

3923 Washington street
Washington D.C. 31/06

STAFF ITEM

STAFF MEMBER: JOSH SILVER

SUBJECT: Revision to approved HAWP (HPC Case No. 36/02-13C), for construction of addition, demolition of garage and new garage construction, at 3923 Washington Street, Kensington within the Kensington Historic District

DATE: September 25, 2013

BACKGROUND: On February 13, 2012 the HPC approved construction of an addition and other alterations at the subject property.

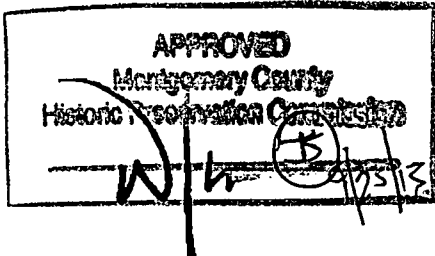
REVISED PROPOSAL: The applicants are requesting approval to:

Change the addition foundation material from brick to textured stucco. The main block of the house has a brick foundation.

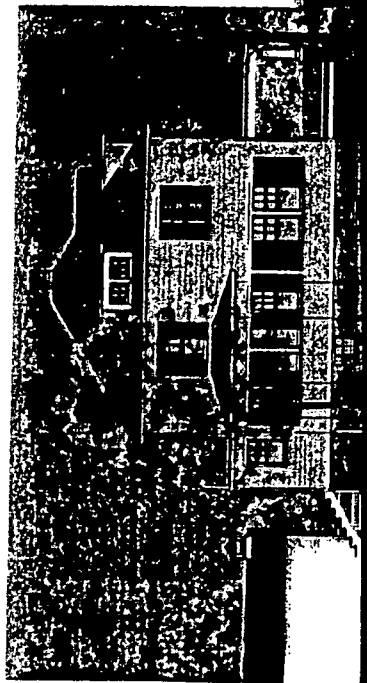
STAFF RECOMMENDATION: Staff recommends that the Commission approve the revised proposal described above finding it as being consistent with Chapter 24A-8(b)(1) & (2):

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

HPC DECISION:

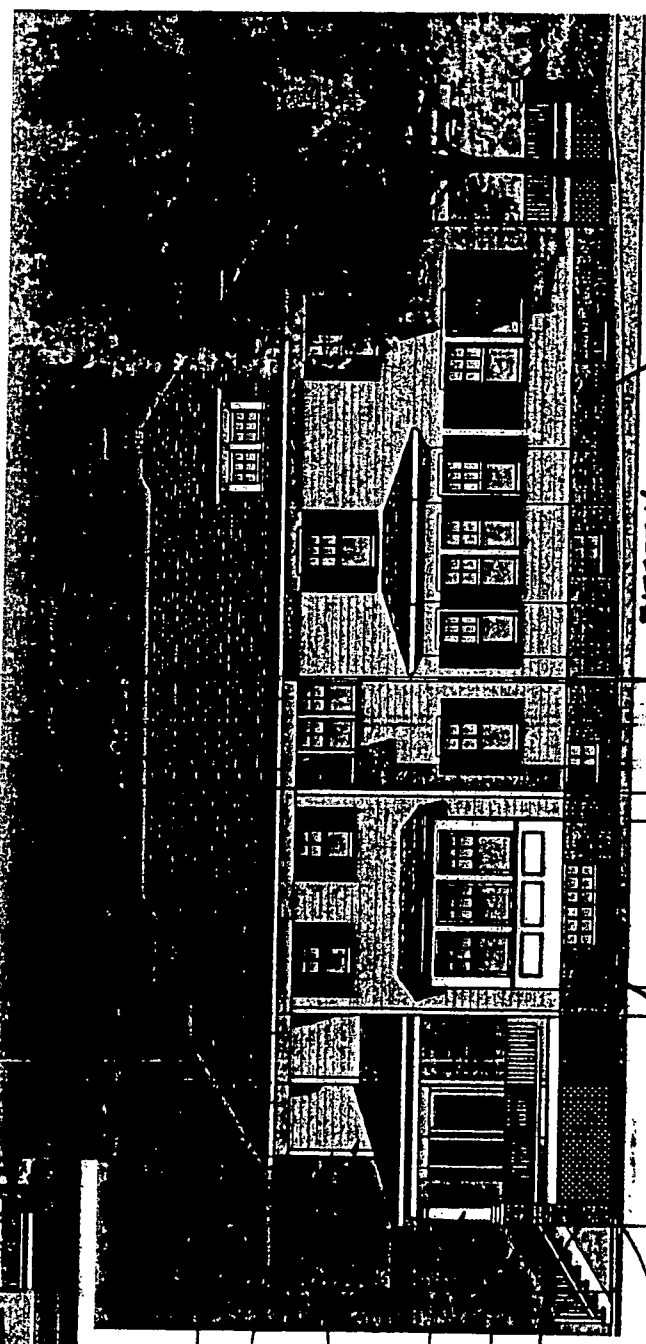


FOR ENTIRE HOUSE.
 DEMO EXISTING METAL SIDING AND TRIM.
 INVESTIGATE & REPLICATE/RESTORE
 HISTORIC DETAILS BEHIND AS NECESSARY.
 NEW PTD. WOOD TRIM DETAILS TO MATCH
 EXISTING HISTORIC DETAILS.



EXISTING LEFT SIDE ELEVATION

- ASPHALT SHINGLE ROOFING TO MATCH EXISTING
- NEW PTD. MD. TRIM ENTIRE HOUSE
- NEW PTD. LAP SIDING ENTIRE HOUSE
- PTD. MD. COLUMN TO MATCH EXISTING
- PTD. MD. RAILING TO MATCH EXISTING
- BRICK FOUNDATION & PIERS TO MATCH EXISTING
- PTD. WOOD LATTICE TO MATCH EXISTING



EXISTING

PROPOSED LEFT SIDE ELEVATION

BRICK

A-18



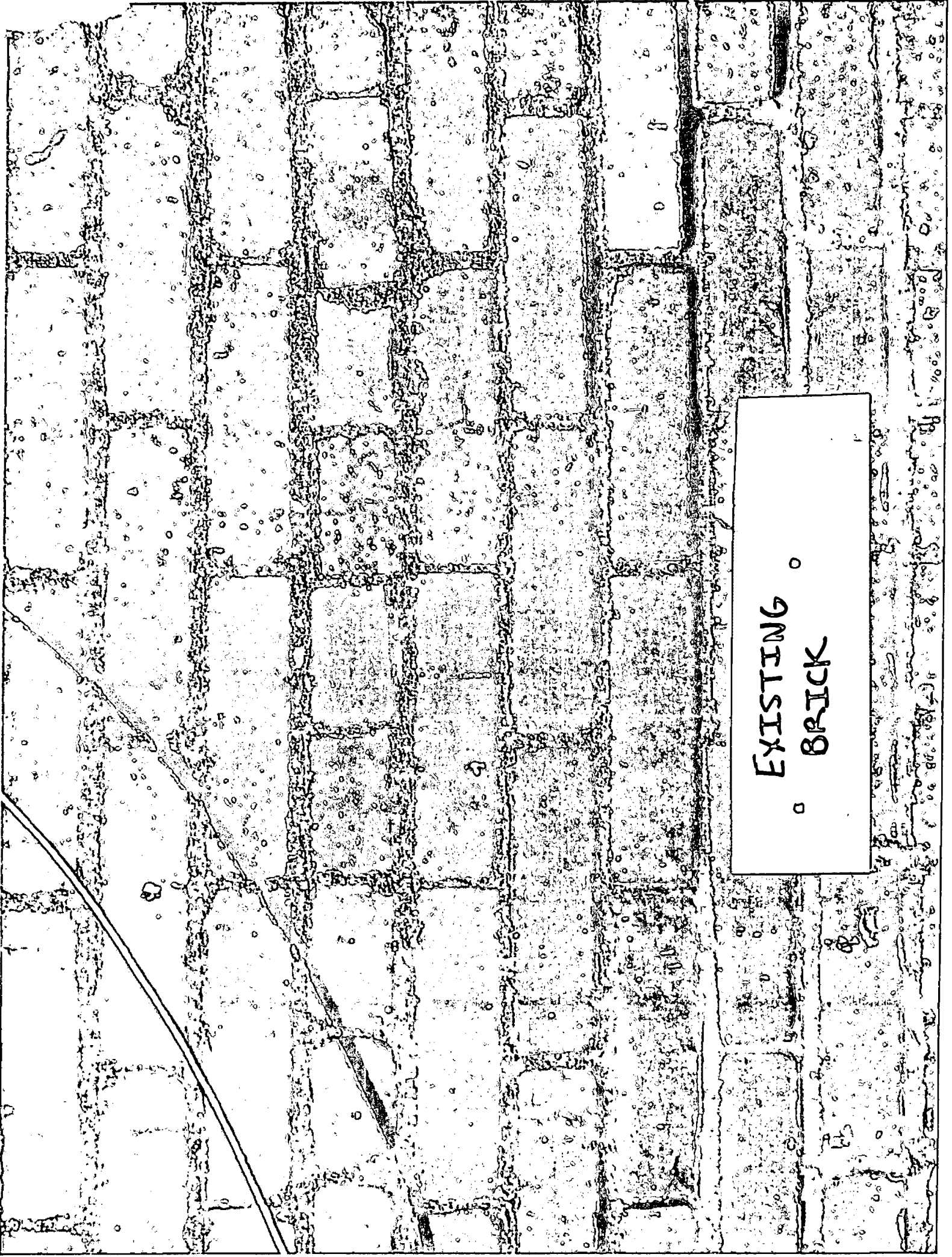
PROPOSED STUCCO IN LIEU OF BRICK
 HAWP APPLICATION

ECKERT RESIDENCE - HPC MEETING 02/13/2013

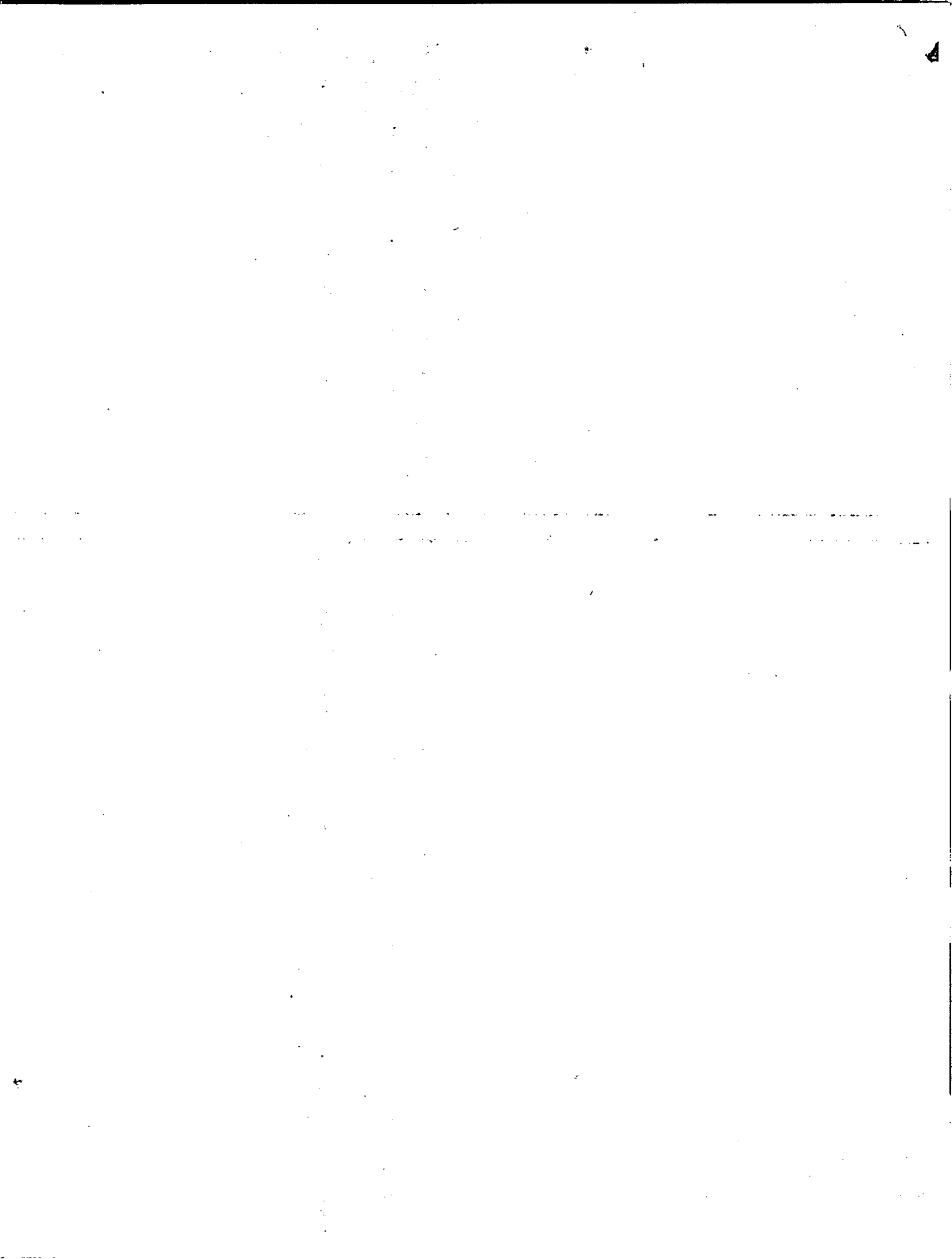
3823 WASHINGTON ST. KENSINGTON, MD OCT 03, 2012 REV JAN 24, 2013 #121036
 7745 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001
 COPYRIGHT 2011, GDM ARCHITECTS, INC.

GTM

REVISED PLAN



EXISTING ○
BRICK ○



STAFF ITEM

STAFF MEMBER: JOSH SILVER

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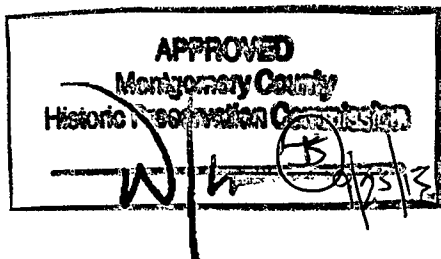
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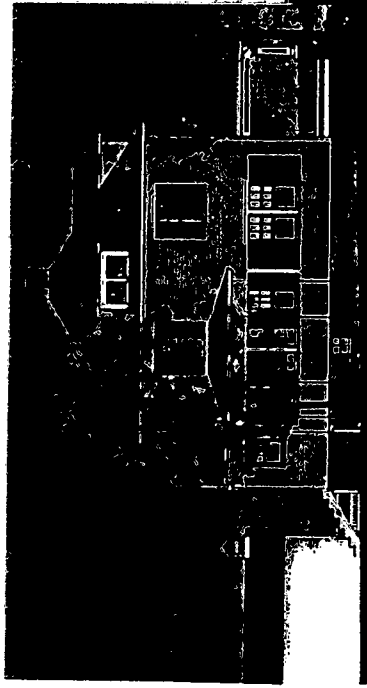
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- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

HPC DECISION:



FOR ENTIRE HOUSE:
 DEMO EXISTING METAL SIDING AND TRIM.
 INVESTIGATE & REPLICATE/RESTORE
 HISTORIC DETAILS BENEATH AS NECESSARY.
 NEW PTD. WOOD TRIM DETAILS TO MATCH
 EXISTING HISTORIC DETAILS



EXISTING LEFT SIDE ELEVATION

- ASPHALT SHINGLE ROOFING TO MATCH EXISTING
- NEW PTD. WD. TRIM ENTIRE HOUSE
- NEW PTD. LAP SIDING ENTIRE HOUSE
- PTD. WD. COLUMN TO MATCH EXISTING
- PTD. WD. RAILING TO MATCH EXISTING
- BRICK FOUNDATION & PIERS TO MATCH EXISTING
- PTD. WOOD LATTICE TO MATCH EXISTING



EXISTING

PROPOSED LEFT SIDE ELEVATION

BACK

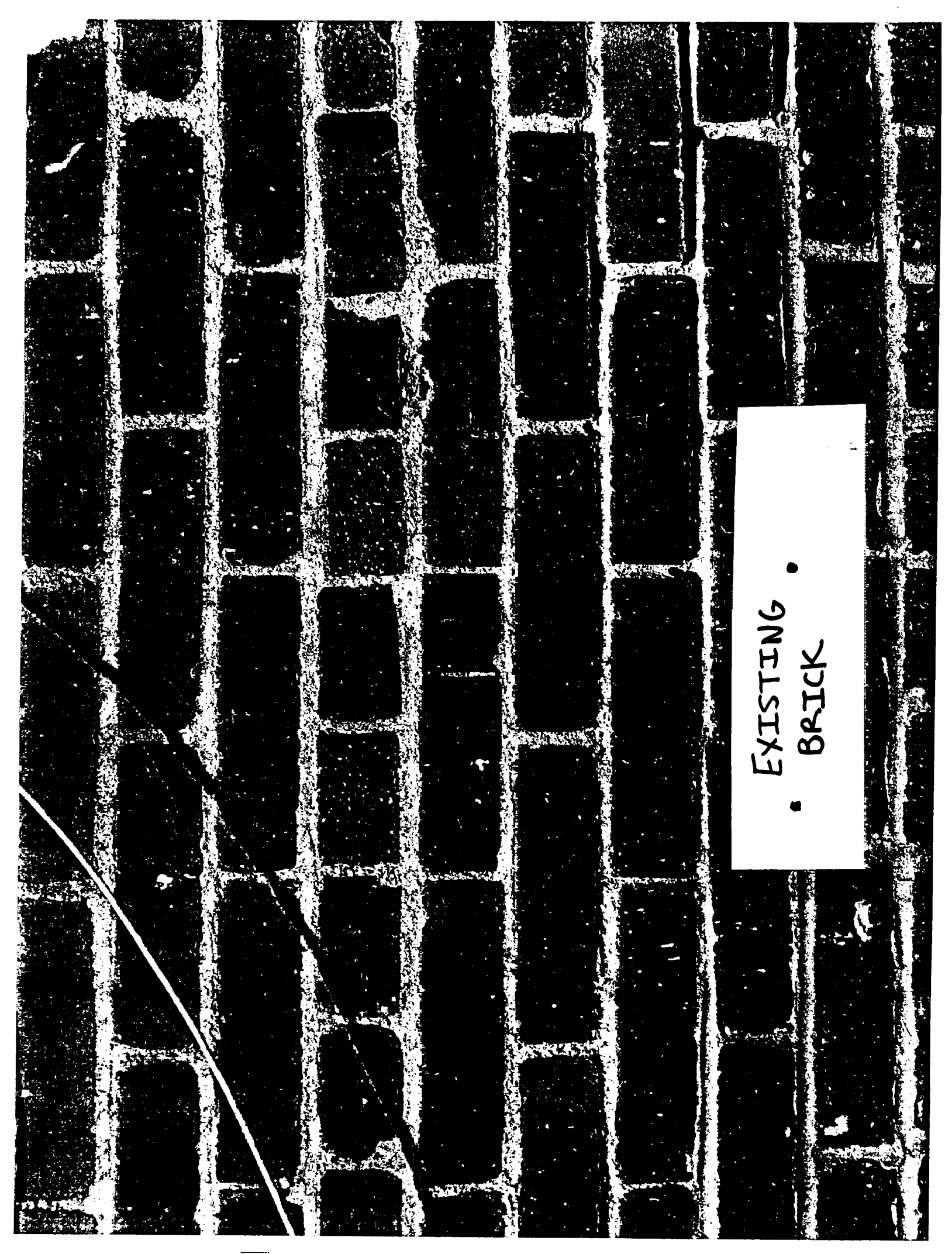


A-18

PROPOSED STUCCO IN LICH OF BRICK
 HAWP APPLICATION

ECKERT RESIDENCE - HPC MEETING 02/13/2013
 3923 WASHINGTON ST. KENSINGTON, MD OCT 03, 2012 REV JAN 24, 2013 #12.0306
 15 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 • TEL: (240) 333-2000 • FAX: (240) 333-2001
 GTM ARCHITECTS, INC.

REVISED PLAN



• EXISTING •
• BRICK

Wilmer Cutler Pickering Hale and Dorr LLP
1875 Pennsylvania Avenue, NW, Washington, DC 20006

WILMERHALE 

Paul Eckert

+1 202 663 6537 (t) +1 202 663 6363 (f) paul.eckert@wilmerhale.com



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

William Kirwan
Chairperson

Date: August 9, 2013

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #629265, construction of addition, demolition of garage, new garage construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the April 10, 2013 meeting.

- 1. The applicants must contact HPC staff upon removing the siding on the historic massing to determine appropriate exterior material treatments and details for the addition. Final materials to be reviewed and approved by HPC staff.*

Applicant: Paul and Deborah Eckert

Address: 3923 Washington Street, Kensington





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: LOLSON@GTMARCHITECTS.COM Contact Person: LUKE OLSON
 Tax Account No.: 01022855 Daytime Phone No.: 240-333-2021
 Name of Property Owner: PAUL & DEBORAH ECKERT Daytime Phone No.: 202-663-6537
 Address: 3923 WASHINGTON STREET KENSINGTON MD 20895-3934
Street Number City State Zip Code
 Contractor: TO BE SELECTED Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/WORK

House Number: 3923 Street: WASHINGTON STREET
 Town/City: KENSINGTON Nearest Cross Street: CONNECTICUT AVENUE
 Lot: 11 & 12 Block: 12 Subdivision: KENSINGTON PARK
 Lot: 6130 Folio: 89 Parcel: _____

TYPE OF REPAIR/ACTIVITY/ALTERATION

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|--|--|---|---|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Reconvene | <input checked="" type="checkbox"/> A/C | <input checked="" type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimator: \$ _____
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO - COMPLETE ONLY FOR NEW CONSTRUCTION AND EXTENSIVE ALTERATION

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE - COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/assessment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____ Date _____

Approved: 629265 W/conditions For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: 8/7/13
 Application/Permit No.: _____

(4)

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3923 Washington Street, Kensington	Meeting Date:	10/24/12
Applicant:	Paul and Deborah Eckert (Luke Olson, Agent)	Report Date:	10/17/12
Resource:	Primary-One Resource Kensington Historic District	Public Notice:	10/10/12
Review:	Preliminary Consultation	Tax Credit:	Partial
Case Number:	N/A	Staff:	Anne Fothergill

PROPOSAL: Construction of addition, demolition of garage, new garage construction

STAFF RECOMMENDATION

Staff recommends that the applicants make any revisions based on the comments from the HPC and return for a HAWP.

PROPERTY DESCRIPTION

SIGNIFICANCE: Primary One Resource within the Kensington Historic District
STYLE: Colonial Revival
DATE: 1910

PROPOSAL

The applicant is proposing to:

- remove aluminum siding and trim on house
- salvage original wood siding where possible; install new wood siding to match where needed
- construct a rear addition (see below)
- construct areaway stairs where the addition connects on the west side
- remove existing front walkway and install new brick walkway
- demolish existing two-car garage and remove concrete driveway
- install new brick paver strips driveway leading to asphalt driveway
- construct new two-car garage; garage will be 24' x 24' x 19'2" tall (to roof ridge) and will be 1 ½ stories; materials not specified but appear to match addition plus two garage doors
- remove three dogwood trees

The proposed 975 SF rear addition will extend 36 feet out the back, including the covered porch, and will be 39 feet wide including a 12' extension out beyond the original east side plane of the house. The rear covered porch has steps to grade and there are steps to the driveway from the new east side entrance. Also on the east side is a brick chimney. On the west side there is a new bay that is in plane with existing west side bay window. Proposed materials are: wood siding, asphalt shingle roofing, brick foundation, wood

windows with simulated divided lights, wood columns, porch railings, shutters, and trim.

Existing and proposed plans are in Circles 10-26 and photos of existing conditions are in Circles 30-32.

APPLICABLE GUIDELINES

When reviewing alterations within the Kensington Historic District, the *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)* are to be utilized as guidelines to assist the Commission in developing their decision. The pertinent information in these documents is outlined below.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard # 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The *Vision of Kensington: A Long-Range Preservation Plan* states that within the Historic District, “the houses share a uniformity of scale, set backs and construction materials that contributes to the cohesiveness of the district’s streetscapes.” The *Vision* discusses specifically the Historic Residential Core, where the house at 3923 Washington Street is located, which “consists of most of the primary historic resources in the residential neighborhood. This includes historic resources built from 1890 to 1930 which exemplify the historic pattern of development characterized by expansive open spaces between homes. In this area it is important to preserve these patterns of open space, front yard setbacks, building scale, architectural character, and the streetscape qualities.”

The *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland* state:

Basic Principles for an Addition

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

18.0 DESIGN OF NEW ADDITIONS

Design a new addition to be compatible with the primary structure.

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- This will allow the original proportions and character to remain prominent.
 - Locating an addition at the front of a structure is inappropriate
 - Locating an addition to the side of a structure is generally inappropriate. However, special site

constraints, such as sloping topography or location of a champion or specimen tree, may require a side addition.

- An addition to the rear of a structure must also conform to Montgomery County and municipality setback requirements.

18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.

18.3 An addition should be compatible in scale with the primary structure.

- An addition should relate to the historic house in mass, scale and form. It should be designed to remain subordinate to the main structure.
- One option to help visually separate an addition from the primary building is to link the primary structure with a smaller breezeway.
- For a larger addition, break up the mass of the addition into smaller modules that relate to the historic house.
- An addition should be simple in design to prevent it from competing with the primary structure.

18.4 Use building materials that are compatible with those of the primary structure.

18.5 An addition should be compatible in character with the primary structure.

- An addition should be made distinguishable from the historic building, even in subtle ways, such that the character of the original can be interpreted. An addition should draw design elements from the historic structure, expressing them in a simplified or contemporary manner rather than striving to perfectly recreate historic building features.
- A change in setbacks of the addition from the historic building, or applying a new trim board at the connection point can help define the addition.
- An addition that seeks to imply an earlier period than that of the primary building also is inappropriate. For example, an addition that is more ornate than the original building would be out of character.

18.6 Use windows that are similar in character to those of the main structure.

- If the original windows were a wood, double-hung style, for example, then new windows that appear similar to them would be appropriate. Windows of suitable contemporary design might also be appropriate.

18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

- It is important to repeat the roof lines and slopes found on the primary structure. Typically, gable, hip and shed roofs are appropriate for residential-type building additions. Flat roofs may be appropriate in certain cases, such as for some commercial buildings.
- Eave lines on the additions should be no higher, and preferably lower, than those of the historic building or structure.

New accessory structures and outbuildings should be compatible with the primary structure on a property.

14.2 New accessory structures and outbuildings should be compatible with the primary structure.

- New construction should be similar in style but recognizable as new.
- Architectural details, materials, and style should be compatible to the primary structure.
- The mass and scale should be in proportion to the primary structure.
- New accessory structures and outbuildings should be located in the rear yard and conform to Montgomery County and municipality zoning and building regulations.

As can be seen in the 1924 Sanborn Atlas in Circle 33/34, this Primary-One house retains its original form and a high level of integrity. The applicants propose to remove the aluminum siding and salvage and restore the original wood siding (where possible), which is commendable and will be a major improvement

to the house and historic district. They are not proposing changes to the historic house other than at the rear of the house where the new addition will be constructed, and this is also commendable and in keeping with the applicable review criteria and preservation guidance.

The applicants are proposing to construct an 1,170 SF addition behind the existing 975 SF house. Staff's main concern with this proposal is the scale of the addition and its visibility since it extends 12 feet beyond the east side plane of the historic house. As the *Vision of Kensington* notes, this area of the historic district is "characterized by expansive open spaces between homes. In this area it is important to preserve these patterns of open space, front yard setbacks, building scale, architectural character, and the streetscape qualities."

While the materials and design of the addition are in keeping with the house, because of its size, scale, and side projection staff is concerned that it is an incompatible and inappropriate addition to this house. The rear addition is larger than the original house and, even though it is lower at the roof and inset at the sides, it may be out of scale and proportion to the historic house. If the addition was entirely at the rear and did not extend 12 feet out the side the overall size would be reduced and it would greatly reduce its visibility and overall impact on the house and site. As proposed it will extend into the yard to the side of the house and compromise the existing pattern of houses and open space that characterize this streetscape.

The applicants also propose to demolish the existing garage and construct a new driveway leading to a new garage at the back of the property. The existing garage would not be located behind the house once the addition is constructed and therefore would be non-conforming in terms of current zoning requirements. The proposed new garage has a similar footprint to the existing garage and will be 1 ½ stories and appears to be taller than the existing garage.

Staff recommends that the HPC provide the applicants with clear guidance on:

- the proposed two-story rear addition
- extending the two-story addition beyond the side plane of the historic block
- demolition of the garage and construction of the new garage

STAFF RECOMMENDATION

Staff recommends that the applicants make any revisions based on the HPC's feedback and then return for a Historic Area Work Permit.

Pro/Am



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Email: LOLSON@GTMARCHITECTS.COM Contact Person: LUKE OLSON
 Daytime Phone No.: 240-333-2021
 Tax Account No.: 01022855
 Name of Property Owner: PAUL & DEBORAH ECKERT Daytime Phone No.: 202-663-6537
 Address: 3923 WASHINGTON STREET KENSINGTON MD 20895-3934
Street Number City State Zip Code
 Contractor: TO BE SELECTED Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISES

House Number: 3923 Street: WASHINGTON STREET
 Town/City: KENSINGTON Nearest Cross Street: CONNECTICUT AVENUE
 Lot: 11 & 12 Block: 12 Subdivision: KENSINGTON PARK
 Liber: 6130 Folio: 89 Parcel: _____

PART ONE TYPE OF REPAIR/ACTION/ADDITON

1A. CHECK ALL APPLICABLE:

<input type="checkbox"/> Construct	<input checked="" type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input checked="" type="checkbox"/> A/C	<input checked="" type="checkbox"/> Stab	<input checked="" type="checkbox"/> Room Addition	<input checked="" type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input checked="" type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input checked="" type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimator: \$ _____
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO COMPLETE FOR NEW CONSTRUCTION AND EXTENSIVE/ADDITON

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ foot _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: 613582 Data Filed: 10/3/12 Date Issued: _____

6

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

PAUL AND DEBORAH ECKERT
3923 WASHINGTON STREET
KENSINGTON, MD 20895

Owner's Agent's mailing address

GTM ARCHITECTS
7735 OLD GEORGETOWN ROAD
SUITE 700
BETHESDA, MD 20814

Adjacent and confronting Property Owners mailing addresses

DANIEL BRAGG & CYNTHIA CECIL-BRAGG
3924 PROSPECT ST
KENSINGTON, MD 20895-3916

THEODORE ROSCHE
3922 PROSPECT ST
KENSINGTON, MD 20895

PETER & BROOKS KENNY
3922 WASHINGTON ST
KENSINGTON, MD 20895-3933

STEPHEN STRACHAN
3924 WASHINGTON ST
KENSINGTON, MD 20895-3933

RICHARD STRACHAN
3925 WASHINGTON ST
KENSINGTON, MD 20895

MICHAEL KNECHT
3919 WASHINGTON ST
KENSINGTON, MD 20895

NANCY COLLINS
3926 WASHINGTON ST
KENSINGTON, MD 20895

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing house is a two-story American Foursquare with a covered front porch and one-story bay window on the left side. There is a previous addition on the rear of the house with a small covered porch providing an additional entry. There is also an areaway on the rear providing access to the basement. The house sits on two lots (11 & 12), with the majority of the house located on lot 12 and a one-story detached garage on lot 11. The house is unevenly spaced between the surrounding residences, with 24' between it and the house on the left and 55' between it and the house on the right.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

b. General description of project and its effects on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The scope of work includes a two-story addition on the rear of the existing house and exterior renovation of the existing property. To retain the significance of the original house, we have located the addition entirely to the rear of the house and stepped back the addition where the two meet. We have also lowered the eave height of the addition so that it is subordinate to the original house. The addition is located to maintain the spacing between homes typical of the neighborhood, with the left of the addition held to the line of the existing house and the right side projecting into the more open space, which is typical of recently approved renovations in the neighborhood. The design is in keeping with the historical character of the existing house, and the scope of work includes a renovation of the existing exterior with more traditional and historically accurate materials and details. The design also involves ^{new}relocating the garage to a more appropriate location in the rear yard.

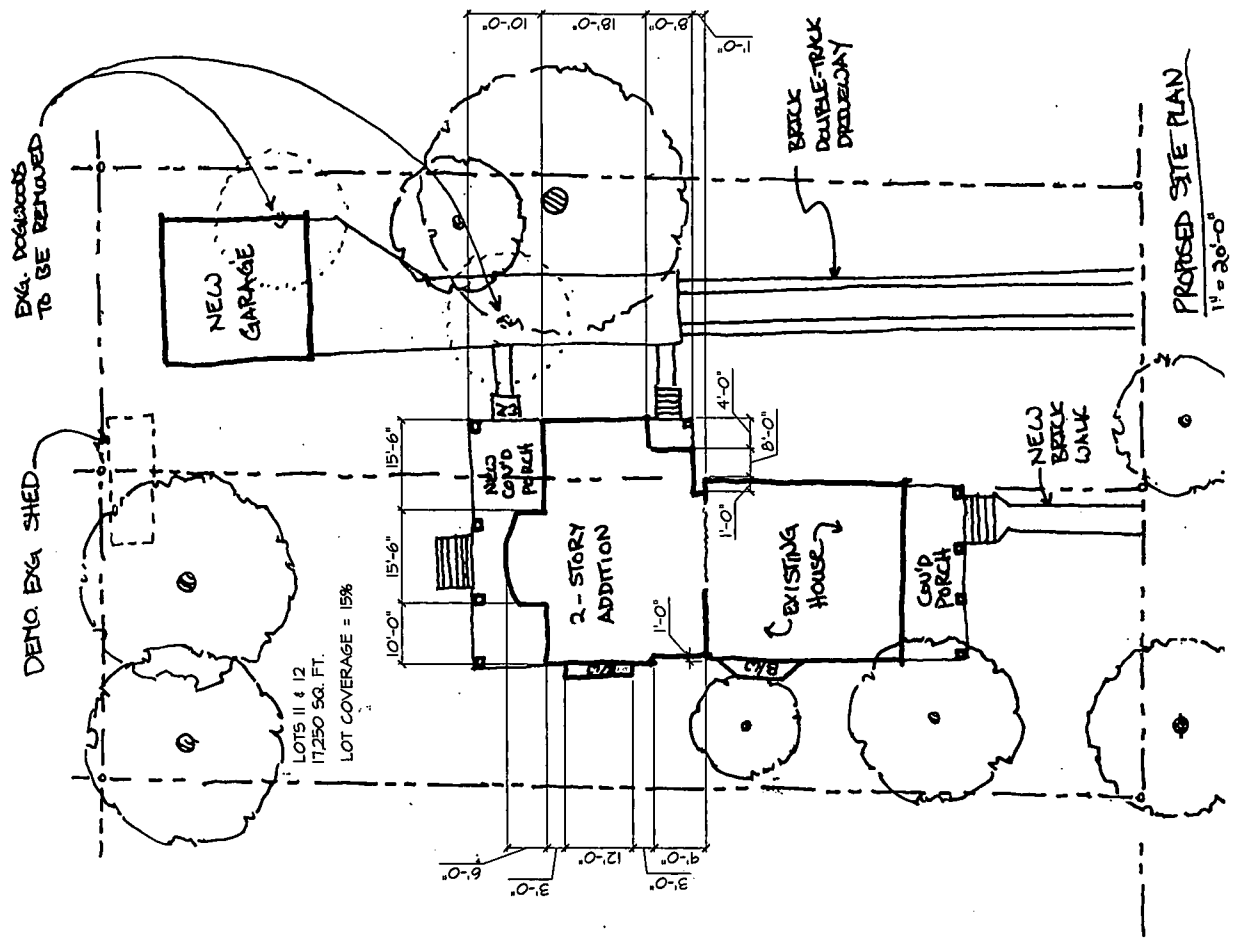
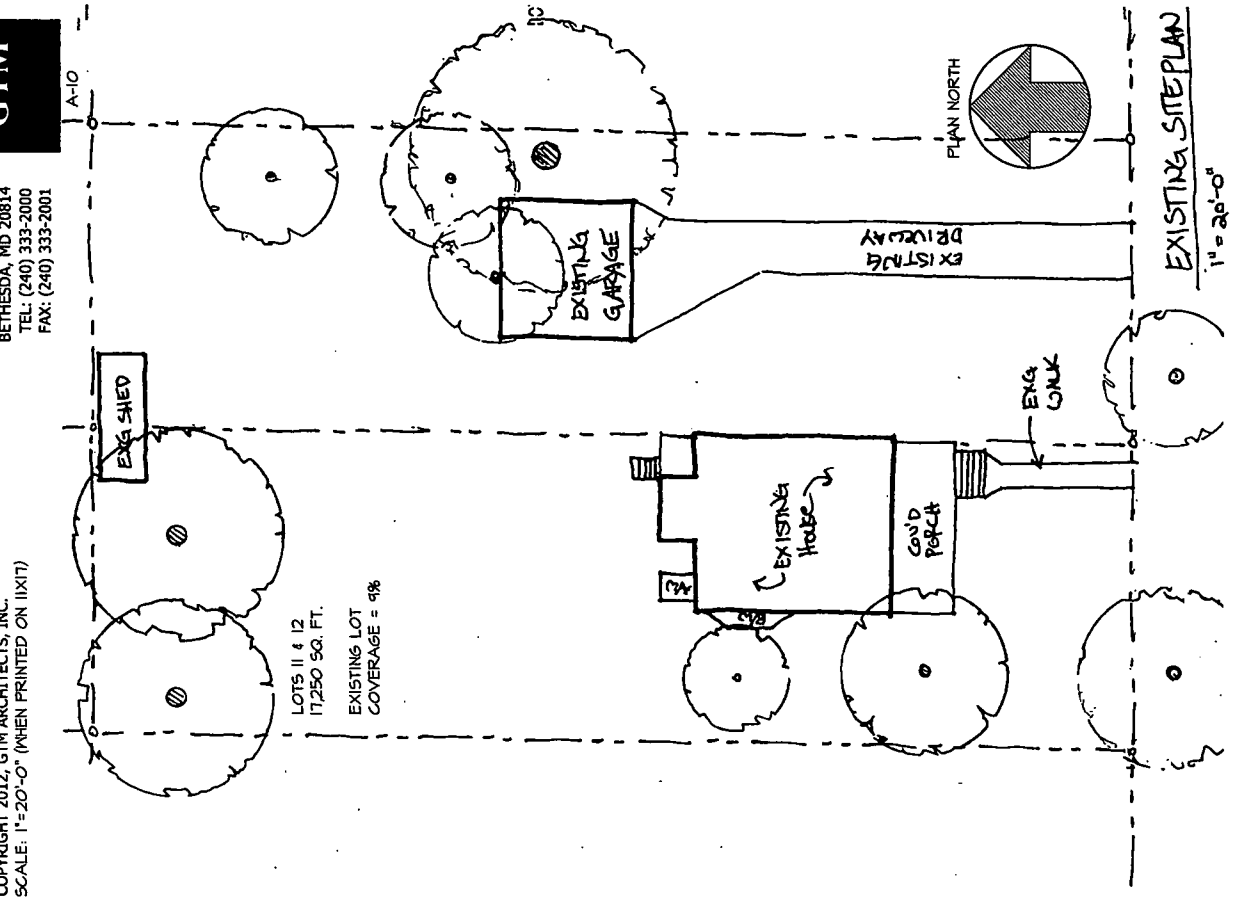
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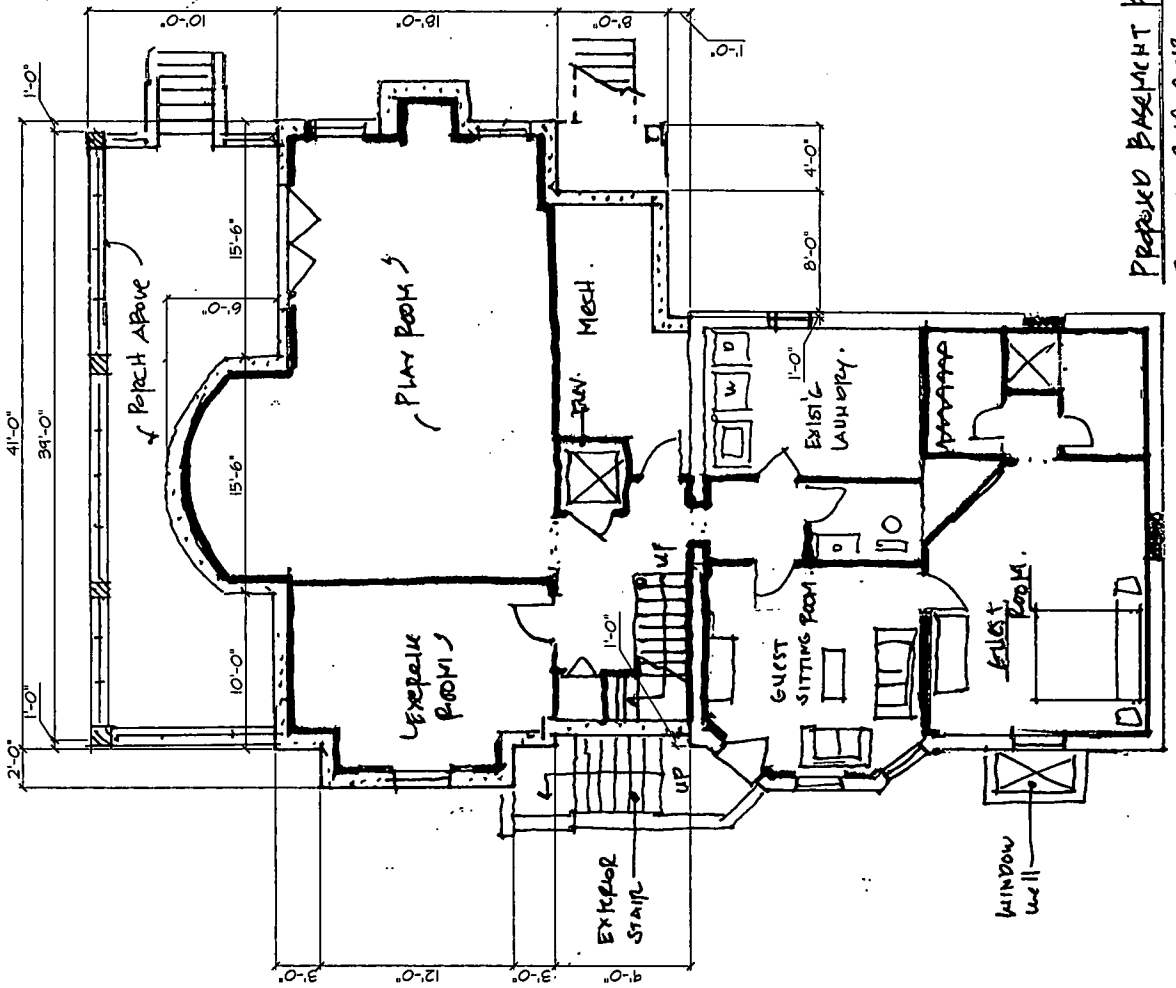




A-11

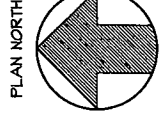
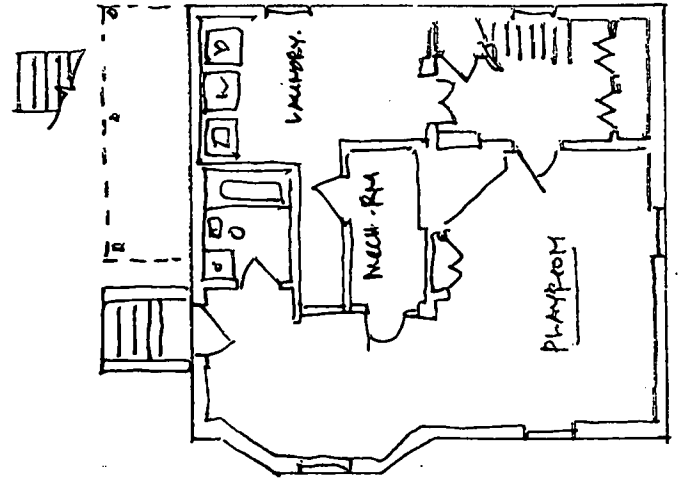
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PROPOSED BASEMENT PLAN.
 REVISED 9-18-2012.

(Paper Above)



EXISTING BASEMENT PLAN.
 4'-2" 0 4' 8' 16'
 1/8"=1'-0" (WHEN PRINTED ON IIXIT)

(Paper Above)



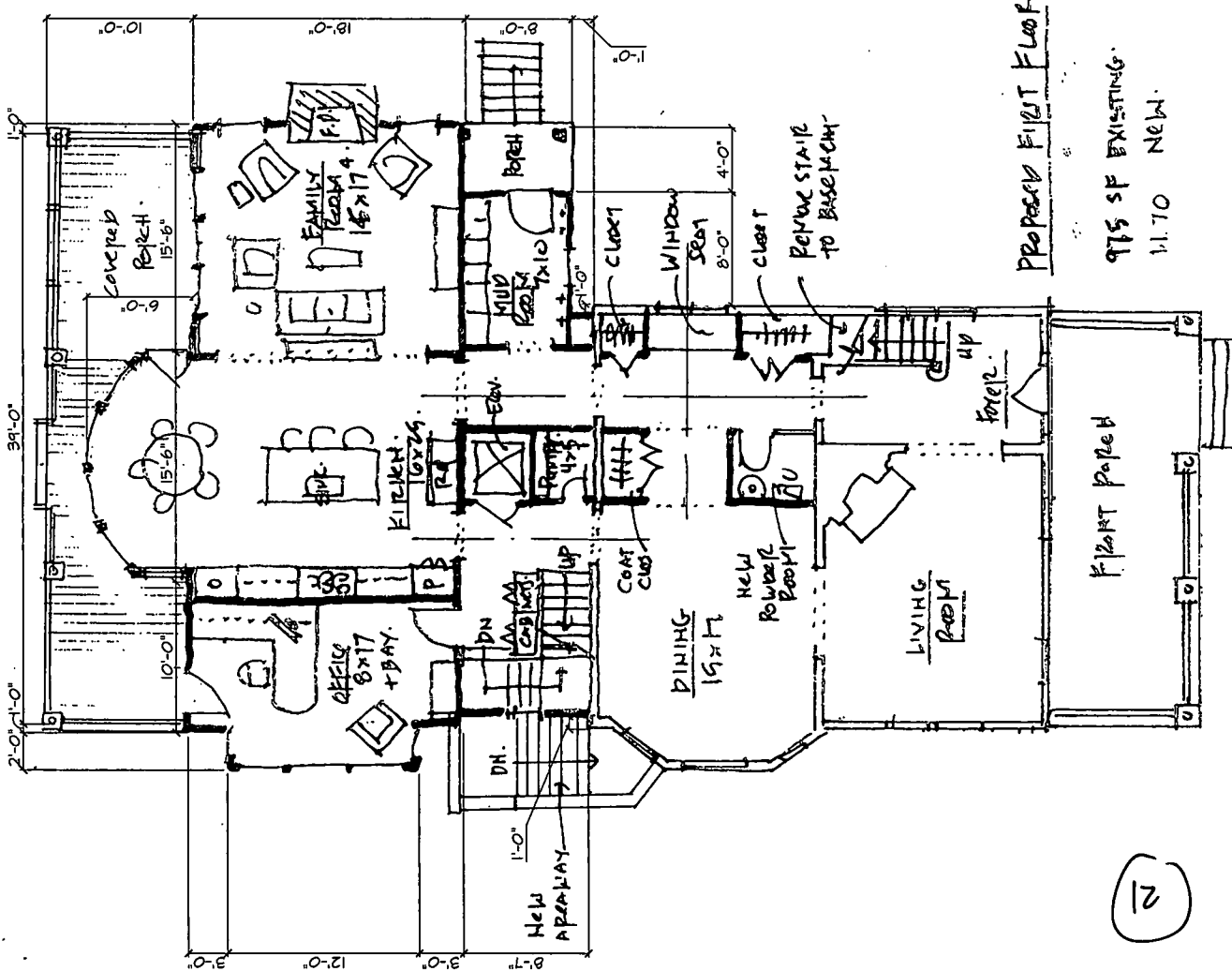
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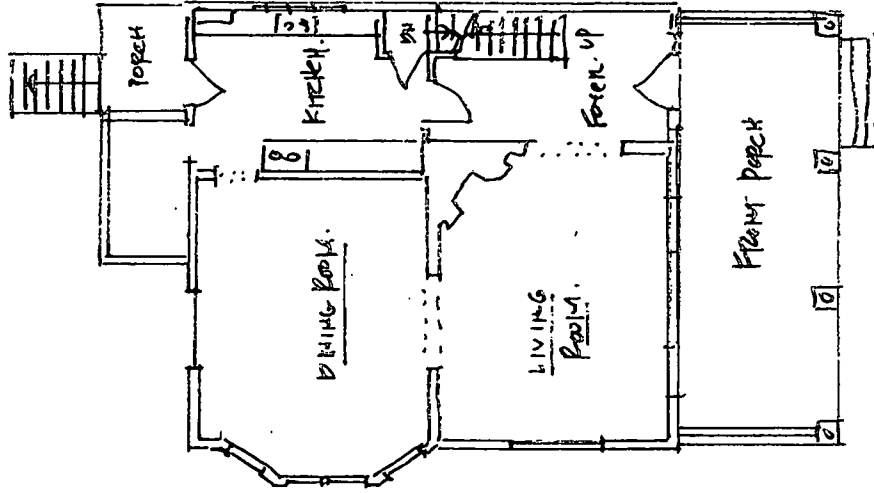


A-12

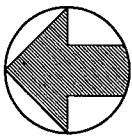


PROPOSED FIRST FLOOR

975 SF EXISTING
 11.70 NEW



PLAN NORTH



EXISTING FLOOR PLAN

975 SF

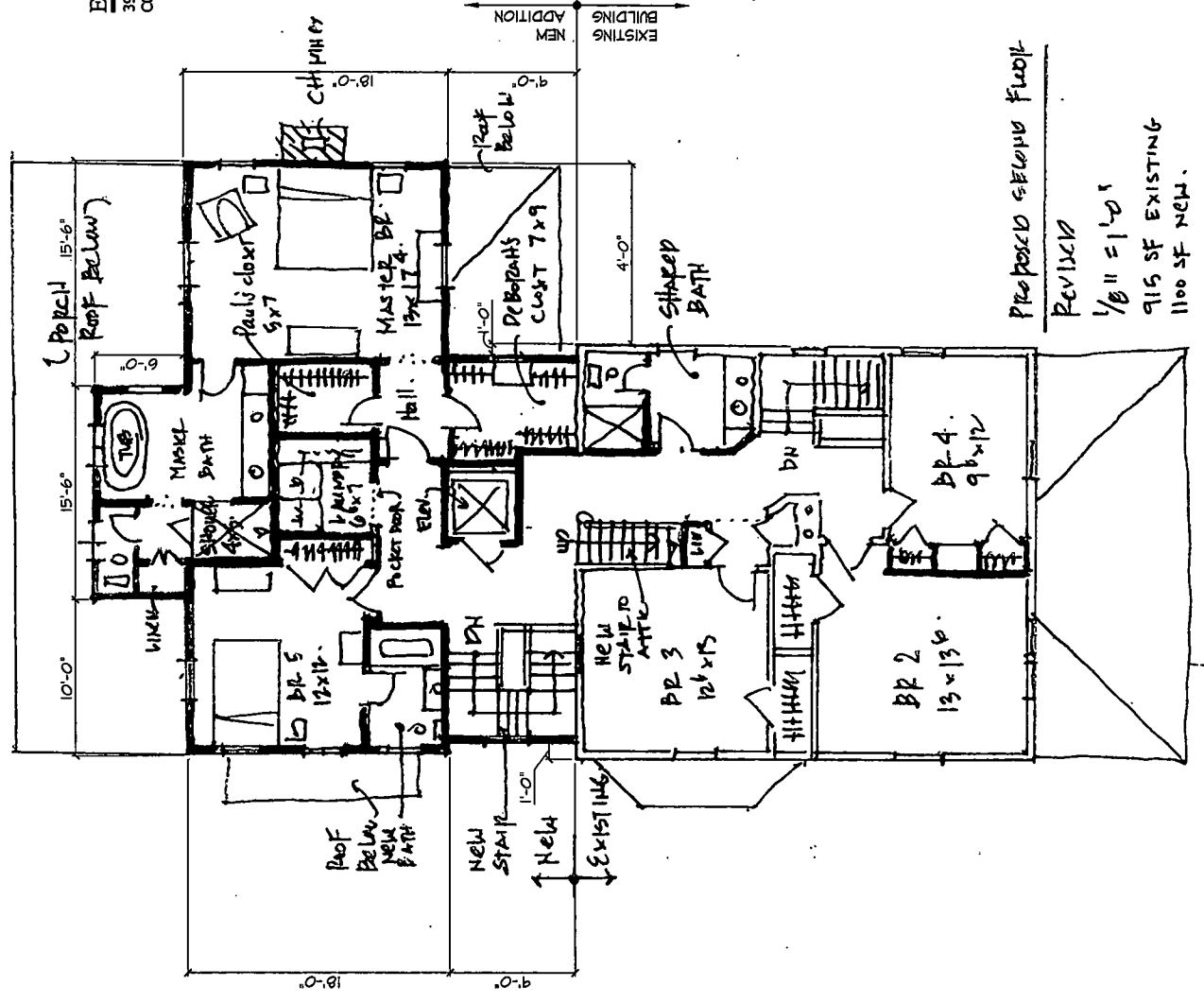
4' 2' 0" 4' 8' 16'
 1/8"=1'-0" (WHEN PRINTED ON IIXIT)

21

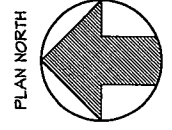


A-13

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PROPOSED SECOND FLOOR
 REVISION
 1/8" = 1'-0"
 915 SF EXISTING
 1100 SF NEW.



EXISTING SECOND FLOOR
 1/8" = 1'-0"
 915 SF ±
 4' 2" 0 4' 8' 16'
 1/8" = 1'-0" (WHEN PRINTED ON IXT)

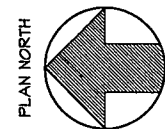
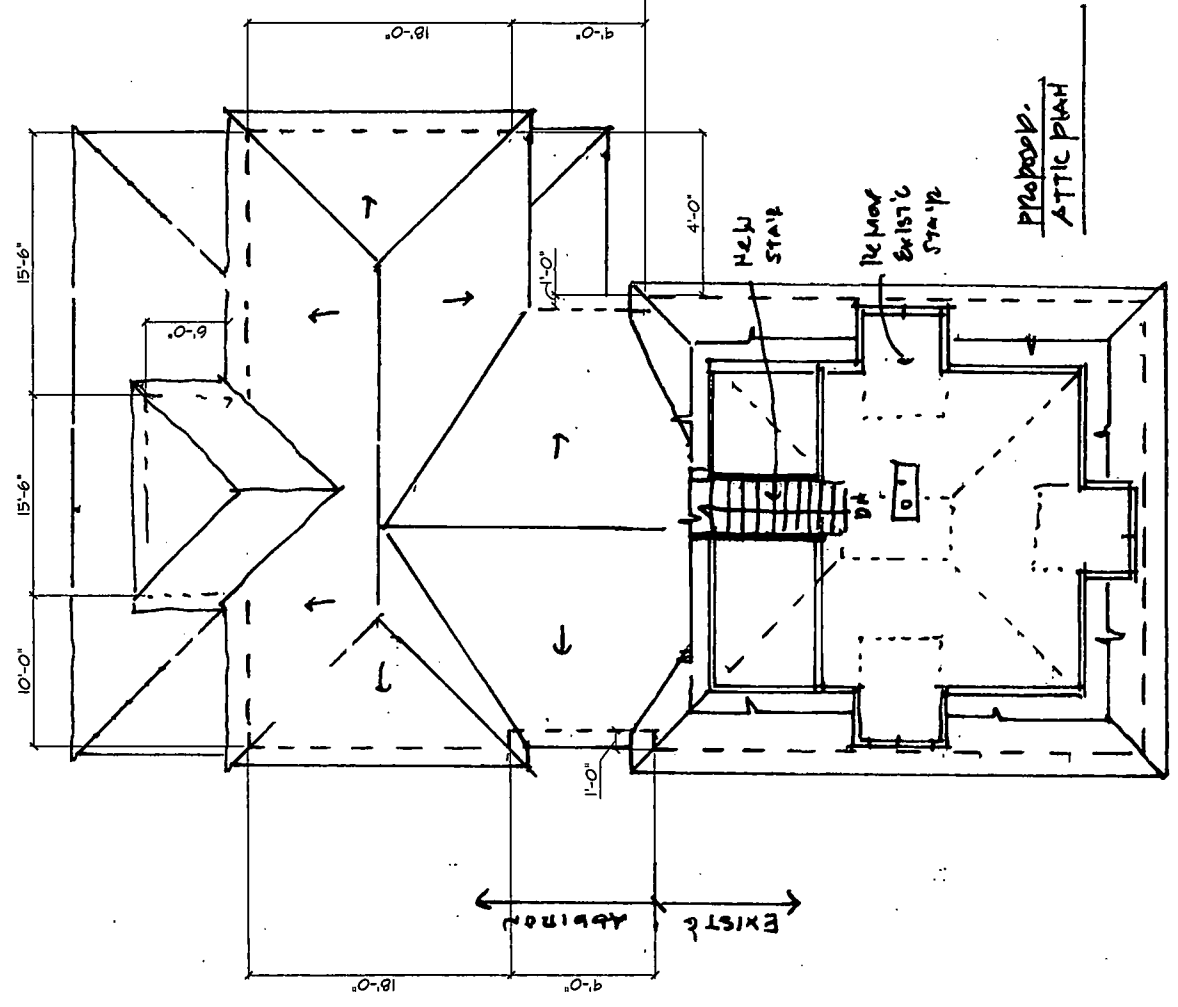


A-14

ECKERT RESIDENCE

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EXISTING
ATTIC PLAN

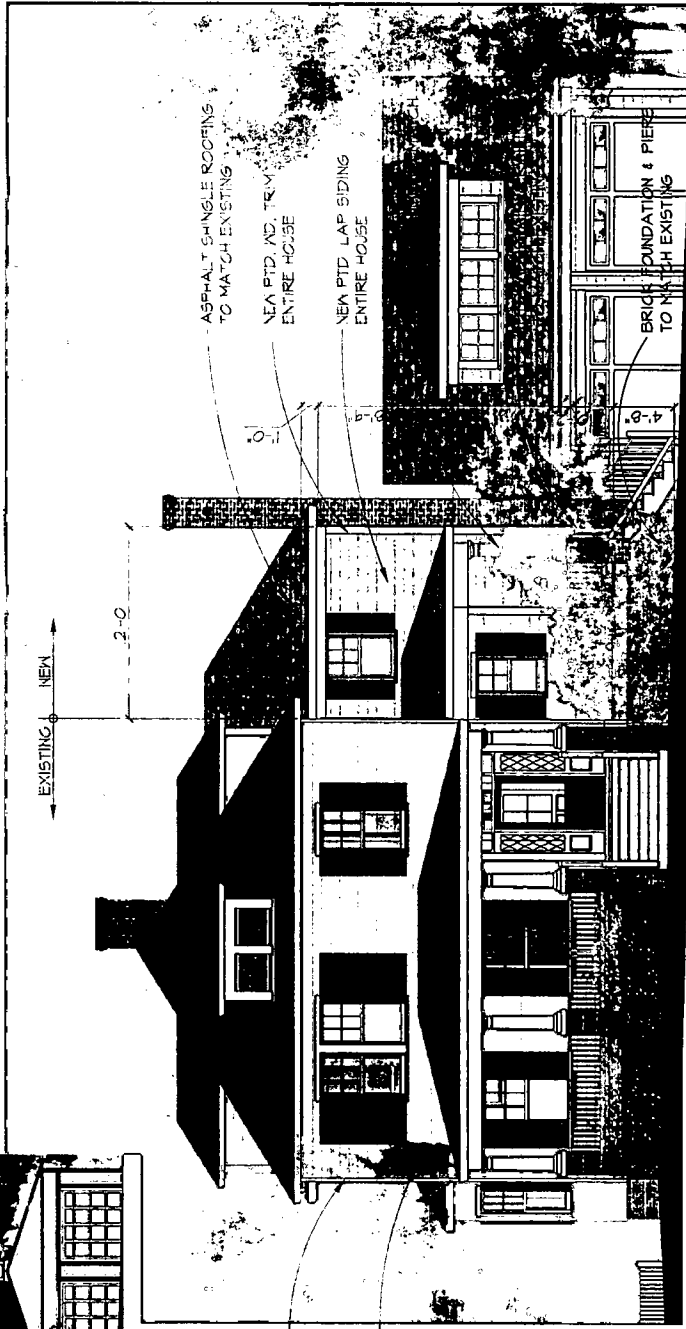
4' 2' 0 4' 8' 16'
1/8"=1'-0" (WHEN PRINTED ON IIXIT)



EXISTING FRONT ELEVATION

NEW PTD. MD. TRIM TO REPLACE
EXG. MTL. TRIM, ENTIRE HOUSE

NEW PTD. LAP SIDING TO REPLACE
EXG. MTL. SIDING, ENTIRE HOUSE



PROPOSED FRONT ELEVATION

EXISTING NEW

2'-0"

ASPHALT SHINGLE ROOFING
TO MATCH EXISTING

NEW PTD. MD. TRIM
ENTIRE HOUSE

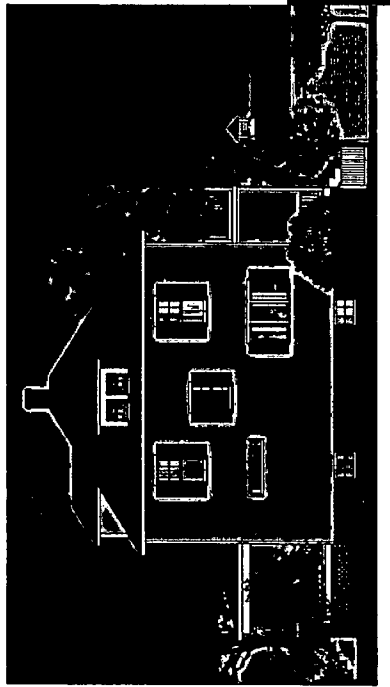
NEW PTD. LAP SIDING
ENTIRE HOUSE

BRICK FOUNDATION & PIERCE
TO MATCH EXISTING

PTD. WOOD LATTICE
TO MATCH EXISTING

A-15





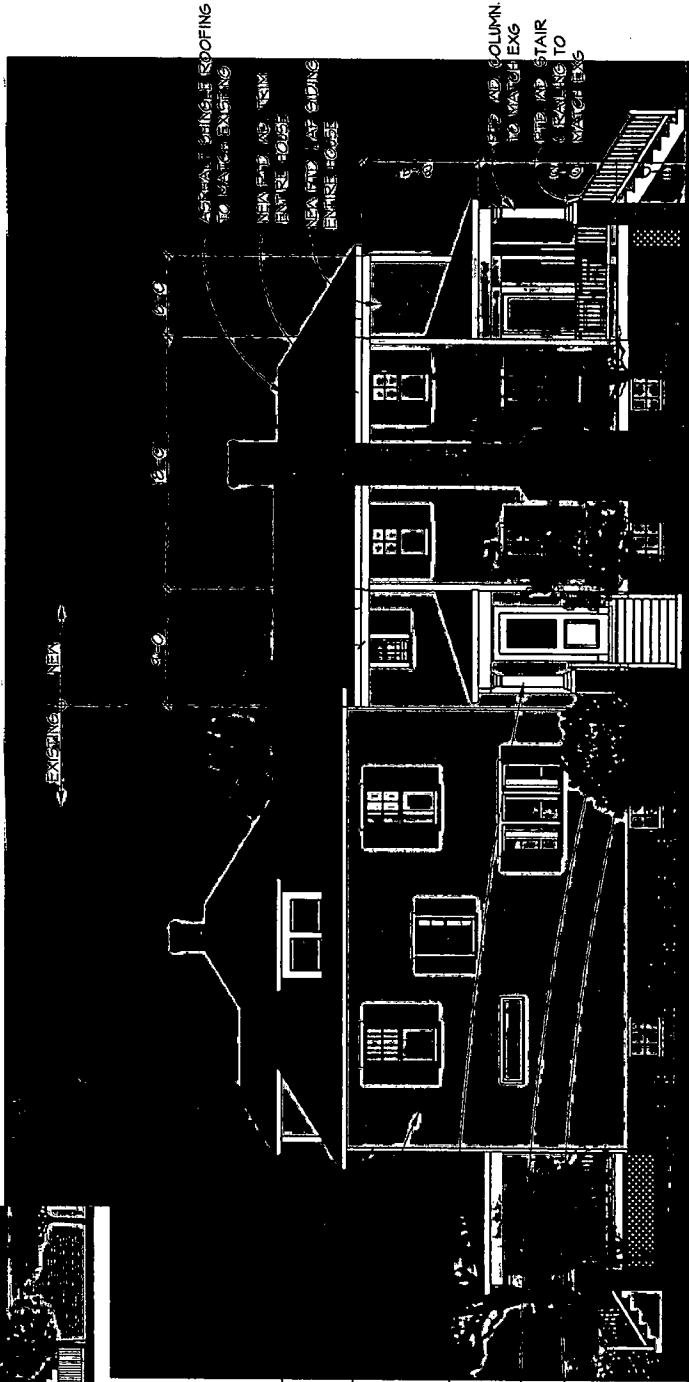
EXISTING RIGHT SIDE ELEVATION

NEW PTD. MD. TRIM TO REPLACE
EXG. MTL TRIM, ENTIRE HOUSE

NEW PTD. LAP SIDING TO REPLACE
EXG. MTL SIDING, ENTIRE HOUSE

PTD. MD. COLUMN TO MATCH
EXISTING

PTD. MD. STAIRS & RAILING
TO MATCH EXISTING
BRICK FOUNDATION & PIERS
TO MATCH EXISTING



A-16



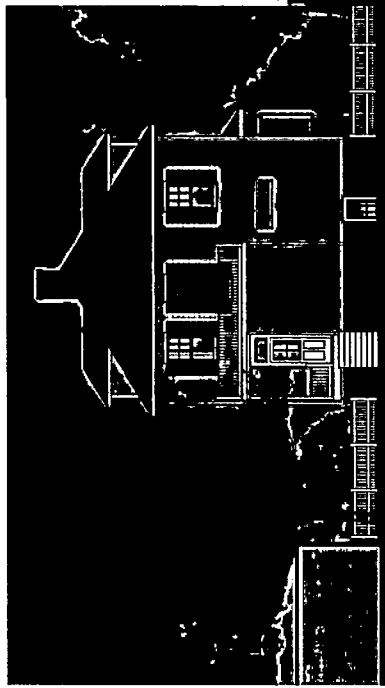
PROPOSED RIGHT SIDE ELEVATION

BRICK FOUND.
& PIERS TO
MATCH EXG.

