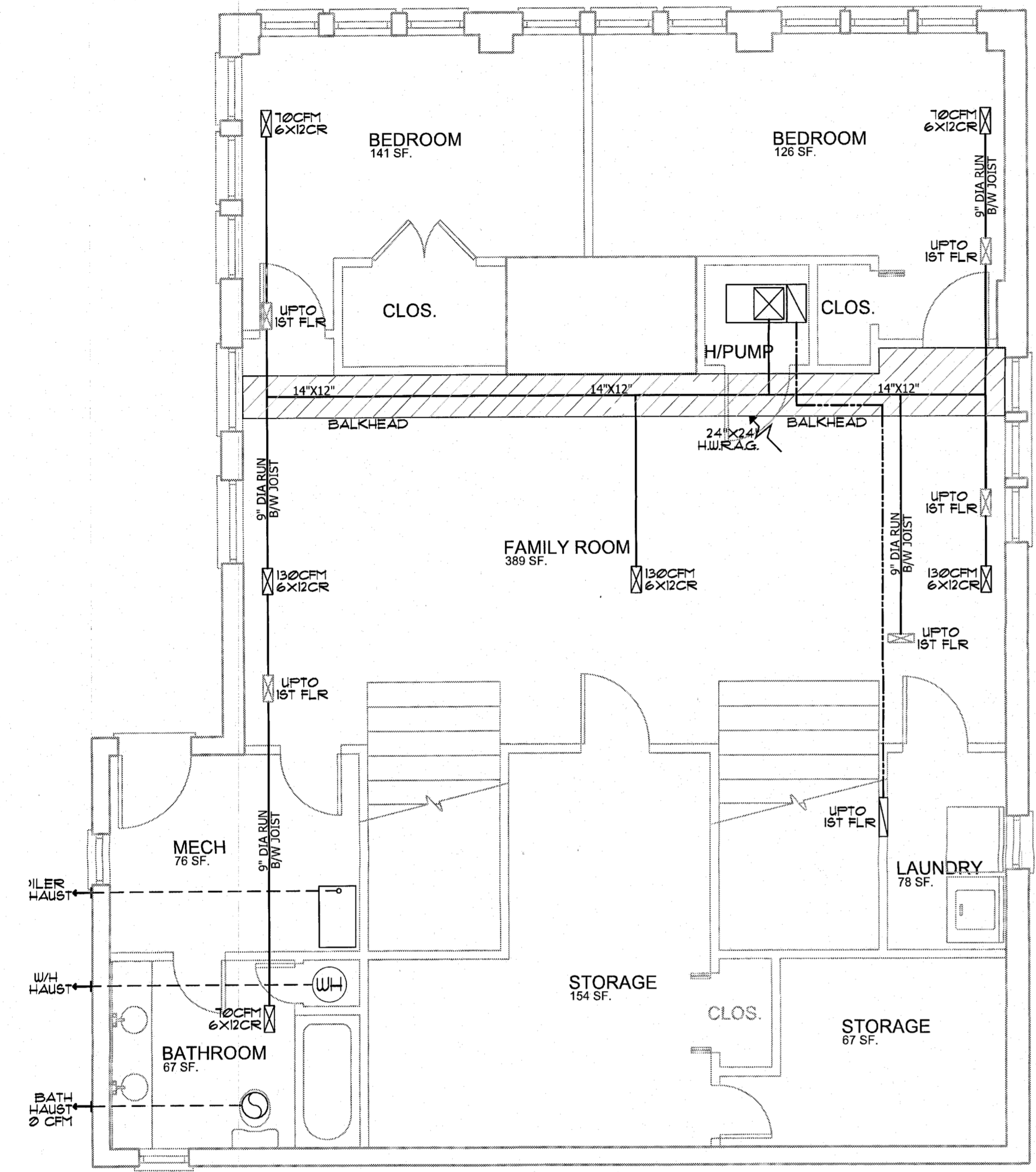
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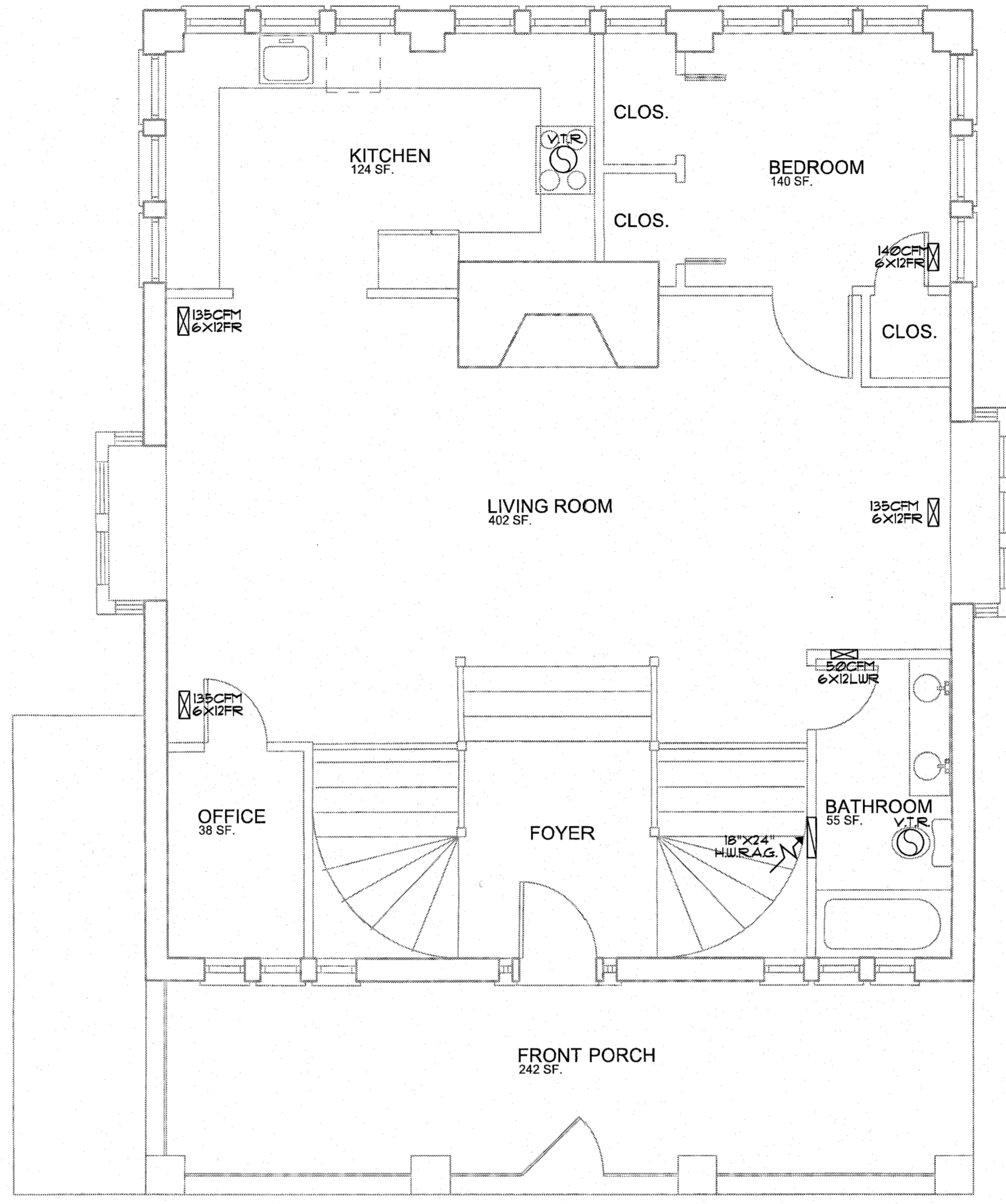
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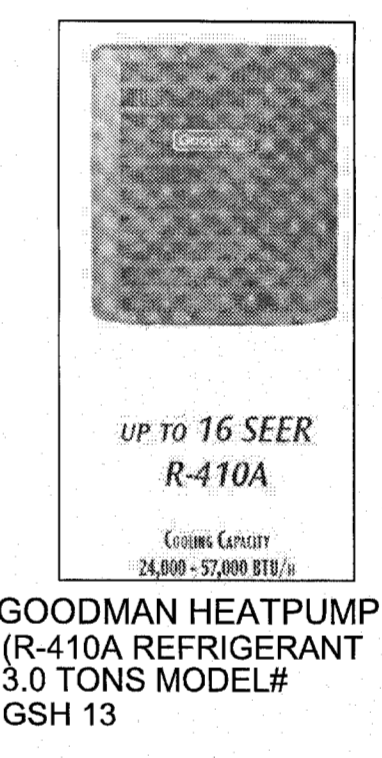
**PROPOSED BSM'T & 1ST
FLOOR PLANS.**