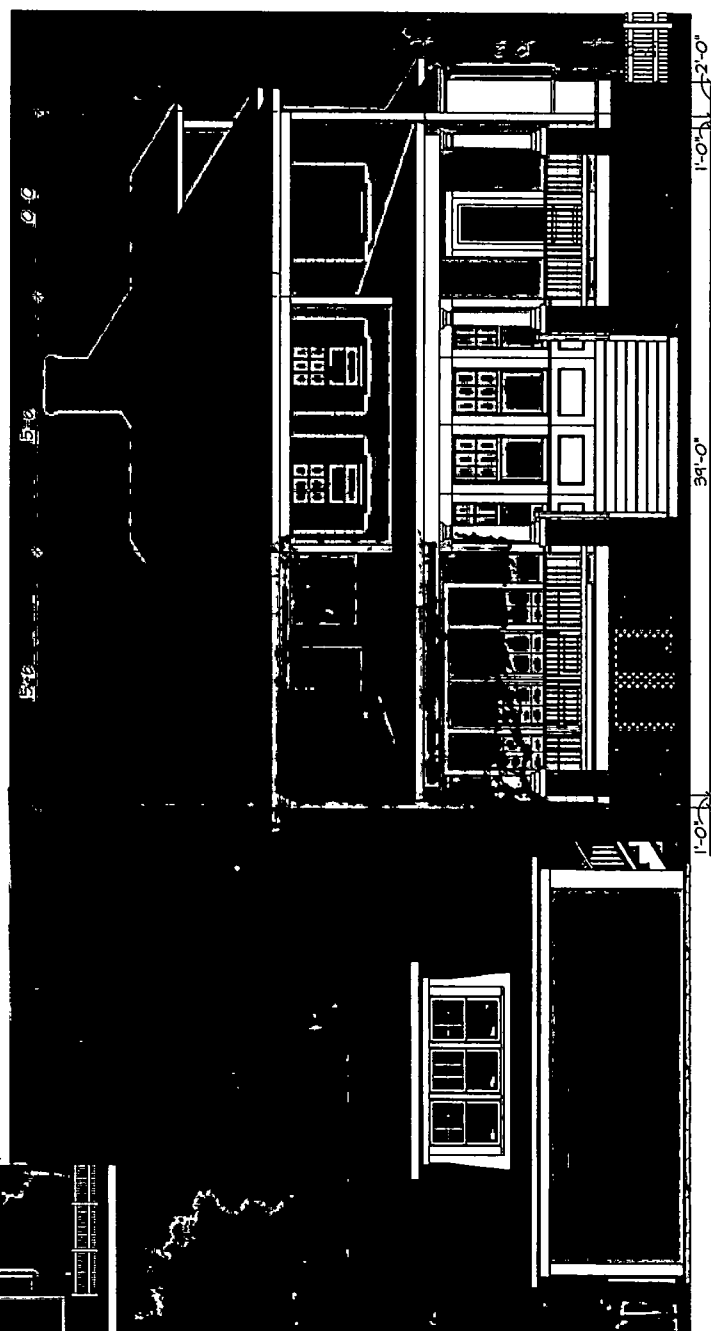
AS SHOWN, SHINGLE ROOFING
TO MATCH EXISTING
NEW PTD. MD. TRIM
ENTIRE HOUSE
NEW PTD. LAP SIDING
ENTIRE HOUSE
PTD. MD. COLUMN
TO MATCH EXG
PTD. MD. STAIR
& RAILING TO
MATCH EXG

1'-0" 8'-0" 6'-6" 5'-0" 6'-6" 10'-0"

16



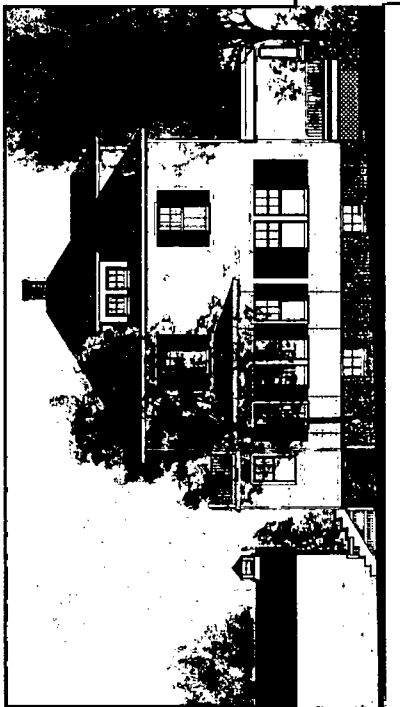
EXISTING REAR ELEVATION



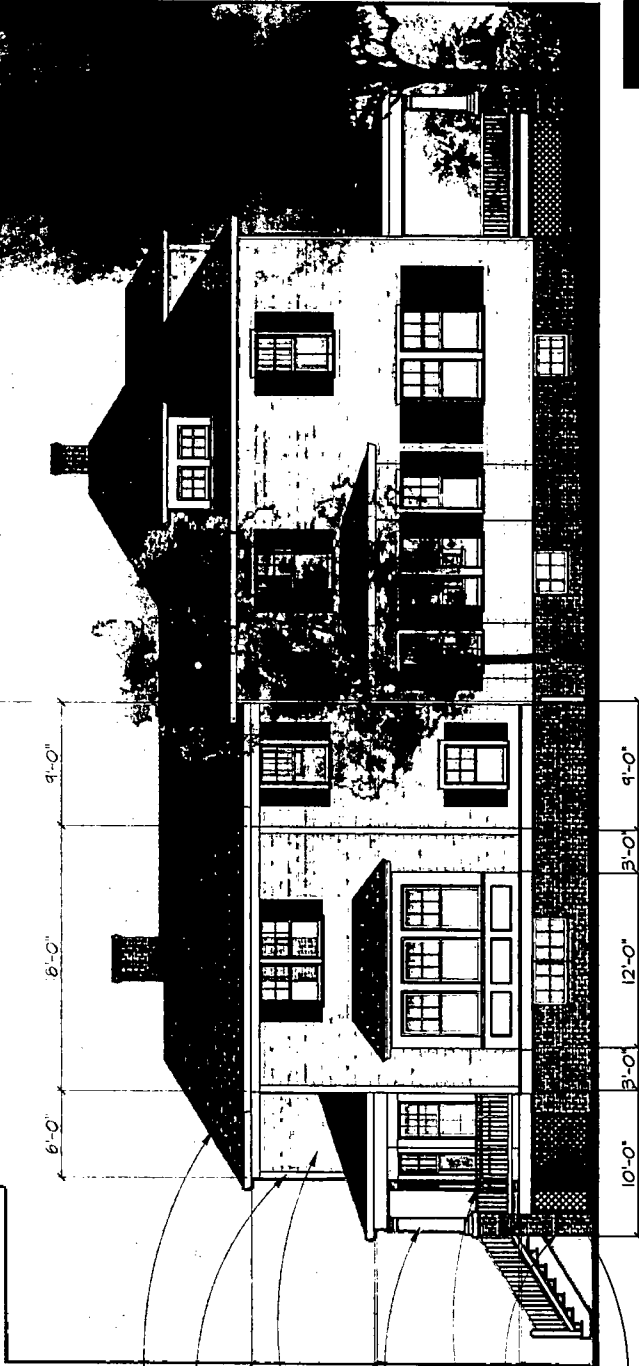
PROPOSED REAR ELEVATION

GTM

17



EXISTING LEFT SIDE ELEVATION



- ASPHALT SHINGLE ROOFING TO MATCH EXISTING
- NEW PTD. WD. TRIM ENTIRE HOUSE
- NEW PTD. LAP SIDING ENTIRE HOUSE
- PTD. WD. COLUMN TO MATCH EXISTING
- PTD. WD. RAILING TO MATCH EXISTING
- BRICK FOUNDATION & PIERS TO MATCH EXISTING
- PTD. WOOD LATTICE TO MATCH EXISTING

PROPOSED LEFT SIDE ELEVATION

A-18



18



EXISTING GARDEN SHED



EXISTING GARAGE FRONT VIEW



NEW GARAGE FRONT-RIGHT VIEW



EXISTING GARAGE LEFT SIDE VIEW



EXISTING GARAGE REAR VIEW

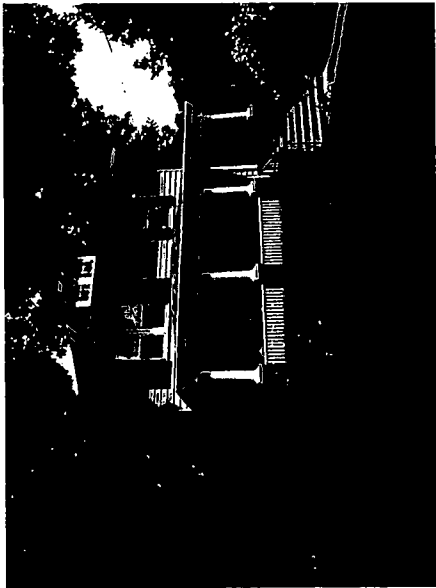


NEW GARAGE REAR-LEFT VIEW

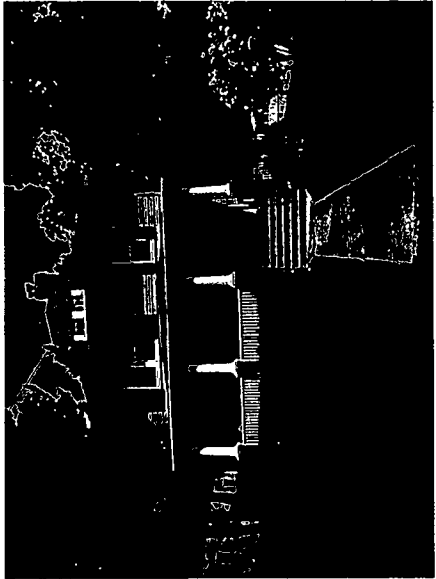
A-19

19

GTM



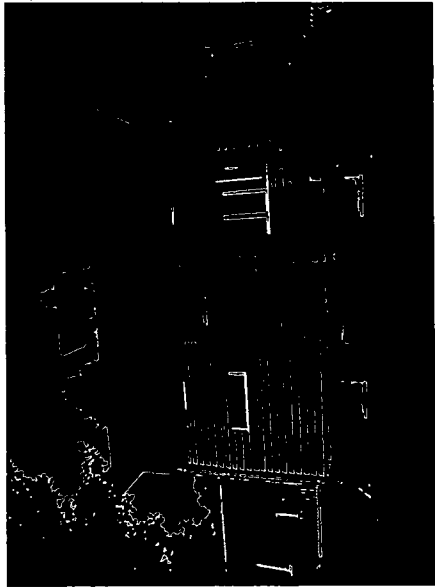
VIEW OF REAR & PARTIAL RIGHT SIDE



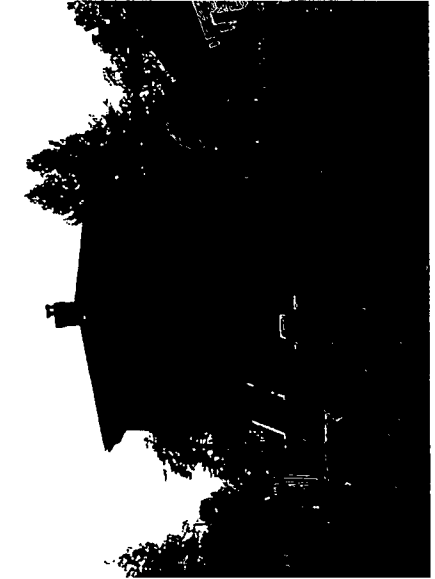
VIEW OF FRONT



VIEW OF FRONT & RIGHT SIDE



VIEW OF RIGHT SIDE



VIEW OF REAR

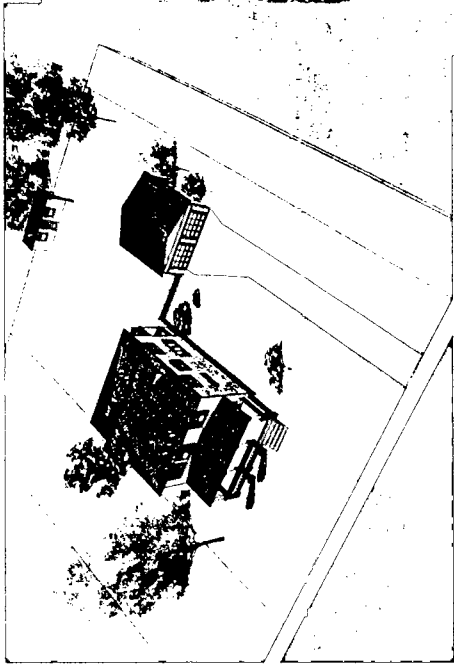


VIEW OF REAR & PARTIAL LEFT SIDE

A-1

20





EXISTING AERIAL VIEW



PROPOSED AERIAL VIEW

A-4



12



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

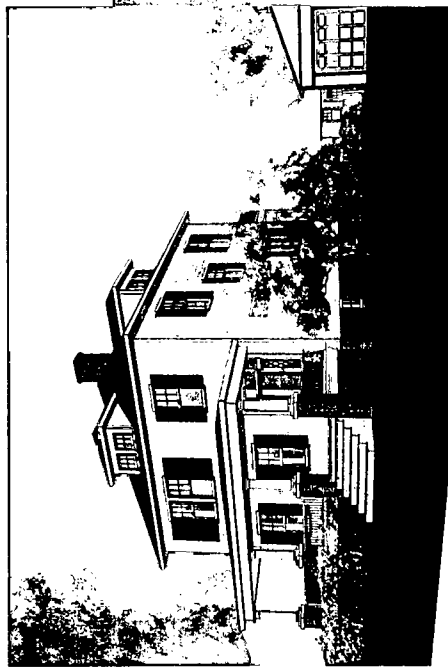
A-5

GTM

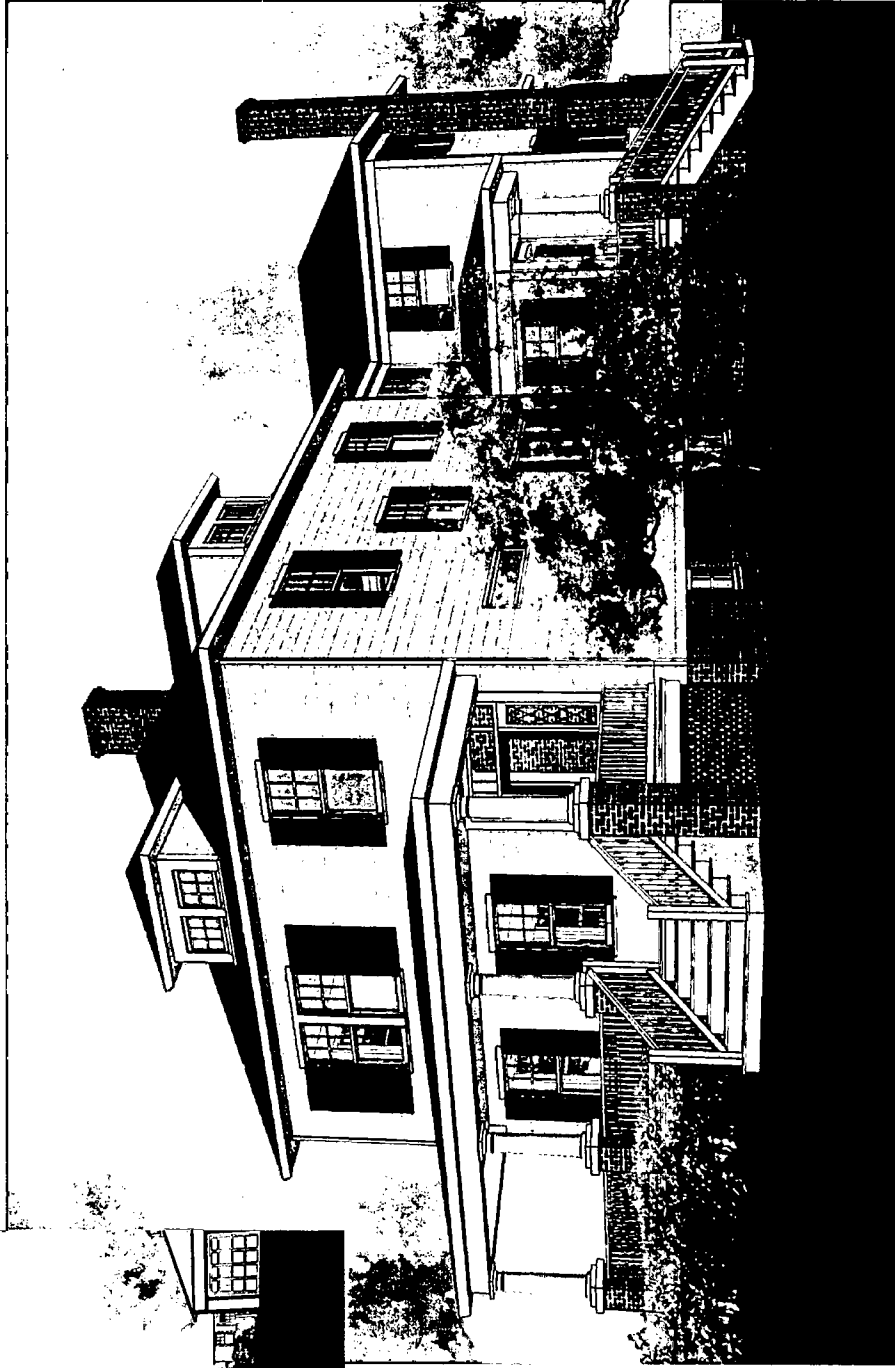
ECKERT RESIDENCE - HPRB MEETING 10/24/2012 - PRELIMINARY CONSULTATION

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EXISTING PERSPECTIVE VIEW

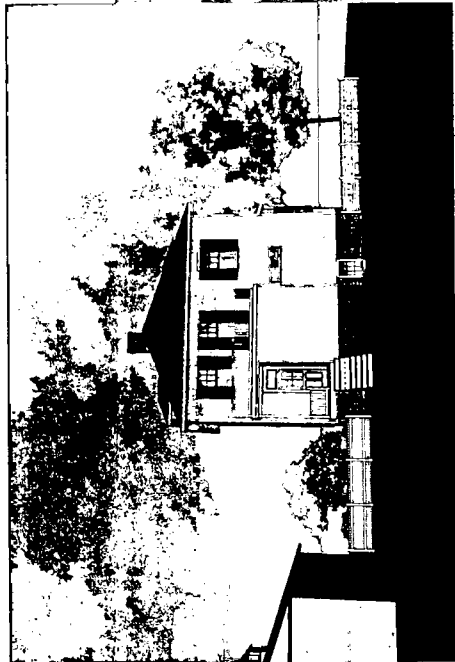


A-6

PROPOSED PERSPECTIVE VIEW

GTM

23



EXISTING PERSPECTIVE VIEW

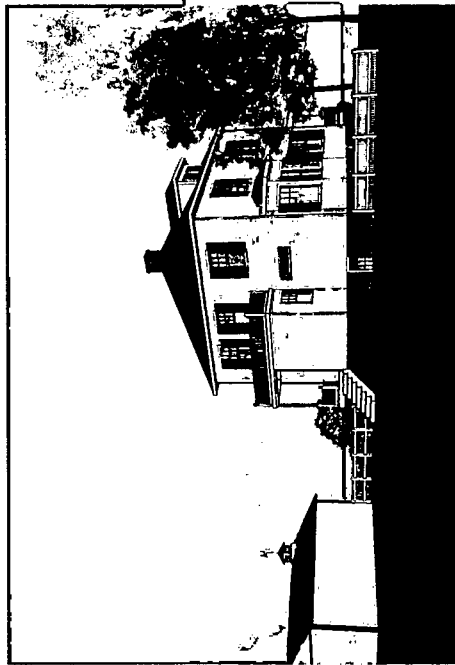


PROPOSED PERSPECTIVE VIEW

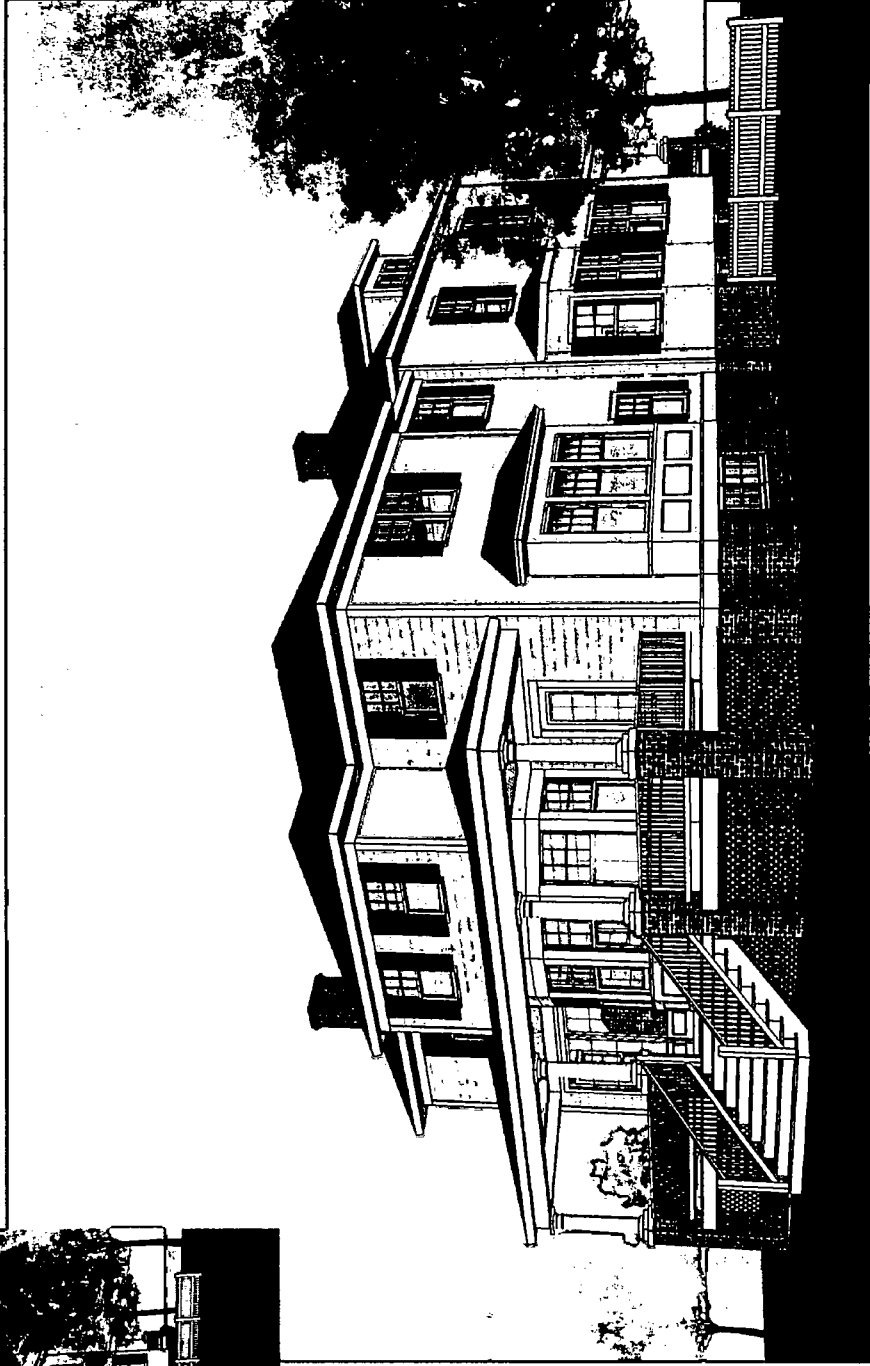
A-7

GTM

24



EXISTING PERSPECTIVE VIEW



A-8

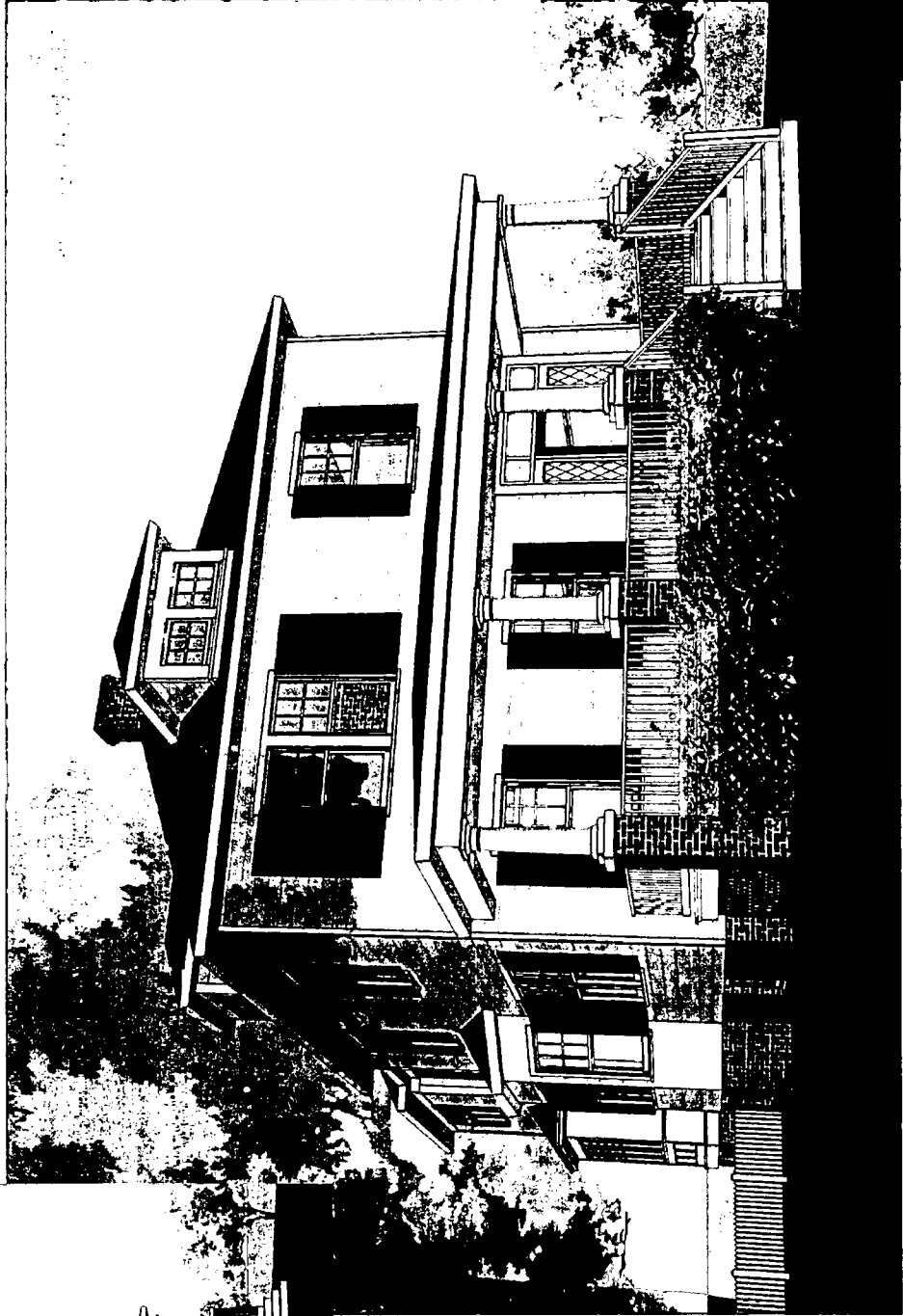
PROPOSED PERSPECTIVE VIEW

GTM

25



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-9

GTM

26



10221 MONTGOMERY AVENUE



10225 MONTGOMERY AVENUE



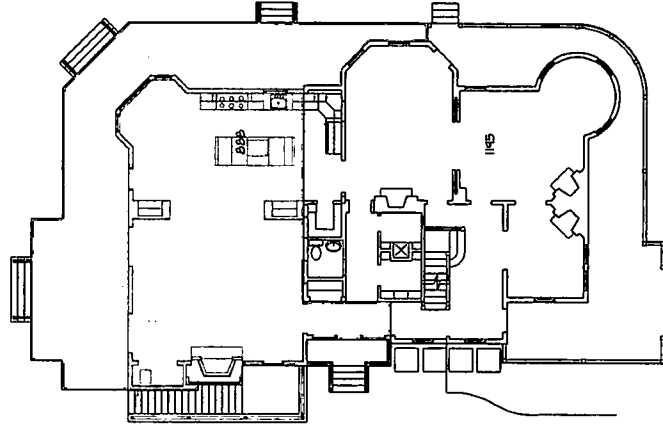
10308 MONTGOMERY AVENUE



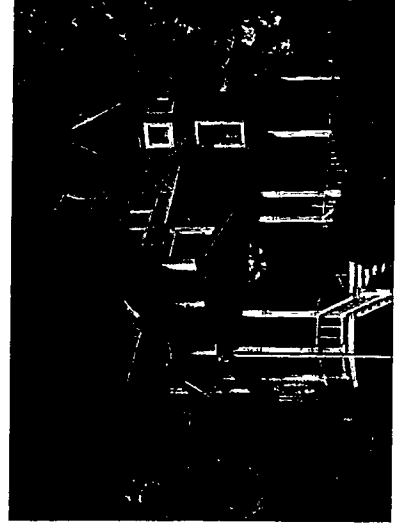
MASSING PRECEDENTS IN
KENSINGTON, MD



10415 ARMORY AVENUE



10400 MONTGOMERY AVENUE



A-3

GTM

10400 MONTGOMERY AVE.

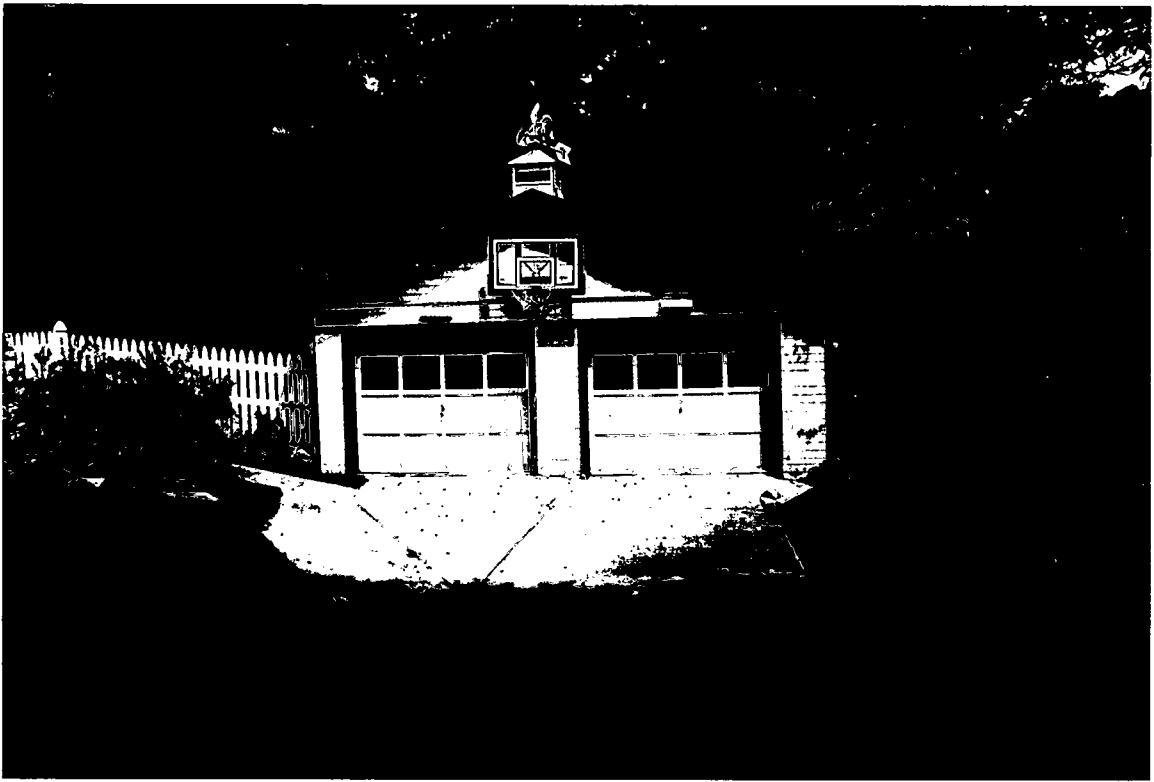
ECKERT RESIDENCE - HPRB MEETING 10/24/2012 - PRELIMINARY CONSULTATION

G T M A R C H I T E C T S

28

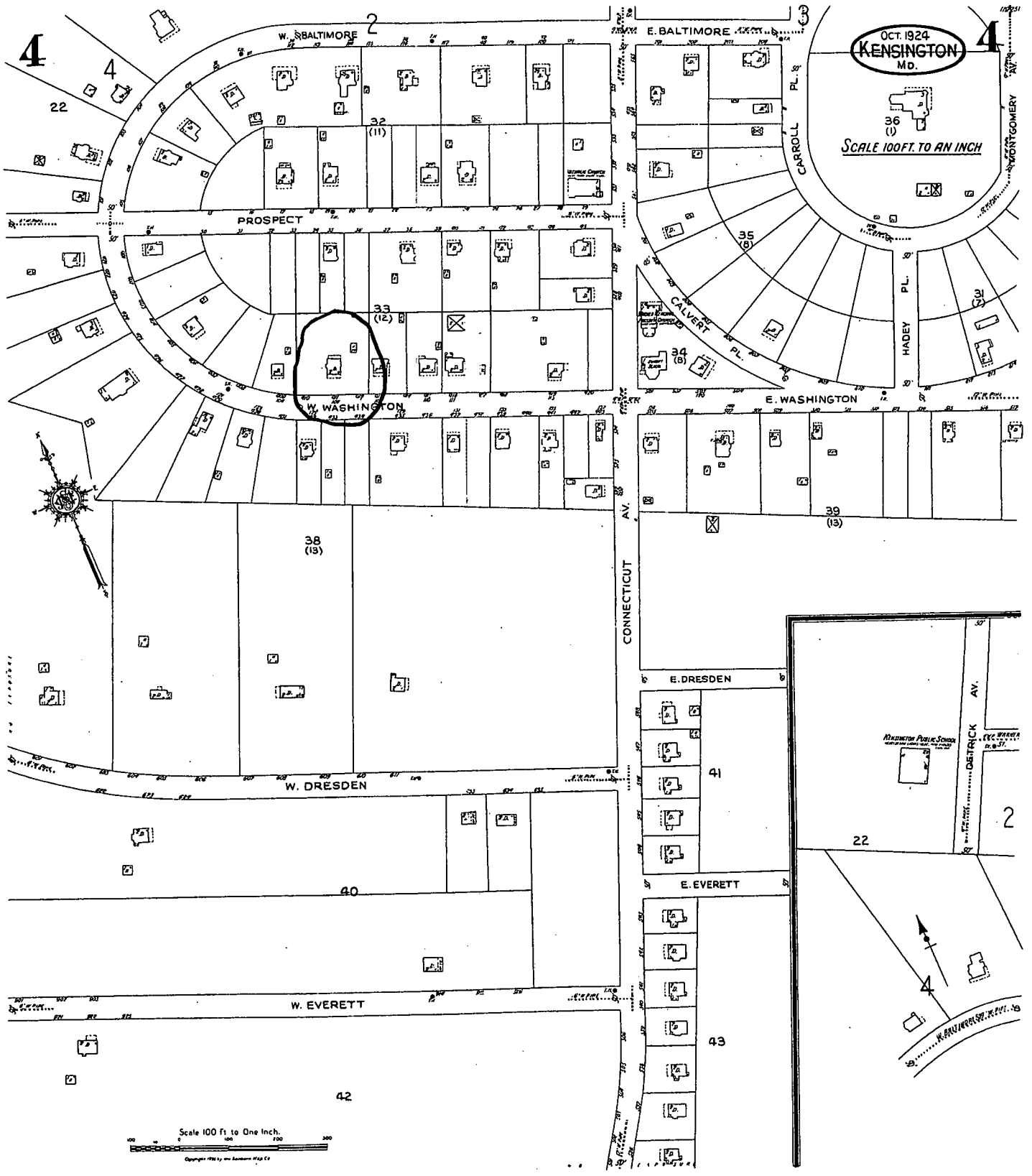
3923 Washington









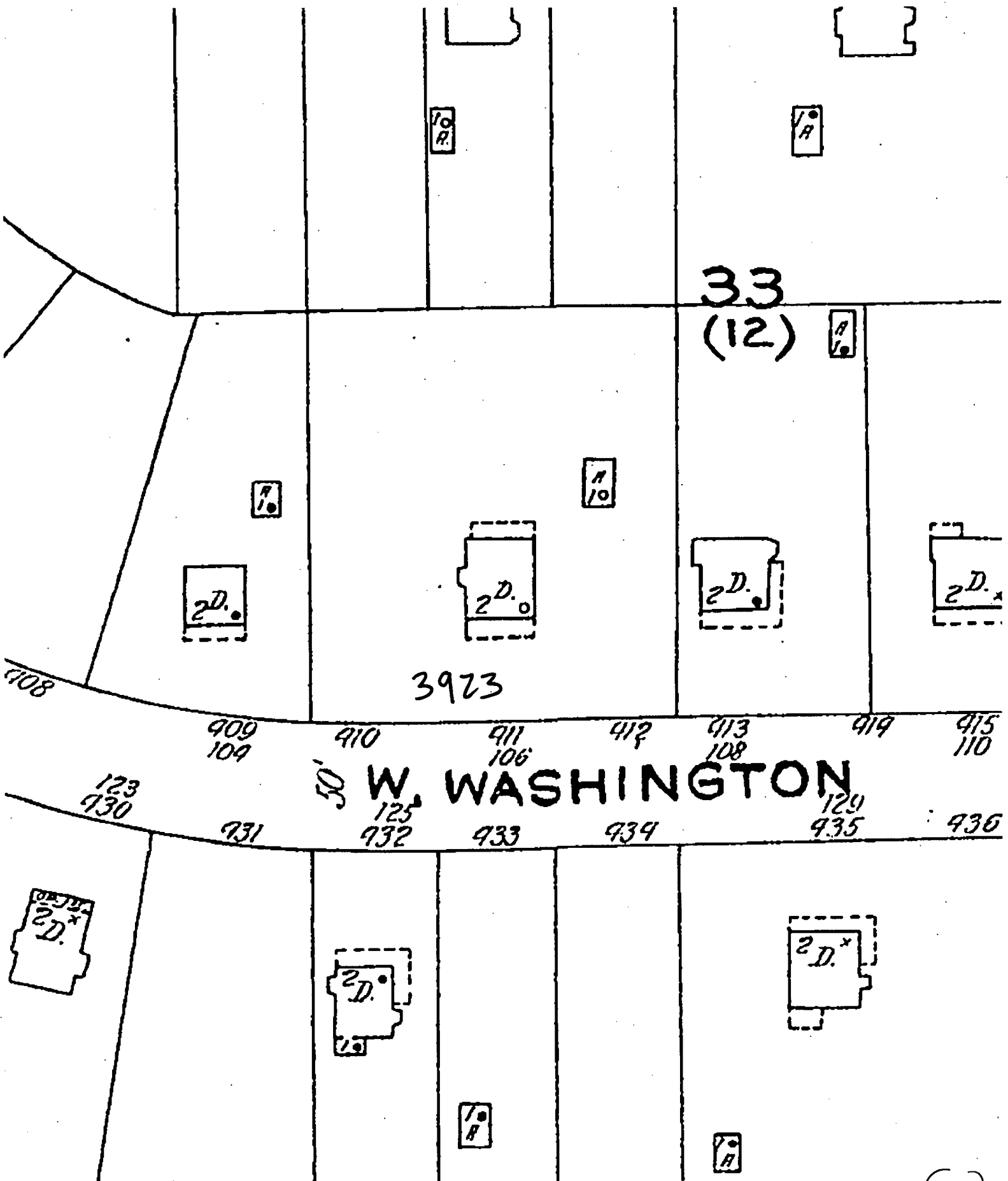


OCT. 1924
KENSINGTON
 Md.

SCALE 100 FT. TO AN INCH

Scale 100 ft to One Inch.
 0 100 200 300
 Copyright 1924 by the Board of Public Works

1924 sanborn



MEMO

To: Historic Preservation Staff

From: Helen Wilkes, Chair, Kensington LAP

Date: October 24, 2012

Re: Comments from the Kensington LAP

1. 10300 Fawcett Street:
 - a. No comments were received from other LAP members.
 - b. As the windows appear to be 1/1, it would seem that the Anderson replacements do not affect the appearance adversely.
 - c. Defer to HPC judgment re: appropriateness of materials composition of replacement windows.
2. 3923 Washington Street:
 - a. No comments were received from other LAP members.
 - b. Owners are to be commended for restoring original historic features to the house and for designing new additions in compatible style; for locating the proposed addition to the rear of the house; and for setting the new garage further back on the property, which promotes the flow of open space around the house.
 - c. General comment: As in at least one recent example of new construction in the Kensington HD, I'm concerned about what happens when an existing shed is torn down and the square footage of the footprint of the one-story shed becomes a "credit" toward the new lot coverage figure. It's not "apples to apples", as the same square footage is now extruded vertically into a two or three story structure and the visual impact of that same square footage is accordingly amplified. Tearing down a seemingly insignificant shed, if regarded strictly in terms of the numbers, helps to reduce the new lot coverage figure, but the visual impact of adding that same square footage to the total footprint of new additions is far greater. I hope that the HPC will take this into consideration not only in considering this project, but on all projects in Kensington, where diminution of Kensington's essential, character-defining historic garden park setting impacts not only the HAWP applicant's property, but the entire adjacent and surrounding historic setting.
 - d. Agree with staff comments regarding concerns about the size of the addition.
 - e. Garage:
 - i. No dimensions are shown to indicate difference in size between existing and new. Please ensure that all added square footage is reflected in new lot coverage figure. Note also that the existing garage is one story whereas the proposed is 1 1/2 stories, which, per note 2. c., has a greater impact on the "vertical footprint".
 - ii. Prefer that new garage doors reflect historic proportions to extent possible, such as compatible models offered by Designer Doors.
 - f. Deck: Stairs to ground level appear on site plan but not on floor plan.

Respectfully submitted,

Helen Wilkes

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3923 Washington Street, Kensington	Meeting Date:	2/13/13
Applicant:	Paul and Deborah Eckert (Luke Olson, Agent)	Report Date:	2/6/13
Resource:	Primary-One Resource Kensington Historic District	Public Notice:	1/30/13
Review:	HAWP	Tax Credit:	Partial
Case Number:	36/02-13C	Staff:	Josh Silver

PROPOSAL: Construction of addition, demolition of garage, new garage construction

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the Historic Area Work Permit application **with the following condition**:

- The applicants must contact HPC staff upon removing the siding on the historic massing to determine appropriate exterior material treatments and details for the addition. Final materials to be reviewed and approved by HPC staff.*

PROPERTY DESCRIPTION

SIGNIFICANCE: Primary One Resource within the Kensington Historic District
STYLE: Colonial Revival
DATE: 1910

BACKGROUND:

The HPC held a preliminary consultation hearing at their October 24, 2012 meeting where they considered the applicants' proposal for construction of a rear addition and other alterations at the subject property. The HPC provided the applicants with the feedback below. [The full HPC meeting transcript is available on pages 51-98].

Addition- the size and scale of the addition in relationship to the main house is disproportionate. The HPC recommend the applicants consider the following: simplification of the roof forms, introducing a more deliberate hyphen, justification of the side projecting addition to the left (west) side in lieu of the right (east) side of the property and changing the orientation of the addition to be more linear versus perpendicular to the main house. Some Commissioner's commented the size of the addition should be reduced.

Garage- the HPC supported construction of a garage in the location shown on the site plan. There was some discussion about the impact a garage in this location would have on the expansiveness of open space between the houses, as referred to in the *Vision of Kensington: A Long-Range Preservation Plan*. General

comments included reducing the height of the garage, eliminating the front and rear dormer features, reducing its size and joggling the front wall plane. The HPC supported the brick tire track driveway, but recommended a reduction in the overall amount of hardscape and tinted surface treatment in lieu of asphalt for the driveway.

Materials and details- the HPC was generally supportive of the proposed materials. The HPC stated the details i.e., trim boards, frieze, and shutters did not take cues from the existing house. The applicants stated the details for the proposed additions would match those of the historic massing. Currently the historic massing is sheathed in aluminum siding. Upon removal of the siding the applicants intend to evaluate the existing siding, trim and details to determine appropriate exterior material selections for the proposed additions.

The applicants have included letters of support for their project. (See pages 99-125).

PROPOSAL

The applicants are proposing to:

- Remove aluminum siding and trim on house
- Salvage original wood siding where possible; install new wood siding to match where needed
- Construct a rear addition (see below)
- Remove existing front walkway and install new brick walkway
- Remove and replace concrete front porch stairs with wooden stairs and railing
- Demolish an existing two-car garage and remove concrete driveway
- Install new brick paver strips driveway and tinted concrete driveway at the right side of the house
- Construct new two-car garage; garage will be 24' x 24' x 19'2" tall (to roof ridge) and will be 1story; materials will match those proposed for the addition including wooden siding and asphalt shingle roofing. The front elevation will consist of wooden carriage style doors.
- Remove three Dogwood trees.

The proposed 1,050 square foot (foot print) rear addition will extend in a rectilinear shape from the rear of the existing house. Design features include a covered porch at the rear, a 9'6" side addition extension beyond the original west (left) side plane of the house and new brick chimney on the east (left) elevation. The rear covered porch has wooden steps to grade and there are steps to the driveway from the new east (right) side entrance. Both sets of steps will connect to the proposed driveway via a brick pathway. The proposal calls for wooden siding, asphalt shingle roofing, and brick foundation.

The proposed material treatments consist of wooden, double-hung, simulated-divided light, windows and doors and one set of ganged, wooden, casement windows at the 2nd floor, right side elevation. All columns, porch railings, shutters, and trim will be fabricated from wood and painted.

APPLICABLE GUIDELINES

When reviewing alterations within the Kensington Historic District, the *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)* are to be utilized as guidelines to assist the Commission in developing their decision. The pertinent information in these documents is outlined below.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The *Vision of Kensington: A Long-Range Preservation Plan* states that within the Historic District, “the houses share a uniformity of scale, set backs and construction materials that contributes to the cohesiveness of the district’s streetscapes.” The *Vision* discusses specifically the Historic Residential Core, where the house at 3923 Washington Street is located, which “consists of most of the primary historic resources in the residential neighborhood. This includes historic resources built from 1890 to 1930 which exemplify the historic pattern of development characterized by expansive open spaces between homes. In this area it is important to preserve these patterns of open space, front yard setbacks, building scale, architectural character, and the streetscape qualities.”

The *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland* state:

Basic Principles for an Addition

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

18.0 DESIGN OF NEW ADDITIONS

Design a new addition to be compatible with the primary structure.

18.1 Place an addition at the rear of a building to minimize its visual impacts.

- This will allow the original proportions and character to remain prominent.
- Locating an addition at the front of a structure is inappropriate
- Locating an addition to the side of a structure is generally inappropriate. However, special site constraints, such as sloping topography or location of a champion or specimen tree, may require a side addition.
- An addition to the rear of a structure must also conform to Montgomery County and municipality setback requirements.

18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.

18.3 An addition should be compatible in scale with the primary structure.

- An addition should relate to the historic house in mass, scale and form. It should be designed to remain subordinate to the main structure.
- One option to help visually separate an addition from the primary building is to link the primary structure with a smaller breezeway.
- For a larger addition, break up the mass of the addition into smaller modules that relate to the historic house.
- An addition should be simple in design to prevent it from competing with the primary structure.

18.4 Use building materials that are compatible with those of the primary structure.

18.5 An addition should be compatible in character with the primary structure.

- An addition should be made distinguishable from the historic building, even in subtle ways, such that the character of the original can be interpreted. An addition should draw design elements from the historic structure, expressing them in a simplified or contemporary manner rather than striving to perfectly recreate historic building features.
- A change in setbacks of the addition from the historic building, or applying a new trim board at the connection point can help define the addition.
- An addition that seeks to imply an earlier period than that of the primary building also is inappropriate. For example, an addition that is more ornate than the original building would be out of character.

18.6 Use windows that are similar in character to those of the main structure.

- If the original windows were a wood, double-hung style, for example, then new windows that appear similar to them would be appropriate. Windows of suitable contemporary design might also be appropriate.

18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

- It is important to repeat the roof lines and slopes found on the primary structure. Typically, gable, hip and shed roofs are appropriate for residential-type building additions. Flat roofs may be appropriate in certain cases, such as for some commercial buildings.
- Eave lines on the additions should be no higher, and preferably lower, than those of the historic building or structure.

14.0 ACCESSORY STRUCTURES AND OUTBUILDINGS

New accessory structures and outbuildings should be compatible with the primary structure on a property.

14.2 New accessory structures and outbuildings should be compatible with the primary structure.

- New construction should be similar in style but recognizable as new.
- Architectural details, materials, and style should be compatible to the primary structure.
- The mass and scale should be in proportion to the primary structure.
- New accessory structures and outbuildings should be located in the rear yard and conform to Montgomery County and municipality zoning and building regulations.

STAFF DISCUSSION (Preliminary Consultation):

The applicants propose to remove the aluminum siding and salvage and restore the original wood siding (where possible), which is commendable and will be a major improvement to the house and historic district. They are not proposing changes to the historic house other than at the rear of the house where the new addition will be constructed, and this is also commendable and in keeping with the applicable review criteria and preservation guidance.

The applicants are proposing to construct a 1,170 SF addition behind the existing 975 SF house. Staff's main concern with this proposal is the scale of the addition and its visibility since it extends 12 feet beyond the east side plane of the historic house. As the *Vision of Kensington* notes, this area of the historic district is "characterized by expansive open spaces between homes. In this area it is important to preserve these patterns of open space, front yard setbacks, building scale, architectural character, and the streetscape qualities."

While the materials and design of the addition are in keeping with the house, because of its size, scale, and side projection staff is concerned that it is an incompatible and inappropriate addition to this house. The rear addition is larger than the original house and, even though it is lower at the roof and inset at the sides, it may be out of scale and proportion to the historic house. If the addition was entirely at the rear and did not extend 12 feet out the side the overall size would be reduced and it would greatly reduce its visibility and overall impact on the house and site. As proposed it will extend into the yard to the side of the house and compromise the existing pattern of houses and open space that characterize this streetscape.

The applicants also propose to demolish the existing garage and construct a new driveway leading to a new garage at the back of the property. The existing garage would not be located behind the house once the addition is constructed and therefore would be non-conforming in terms of current zoning requirements. The proposed new garage has a similar footprint to the existing garage and will be 1 ½ stories and appears to be taller than the existing garage.

STAFF DISCUSSION (HAWP Proposal):

Addition

Staff recommends that the HPC approve the addition as submitted. Although the size of the addition remains relatively unchanged, the applicants have responded to the majority of the feedback they received from the HPC at the preliminary consultation hearing.

The proposed addition extends into the left side yard in lieu of the right. A result of this change a more deliberate hyphen was introduced on the right side elevation which better differentiates the historic massing and new addition section. Furthermore, this change preserves the existing open space that currently exists on the right side of the property and the *Vision of Kensington* identifies as an important characteristic in this area of the historic district. Per staff's recommendation the applicants eliminated the right side mudroom.

Garage

Staff recommends that the HPC approve demolition of the existing garage and construction of a new garage as submitted. Consistent with the HPC's consideration of the project at the preliminary consultation the garage location remains unchanged. Per the HPC's feedback, the applicants eliminated the front and rear dormers. The revised garage design has a hipped roof in lieu of a gable roof. Although the garage footprint and ridge height of the roof remain unchanged from the preliminary consultation, the proposed

hipped roof form helps mitigate the perceived height of the garage when viewed from the public right-of-way.

Staff recommends that the HPC approve the proposed hardscape plan as submitted. The revised hardscape plan responds directly to the HPC's feedback at the preliminary consultation by reducing hardscape and using a tinted driveway surface treatment in lieu of asphalt.

Materials and details

The HPC was generally supportive of the proposed materials at the preliminary consultation hearing. The HPC stated the details as shown (i.e., trim boards, frieze, and shutters), did not take cues from the existing house. The applicants stated the details for the proposed addition would match those of the historic massing. Currently the historic massing is sheathed in aluminum siding. Upon removal of the siding the applicants intend to evaluate the existing siding, trim and details to determine appropriate exterior material selections for the proposed additions. Consistent with the condition of approval the applicants must contact HPC staff upon removing the siding on the historic massing to determine appropriate exterior material treatments and details for the addition.

Staff recommends approval of removal and replacement of the non-original concrete front porch steps with wooden stairs and railings. A wooden stair unit and railing is in keeping with the existing porch materials and design of the house. Staff supports removal and replacement of front concrete walkway with brick.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with the condition specified on Circle 1** the HAWP application, under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the Vision of Kensington identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: LOLSON@GTMARCHITECTS.COM Contact Person: LUKE OLSON
Tax Account No.: 01022855
Name of Property Owner: PAUL & DEBORAH ECKERT Daytime Phone No.: 202-663-6537
Address: 3923 WASHINGTON STREET KENSINGTON MD 20895-3934
Contractor: TO BE SELECTED

LOCATION OF BUILDING/PROJECT

House Number: 3923 Street: WASHINGTON STREET
Town/City: KENSINGTON Nearest Cross Street: CONNECTICUT AVENUE
Lot: 11 & 12 Block: 12 Subdivision: KENSINGTON PARK
Liber: 6130 Folio: 89 Parcel:

INDICATE TYPE OF PLANNING ACTION

1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Revise, Move, Install, Wreck/Raze, Revision, Repair, Revocable, A/C, Stab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

1B. Construction cost estimate: \$ 500,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE ONLY FOR NEW CONSTRUCTION AND EXTENSION/ADDITION

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 12-28-12

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 1022090 Date Filed: 12/28/12 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing house is a two-story American Foursquare with a covered front porch and one-story bay window on the left side. There is a previous addition on the rear of the house with a small covered porch providing an additional entry. There is also an areaway on the rear providing access to the basement. The house sits on two lots (11 & 12), with the majority of the house located on lot 12 and a one-story detached garage on lot 11. The house is unevenly spaced between the surrounding residences, with 24' between it and the house on the left and 55' between it and the house on the right.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and features proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

b. General description of project and its effects on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The scope of work includes a two-story addition on the rear of the existing house and exterior renovation of the existing property. The existing site consist of two lots, with the existing house sitting almost entirely on the left lot, leaving an expanse of undeveloped land between the existing house and the neighboring property to the right. At the suggestion of the HPC, we have taken great care to ensure that the addition minimally impacts the existing spacing. The proposed addition projects to the left, where the spacing between houses typical of the neighborhood has already been disrupted by the house on the neighboring property, and where the existing landscape will help screen the impact of the addition from the street. Additionally, we are proposing to improve the perceived spacing on the right side by relocating the garage to a more suitable location in the rear yard. To retain the significance of the original house, we have located the addition entirely to the rear of the house and stepped back the addition where the two meet. At the suggestion of the HPC staff, we have matched the eave height of the existing house while keeping the massing of the building and the ridge height subordinate to the existing structure. We've included massing studies and building square footage examples to show that the existing house is quite small for the neighborhood, and that the proposed addition will not be out of scale with the surrounding houses. The design is in keeping with the historical character of the existing house, and the scope of work includes a renovation of the existing exterior with more traditional and historically accurate materials and details. We intend to remove much of the existing concrete drives and walkways, and replace them with permeable pavers to reduce the amount of non-habitable impervious surfaces on the lot.

There are two principal motivating factors behind the owners' desire to add to the existing home. First, the house is currently too small for the family to comfortably live in, and second, they will soon be assisting in the home care of an elder family member. The size and massing of the proposed addition is directly affected by the inclusion of several features to improve the accessibility of the existing house, including a wheelchair accessible elevator, appropriately sized doors and passageways, and accessible bathrooms and powder rooms. We ask that you please keep this in mind when reviewing the overall massing and design of the addition.

b. General description of project and its effects on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The scope of work includes a two-story addition on the rear of the existing house and exterior renovation of the existing property. The existing site consist of two lots, with the existing house sitting almost entirely on the left lot, leaving an expanse of undeveloped land between the existing house and the neighboring property to the right. At the suggestion of the HPC, we have taken great care to ensure that the addition minimally impacts the existing spacing. The proposed addition has been modified so that it is weighted almost entirely to the left of the property, where the spacing between houses typical of the neighborhood has already been disrupted by the infill house on the neighboring property, and where the existing landscape will help screen the impact of the addition from the street. Additionally, we are proposing to improve the perceived spacing on the right side by relocating the garage to a more suitable location in the rear yard. To retain the significance of the original house, we have located the addition entirely to the rear of the house and stepped back the addition where the two meet. Based on comments received during our HPC preliminary review and subsequent comments from the HPC staff, we've removed the projecting Mudroom Entry and have incorporated additional glazing into the "hyphen" to break up the massing and further differentiate the addition from the existing house. At the suggestion of the HPC staff, we have matched the eave height of the existing house while keeping the massing of the building and the ridge height subordinate to the existing structure. We've included massing studies and building square footage examples to show that the existing house is quite small for the neighborhood, and that the proposed addition will not be out of scale with the surrounding houses. The design is in keeping with the historical character of the existing house, and the scope of work includes a renovation of the existing exterior with more traditional and historically accurate materials and details. We intend to remove most of the existing concrete drives and walkways, and replace them with permeable pavers to reduce the amount of non-habitable impervious surfaces on the lot.

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In addition to the revisions outlined above, the Eckerts have compiled and submitted letters of support from the Mayor and Council of the Town of Kensington, which voted unanimously in support of the project as proposed after reviewing the plans and inviting public comment. Twenty of the Eckerts' neighbors have also provided letters of support, including those living in adjacent and facing lots 3919, 3922, 3924, and 3926 Washington Street, and backyard neighbors at 3924 Prospect Street. Additional letters of support are included in the application materials.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

PAUL AND DEBORAH ECKERT
3923 WASHINGTON STREET
KENSINGTON, MD 20895

Owner's Agent's mailing address

GTM ARCHITECTS
7735 OLD GEORGETOWN ROAD
SUITE 700
BETHESDA, MD 20814

Adjacent and confronting Property Owners mailing addresses

DANIEL BRAGG & CYNTHIA CECIL-BRAGG
3924 PROSPECT ST
KENSINGTON, MD 20895-3916

THEODORE ROSCHE
3922 PROSPECT ST
KENSINGTON, MD 20895

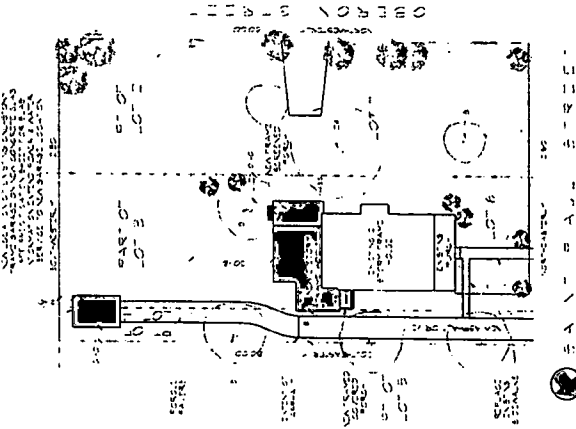
PETER & BROOKS KENNY
3922 WASHINGTON ST
KENSINGTON, MD 20895-3933

STEPHEN STRACHAN
3924 WASHINGTON ST
KENSINGTON, MD 20895-3933

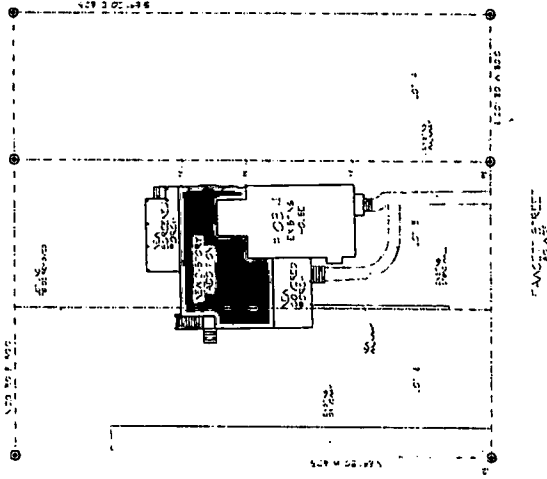
RICHARD STRACHAN
3925 WASHINGTON ST
KENSINGTON, MD 20895

MICHAEL KNECHT
3919 WASHINGTON ST
KENSINGTON, MD 20895

NANCY COLLINS
3926 WASHINGTON ST
KENSINGTON, MD 20895



10357 ST. PAUL STREET

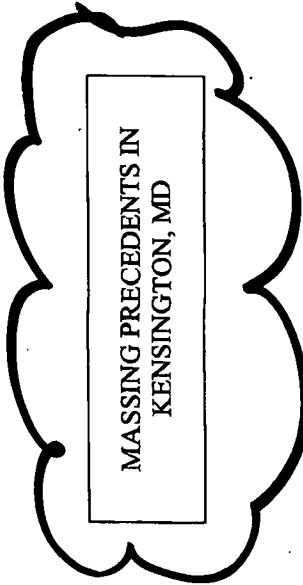


10314 FAWCETT STREET



A-2

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ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

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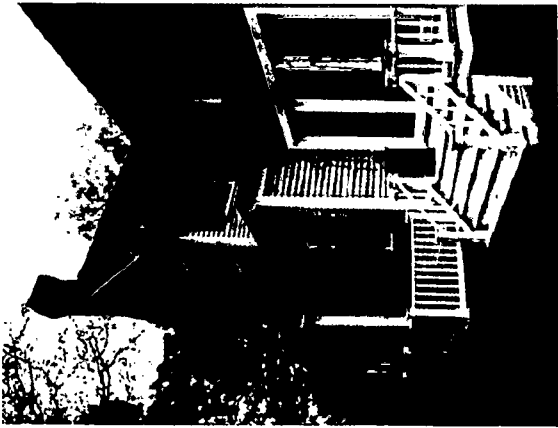
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10225 MONTGOMERY AVENUE



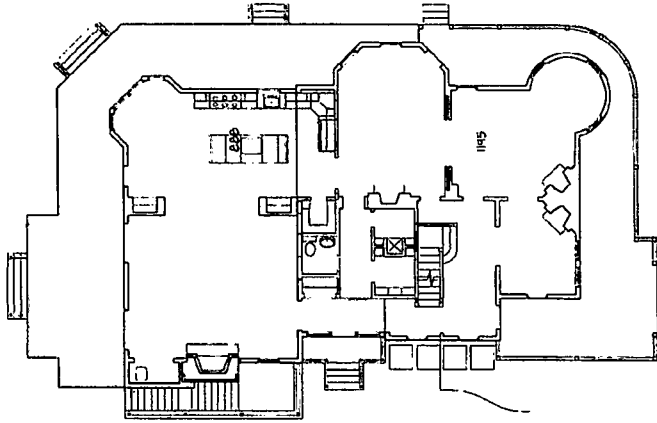
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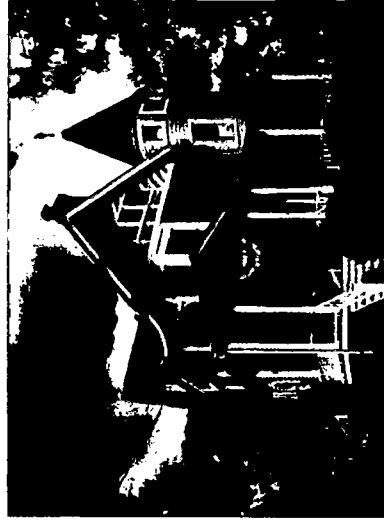
MASSING PRECEDENTS IN
KENSINGTON, MD



10415 ARMORY AVENUE



10400 MONTGOMERY AVENUE



A-3

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Urban Neighborhood, Inc.