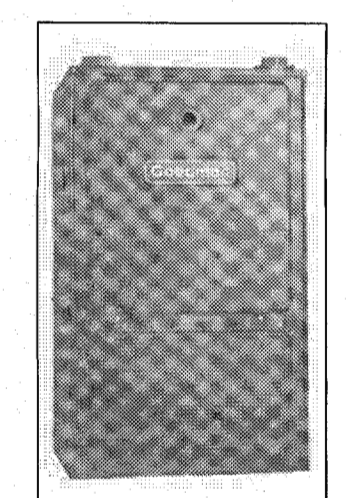
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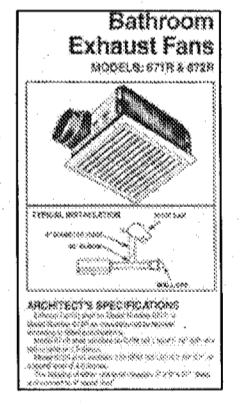
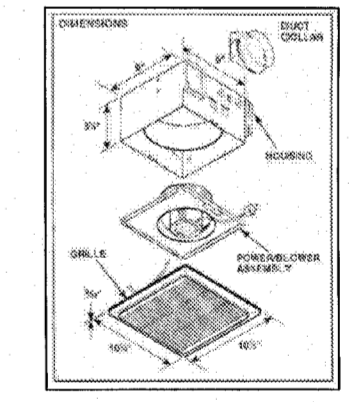
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UP TO 16 SEER
R-410A
Goodman Heatpump
(R-410A REFRIGERANT)
3.0 TONS MODEL#
GSH 13



Goodman Air-Tite
AIR HANDLER
3.0 TONS MODEL#
ARPF 363616



MECHANICAL LEGEND

- ↖ RETURN AIR
- AFF ABOVE FINISH FLOOR
- CR CEILING REGISTER
- FR FLOOR REGISTER
- ⊙ EXHAUST FAN
- BS BIRD SCREEN
- HWR HIGH WALL REGISTER
- LWR LOW WALL REGISTER
- CFM CUBIC FEET PER MINUTE
- HRAR HIGH RETURN AIR REGISTER
- LRAR LOW RETURN AIR REGISTER
- ⊠ SUPPLY DUCT
- ⊡ RETURN DUCT
- WALL SUPPLY REGISTER
- ⊙ THERMOSTAT
- UC UNDERCUT DOOR
- ⊗ AIR COOLED CONDENSING UNIT

UNIT	GOODMAN CONDENSOR/AIR HANDLER SCHEDULE						OUTDOOR UNIT			INDOOR UNIT			INDOOR UNIT MODEL	OUTDOOR UNIT MODEL	WATER HEATER MODEL & CAPACITY
	NOM TONS	CFM	NOMINAL HEATING BTU	NOMINAL COOLING BTU	SEER	EER	HIEGHT (IN)	WIDTH (IN)	DEPTH (IN)	HIEGHT (IN)	WIDTH (IN)	DEPTH (IN)			
1	3.0	1200	37,000	36,000	14.0	12.5	38 1/4"	35 1/2"	35 1/2"	53 1/4"	22"	24"	GOODMAN ARPF 363616	GOODMAN GSH 13	WHIRLPOOL GAS WATER HEATER MODEL# E2F5LD045V

5500 watts
Aux. Heat Strip = 5500 watts x 65% = 3575 watts
Total ACCU Load = 9075 watts (9.075 kw)