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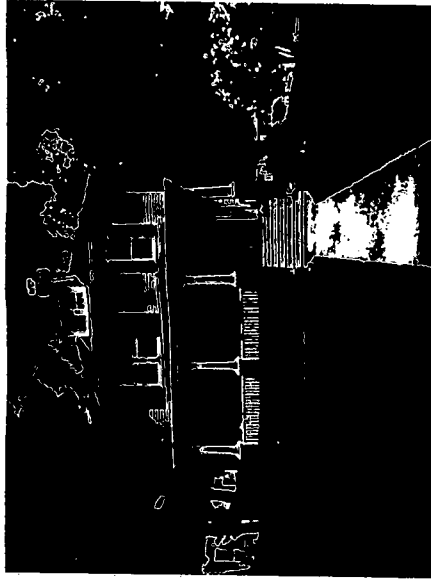
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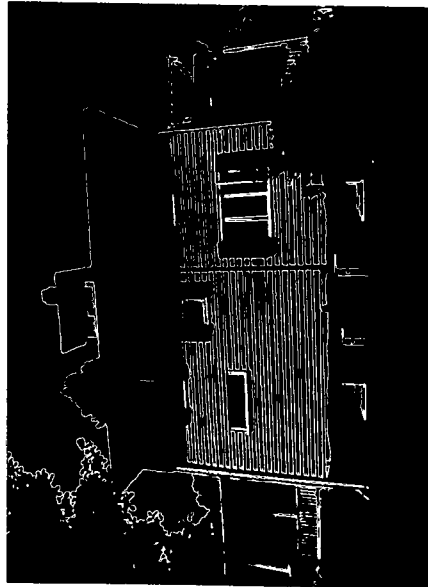
VIEW OF REAR & PARTIAL RIGHT SIDE



VIEW OF FRONT



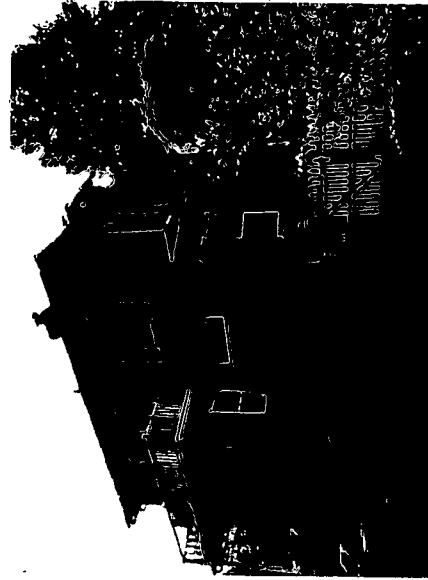
VIEW OF FRONT & RIGHT SIDE



VIEW OF RIGHT SIDE



VIEW OF REAR



VIEW OF REAR & PARTIAL LEFT SIDE

A-1



ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

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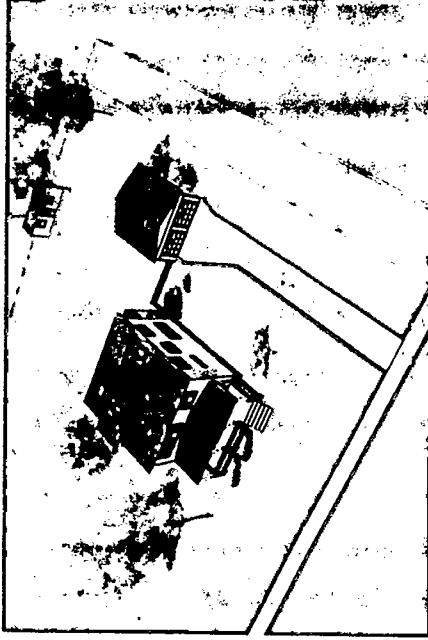
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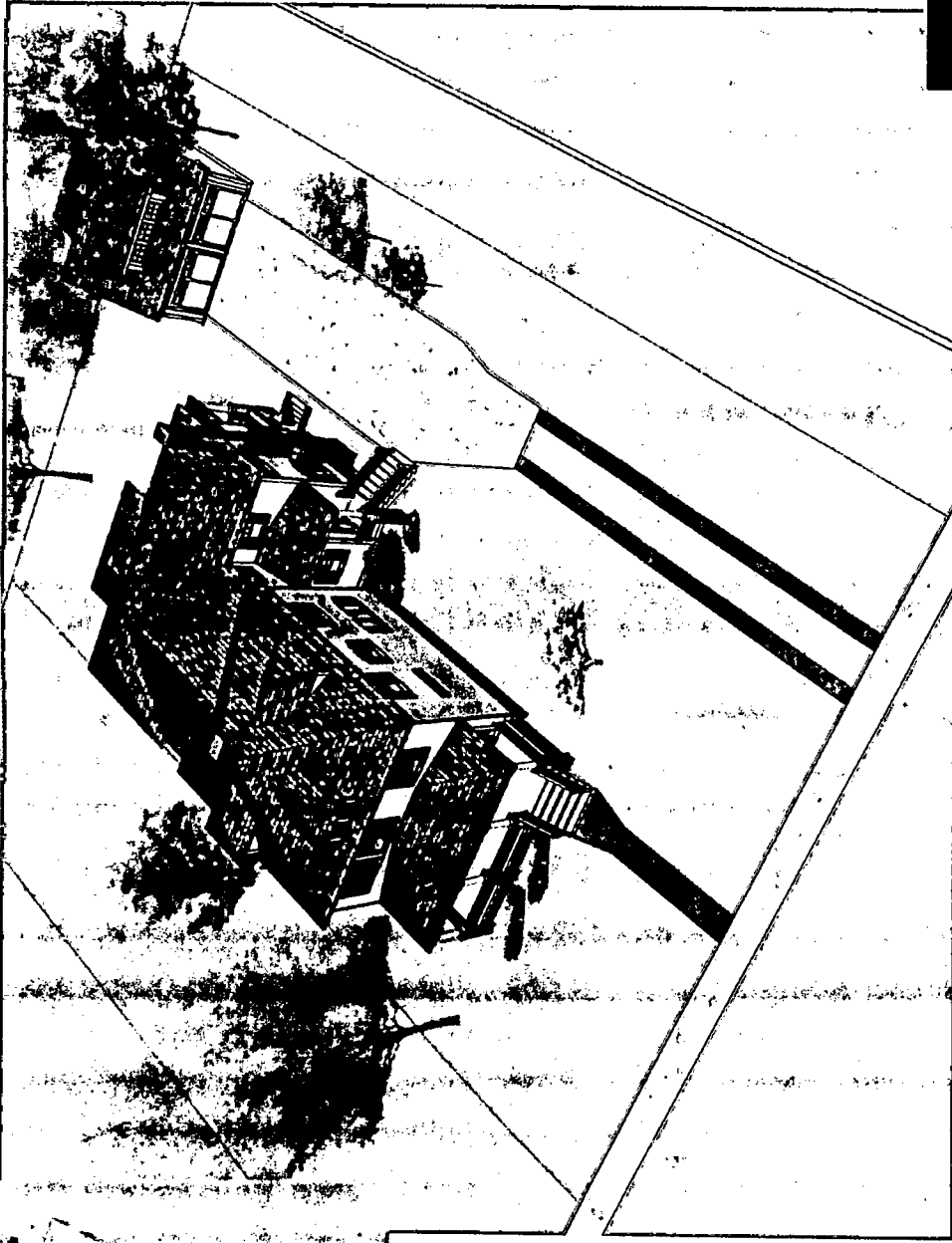
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16

SUBJECT PROPERTY



EXISTING AERIAL VIEW



PROPOSED AERIAL VIEW

A-4



ECKERT RESIDENCE - HPRB MEETING 10/24/2012 - PRELIMINARY CONSULTATION

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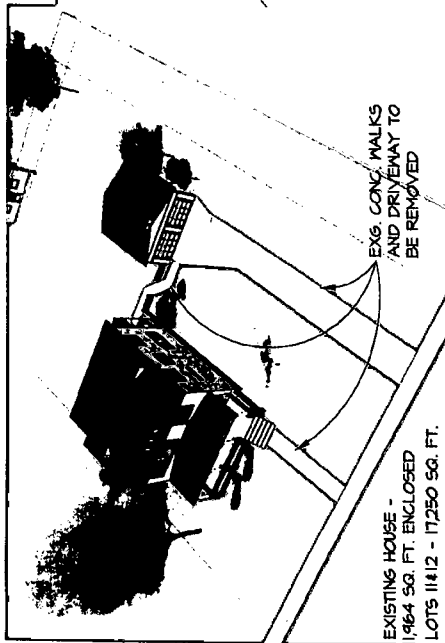
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PRELIMINARY PLAN



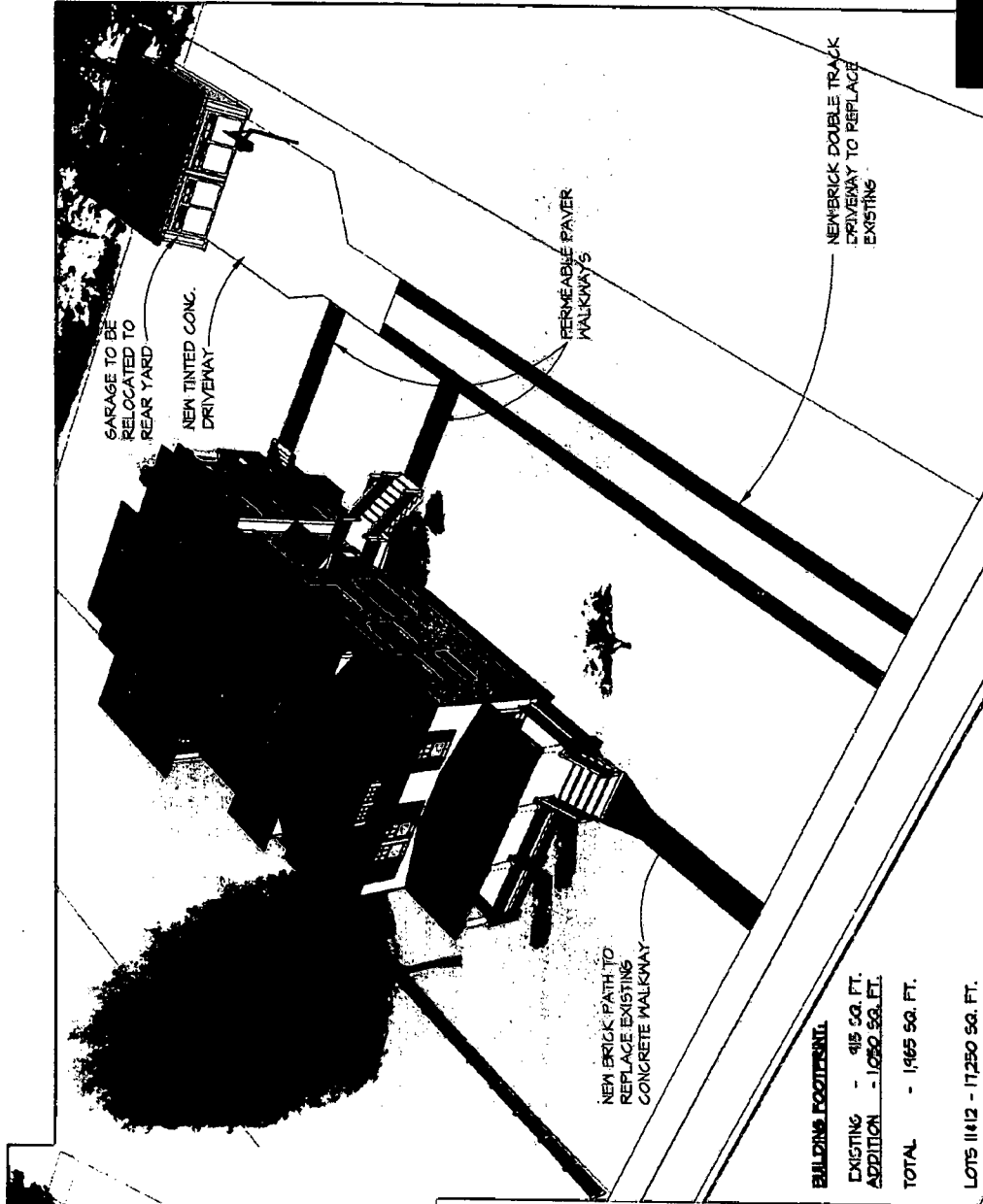
EXISTING AERIAL VIEW

SQ. FOOTAGES OF SURROUNDING PROPERTIES

- 3424 PROSPECT ST - 2,945 SF ENCLOSED ON 8,625 SF LOT
- 3422 PROSPECT ST - 1,729 SF ENCLOSED ON 4,254 SF LOT
- 3419 WASHINGTON ST - 3,056 SF ENCLOSED ON 12,458 SF LOT
- 3424 WASHINGTON ST - 2,526 SF ENCLOSED ON 10,027 SF LOT
- 3425 WASHINGTON ST - 2,418 SF ENCLOSED ON 4,093 SF LOT
- 3425 WASHINGTON ST - 2,440 SF ENCLOSED ON 8,625 SF LOT
- 3426 WASHINGTON ST - 1,419 SF ENCLOSED ON 4,254 SF LOT



BRICK TRACK DRIVEWAY EXAMPLE



PROPOSED AERIAL VIEW

A-4



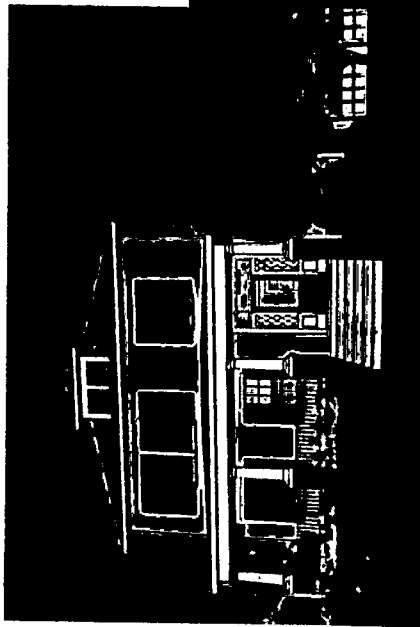
ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

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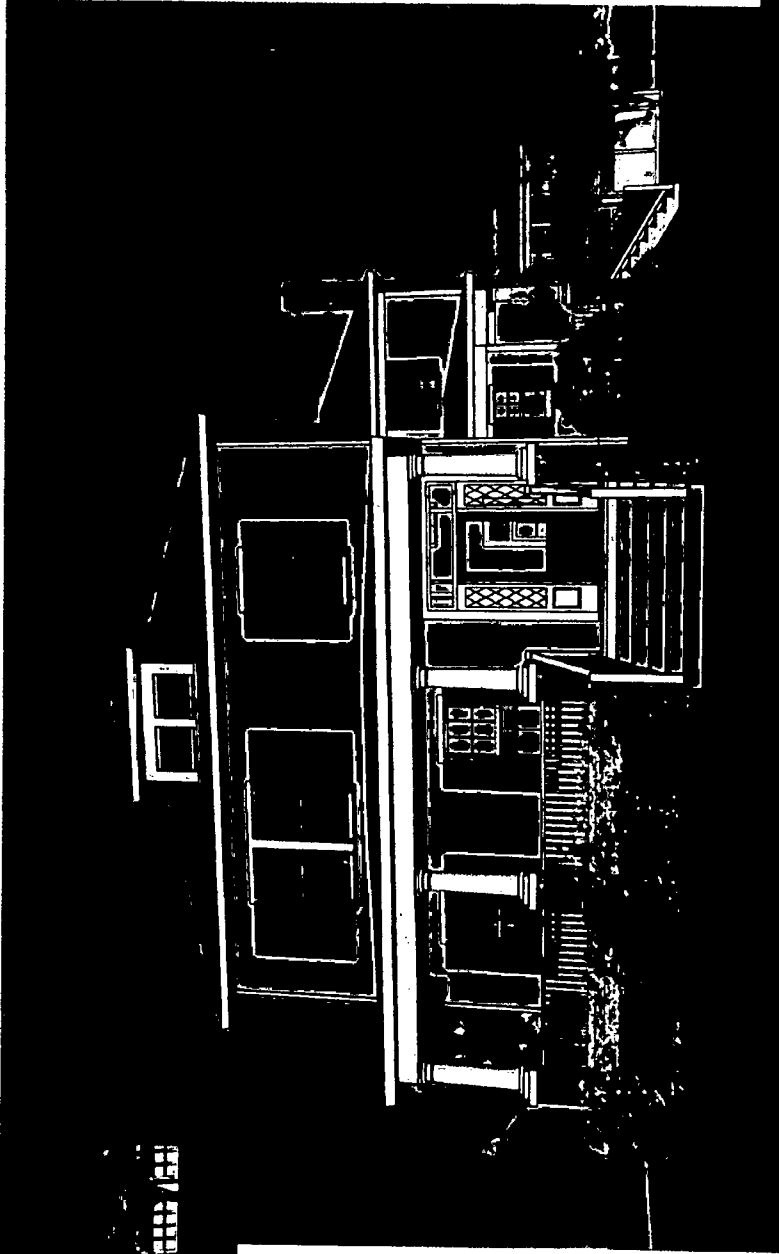
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REVISED PLAN



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-5

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ECKERT RESIDENCE - HPRB MEETING 10/24/2012 - PRELIMINARY CONSULTATION

G T M A R C H I T E C T S

3823 WASHINGTON ST. KENSINGTON, MD OCT 03, 2012 #12.0006

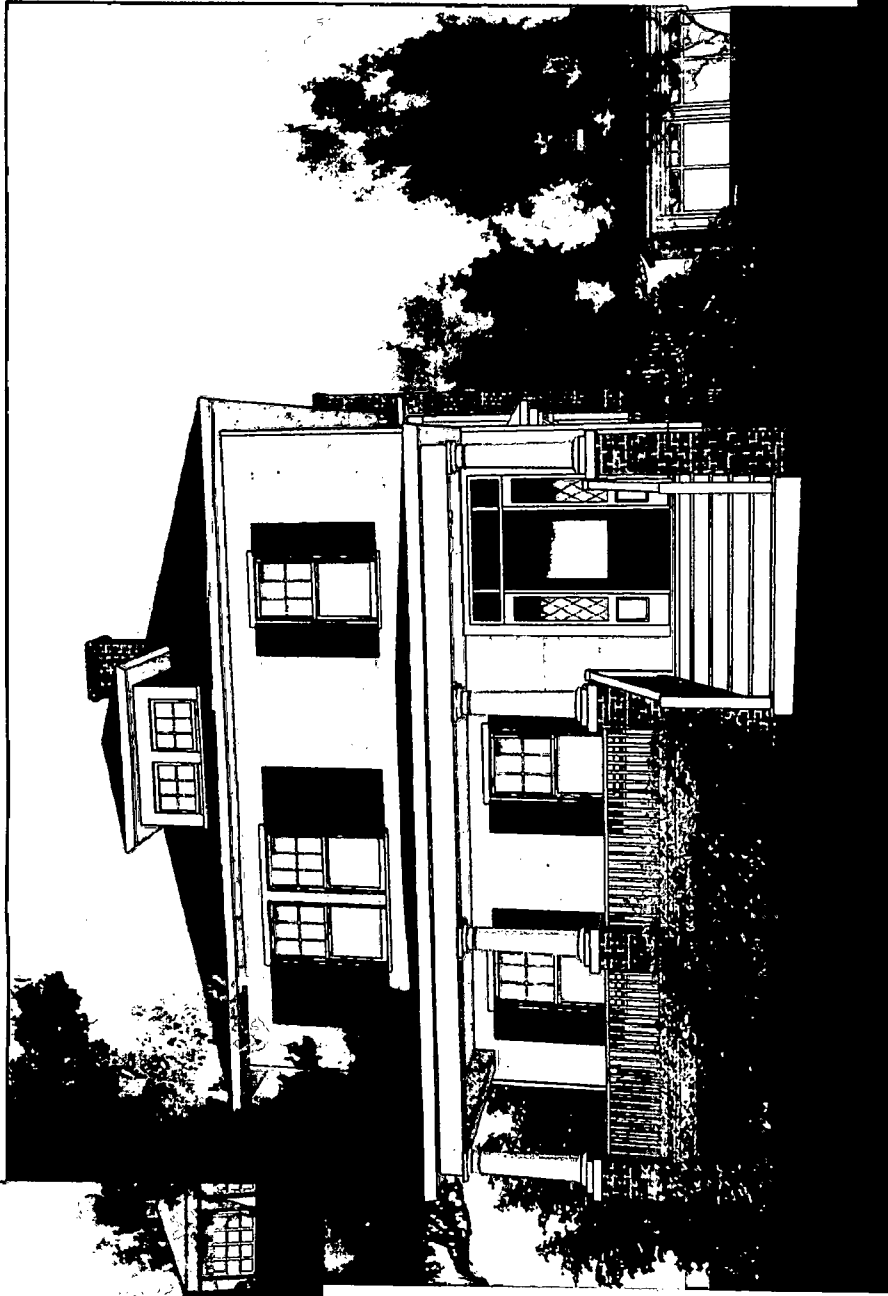
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PRELIMINARY PLAN



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-5

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ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

GTM ARCHITECTS

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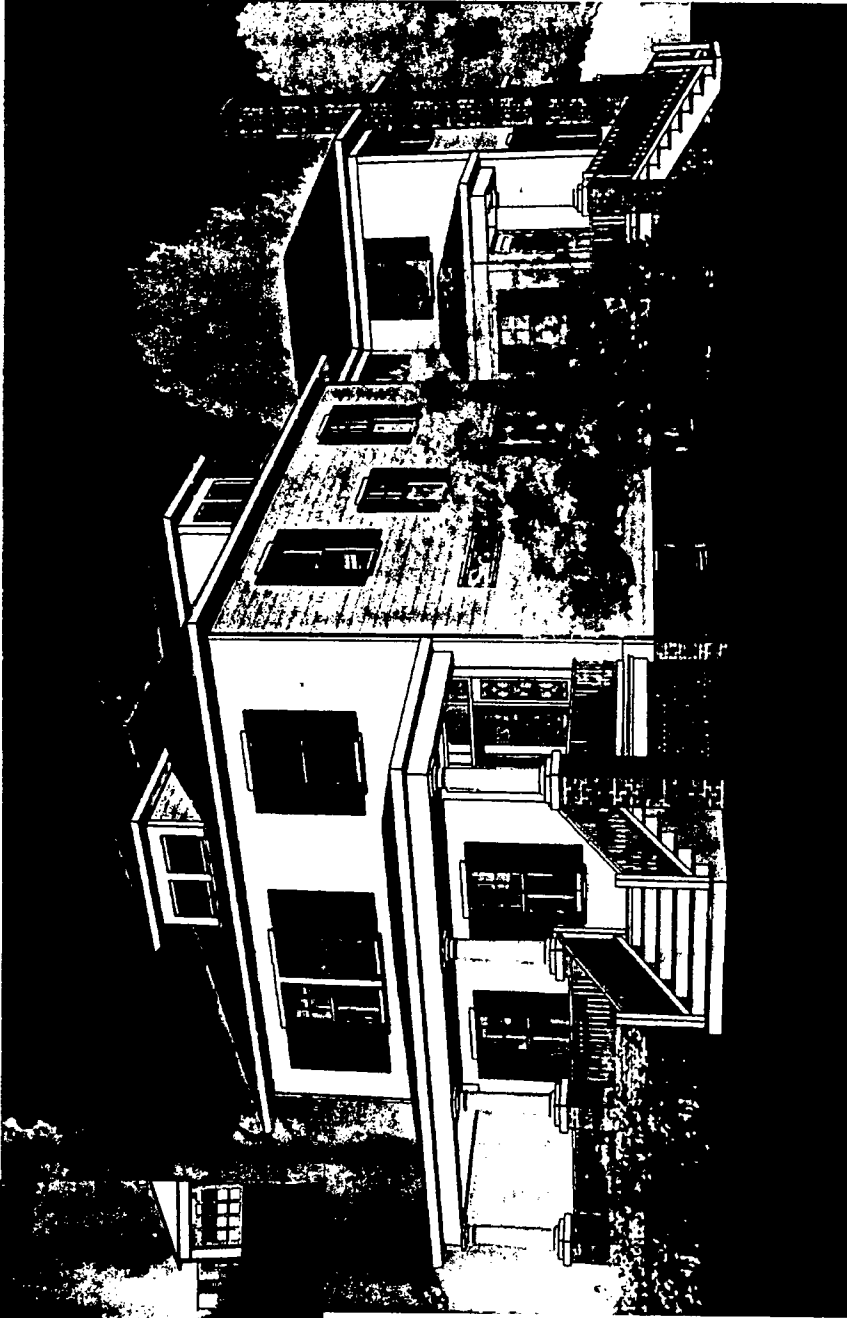
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REVISED PLANS



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-6

GTM

G T M

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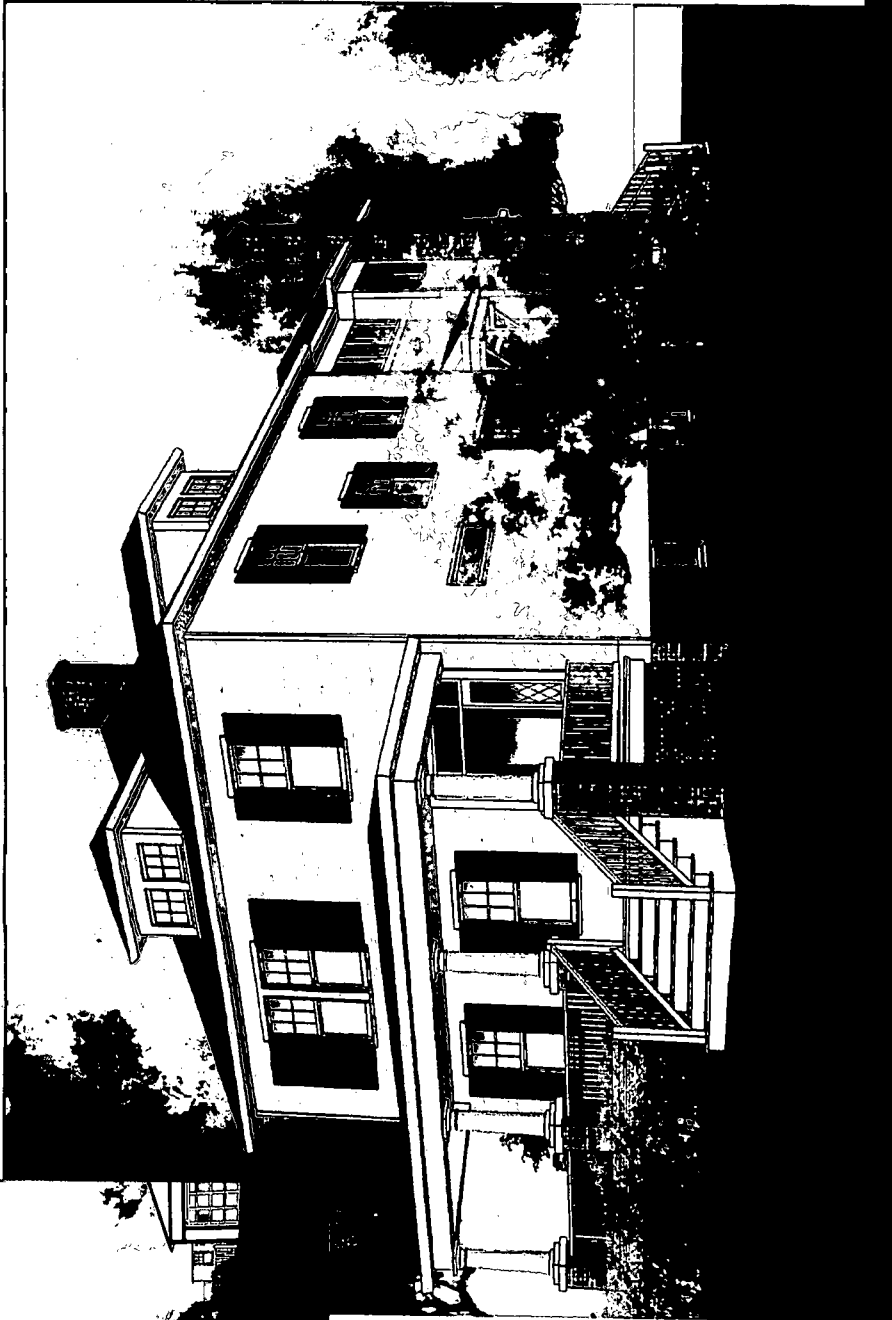
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PRELIMINARY PLAN



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-6

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REVISED PLANS



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-7

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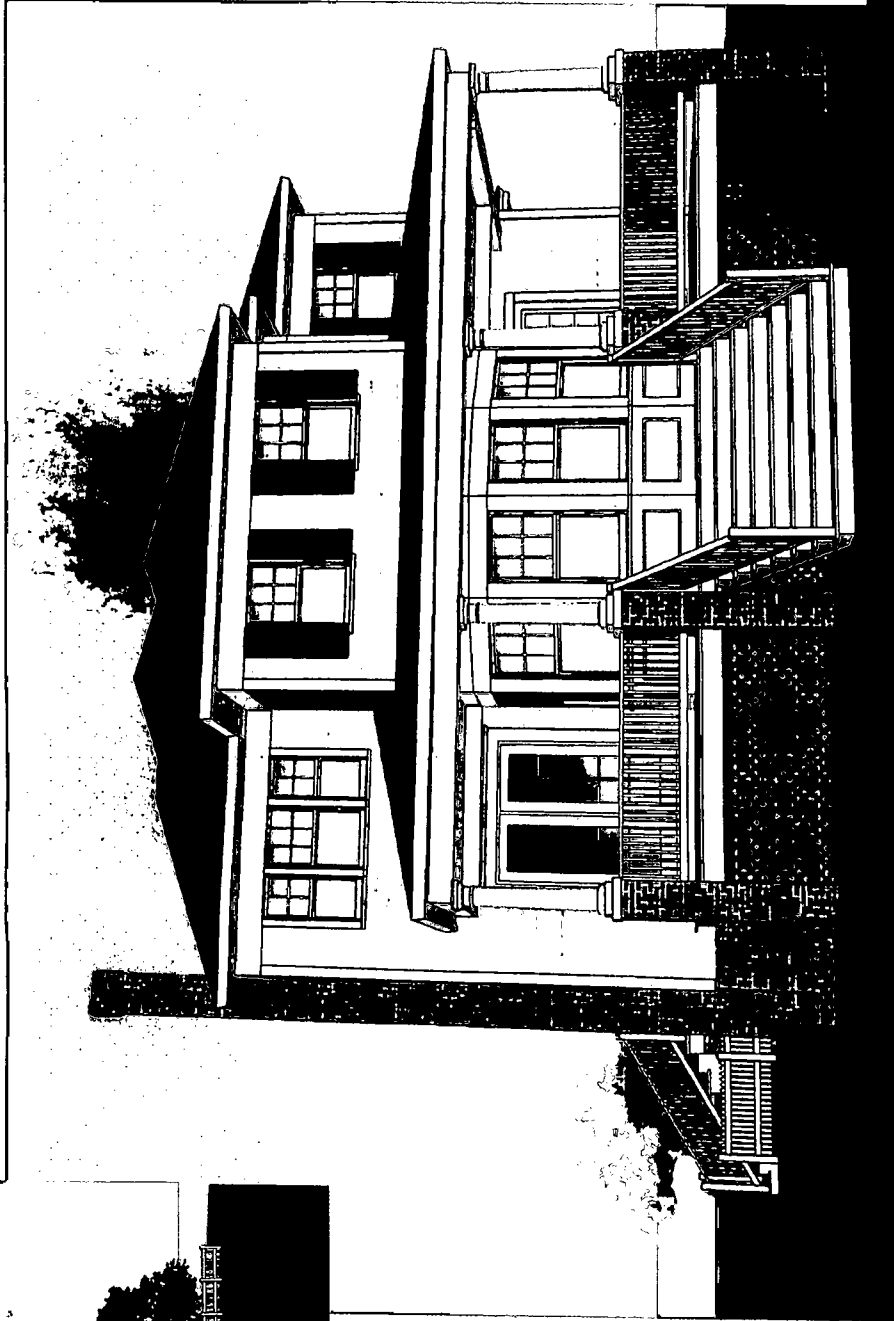
3823 WASHINGTON ST. KENSINGTON, MD OCT 03, 2012 #12.0306 7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001

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EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-7

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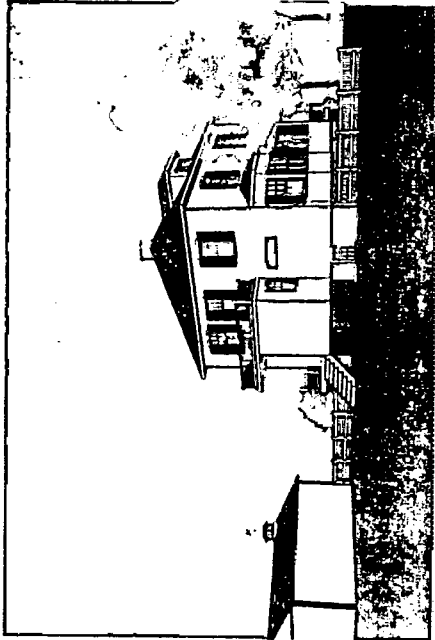
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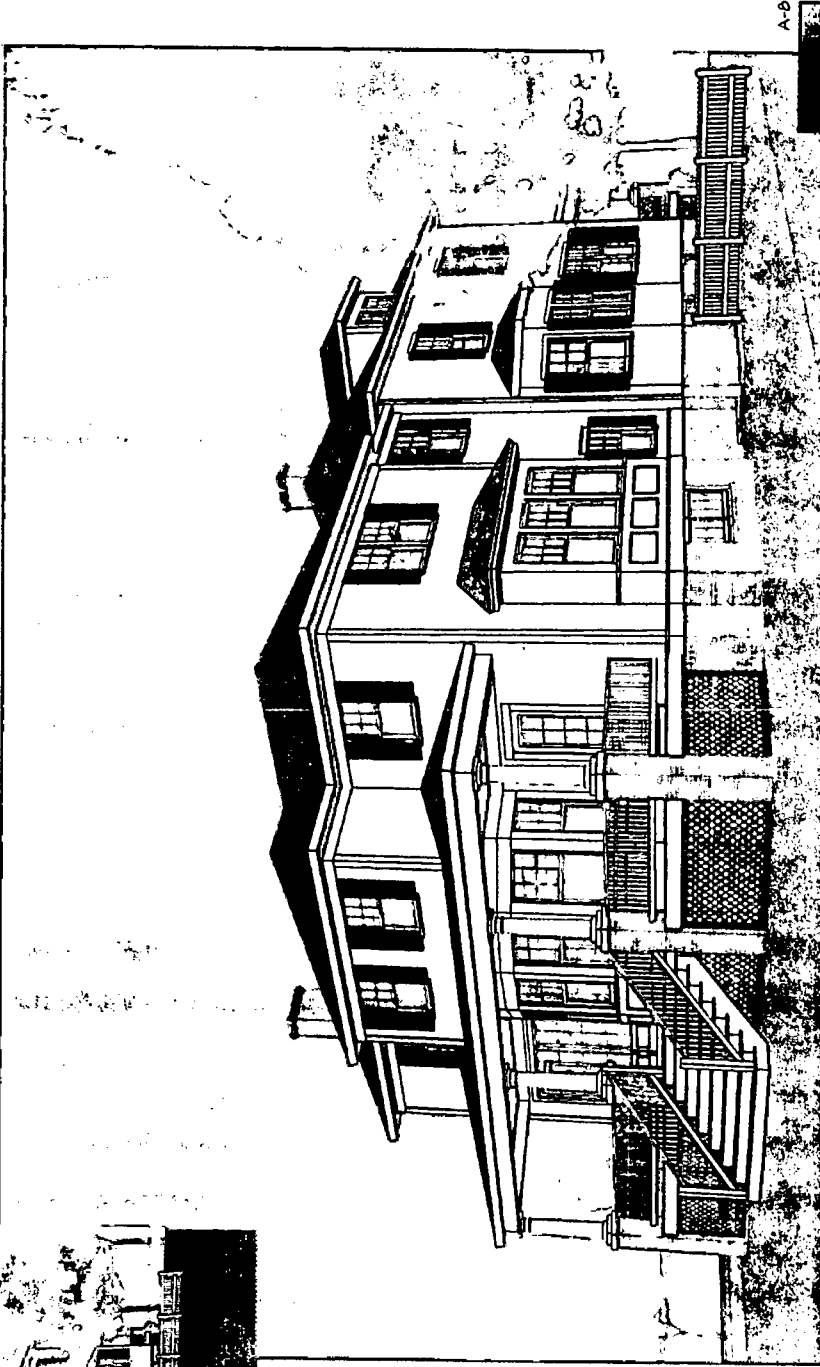
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RAISED PLANS



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-9



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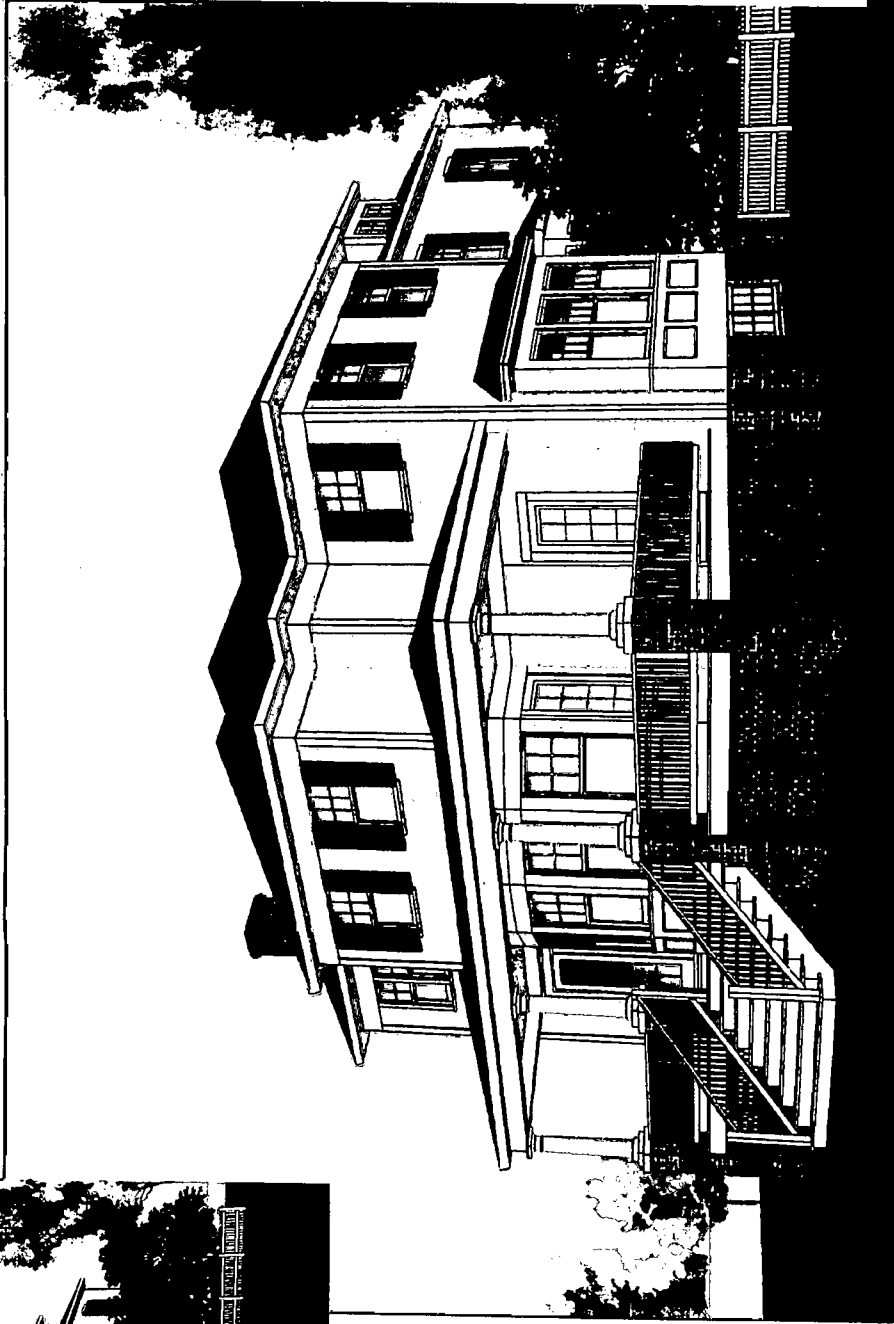
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PRELIMINARY PLAN



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-8

GTM

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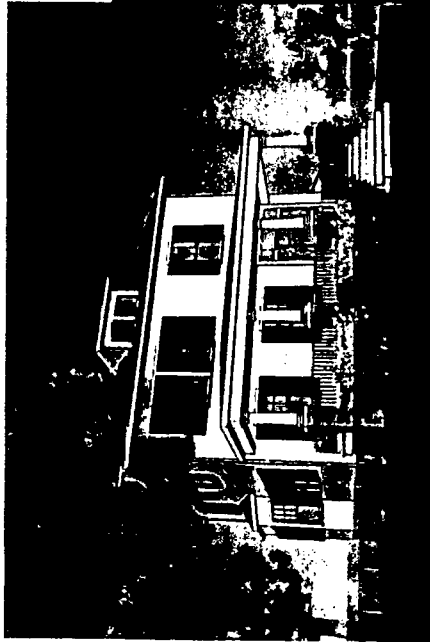
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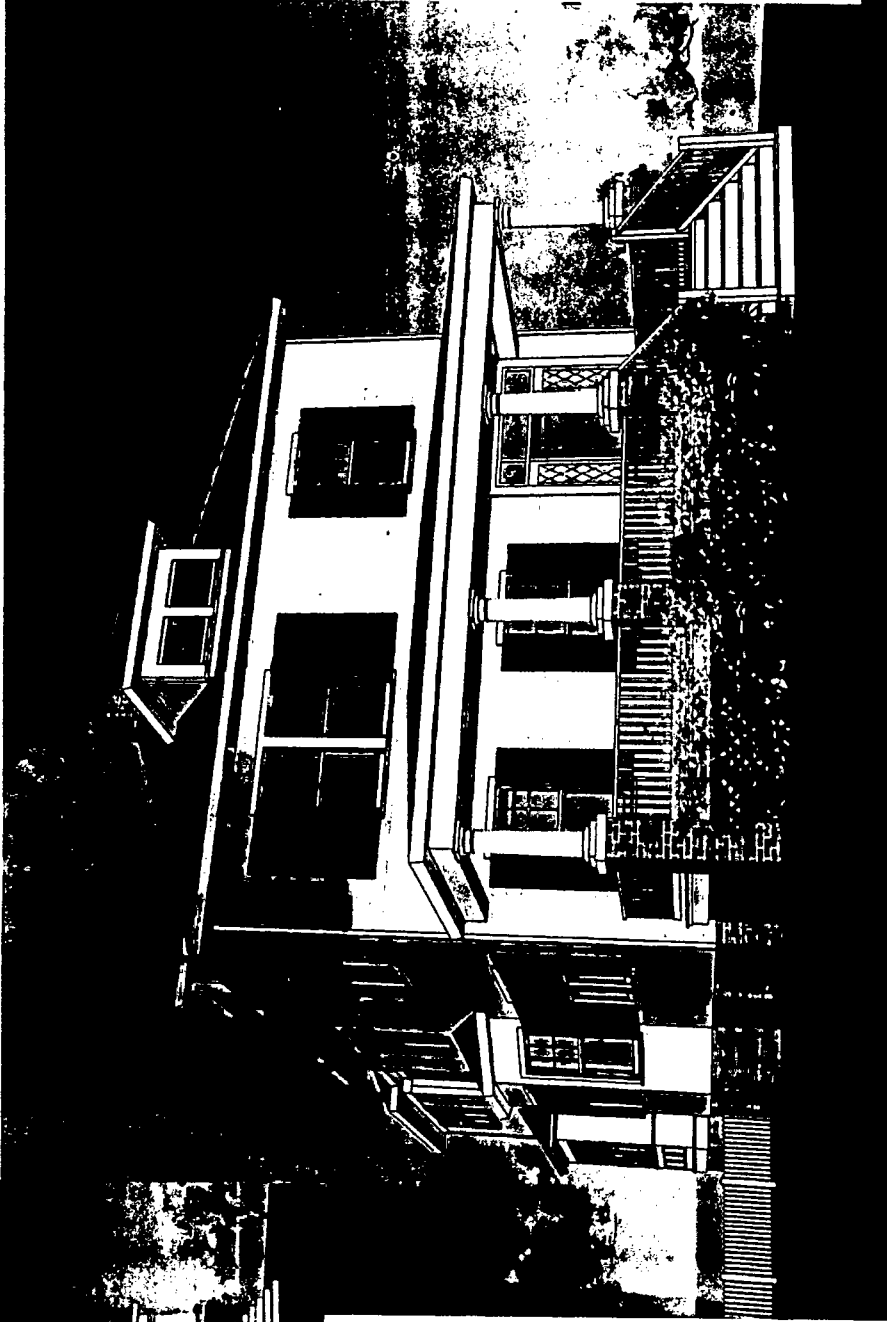
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REVISED PLAN S



EXISTING PERSPECTIVE VIEW



PROPOSED PERSPECTIVE VIEW

A-4

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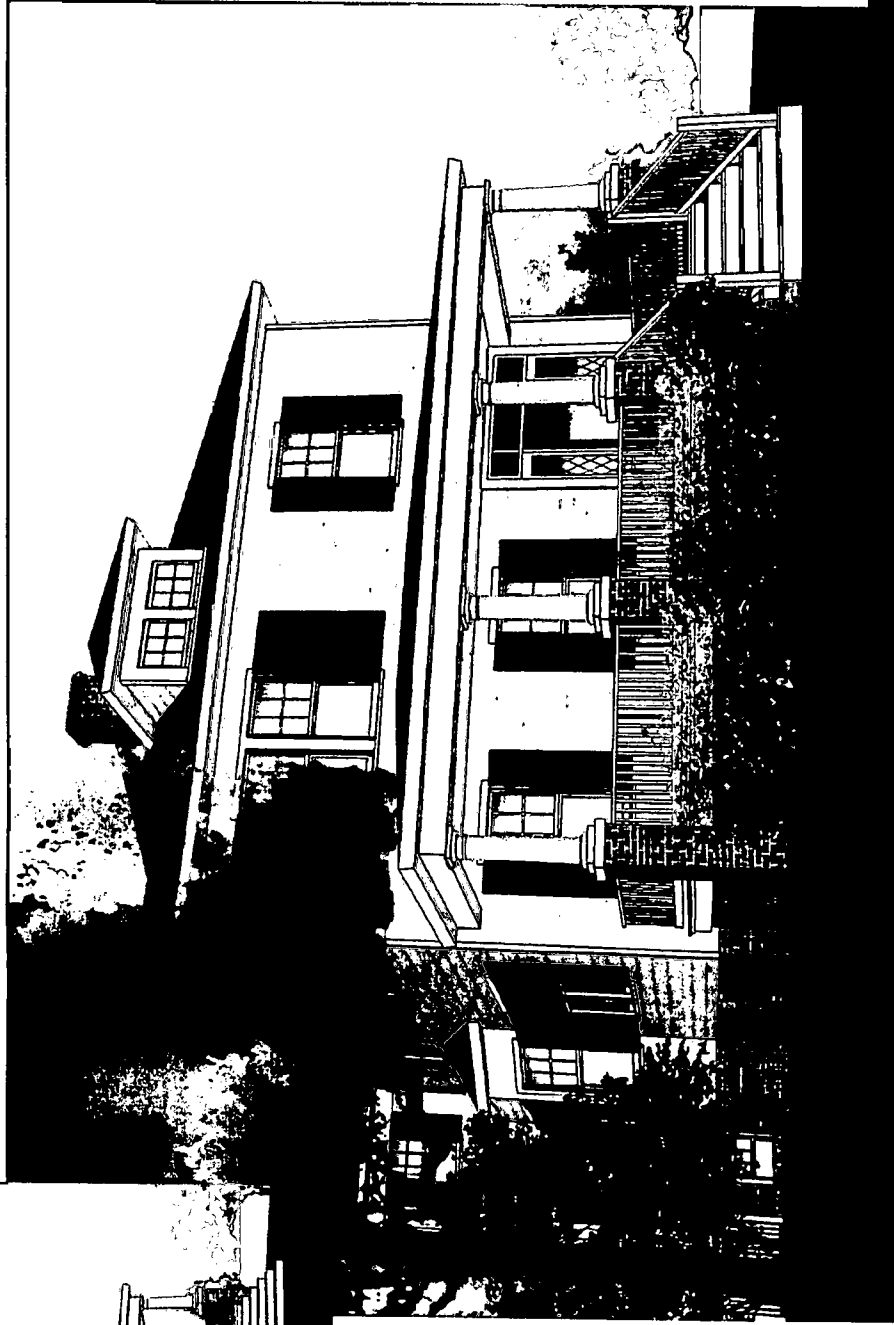
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PRELIMINARY PLAN



EXISTING PERSPECTIVE VIEW



A-9

PROPOSED PERSPECTIVE VIEW

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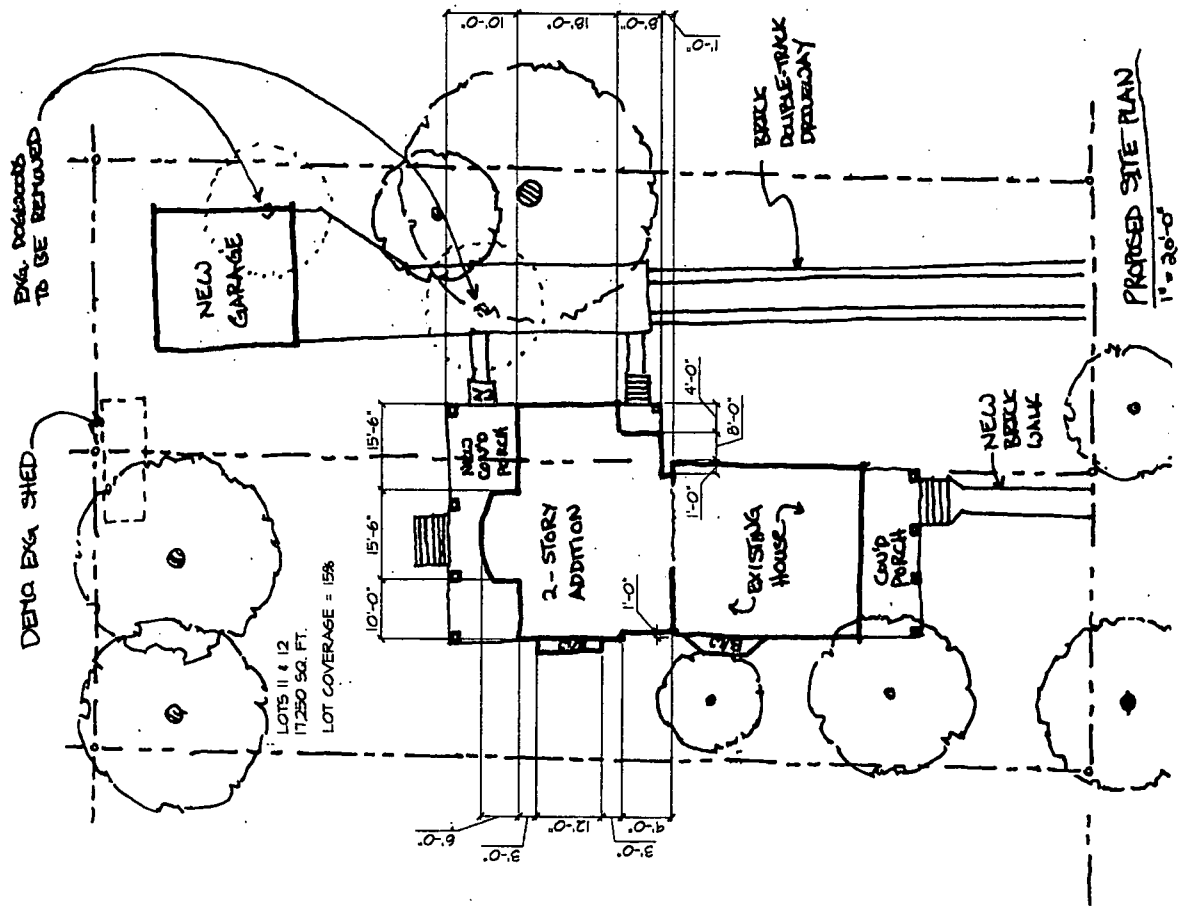
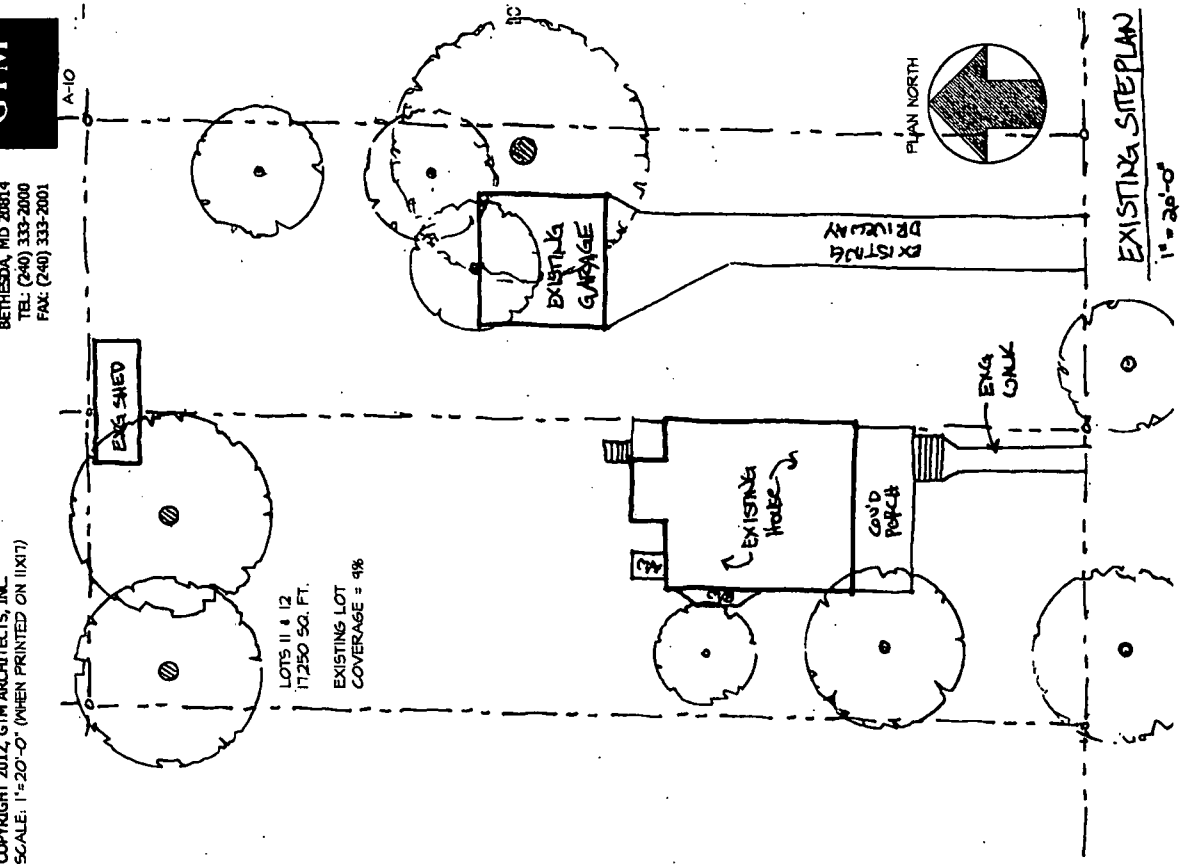
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ECKERT RESIDENCE

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PRELIMINARY PLAN

ECKERT RESIDENCE

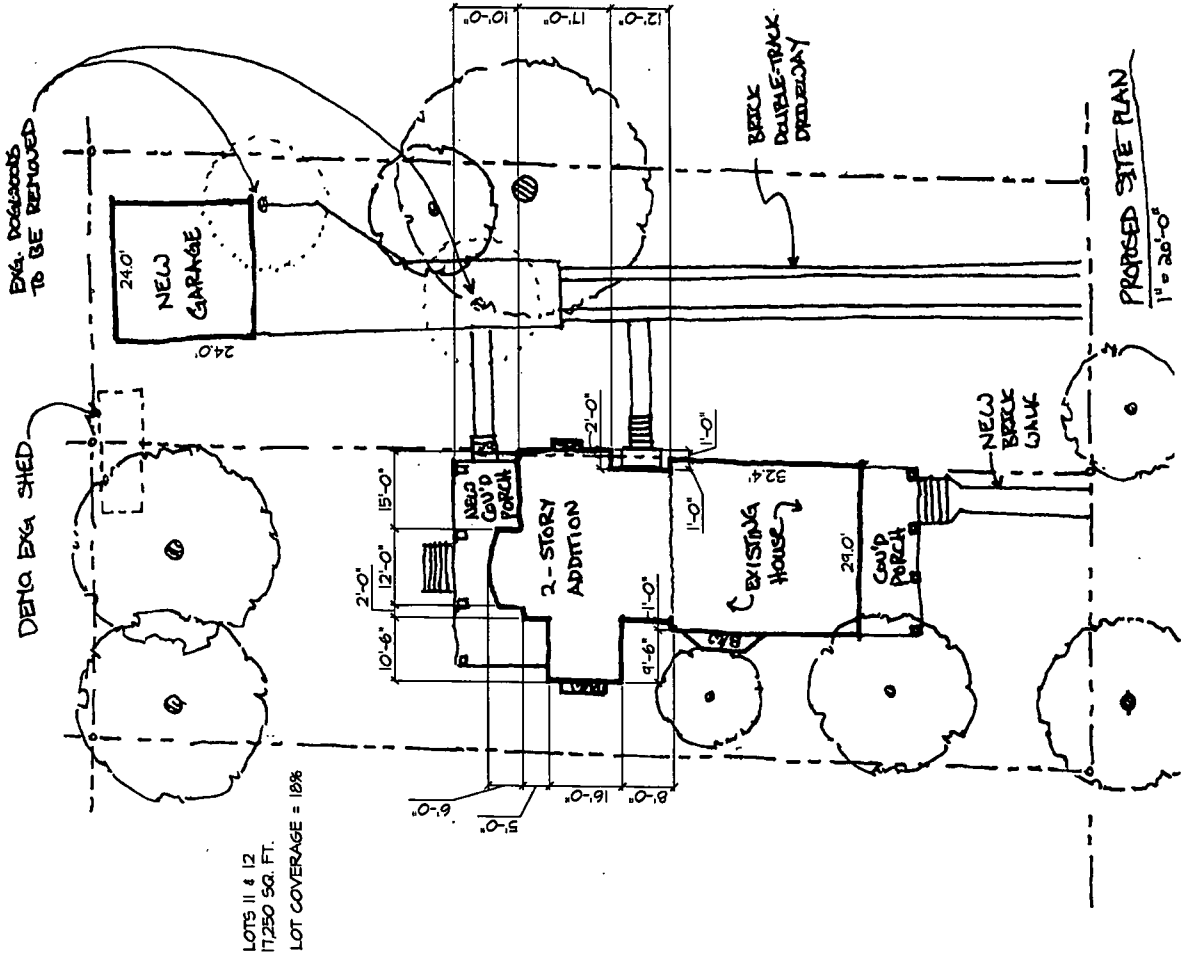
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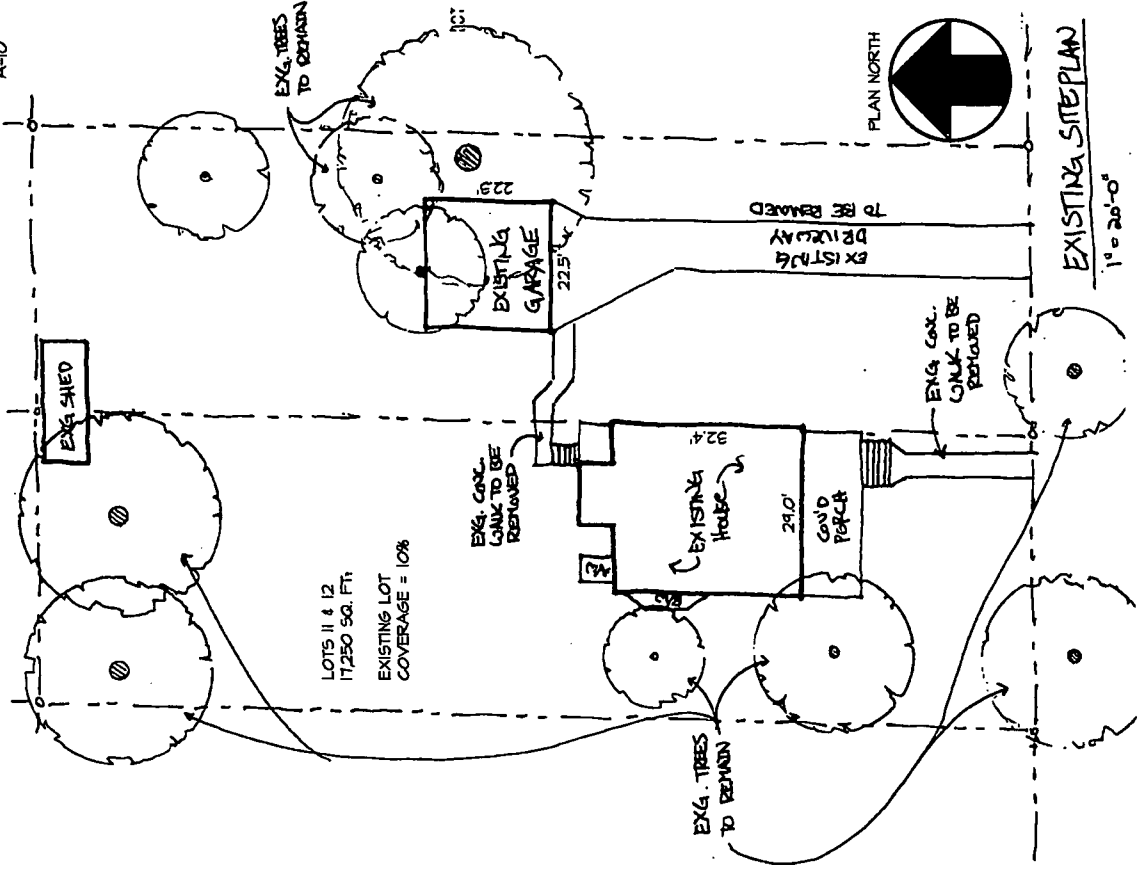
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A-10



PROPOSED SITE PLAN
 1" = 20'-0"



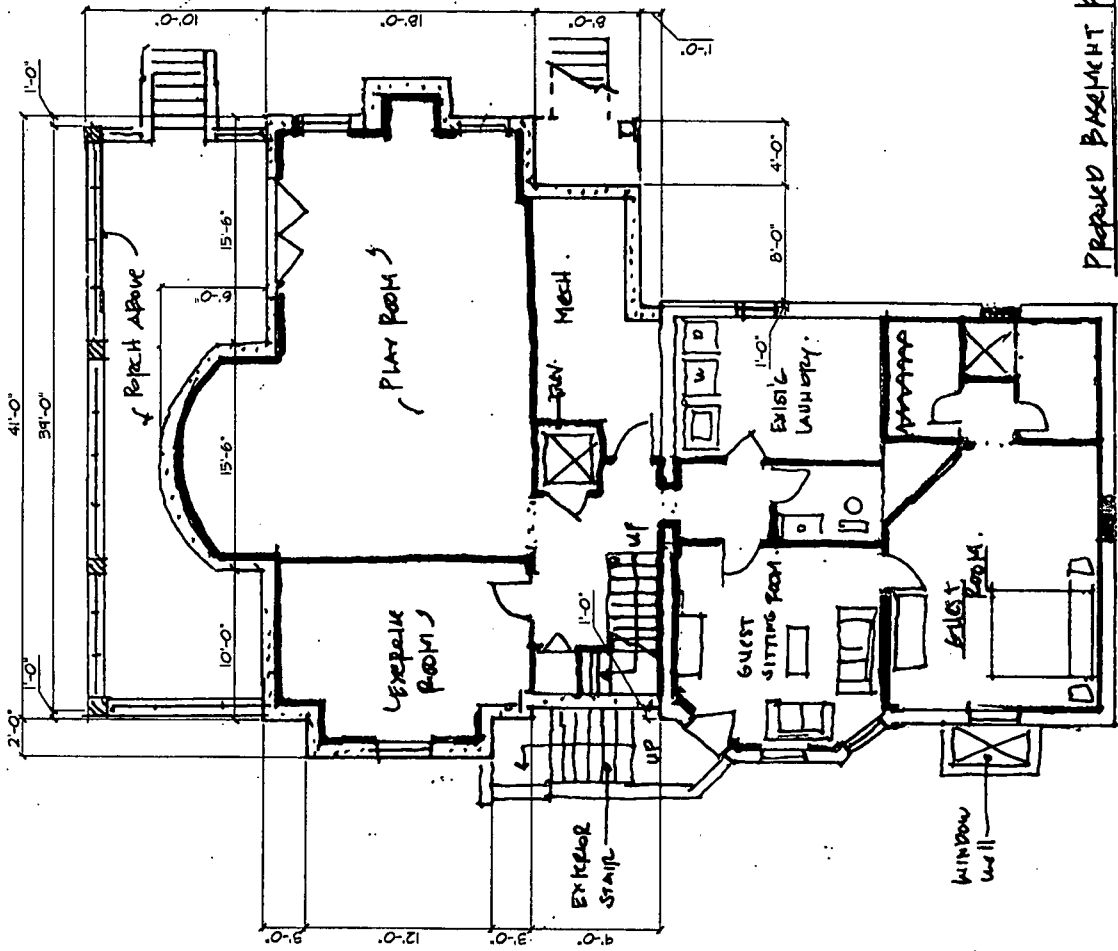
EXISTING SITE PLAN
 1" = 20'-0"

REVISED PLAN

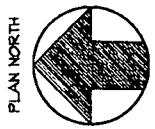


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A-II



EXISTING BUILDING
 NEW ADDITION



EXISTING BASEMENT
 PLAN
 4'-2" 0 4' 8" 16"
 1/8"=1'-0" (WHEN PRINTED ON IJIT)

PROPOSED BASEMENT PLAN
 REVISED 9.18.2012

(Paper Above)

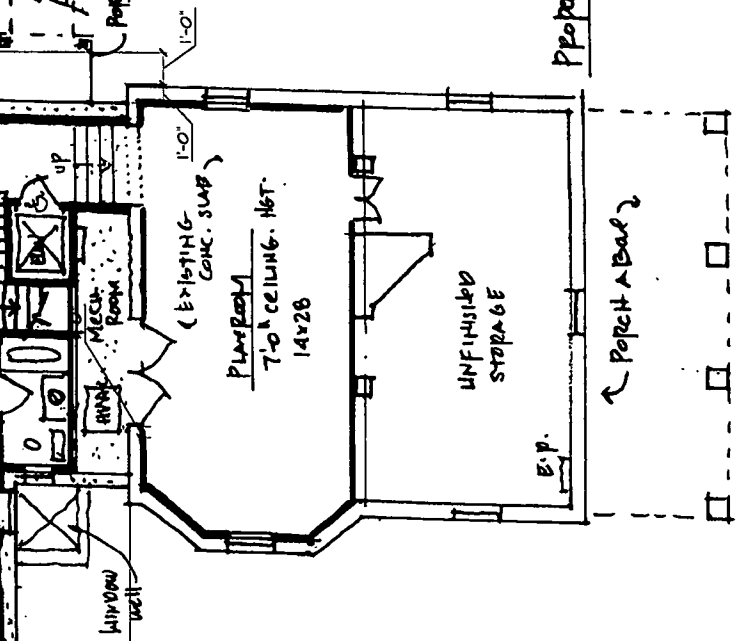
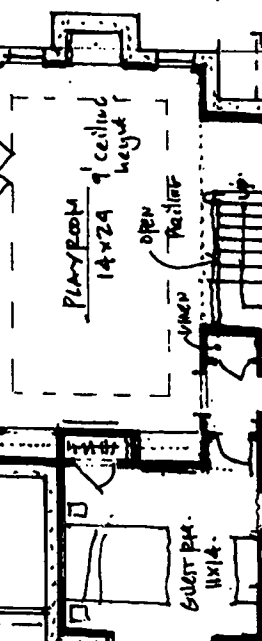
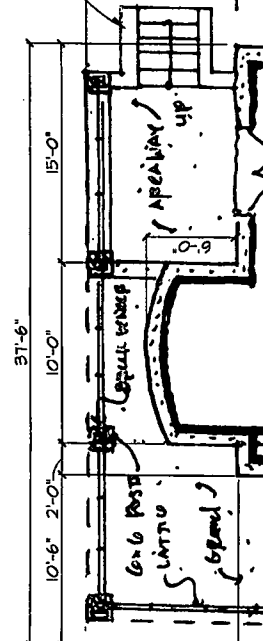
PRELIMINARY PLAN

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A-II

NOTE:
 ELEVATOR PASSAGEWAYS,
 DOORWAYS AND GUEST
 BATHROOM SIZED TO BE
 WHEELCHAIR ACCESSIBLE.