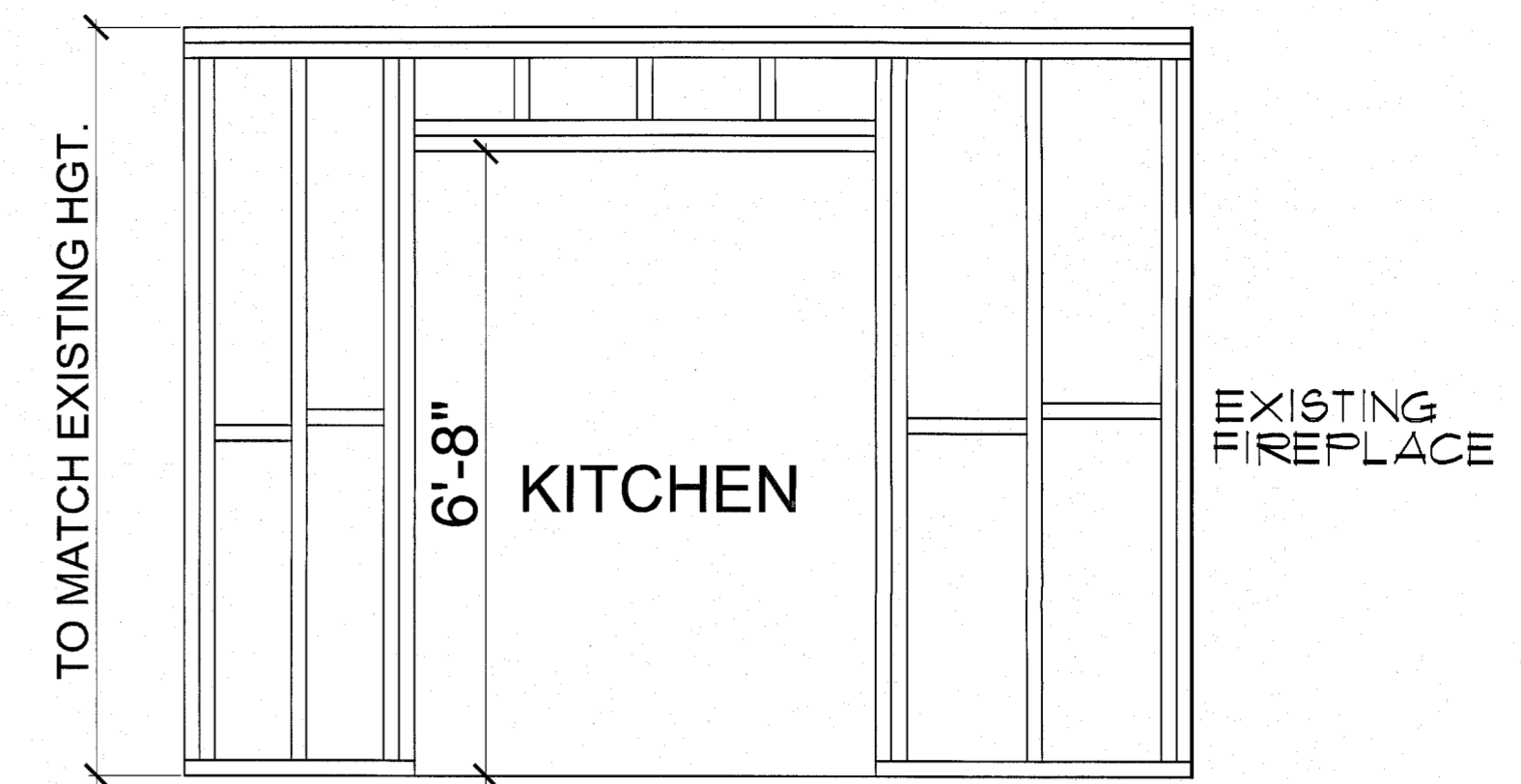
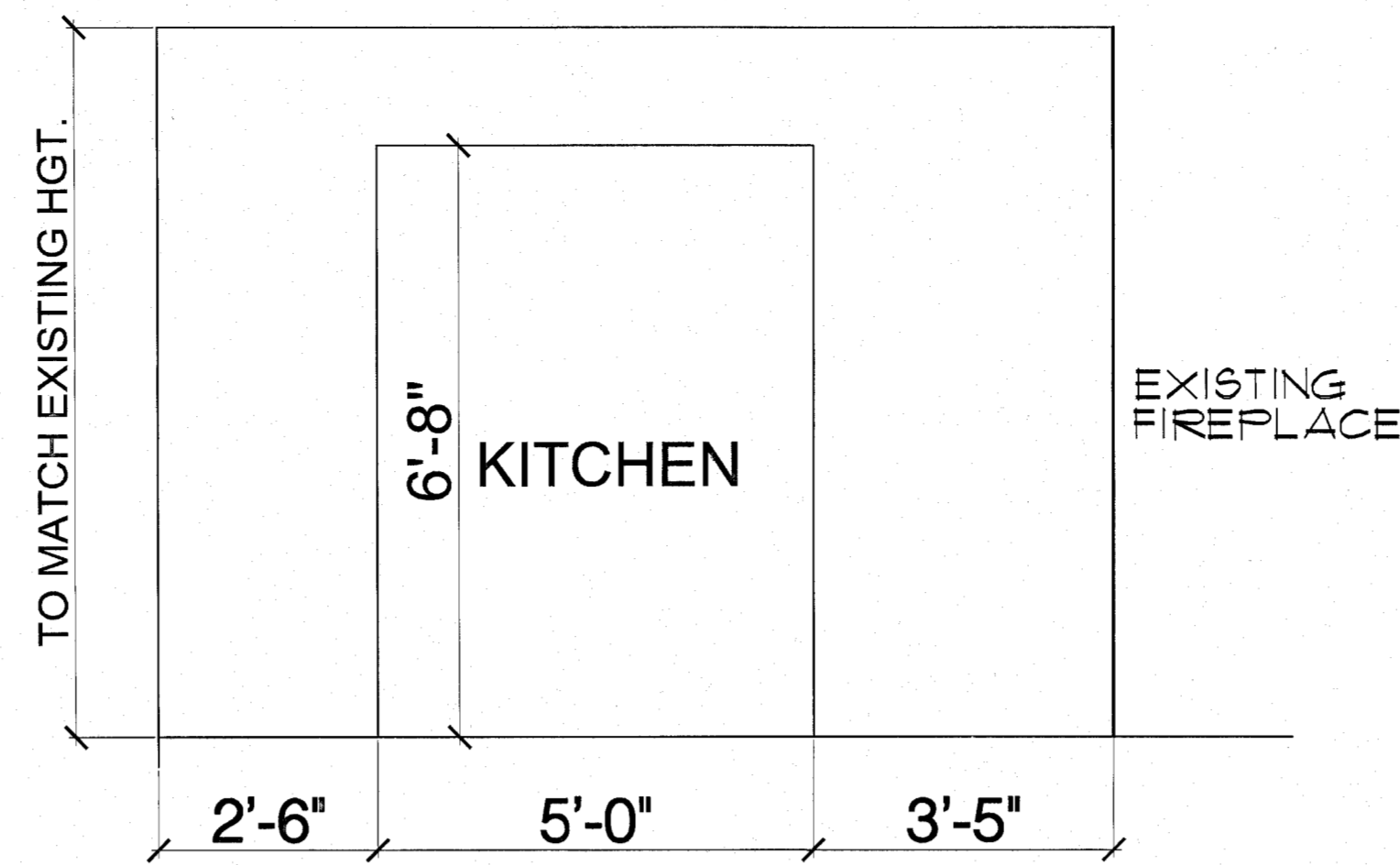
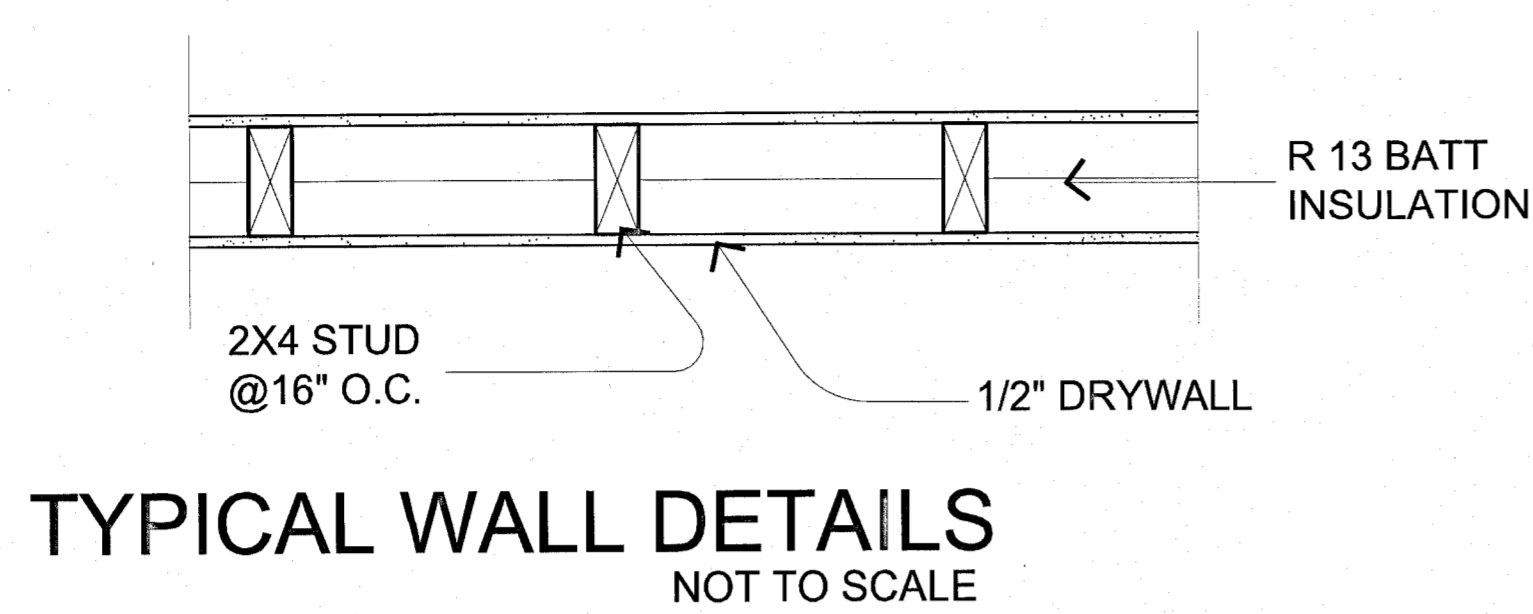
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NORTH