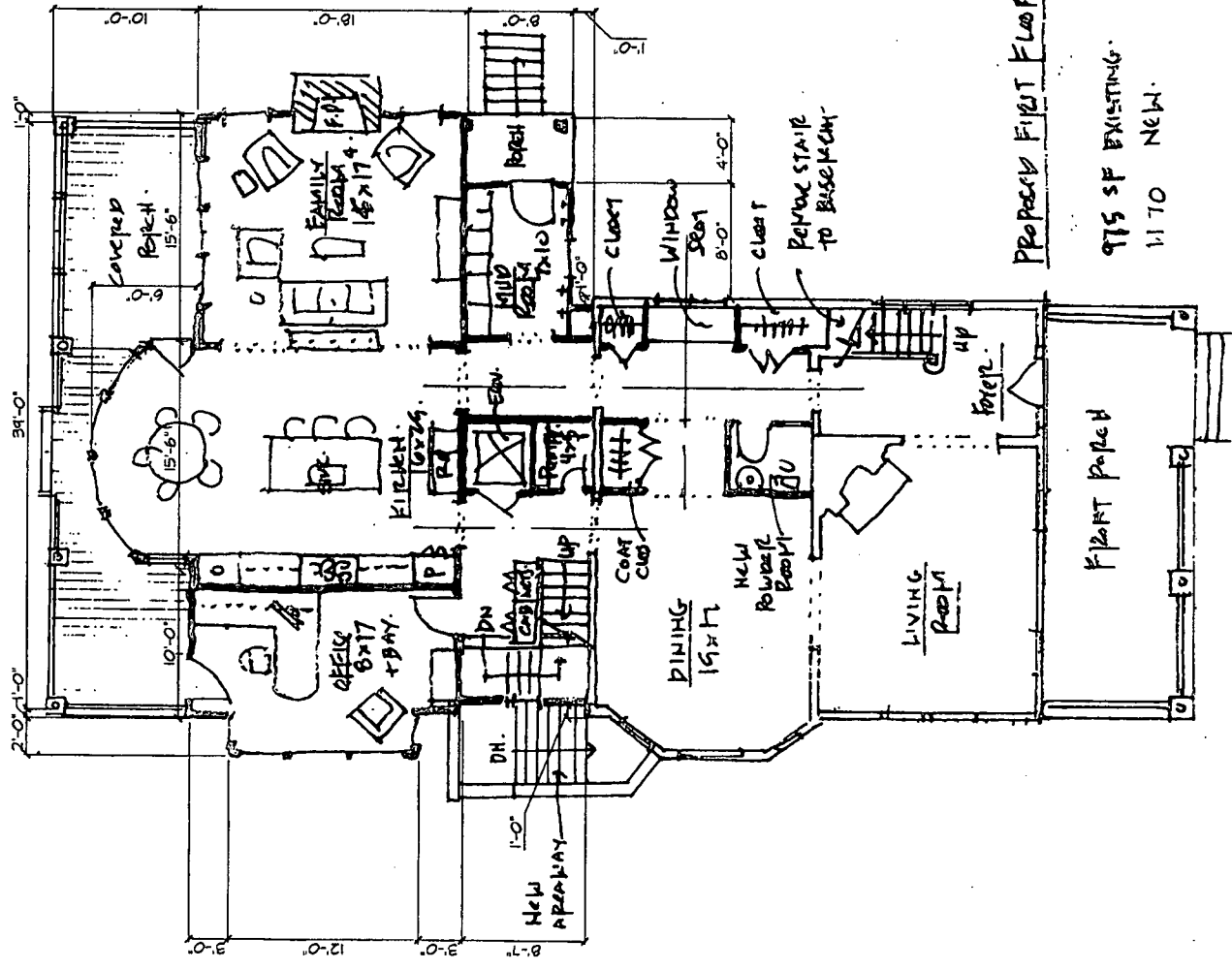
REVISION PLAN

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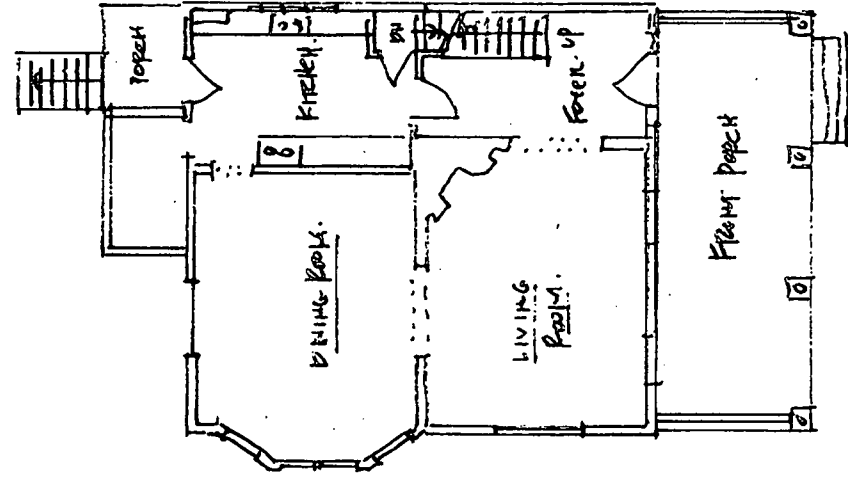
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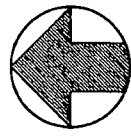


Proposed First Floor
 975 SF EXISTING
 1170 NEW



Existing First Floor
 975 SF

PLAN NORTH



PRELIMINARY PLAN

ECKERT RESIDENCE

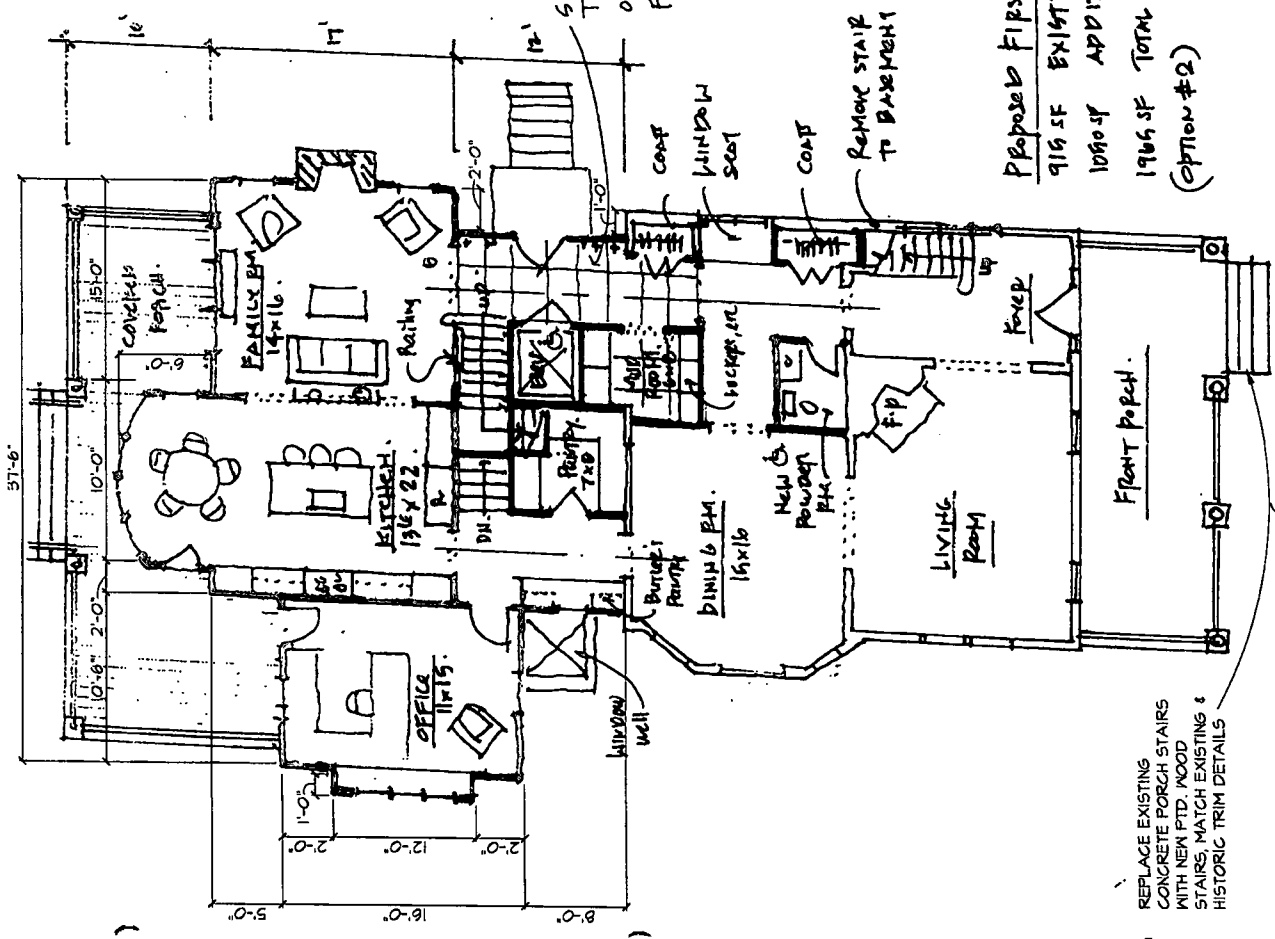
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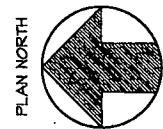
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GTM

A-12



NOTE:
 ELEVATOR, PASSAGEWAYS,
 DOORWAYS AND POWDER
 ROOM SIZED TO BE
 WHEELCHAIR ACCESSIBLE.



EXISTING FIRST FLOOR.
 976 SF EXISTING.



Proposed First Floor Plan.
 916 SF EXISTING.
 1090 SF ADDITION
 1906 SF TOTAL
 (OPTION #2)

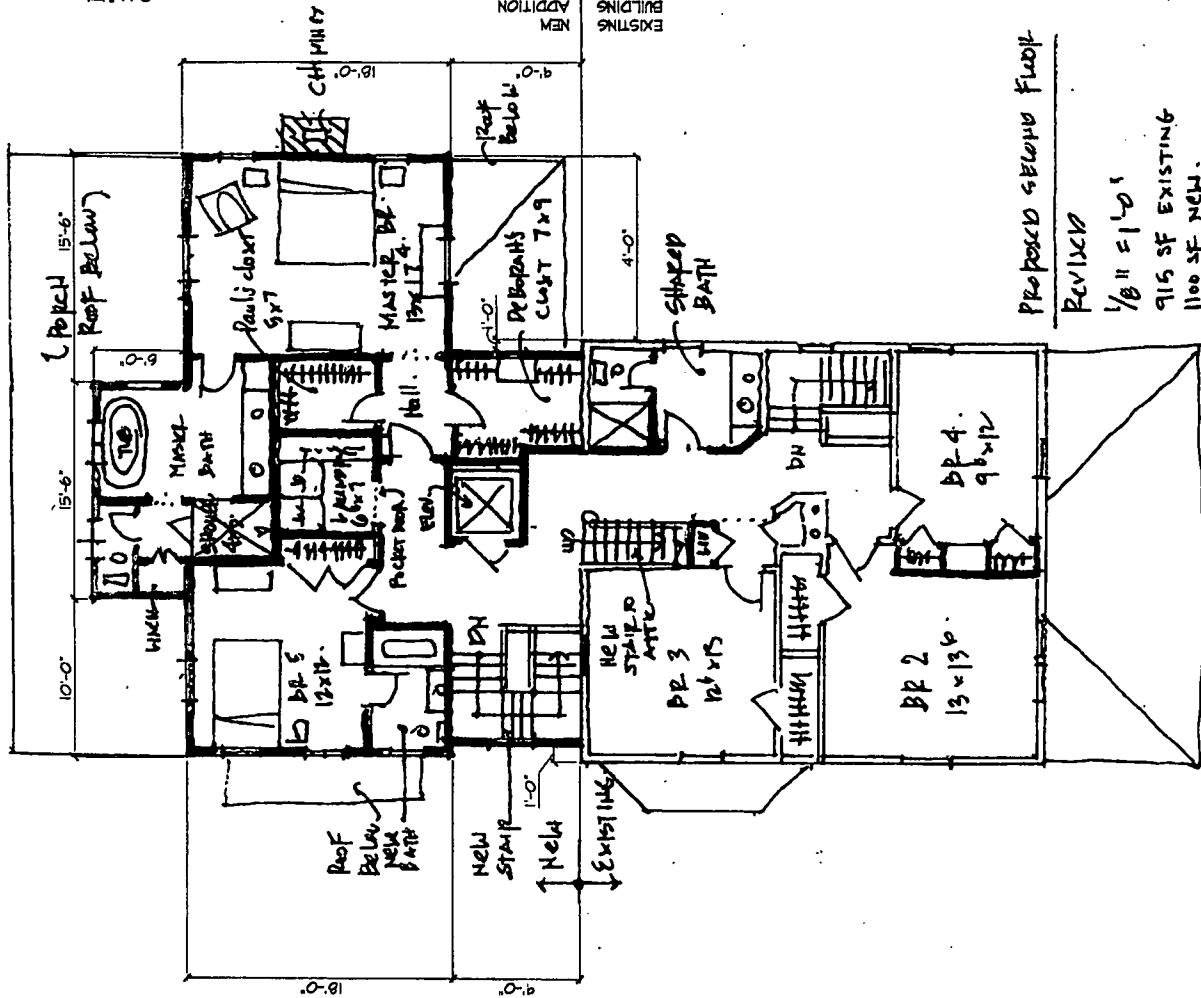
REVISED PLAN

REPLACE EXISTING
 CONCRETE PORCH STAIRS
 WITH NEW FTD. WOOD
 STAIRS, MATCH EXISTING &
 HISTORIC TRIM DETAILS

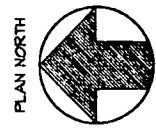
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A-13



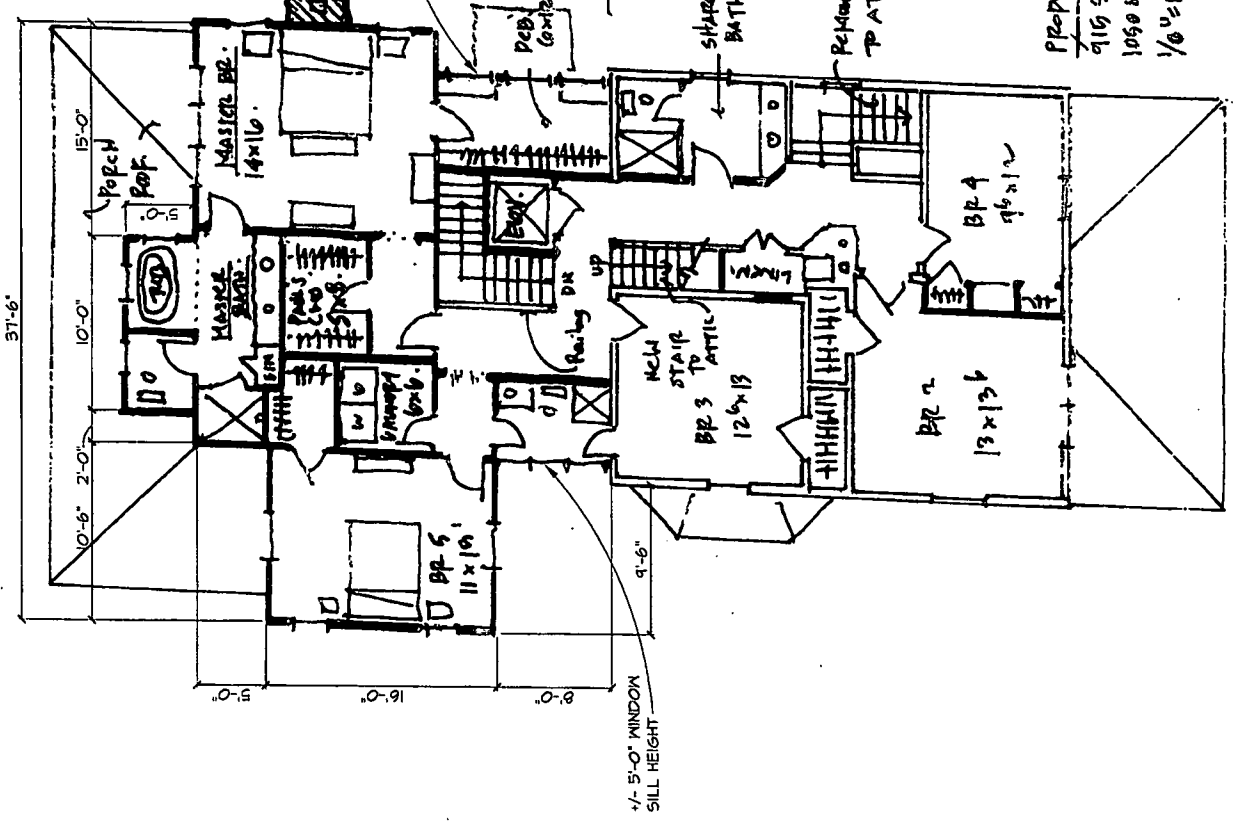
PROPOSED SECOND FLOOR
 REVISION
 1/8" = 1'-0"
 915 SF EXISTING
 1100 SF NEW.



EXISTING SECOND FLOOR
 1/8" = 1'-0"
 915 SF ±
 4' 2" 0 4' 8' 16'
 1/8" = 1'-0" (WHEN PRINTED ON IIXIT)

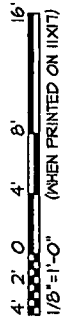
PRELIMINARY PLAN

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EXISTING SECOND FLOOR
 915 SF ±

PROPOSED SECOND FLOOR
 1060 SF EXISTING
 1060 SF NEW
 1/6" = 1'-0"



RAISED PLAN

ECKERT RESIDENCE

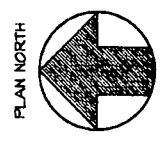
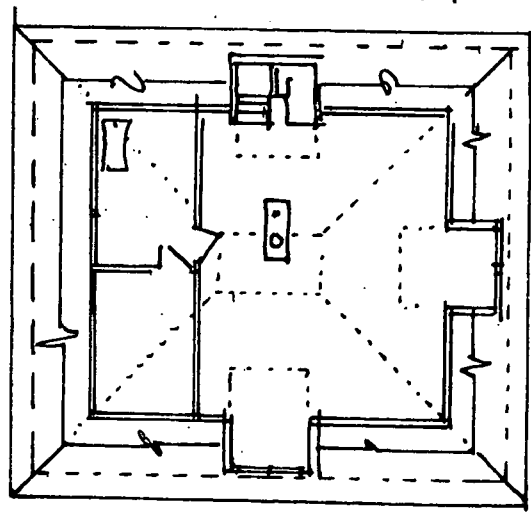
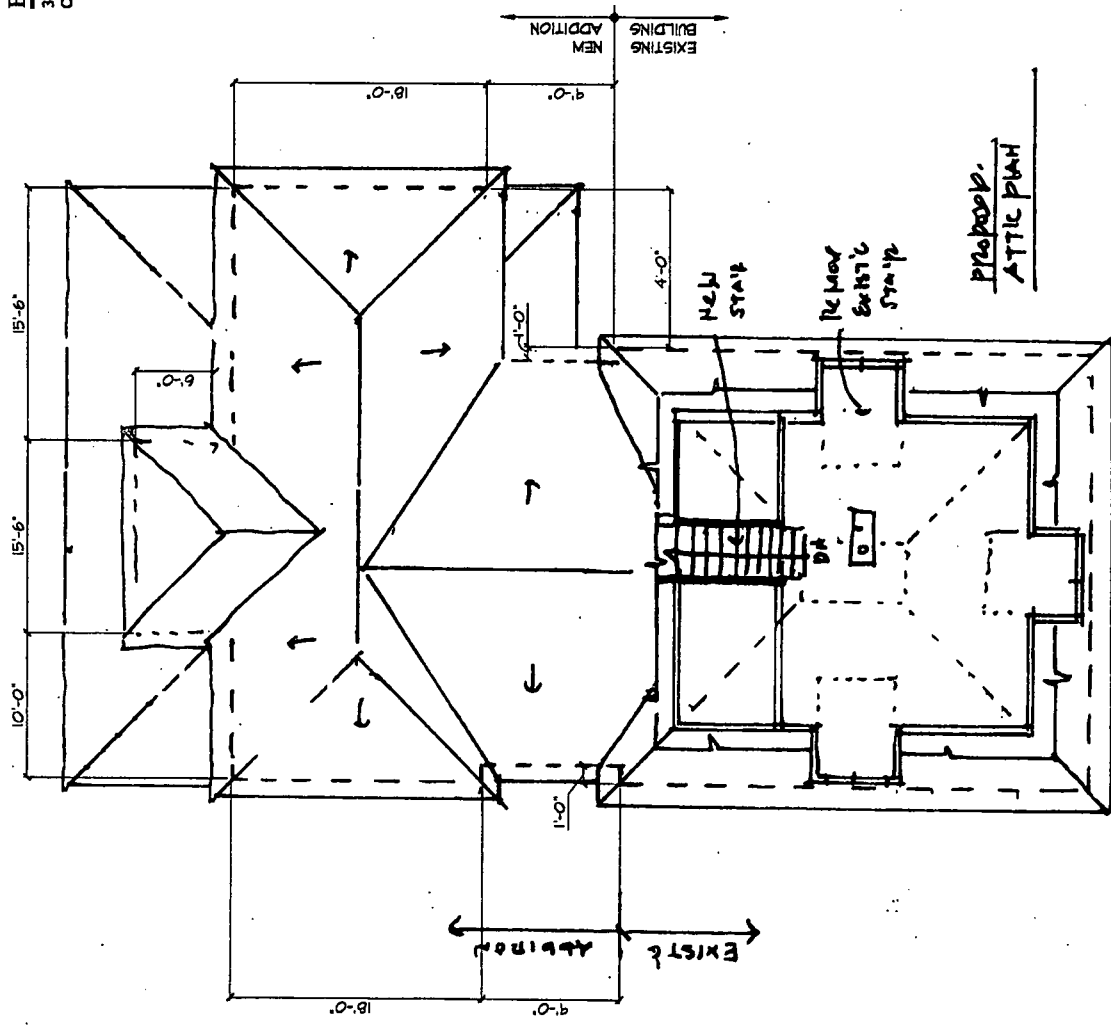
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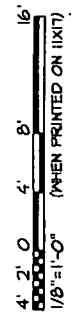
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A-14



EXISTING
ATTIC PLAN



PRELIMINARY PLAN

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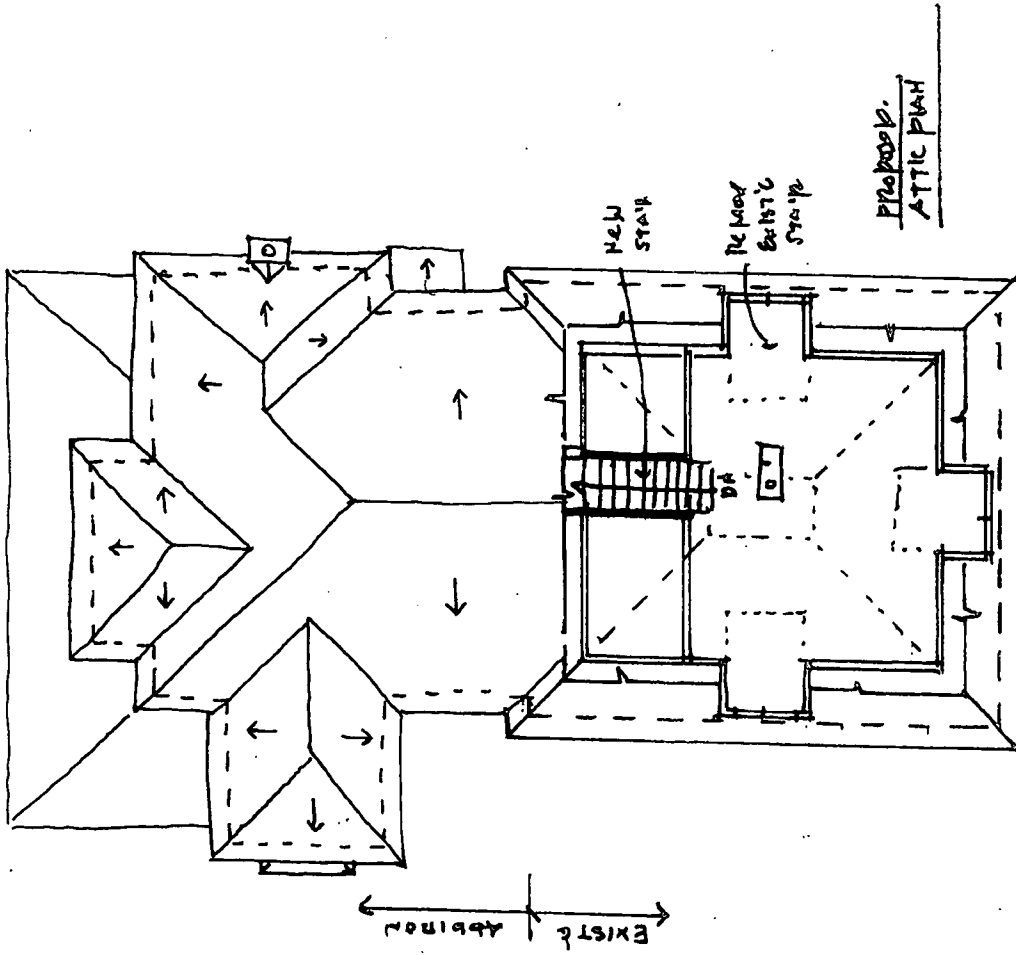
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A-14



REVISED PLAN

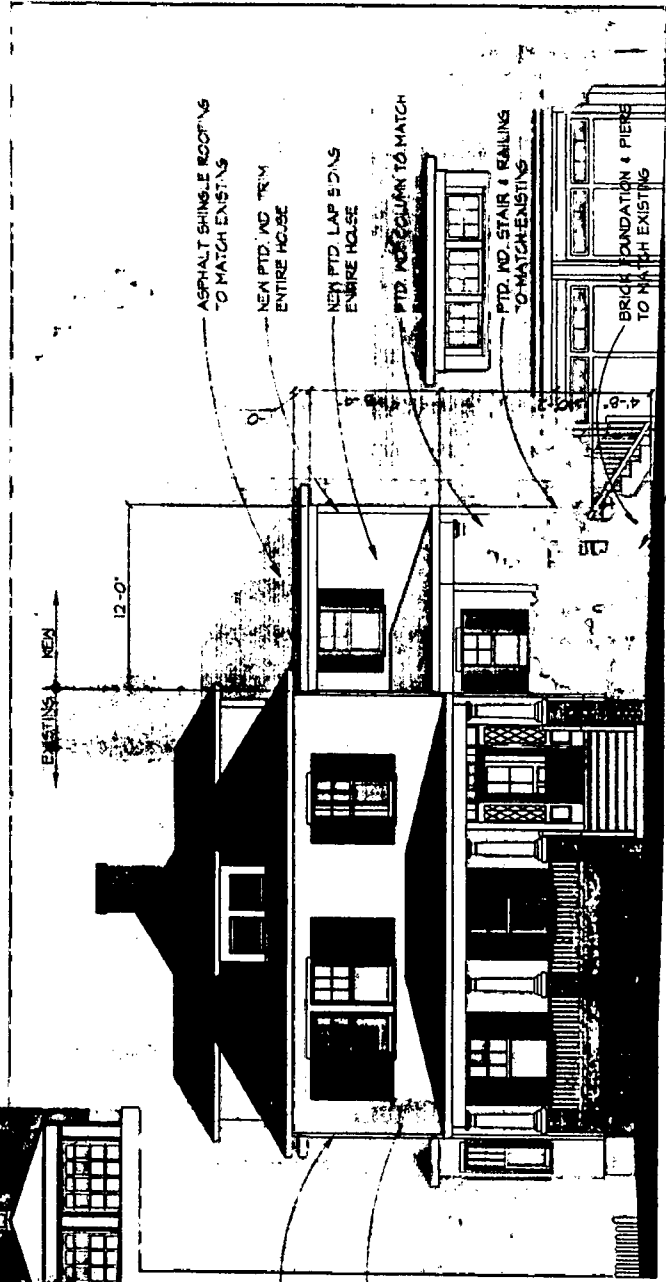
38



EXISTING FRONT ELEVATION

NEW PTD. MD. TRIM TO REPLACE
EXG. MTL. TRIM, ENTIRE HOUSE

NEW PTD. LAP SIDING TO REPLACE
EXG. MTL. SIDING, ENTIRE HOUSE



PROPOSED FRONT ELEVATION

A-15



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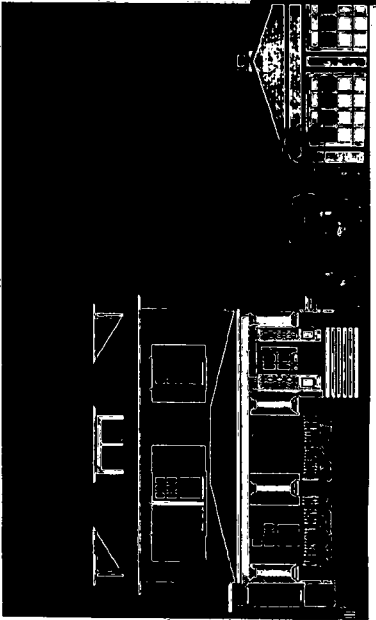
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PRELIMINARY PLAN



EXISTING FRONT ELEVATION

ASPHALT SHINGLE ROOFING TO MATCH EXISTING

NEW PTD. MD. TRIM ENTIRE HOUSE

NEW PTD. JAP SIDING ENTIRE HOUSE

EXISTING TREES TO REMAIN

REPLACE EXISTING CONCRETE PORCH STAIRS WITH NEW PTD. WOOD STAIRS, MATCH EXISTING HISTORIC TRIM DETAILS

FOR ENTIRE HOUSE:
 DEMO EXISTING METAL SIDING AND TRIM.
 INVESTIGATE & REPLICATE/RESTORE HISTORIC DETAILS AS NECESSARY.
 NEW PTD. WOOD TRIM DETAILS TO MATCH EXISTING HISTORIC DETAILS.



PTD. WOOD LATTICE TO MATCH EXISTING

A-15

PROPOSED FRONT ELEVATION



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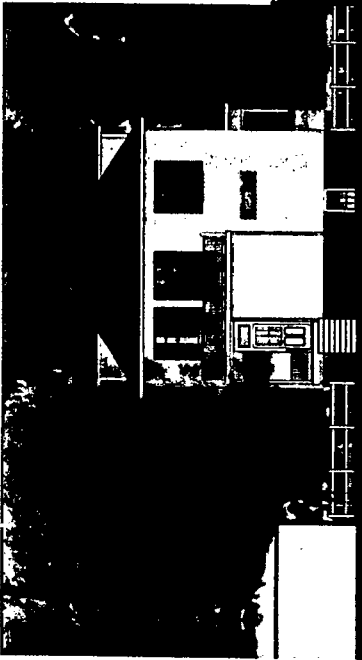
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REVISED PLAN



EXISTING REAR ELEVATION



1'-0" N 1'-0" 1'-0" 1'-0" A-17

PROPOSED REAR ELEVATION



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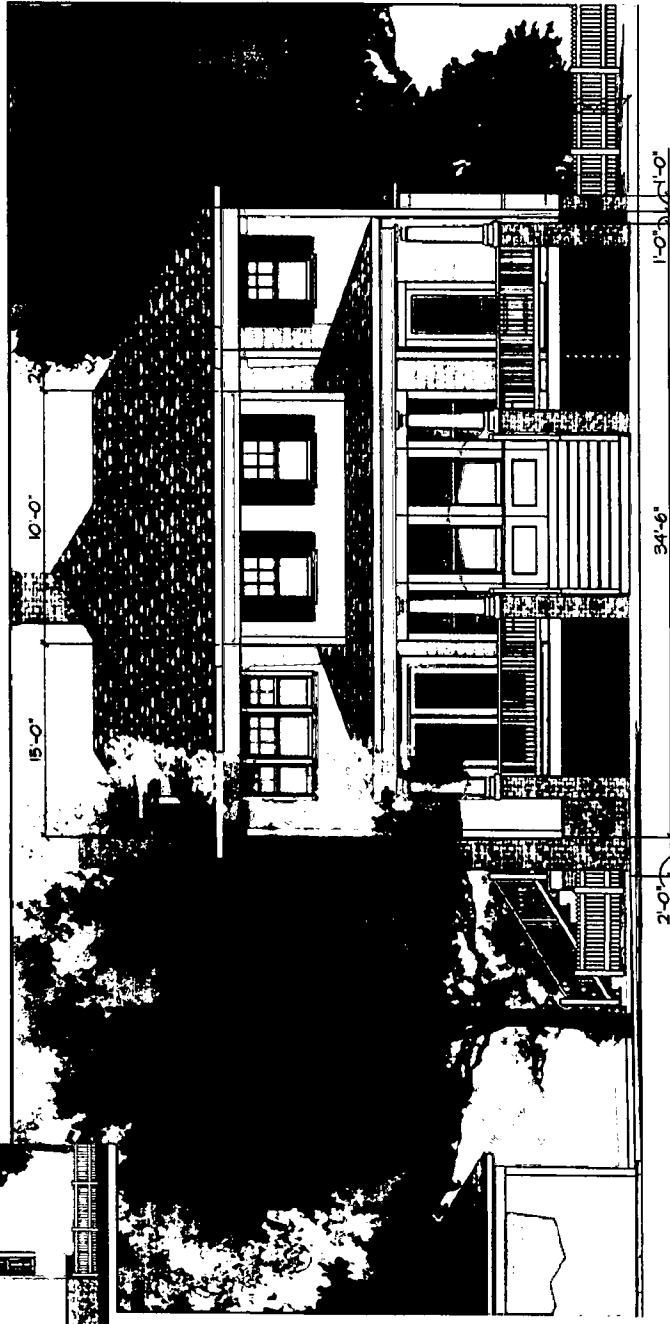
PRELIMINARY PLAN





EXISTING REAR ELEVATION

FOR ENTIRE HOUSE.
 DEMO EXISTING METAL SIDING AND TRIM.
 INVESTIGATE & REPLICATE/ RESTORE
 HISTORIC DETAILS BENEATH AS NECESSARY.
 NEW FTD. WOOD TRIM DETAILS TO MATCH
 EXISTING - HISTORIC DETAILS.



A-17



PROPOSED REAR ELEVATION

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REVISED PLAN



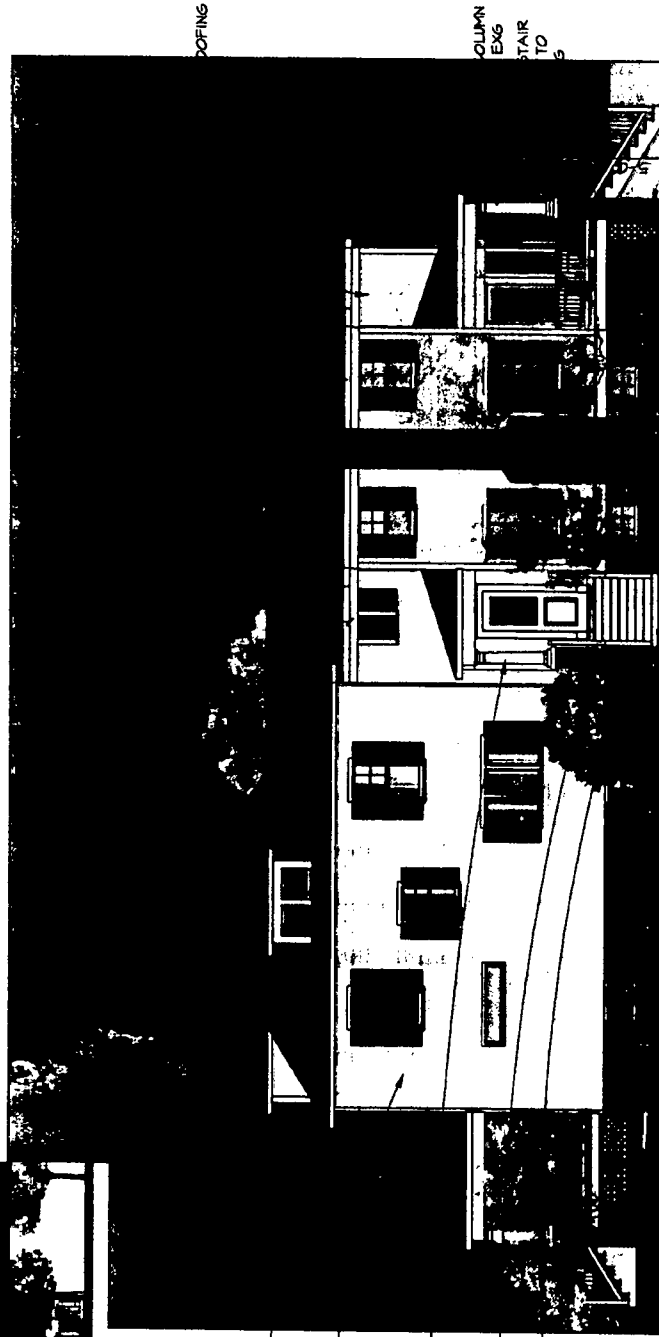
EXISTING RIGHT SIDE ELEVATION

NEW PTD. MD. TRIM TO REPLACE
EXG. MTL. TRIM, ENTIRE HOUSE

NEW PTD. LAP SIDING TO REPLACE
EXG. MTL. SIDING, ENTIRE HOUSE

PTD. MD. COLUMN TO MATCH
EXISTING

PTD. MD. STAIRS & RAILING
TO MATCH EXISTING
BRICK FOUNDATION & PIERS
TO MATCH EXISTING



PROPOSED RIGHT SIDE ELEVATION

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PRELIMINARY PLAN

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EXISTING RIGHT SIDE ELEVATION

NEW PTD. WD. TRIM TO REPLACE EXG. MTL. TRIM, ENTIRE HOUSE

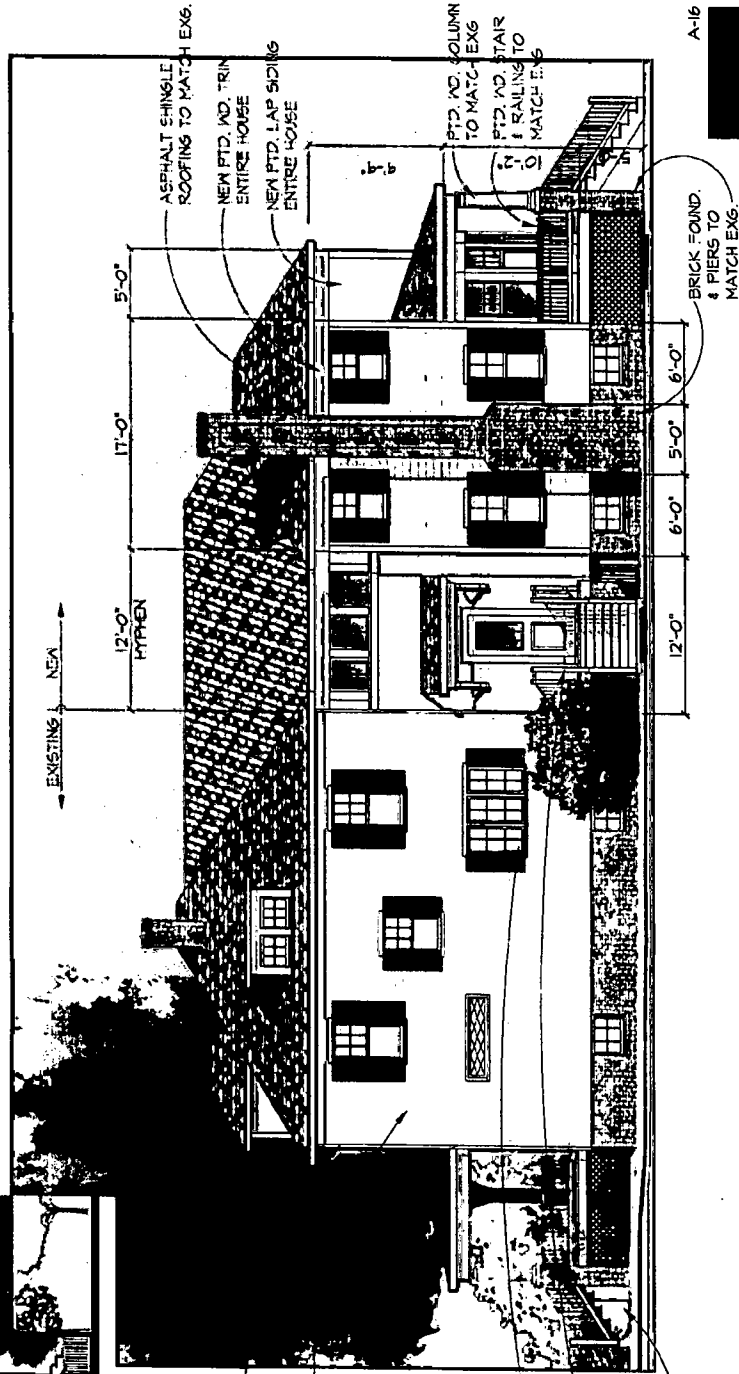
NEW PTD. LAP SIDING TO REPLACE EXG. MTL. SIDING, ENTIRE HOUSE

REPLACE EXG. KITCHEN WINDOWS W/ HISTORICALLY ACCURATE PTD. WOOD DIVIDED LIGHT WINDOWS TO MATCH EXG.

PTD. WD. STAIRS & RAILING TO MATCH EXISTING

REPLACE EXISTING CONCRETE FORM-4 STAIRS WITH NEW PTD. WOOD STAIRS, MATCH EXISTING & HISTORIC TRIM DETAILS

FOR ENTIRE HOUSE:
 DEMO EXISTING METAL SIDING AND TRIM.
 INVESTIGATE & REFL. CATE/ RESTORE HISTORIC DETAILS BENEATH AS NECESSARY.
 NEW PTD. WOOD TRIM DETAILS TO MATCH EXISTING HISTORIC DETAILS.



PROPOSED RIGHT SIDE ELEVATION

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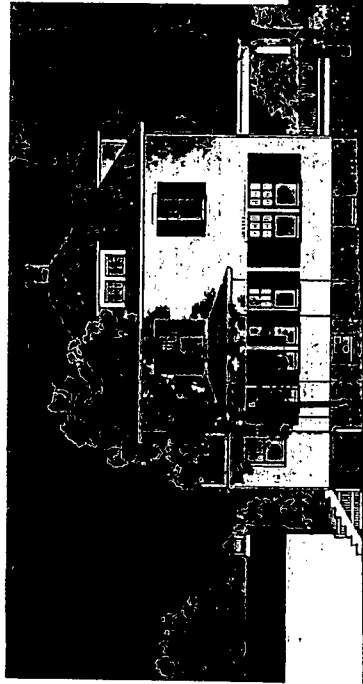
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REVISED PLAN





EXISTING LEFT SIDE ELEVATION

ASPHALT SHINGLE ROOFING
TO MATCH EXISTING

NEW PTD. MD. TRIM
ENTIRE HOUSE

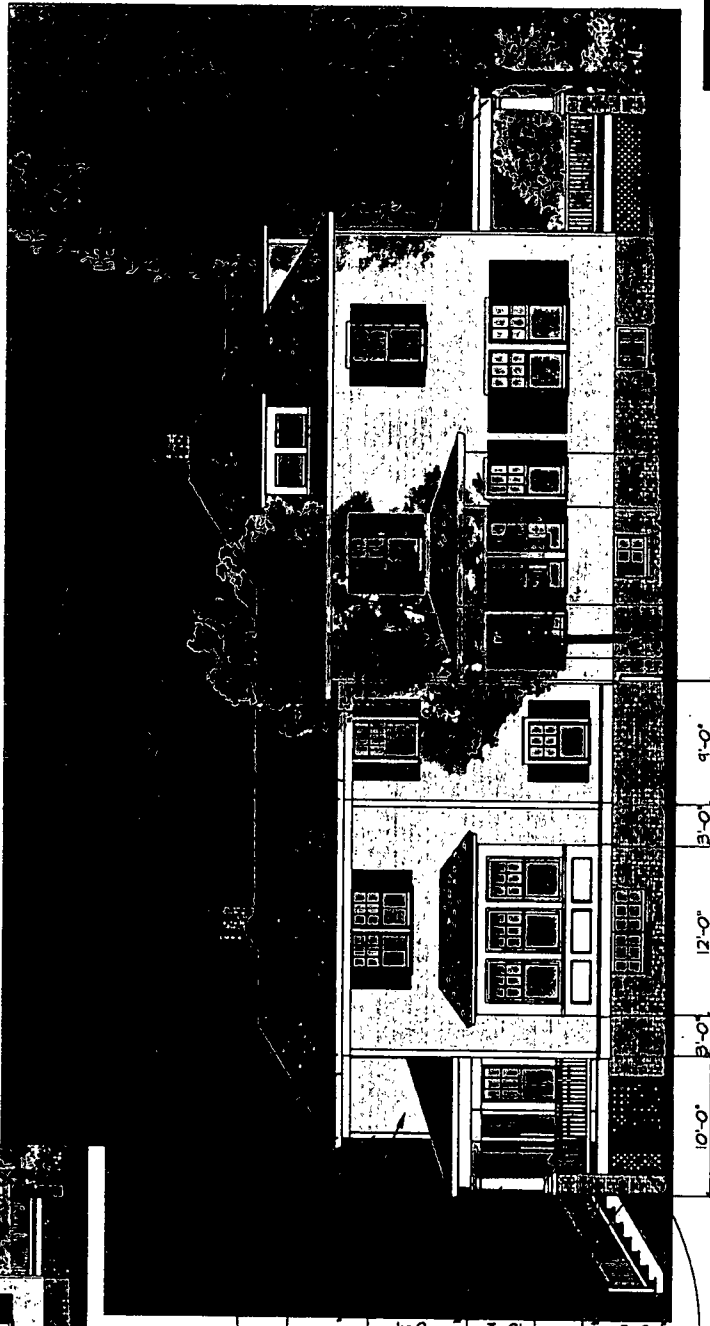
NEW PTD. LAP SIDING
ENTIRE HOUSE

PTD. MD. COLUMN TO MATCH
EXISTING

PTD. MD. RAILING TO MATCH
EXISTING

BRICK FOUNDATION & PIERS
TO MATCH EXISTING

PTD. WOOD LATTICE
TO MATCH EXISTING



PROPOSED LEFT SIDE ELEVATION

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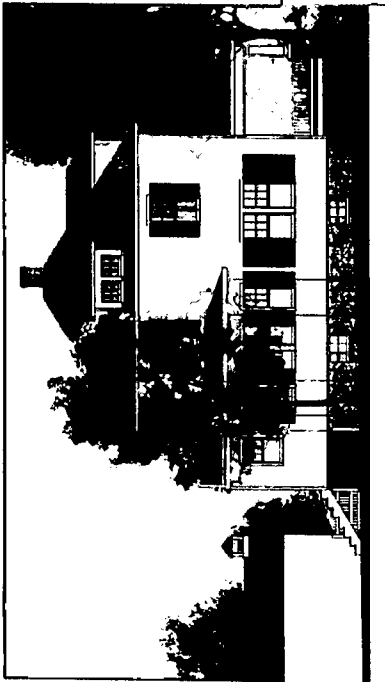
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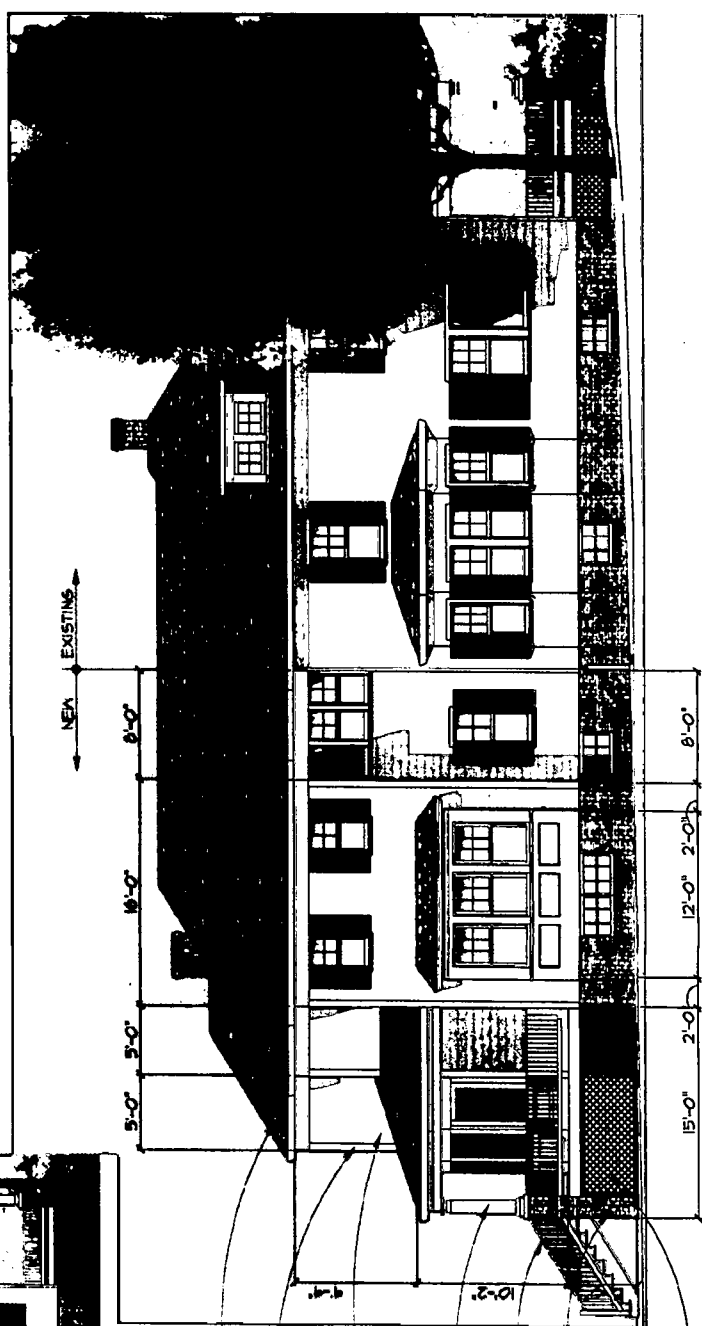
PRELIMINARY PLAN





EXISTING LEFT SIDE ELEVATION

FOR ENTIRE HOUSE:
 DEMO EXISTING METAL SIDING AND TRIM.
 INVESTIGATE & REPLICATE/RESTORE
 HISTORIC DETAILS BENEATH AS NECESSARY.
 NEW PTD. WOOD TRIM DETAILS TO MATCH
 EXISTING HISTORIC DETAILS.



- ASPHALT SHINGLE ROOFING TO MATCH EXISTING
- NEW PTD. WD. TRIM ENTIRE HOUSE
- NEW PTD. LAP SIDING ENTIRE HOUSE
- PTD. WD. COLUMN TO MATCH EXISTING
- PTD. WD. RAILING TO MATCH EXISTING
- BRICK FOUNDATION & PIERS TO MATCH EXISTING
- PTD. WOOD LATTICE TO MATCH EXISTING

PROPOSED LEFT SIDE ELEVATION

A-1B



ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

G T M

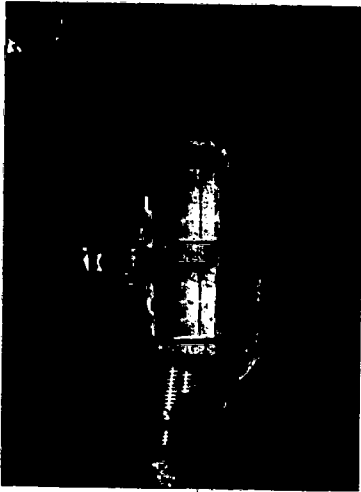
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46

REVISED PLAN



EXISTING GARDEN SHED



EXISTING GARAGE FRONT VIEW



NEW GARAGE FRONT-RIGHT VIEW



EXISTING GARAGE LEFT SIDE VIEW



EXISTING GARAGE REAR VIEW



NEW GARAGE REAR-LEFT VIEW

ECKERT RESIDENCE - HPRB MEETING 10/24/2012 - PRELIMINARY CONSULTATION

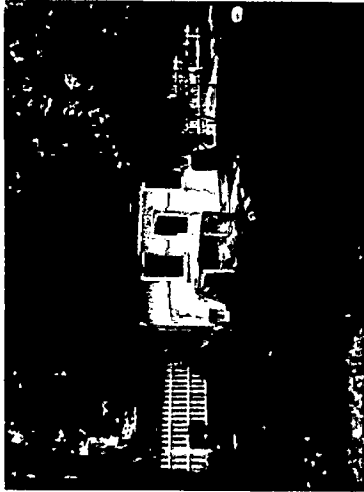
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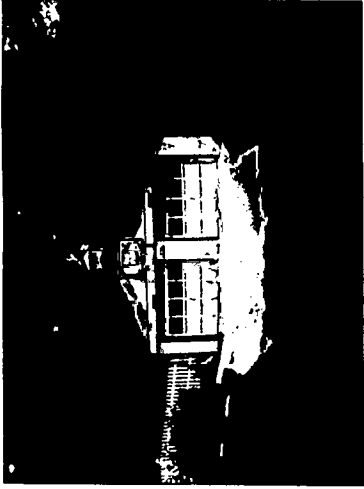
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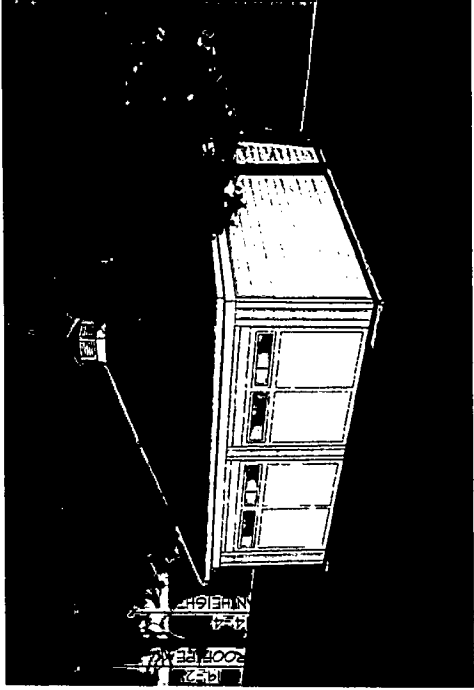
PRELIMINARY PLAN



EXISTING GARDEN SHED



EXISTING GARAGE FRONT VIEW



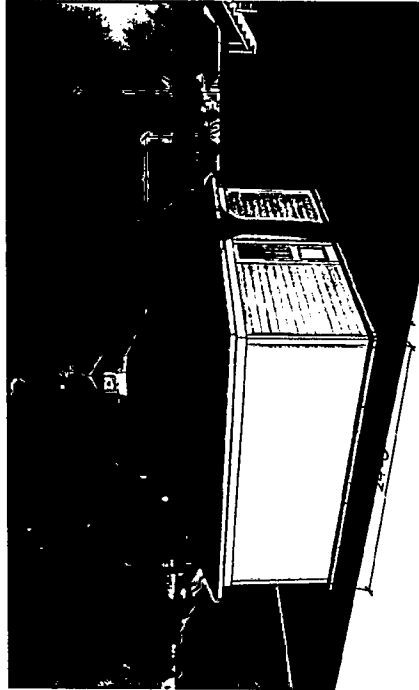
NEW GARAGE FRONT-RIGHT VIEW



EXISTING GARAGE LEFT SIDE VIEW



EXISTING GARAGE REAR VIEW



NEW GARAGE REAR-LEFT VIEW

A-16

GTM

ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

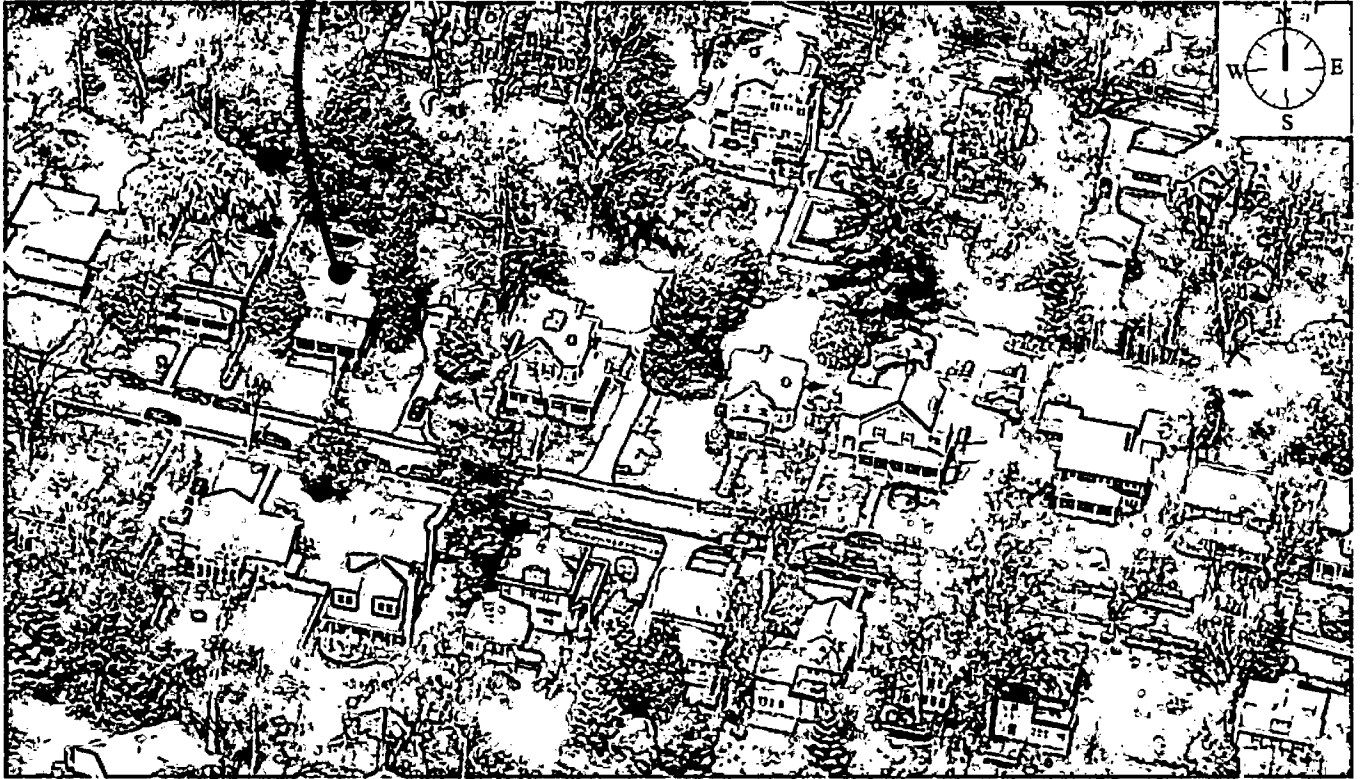
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3923 WASHINGTON ST. KENSINGTON, MD OCT 03, 2012 REV JAN 24, 2013 #12.0396

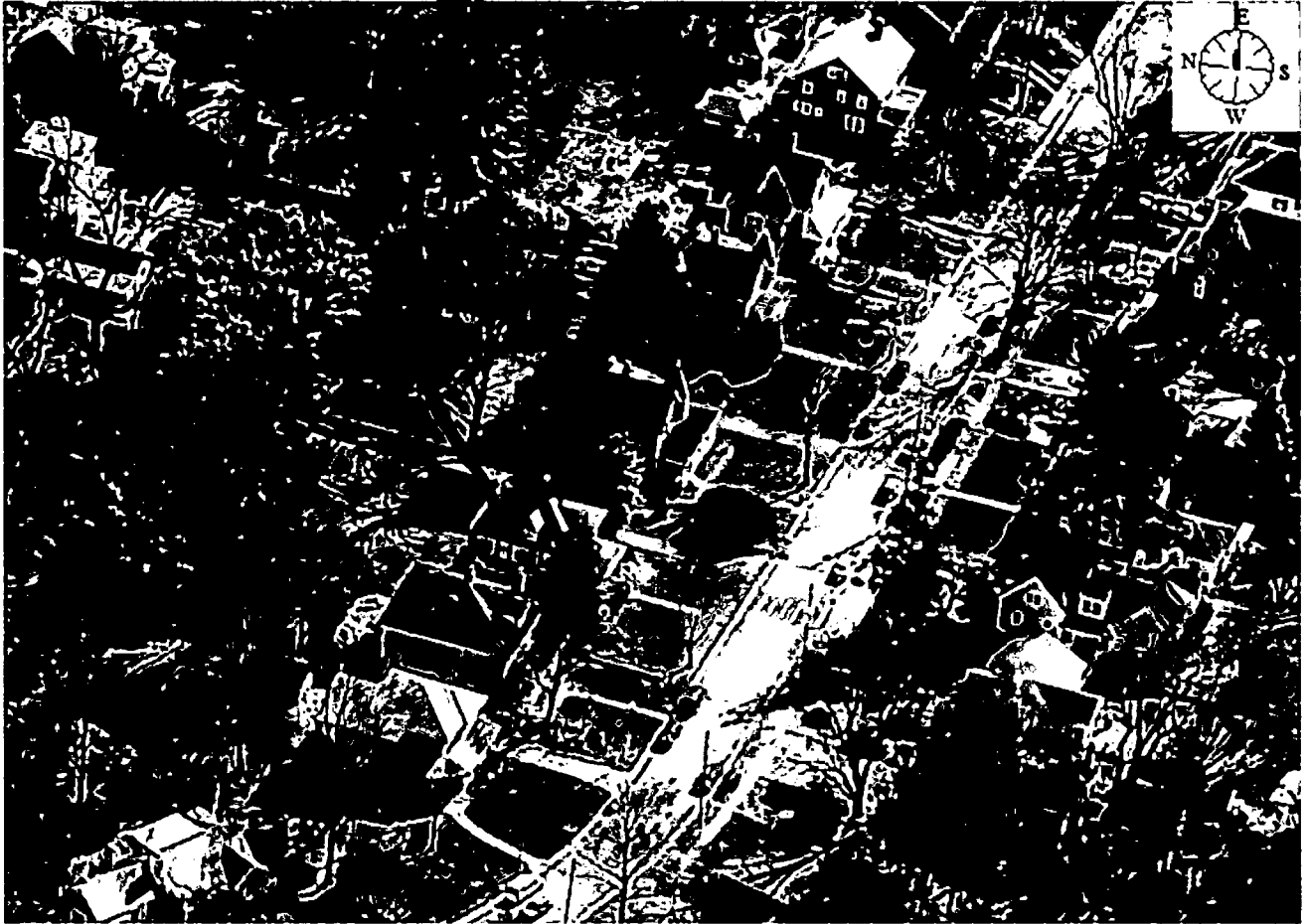
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3923



3923



HPC Meeting Transcript

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MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

----- X
 :
 HISTORIC AREA WORK PERMIT - :
 18 Grafton Street : Case No. 35/13-12Z
 :
 ----- X
 :
 PRELIMINARY CONSULTAION - :
 3923 Washington Street :
 :
 ----- X

A meeting in the above-entitled matter was held on October 24, 2012, commencing at 7:32 p.m., in the MRO Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland 20910, before:

COMMISSION MEMBERS

- Leslie Miles, Chair
- Bill Kirwan
- M'Lisa Whitney
- Sandra Heiler
- Jorge Rodriguez
- Paul Treseder
- Joe Coratola
- Craig Swift
- Max Van Balgooy

ALSO PRESENT:

Anne Fothergill

Joshua Silver

APPEARANCES

<u>STATEMENT OF:</u>	<u>PAGE</u>
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Bill Atkins	9
Paul Eckert	23
Luke Olson	26
George Myers	28

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1 MS. MILES: It appears to be unanimous. Thank you
2 very much. Thank you for your patience. Your HAWP has been
3 approved, and you can speak to Anne about how to proceed,
4 tomorrow.

5 Now we have a preliminary consultation for 3923
6 Washington Street in Kensington. And do we have a staff
7 report?

8 MS. FOTHERGILL: We do. This is a Primary-One
9 resource in the Kensington Historic District. Also Colonial
10 Revival house built circa 1910. It is in the, what the
11 Vision of Kensington calls the historic residential core,
12 which consists of most of the primary historic resources in
13 the residential neighborhood. And in Circle 3 you'll see
14 the discussion of what that pattern of development is
15 characterized by expansive open spaces between homes. In
16 this area it is important to preserve these patterns, open
17 space, front yard setbacks, building scale, architectural
18 character, and the streetscape qualities.

19 This house has not had substantial additions or
20 alterations, and you can see it here in its context. I also
21 will bring your attention to Circle 34, the last page of
22 your staff report, the 1924 Sanborn, which shows its
23 original setting before the house to the left was
24 constructed. And it also had, at one point, a single car
25 garage, not the garage that it has now.

1 The applicants are proposing to remove the
2 aluminum siding and trim on the house. So that is the
3 substantial alteration that's made to the house. But
4 salvage the original wood siding where possible, that's
5 underneath the aluminum siding, and then install new wood
6 siding to match where needed. And then, construct a rear
7 addition, which I will discuss. They also propose to
8 construct areaway stairs where the addition connects on the
9 west side; remove the existing front walkway and install a
10 new brick walkway; demolish that two-car garage that you see
11 in this aerial photo; and remove the concrete driveway; and
12 then install new brick paver strips driveway leading to an
13 asphalt driveway at the back; and construct a new two-car
14 garage which will be 24 by 24 by 19-foot 2-inches tall to
15 the roof ridge, a one-and-a-half-story structure. The
16 material weren't specified, but appears to match the
17 addition; and then has two garage doors, and we can discuss
18 appropriate materials with the applicants. And remove three
19 Dogwood trees.

20 The proposed addition is 1170 square feet at the
21 rear. It extends 36 feet out the back including a covered
22 porch, and will be 39 feet wide including a 12-foot
23 extension out beyond the original east side plane of the
24 house. The rear-covered porch has steps to grade and there
25 are steps to the driveway from a new east side entrance.



1 Also on the east side is a brick chimney, and on the west
2 side is a new bay that is in plane with the existing west
3 side bay window. The proposed materials are wood siding;
4 asphalt shingle roofing; brick foundation; wood windows with
5 simulated divided lights; wood columns; wood porch railings,
6 shutters and trim. And I'm going to show you some photos,
7 and then go through the review criteria with you.

8 This is the house. You can see that existing bay
9 on the left side that I mentioned. And, this is coming
10 around the right side of the house. The rear, so you can
11 see that it's had that little mud room or shed sort of
12 addition, but otherwise it retains its original form.
13 Here's that garage that would be demolished. And so here
14 are the plans. Existing is on the right and proposed is on
15 the left. You can see the two-story rear addition that does
16 extend out to the side. You can also see the new garage
17 further back on the lot. And I will go through these fairly
18 quickly, and then the architect can talk in more detail
19 about them if desired.

20 Again, you can see that there is an inset on the
21 original corners of the house that serve for
22 differentiation. So here are the elevations, existing and
23 proposed. Again, the materials are to match the historic
24 house. Here's the right side, rear. And I can come back to
25 any of these when we're discussing it. Left side. And then

(56)

1 again, the applicant's architect provided aerial views. And
2 here you can get a sense of the side projection beyond the
3 side plane of the house. So, the applicable criteria for
4 this project are the Vision of Kensington, the Montgomery
5 County Code Chapter 24A-8 and the Secretary of the Interior
6 Standards for Rehabilitation. So in using those, and staff
7 also mentioned the design guidelines for Montgomery County,
8 which are not review criteria, but are general guidance when
9 looking at projects and altering historic resources.

10 The applicant's proposal to remove the aluminum
11 siding and salvage and restore the original wood siding is
12 commendable, and will be a major improvement to the house
13 and the historic district. It will be eligible for tax
14 credits, and certainly, you know, is something we highly
15 encourage. And that would probably nominate for an award or
16 something. It's always good when a homeowner chooses to do
17 that. And they aren't proposing any other changes to the
18 historic house other than at the rear of the house, and
19 that's also commendable. They aren't proposing to alter any
20 character defining features of the historic Primary-One
21 resource.

22 However, they are proposing to construct an 1170
23 square foot addition behind the existing 975 square foot
24 house, and staff's main concern, which is noted in the staff
25 report, is with the scale of the addition and, as well as

1 its visibility since it does extend 12 feet beyond the side
2 plane of the historic house. And the materials of the
3 addition are in keeping with the house. You know, the
4 design is differentiated and compatible in materials. But
5 overall, the rear addition is larger than the original house
6 and staff's concern is that it's out of scale in proportion
7 to the historic house. If the addition was entirely at the
8 rear and didn't extend 12 feet out the side, the overall
9 size would be reduced and it would greatly reduce its
10 visibility and overall impact on the house and the site.

11 As proposed, it will extend into the yard to the
12 side of the house and compromise that existing pattern of
13 houses and open space that characterize the streetscape. In
14 terms of the garage, staff's understanding is that once the
15 rear addition is built, then the existing garage would be,
16 you know, not behind the primary resource and would be non-
17 conforming in terms of zoning, so I believe the garage
18 couldn't remain where it is. And so they are proposing to
19 demolish it and then construct a new garage with a similar
20 footprint, but it is bigger. It's one and a half stories,
21 and appears at least in this aerial and in plan, to be
22 taller and overall more massive. And so, staff is somewhat
23 concerned about that, although much more concerned about the
24 house.

25 Staff recommends that the Commission provide the

1 applicants with clear guidance on the proposed two-story
2 addition, its size and scale. Then extending the two-story
3 addition beyond the side plane of the historic block, and
4 the demolition of the garage and construction of the new
5 larger garage.

6 MS. MILES: Thank you, Anne. Does anyone have any
7 questions for staff?

8 MR. CORATOLA: I do. Anne, you mentioned the
9 garage is not original; the two-car garage is not original?

10 MS. FOTHERGILL: Well, you know, I haven't been
11 there, so I would defer to the architects. But if you look
12 at the 1924 Sanborn, it's clearly a one-car. And we have
13 found that they generally are accurate in terms of sort of
14 the overall size and proportion of accessory buildings. So
15 it either was substantially altered or it's not, it's a more
16 modern construction.

17 MR. TRESEDER: Anne, can you describe the house to
18 the immediate left of this resource. It was obviously an
19 infill house. Is it a recent infill, or is it an old
20 historic infill house?

21 MS. FOTHERGILL: And I've been there but I can't.
22 So, again, I'm sure the owner and architect might be able to
23 provide.

24 MR. TRESEDER: Okay, good. Because obviously, the
25 streetscape pattern is important.

1 MR. VAN BALGOOY: Ms. Fothergill, in the color
2 attachment as provided by the applicant, they provide on
3 page A2 and A3 several massing precedents in Kensington.
4 For example, on St. Paul Street, and on Fawcett Street, how
5 is what they're proposing different from these precedents?

6 MS. FOTHREERGILL: The applicants were aware that
7 the Commission, this Commission has not been supportive of
8 additions that extend beyond the side plane of the historic
9 block, and so I believe that's why they submitted that so
10 that the Commission would be aware of these precedents. You
11 know, I can't speak to each one specifically, but I'm pretty
12 sure they were all approved by the Historic Preservation
13 Commission, but they just, you know, it's a case-by-case
14 basis, and each Commission has different ways of looking at
15 the review criteria.

16 MS. MILES: Any other questions for staff? Okay,
17 if the applicant could please come forward. If you would
18 please identify yourselves again or de novo, and again you
19 can either make a presentation or respond to questions from
20 the Commission.

21 MR. MYERS: George Myers, GTM Architects.

22 MR. OLSON: Luke Olson, GTM Architects.

23 MR. ECKERT: I'm Paul Eckert. My son, Charlie.

24 MS. ECKERT: I'm Deborah Eckert.

25 MS. MILES: Thank you. Would you like to make a

1 presentation about your plan?

2 MR. ECKERT: Madame Chair, if I might, I just
3 would like to spend about five minutes telling you about
4 this wonderful house and how we came to it, and what our
5 objectives are, so that as you consider what we're proposing
6 you have that in mind.

7 So I mentioned with me tonight are my wife and
8 my son. We have a 22-month-old daughter at home, and a
9 six-year-old. Both of them would have loved to be here, but
10 it's got some bedtime issues. We came to Kensington in '97
11 and spent almost a decade trying to find a house in the
12 historic section of the town of Kensington, particularly the
13 area where Washington, Baltimore and Prospect Streets meet,
14 called the Horseshoe, that's the old Kensington Park.

15 We knocked on a lot of doors. My wife actually
16 identified this house and the seller and convinced her to
17 sell it to us. It was a house that was in significant
18 disrepair. It had a lot that was overgrown with bamboo. It
19 had a homemade duck pond, as you saw in the picture; that
20 was made with cinderblock. The mudroom off the back is
21 actually not a mudroom; it's a handyman bathroom that was
22 built with the sheetrock faced the wrong way, that resulted
23 in significant rot. It had a lot of other charming touches
24 like that, that led our son to name it the creaky house,
25 which is what we still call it.

1 I wanted to point out two things. We believe in
2 historic preservation. It's a part of what brought us to
3 Kensington. We love this neighborhood. We love the area
4 across Connecticut Avenue as well. But this section of
5 Kensington is just teeming with kids. It's a wonderful
6 place. Second, we approached the house when we bought it
7 eventually in 2007, with the kind of care I hope you would
8 appreciate. That is, we spent five months, over \$100,000
9 just getting the interior of this house so that we could
10 live in it. We removed dead animals from the walls. We
11 actually removed a live animal from the wall.
12 We replastered almost, you know, the entire house. We put
13 in period lighting fixtures. We resurfaced the floors and
14 brought them back to their glory.

15 What we didn't do -- we also in the backyard, by
16 the way, got rid of the bamboo; got rid of the concrete
17 cinder block duck pond. We dug up what looked like an odd
18 landscaping and found out a beautiful brick walkway that
19 went this side of the house was covered under six inches of
20 yard waste. So, we've put a lot of time and effort into the
21 inside of the house. We were putting off exterior
22 renovations. One of the reasons we've been without a first
23 floor bathroom for four years is because, the structural
24 damage to that mudroom we just had to wall it off and put it
25 off. So we had always planned going out the back. One of

1 the things that brought us to this particular property was
2 its double lot. It's got two 50 foot lots. To the left of
3 it is a house that was built in the '80s. It's a pretty
4 sizeable house. You can see it in the Google maps picture.
5 It's bigger than our house.

6 But then, to our right is the second empty lot,
7 that all is there is the garage that was built somewhere
8 around 1950 and the same charmer that built that back
9 mudroom also turned it into sort of a house of horrors in
10 the '80s with a lot of, you know, unfinished work there. We
11 assumed we could, you know, try to go out the back. We go
12 out 12 feet on a 50 foot lot, our house neighbor to the
13 right is further set back from the property line as well.
14 So, you know if we move that garage back it opens up a lot.

15 Last point and I'll turn it over to George who
16 knows what he's doing here. We spent over a year picking an
17 architect, and that wasn't because I hope we were just
18 particularly fussy and cranky. We wanted to find someone
19 who shared our vision of embracing what is the best of
20 Kensington and we wanted to find someone who could preserve
21 the original structure, but still make it look like it was
22 always in town. And we saw some of George's projects, the
23 one on Fawcett Street, one on Montgomery Avenue that led us
24 to pick him over a lot of talented architects. We couldn't
25 be happier with his design for our house. It will allow us

1 to preserve this historic character. It will allow our boys
2 not to share a room. It will allow my daughter, when she's
3 old enough to have a closet. It will allow my 85-year-old
4 mother to not only visit us, but able to go up, because
5 we're going to have an elevator for her. And so, it also
6 will allow us to strengthen this house and hopefully for
7 another hundred years. So, I'll turn it over to George, but
8 I wanted you to know what we were trying to do and where
9 we've been to get here.

10 MR. MYERS: Luke is going to go ahead and make a
11 presentation on the house.

12 MR. OLSON: Thanks, George and thank you Paul for
13 those kind words. The existing house, as you can see, is a
14 two-story American Foursquare. It's got a covered porch,
15 long overhanging eaves, and a side bay window among other
16 details typical of the American Foursquare. It is a
17 previous addition in the rear of the house that we want to
18 remove. It's got that small covered porch. It's just of no
19 use and, as Paul pointed out, we've had to block it off
20 because there's just no structural integrity to that
21 currently.

22 There's an areaway in the back that provides
23 access to the basement, which we'd like to retain,
24 especially since we're looking for that handicap access for
25 this house. And then, an elevator, of course, for kind of a

1 live-in place situation, to keep on extending the life of
2 the house. The house currently sits on two lots, as you can
3 see. And the majority of it is on that left side with the
4 large open space off to the right, and it's about 24 feet
5 from the left side, but 55 feet on the right side. Which is
6 a very good distance, some of which is eaten up by that
7 garage.

8 Our current design is including a two-story
9 addition on the rear, completely to the rear, and an
10 exterior renovation to really broaden up all the materials
11 and bring them more into par with what this house should be.
12 To retain the significance of the original house we have
13 located the addition entirely in the rear, and we've taken
14 great care to maintain the spacing between homes typical of
15 the neighborhood that's described in the Kensington plan,
16 the Vision of Kensington Planning Study that Anne
17 referenced.

18 The most important part of that was spacing
19 between homes. And we really feel that although we are
20 projecting off to the side, by moving that garage back we
21 are actually reclaiming almost 22 feet of space between this
22 house and the other that would be read from the street as
23 open space instead of as structure. We've also lowered the
24 eave height of the addition so that it's subordinate to the
25 original house, and made use of a hyphen to clearly denote



1 the addition and its connection to the original house.
2 We've taken great care to ensure that the design is in
3 keeping with the historical character of the existing house,
4 and the scope of work includes the renovation of the
5 existing exterior, updating all the materials traditionally
6 and historically. Thank you.

7 MS. MILES: Thank you.

8 MR. MYERS: I just want to add one thing about the
9 precedence that we included. Most of the projects, most but
10 not all, are our projects from our firm that have been done
11 over the last 10 years or so. We included them because most
12 of them have additions that go to the side. You know, they
13 go to the rear first, set in and then back out to the side.
14 Exactly what we're proposing. And several of them have at
15 least as much square footage as we're proposing. So, you
16 know, the reason we included them was to, you know, I think
17 that most people who saw those projects would say that they
18 fit into the neighborhood in a good way. And so, we thought
19 it was good to just remind the Commission that those
20 projects have been approved and are approvable in the
21 district.

22 MS. MILES: Thank you. Does anyone have any
23 questions for the applicant? I know someone does.

24 MS. WHITNEY: I do. Did you look at designing
25 something smaller? I mean, I see rooms that, I see a lot of

1 additional rooms. I understand you have a growing family
2 and in-laws who visit.-- Did you look at a smaller addition?
3 Did you look at proposing a smaller addition for us?

4 MR. MYERS: The Eckerts came to us with a program
5 that they're trying to achieve, one of which was to include
6 an elevator. The problem with, one of the starting points
7 was the elevator and the additional stair that's added on
8 the back before the kitchen and family room start. Okay.
9 That's necessitated, number one, by the existing stair
10 that's there not meeting code. You can't even use it to go
11 to the basement anymore. So, another stair is required. I
12 mean, this has just been something that's new in the county
13 over the past few years. If you don't have a, they won't
14 allow you to use this stair down to the basement. So we
15 needed to add a stair, we needed an elevator. So that put
16 us about, you know, nine or 10 feet out before we start with
17 our kitchen and family room, which I think are very
18 reasonably sized.

19 The issue, you know, the original house is not a
20 large house. It's about 30 by 30, the Foursquare. So our
21 goal when we're adding the square footage is to try to not
22 make any mass as big as that 30 by 30. So, that's a 30 by
23 30 mass. We have a nine-foot piece, and then we have
24 approximately about a 17 foot piece. So to keep all of our
25 roof lines smaller. But yeah, we acknowledge it's a fair

1 amount of square footage. But we're trying; we think it's
2 still secondary and subordinate to the main house.

3 MS. MILES: Can I just clarify with staff that
4 when a stairway is out of code, it doesn't mean that it has
5 to be rebuilt in order for you to have your permits to
6 proceed to do your renovation.

7 MR. MYERS: What --

8 MS. MILES: Can I just let staff, and then you can
9 respond.

10 MS. FOTHERGILL: We have had, there are SmartCodes
11 and we've had great success, but I'm most familiar with
12 exterior changes. So I would actually defer to one of the
13 architects on the Commission who has done interior spaces,
14 because we don't, you know, we don't review interior so I
15 don't know.

16 MS. MILES: I'll turn first to my colleagues and
17 then you may of course respond. Anybody?

18 MR. CORATOLA: My understanding, and it's only my
19 understanding, somebody can tell me if I'm wrong or not, is
20 if you don't do any work to the stair or don't touch the
21 stair, it can remain. But once you touch it in any manner,
22 then you have to bring it up to code.

23 MS. MILES: Does that comport with your
24 understanding?

25 MR. MYERS: The issue comes in, for example, if

1 you added, let's just say we have the existing basement and
2 we add new basement space, okay. The issue has come up with
3 us on several non-historic jobs where we were not allowed
4 to, that basement space requires a means of egress and the
5 stair that's there will no longer count as one. It's fine
6 for the existing space, but if you add any new basement
7 space to it, we can't add the new basement space to it
8 without adding another means of egress out because the old
9 basement does not conform as a means of egress. I could
10 provide that info to you.

11 MR. TRESEDER: Well, yeah, but basically that's,
12 actually it's a market target. The DPS actually changes
13 their minds, you know, over time. But currently, certainly
14 for an addition of this size, the new square footage on the
15 second floor would have to be serviced by a code-legal
16 stair. They couldn't, the existing stair is fine for the
17 existing second floor, but once you increase the second
18 floor by this amount, then you will require a new staircase.

19 MS. MILES: So is the stair that's currently
20 servicing the second floor not to code either?

21 MR. MYERS: Neither one. It doesn't meet it for
22 head height or rise and run. This has been a new thing
23 that's, I mean, this has happened to us twice in the last
24 year with the county where, it's a silly rule, but it is,
25 you know, makes it difficult.

1 MS. MILES: All right, thank you. Does anyone
2 else have any questions?

3 MR. VAN BALGOOY: Madame Chair. Mr. Myers or Mr.
4 Olson is it?

5 MR. OLSON: Yes.

6 MR. VAN BALGOOY: Just some questions. One of the
7 things I need to look at as a commissioner is the design
8 guidelines for historic sites and districts in Montgomery
9 County, Maryland, and I'm looking at section 18. In
10 particular, 18.3, which states that additions should be
11 designed to remain subordinate to the main structure, and
12 18.7 that, for the roof form and slope that it should be in
13 character and subordinate to that of the primary building.
14 And also that larger additions should be broken up, the mass
15 should be broken up with the addition into smaller modules.
16 So can you explain to me how you've achieved that or how
17 you've met those design guidelines?

18 MR. MYERS: Well, I think we've done exactly that.
19 Again, the main, like I said before, the main house is 30 by
20 30. We have a hyphen and then we have a smaller, you know,
21 I think it's maybe ~~18~~ feet wide, is that right, 18 foot
22 wide. So the widest gable that we have is 18 compared to
23 30, okay. It's lower by several feet from the main house.
24 So I feel like that we understand that guideline and I think
25 that we were designing to that.

1 MR. OLSON: And we've also lowered the actual eave
2 height to further differentiate between the two. And then
3 in the connector it has a little slope there, so you
4 definitely can tell the main massing of the roof, the
5 hyphen, and then the secondary massing of the roof. And
6 that addition step up from that little front porch as a side
7 entry into that second-story space so it kind of reads as a
8 gradual progression instead of a sudden and immediate
9 addition.

10 MR. VAN BALGOOY: And then the guidelines, one
11 part you didn't address is about breaking up the mass into
12 smaller modules. Is that not appropriate for this project
13 or did you consider that?→

14 MR. MYERS: Well, I think we have by going to an
15 18, you know, a nine-foot and then an 18-foot module, and
16 then plus we have a one-story piece for the mudroom. We
17 have a one-story piece on the back, which is the porch. So
18 I feel like it has been broken up into pieces.

19 MR. VAN BALGOOY: Okay, thank you.

20 MS. MILES: Other questions?

21 MR. TRESEDER: I was just going to ask you to
22 elaborate a little bit more on the house to the left,
23 because it does, in the aerial photo, look to be quite a,
24 sort of a large Foursquare infill development and of a
25 larger scale. And certainly, if you were to come back with

1 a proposal that did a little bit analysis of the adjoining
2 houses, it might help make the case for this house being
3 compatible with the streetscape. Because it looks to me
4 currently this house is sort of the smallest of the ones
5 along the streetscape, and that that, you know, talking
6 about how big this is, indeed it is, but that might help put
7 it in context.

8 MR. MYERS: Well, I think that the streetscape to
9 the left of the house has been lost, frankly. I mean, at
10 one point this house was sitting in a garden setting with a
11 50-foot lot on either side. It now has an extremely large
12 infill house that's probably 12, 15 feet away. It goes back
13 another 20 feet. It's a big box of siding. The garage that
14 exists, that was built on the right, effectively visually
15 fills in the other lot. So, I think that this open space
16 that once existed no longer exists. I think, to me when I
17 see this, I think there's the ability to save the open space
18 on the right.

19 And the most important thing to do that is by
20 pushing that garage all the way back to the back of the lot
21 where -- which frees up that lot. And so, to me that's the
22 most important thing to create the space. And yes, we've
23 come out 12 feet, but effectively, I feel like we've picked
24 up, we're subtracting 22 from the garage to create open
25 space, we're coming back 12, but we've effectively opened up

1 the space between these two houses by, you know, 10 or 12
2 feet. And I think, so I mean, that I felt was the most
3 important part of this project is what it felt like between
4 the two houses there.

5 Because I do think the context on the left because
6 of that house is no longer exists. That house, if we, would
7 never be approved. I mean, that house was built before the
8 historic district existed. What I think is probably one of
9 the reasons there is a historic district now because of
10 infill houses like that.

11 MR. ECKERT: It actually was the picture, that
12 house was the picture of what Kensington is in a Washington
13 Post story. A picture of that house to the left.

14 MR. VAN BALGOOY: Well, I think we would all
15 venture, that's not a model building for this project or for
16 you. And I certainly appreciate why you're sort of going
17 the other direction. Because this is a preliminary
18 consultation, I hope we could talk a little less formally
19 here.

20 MR. MYERS: Sure.

21 MR. VAN BALGOOY: One of the things that I see in
22 the Kensington Guidelines, what they want to achieve is sort
23 of that park-like setting in the back. And I'm a little
24 concerned. I'm looking at sort of the aerial plans. I
25 understand why you want to put the garage to the back,

1 because that does solve that sort of side yard problem, but
2 now by putting the garage in the back, then that park-like
3 setting that you have in the back that you share with your
4 neighbor suddenly has this garage placed there. Now, of
5 course, I can't walk back through without being worried if I
6 might get shot by somebody, so can you explain to me, how do
7 we alleviate neighbors concerns about that backyard? I mean
8 that is pretty nice that you have that, when you look in
9 your backyard you can see everyone else's backyard. It's
10 sort of park-like.

11 MR. MYERS: Well, Kensington has a lot of
12 outbuildings throughout the town. There is, over on the
13 other side there's actually a little barn building that's
14 there. So detached garages and sizeable ones are common in
15 that area in the backyards throughout the town. And, you
16 know, I guess, and I think there's enough space back in
17 there to have an attractive building there, adds to the
18 landscape. So, and again, I think it's paramount that the
19 open space from a public point of view really probably ought
20 to take precedence in any case. So I think moving the
21 garage back still is the right move because of the open
22 space that it creates on the side yard. But again, I don't
23 think it's inappropriate at all.

24 MR. VAN BALGOOY: How are you thinking about the
25 finish on the other -- I know what you're doing on the door

(74)

1 side, but the other three elevations which are seen by the
2 backyard, how are you treating those?

3 MR. MYERS: I'm thinking, you know, windows and
4 shutters. The same traditional materials that you would
5 have seen.

6 MR. VAN BALGOOY: It'll be finished off? It won't
7 be blank walls that people are looking at?

8 MR. MYERS: No.

9 MR. ECKERT: Our neighbors to both sides have
10 garages in the back just where we intend to put them or sort
11 of, I don't know what the historical significance of these
12 things are, but they're very old. Most of the houses on the
13 street except for ours, I think, have the garages in the
14 back of the property where we're trying to move them.

15 MS. MILES: Can I ask what your intention is for
16 the program for the second floor of the garage?

17 MR. ECKERT: I married into a family that has huge
18 family gatherings, and we have thirty-some people staying
19 over at our house on the holidays, and the idea was guest
20 space over the garage. There's a better than ever chance
21 that we'll have some in-law extended visits when they retire
22 next year. We expect to put them in the basement, which
23 will be a nice living space actually. But, yeah, if they're
24 there for several months at a time, it's guest quarters.

25 MS. MILES: Are you planning an elevator for the

1 garage given the issues you raised earlier?

2 MR. ECKERT: The elevator is for the main house.

3 MS. MILES: I understand. But for the garage,
4 given that you're planning on putting people in, do you need
5 an elevator into the garage? Are you planning a --

6 MR. ECKERT: I think we have the ability, you
7 know, to be flexible about where they stay. The older, the
8 idea is that the in-laws would stay in the main house, my
9 mother, when she is able to come over, whose wheelchair
10 bound, is the person who needs the elevator right now.

11 MS. MILES: Thank you. Any other questions?

12 MR. KIRWAN: I have a question. George, could
13 you, was there any exploration to weighting the addition to
14 the left side of the house as opposed to the right side in
15 order to preserve that sort of larger setback you have on
16 the side now?

17 MR. MYERS: Well, I --

18 MR. KIRWAN: It seems to be about 20 feet, plus or
19 minus, on that side?

20 MR. MYERS: Well, I don't think we did.
21 Kensington has actually a 10-foot setback, which we have to
22 abide by. I think there's probably a couple feet. I mean,
23 I think we're at right about 12 already. So the only thing
24 we could probably do is shift a little bit of it towards the
25 left maybe two feet before we're already at the town

1 setback. On the left side.

2 MR. KIRWAN: Yeah, on the left side. Currently
3 what is the setback from the house to the property line? It
4 scales to about 20 feet.

5 MR. MYERS: My initial thought was that it's so
6 tight on that side already that it seemed to be, I
7 understand your point though, to maybe --

8 MR. KIRWAN: I mean, in some ways with that new
9 house that was put next door to it, that side is almost lost
10 now. I mean it's not really contributing to the park-like
11 setting of Kensington. So, I'm wondering if --

12 MR. MYERS: No, you're right. We have 21 feet.
13 So we have 10 or 11 feet that we could probably shift.

14 MR. KIRWAN: And on the other side you're at 12
15 feet past the side of the house.

16 MR. MYERS: Right, correct, yeah. Yeah, my
17 initial thought was that it was so tight there already but,
18 you know, if you, I can see that point though; I can see the
19 merit of that.

20 MR. TRESEDER: I'm just going to throw another
21 suggestion. That is, that I know that so often when people
22 build two-car garages they don't really put two cars in
23 them. The other bay is often used for something else, and
24 you may intend to use both of them, in which case this
25 design probably suits your needs but, one way to sort of

1 reclaim the historic nature of the outbuilding would be to
2 make a single-car garage even if that structure itself was
3 the same size. If you thought that the chances are of only
4 using one bay for the garage, there would be a way of
5 designing it with a single door which would be much more in
6 keeping with the one-car garage tradition. Even though I'm
7 sure currently there's lots of two-car garages in the area.
8 So just an idea that if indeed that would fit your program,
9 it might be a nice opportunity to get away from the, you
10 know, the two-car garage. I know I've done houses before
11 where people were shocked there was only a one-car garage
12 and you know, some people need that thing. But other times
13 you find that that second bay is never really, a car is
14 never really parked there. So, if there's some way to have
15 the single bay look reclaimed. Just a suggestion.

16 MS. HEILER: One of the things that the staff
17 brought up and I think has bothered many is the
18 12-foot extension into the side. When you look at this
19 house, this is a very large addition to a house whose, I
20 think, defining characteristic, it's a Foursquare, so it's a
21 square box. And what's happened with this, and maybe it's
22 much more visible in your perspective view, that the square
23 box now has a large rectangular box on the back of it, and
24 if there were a way to pull it in or maybe even extend it
25 further to the back, but the defining characteristic is

1 almost lost by being attached to another very different
2 shape that extends into that side yard, and especially from
3 the front view, I think you lose that definition that this
4 is a Foursquare. I don't know what the solution is, but I
5 can imagine if you say center the addition so that it
6 extended the same distance on one side as the other, or if
7 it extended further into the backyard and less into the
8 side, it would not have the effect of changing that
9 characteristic Foursquare look.

10 ~~The other thing that I think is a little bit,~~
11 ~~bothersome about that is the little porch on the side.~~ It's
12 a one-story; I guess it's a porch with a low roof. What you
13 ~~have is a perfectly symmetrical building and what's being~~
14 ~~added to it is now something that's a little bit jarring,~~
15 ~~because it fails to match that symmetrical square building.~~

16 I don't think it's a problem to put a very large addition on
17 it, but, and, you know, so far as the surface, the
18 decoration, the design of it, all of the details are
19 perfectly in keeping with that original house, but the
20 ~~overall shape, I think, does not enhance the original house.~~

21 MR. MYERS: Well, the tough thing about, you know,
22 adding on to, you know adding that kind of square footage to
23 basically a 30 by 30 box, you know, one of the criteria that
24 I know the HPC likes to see is that it is distinguished from
25 the old house. That it's clear where the old house was and

1 where the new house is. And it's slightly different than
2 the old house, which, and it's deliberately so. So, I think
3 when you look at the side of this house, you know, three
4 sides are preserved intact. So the old Foursquare is
5 clearly visible, it's clearly there and I don't think
6 there's much doubt as to what's new and what's old. I'm
7 sort of a little bit more persuaded by Bill's argument that
8 we have sort, you know, one really good side left in
9 openness, you know, between these two houses and maybe it's
10 better to shift towards the side where the town, you know,
11 sort of, I mean the area has sort of already lost its
12 openness. You know what I'm saying, in terms of, you know,
13 we have the square footage we need to get. The question is,
14 is it right to slide this way or this way, right. I think
15 we could probably make it work in either case. It's just a
16 question, you know, what seems most appropriate. But again,
17 it's deliberately made to look like an addition.

18 MS. HEILER: I guess that's not what I, maybe I
19 haven't been very clear. I certainly appreciate the fact
20 that it's distinguished from the old house. You put in the
21 hyphen, you know, it is an addition. ~~I guess my concern is~~
22 ~~that the materials are compatible, but the fact that the~~
23 ~~addition looks to be the same, at least as big as the~~
24 ~~original house. This is essentially; this is not a house~~
25 ~~with a little addition attached to it. This is the~~

1. equivalent of two houses stuck together and finding a way to
2. stick them together that is less jarring to that side yard I
3. think would benefit it. If you did a house, if you turned
4. the addition by 90 degrees, you know, so it would be much
5. longer. I don't think that would be objectionable. And
6. that's probably not feasible for your program, but the fact
7. that this is an addition that is as big as the house keeps
8. it from looking like an addition. It looks like a house of
9. a different style, a different shape attached. I don't know
10. what the solution is, but I think it's a little bit of a
11. problem for the house.

12. MS. MILES: Commissioners, one moment. Before we
13. all begin to fully comment, I just wanted to confirm, are
14. there any other questions for the applicant or for the
15. staff, and then I am going to ask everyone to react, not
16. only as Commissioner Heiler did about the size and scale of
17. the addition, but also the demolition of the garage and the
18. construction of a new garage. So if we could confirm that
19. we have no other questions.

20. MR. CORATOLA: If you could briefly explain to me
21. the trim details that you're doing on the addition versus
22. the original house. I'm looking at the drawings and I see a
23. freeze board on the addition where none exists on the house,
24. and what appears to have larger corner boards in the house
25. and whether the house has corner boards or not. And then my

1 other question is, on your garage you have two different
2 style dormers, and I didn't know were you showing us like
3 option one and option two or was there a specific reason for
4 that?

5 MR. MYERS: Well, our intent, if we go to the next
6 level, when we go to the next level, would be to match all
7 ~~the details with the existing house. So, I wouldn't put a~~
8 ~~lot of stock into the sketch up model with the freeze board.~~
9 We'll match all the details exactly. Part of it's going to
10 ~~be what we find when we pull that old siding off that house.~~
11 You know, we'll see what's there and try to restore it and
12 ~~match it.~~ The dormers on the garage actually, we felt like,
13 we're trying to get some space above that garage and in the
14 county we're kind of right at the height limit there, which
15 is max 20 feet and you can do dormers that are half the
16 width of the roof and still have that work. A shed dormer
17 in the back gets us more square footage, but when we put it
18 on the front we thought it looked inappropriate. So we
19 changed the front to a hip roof dormer thinking that the,
20 you know, we'd get the square footage on the back, but on
21 the front we lowered the dormer down and give up some square
22 footage on the front. That's why we have two different
23 dormers there.

24 MR. CORATOLA: And the shape of the dormers seem
25 to be, there's flared walls on the rear part of the dormer,

1 was that intentional or was that just --

2 MR. MYERS: No.

3 MR. CORATOLA: Okay.

4 MS. WHITNEY: Can you tell me the existing size,
5 the size of the existing garage.

6 MR. OLSON: Yeah, it's 22 and a half by 22 and a
7 quarter feet.

8 MS. WHITNEY: So the new garage is only a foot and
9 a half, two feet?

10 MR. OLSON: Yeah, a foot and a half or two feet
11 each side. The existing garage is, it's a two-car garage,
12 and it has two garage doors. It's rather large. It just
13 has a very low-pitched roof.

14 MS. WHITNEY: Thank you.

15 MS. MILES: Any other questions? Do you have a
16 question, Commissioner? Okay, if there are no other
17 questions, I'm going to ask everyone to react to the
18 proposed two-story addition, the extension of the addition
19 out to the side, and the demolition of the existing garage
20 and construction of the new and relocation of the new
21 garage. Commissioner Coratola, can I begin with you and
22 we'll start at my left.

23 MR. CORATOLA: Well, I have to state that, pulling
24 off the siding and restoring the original house is
25 commendable. There are not a lot of people that like to do

1 that, and it's nice when people decide to do that. And
2 you'll probably find the details that you're looking for.
3 As my question towards the differentiation, I think, you
4 don't have to differentiate in trim styles; you can do it in
5 your massing. So, I would recommend looking at matching the
6 details that are on the house. If there were no water table
7 on the house, I wouldn't introduce a water table trim on
8 there.

9 I'll just go down the list. The massing, as
10 Commissioner Heiler and Commissioner Kirwan were talking
11 about, I think the issue we're having is, from me, the
12 square footage you're adding, I don't have an issue with
13 that. I think that if you're trying to achieve and meet a
14 program, I think the lot allows for that. I think there's
15 room on the property for the additional square footage
16 that's needed. As Commissioner Kirwan had asked about
17 looking at moving it to the left side versus the right side,
18 I think that might be a better solution. Reading the
19 component pushing that far off to the right and losing as in
20 the vision, Kensington Vision, losing that openness between
21 houses since it still exists a bit on the right, might be,
22 you know, keep that space and looking at moving it more to
23 the left side.

24 I don't know, as you're looking at the massing and
25 your forms, your roof forms, it might not be necessary to

1 drop the roofline. Dropping the roofline but mimicking the
2 materials and the styles, it just is a little disconcerting
3 to me. I think it would be better if you just studied how
4 you broke up the square footage and not drop the roofline,
5 and then pull in the details from the original house into
6 the addition.

7 Let's see, the garage, as far as the demolition,
8 the garage that's there is not original. I don't have an
9 issue with the demolition of the existing garage. I think
10 it works well by pulling it in the rear yard the way you
11 have it. You know, maybe, if you needed the two-car bay for
12 two cars, rather than just doing a rectangular box, maybe
13 you pull one door forward from the other so the other is
14 pulled back, just so it's not reading as a square, a 24 foot
15 square.

16 And then, look at the dormers. The character of
17 the dormer on the front I think works really well. You're
18 picking up the image, the hip roof image of the main house,
19 and I think that's, that complements the house. That's
20 typically what they did with the garages in the period when
21 they started introducing them to these properties is, they
22 pulled that image without directly applying it, and I think
23 you're doing that in your roof forms. The other piece,
24 again, I go back to that massing study. Look at how you
25 worked that. But the other piece you want to look at is

1 your, I go back to the historic details. There are several
2 windows in the addition that show where they're ganged
3 together, you have the right mullions spacing, but you have
4 a single shutter on each one and it's very clear on the main
5 house where you have double windows, they actually have a
6 double shutter unit. So when you have that situation, it
7 would make sense to repeat that in the new work. In getting
8 that image, that massing on the street front is key. So I
9 would look at that as well.

10 MS. MILES: Commissioner, could you also react to
11 something else actually. I think we should comment on the
12 large amount of hardscape that is proposed for the driveway,
13 in pushing the driveway back. Would you react to that as
14 well, please?

15 MR. CORATOLA: It looks, let me find the drawing,
16 it looks like on your driveway you're showing for the
17 original sort of section a brick track with grass in
18 between. Is that what I'm reading?

19 MR. OLSON: Yes.

20 MR. CORATOLA: I think that's commendable to keep
21 that image going to the back. You know, I understand the
22 need for a modern driveway. Maybe if you introduce the
23 brick pavers, they run all the way through and intersperse
24 the remaining of the mass with an alternate material. I
25 don't have a problem with what you're showing here. I think

1 that, yeah, you've gone the length. You're going almost 60
2 feet with the grass and the brick, so I don't really have an
3 issue with the amount of hardscape you're showing there.
4 Again, it's more towards how you detail the driveway.

5 MS. MILES: Thank you. Commissioner Heiler, would
6 you also speak about the garage and if you have anything
7 else to add.

8 MS. HEILER: Yes, I also think that it's
9 beneficial to demolish the current garage and to move it to
10 the back. I think that it's much better located there, and
11 I think that using the strips, the brick strips instead of
12 concrete all the way out to the street is another important
13 touch for not having so much visible concrete. I've told
14 you what I think about the massing, and I think, you know,
15 what you propose for the detailing of these buildings is
16 absolutely appropriate.

17 MS. WHITNEY: I commend you on the amount of
18 restoration, the interior that you've done, and
19 unfortunately, that's not our purview tonight, but thank you
20 for doing so and for preserving all of that. I commend you
21 for the split driveway. I think that was a good idea. The
22 difference, of course, in original and an addition comes in
23 details like the materials and things like that which, of
24 course, what we see in front of us, the materials are all
25 exactly the same. And I think that is probably contributing

1 to our astonishment of the size of this massing because it
2 is all the same color and all the same size, and in that, I
3 cannot support an addition of this size that sticks out 12
4 feet into the view of the park, of the park setting of the
5 area, and I hope that you find a way to reduce some of the
6 rooms or whatever you have to do to bring that back in line
7 closer to the house. It is simply the footprint of the
8 house, of the addition that I am objecting to. Otherwise, I
9 look forward to seeing you again.

10 MR. VAN BALGOOY: I'm not sure if I'm going to
11 make things even more confusing, but I do want to say first
12 of all to the Eckert family, Kensington is a wonderful
13 neighborhood. I think you made a good choice, and this is a
14 great house, and I appreciate all of the things you are
15 doing to save the house and preserve it. And, I certainly
16 appreciate your need to modify it to fit your family's
17 current and future needs, which I think is great. And I
18 think you've hired an architect who is sensitive to this in
19 trying to figure out how to do this. On the previous
20 project I didn't get to say this to you, about Chevy Chase,
21 I thought was very beautifully designed, except for the
22 dormer, but that's a little quibble. We can figure that
23 out. I thought your design was very sensitive.

24 On this one though, if I look at sheets A18 or
25 these are the side elevations, A16, the house, I have to

1 say, I'm just struck by how large the house, the addition
2 just seems like an overwhelming wall, and you know, square
3 footage and massing and scale are different things. So, I
4 don't think I'd be, I'm so bothered by the square footage
5 addition that you're putting onto it, I think it has to do
6 with massing and scale. And I don't know if the hyphen
7 needs to be changed or the height of the roof. I mean,
8 you're architects and I think you can figure this out, but
9 I'm just struck by that, and I don't have a great solution.
10 So, I don't know if moving, how to solve that. But that
11 just seems, it's a little bit overwhelming to me.

12 The moving the garage back, I think seems to be a
13 great solution. I like your approach to the landscape. I
14 don't have a problem with that. But I do with the massing
15 and scale. And I don't know if there's other ways you can
16 solve that or how to treat that. But this is just a
17 preliminary consultation, so if you have some solutions, you
18 know, maybe we can give you some more directions for that.
19 But, we also have lots of other architects on this
20 commission that might have suggestions. So that's just my
21 initial sort of reaction to it. It's not about the square
22 footage so much, but it is about the massing and scale, and
23 if that could be solved, that would be great.

24 MR. KIRWAN: I do commend the Eckerts for your
25 commitment to the community and to this resource. I think

1 you're clearly showing you are really going to follow up
2 with what you believe in and renovating this house. To go
3 through real quick, I mean, I think you've already heard
4 some of my suggestions. I do think weighting the addition
5 more to the left side of the property, if not completely,
6 significantly to the left side will go a long way in making
7 this a little bit more compatible with that garden setting,
8 since that left side is sort of already been lost. I think
9 one point that I want to make that sort of builds upon
10 something I heard Commissioner Heiler say is, and also a
11 comment that you all made referring to this connector as a
12 hyphen.

13 I think one of the problems that some of us are
14 having, I know I am a little bit, in looking at the massing
15 of this is, and partially this might have to do with the
16 flatness of the drawings the way they're reading right now
17 and sort of this monochromatic color siding, and roof, is if
18 the hyphen really read more as a hyphen. I think right now
19 it's, ~~we're calling it a hyphen but it doesn't really~~ seem
20 ~~like a hyphen to me. It doesn't have sort of the~~
21 ~~characteristics that would sort of make it different.~~ You
22 know, ~~a hyphen almost usually is really~~ characterized by
23 being something very different than the two masses you're
24 connecting, ~~often characterized with a lot of glass.~~

25 And I think you could, one possible solution with

1 this hyphen is to introduce a lot more glass into it. Not
2 in a very modern and contemporary way, but in a way where
3 you gang the windows together. You've got a wonderful
4 opportunity on the left side where there's a stair to group
5 windows together and really flood that stair with light.
6 And you've got this mudroom on the first floor, which could
7 have a lot more glass in it as well. I know you've got ~~this~~
8 closet upstairs that might be problematic, but maybe there's
9 some rearranging of the floor plan that might, again,
10 provide you an opportunity with that hyphen to introduce a
11 lot more glass. So I think that would sort of help begin to
12 break up the massing a little bit and really separate the
13 addition from and connect it back to the main resource.

14 On the other points, so again, I'm generally fine
15 with the addition. I think it would go a long way for all
16 of us if you came back and showed us that you tightened it a
17 little bit and made it a little bit smaller. And you'll
18 probably hear some of us say we're okay with the size, some
19 of us say we want to see it smaller. I think, again,
20 nobody's going to argue with you if you make it smaller. I
21 think, and again, I think the addition is generally in the
22 place, but again, I think we need to get it sort of weighted
23 to the left.

24 The demolition of the garage, I think that speaks
25 to the first two points in the staff recommendations that

1 you want us to look at. I think also the demolition of the
2 garage I'm fine with. I think the way you're pulling that
3 back really sort of accentuates that and reinforces that
4 garden-like setting. So I think all those things combined
5 would make this a very workable HAWP in the end. Thank you.

6 MR. RODRIGUEZ: And I wanted to commend for your
7 dedication to the house and to preserve it. I want to pick
8 up on something that Commissioner Heiler mentioned earlier,
9 that has to do with the massing, and I want to turn around
10 and show you the roof plan. And I think that, for me, talks
11 about the issue. You have a house that is a very simple
12 house, a Foursquare house with a pyramidal roof to which you
13 are adding this addition, that when I look at from the roof
14 looks like a hundred pieces collide together, and then
15 collide against the house. And I think if you go to look at
16 this from the top, and probably a more simplified roof
17 organization, a house that gets tied in closer together,
18 some area gets reduced and the house moves farther behind
19 the other house, and maybe the hyphen, as suggested by
20 Commissioner Kirwan, becomes a hyphen so you practically do,
21 you basically duplicate the house with the same simplicity
22 of the massing and the treatment would be a much successful
23 project.

24 I think it, for me, when I'm trying to translate
25 what Commissioner Heiler was saying, what it came to me was

1 the roof plan. And I start seeing too many things going on.
2 Like there are too many volumes, too many pieces, and none
3 of them are really well tied together, in my opinion. So,
4 my recommendation would be simplify it, tighten it, and try
5 to make it as simple as possible. I think in that sense,
6 for me, as not as much the square footage as some of the
7 commissioners had said before, but it's the sense of scale
8 that the addition gives. I do have concerns with the
9 garage. I think it's too tall. I think I would recommend
10 to either, ~~the garage gets lowered or something happens;~~ but
11 ~~I think it, when you look at the proposed elevation even~~
12 ~~with the garage so far back because of the~~ size of the
13 garage, you are going to get the presence of that building
14 ~~much closer visually~~ than because of the height. Even if
15 it's pushed so far back.

16 I don't have any concerns regarding the demolition
17 of the existing garage. I think it needs to happen. I
18 think if you look at the house to the right, the house has
19 an addition in the back; and it's a very successful
20 addition. You barely notice from the house. So I would say
21 probably there are some clues in the house on the right for
22 how to do it. Anne, can you put back the aerial view; that
23 probably will help a little bit. But, I think that house
24 successfully does put an addition in a way that is very
25 sympathetic to the existing house. I think it needs to be a

1 higher, differentiation between what is addition, what is
2 the existing house. I think it will help a lot in terms of
3 the project. You see the house has something in the back
4 that you barely notice.

5 And then I would say, working with a landscape
6 architect, I think the amount of pavement that you are
7 proposing looks very large, and I think that that will be a
8 concern in the terms of, the guidelines for Kensington
9 basically says, we want the houses to read as a series of
10 buildings in a park setting. ~~So how you treat the surface~~
11 ~~of the ground becomes very important.~~ There are many way to
12 ~~do it today;~~ there are paving materials, there are porous
13 materials. There is many ways to do it, and I think I would
14 recommend you to start looking at that and put that in front
15 ~~of us so we can understand that you are caring about,~~
16 ~~because it looks very large as a paved area.~~ And I don't
17 have any concerns regarding the materials. We have seen
18 projects from GTM before and we know that they are able to
19 do a very good job. So, in that sense, I don't, I think
20 once you start removing the siding you will probably find a
21 lot of nice things below that give you the clue on how to
22 attach the addition to the house.

23 MR. SWIFT: With regards to the garage, I don't
24 have any objection to the demolition and moving to the rear
25 of the property. I do agree that the ridge height should be

1 lowered a little bit and the dormers carefully considered as
2 far as making it still seem like a garage and not part of
3 the main house, not competing with it. I do think being
4 careful with the size of the driveway and, maybe more
5 importantly, the material to reduce the hardscape, the
6 appearance of hardscape in that area because of the length
7 required to reach the garage. I also agree with previous
8 commissioners as far as less extension beyond the side plane
9 and shifting towards the left side of the property or the
10 plans for us.

11 The one thing I don't think has been brought up, I
12 think my biggest objection with the extension to the right
13 side is actually the very dominant chimney and also the
14 mudroom and the steps to the mudroom. I think all of those
15 elements come together and suggest something that's very
16 primary and is almost a main entrance to the house. I think
17 the mudroom also kind of; I think the mudroom is actually
18 the biggest problem with the hyphen as far as not allowing
19 good differentiation. So I, when I focus on that extension,
20 I think it doesn't need to be less, but I think that the
21 bigger problem with it is the mudroom, the porch, the grand
22 stairs that are really more than your front entry stairs,
23 and the chimney, which is much more visible than anything in
24 the main house. And so I think those are elements that I
25 would be looking for in a revised design. Otherwise, I

1 think it's heading in the right direction and I generally
2 agree with the previous comments, too.

3 MR. TRESEDER: Okay. When everyone's at the
4 Commission, there's a lot of opinions. When everyone shows
5 up. So I'm just going to associate myself with Commissioner
6 Coratola's remarks at the beginning. Although I'm going to
7 disagree with him on one thing. I think the lower eave line
8 that you've suggested for this addition goes to great
9 lengths to mitigate its massing and its, you know, how big
10 it is. And that's one of the reasons that in addition to
11 breaking up the bays to make none of the bays compete with
12 the size of the bay of the original, I think those two
13 things do the job. I think that they are able to make what
14 is a large addition not compatible with the house. So on
15 the other points, again, I would agree with the previous
16 commissioners.

17 Although I do say that some of these ideas that
18 have come up would probably be additions as well. So it's
19 not that I disagree with some of these other ideas, it's
20 just that I personally would not feel it's, there would be
21 requirements.

22 MS. MILES: I would concur that the scale and
23 massing are issues, and I think that I would like to
24 associate myself with Commissioner Rodriguez's remarks. I
25 think that, essentially, that although breaking up the

1 massing was a good place to start, it's too complicated.
2 And I also agree that the side entrance looks too primary,
3 especially off of the driveway, which I would also say is
4 too much hardscape and that it's too long and too large to
5 be a long, large concrete pad and that either it needs to
6 be, the strips continued or use of materials in some other
7 way that makes it look a little less non-contributing to
8 that park-like setting. But I think the notion of
9 essentially a second Foursquare behind the existing
10 Foursquare differentiated lowered eave and perhaps with a
11 more glazed hyphen is probably a better solution than what
12 looks like a very large addition on the back. It's not a
13 matter of the size. It's really a matter of the scale and
14 the massing and the way that it's developed.

15 And, I would also agree that if it does have to
16 not fully read behind the house that going to the left side
17 would be a more satisfying solution. I also think that the
18 eave height is too high and the dormer's too high on the
19 garage; and it reads as too much of a part of the house
20 since it practically abuts; and that it would need to be, I
21 think, lower to be a more successful garage.

22 So I think you've got pretty uniform comments from
23 the Commission, and since everybody is here tonight, I don't
24 think you would get a very different read on another
25 evening. Do you have any questions for us? I would suggest

1 that you come back for another preliminary, meet with the
2 staff, and we'll look forward to seeing you again. All
3 right, thank you.

4 All right. Minutes. Do we have minutes from
5 September 19th?

6 MS. FOTHERGILL: We do. Ready to be approved.

7 MR. VAN BALGOOY: I would move we accept the
8 minutes for September 19th, 2012.

9 MS. MILES: Is there a second?

10 MR. KIRWAN: Second.

11 MS. MILES: Raise your hands if you're in favor.

12 VOTE.

13 MS. MILES: Unanimously approved. Do we have
14 minutes from October 10th?

15 MS. FOTHERGILL: We do not.

16 MS. MILES: Okay. And who would like to step up
17 and offer to do tonight's minutes?

18 MR. RODRIGUEZ: I will.

19 MS. MILES: Thank you, Commissioner. Do we have
20 any Commission items? Do we have any staff items?

21 MS. FOTHERGILL: We do. I e-mailed one around
22 which is a revision to an approved HAWP for the Chevy Chase
23 Village Hall outdoor equipment shelter. Hopefully you all
24 got the e-mail. They are shifting the location of the
25 approved equipment shelter, and they're making a slight



Materials Submitted by Applicants

PAUL & DEBORAH ECKERT
3923 WASHINGTON STREET
KENSINGTON, MARYLAND 20895

January 24, 2013

Historic Preservation Commission
Montgomery County Maryland
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Letters of Support

To Whom It May Concern:

Attached are twenty two letters of support for our proposed project, including letters from neighbors immediately adjacent to our property and a letter from the Mayor and Town Council approved unanimously after the plans were reviewed at a public meeting.

Town of Kensington

A complete set of the proposed plans was distributed and reviewed by the Mayor and Town Council at its January 14, 2013 meeting. Town residents and neighbors were in attendance. Remarks on the design and its consistency with the historic nature of the neighborhood and the Town were entirely positive. A resolution and letter of support was approved 5-0 after deliberation and public comment:

Neighbors

We obtained twenty letters of support from our neighbors, including those who border the property. We provided to each person approached a copy set of the plans in advance. Every person who was approached agreed to submit a letter of support. Not one person voiced any objections to our project and, indeed, many expressed very strong views on the desirability of our proposed addition, its consistency with the character of the neighborhood, and the enhancement it would bring to our block. Many of these neighbors personally spent considerable time, talent, and treasure on restoration and enhancement projects of their own to address similarly dilapidated historic houses on Washington, Baltimore, or Prospect Streets. These stakeholders – many of whom have lived in the neighborhood for decades – were particularly supportive and encouraging.

1. Knecht, 3919 Washington Street (adjacent, right)
2. Kenny, 3922 Washington Street (across)
3. M. Strachan, 3924 Washington Street (across)
4. R. Strachan, 3925 Washington Street (adjacent, left)

5. Collins, 3926 Washington Street (across)
6. Bragg, 3924 Prospect Street (behind)
7. Carr, 3904 Washington Street
8. Uhlman, 3905 Washington Street
9. Stablow, 3912 Washington Street
10. FitzPatrick, 3913 Washington Street
11. Averbeck, 3914 Washington Street
12. S. O'Connell, 3915 Washington Street
13. M. O'Connell, 3916 Washington Street
14. Noyes, 3928 Washington Street
15. Longo, 3932 Washington Street
16. Bruch, 3936 Washington Street
17. Bagshaw, 3947 Baltimore Street
18. Oleson, 3948 Baltimore Street
19. O'Shea, 3951 Baltimore Street
20. Lynn, 3908 Prospect Street

Gary Ditto

We sought and received a letter of support from Gary Ditto, the leading realtor in the Town of Kensington and a years-long director and benefactor of the Kensington Historical Society. He is perhaps the most knowledgeable real estate professional when it comes to the Kensington Historic District. Gary advised us gratis in connection with our efforts to identify an historic home for purchase and did not serve as buyer's or seller's agent for the property.

* * *

At the time of the Town Council meeting and during our efforts to obtain letters of support, our plans included a one-story mudroom that extended 3 feet from the "hyphen" – a substantial reduction from the version previously reviewed by the Commission. At the request of the Commission staff, we have since eliminated the mudroom from our proposed plans accompanying the HAWP. While we are very disappointed our family will not have this entirely ordinary feature that appears in additions to many of the historic houses on our street, we understand that the request was designed to address concerns voiced by a few of the Commissioners during the October preliminary.

Historic Preservation Commission
Montgomery County Maryland
January 24, 2013
Page 3

* * *

We hope that these letters help demonstrate the considerable support that we have in the Town and in our community for our plan as proposed.

Sincerely,



Paul R. Eckert

Mayor Peter C. Fosselman

Council Member Mackie Barch
Council Member Tracey Furman



Council Member Sean McMullen
Council Member John Thompson

January 16, 2013

Ms. Leslie Miles, Chair
Historic Preservation Commission
8787 Georgia Avenue
Silver Spring MD 20910

Re: Preliminary Consultation - 3923 Washington Street, Kensington

Dear Madam Chair:

Please accept this letter on behalf of the Kensington Town Council in support of Paul and Deborah Eckert and their efforts to obtain a HAWP for a two-story addition, along with the demolition and construction of a new garage for the property located at 3923 Washington Street.

Mr. Eckert presented the proposed plans to the Town Council at our January 14, 2013 Council Meeting, in which, the Council reviewed the plans and opened the project up for public comment. Following no public objections, and support from the adjacent neighbors, the Council concurred unanimously to support the Eckerts undertaking before the Historic Preservation Commission.

The Eckerts have been working judiciously with their architect, Luke Olson, along with consulting various Kensington Residents, to uphold the charm and standards of Kensington's Historic District. The Town Council believes that the Eckerts, along with Mr. Olson, will acknowledge the HPC's recommendations and allow for their new additions to seamlessly blend into the existing ambiance of the Town.

Sincerely,

Peter C. Fosselman

Cc: Mayor and Town Council
Paul and Deborah Eckert

Town of Kensington 3710 Mitchell Street Kensington, MD 20895
Phone 301.949.2424 Fax 301.949.4925
www.tok.md.gov

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Mayor Peter C. Fosselman

Council Member Mackie Barch
Council Member Tracey Furman



Council Member Sean McMullen
Council Member John Thompson

January 16, 2013

Ms. Leslie Miles, Chair
Historic Preservation Commission
8787 Georgia Avenue
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Sincerely,

A handwritten signature in black ink, appearing to read "Peter C. Fosselman".

Peter C. Fosselman

Cc: Mayor and Town Council
Paul and Deborah Eckert

Town of Kensington 3710 Mitchell Street Kensington, MD 20895
Phone 301.949.2424 Fax 301.949.4925
www.tok.md.gov

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I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Dan Bragg
Cindy Bragg


Signature

[Handwritten signature]
Cindy Bragg

Address

3924 Prospect St

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
Neil Stabler		3912 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Mcntgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Maura A. O'Connell

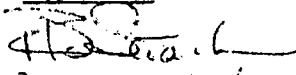
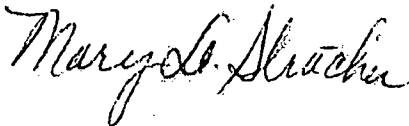
Signature

Maura A. O'Connell

Address

3915 Washington St.

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<u>Name</u>	<u>Signature</u>	<u>Address</u>
RICHARD B STRACHAN		3925 Washington St 20815
Mary D. Strachan		"

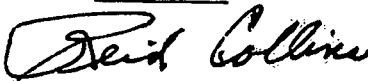
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Name
Lou Knecht

Signature
Lou Knecht

Address
3919 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
REID COLLINS		3926 WASHINGTON ST KENSINGTON, MD 20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013; and support their plans to restore, renovate and expand their residence as proposed.

Name

Brooks & Peter Kenny

Signature



Address

3922 Washington St

111

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Michele Strachan

Signature

Michele Strachan

Address

3924 Washington
St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Bonnie Carr

Bonnie Carr

3904 Washington St.


I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Michael Ahlman

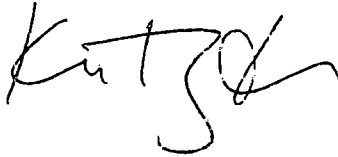


3905 Washington St.

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<u>Name</u>	<u>Signature</u>	<u>Address</u>
Margaret FitzPatrick	Margaret FitzPatrick	3913 Washington St Kens. MD.

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<u>Name</u>	<u>Signature</u>	<u>Address</u>
Karin Averbeck		3914 Washington St. Kensington, MD 20895

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Name

Signature

Address

Shela Donnell



3916
Washington St
Kensington MD
20895

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Name

Signature

Address

Michelle Noyes

Michelle Noyes

3928 Washington St

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Jodi Laugo

J Laugo

3932 Washington St

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Name

Signature

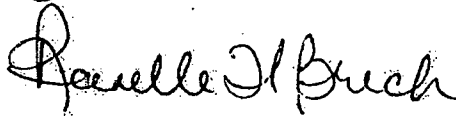
Address

CHRIS BRUCH



3936 WASHINGTON STREET.

Ranelle Bruch



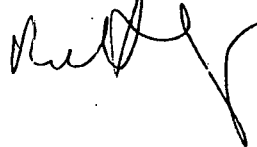
3936 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Brett Bagshaw

Signature



Address

3947 Baltimore St.
Kens. MD 20895

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Name

Signature


Address

Kristine Oleson

Kristine Oleson

3948 Baltimore St.

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<u>Name</u>	<u>Signature</u>	<u>Address</u>
Katie and Kieran O'Shea		3951 Baltimore St Kensington MD 20895

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Name

BERTINA LYNN

Signature



Address

3908 Prospect St.
Kensington, MD

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LONG & FOSTER® REAL ESTATE, INC.
 PROSPERITY MORTGAGE® COMPANY
 LONG & FOSTER® SETTLEMENT SERVICES
 LONG & FOSTER® INSURANCE

BETHESDA GATEWAY OFFICE
 4650 East West Highway
 Bethesda, Maryland 20814
 Office: 301-907-7600
 Fax: 301-907-6610

Headquarters
 14501 George Carter Way
 Chantilly, VA 20151
 703-653-8500
www.longandfoster.com

January 17, 2013

Planning Department
 M-NCPPC
 8787 Georgia Ave.
 Silver Spring, MD 20910

Dear Sir/Madam:

I am writing in support of an application for an Historic Area Work Permit for the property located at 3923 Washington Street, owned by Paul and Deborah Eckert. Prior to purchasing this property the Eckerts sought out my opinion regarding the house and the Kensington Historic District. I am in a unique position to offer advice about both subjects given my 34 year career as a real estate agent, and as a long time board member of the Kensington Historical Society. My wife and I are honored to be a part of the Kensington community and we are both deeply committed to it as well.

When Paul and Deborah decided to purchase a new home they wanted it to be in the Kensington Historic District. Indeed, they saw themselves as making a serious and long term commitment of stewardship to the community and to the architectural integrity of the home they would eventually purchase. Having been involved in the transfer of numerous historic properties in Kensington, it is my experience that all of them have been in rather poor to dismal condition. The people who purchased these properties have dedicated significant personal and financial resources to the restoration and enlargement of the original structure and hence these same people have added immeasurably to the larger Kensington community. It is my opinion that the Eckerts are representative of that group of people who work to keep the Kensington community vital and growing. I would like to add that most of the prospective purchasers I meet are looking for homes that do not require the commitment of tears, sweat and funds to bring a house to "modern" sensibilities.

One of the many qualities that I have always admired about Kensington is the eclectic mix of housing stock and styles. A tour of the Town of Kensington will quickly reveal spacious and grand structures carefully and artfully crafted in the Queen Anne, Georgian and Four Square styles to name a few. One will quickly notice modest bungalows nestled amongst these larger homes and, of course, there is everything in between. This diverse housing stock allows for a mix of people of different socio-economic backgrounds who live graciously with each other, side by side.

It is my hope that you will favorably review and approve said Historic Area Work Permit so that the community can retain a family that will continue to enhance and foster the Kensington community. I also advise that said approval will help to ensure that in the future families and individuals with the resources and commitment similar to that evidenced by the Eckerts, will want to make the Kensington Historic District the place they call home. Conversely not to approve this gracious project will send a "chilling" message to those future buyers.

Sincerely,

Gary H. Ditto

— Worldwide Connections —



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3923 Washington Street, Kensington	Meeting Date:	4/10/13
Applicant:	Paul and Deborah Eckert (Luke Olson, Agent)	Report Date:	4/3/13
Resource:	Primary-One Resource Kensington Historic District	Public Notice:	3/27/13
Review:	HAWP	Tax Credit:	Partial
Case Number:	36/02-13E	Staff:	Josh Silver

PROPOSAL: Construction of addition, demolition of garage, new garage construction

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the Historic Area Work Permit application **with the following condition:**

- The applicants must contact HPC staff upon removing the siding on the historic massing to determine appropriate exterior material treatments and details for the addition. Final materials to be reviewed and approved by HPC staff.*

PROPERTY DESCRIPTION

SIGNIFICANCE: Primary One Resource within the Kensington Historic District
STYLE: Colonial Revival
DATE: 1910

BACKGROUND:

The HPC considered a proposal for construction of an addition and the demolition of an existing garage and construction of a new garage at the subject property at the February 13, 2013 meeting. The HPC denied the applicant's HAWP. In response to the HPC's decision, the applicants made revisions to their plans and have submitted a new application for consideration. The applicants have included a detailed summary of the HPC's comments and the actions taken to address those comments. (See pages 29-31)

The applicants have resubmitted letters of support for their project in response to the design considered by the HPC at the February 13, 2013 meeting. (See pages 32-56).

The applicants' architect met with the Kensington Local Advisory Panel on Tuesday, March 26, 2013 to review the revised design.

PROPOSAL

The applicants are proposing to:

- Remove aluminum siding and trim on house
- Salvage original wood siding where possible; install new wood siding to match where needed
- Construct a rear addition (see below)
- Remove existing front walkway and install new brick walkway
- Remove and replace concrete front porch stairs with wooden stairs and railing
- Demolish an existing two-car garage and remove concrete driveway
- Install new brick paver strips driveway and tinted concrete driveway at the right side of the house
- Construct new two-car garage; garage will be 24' x 24' x 19'2" tall (to roof ridge) and will be 1 story; materials will match those proposed for the addition including wooden siding and asphalt shingle roofing. The front elevation will consist of wooden carriage style doors.
- Remove three Dogwood trees.

The proposed 1,050 square foot (foot print) rear addition will extend in a rectilinear shape from the rear of the existing house. Design features include a covered porch at the rear, a 9'6" side addition extension beyond the original west (left) side plane of the house and new brick chimney on the east (right) elevation. The rear covered porch has wooden steps to grade and there are steps to the driveway from the new east (right) side entrance. Both sets of steps will connect to the proposed driveway via a brick pathway. The proposal calls for wooden siding, asphalt shingle roofing, and brick foundation.

The proposed material treatments consist of wooden, double-hung, simulated-divided light, windows and doors and one set of ganged, wooden, casement windows at the 2nd floor, right side elevation. All columns, porch railings, shutters, and trim will be fabricated from wood and painted.

APPLICABLE GUIDELINES

When reviewing alterations within the Kensington Historic District, the *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)* are to be utilized as guidelines to assist the Commission in developing their decision. The pertinent information in these documents is outlined below.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The *Vision of Kensington: A Long-Range Preservation Plan* states that within the Historic District, “the houses share a uniformity of scale, set backs and construction materials that contributes to the cohesiveness of the district’s streetscapes.” The *Vision* discusses specifically the Historic Residential Core, where the house at 3923 Washington Street is located, which “consists of most of the primary historic resources in the residential neighborhood. This includes historic resources built from 1890 to 1930 which exemplify the historic pattern of development characterized by expansive open spaces between homes. In this area it is important to preserve these patterns of open space, front yard setbacks, building scale, architectural character, and the streetscape qualities.”

The *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland* state:

Basic Principles for an Addition

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

18.0 DESIGN OF NEW ADDITIONS

Design a new addition to be compatible with the primary structure.

18.1 Place an addition at the rear of a building to minimize its visual impacts.

- This will allow the original proportions and character to remain prominent.
- Locating an addition at the front of a structure is inappropriate
- Locating an addition to the side of a structure is generally inappropriate. However, special site constraints, such as sloping topography or location of a champion or specimen tree, may require a side addition.
- An addition to the rear of a structure must also conform to Montgomery County and municipality setback requirements.