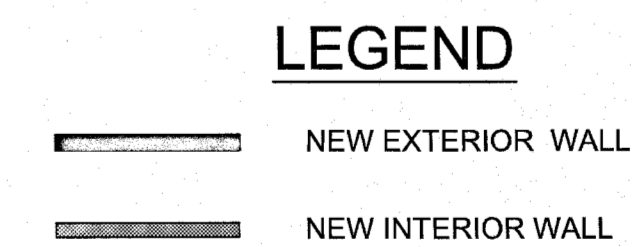
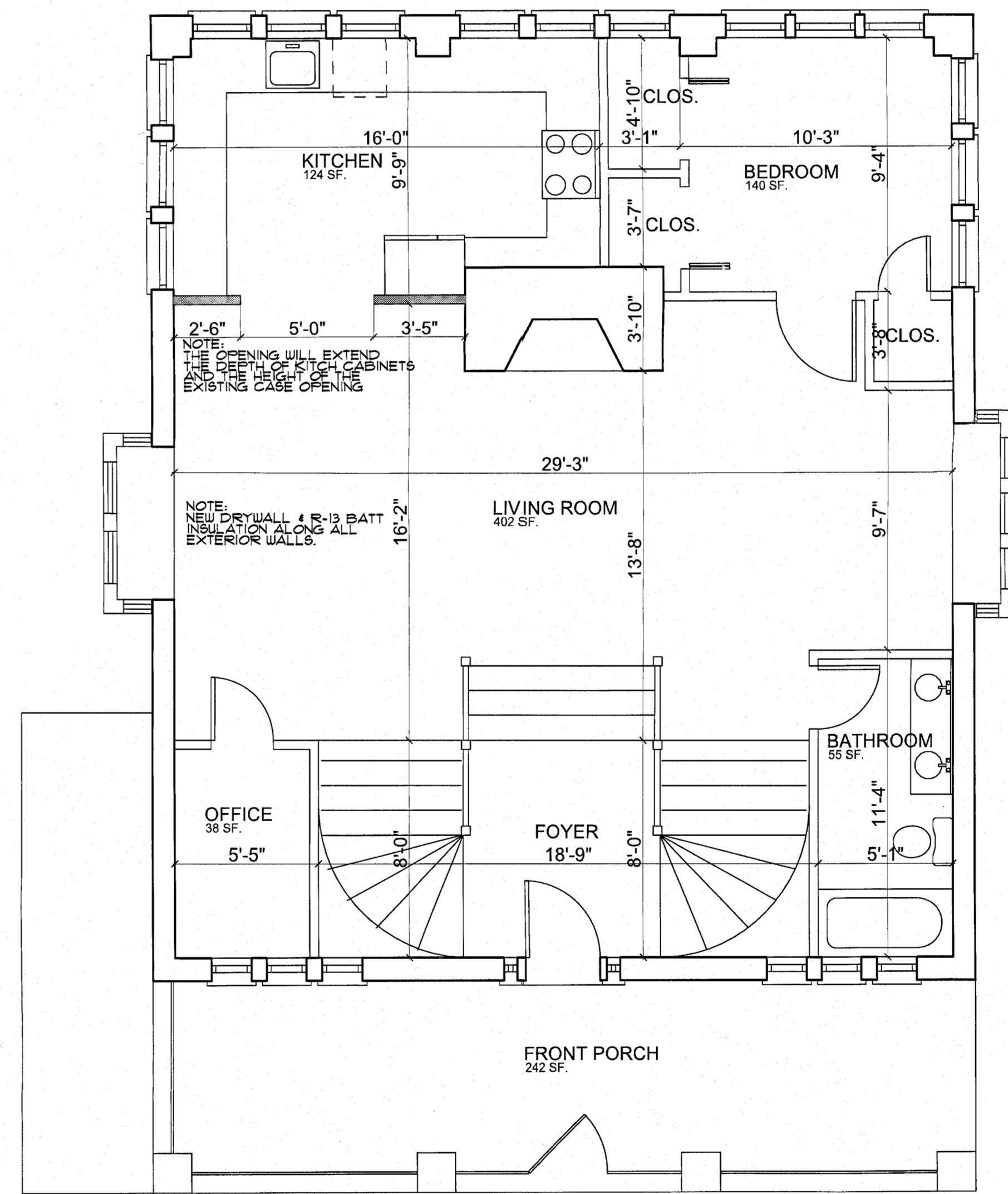
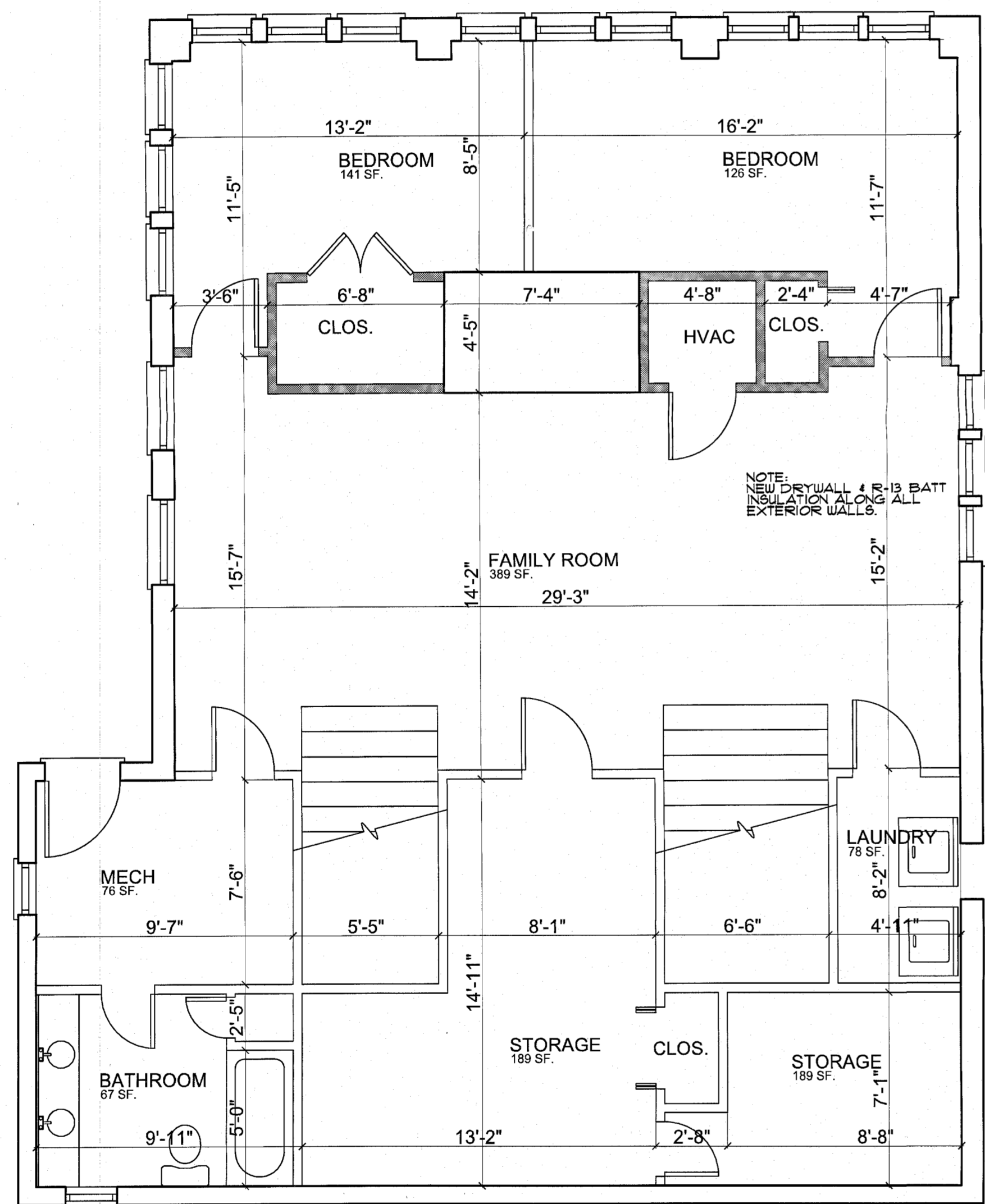
M-1

PROJ. NO.

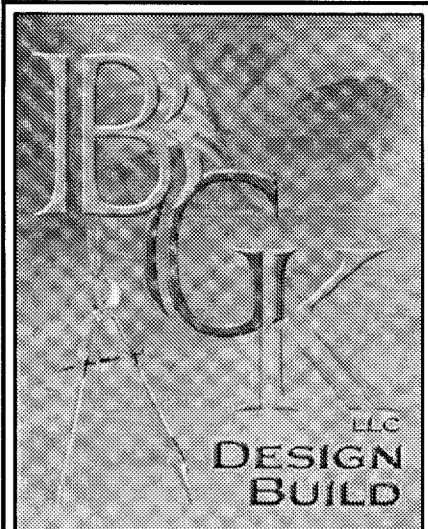


NOTE:
THE OPENING WILL EXTEND
THE DEPTH OF ALL CABINETS
AND THE HEIGHT OF THE
EXISTING CASE OPENING

PROPOSED DOOR OPENING @ KITCHEN
SCALE: 1/2" = 1'-0"



Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 30341, Expiration Date: 06/20/2013."



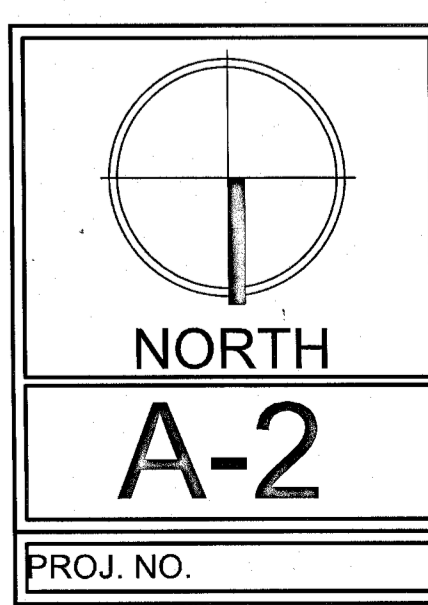
TELEPHONE
202-390-9470
FAX
202-635-6060

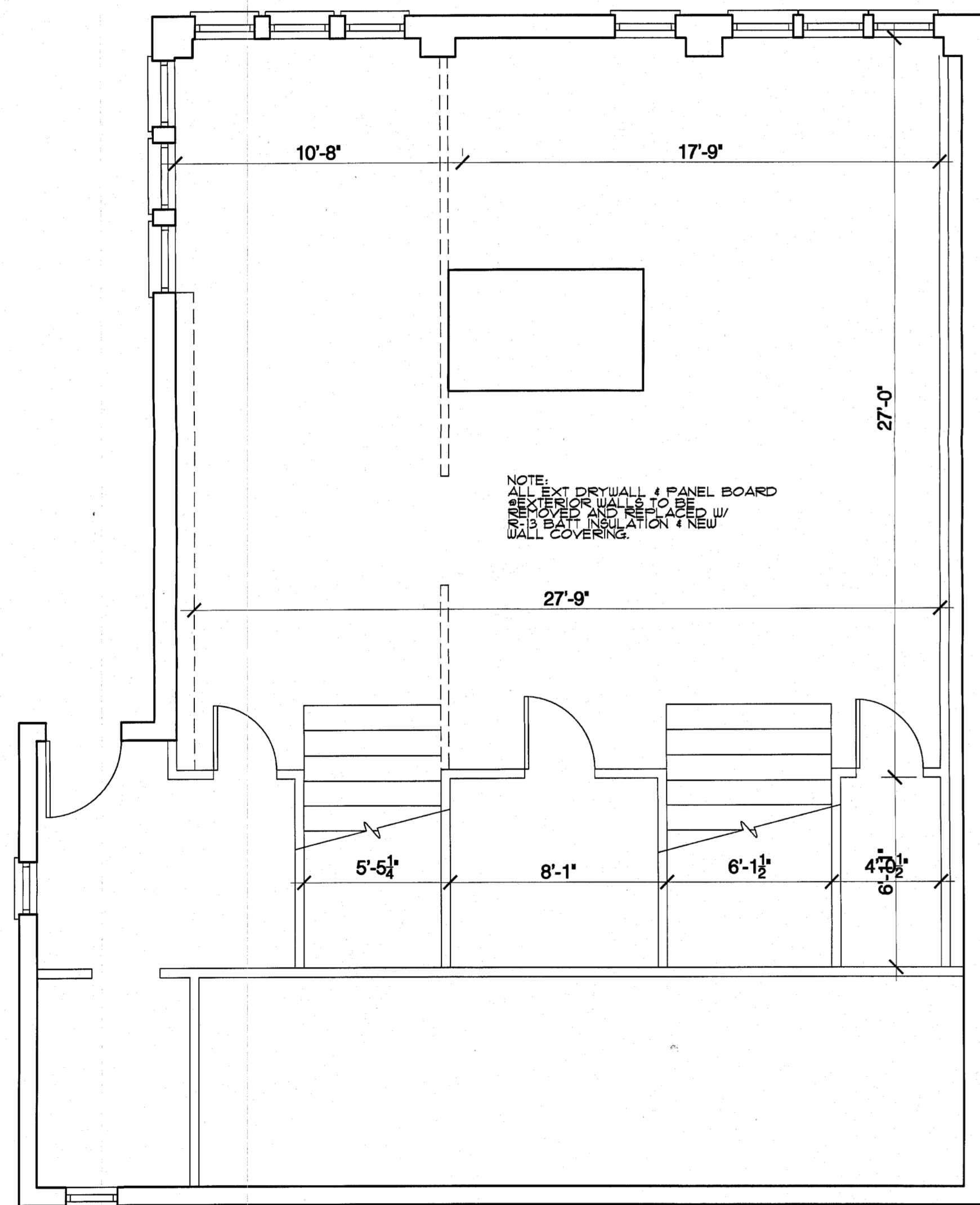
BGK DESIGNBUILD LLC
ARCHITECTURAL CONSULTANT
MOHAMED A. KAMARA
2827 4TH STREET, NE WASHINGTON DC 20002

THE RENOVATION
9618 DEWITT DRIVE
MONTGOMERY COUNTY, MD

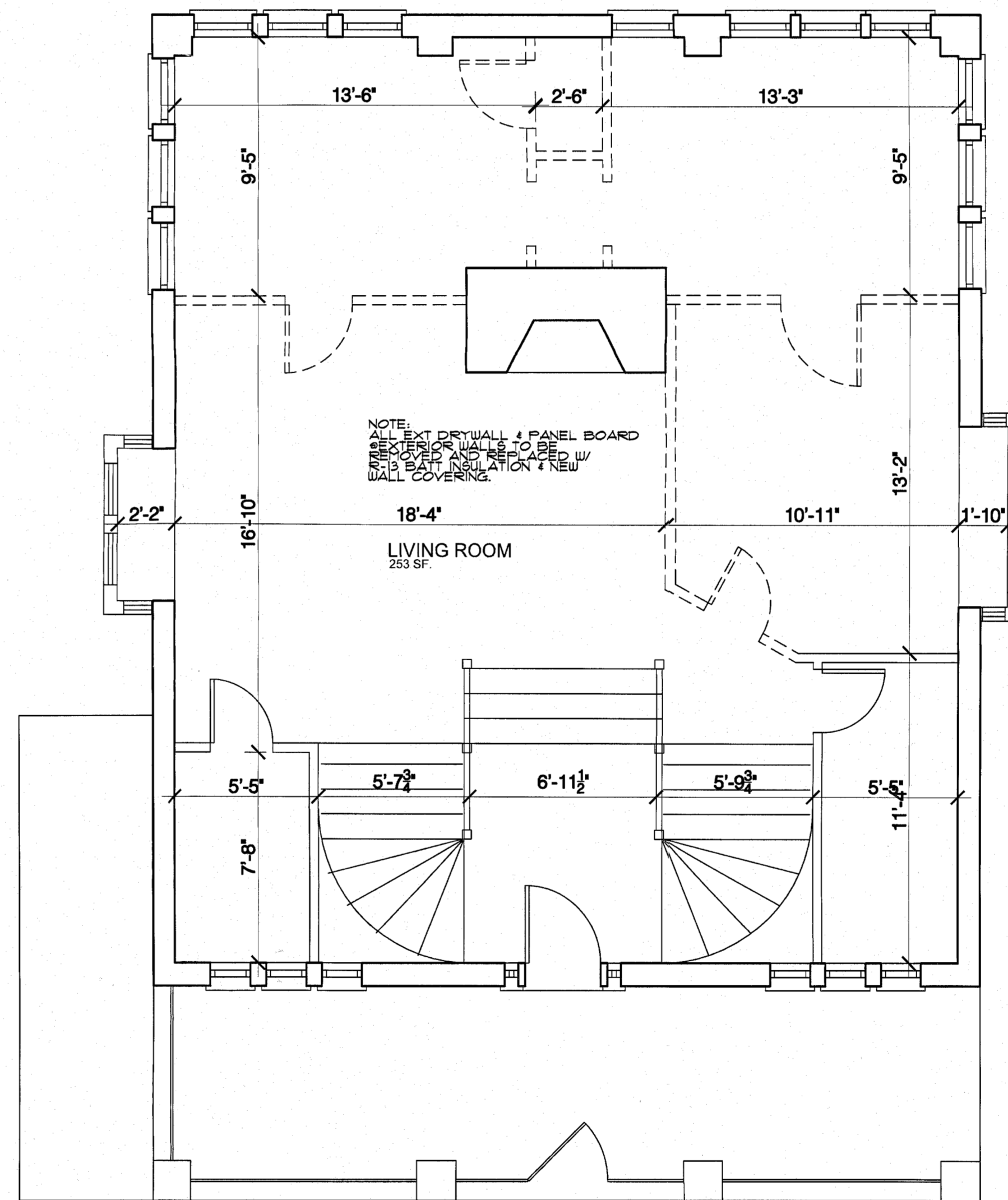
PROPOSED BSM'T & 1ST
FLOOR PLANS.