18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.

18.3 An addition should be compatible in scale with the primary structure.

- An addition should relate to the historic house in mass, scale and form. It should be designed to remain subordinate to the main structure.
- One option to help visually separate an addition from the primary building is to link the primary structure with a smaller breezeway.
- For a larger addition, break up the mass of the addition into smaller modules that relate to the historic house.
- An addition should be simple in design to prevent it from competing with the primary structure.

18.4 Use building materials that are compatible with those of the primary structure.

18.5 An addition should be compatible in character with the primary structure.

- An addition should be made distinguishable from the historic building, even in subtle ways, such that the character of the original can be interpreted. An addition should draw design elements from the historic structure, expressing them in a simplified or contemporary manner rather than striving to perfectly recreate historic building features.
- A change in setbacks of the addition from the historic building, or applying a new trim board at the connection point can help define the addition.
- An addition that seeks to imply an earlier period than that of the primary building also is inappropriate. For example, an addition that is more ornate than the original building would be out of character.

18.6 Use windows that are similar in character to those of the main structure.

- If the original windows were a wood, double-hung style, for example, then new windows that appear similar to them would be appropriate. Windows of suitable contemporary design might also be appropriate.

18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

- It is important to repeat the roof lines and slopes found on the primary structure. Typically, gable, hip and shed roofs are appropriate for residential-type building additions. Flat roofs may be appropriate in certain cases, such as for some commercial buildings.
- Eave lines on the additions should be no higher, and preferably lower, than those of the historic building or structure.

14.0 ACCESSORY STRUCTURES AND OUTBUILDINGS

New accessory structures and outbuildings should be compatible with the primary structure on a property.

14.2 New accessory structures and outbuildings should be compatible with the primary structure.

- New construction should be similar in style but recognizable as new.
- Architectural details, materials, and style should be compatible to the primary structure.
- The mass and scale should be in proportion to the primary structure.
- New accessory structures and outbuildings should be located in the rear yard and conform to Montgomery County and municipality zoning and building regulations.

Staff finds the proposal as being consistent with Chapter 24A-8 (b) (1) & (2).

Addition

The proposed addition does not substantially alter the exterior features of the property and is compatible in character with the architectural features of the historic district.

The proposed addition is located at the rear of the existing house. The roof and eave height of the addition are lower than the historic massing. The addition is inset to preserve the corners of the historic massing. The proposed building materials are compatible with those of the primary structure.

The location of the addition at the rear of the primary structure helps preserve the open space that currently exists on the right side of the property and that the *Vision of Kensington* identifies as an important characteristic in this area of the historic district.

The proposed material treatments are sensitive to the subject property and preserve the streetscape qualities that define the Kensington Historic District.

The proposed materials details take cues from the existing house. The applicants have stated the details for the proposed addition would match those of the historic massing. Currently the historic massing is sheathed in aluminum siding. Upon removal of the siding the applicants intend to evaluate the existing siding, trim and details to determine appropriate exterior material selections for the proposed additions. Consistent with the condition of approval the applicants must contact HPC staff upon removing the siding on the historic massing to determine appropriate exterior material treatments and details for the addition.

Staff recommends that the HPC approve the design of the addition as submitted.

Garage and Hardscape

The proposed garage size, design and materials are compatible in character with the main house.

Staff recommends that the HPC approve demolition of the existing garage and construction of a new garage as submitted.

Hardscape

Staff recommends that the HPC approve the removal and replacement of the non-original concrete front porch steps with wooden stairs and railings and the installation of brick in lieu of concrete for the front walkway. A wooden stair unit and railing and front brick walkway is in keeping with the style and characteristics of the house and historic district. The proposed new brick, double-track driveway is in keeping with the character of the district. The proposed tinted concrete driveway area in front of the proposed garage is small in size and setback from the street and therefore will have negligible impact on the streetscape of the historic district

Staff recommends that the HPC approve the proposed hardscape plan as submitted.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with the condition specified on Circle 1** the HAWP application, under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the Vision of Kensington identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Proclamation

Contact Email: LOLSON@GTMARCHITECTS.COM Contact Person: LUKE OLSON

Tax Account No.: 01022855 Daytime Phone No.: 240-333-2021

Name of Property Owner: PAUL & DEBORAH ECKERT Daytime Phone No.: 202-663-6537

Address: 3923 WASHINGTON STREET KENSINGTON MD 20895-3934
Street Number City State Zip Code

Contractor: TO BE SELECTED Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/WORK

House Number: 3923 Street: WASHINGTON STREET

Town/City: KENSINGTON Nearest Cross Street: CONNECTICUT AVENUE

Lot: 11 & 12 Block: 12 Subdivision: KENSINGTON PARK

Liter: 6130 Folio: 89 Parcel: _____

ANYONE TYPE OF CONSTRUCTION/WORK

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/renovate
- Move Install Wreck/Raze
- Revision Repair Reversible

CHECK ALL APPLICABLE:

- A/C Stair Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

ANYTHING COMPLETE FOR NEW CONSTRUCTION AND EXISTING/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

ANYTHING COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Approved: 629265 _____
For Chairperson, Historic Preservation Commission

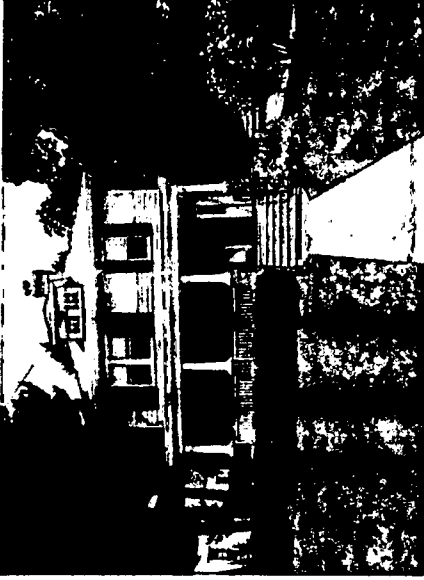
Disapproved: _____ Signature _____ Title: _____

Application/Permit No.: _____ Date Filed: _____ e issued: _____

(4)



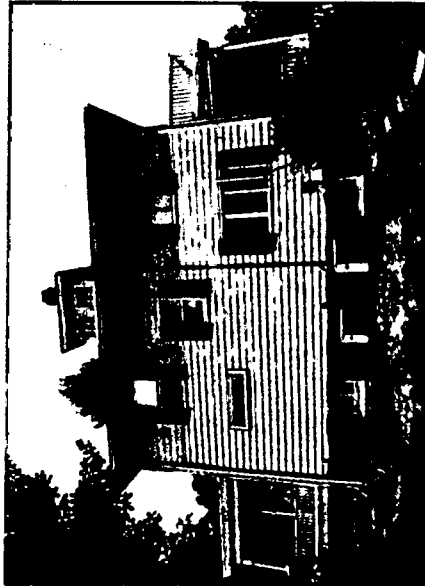
VIEW OF REAR & PARTIAL RIGHT SIDE



VIEW OF FRONT



VIEW OF FRONT & RIGHT SIDE



VIEW OF RIGHT SIDE



VIEW OF REAR



VIEW OF REAR & PARTIAL LEFT SIDE

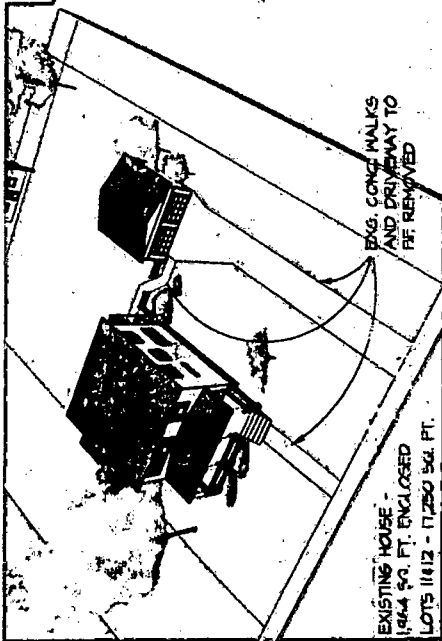


ECKERT RESIDENCE - HPC MEETING 04/10/2013 - HAWP APPLICATION

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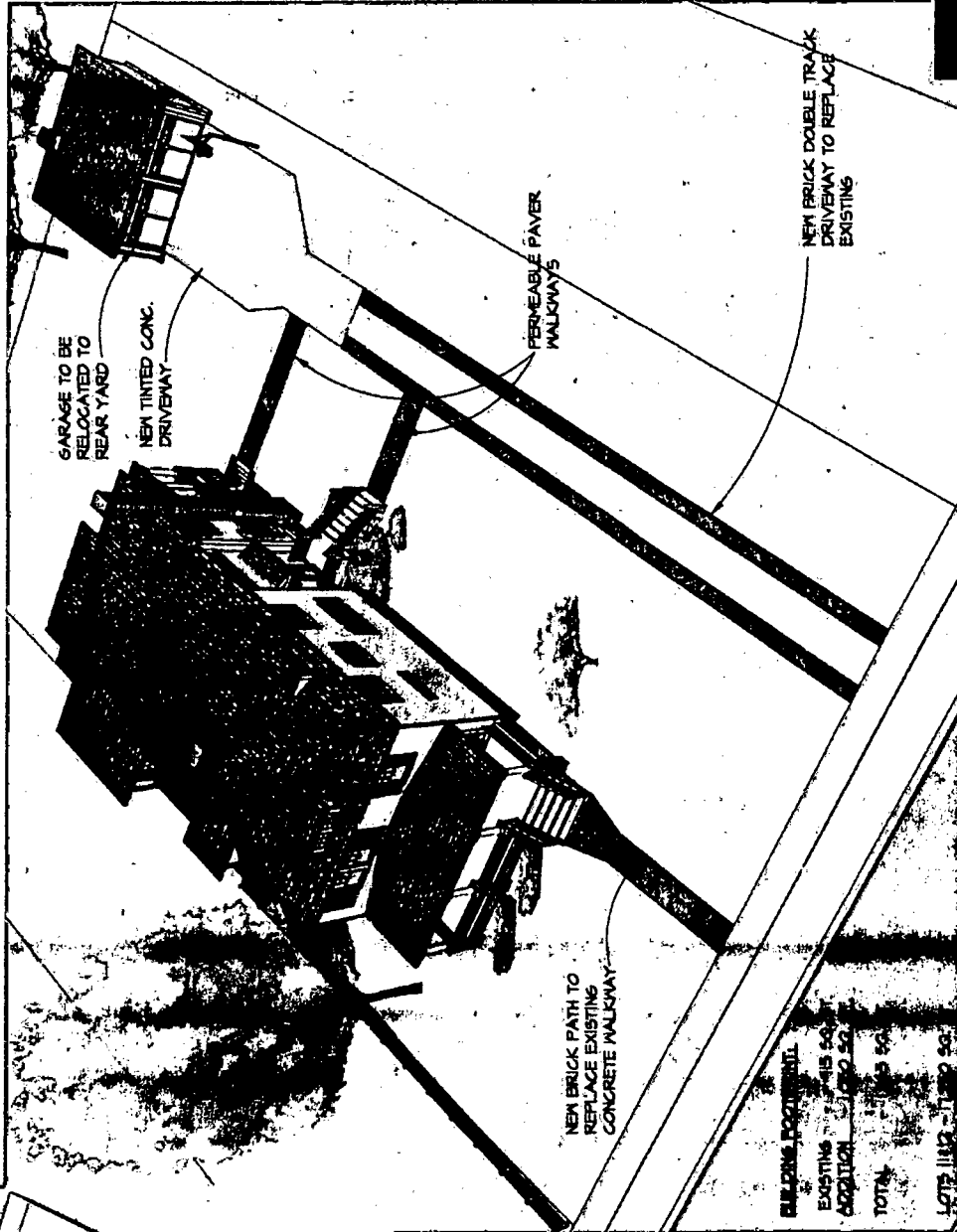
EXISTING AERIAL VIEW

SQ. FOOTAGES OF SURROUNDING PROPERTIES

- 9424 PROSPECT ST - 2945 SF ENCLOSED ON 0.625 SF LOT
- 9422 PROSPECT ST - 1720 SF ENCLOSED ON 0.259 SF LOT
- 9418 WASHINGTON ST - 9056 SF ENCLOSED ON 12.498 SF LOT
- 9422 WASHINGTON ST - 2526 SF ENCLOSED ON 10.021 SF LOT
- 9424 WASHINGTON ST - 2418 SF ENCLOSED ON 14.093 SF LOT
- 9425 WASHINGTON ST - 2440 SF ENCLOSED ON 0.625 SF LOT
- 9426 WASHINGTON ST - 1875 SF ENCLOSED ON 0.259 SF LOT



BRICK TRACK DRIVEWAY EXAMPLE



PROPOSED AERIAL VIEW

BUILDING FOOTPRINT	
EXISTING	1464 SQ.
ADDITION	1000 SQ.
TOTAL	2464 SQ.
LOTS 11412 - 11250 SQ.	



ECKERT RESIDENCE - HPC MEETING 04/10/2013 - HAWP APPLICATION

G T M A R C H I T E C T S

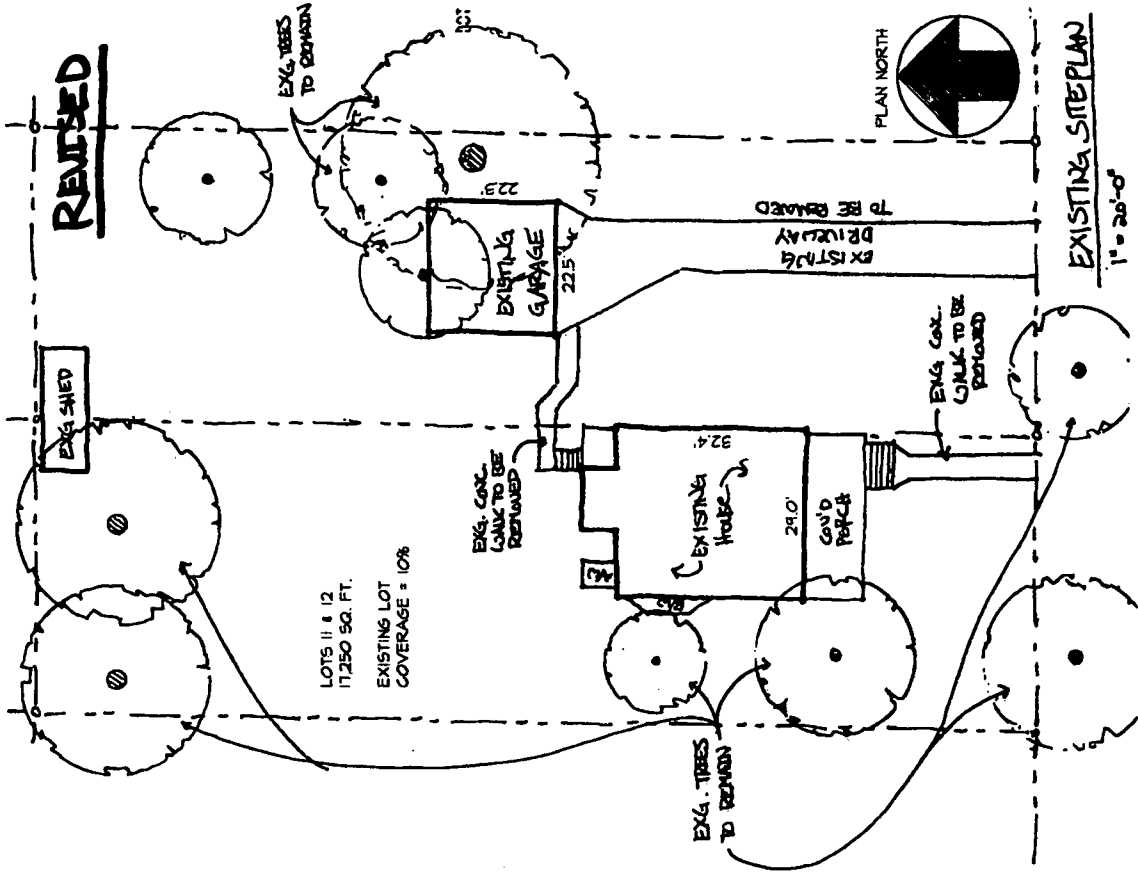
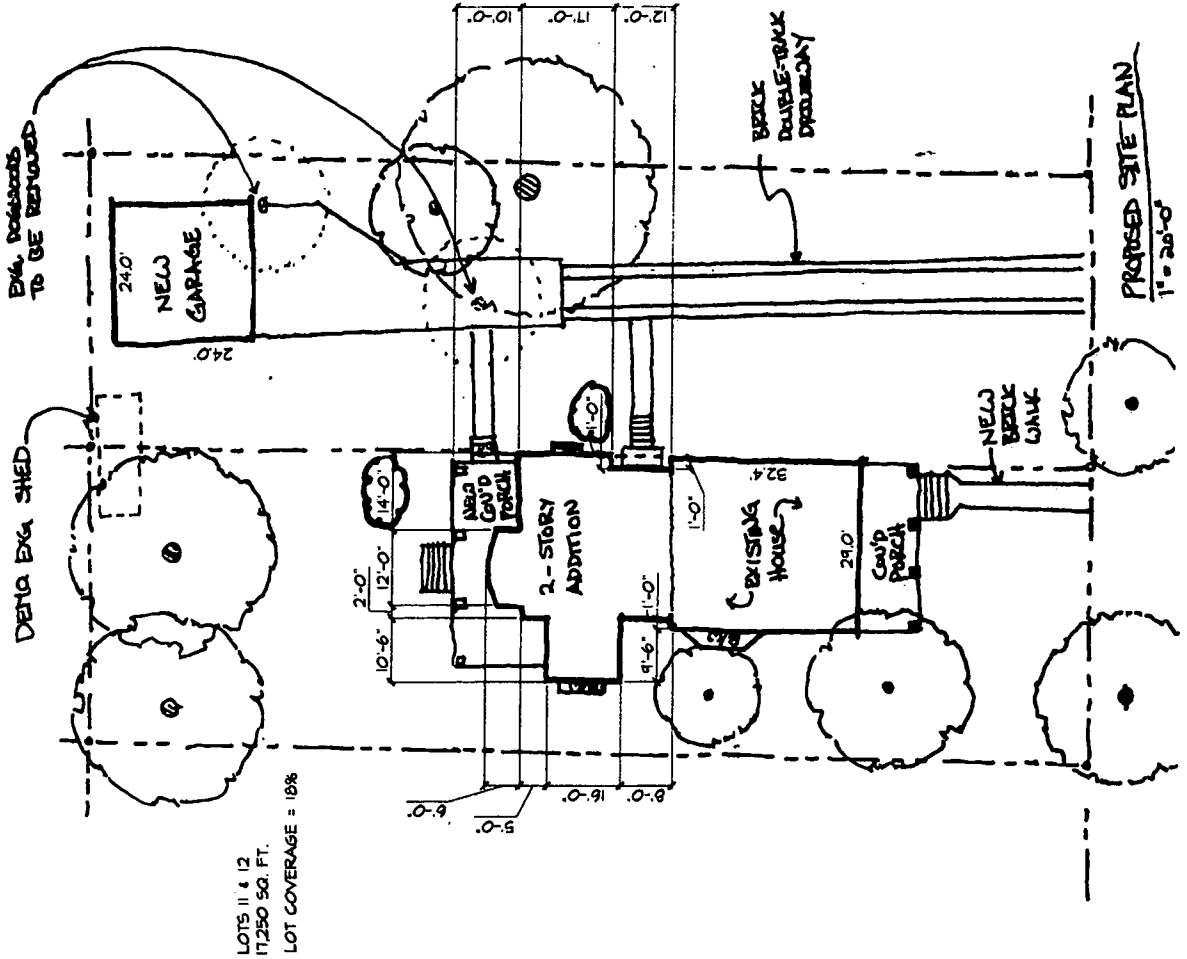
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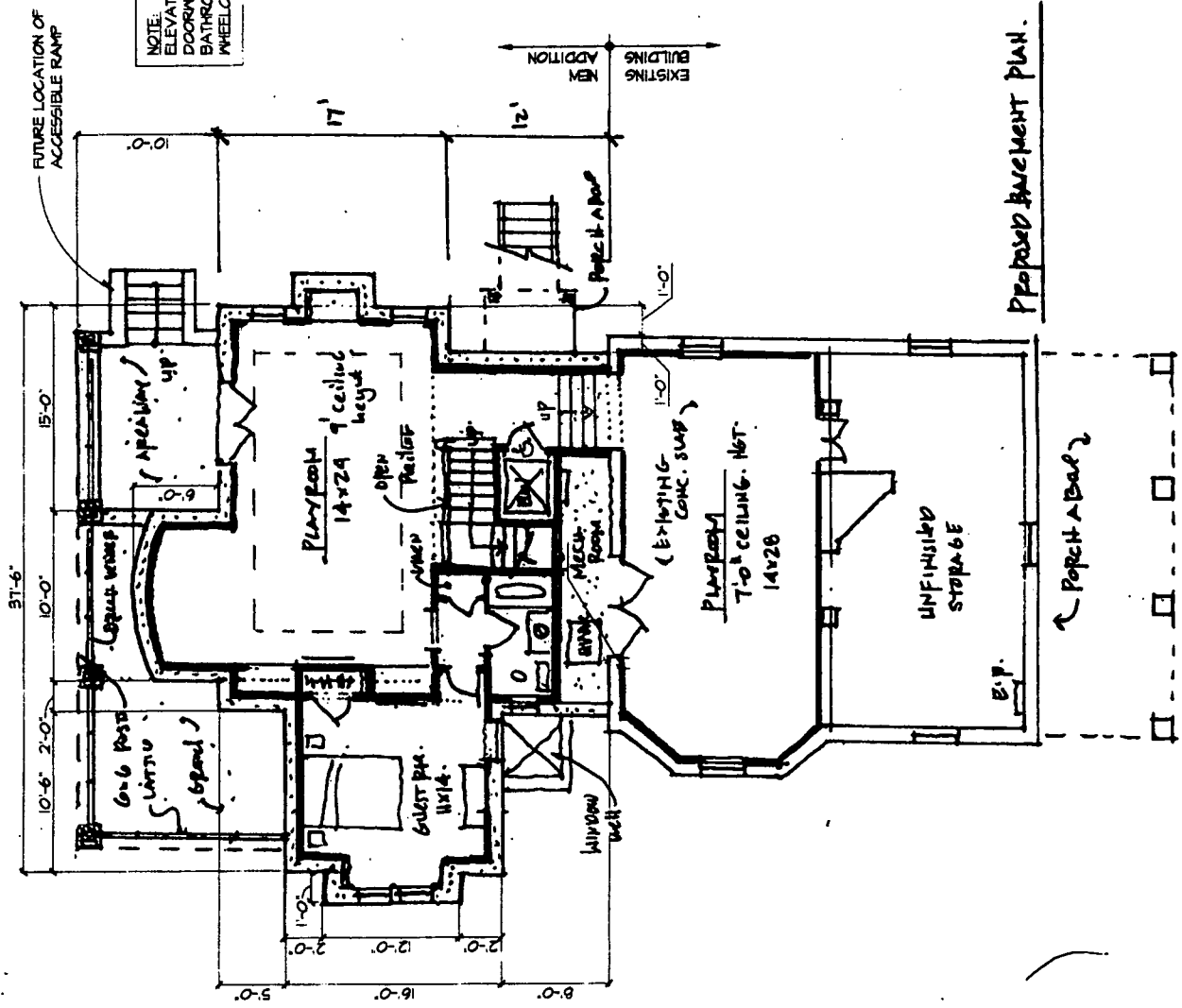


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DENIED

NOTE:
 ELEVATOR, PASSAGEWAYS,
 DOORWAYS AND GUEST
 BATHROOM SIZED TO BE
 WHEELCHAIR ACCESSIBLE.



STAIR P
 BE PERMIT

EXISTING BASEMENT
 PLAN.



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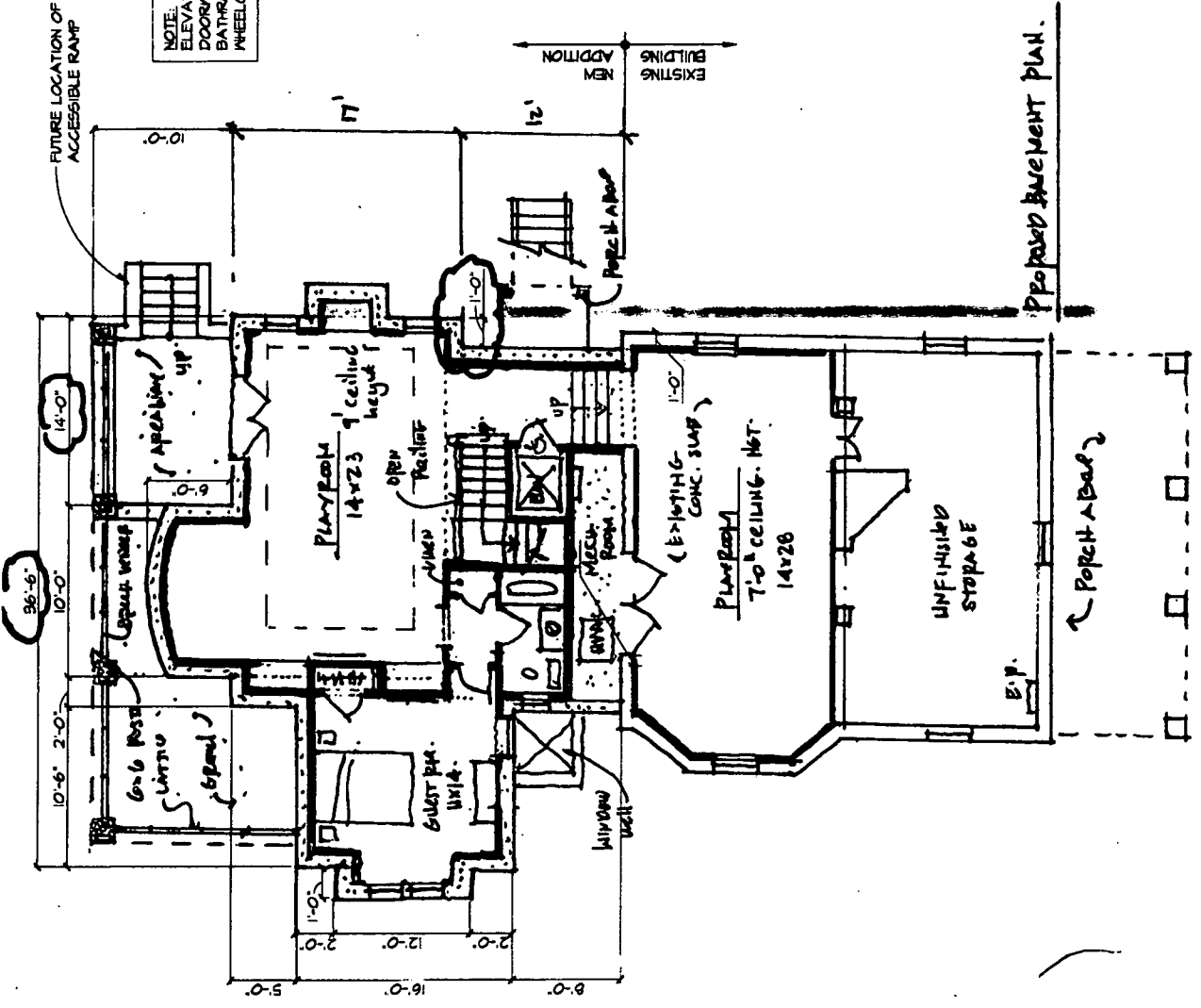
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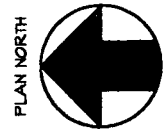


REVISED

NOTE:
 ELEVATOR, PASSAGEWAYS,
 DOORWAYS AND GUEST
 BATHROOM SIZED TO BE
 WHEELCHAIR ACCESSIBLE.



EXISTING BASEMENT PLAN.



4' 2" 0 4 8' 16'
 1/8"=1'-0" (WHEN PRINTED ON 11X17)

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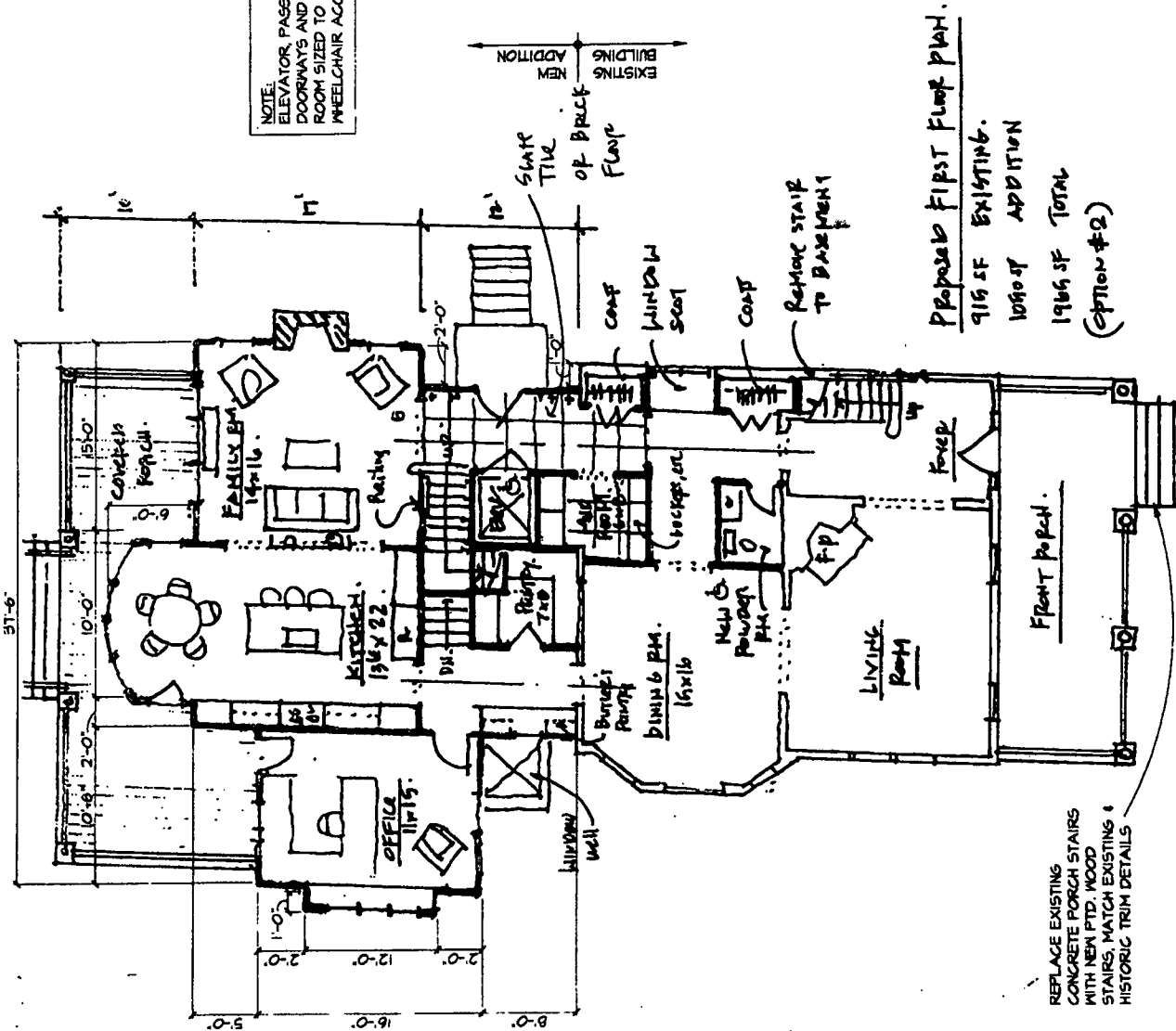
GTM

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 TEL: (240) 333-2000
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DENIED

AS SHOWN: 1045

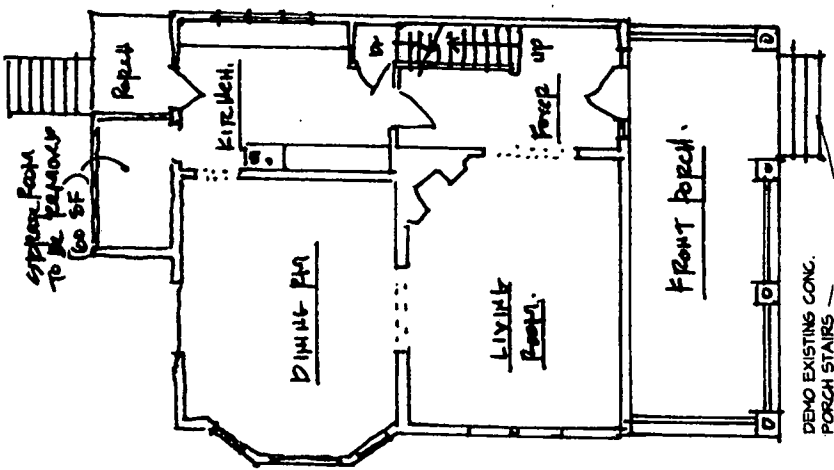
NOTE:
 ELEVATOR, PASSAGEWAYS,
 DOORWAYS AND POWDER
 ROOM SIZED TO BE
 WHEELCHAIR ACCESSIBLE.



PROPOSED FIRST FLOOR PLAN.
 916 SF EXISTING.
 1090 SF ADDITION
 1906 SF TOTAL
 (OPTION #2)

REPLACE EXISTING
 CONCRETE PORCH STAIRS
 WITH NEW PTD. WOOD
 STAIRS, MATCH EXISTING &
 HISTORIC TRIM DETAILS

13



EXISTING FIRST FLOOR.
 976 SF EXISTING.

PLAN NORTH



4' 2' 0" 4' 0" 8' 0" 16'
 1/8"=1'-0" (WHEN PRINTED ON I1XIT)

DEMO EXISTING CONC.
 PORCH STAIRS

ECKERT RESIDENCE

G T M

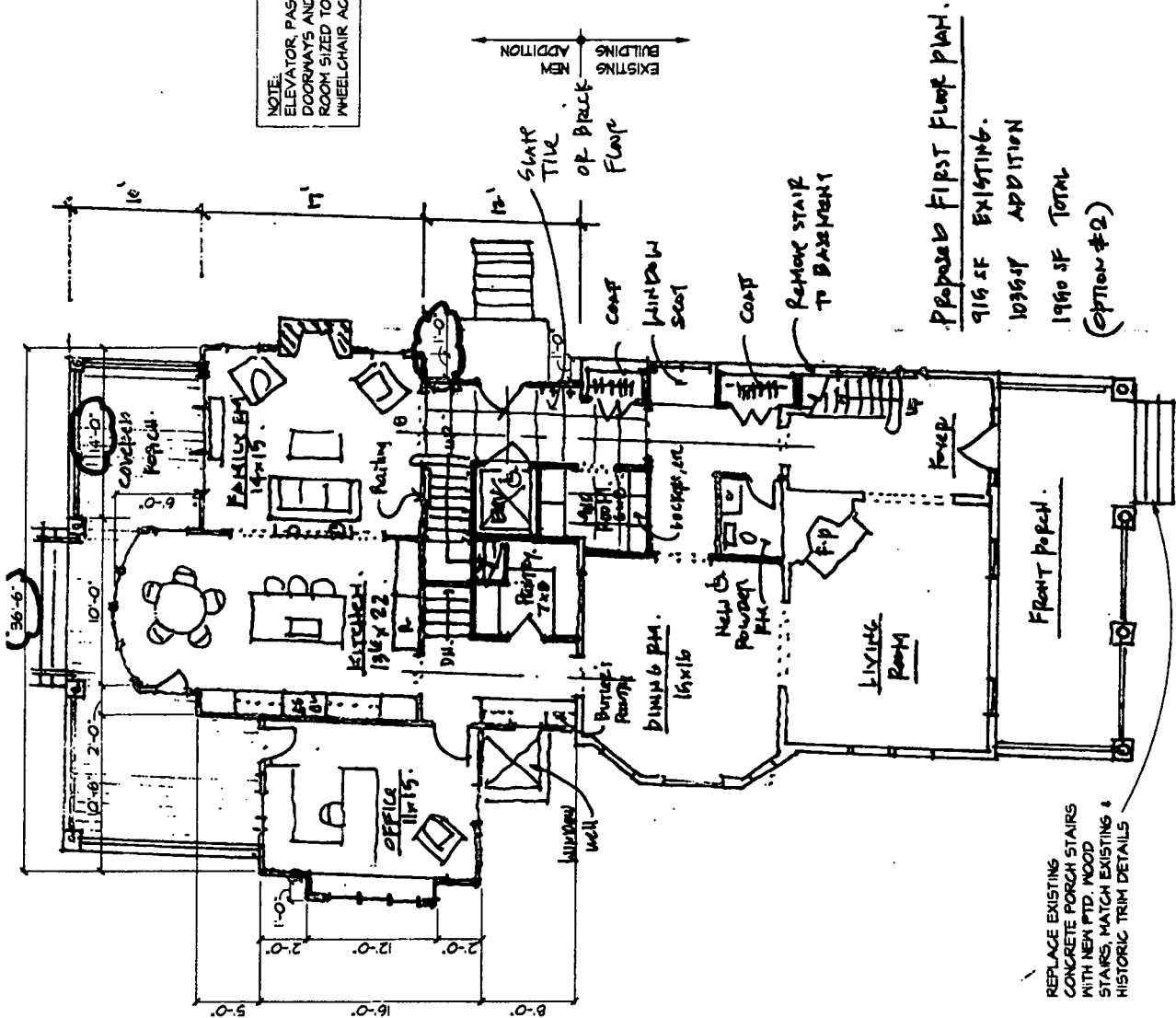
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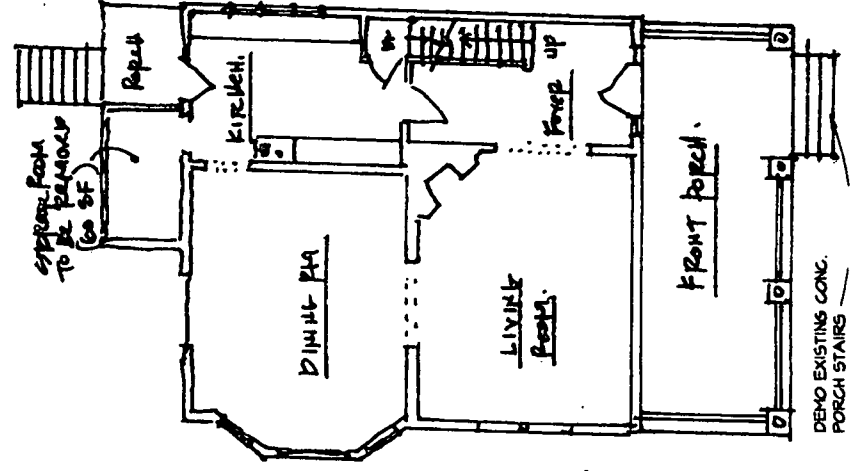
REVISED

NOTE:
 ELEVATOR, PASSAGEWAYS,
 DOORWAYS AND POWDER
 ROOM SIZED TO BE
 WHEELCHAIR ACCESSIBLE.

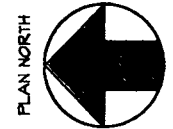


Proposed First Floor Plan.
 919 SF EXISTING.
 1036 SF ADDITION
 1960 SF TOTAL
 (OPTION #2)

REPLACE EXISTING
 CONCRETE PORCH STAIRS
 WITH NEW PTD. WOOD
 STAIRS, MATCH EXISTING &
 HISTORIC TRIM DETAILS



EXISTING FIRST FLOOR.
 976 SF EXISTING.



ECKERT RESIDENCE

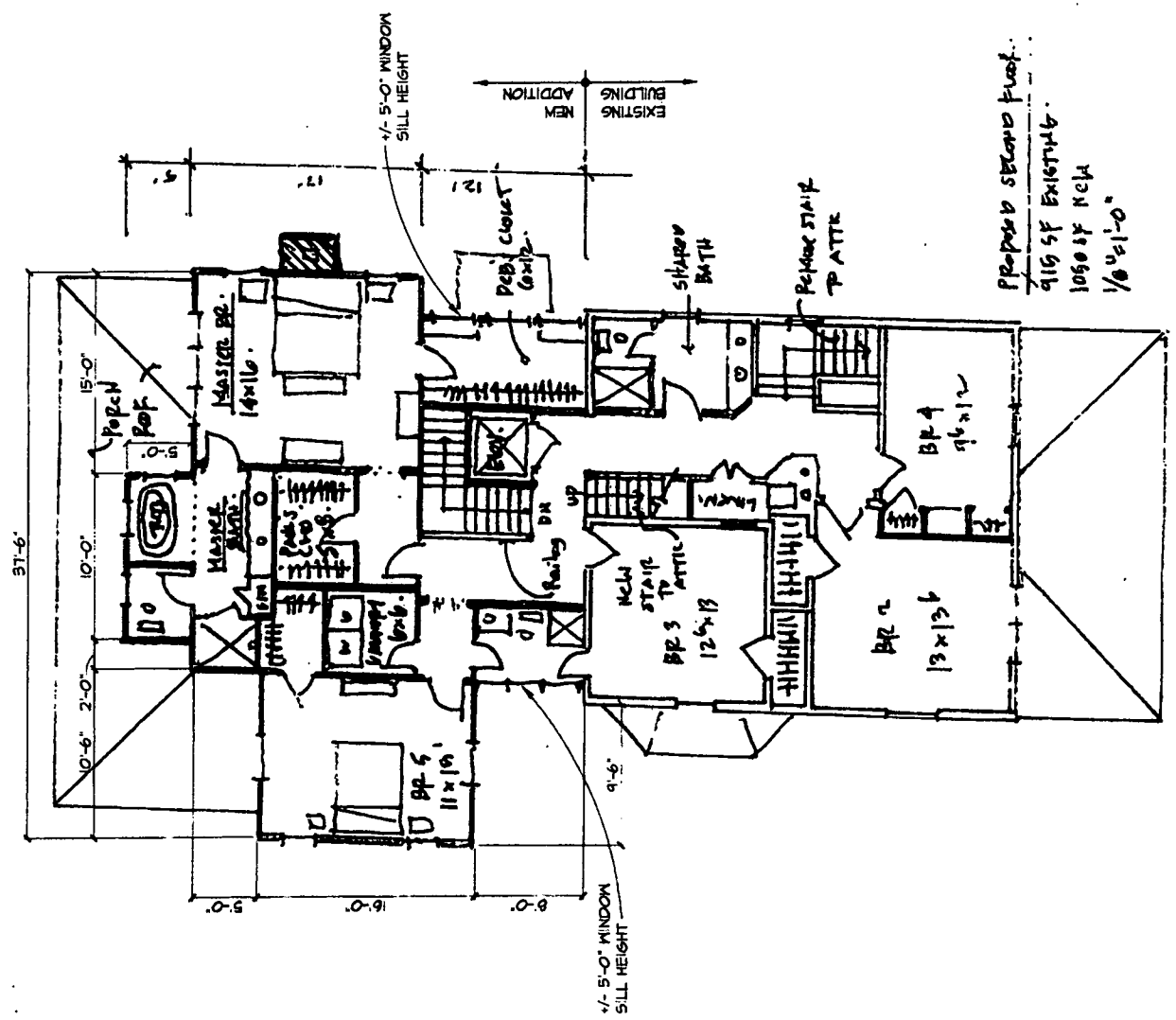
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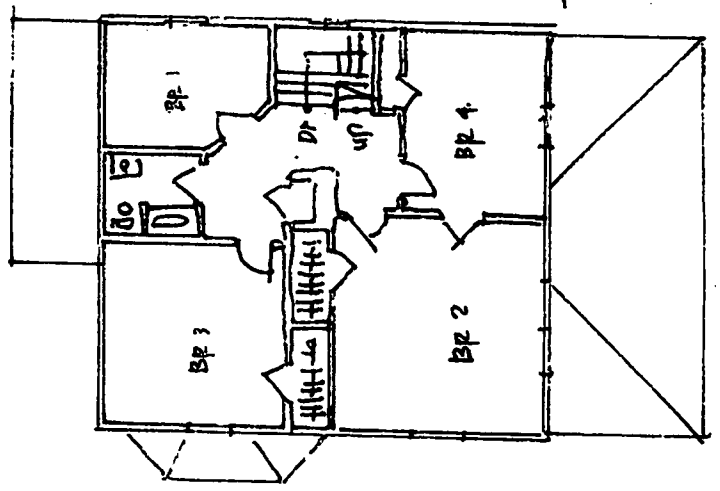
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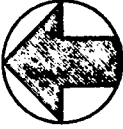
DENIED



Proposed second floor.
 915 SF Existing.
 1050 SF New
 1/8" = 1'-0"



PLAN NORTH



EXISTING SECOND FLOOR.
 915 SF ±

1/8" = 1'-0" (WHEN PRINTED ON 11X17)
 4' 2' 0' 4' 8' 16'

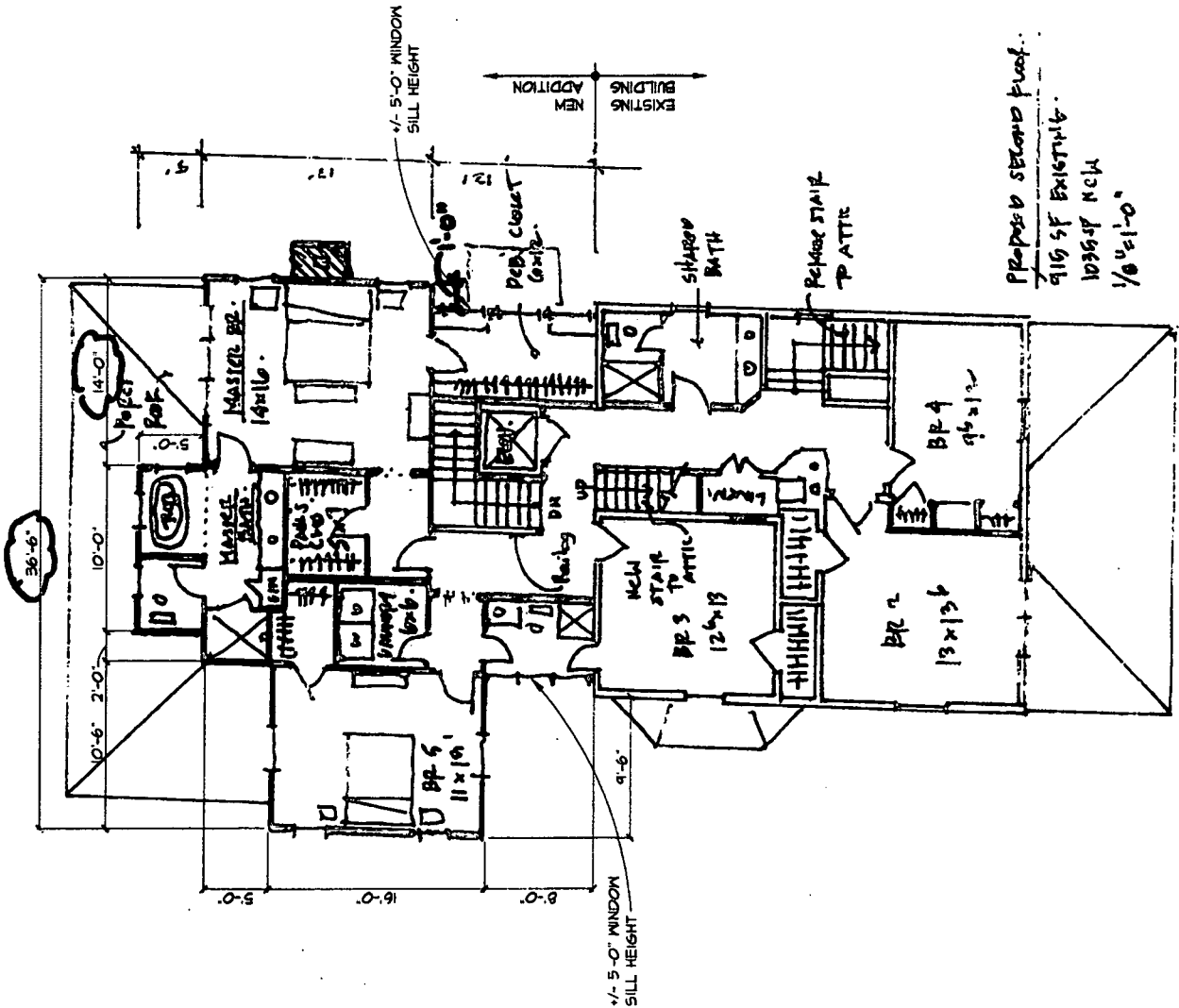
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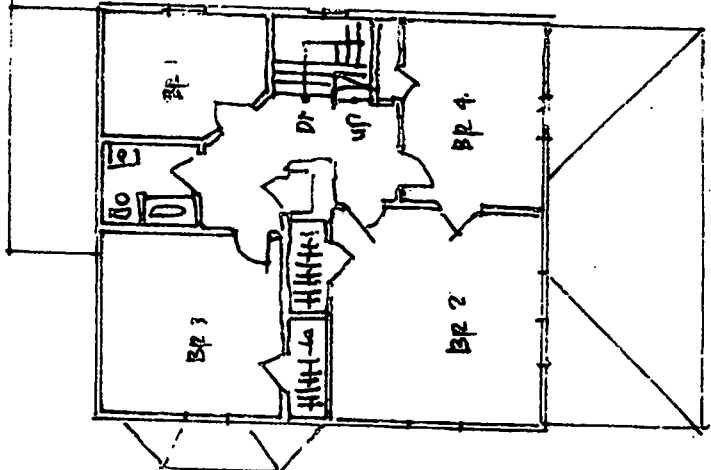
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REVISED



PROPOSED SECOND FLOOR
 915 SF EXISTING
 1035 SF NCH
 1/8" = 1'-0"



EXISTING SECOND FLOOR
 915 SF



ECKERT RESIDENCE

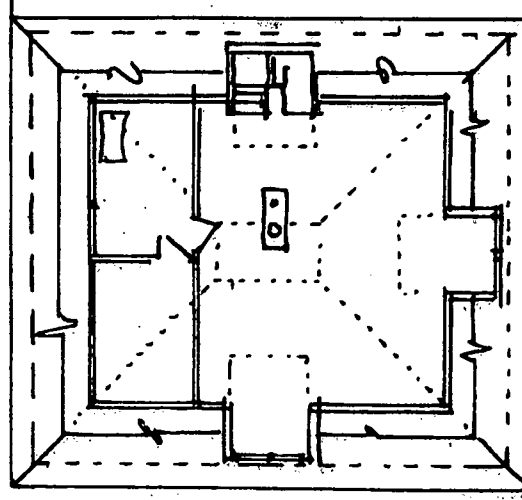
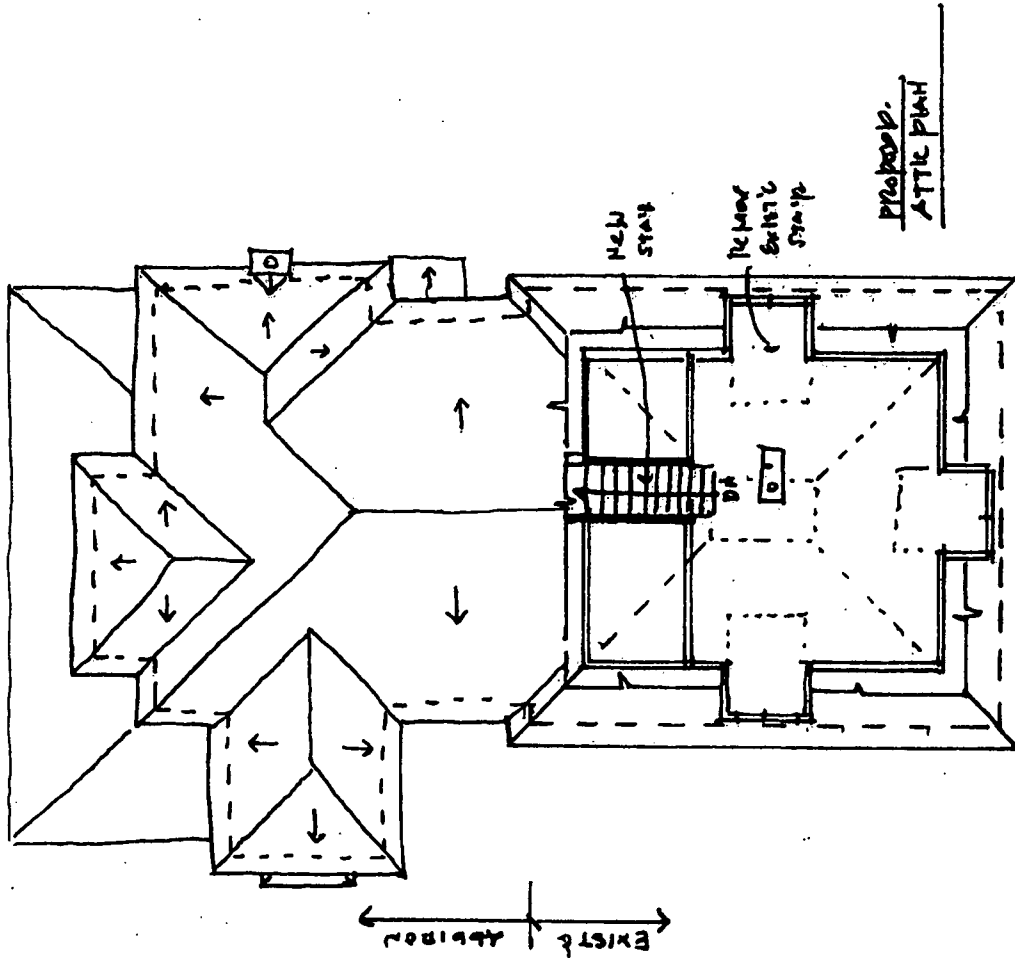
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DENIED



ECKERT RESIDENCE

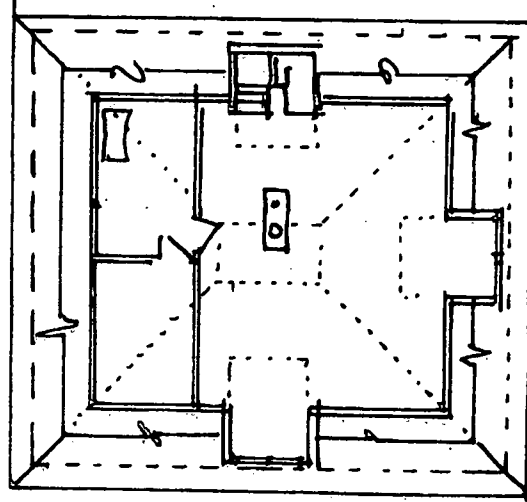
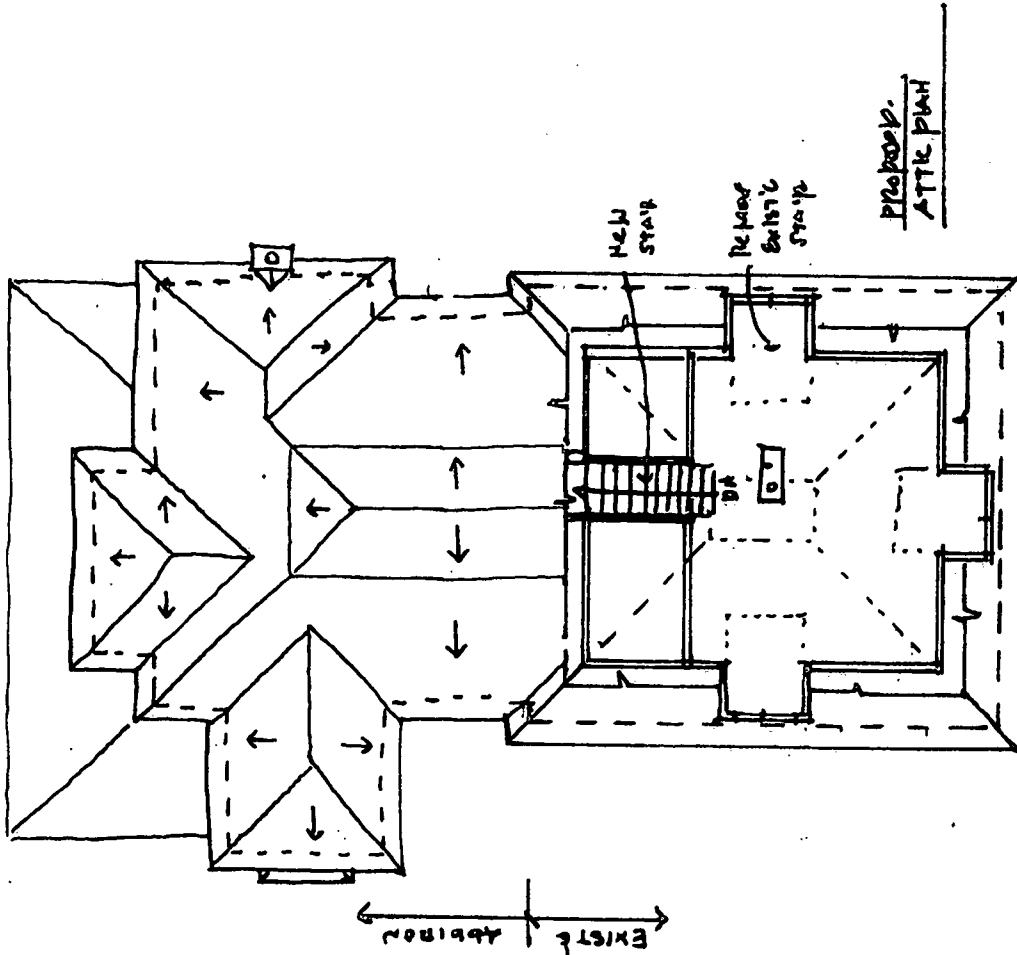
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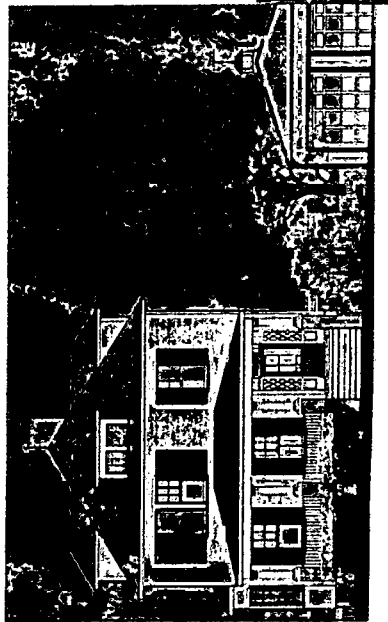
REVISED



4' 2" 0 4' 8" 16'
1/8" = 1'-0" (WHEN PRINTED ON 11X17)

DENIED

FOR ENTIRE HOUSE.
DEMO EXISTING METAL SIDING AND TRIM.
INVESTIGATE & REPLICATE/RESTORE
HISTORIC DETAILS BENEATH AS NECESSARY.
NEW PTD. WOOD TRIM DETAILS TO MATCH
EXISTING HISTORIC DETAILS.



EXISTING FRONT ELEVATION

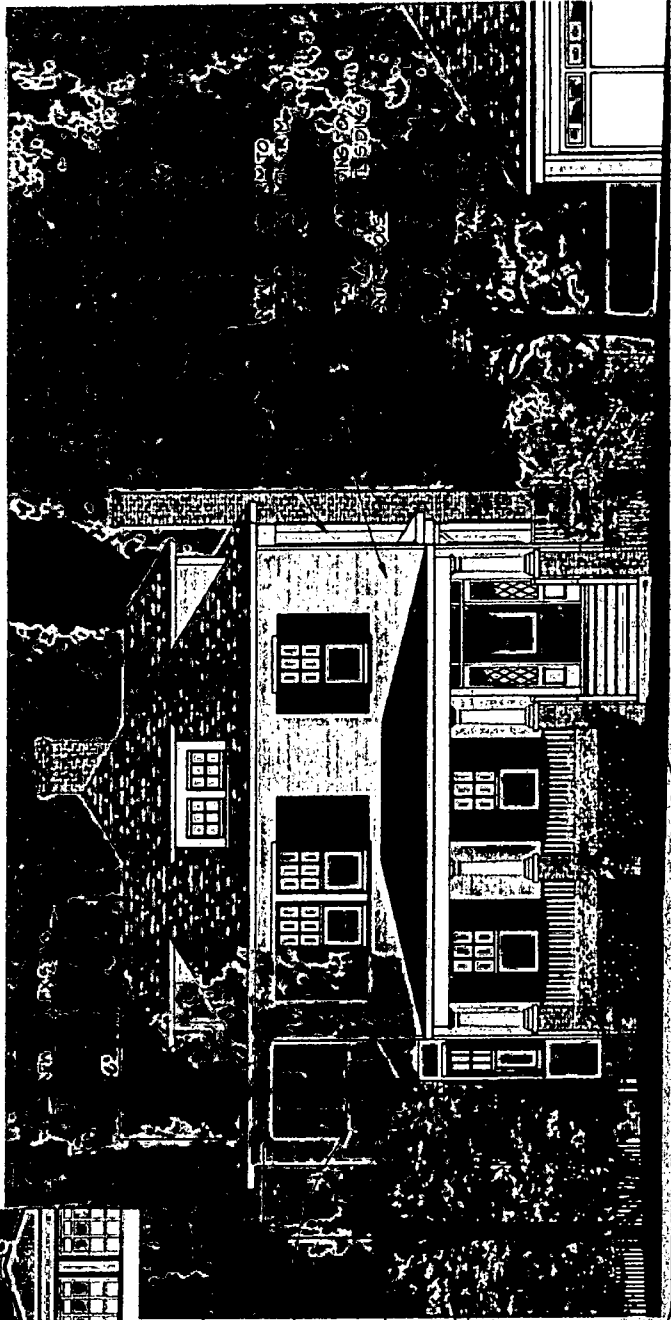
ASPHALT SHINGLE ROOFING TO
MATCH EXISTING

NEW PTD. MD. TRIM
ENTIRE HOUSE

NEW PTD. LAP SIDING
ENTIRE HOUSE

EXISTING TREES
TO REMAIN

REPLACE EXISTING CONCRETE
PORCH STAIRS WITH NEW PTD.
WOOD STAIRS, MATCH EXISTING
HISTORIC TRIM DETAILS



PROPOSED FRONT ELEVATION

PTD. WOOD LATTICE
TO MATCH EXISTING



ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

G T M ARCHITECTS

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#120306

OCT 03, 2012 REV JAN 24, 2013

3823 WASHINGTON ST. KENSINGTON, MD

7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 • TEL: (240) 333-2000 • FAX: (240) 333-2001

REVISED

FOR ENTIRE HOUSE.
LENO EXISTING METAL SIDING AND TRIM.
INVESTIGATE & REPLICATE/RESTORE
HISTORIC DETAILS BENEATH AS NECESSARY.
NEW PTD. WOOD TRIM DETAILS TO MATCH
EXISTING HISTORIC DETAILS.



EXISTING FRONT ELEVATION

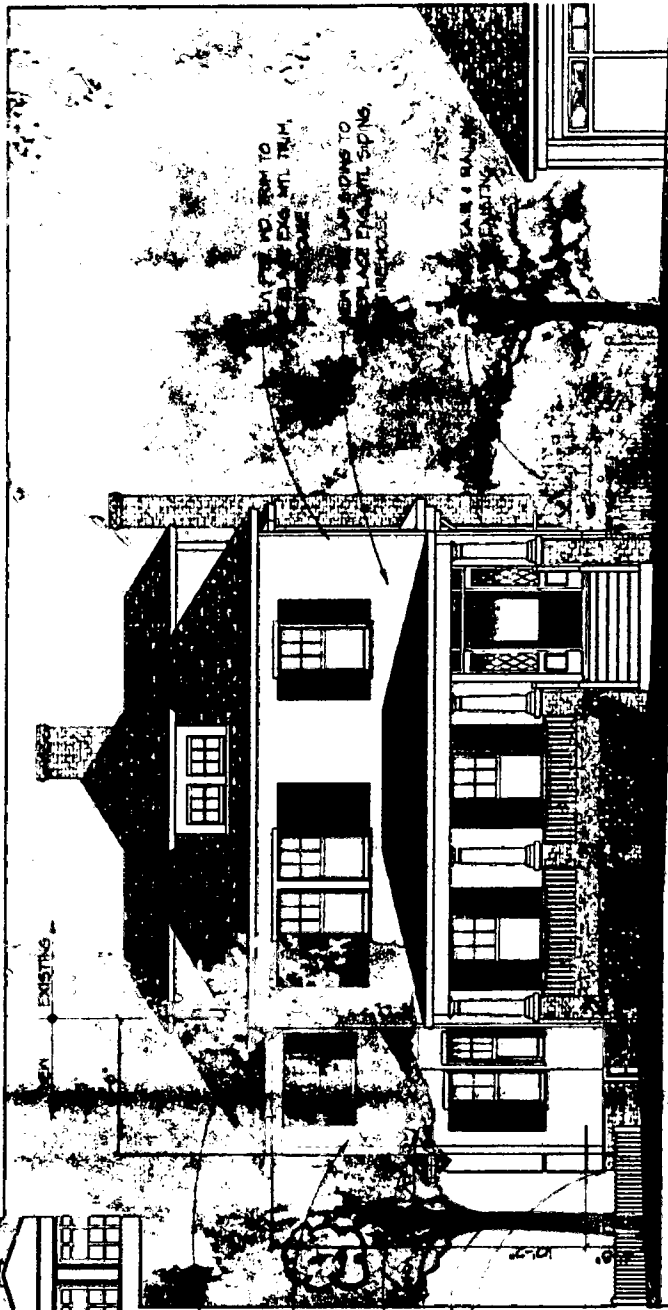
ASPHALT SHINGLE ROOFING TO
MATCH EXISTING

NEW PTD. MD. TRIM
ENTIRE HOUSE

NEW PTD. LAP SIDING
ENTIRE HOUSE

EXISTING TREES
TO REMAIN

REPLACE EXISTING CONCRETE
PORCH STAIRS WITH NEW PTD.
WOOD STAIRS, MATCH EXISTING
& HISTORIC TRIM DETAILS



PTD. WOOD LATTICE
TO MATCH EXISTING

PROPOSED FRONT ELEVATION



ECKERT RESIDENCE - HPC MEETING 04/10/2013 - HAWP APPLICATION

G T M A R C H I T E C T S

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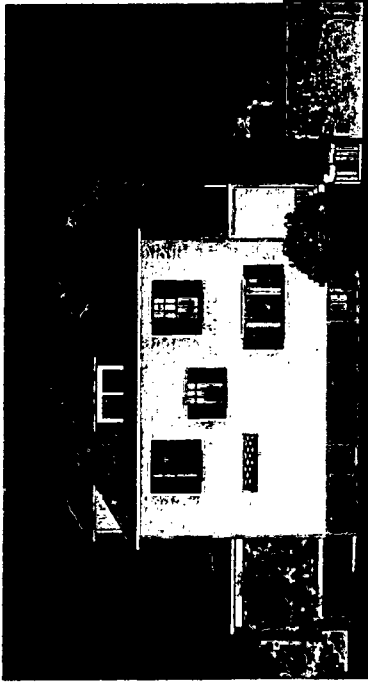
#12.0006

3623 WASHINGTON ST. KENSINGTON, MD OCT 03, 2012 REV MARCH 20, 2013

7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 • TEL: (240) 333-2000 • FAX: (240) 333-2001

DENIED

FOR ENTIRE HOUSE.
DEMO EXISTING METAL SIDING AND TRIM.
INVESTIGATE & REPLICATE/RESTORE
HISTORIC DETAILS BENEATH AS NECESSARY.
NEW PTD. WOOD TRIM DETAILS TO MATCH
EXISTING HISTORIC DETAILS.