DISCLAIMER:
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS.





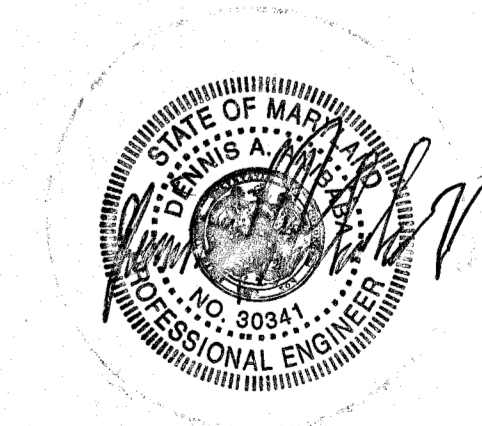
EXISTING BSM'T FLOOR PLAN
SCALE: 1/4" = 1'-0" 1430SF CLG HIEGHT 8'-4"



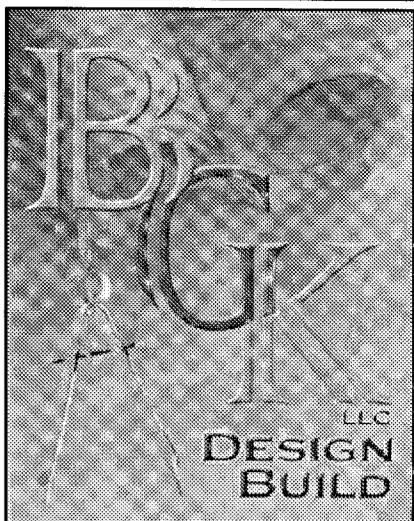
EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 1124SF CLG HIEGHT 20'-2"

DEMOLITION LEGEND

- EXTERIOR WALL TO BE REMOVED
- - - INTERIOR WALL TO BE REMOVED
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- ||||| EXISTING WINDOWS TO BE REMOVED
- EXISTING DOORS TO BE REMOVED
- EXISTING STAIRS TO BE REMOVED
- ||||| EXISTING RADIATORS TO BE REMOVED



Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 30341, Expiration Date: 06/20/2013."



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THE RENOVATION
9618 DEWITT DRIVE
MONTGOMERY COUNTY, MD

**EXISTING BSM'T & 1ST
DEMOLITION PLANS.**

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NORTH

A-1

PROJ. NO.

OWNERS:
MR & MRS GREGORY WAHL
PROJECT:
RENOVATION OF
9618 DEWITT DRIVE
MONTGOMERY COUNTY, MD
INTERIOR RENOVATION W/ MEP

DRAWING LIST
 CS-1 COVER SHEET
 CS-2 GENERAL NOTES
 A-1 EXISTING PLANS
 A-2 PROPOSED PLANS
 M-1 PROPOSED MECH PLANS
 E-1 PROPOSED ELEC PLANS
 P-1 PROPOSED PLUMB PLANS
 ELEV-1 ELEVATIONS