EXISTING RIGHT SIDE ELEVATION

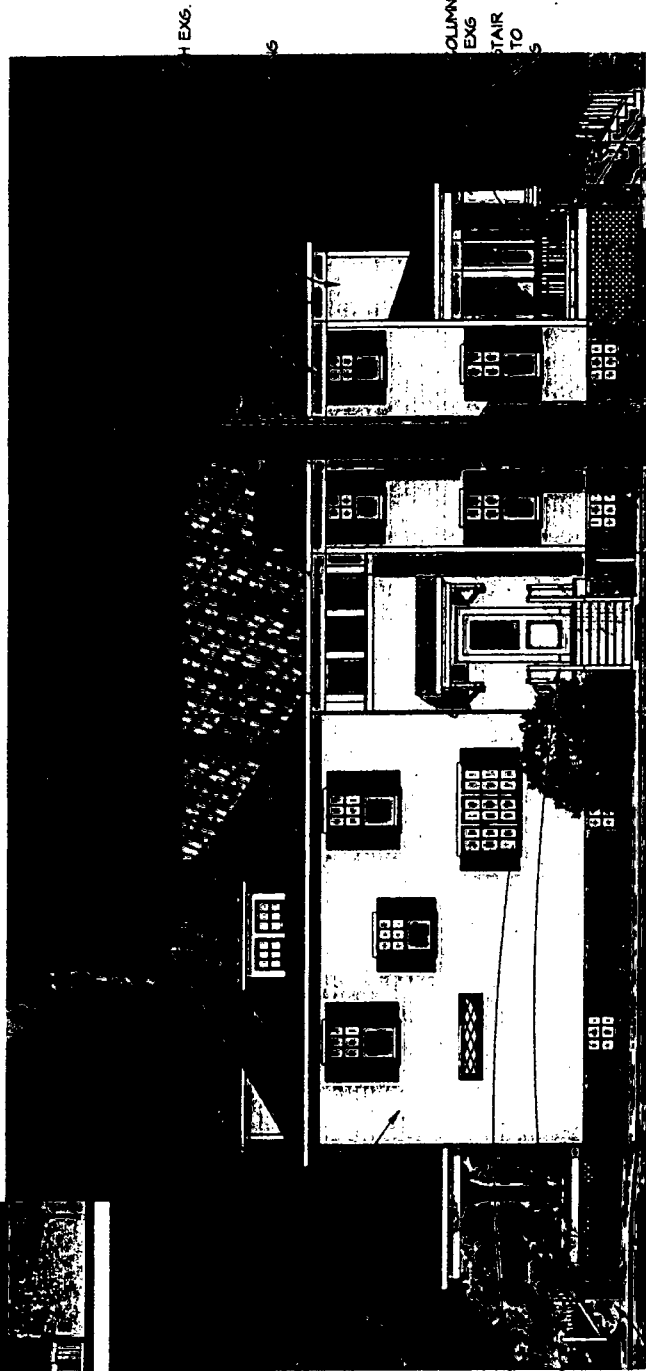
NEW PTD. MD. TRIM TO REPLACE
EXG. MTL. TRIM, ENTIRE HOUSE

NEW PTD. LAP SIDING TO REPLACE
EXG. MTL. SIDING, ENTIRE HOUSE

REPLACE EXG. KITCHEN WINDOWS W/
HISTORICALLY ACCURATE PTD. WOOD
DIVIDED LIGHT WINDOWS TO MATCH EXG.

PTD. MD. STAIRS & RAILING
TO MATCH EXISTING

REPLACE EXISTING CONCRETE
PORCH STAIRS WITH NEW PTD.
WOOD STAIRS, MATCH EXISTING
& HISTORIC TRIM DETAILS



PROPOSED RIGHT SIDE ELEVATION

GTM

ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

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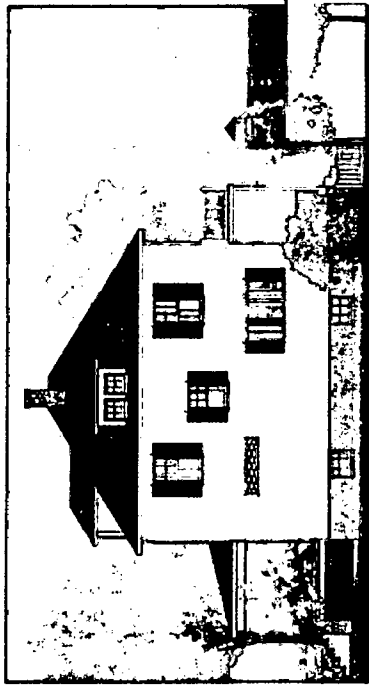
#12.0306

OCT 03, 2012 REV JAN 24, 2013

3623 WASHINGTON ST. KENSINGTON, MD

REVISED

FOR ENTIRE HOUSE.
 DEMO EXISTING METAL SIDING AND TRIM.
 INVESTIGATE & REPLICATE/RESTORE
 HISTORIC DETAILS BENEATH AS NECESSARY.
 NEW PTD. WOOD TRIM DETAILS TO MATCH
 EXISTING HISTORIC DETAILS.



EXISTING RIGHT SIDE ELEVATION

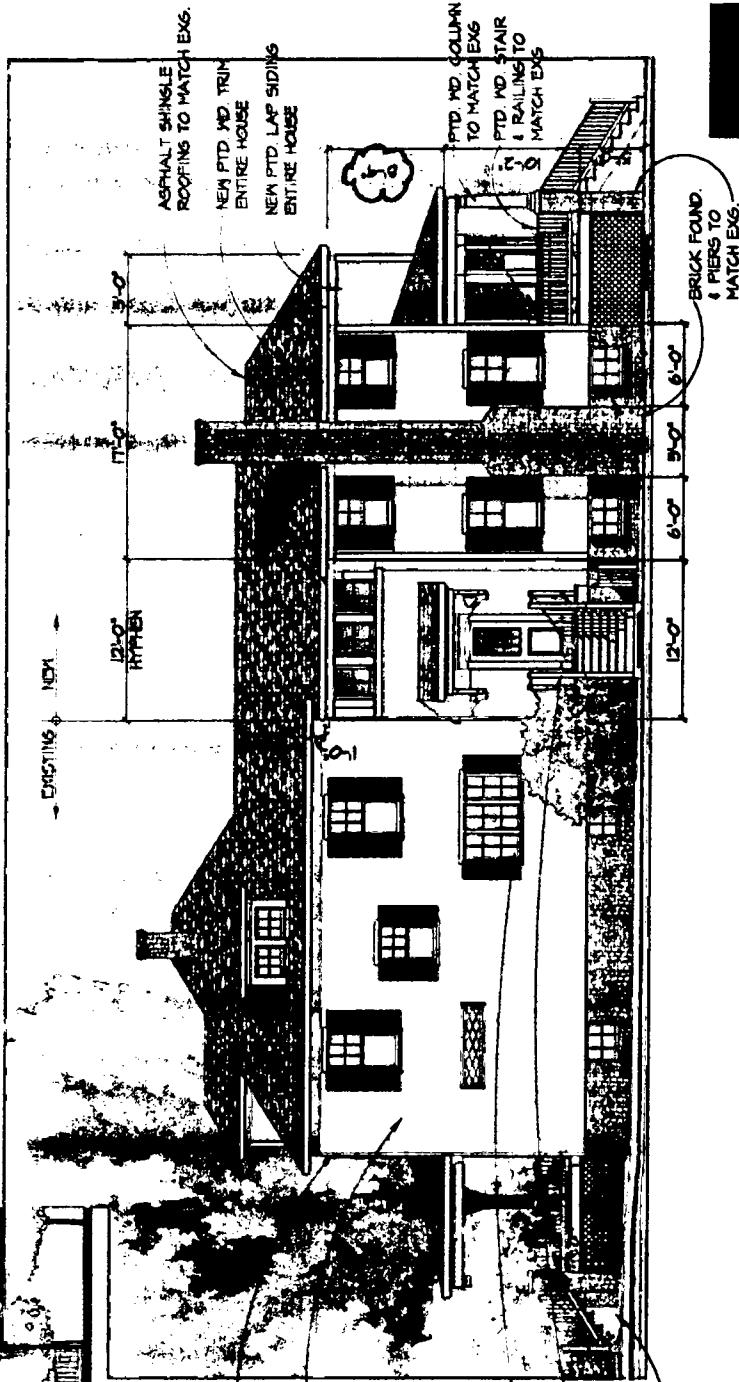
NEW PTD. WD. TRIM TO REPLACE
 EXG. MTL. TRIM, ENTIRE HOUSE

NEW PTD. LAP SIDING TO REPLACE
 EXG. MTL. SIDING, ENTIRE HOUSE

REPLACE EXG. KITCHEN WINDOWS W/
 HISTORICALLY ACCURATE PTD. WOOD
 DIVIDED LIGHT WINDOWS TO MATCH EXG.

PTD. WD. STAIRS & RAILING
 TO MATCH EXISTING

REPLACE EXISTING CONCRETE
 PORCH STAIRS WITH NEW PTD.
 WOOD STAIRS, MATCH EXISTING
 & HISTORIC TRIM DETAILS



PROPOSED RIGHT SIDE ELEVATION

GTM

ECKERT RESIDENCE - HPC MEETING 04/10/2013 - HAWP APPLICATION

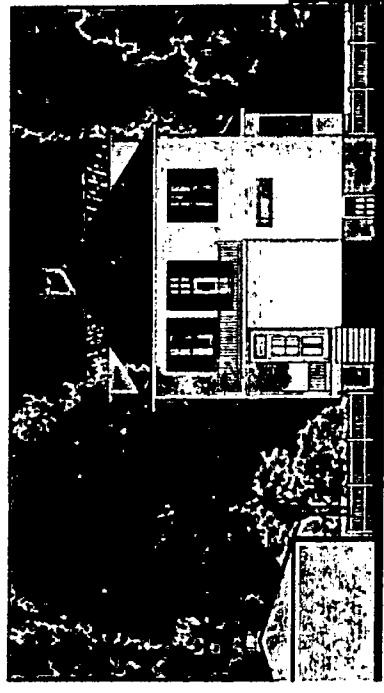
3923 WASHINGTON ST. KENSINGTON, MD OCT 03, 2012 REV MARCH 20, 2013 #12.0306 COPYRIGHT 2011, GTM ARCHITECTS, INC.

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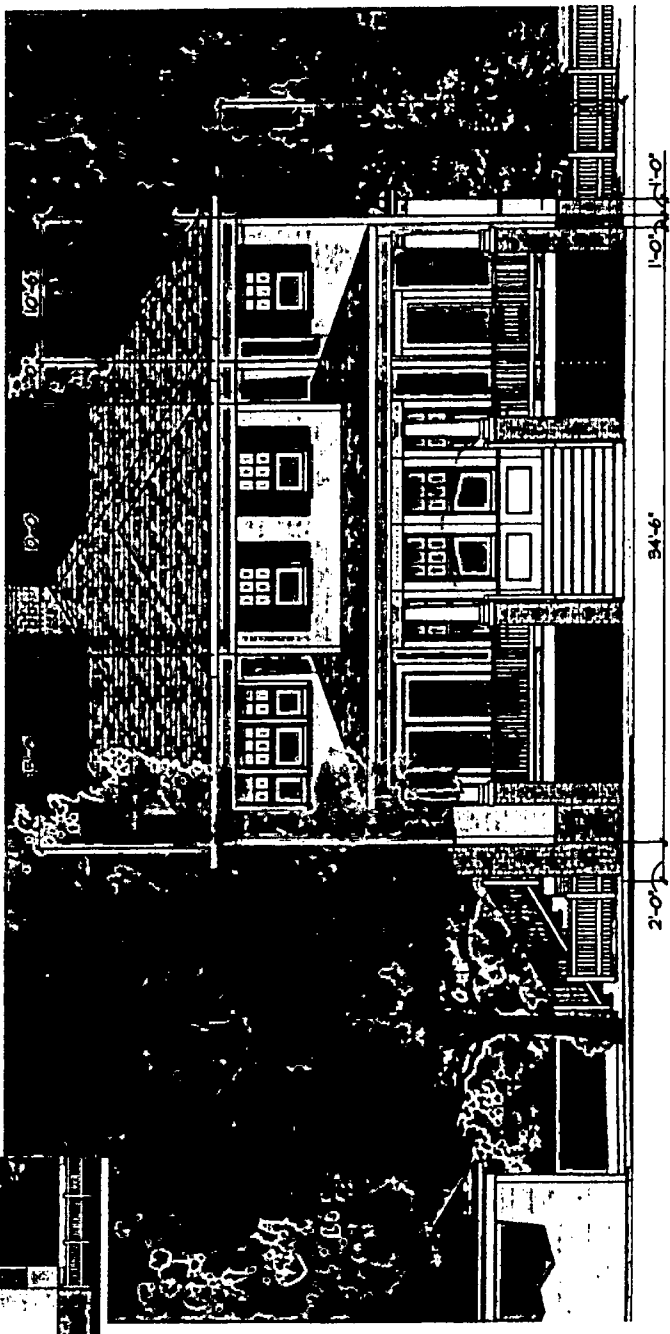
GTM ARCHITECTS

DENIED

FOR ENTIRE HOUSE:
DEMO EXISTING METAL SIDING AND TRIM.
INVESTIGATE & REPLICATE/RESTORE
HISTORIC DETAILS BENEATH AS NECESSARY.
NEW PTD. WOOD TRIM DETAILS TO MATCH
EXISTING HISTORIC DETAILS.



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION



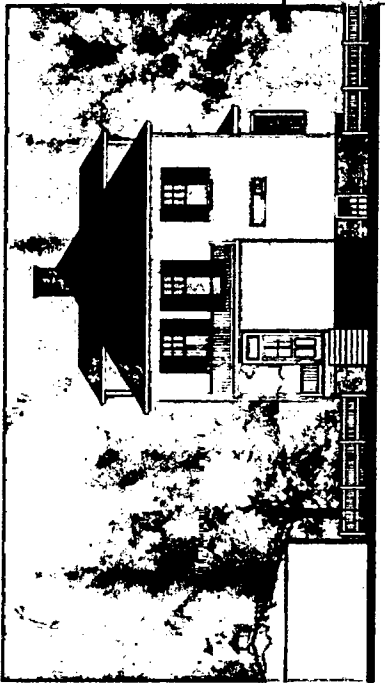
G T M ARCHITECTS

ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

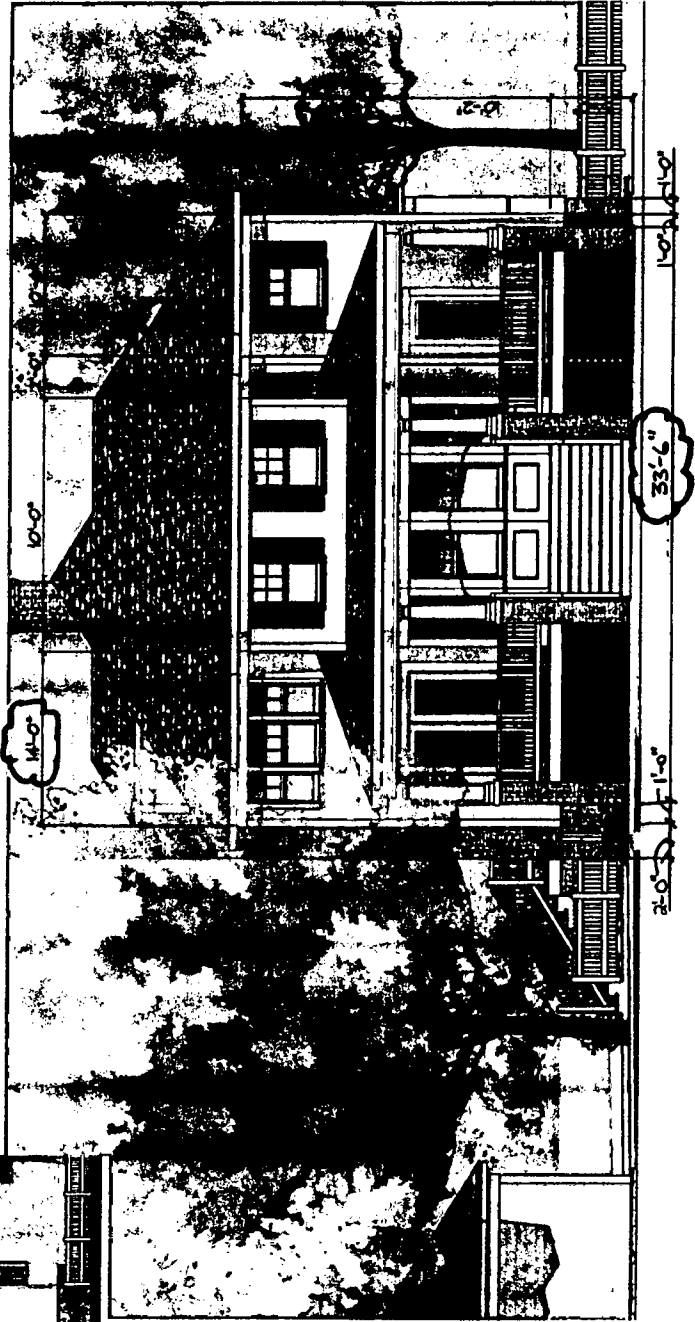
3623 WASHINGTON ST. KENSINGTON, MD OCT 03, 2012 REV JAN 24, 2013 #12.0306 COPYRIGHT 2011, GTM ARCHITECTS, INC. 7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001

REVISIONS

FOR ENTIRE HOUSE:
DEMO EXISTING METAL SIDING AND TRIM.
INVESTIGATE & REPLICATE/RESTORE
HISTORIC DETAILS BENEATH AS NECESSARY.
NEW PTD. WOOD TRIM DETAILS TO MATCH
EXISTING HISTORIC DETAILS.



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

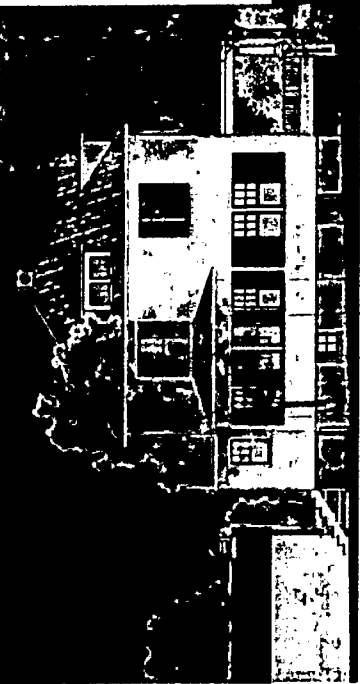


G T M ARCHITECTS

ECKERT RESIDENCE - HPC MEETING 04/10/2013 - HAWP APPLICATION

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DENIED



EXISTING LEFT SIDE ELEVATION

ASPHALT SHINGLE ROOFING
TO MATCH EXISTING

NEW PTD. WD. TRIM
ENTIRE HOUSE

NEW PTD. LAP SIDING
ENTIRE HOUSE

PTD. WD. COLUMN TO MATCH
EXISTING

PTD. WD. RAILING TO MATCH
EXISTING

BRICK FOUNDATION & PIERS
TO MATCH EXISTING

PTD. WOOD LATTICE
TO MATCH EXISTING

FOR ENTIRE HOUSE:
DEMO EXISTING METAL SIDING AND TRIM.
INVESTIGATE & REPLICATE/RESTORE
HISTORIC DETAILS BENEATH AS NECESSARY.
NEW PTD. WOOD TRIM DETAILS TO MATCH
EXISTING HISTORIC DETAILS.



PROPOSED LEFT SIDE ELEVATION

GTM

ECKERT RESIDENCE - HPC MEETING 02/13/2013 - HAWP APPLICATION

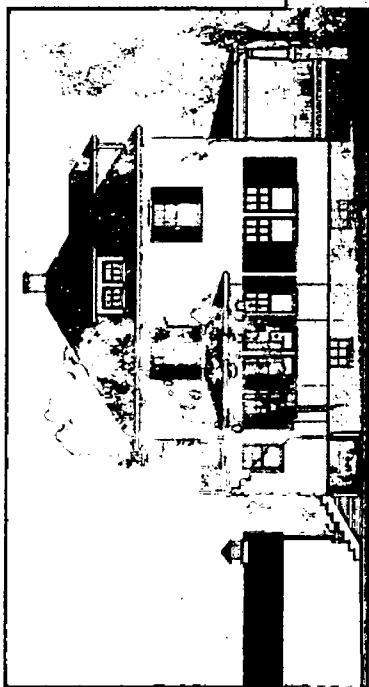
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25

FOR ENTIRE HOUSE.
 DEMO EXISTING METAL SIDING AND TRIM.
 INVESTIGATE & REPLICATE/RESTORE
 HISTORIC DETAILS BEHIND AS NECESSARY.
 NEW FTD. WOOD TRIM DETAILS TO MATCH
 EXISTING HISTORIC DETAILS.



EXISTING LEFT SIDE ELEVATION

ASPHALT SHINGLE ROOFING
 TO MATCH EXISTING

NEW FTD. WD. TRIM
 ENTIRE HOUSE

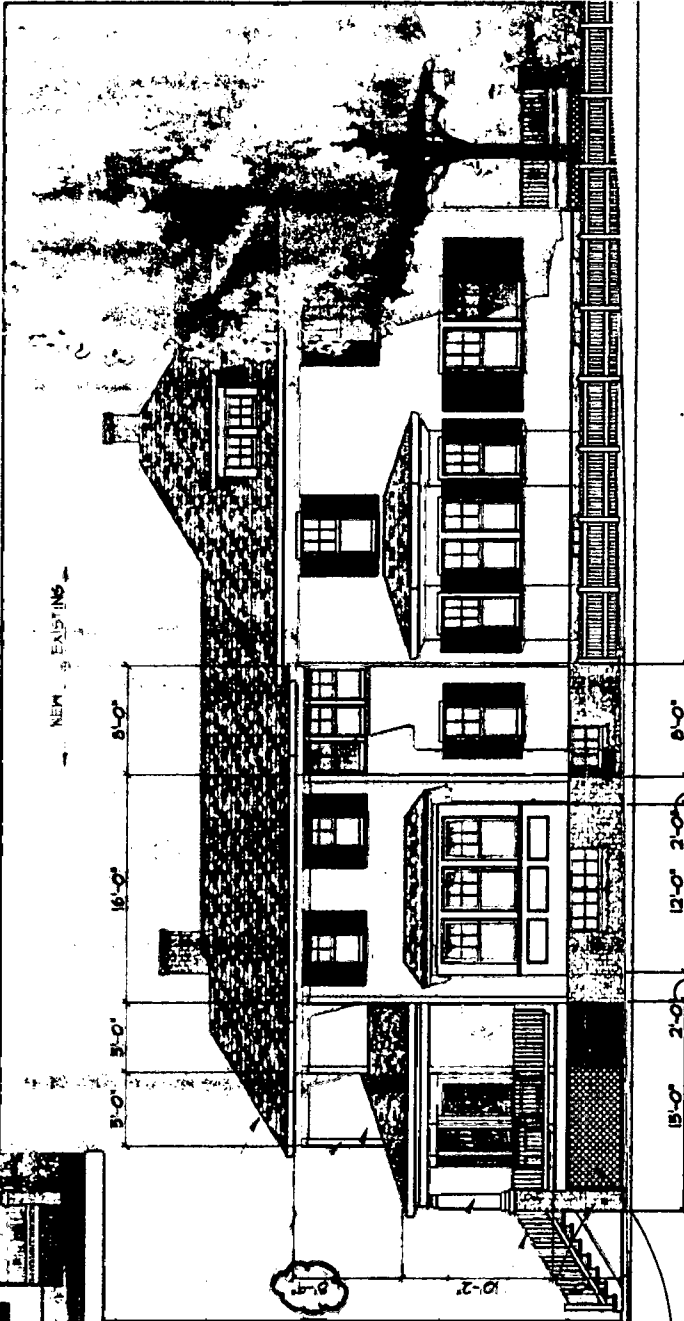
NEW FTD. LAP SIDING
 ENTIRE HOUSE

FTD. WD. COLUMN TO MATCH
 EXISTING

FTD. WD. RAILINGS TO MATCH
 EXISTING

BRICK FOUNDATION & PIERS
 TO MATCH EXISTING

FTD. WOOD LATTICE
 TO MATCH EXISTING



PROPOSED LEFT SIDE ELEVATION





HOUSE GARAGE

27



Hase

Mr. Coratola:

COMMENTS:

Takes no exception to the staff report as written and recommended by staff, believes we have "...addressed all of our comments from the previous prelim..." and have "...gone above and beyond accommodating our requests and comments from the prelim..." (HPC February 27, 2013_DRAFT, p. 34)

ACTIONS TAKEN TO ADDRESS COMMENTS:

None

Mr. Kirwan:

COMMENTS:

Takes no exception to the staff report as written and recommended by staff

ACTIONS TAKEN TO ADDRESS COMMENTS:

None

Mr. Van Balgooy:

COMMENTS:

"...I'm not talking about square footage. In section 18.7 it states that the roof form and slope of the new addition should be in character with and subordinate to that of the primary building." (HPC February 27, 2013_DRAFT, p. 21)

"...the biggest thing that concerns me is the height of that roof ridge."
(HPC February 27, 2013_DRAFT, p. 31)

ACTIONS TAKEN TO ADDRESS COMMENTS:

We have lowered the eave height by 1' and have lowered the height of the roof ridge significantly so that the scale and massing are subordinate to that of the primary building while keeping in character with the existing roof slope and form.

Mr. Treseder:

COMMENTS:

Agrees with Commissioner Van Balgooy. "the original proposal had a height with a lower roof pitch, which allowed the roof line to be lower. ... there are opportunities to reduce the ridgeline without changing the square footage or the viability of any of the spaces... so that the addition could feel more subordinate"

Recommends dropping the gutter line (eave height) and would like to see some of the aforementioned opportunities take advantage of
(HPC February 27, 2013_DRAFT, p. 31-32)

ACTIONS TAKEN TO ADDRESS COMMENTS:

We have lowered the eave height by 1' and have lowered the height of the roof ridge significantly so that the scale and massing are subordinate to that of the primary building

Mr. Rodriguez:

COMMENTS:

Does not see a "...clear differentiation between what is added..." and "...what is the historic part of the house..." and thinks that "...the treatment of the roof is basically one of the biggest concerns that I will have with the application."

Would also like to see the house moved one foot towards the west so that the addition aligns with the east façade of the original house
(HPC February 27, 2013_DRAFT, p. 33)

ACTIONS TAKEN TO ADDRESS COMMENTS:

We have lowered the eave height by 1' and have lowered the height of the roof ridge significantly so that the scale and massing are subordinate to that of the primary building.

We have also pushed the right side of the addition in by one foot so that it aligns with the east façade of the house.

Ms. Heiler:

COMMENTS:

Echoes the comments of the previous three commissioners The difficulty Ms. Heiler has with the proposal is "...not so much the size, but the massing, and the perception that the addition is not subservient to the main block. And a lot of that has to do with, as Commissioner Rodriguez has said, the fact that it extends little bit, I guess to the right of the main block. But the main thing is the height of the ridge line... it does not appear to drop down enough to make this clear that this is an addition and it is subservient to the main block."

Believes we can keep the size that we think we need and still create a massing that "preserves the dominant position of the main block."
(HPC February 27, 2013_DRAFT, p. 33-34)

ACTIONS TAKEN TO ADDRESS COMMENTS:

We have lowered the eave height by 1' and have lowered the height of the roof ridge significantly so that the scale and massing are subordinate to that of the primary building.

We have also pushed the right side of the addition in by one foot so that it aligns with the east façade of the house.

Ms. Whitney:

COMMENTS:

Objects to the footprint of the addition alone and cannot recommend approval until she sees a smaller footprint.

ACTIONS TAKEN TO ADDRESS COMMENTS:

We understand Ms. Whitney's point of view, and have taken steps to reduce the footprint, but our client's program and accessibility requirements do not allow us to reduce the footprint by enough to meet her standards.

Mr. Swift:

Was not in attendance at the February 27th, meeting but in the October 24th meeting he had asked that we shift the addition to the left side, which we have done. He also had issue with the chimney and mudroom, which he felt created a sense of a main entry which competed with the actual main entry. We have since relocated the chimney and removed the mudroom entirely. In the October 24th meeting Mr. Swift was ok with the addition massing and size. Since these items have since been reduced, and it was stated at the Oct 24th meeting that no one would be opposed to us reducing the size and scale of the addition, we believe that Mr. Swift would be ok with the revised massing and size of the addition

Ms. Miles:

COMMENTS:

Echoes the comments of the first four speakers:
(Van Balgooy, Treseder, Rodrigues & Heiler).

Has never seen such a strongly worded LAP and thinks the HPC must give that weight

ACTIONS TAKEN TO ADDRESS COMMENTS:

We have lowered the eave height by 1' and have lowered the height of the roof ridge significantly so that the scale and massing are subordinate to that of the primary building.

We have also pushed the right side of the addition in by one foot so that it aligns with the east façade of the house.

We have taken steps to meet with the LAP ahead of time to present our revised design, and explain how the concerns they have about the size and massing of the addition are unwarranted.

PAUL & DEBORAH ECKERT
3923 WASHINGTON STREET
KENSINGTON, MARYLAND 20895

January 24, 2013

Historic Preservation Commission
Montgomery County Maryland
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Letters of Support

To Whom It May Concern:

Attached are twenty two letters of support for our proposed project, including letters from neighbors immediately adjacent to our property and a letter from the Mayor and Town Council approved unanimously after the plans were reviewed at a public meeting.

Town of Kensington

A complete set of the proposed plans was distributed and reviewed by the Mayor and Town Council at its January 14, 2013 meeting. Town residents and neighbors were in attendance. Remarks on the design and its consistency with the historic nature of the neighborhood and the Town were entirely positive. A resolution and letter of support was approved 5-0 after deliberation and public comment.

Neighbors

We obtained twenty letters of support from our neighbors, including those who border the property. We provided to each person approached a copy set of the plans in advance. Every person who was approached agreed to submit a letter of support. Not one person voiced any objections to our project and, indeed, many expressed very strong views on the desirability of our proposed addition, its consistency with the character of the neighborhood, and the enhancement it would bring to our block. Many of these neighbors personally spent considerable time, talent, and treasure on restoration and enhancement projects of their own to address similarly dilapidated historic houses on Washington, Baltimore, or Prospect Streets. These stakeholders – many of whom have lived in the neighborhood for decades – were particularly supportive and encouraging.

1. Knecht, 3919 Washington Street (adjacent, right)
2. Kenny, 3922 Washington Street (across)
3. M. Strachan, 3924 Washington Street (across)
4. R. Strachan, 3925 Washington Street (adjacent, left)

5. Collins, 3926 Washington Street (across)
6. Bragg, 3924 Prospect Street (behind)
7. Carr, 3904 Washington Street
8. Uhlman, 3905 Washington Street
9. Stablow, 3912 Washington Street
10. FitzPatrick, 3913 Washington Street
11. Averbek, 3914 Washington Street
12. S. O'Connell, 3915 Washington Street
13. M. O'Connell, 3916 Washington Street
14. Noyes, 3928 Washington Street
15. Longo, 3932 Washington Street
16. Bruch, 3936 Washington Street
17. Bagshaw, 3947 Baltimore Street
18. Oleson, 3948 Baltimore Street
19. O'Shea, 3951 Baltimore Street
20. Lynn, 3908 Prospect Street

Gary Ditto

We sought and received a letter of support from Gary Ditto, the leading realtor in the Town of Kensington and a years-long director and benefactor of the Kensington Historical Society. He is perhaps the most knowledgeable real estate professional when it comes to the Kensington Historic District. Gary advised us gratis in connection with our efforts to identify an historic home for purchase and did not serve as buyer's or seller's agent for the property.

* * *

At the time of the Town Council meeting and during our efforts to obtain letters of support, our plans included a one-story mudroom that extended 3 feet from the "hyphen" – a substantial reduction from the version previously reviewed by the Commission. At the request of the Commission staff, we have since eliminated the mudroom from our proposed plans accompanying the HAWP. While we are very disappointed our family will not have this entirely ordinary feature that appears in additions to many of the historic houses on our street, we understand that the request was designed to address concerns voiced by a few of the Commissioners during the October preliminary.

Historic Preservation Commission
Montgomery County Maryland
January 24, 2013
Page 3

* * *

We hope that these letters help demonstrate the considerable support that we have in the Town and in our community for our plan as proposed.

Sincerely,



Paul R. Eckert

Mayor Peter C. Fosselman

Council Member Mackie Barch
Council Member Tracey Furman



Council Member Sean McMullen
Council Member John Thompson

January 16, 2013

Ms. Leslie Miles, Chair
Historic Preservation Commission
8787 Georgia Avenue
Silver Spring MD 20910

Re: Preliminary Consultation - 3923 Washington Street, Kensington

Dear Madam Chair:

Please accept this letter on behalf of the Kensington Town Council in support of Paul and Deborah Eckert and their efforts to obtain a HAWP for a two-story addition, along with the demolition and construction of a new garage for the property located at 3923 Washington Street.

Mr. Eckert presented the proposed plans to the Town Council at our January 14, 2013 Council Meeting, in which, the Council reviewed the plans and opened the project up for public comment. Following no public objections, and support from the adjacent neighbors, the Council concurred unanimously to support the Eckerts undertaking before the Historic Preservation Commission.

The Eckerts have been working judiciously with their architect, Luke Olson, along with consulting various Kensington Residents, to uphold the charm and standards of Kensington's Historic District. The Town Council believes that the Eckerts, along with Mr. Olson, will acknowledge the HPC's recommendations and allow for their new additions to seamlessly blend into the existing ambiance of the Town.

Sincerely,

Peter C. Fosselman

Cc: Mayor and Town Council
Paul and Deborah Eckert

Town of Kensington 3710 Mitchell Street Kensington, MD 20895
Phone 301.949.2424 Fax 301.949.4925
www.tok.md.gov

35

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature


Address

Dan Bragg
Cindy Bragg

[Handwritten signature]
Cindy Bragg

3924 Prospect St

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
Neil Stablow		3912 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Mauraen O'Connell

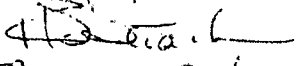

Signature

Mauraen A. O'Connell

Address

3915 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
RICHARD B STRACHAN		3925 Washington St 20815
Mary D. Strachan		"

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Lou Knecht

Signature

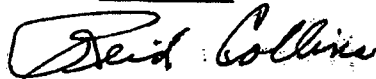
Lou Knecht

Address

3919 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name
REID COLLINS

Signature


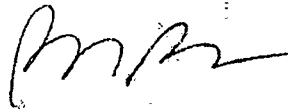
Address
3926 WASHINGTON ST
KENSINGTON, MD 20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Brooks + Peter Kenny

Signature



Address

3922 Washington St

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
Michele Strachan	Michele Strachan	3924 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Bonnie Carr

Bonnie Carr

3904 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Michael Ahlman

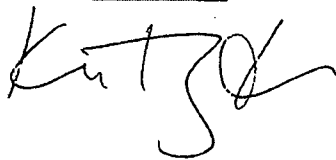


3905 Washington st.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
Margaret Fitz Patrick	Margaret Fitz Patrick	3913 Washington St. Kens. M.D.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

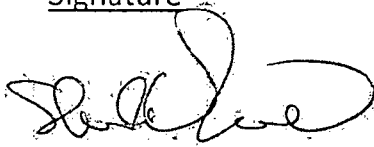
<u>Name</u>	<u>Signature</u>	<u>Address</u>
Karin Averbeck		3914 Washington St. Kensington, MD 20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Shala Howell

Signature



Address

3916
Washington St
Kensington MD
20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Michelle Noyes

M Noyes

3928 Washington St

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Jodi LANGO



Signature

J. Lango

Address

3932 WASHINGTON ST.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

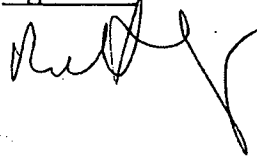
<u>Name</u>	<u>Signature</u>	<u>Address</u>
CHRIS BRUCH		3936 WASHINGTON STREET.
Ranelle Bruch		3936 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Brett Bagshaw

Signature



Address

3947 Baltimore St
Kens. MD 20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Kristine Oleson

Kristine Oleson

3948 Baltimore St.

(53)

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Katie and Kieran O'Shea



3951 Baltimore St
Kensington MD
20895

54

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

BERTINA LYNN



3908 Prospect St.
Kensington, MD

SUBJECT: Revision to approved HAWP (HPC Case No. 36/02-13E), for construction of addition, demolition of garage and new garage construction at 3923 Washington Street, a Primary-One Resource within the Kensington Historic District

DATE: June 12, 2013

BACKGROUND: On April 10, 2013 the HPC approved with conditions the subject work above.

REVISED PROPOSAL: The applicants are requesting minor dimensional changes to the footprint of the proposed addition section (see attached plans **APPROVED** and **REVISED**). The changes are necessary to accommodate a code compliant clearance for the new interior elevator shaft and associated hallway doors. The changes amount to no new net increase in the size of the footprint.

STAFF RECOMMENDATION: Staff recommends that the Commission approve the revised proposal described above finding it as being consistent with Chapter 24A-8(bi)(1) & (2):

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

HPC DECISION: **APPROVED**

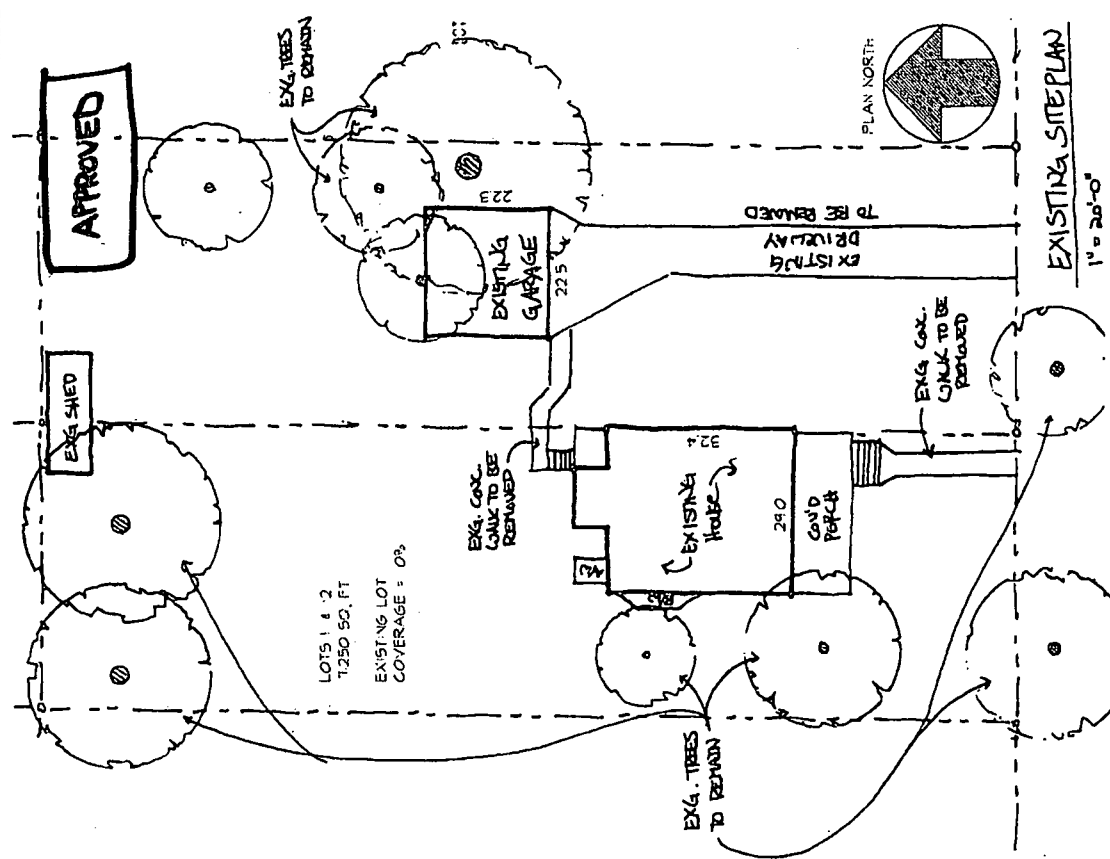
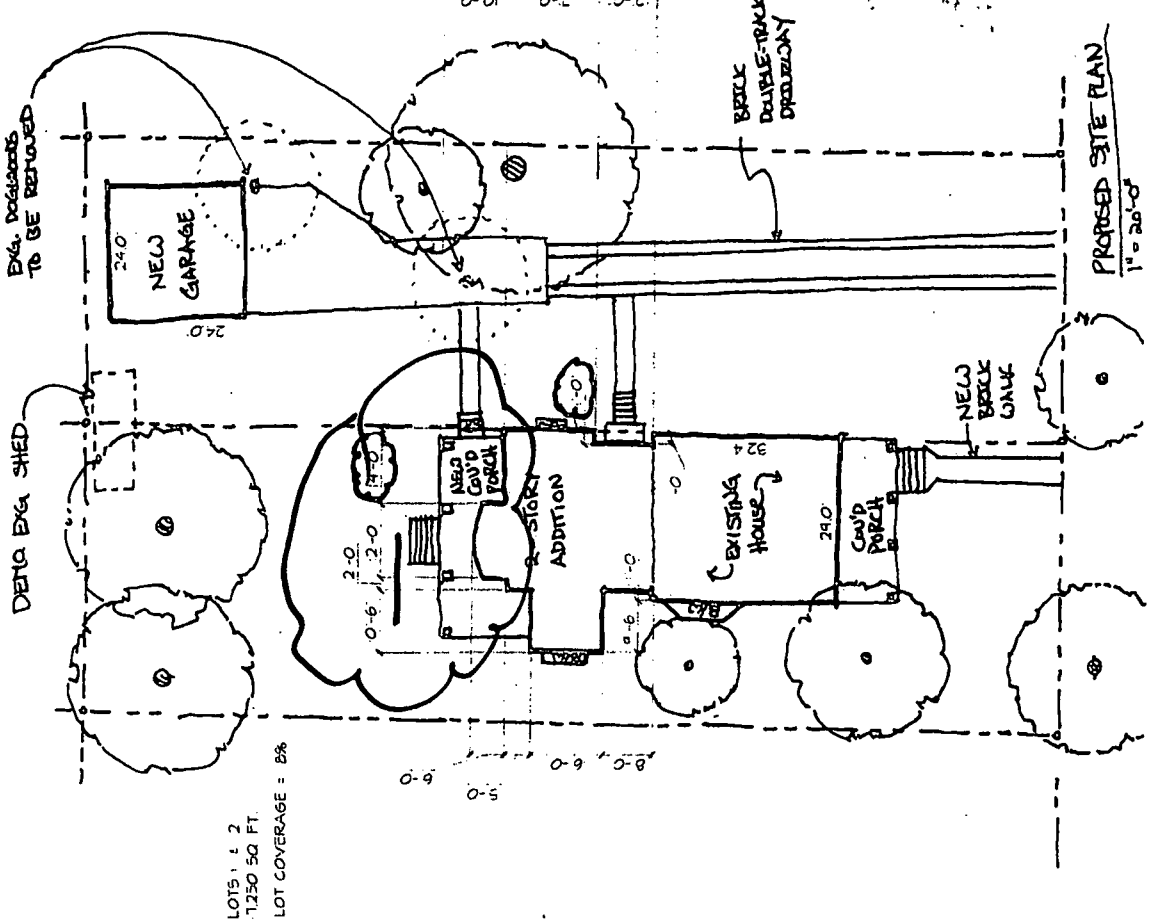
ECKERT RESIDENCE

G T M

7735 OLD GEORGETOWN RD, SUITE 700
BETHESDA, MD 20814
TEL: (240) 333-2000
FAX: (240) 333-2001



3923 WASHINGTON ST. KENSINGTON, MD
COPYRIGHT 2012, GTM ARCHITECTS, INC.
SCALE = 20'-0" WHEN PRINTED ON 1/8" T.

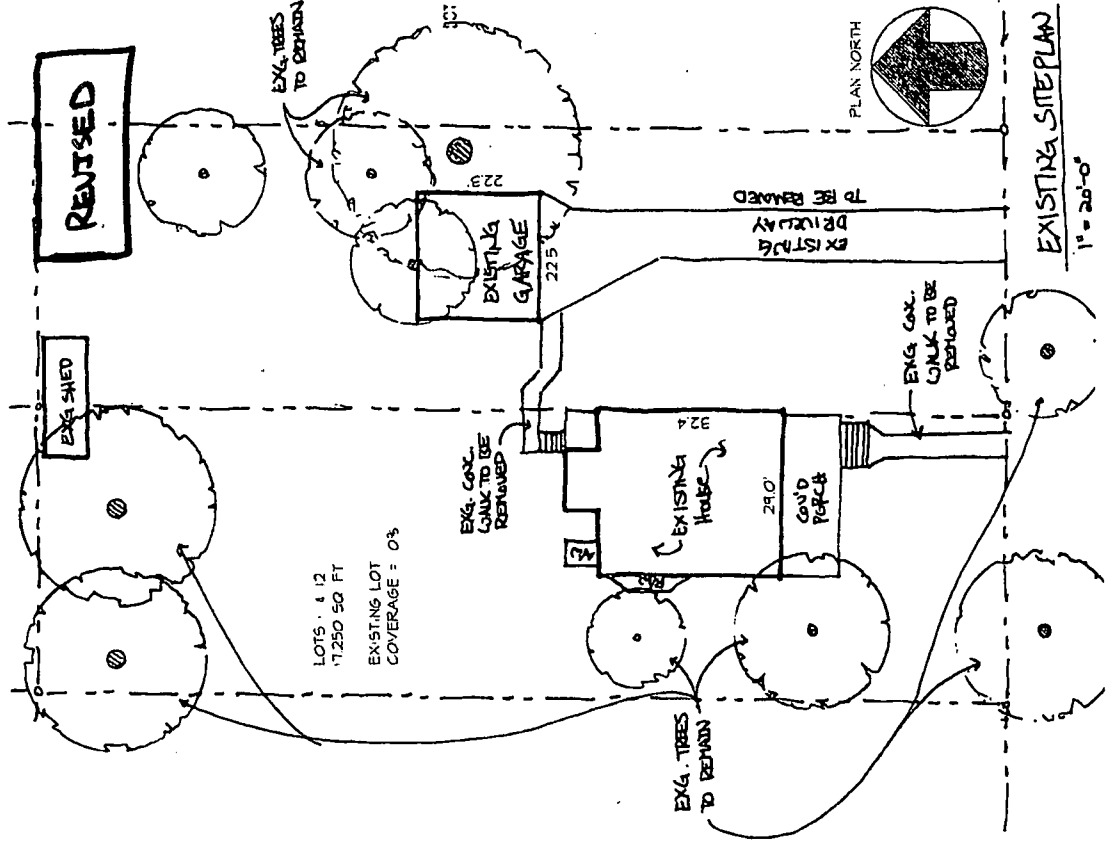
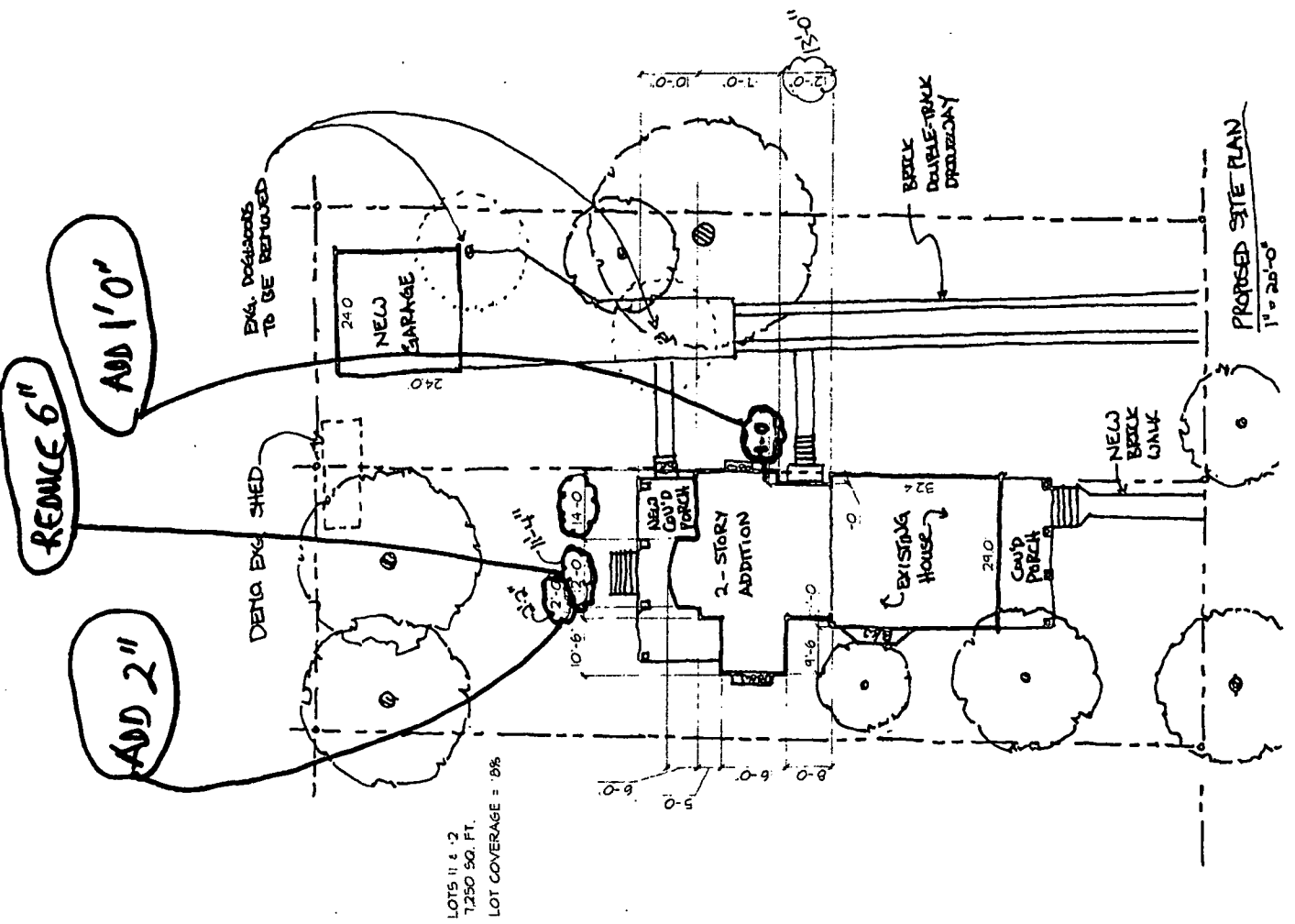




ECKERT RESIDENCE
 3923 WASHINGTON ST. KENNINGTON, MD
 COPYRIGHT 2012, GTM ARCHITECTS, INC.
 SCALE: 1" = 20'-0" (WHEN PRINTED ON 11x17)

G T M
 7735 OLD GEORGETOWN RD, SUITE 700
 BETHESDA, MD 20814
 TEL: (240) 333-2000
 FAX: (240) 333-2001

LOTS 11 & 12
 7,250 SQ. FT.
 EXISTING LOT
 COVERAGE = 0%



ECKERT RESIDENCE **GTM**

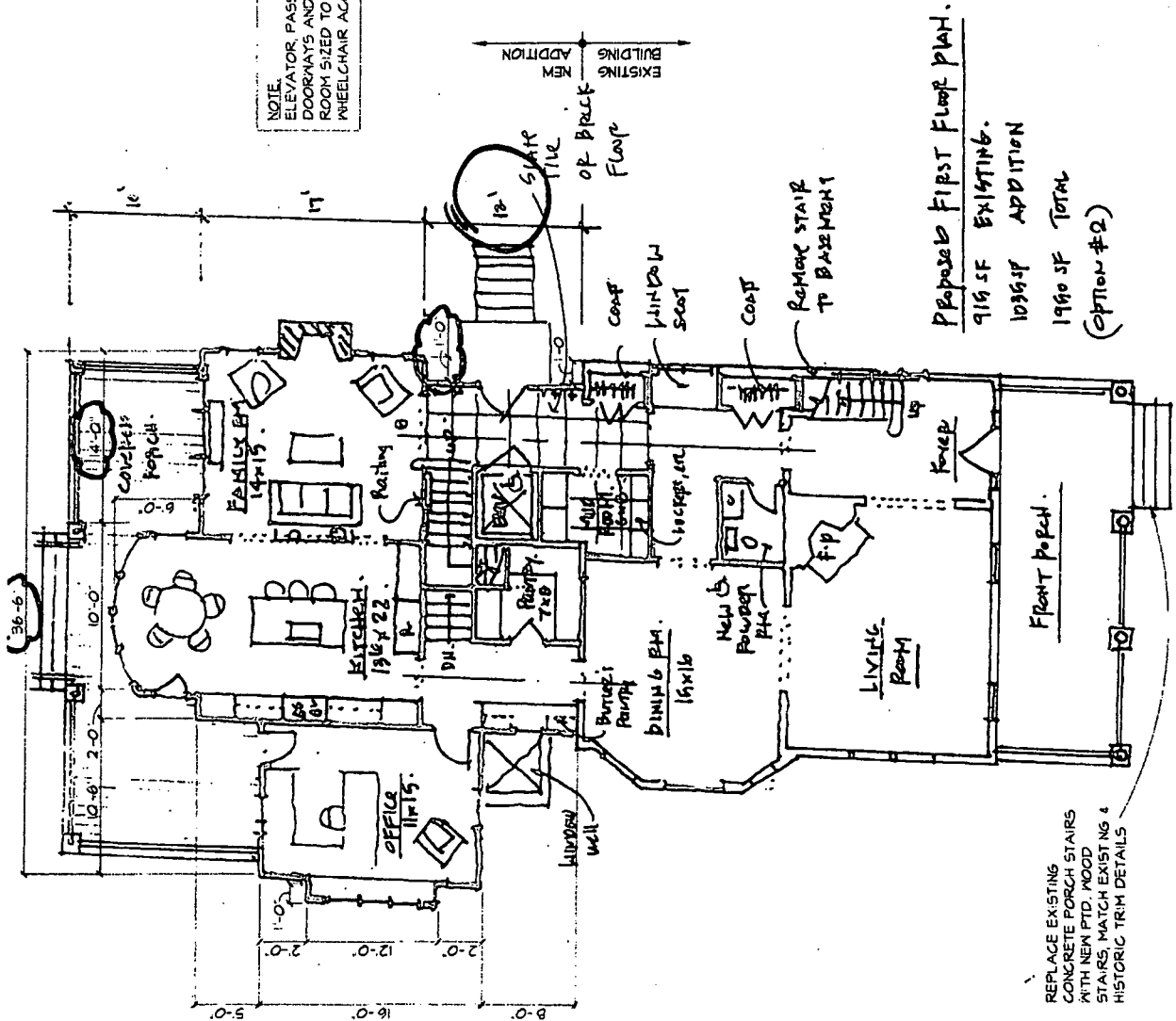
3923 WASHINGTON ST. KENSINGTON, MD
 COPYRIGHT 2012, GTM ARCHITECTS, INC.

7735 OLD GEORGETOWN RD, SUITE 700
 BETHESDA, MD 20814
 TEL: (240) 333-2000
 FAX: (240) 333-2001



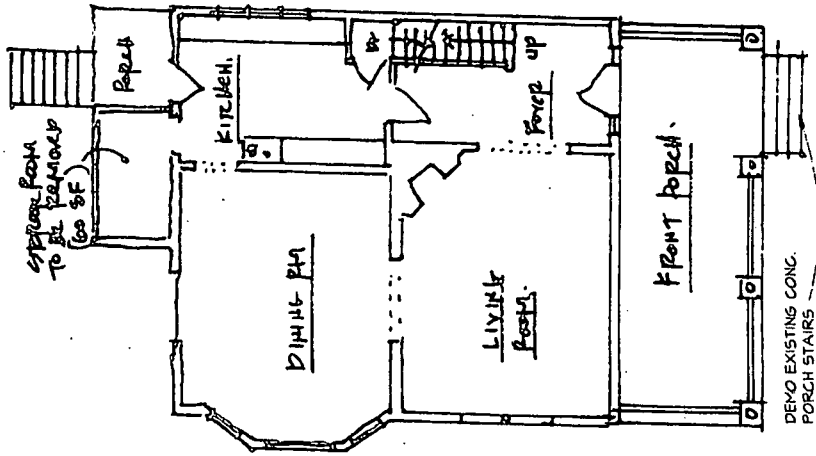
APPROVED

NOTE:
 ELEVATOR, PASSAGENAYS,
 DOORWAYS AND POWDER
 ROOM SIZED TO BE
 WHEELCHAIR ACCESSIBLE



PROPOSED FIRST FLOOR PLAN.
 916 SF EXISTING.
 1036 SF ADDITION
 1960 SF TOTAL
 (OPTION #2)

REPLACE EXISTING
 CONCRETE PORCH STAIRS
 WITH NEW PTD. WOOD
 STAIRS. MATCH EXISTING 4
 HISTORIC TRIM DETAILS



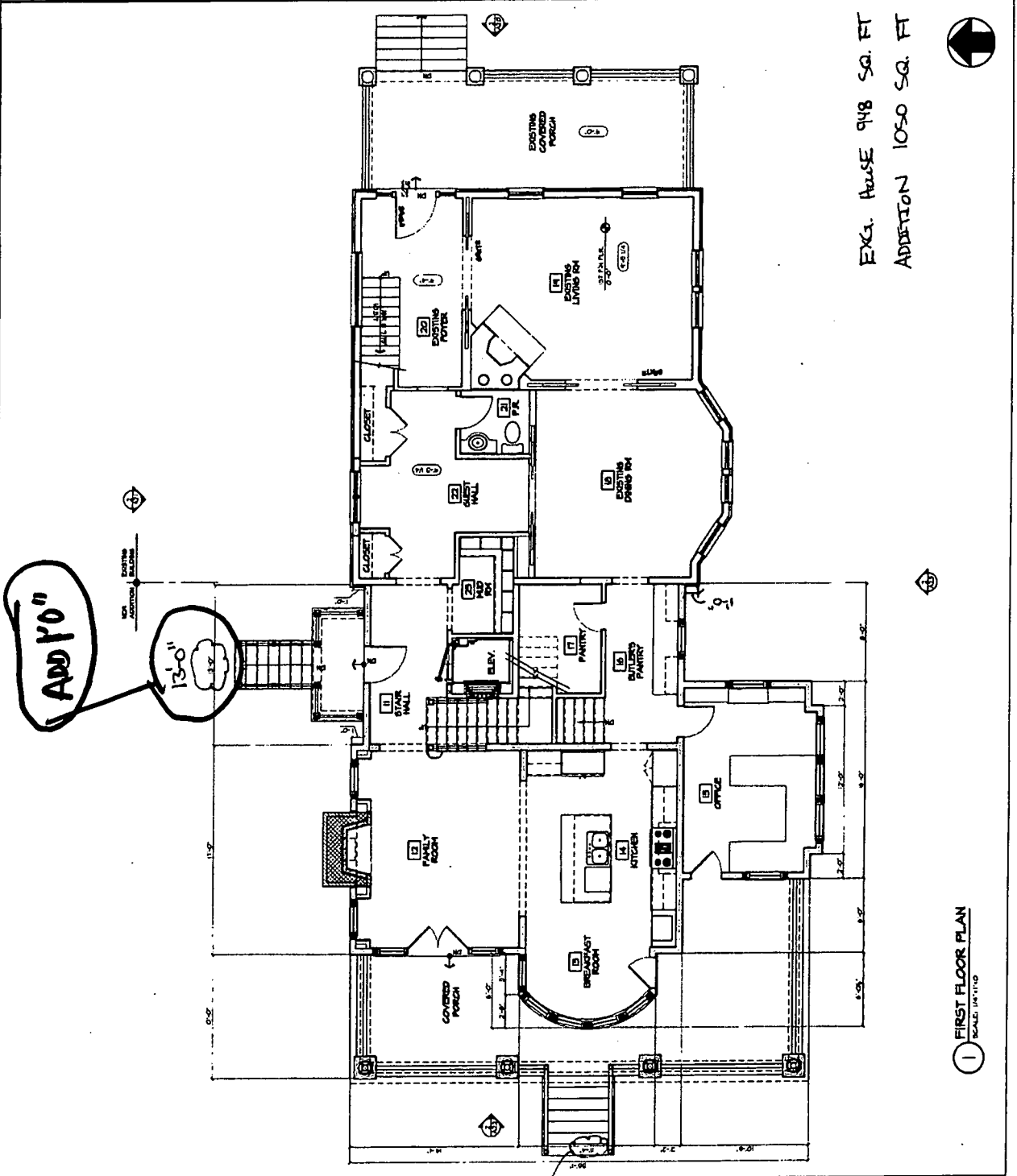
EXISTING FIRST FLOOR.
 975 SF EXISTING.