ARCHITECTURAL ABBREVIATIONS

AS ANGLE	EWC ELECTRIC WATER COOLER	MTL METAL	TEL TELEPHONE
AC AIR CONDITIONING	EXG EXISTING	N NORTH	TEMP TEMPORARY
ACT ADDITIONAL TILE	EXH EXHAUST	NIC NOT IN CONTRACT	TERRAZZO TERRAZZO
ADL ADDITIONAL	EXP EXPANSION	NO NUMBER	THK THICK
ADJ ADJACENT	EXP JT EXPANSION JOINT	NTS NOT TO SCALE	THR THRESHOLD
AF ABOVE FINISHED FLOOR	EXT EXTERIOR	OA OVERALL	TID TOP OF STEEL
AL ALUMINUM	FD FLOOR DRAIN	OC ON CENTER	TIF TREATED TYPICAL
ALT ALTERNATE	FE FIRE EXTINGUISHER	OD OUTSIDE DIAMETER	TPH TOILET PAPER HOLDER
AP ACCESS PANEL	FF FINISHED FLOOR	OP OPENING	TBH TOOTH BRUSH/TUMBLER HOLDER
APPROX APPROXIMATELY	FG FINISHED GRADE	OPG OPPOSITE	UND UNLESS NOTED OTHERWISE
ARCH ARCHITECT	FIN FINISH	OWH OUTSIDE WALL HYDRANT	UTL UTILITY
ATC ADDITIONAL TILE CEILING	FL FLOOR	PL PLUMBING	VCB VINYL COMPOSITION TILE
AUTO AUTOMATIC	FLOR FLUORESCENT	PLUM PARTITION	VCT VINYL COMPOSITION TILE
AVG AVERAGE	FO FIELD OPENING	PC PLUMBING CONTRACTOR	VERT VERTICAL
BD BOARD	FRM FRAME	PL PARTITION	VOL VOLUME
BIT BITUMINOUS	FT FOOTING	PL PLASTER	VWF VINYL FINISH
BLDG BUILDING	FUR FURRING	PLAS PLASTER	VWV VINYL STRAIGHT BASE
BK BLOCK	GA GAUGE	PLAS LAM PLASTIC LAMINATE	VT VINYL TILE
BKLD BLOCKING	GL GALVANIZED	PLT PLATE	W WITH WANSLOT
BM BEAM	GC GENERAL CONTRACTOR	PNG PANEL	W WOOD
BN BULLNOSE	GL GLASS	POL POLISHED	WID WIDE FLANGE
BT BOTTOM	GR GRADE	PRF PREFABRICATED	WID WIDE
BR BRICK	GWB GYPSUM WALLBOARD	PRF PREFABRICATED	WIP WATER PROOFING
CB CABINET	GRS GYPSUM	PRP PROPERTY	WT WEIGHT
CG CORNER GUARD	HB HOSE BIBB	PSI POUND PER SQUARE INCH	YD YARD
CH CHANNEL	HD HEAD	PT POUND PER SQUARE FOOT	
CJ CONTROL JOINT	HW HARDWARE	PSI POUND PER SQUARE INCH	
CL CENTER LINE	HU HOLLOW METAL	PTD POINT	
CLD CHANNEL	HC HORIZONTAL	PTD POINT	
CLO CLOSET	HP HORIZONTAL	PVC POLYVINYL CHLORIDE	
CMU CONCRETE MASONRY UNIT	HT HIGH POINT	QTY QUANTITY	
CO CLEAN OUT	HT HT HIGH POINT	R RADIUS	
COL COLUMN	HVAC HEATING, VENTILATING & AIR CONDITIONING	RBL REINFORCED BLOCK LINTEL	
CONTR CONTRACTOR	HW HOT WATER HEATER	RD ROOF DRAIN	
CONC CONCRETE	HYD HYDRANT	REF REFLECTED	
CONT CONTINUOUS	IN INCHES	REF REINFORCING	
CPT CARPET	INSUL INSULATION, INSULATING, INSULATED	REV REVISION	
CQWKB CERAMIC TILE	INT INTERIOR	ROOF ROOF	
CQWKB CERAMIC TILE	JC JANITOR CLOSET	RH RIGHT HAND	
CT CERAMIC TILE	JOINT JOINT	RHR RIGHT HAND REVERSE	
CU CUP	KI KITCHEN	RIS RIGID INSULATION	
D DIA	KL KITCHEN LENGTH LONG	ROD ROD	
D DIA	L LAMINATED	ROD ROD	
DIA DIA	LAV LAVATORY	ROOF ROOF	
DIA DIA	LBS POUNDS	ROOF ROOF	
DIA DIA	LH LEFT HAND	ROOF ROOF	
DIA DIA	LHR LEFT HAND REVERSE	ROOF ROOF	
DIA DIA	LP LOW POINT	ROOF ROOF	
DIA DIA	LTS LIGHTING	ROOF ROOF	
DIA DIA	MAN MAINTENANCE	ROOF ROOF	
DIA DIA	MAX MAXIMUM	ROOF ROOF	
DIA DIA	MECH MECHANICAL CONTRACTOR	ROOF ROOF	
DIA DIA	MD EXPOSED METAL DECK	ROOF ROOF	
DIA DIA	MECH MECHANICAL	ROOF ROOF	
DIA DIA	MET METAL	ROOF ROOF	
DIA DIA	MFG MANUFACTURER	ROOF ROOF	
DIA DIA	MH MAN HOLE	ROOF ROOF	
DIA DIA	MIN MINIMUM	ROOF ROOF	
DIA DIA	MISC MISCELLANEOUS	ROOF ROOF	
DIA DIA	MO MASONRY OPENING	ROOF ROOF	
DIA DIA		ROOF ROOF	

ARCHITECTURAL DRAFTING SYMBOLS & NOTATIONS

4 DETAIL KEY

9 NOTE INDICATOR

2 PARTITION SYMBOL

2 FLOOR ELEVATION

2 COLUMN CL.

2 BUILDING SECTION

2 WALL SECTION

2 ELEVATION

2 DETAIL KEY

2 DRAWING DETAIL SCALE

2 FIRE EXTINGUISHER

2 INCANDESCENT LIGHT FIXTURE

2 1 X 4 FLUORESCENT FIXTURE

2 TELEPHONE JACK

2 TELEVISION CABLE OUTLET

2 DUPLEX RECEPTICLE

2 QUADRUPLEX RECEPTICLE

2 SINGLE POLE SWITCH

2 THREE WAY SWITCH

2 2 X 2 CEILING GRID

2 2' X 4' FLUORESCENT LIGHT FIXTURE

2 2' X 2' FLUORESCENT LIGHT FIXTURE

2 BRICK

2 CMU

2 BATT. INSULATION

2 CONCRETE

2 STEEL

2 RIGID INSULATION

2 EXISTING CONSTRUCTION TO BE REMOVED

2 DIMENSION

2 T Q C DIMENSION

2 L C T Q C DIMENSION (COLUMNS)

ANALYSIS

EMERGENCY ESCAPE:
 Minimum width of opening: 20 inches. (508 mm)
 Minimum height of opening: 24 inches. (610 MM)
 Minimum net clear opening, Ground Floor: 5.0 square feet. (0.465 m2)
 Minimum net clear opening, other than Ground Floor: 5.7 square feet. (0.530 m2)
 Maximum sill height above floor: 44 inches. (1118 mm)
MINIMUM OPENING AREA:
 All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2). For example, 820.8 square inches, or at the minimum, 20" wide by 41.1" high, or 34.2" tall by 24" high.
EXCEPTION: Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).



Construction Codes and Regulations

- 2008 National Electric Code
- 2009 International Building Code
- 2009 International Energy Conservation Code
- 2006 International Fire Prevention Code
- 2009 International Fuel Gas Code
- 2009 International Mechanical Code
- 2009 International Plumbing Code
- 2009 International Residential Code
- MBRC Maryland Building Rehabilitation Code

Criteria	Required
Windows/Doors - Maximum U-Factor	.35
Skylights - Maximum U-Factor	.60
Ceilings	R-38
Walls (wood framing)	R-13
Mass Walls	**R-5/10
Basement Walls	*R-10/13
Floors	R-19
Slab perimeter-R-value and Depth	R-10, 2ft
Crawlspace	*R-10/13

Residential Construction Design Parameters					
Ground Snow Load	Wind Speed	Seismic Design Category	Subject to Damage From		
			Washing	Termites	Decay
30 PSF (1.4 kN/m²)	90 mph (145 km/hr)	B	Severe	Moderate to heavy	Slight to moderate
(Continued)					
Water Design Temp.	Ice Shield Installation Required	Flood Hazards	Air Freezing Index	Mean Annual Temp.	
13°F (-10.6°C)	Yes	July 2, 1979	300	55°F (12.8°C)	

Commercial Construction Design Parameters					
Ground Snow Load	Wind Speed	Spectral Response Acceleration	Washing	Frost Line Depth	
				Se %	Sr %
30 PSF (1.4 kN/m²)	90 mph (145 km/hr)	16	5.1	Severe	24 in (610 mm)

Criteria	Required
Fenestration	.35
Skylight	.60
Ceilings	.030
Frame Wall	.082
Mass Wall	.141
Floor	.047
Basement Wall	.059
Crawl Space Wall	.065

APPROVED
 Gregory Wahls
 Architect
 11/1/12

STATE OF MARYLAND
 BOARD OF PROFESSIONAL ENGINEERS
 License No. 38241

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 30341, Expiration Date:06/20/2013."

CS-1