GYM PROFESSIONAL ARCHITECTS 3423 WASHINGTON STREET KENNINGTON, MD 20845 FIRST FLOOR PLAN	ECKERT RESIDENCE		INFORMATION PROJECT NO. 04-01-3 DATE:	SCALE: 1/8" = 1'-0" DATE: 11/16/11	PROJECT NO. AS NOTED DRAWING NO. A1.1
	3423 WASHINGTON STREET KENNINGTON, MD 20845 FIRST FLOOR PLAN			SCALE: AS NOTED	PROJECT NO. AS NOTED DRAWING NO. A1.1

REVISED

<p> WALL TYPES TYPICAL EXTERIOR WALL: 2x8 FLOOR STUDS @ 16" O.C. AT 4'-0" INTERVALS & 1" VAPOR BARRIER. INTERIOR WALLS: 5/8" GYPSUM BOARD ON 2x4 STUDS @ 16" O.C. SEE SECTIONS THROUGH WALLS TO BE SHOWN ON (7). </p>



EXG. HOUSE 948 SQ. FT
 ADDITION 1050 SQ. FT



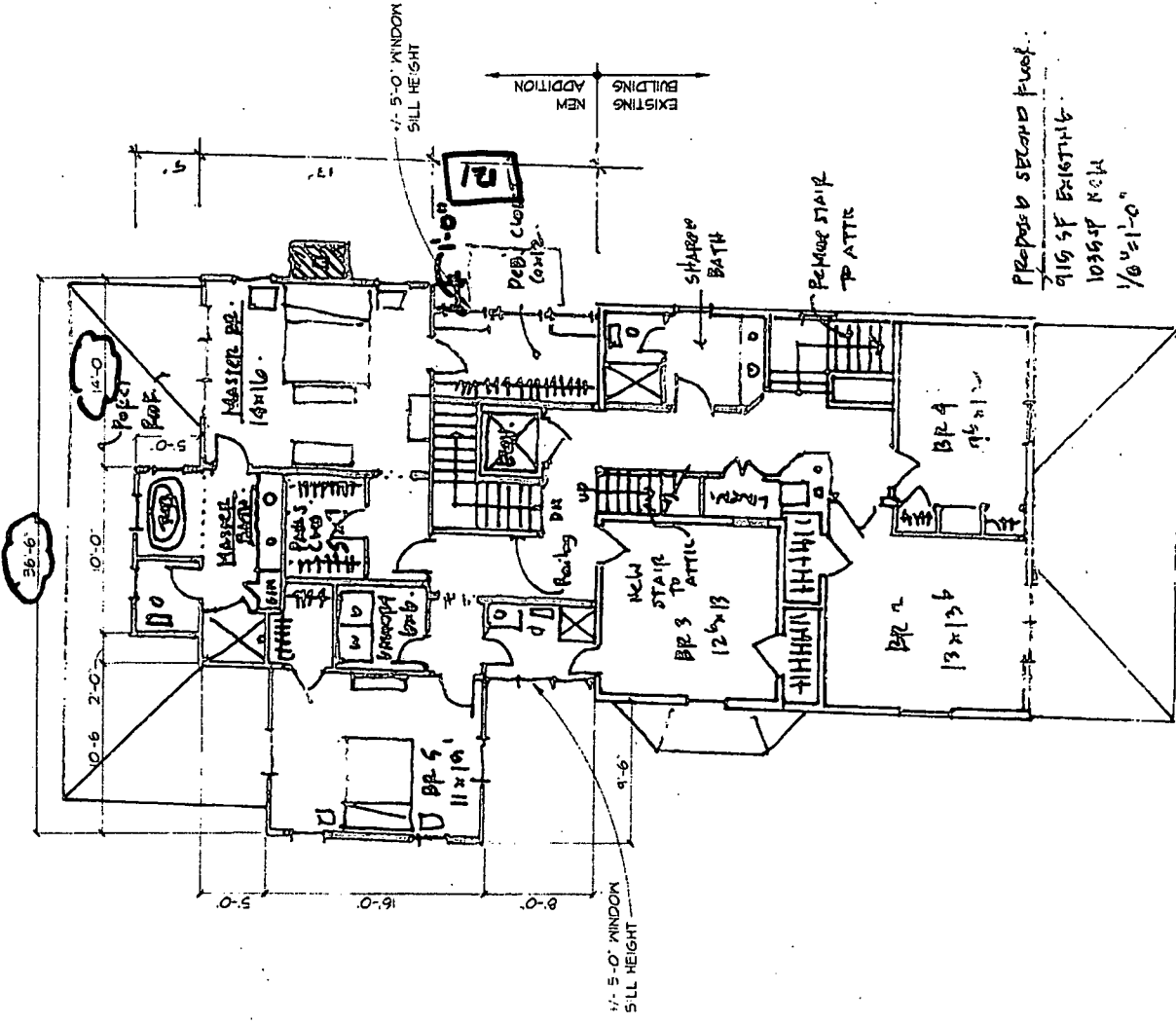
1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



G T M
 7735 OLD GEORGETOWN RD, SUITE 700
 BETHESDA, MD 20814
 TEL: (240) 333-2000
 FAX: (240) 333-2001

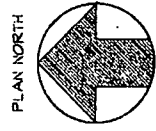
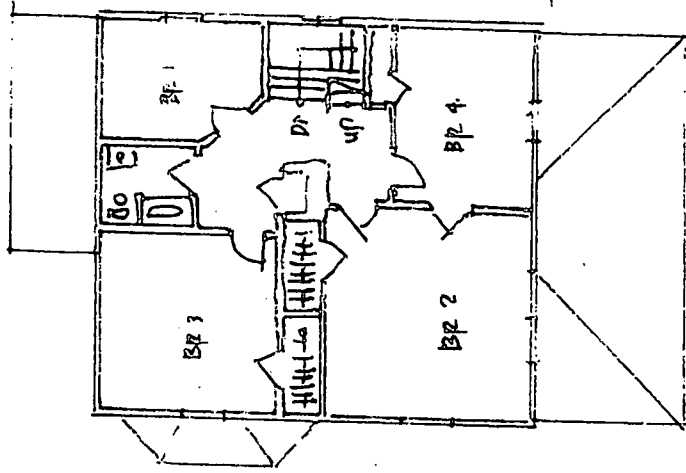
ECKERT RESIDENCE
 3923 WASHINGTON ST. KENNINGTON, MD
 COPYRIGHT 2012, GTM ARCHITECTS, INC

APPROVED



EXISTING BUILDING
 NEW ADDITION

PROPOSED SECOND FLOOR
 915 SF EXISTING
 1036 SF NEW
 1/8" = 1'-0"



EXISTING SECOND FLOOR
 915 SF ±



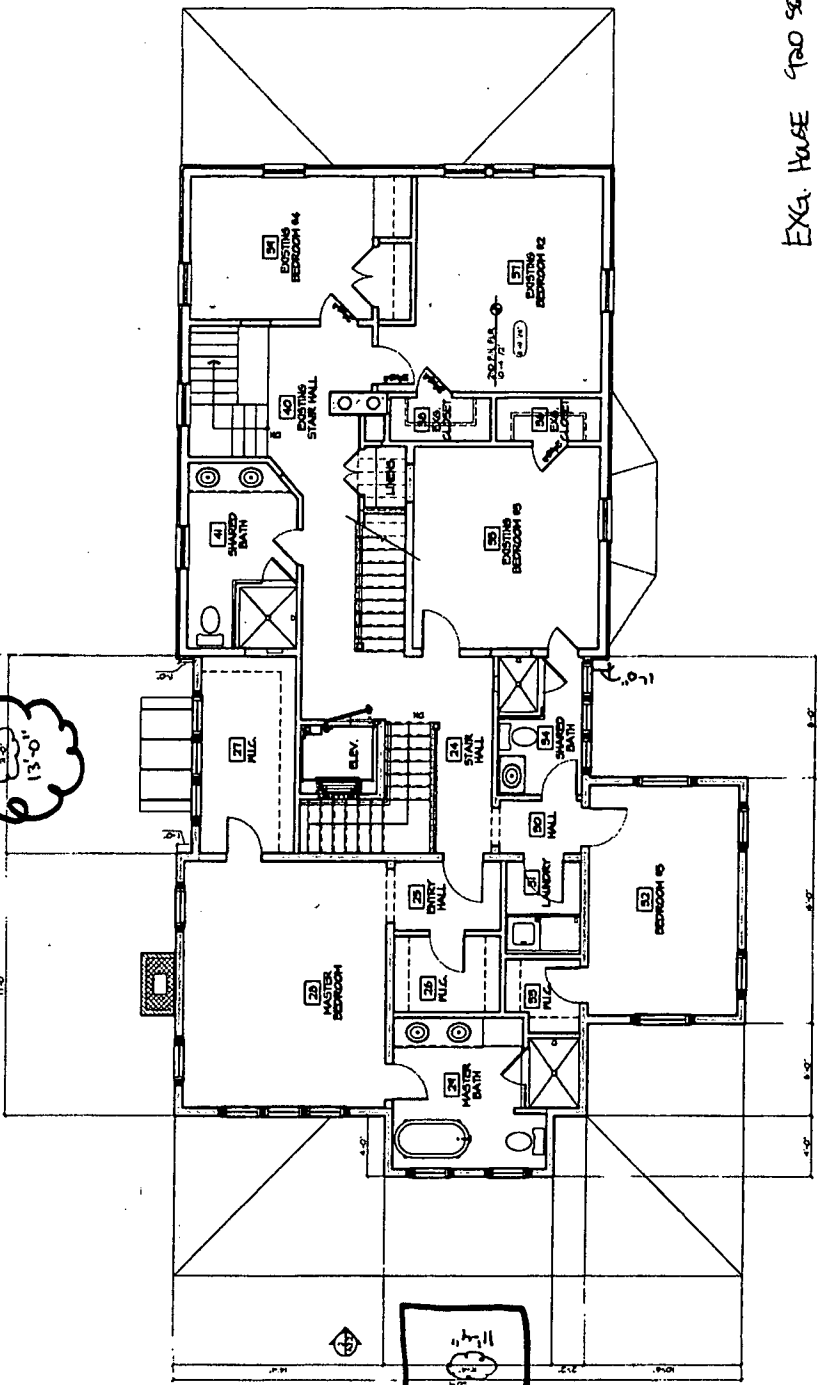
STN 1113 THE OLD CONSTRUCTION ROAD FORT WASHINGTON, PA 19040 (610) 271-3300 (610) 271-1113	3923 WASHINGTON STREET KENSINGTON, MD 20845 SECOND FLOOR PLAN	ECKERT RESIDENCE	REVISED 22 NOVEMBER 2006	DRAWN BY LEO CHECKED BY RY/STH DATE 08/10/06 PROJECT NO. CL0006 DRAWING NO. A1.2
---	---	--------------------------------------	-----------------------------	--

REVISED

WALL TYPES

TILE WALLS EXCEPT IN KITCHEN
 STUDS @ 16" O.C. w/ PAR INSULATION & VAPOR BARRIER
 1/2" GIBBONS TYPE-B GYPSUM BOARD
 SEE ELEVATIONS INTERIOR FINISH TO BE 017 (S2) (21)

ADD 1'0"



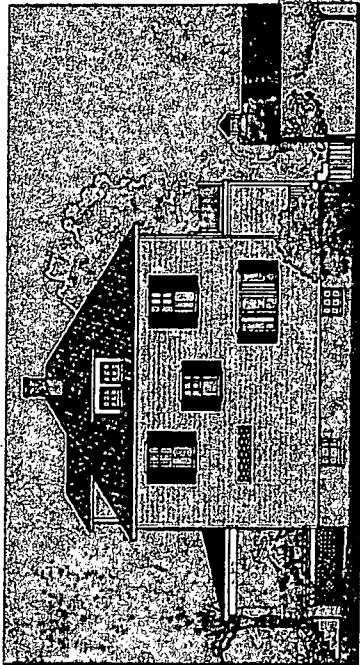
EXG. HOUSE 920 SQ. FT.
 ADDITION 1027 SQ. FT.



1 SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

APPROVED

FOR ENTIRE HOUSE:
 DEMO EXISTING METAL SIDING AND TRIM.
 INVESTIGATE & REPLICATE/RESTORE
 HISTORIC DETAILS BENEATH AS NECESSARY.
 NEW PTD. WOOD TRIM DETAILS TO MATCH
 EXISTING HISTORIC DETAILS.



EXISTING RIGHT SIDE ELEVATION

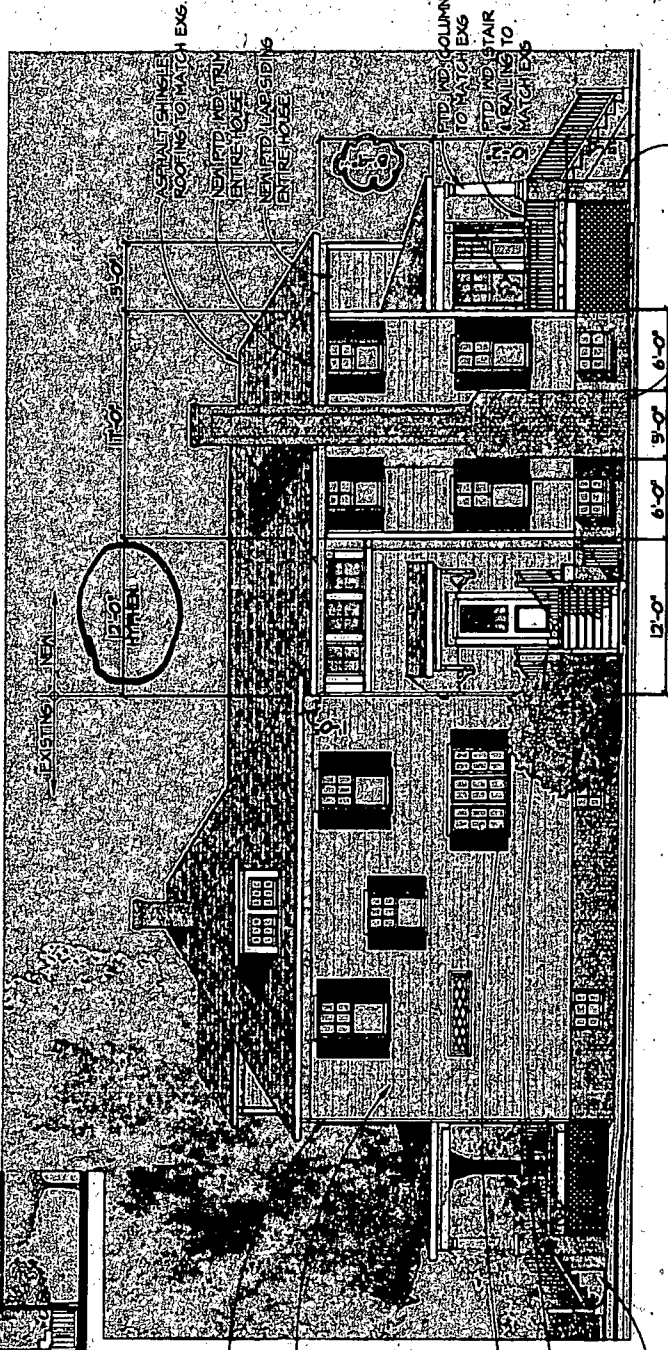
NEW PTD. WD. TRIM TO REPLACE
 EXG. MTL. TRIM, ENTIRE HOUSE

NEW PTD. LAP SIDING TO REPLACE
 EXG. MTL. SIDING, ENTIRE HOUSE

REPLACE EXG. KITCHEN WINDOWS W/
 HISTORICALLY ACCURATE PTD. WOOD
 DIVIDED LIGHT WINDOWS TO MATCH EXG.

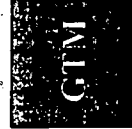
PTD. WD. STAIRS & RAILING
 TO MATCH EXISTING

REPLACE EXISTING CONCRETE
 PORCH STAIRS WITH NEW PTD.
 WOOD STAIRS, MATCH EXISTING
 & HISTORIC TRIM DETAILS



PROPOSED RIGHT SIDE ELEVATION

BRICK FOUND
 & PIERS TO
 MATCH EXG.



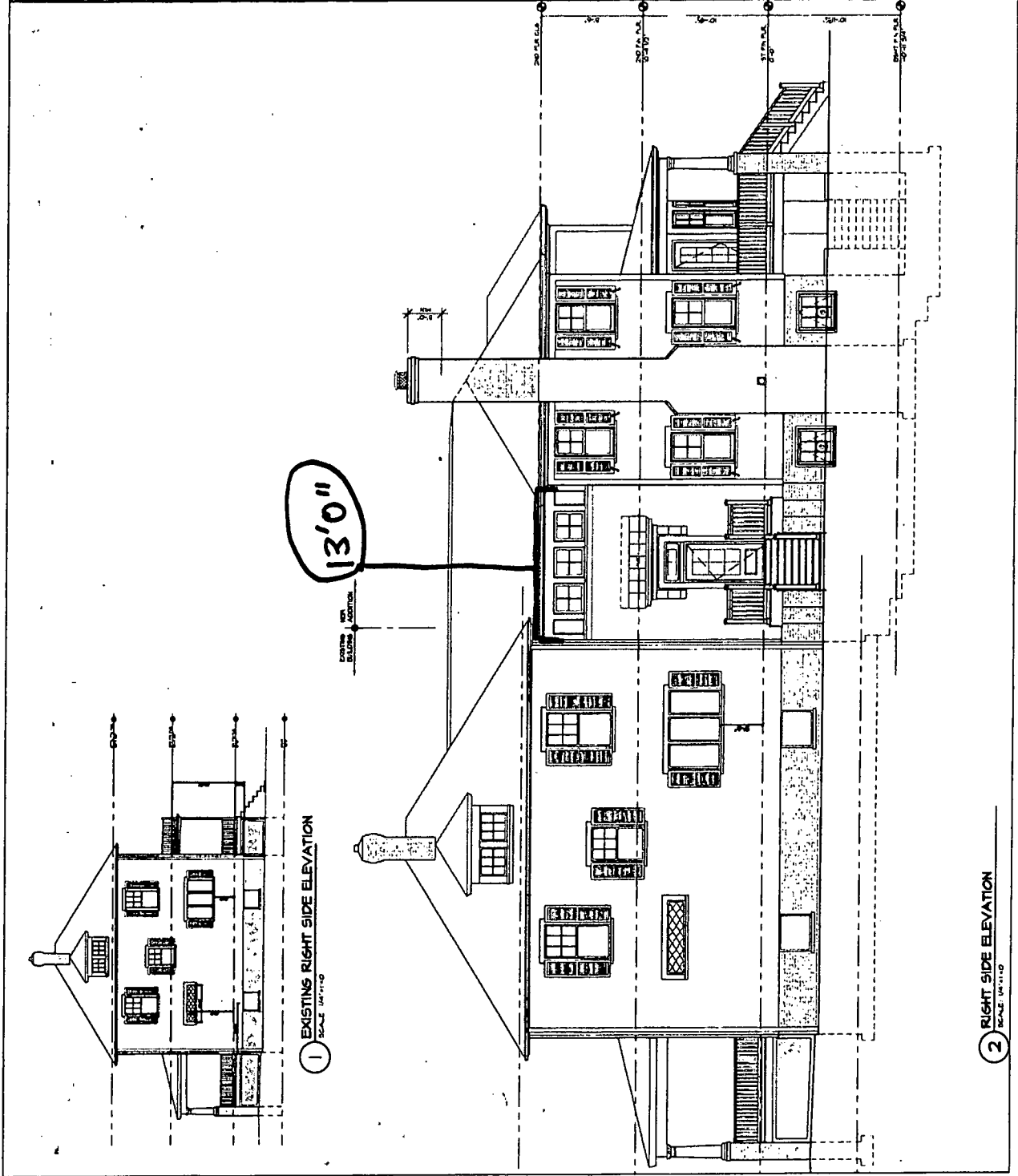
ECKERT RESIDENCE - HPC MEETING 04/10/2013 - HAWP APPLICATION

GTM ARCHITECTS

3823 WASHINGTON ST. KENSINGTON, MD · OCT 03, 2012 · REV MARCH 20, 2013 #12.0308 COPYRIGHT 2011, GTM ARCHITECTS, INC. 7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 · TEL: (240) 333-2000 · FAX: (240) 333-2001

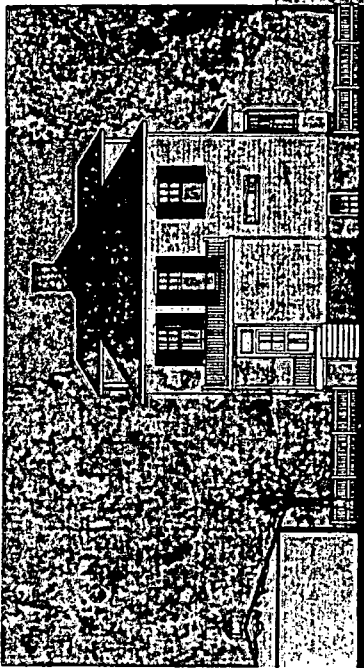
6/13/11 G.T.H. FREDERICK COUNTY ARCHITECTURE BOARD 1010 W. MARKET STREET, SUITE 201 FREDERICK, MD 21701 PHONE: 301-241-1111 FAX: 301-241-1112	3423 WASHINGTON STREET KENSINGTON, MD 20845 RIGHT SIDE ELEVATIONS	ECKERT RESIDENCE	PROJECT NO. 04-10-10 DATE: 04-10-10 DRAWN BY: LJO CHECKED BY: RYASTH SCALE: AS NOTED PROJECT NO. 04-10-10 DRAWN BY: LJO	A2.1
	INFORMATION: DO NOT SCALE DRAWING SCALE: AS NOTED			

REVISED

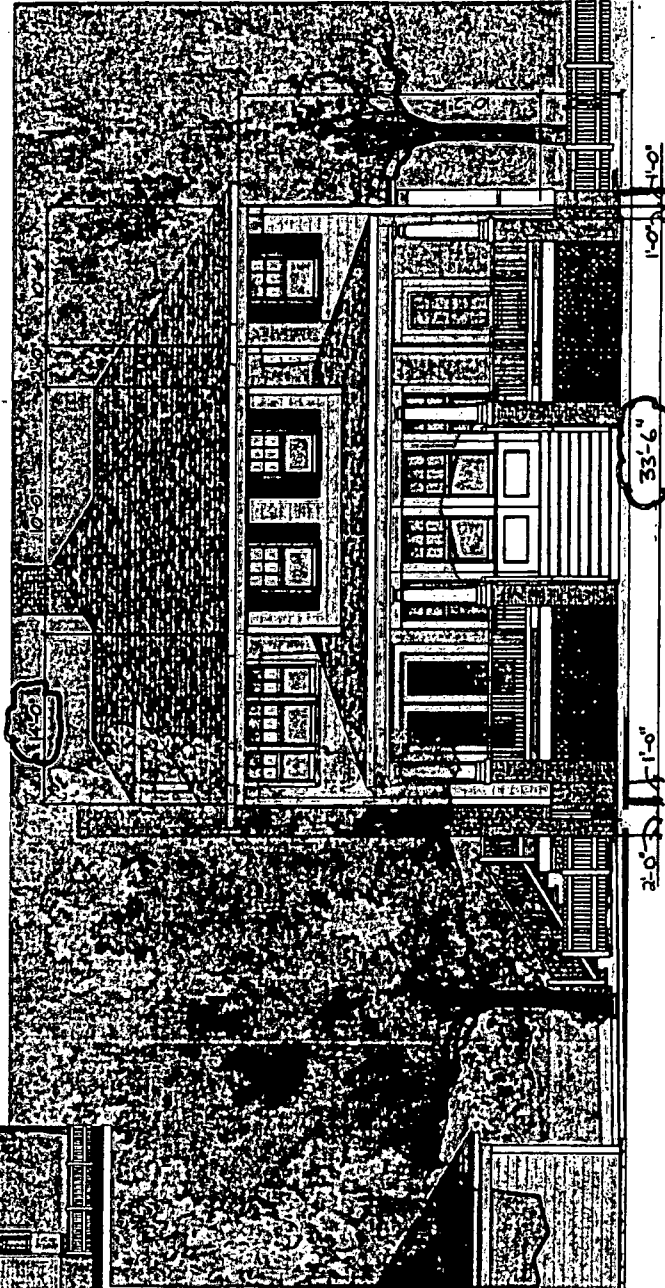


APPROVED

FOR ENTIRE HOUSE.
DEMO EXISTING METAL SIDING AND TRIM.
INVESTIGATE & REPLICATE/RESTORE
HISTORIC DETAILS BENEATH AS NECESSARY.
NEW PTD. WOOD TRIM DETAILS TO MATCH
EXISTING HISTORIC DETAILS.



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

GTM

ECKERT RESIDENCE - HPC MEETING 04/10/2013 - HAWP APPLICATION

3923 WASHINGTON ST. KENSINGTON, MD OCT 03, 2012 REV MARCH 20, 2013 #12.0308

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7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001

G T M A R C H I T E C T S

BTM
PRO OLD CONSTRUCTION BOARD
3000 W. WASHINGTON AVENUE
ANNAPOLIS, MD 21403
PH: 410-291-1111
FAX: 410-291-1112

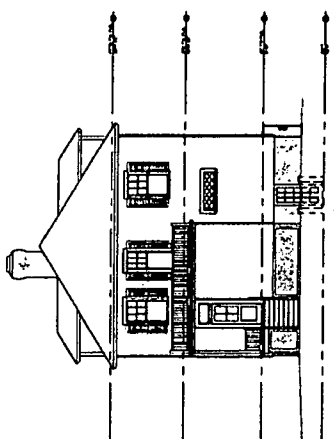
REAR ELEVATIONS
3423 WASHINGTON STREET
KENSINGTON, MD 20845

ECKERT RESIDENCE

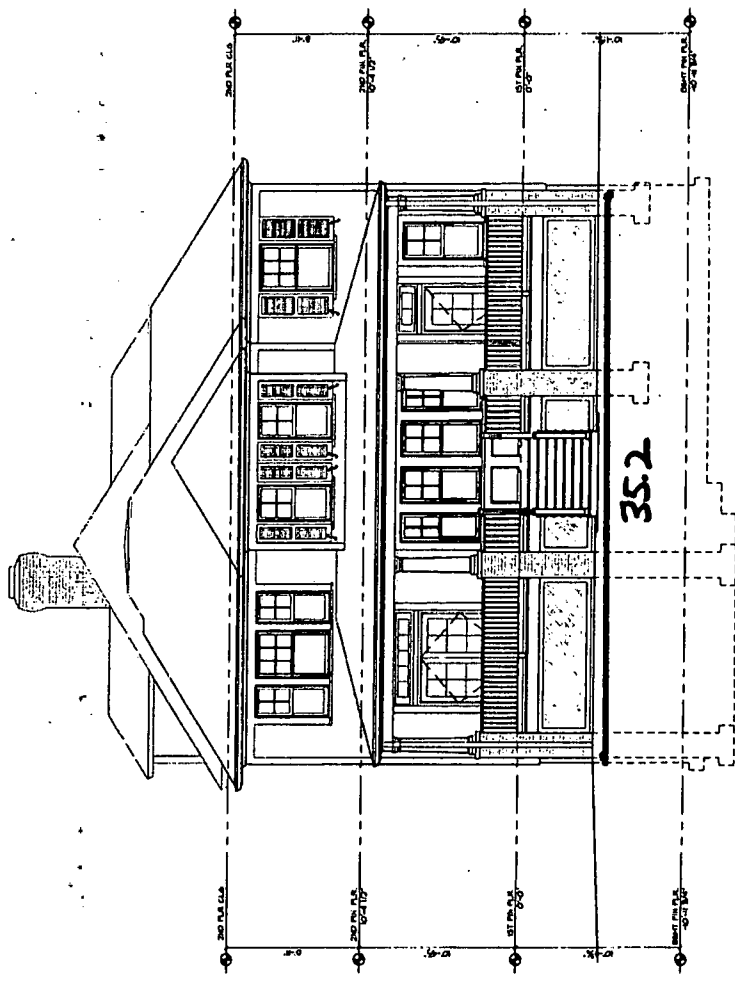
REVISIONS
NO. DESCRIPTION DATE BY
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2. 02 2008/08/15
3. 03 2008/08/15
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100. 100 2008/08/15

A2.2

REVISED



1 EXISTING REAR ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

MEMO

To: Historic Preservation Staff

From: Kensington Local Advisory Panel

Date: April 8, 2013

Re: 3923 Washington Street, revised HAWP application

The Kensington Local Advisory Panel met with architect George Myers on March 26 to discuss revisions to the HAWP application for 3923 Washington Street. All four LAP members were present. The following comments summarize our discussion and conclusions:

- George walked us through changes made to accommodate concerns expressed by the LAP and some HPC commissioners at the previous hearing in February. He also explained why certain suggested changes were not desirable from the architect's and the owners' perspectives and were therefore not incorporated in the design.
- LAP members expressed uniform approval of the lowered roofline, which does help to reduce the massing of the addition and which now better defers to the historic house. The slightly reduced footprint further helps to reduce the relative impact of the addition.
- LAP members expressed appreciation that George took the time to discuss the revised project with us. We continued our discussion after George left. There was general appreciation for the owners' willingness to work with their architect to accommodate expressed concerns.
- There remained some concern that the addition is so substantial in size as to be controversial for its impact on the historic resource and on the historic district. It was acknowledged that there are other historic properties in the historic district that have large additions as well as some newer infill houses that obscure the relative significance of adjacent historic homes, which can give the impression of irregular application of historic preservation standards in the Kensington historic district. We discussed how and why additions that are relatively large and impacting on the historic district have gained approval at different times during the history of the town and have contributed to an uneven impression of how historic preservation has, and has not, been successfully carried out in Kensington.
- We discussed whether there might be additional means of reducing the impact, in this particular case, without compromising the many positive aspects of the design. One suggestion was to reduce the massing on the left side of the house by reducing the two-story projection to one story. Reducing the vertical massing could substantially help to preserve the visual flow of space around the house + addition, thereby further mitigating the impact of the addition on the original structure and better preserving the relationship of the original house to the streetscape.
- Three members voted to approve the current proposal and one voted against. We agreed that this report would convey those lingering concerns that were discussed at our meeting to the HPC for its consideration in its deliberations.
- We reiterate that we understand and respect the owners' needs and constraints related to accessibility. Those needs must, together with the impact of the addition as a whole, be balanced with the fact that this historic resource will remain, for many more decades, as an important contributing resource in Kensington's historic garden suburb. The relationship of all

MEMO

houses in the historic district to the landscape they inhabit and to one another is paramount, as described in the Vision of Kensington guidelines. This is particularly true of primary-one resources.

- We appreciate and commend the extent to which the owners and their architect have devoted attention and resources to restoring original historic features, for locating the new garage toward the back corner so as to allow a greater flow of space around the house and its addition, and for designing the additions in a compatible style with careful attention to detail and materials.

Respectfully submitted,

Helen Wilkes

on behalf of the Kensington LAP

Mayor Peter C. Fosselman

Council Member Mackie Barch
Council Member Tracey Furman



Council Member Sean McMullen
Council Member John Thompson

January 16, 2013

Ms. Leslie Miles, Chair
Historic Preservation Commission
8787 Georgia Avenue
Silver Spring MD 20910

Re: HAWP - 3904 Washington Street, Kensington

Dear Madam Chair:

Please accept this letter on behalf of the Kensington Town Council in support of Al and Barrie Carr and their effort to obtain a HAWP for a four (4) foot high wooden fence for the property located at 3904 Washington Street.

The Carrs request for the fence is directly related to the recent extension of the Connecticut Avenue sidewalk between Saul Road and Washington Street, in which, the Carrs side lot is now exposed to a substantial grade variance. Considering the safety concerns, the State Highway Administration has agreed to put in place the fence, subject to the Historic Preservation Commission's approval.

Mr. Carr presented the proposed fence to the Town Council at our January 14, 2013 Council Meeting, where the Council reviewed the plans and opened the project up for public comment. Following no public objection, and considering the safety risks involved, the Council concurred unanimously to support the Carrs fence.

The Kensington Town Council fully supports the construction of a four (4) foot high wooden fence at 3904 Washington Street.

Sincerely,

A handwritten signature in black ink, appearing to read "Peter C. Fosselman", written over a horizontal line.

Peter C. Fosselman

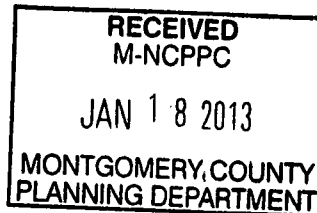
Cc: Mayor and Town Council
Al and Barrie Carr



LONG & FOSTER® REAL ESTATE, INC.
 PROSPERITY MORTGAGE® COMPANY
 LONG & FOSTER® SETTLEMENT SERVICES
 LONG & FOSTER® INSURANCE

BETHESDA GATEWAY OFFICE

4650 East West Highway
 Bethesda, Maryland 20814
 Office: 301-907-7600
 Fax: 301-907-6610



Headquarters
 14501 George Carter Way
 Chantilly, VA 20151
 703-653-8500
 www.longandfoster.com

January 17, 2013

Planning Department
 M-NCPPC
 8787 Georgia Ave.
 Silver Spring, MD 20910

Dear Sir/Madam:

I am writing in support of an application for an Historic Area Work Permit for the property located at 3923 Washington Street, owned by Paul and Deborah Eckert. Prior to purchasing this property the Eckerts sought out my opinion regarding the house and the Kensington Historic District. I am in a unique position to offer advice about both subjects given my 34 year career as a real estate agent, and as a long time board member of the Kensington Historical Society. My wife and I are honored to be a part of the Kensington community and we are both deeply committed to it as well.

When Paul and Deborah decided to purchase a new home they wanted it to be in the Kensington Historic District. Indeed, they saw themselves as making a serious and long term commitment of stewardship to the community and to the architectural integrity of the home they would eventually purchase. Having been involved in the transfer of numerous historic properties in Kensington, it is my experience that all of them have been in rather poor to dismal condition. The people who purchased these properties have dedicated significant personal and financial resources to the restoration and enlargement of the original structure and hence these same people have added immeasurably to the larger Kensington community. It is my opinion that the Eckerts are representative of that group of people who work to keep the Kensington community vital and growing. I would like to add that most of the prospective purchasers I meet are looking for homes that do not require the commitment of tears, sweat and funds to bring a house to "modern" sensibilities.

One of the many qualities that I have always admired about Kensington is the eclectic mix of housing stock and styles. A tour of the Town of Kensington will quickly reveal spacious and grand structures carefully and artfully crafted in the Queen Anne, Georgian and Four Square styles to name a few. One will quickly notice modest bungalows nestled amongst these larger homes and, of course, there is everything in between. This diverse housing stock allows for a mix of people of different socio-economic backgrounds who live graciously with each other, side-by-side.

It is my hope that you will favorably review and approve said Historic Area Work Permit so that the community can retain a family that will continue to enhance and foster the Kensington community. I also advise that said approval will help to ensure that in the future families and individuals with the resources and commitment similar to that evidenced by the Eckerts, will want to make the Kensington Historic District the place they call home. Conversely not to approve this gracious project will send a "chilling" message to those future buyers.

Sincerely,

Gary H. Ditto

Worldwide Connections



I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Dan Bragg
Cindy Bragg


Signature

[Handwritten signature]
Cindy Bragg

Address

3924 Prospect St

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
Neil Stablow		3912 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Maureen O'Connell

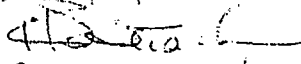
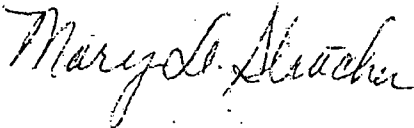
Signature

Maureen A O'Connell

Address

3915 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
RICHARD B STRACHAN		3925 Washington St
Mary D. Strachan		20895 "

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Lou Knecht

Signature

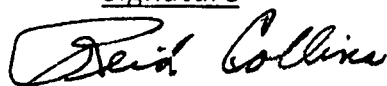
Lou Knecht

Address

3919 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name
REID COLLINS

Signature


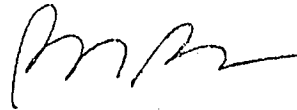
Address
3926 WASHINGTON ST
KENSINGTON, MD 20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Brooks & Peter Kenny

Signature



Address

3922 Washington St

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Michele Strachan

Signature

Michele Strachan

Address

3924 Washington
St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Bonnie Carr

Signature

Bonnie Carr

Address

3904 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Michael Ahlman

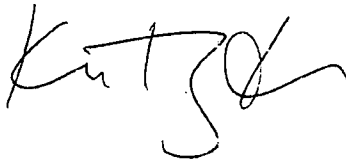
A handwritten signature in black ink, appearing to read "Michael Ahlman". The signature is stylized with a large, circular initial "M" and a long, sweeping horizontal stroke at the end.

3905 Washington st.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
Margaret Fitz Patrick	Margaret FitzPatrick	3913 Washington St Kens. M.D.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

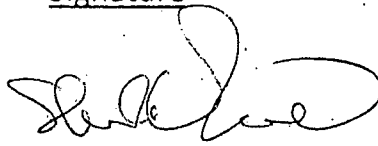
<u>Name</u>	<u>Signature</u>	<u>Address</u>
Karin Averbek		3914 Washington St Kensington, MD 20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Sheila Donnell

Signature



Address

3916
Washington St
Kensington MD
20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Michelle Noyes

M Noyes

3928 Washington St

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Jodi Laugo



3932 WASHINGTON ST

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

CHRIS BRUCH



3936 WASHINGTON STREET.

Ranelle Bruch



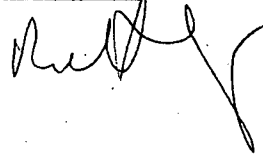
3936 Washington St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Brett Bagshaw

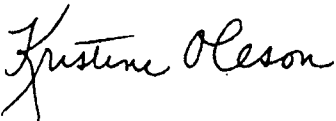
Signature



Address

3947 Baltimore St.
Kens. MD 20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
Kristine Oleson		3948 Baltimore St.

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

Signature

Address

Katie and Kieran O'Shea

K O'Shea

3951 Baltimore St
Kensington MD
20895

I am a neighbor of the Eckert family at 3923 Washington Street, in Kensington, Maryland. I have reviewed the application they filed with the Montgomery County Historic Preservation Commission, scheduled for review January 23, 2013, and support their plans to restore, renovate and expand their residence as proposed.

Name

BERTINA LYNN

Signature



Address

3908 Prospect St.
Kensington, MD

Mayor Peter C. Fosselman

**Council Member Mackie Barch
Council Member Tracey Furman**



**Council Member Sean McMullen
Council Member John Thompson**

January 16, 2013

Ms. Leslie Miles, Chair
Historic Preservation Commission
8787 Georgia Avenue
Silver Spring MD 20910

Re: Preliminary Consultation - 3923 Washington Street, Kensington

Dear Madam Chair:

Please accept this letter on behalf of the Kensington Town Council in support of Paul and Deborah Eckert and their efforts to obtain a HAWP for a two-story addition, along with the demolition and construction of a new garage for the property located at 3923 Washington Street.

Mr. Eckert presented the proposed plans to the Town Council at our January 14, 2013 Council Meeting, in which, the Council reviewed the plans and opened the project up for public comment. Following no public objections, and support from the adjacent neighbors, the Council concurred unanimously to support the Eckerts undertaking before the Historic Preservation Commission.

The Eckerts have been working judiciously with their architect, Luke Olson, along with consulting various Kensington Residents, to uphold the charm and standards of Kensington's Historic District. The Town Council believes that the Eckerts, along with Mr. Olson, will acknowledge the HPC's recommendations and allow for their new additions to seamlessly blend into the existing ambiance of the Town.

Sincerely,

A handwritten signature in black ink, appearing to read "P. Fosselman", written in a cursive style.

Peter C. Fosselman

Cc: Mayor and Town Council
Paul and Deborah Eckert

Silver, Joshua

From: Luke Olson <lolson@GTMarchitects.com>
Sent: Wednesday, January 23, 2013 10:37 AM
To: Silver, Joshua
Cc: Paul.Eckert@wilmerhale.com; deborahanneckert@yahoo.com
Subject: RE: 12.0468 Guilder HAWP applicaticn
Attachments: 12.0306 Eckert HAWP concept_2013-01-23.pdf

Josh,

I've attached an option for the Eckert Residence HAWP application that we would like you opinion on. Paul and Deborah have decided to forego the Mudroom and add glazing to the Second floor to help the hyphen read more as a visual break between the existing house and the addition. Given this option, would you be able to provide us with a favorable staff report to bring to the commission on February 13th? I think we can both agree that Paul and Deborah have conceded a lot in this latest design, and are really working to find a solution that is suitable for everyone. If, for some reason, you are unable to approve of this design, I think it best if we just go forward with the original submission.

I was also hoping you could clarify if I needed to submit an additional HAWP application for this project today, or if I had until Friday to submit. Please feel free to call with any additional questions or comments. Thanks and I look forward to hearing from you.

Luke Olson
GTMARCHITECTS
240-333-2021 direct
240-333-2001 fax

From: Silver, Joshua [<mailto:Joshua.Silver@montgomeryplanning.org>]
Sent: Wednesday, January 23, 2013 9:33 AM
To: Luke Olson
Cc: George Myers; jguilder@gmail.com; samanthaguilder@gmail.com
Subject: RE: 12.0468 Guilder HAWP application

Hi Luke,

I very quickly reviewed the plans and it appears the project can be considered as a HAWP. I will review the plans more closely and follow up with any questions.

Josh

From: Luke Olson [<mailto:lolson@GTMarchitects.com>]
Sent: Monday, January 21, 2013 10:46 AM
To: Silver, Joshua; ccvpermitting@montgomerycountymd.gov
Cc: George Myers; jguilder@gmail.com; samanthaguilder@gmail.com
Subject: 12.0468 Guilder HAWP application

Josh and Ellen,

Attached is the package we plan on submitting this Wednesday with our HAWP application for your review and comment.

Josh, could you please look this over and let us know if 1.) in your opinion is this a HAWP application and 2.) there are any additional comments, material notes, site conditions etc. that you think I need to address in the application package. I'll be working on the application itself this afternoon and will forward it along once completed.

Ellen, thanks for the preliminary review and comments. I've added notes to the package regarding the tree and the garage, both of which are to remain. Lot coverage is +/-21% including all decks/porches and the garage sf. Do we need to include the lot coverage form with the HAWP application or is that for the building permit? Similar to the lot coverage, we need to provide a stormwater management plan for the building permit application, correct? Would you like it to be referenced in the HAWP application? I've attached a plat for your reference as requested. We will include it with the application package.

Thanks again, and please feel free to call or email with any comments or questions.

Luke Olson

Project Coordinator

GTMARCHITECTS

7735 Old Georgetown Road

Suite 700

Bethesda, MD 20814

240-333-2021 direct

240-333-2001 fax

<mailto:lolson@gtmarchitects.com>

www.gtmarchitects.com

Silver, Joshua

From: Eckert, Paul <Paul.Eckert@wilmerhale.com>
Sent: Thursday, February 14, 2013 9:45 AM
To: Silver, Joshua
Cc: Eckert, Paul
Subject: 3923 Washington Street, Kensington

Josh,

Three requests for the HPC staff concerning our application.

1. Would you please send me a list of the members of the Kensington LAP? Neither the Mayor (Pete Fosselman) nor the Town of Kensington office had any record of an active LAP and was unable to provide it to us.
2. Also would you or your manager please let me know as soon as a definitive decision is reached by the Commission as to whether it will consider Helen Wilkes' comments that were putatively made in the name of the LAP. I specifically request notice of the decision sufficiently in advance of the next meeting so that we can consider it and evaluate next steps with our counsel.
3. I request that each of the Commissioners state for the public record at or before the next meeting whether they have had any ex parte communications with Paul or Deborah Eckert (the applicants), Ms. Wilkes, or Ms. O'Malley since the date of our preliminary hearing. I would ask that they also specifically identify any communications to or from any individual at my law firm, Wilmer Cutler Pickering Hale and Dorr LLP, in which I am an equity partner.

Thanks.

Paul Eckert

Paul R. Eckert | Wilmer Cutler Pickering Hale and Dorr LLP
1875 Pennsylvania Avenue NW
Washington, DC 20006 USA
+1 202 663 6537 (t)
+1 202 663 6363 (f)
paul.eckert@wilmerhale.com

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For more information about WilmerHale, please visit us at <http://www.wilmerhale.com>.

Silver, Joshua

From: Julie O'Malley <julie@omalleyfamily.com>
Sent: Wednesday, February 13, 2013 4:54 PM
To: Manarolla, Kevin; Silver, Joshua
Subject: 3923 Washington Street

Dear Historic Commission Members:

I would like to emphasize some of the comments made by staff Josh Silver in his staff report on 3923 Washington Street.

Staff quotes the *Vision of Kensington* that in this historic core of the District "...it is important to preserve these patterns of open space, front yard setbacks, building scale, architectural character, and the streetscape qualities."

18.3 An addition should be compatible in scale with the primary structure. An addition should relate to the historic house in mass, scale and form. It should be designed to be subordinate to the main structure. (My emphasis added.)

It seems that this addition is not subordinate. It is in fact larger than the historic original. The applicants have an addition which is equal to the historic homes 975 square feet and that has an additional 200 square feet. When viewed from the street, the height of the extension to the left adds to the overall visual massing of the addition. I cannot tell from the drawings but I assume the left side of the building is the required 10 feet from the property line as required in Kensington?

The addition still needs to be smaller than the original historic resource.

The rear roofed porch and grand staircase do not seem to be compatible with the design of the house or the size of the property.

It is very commendable that the owner wants to restore the original siding. He should be made aware of all available tax credits.

Sincerely,

Julia O'Malley

Past Chair of the Historic Preservation Commission

I would like to add that the Town's review did not include any discussion as to the appropriateness of the size and scale in relation to the Historic District. They did not discuss the *Vision of Kensington*. In fact the mayor replied when questioned previously that they do not use any guidelines when reviewing HAWPS.

I also have to comment that when letters of endorsement are solicited from neighbors I have been told on many occasions that the neighbors feel obligated to approve of them and often are not aware of any guidelines that need to be followed.

Paul & Deborah Eckert
3923 Washington Street
Kensington, Maryland 20895

February 13, 2013

Historic Preservation Commission
Montgomery County Maryland
8787 Georgia Avenue
Silver Spring, Maryland 20910

Re: 3923 Washington Street, Kensington, Maryland

To Whom It May Concern:

We received just this afternoon – hours before our hearing – a copy of a letter purporting to come from the Kensington Local Advisory Panel, though issued solely in the name of Helen Crettier Wilkes. We understand that she had previously submitted comments about our property in October 2012 under the name of the LAP, though we were not provided a copy of that letter until last month. That letter was also submitted to the Commission on the afternoon of our preliminary hearing, giving us no notice or opportunity to respond. These letters are attached.

We are quite troubled by Ms. Wilkes letters, both in terms of their substance – this most recent letter, for example, raises several new objections not previously raised – but also because neither letter contained *any* disclosure that she was previously engaged to prepare a competing architectural plan for this very property. A copy of her previously commissioned plans are attached.

Rule 2.301 of the AIA Code of Ethics and Professional Standards requires that any architect involved in civic activities refrain from making public statements about matters for which they received compensation without making full disclosure about the relevant engagement.

Similarly, and without any exception for disclosure, the Montgomery County Public Ethics Law strictly prohibits any “public employee” – which has been construed to include citizens serving in a voluntary capacity on advisory boards and commissions – from participating in any matter involving a property in which that person had a financial interest. See Montgomery County Public Ethics Law Section 19A-11(a)(1)(A). Ms. Wilkes’ prior engagement unquestionably presents just such an interest without any resort to the more general appearance provisions.

As you can see from Ms. Wilkes’ plans for this property, she had proposed something quite different from our HAWP. Many of her comments purportedly made on behalf of the LAP are drawn directly from her prior commissioned work, such as:

Montgomery County Historic Preservation Commission

Page 2

1. She objected to our "doubling" the size of the original structure. Her competing plan proposed an addition of approximately 80% of the existing structure.
2. She objected to the appearance of the proposed rear-facing addition. Her competing plan proposed a windowless expanse interrupted only by a back door.
3. She recommended that the rear porch not be covered, and that it be replaced by a backyard deck. Her competing plan proposed an uncovered rear porch opening onto a backyard deck.

We did not like Ms. Wilkes' plans for the property, did not find her plans functional or aesthetically pleasing, and chose instead to work with a local architect with a solid track record of successful work in the Kensington Historic District. We hope that you will agree that, as between the two competing visions for the property that we purchased, ours is preferable on the merits.

More to the point, we ask that the Commission disregard the comments purporting to be from the LAP in light of their having been tainted by Ms. Wilkes' prior work and issued in violation of both AIA ethics rules and the Montgomery County Public Ethics Law. We plan to preserve this issue as a basis for appeal to the Board of Appeals should they be considered by the Commission.

We have included with our application a letter unanimously approved by the Kensington Town Council supporting our project, as well as 20 letters of support from our neighbors, including adjacent neighbors on every side of our property. There would be no deficit of local input from the Town of Kensington or our neighborhood were Ms. Wilkes' participation to be disallowed as required by the Code.

Sincerely,



Paul R. Eckert

Ex. 1

MEMO

To: Historic Preservation Staff
From: Helen Wilkes, Chair, Kensington LAP
Date: October 24, 2012

Re: Comments from the Kensington LAP

1. 10300 Fawcett Street:
 - a. No comments were received from other LAP members.
 - b. As the windows appear to be 1/1, it would seem that the Anderson replacements do not affect the appearance adversely.
 - c. Defer to HPC judgment re: appropriateness of materials composition of replacement windows.
2. 3923 Washington Street:
 - a. No comments were received from other LAP members.
 - b. Owners are to be commended for restoring original historic features to the house and for designing new additions in compatible style; for locating the proposed addition to the rear of the house; and for setting the new garage further back on the property, which promotes the flow of open space around the house.
 - c. General comment: As in at least one recent example of new construction in the Kensington HD, I'm concerned about what happens when an existing shed is torn down and the square footage of the footprint of the one-story shed becomes a "credit" toward the new lot coverage figure. It's not "apples to apples", as the same square footage is now extruded vertically into a two or three story structure and the visual impact of that same square footage is accordingly amplified. Tearing down a seemingly insignificant shed, if regarded strictly in terms of the numbers, helps to reduce the new lot coverage figure, but the visual impact of adding that same square footage to the total footprint of new additions is far greater. I hope that the HPC will take this into consideration not only in considering this project, but on all projects in Kensington, where diminution of Kensington's essential, character-defining historic garden park setting impacts not only the HAWP applicant's property, but the entire adjacent and surrounding historic setting.
 - d. Agree with staff comments regarding concerns about the size of the addition.
 - e. Garage:
 - i. No dimensions are shown to indicate difference in size between existing and new. Please ensure that all added square footage is reflected in new lot coverage figure. Note also that the existing garage is one story whereas the proposed is 1 1/2 stories, which, per note 2. c., has a greater impact on the "vertical footprint".
 - ii. Prefer that new garage doors reflect historic proportions to extent possible, such as compatible models offered by Designer Doors.
 - f. Deck: Stairs to ground level appear on site plan but not on floor plan.

Respectfully submitted,

Helen Wilkes

MEMO

To: Historic Preservation Staff

From: Helen Crettier Wilkes, Chairman, Kensington Local Advisory Panel

Date: February 13, 2013

Re: HAWP application for 3923 Washington Street

The Kensington Local Advisory Panel met on February 10 to discuss the HAWP application for 3923 Washington Street. The following comments summarize our conclusions:

- As stated in comments submitted for the previous preliminary consultation heard on October 24, 2012, we agree with staff comments regarding concerns about the size of the addition. However, we note that concerns about the size have not been resolved, so it remains as a concern, since the proposed addition more than doubles the size of the primary historic resource.
- We understand the owners' needs and constraints related to accessibility. Those needs must, however, be balanced with the fact that this historic resource is slated to remain, for many more decades, as an important contributing resource in Kensington's historic garden suburb. The relationship of houses all houses in the historic district to the landscape they inhabit is paramount, as described in the Vision of Kensington guidelines. This is particularly true of primary-one resources.
- The HPC's charge is to balance historic preservation concerns with owners' needs to modernize, so it is important to ask, at what point does an addition dominate, rather than defer to, an existing primary resource? It seems to us that an addition that more than doubles the area of a historic house has certainly, by the numbers if not by the visual weight of its proportions, tipped the balance, regardless of how much of the bulk is "hidden" from the streetscape. Note that, according to the Vision of Kensington guidelines, the average lot coverage for primary one historic resources in Kensington's historic district is 9% (range is from 5% to 25%) and that the average for the entire historic district is 15%. This proposal has a total lot coverage of 18%.
- In this case, however, the bulk of the addition can be viewed upon approach from the east. This resource is located, in the best tradition of the oldest Kensington houses, on an ample piece of land (i.e. on two 50' lots, and perhaps three originally, if the pre-historic district infill house on the left side was built on its third lot). The property is part of a historic district that includes several curvilinear streets designed to allow multiple angles of view. This ability to view houses "in the round" was an intended result of Kensington's idealized plan.
- Note that none of the examples of historic resources with additions that are cited in the application are located on the west side of Washington Street, where the majority of houses are more densely situated on smaller parcels, and are proportionately smaller, than in some of the other oldest areas of the historic district. The immediate context—most significantly, those historic properties that are adjacent to and surrounding this property—is important to consider in this deliberation.
- The proposed large covered porch on the rear (north side) of the house has the scale and appearance of a front porch and is uncharacteristic of rear porches in the Kensington historic district. Moreover, it adds to the visual bulk of the addition by extending the massing of the

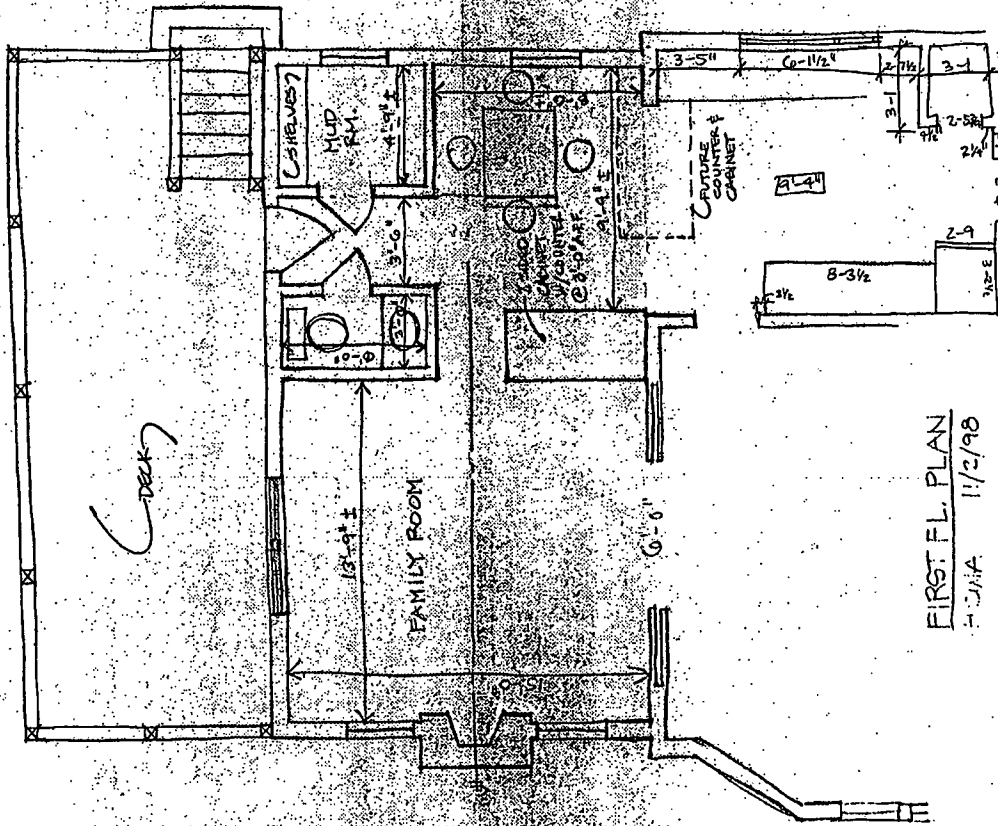
MEMO

porch deck both vertically and horizontally; further contributes to "urbanizing", by virtue of the size of the extension, the proportions of a house that was, in its original form, a typical turn-of-the-century Kensington house designed compactly such that space flowed around the structure and it was an object in the landscape; and greatly enhances the possibility that these, or future, owners might request and receive, at some point, a HAWP to enclose an already-roofed porch space. In our opinion, the rear porch should not be covered, as designing it to be a backyard deck would help mitigate these concerns. However, it must also be said that our preference would be for a more modest deck, or even a terrace in place of some part of it, to reduce the total footprint of the additions.

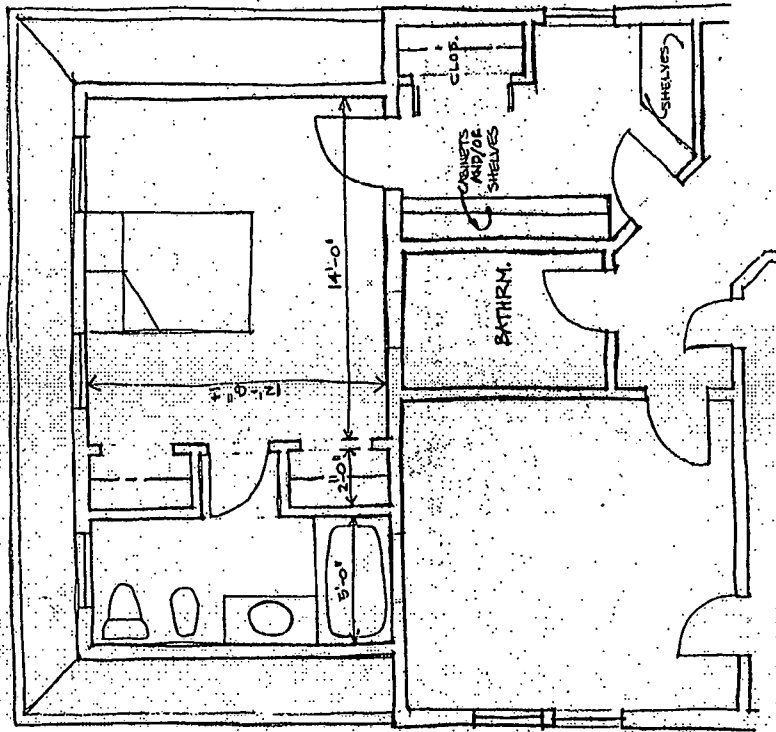
- The owners and their architect are to be commended for the obvious care and attention paid to restoring original historic features, for locating the new garage toward the back corner so as to allow a greater flow of space around the house and its addition, and for designing the additions in a compatible style with careful attention to detail and materials.

Respectfully submitted,
Helen Wilkes

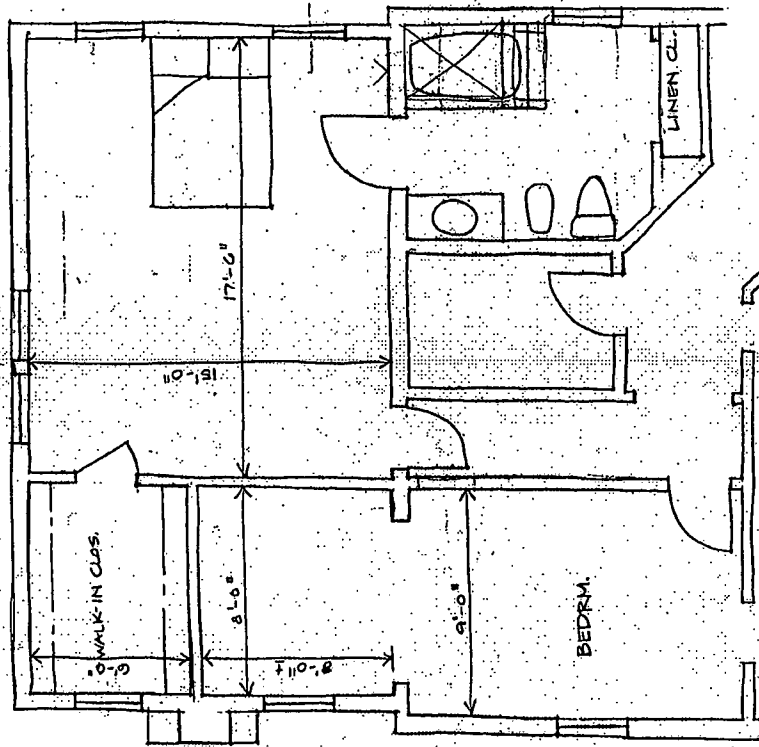
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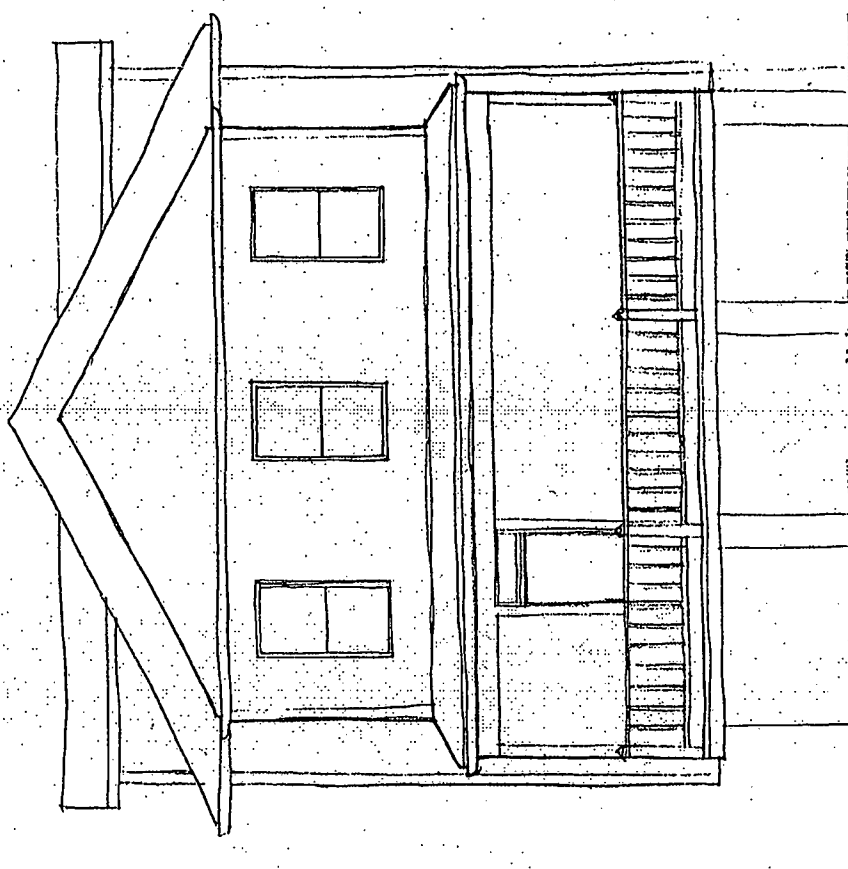
FIRST FL. PLAN
 F. J. M. A. 11/2/98



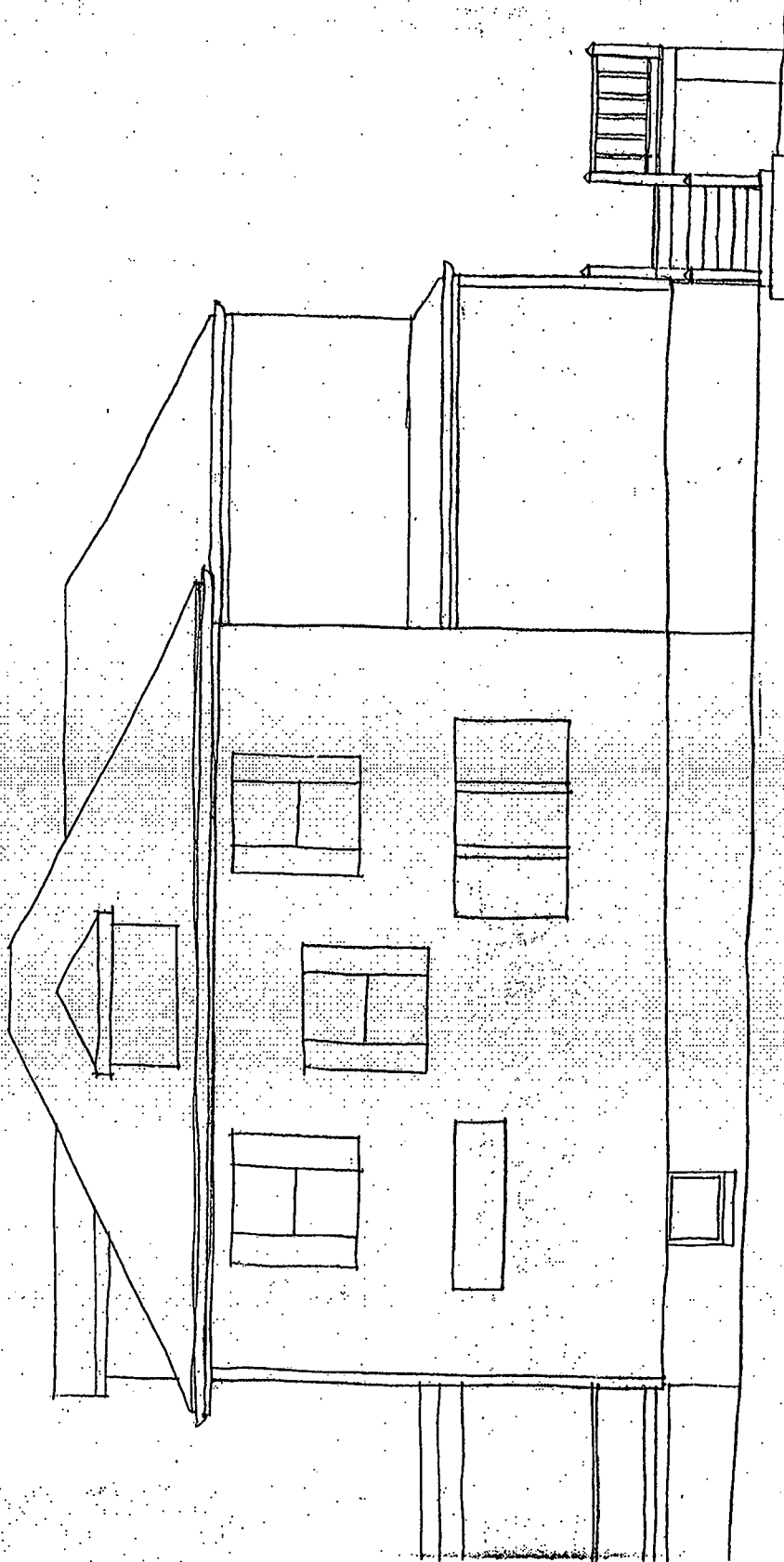
SECOND FL. PLAN (A)
 HCWA 11/2/88



SECOND FL. PLAN. ©
HCWA 1/2/98



SCHEME (A)
NORTH ELEVATION
HCMA 11/5/05



SCHEME (A)
EAST ELEVATION
HWJA 11/2/98

**Reasons To Approve the HAWP
3923 Washington Street, Kensington
Paul & Deborah Eckert**

1. **The original house will remain 100 percent historically unaltered on the front, right, and left sides. Historical features altered by prior owners will be restored.**
 - 1.1 Aluminum siding will be removed and original wood restored or matched;
 - 1.2 Concrete front porch stairs replaced with wood stairs; and
 - 1.3 Front walkway will be restored to the original brick-pattern. Currently, the walkway is mostly concrete, with only a few feet of brickwork remaining immediately adjacent to street.

2. **The project will increase the open green space – fully consistent with the *Vision of Kensington* – by relocating the garage site to the rear of property.**
 - 2.1 The relocation of the garage site was supported by Commissioners at October 24th preliminary consultation.
 - 2.2 Plans were revised to reduce and reorient the side addition toward the more densely filled left/west side of property.

3. **The lot size supports square footage of addition, which has been decreased by 120 square feet since the October 24th preliminary consultation.**
 - 3.1 The new house and garage would cover 2,541 square feet of a 17,250 square foot lot, representing a 14.7 percent lot coverage.
 - 3.2 The completed project would be less than the 15 percent average lot coverage for the Kensington historical district contained in the 1992 *Vision of Kensington* survey. That survey was conducted over twenty years ago and does not reflect any of the significant additions approved and built in our immediate neighborhood on Washington, Baltimore, and Prospect Streets since 1992.
 - 3.3 Massing and scale – **not square footage** – was identified as a concern during the preliminary consultation by Chairwoman Miles, and Commissioners Coratola, Van Balgooy, and Rodriguez.

4. **The project would be compatible with neighborhood streetscape and additions to other primary resources on the street and in the immediate neighborhood. Please see submitted exhibits.**
 - 4.1 Commissioner Treseder had requested information on this point.

5. The revised proposal responds to HPC feedback offered at the preliminary consultation and to the concerns raised by HPC staff.

- 5.1 The proposed addition was revised to extend to left/west side of property instead of right/east, as suggested by Commissioner Kirwan, and supported by Chairwoman Miles and Commissioners Heiler, Coratola, Whitney, and Swift. This change was requested to preserve the open green space of right/east lot and take advantage of natural landscape coverage on more dense left side of property.
- 5.2 A more pronounced hyphen was introduced to better distinguish the addition from original home, including the addition of more glazing, as had been suggested by Commissioner Kirwan and supported by Chairwoman Miles.
- 5.3 The front and rear dormers on the new garage were eliminated, and the roof changed to hipped style to mirror original house, in response to comments by Chairwoman Miles and Commissioners Coratola and Swift. This concession was made in spite of it frustrating a key part of the architectural program to allow for increased guest space and multi-generational living.
- 5.4 The enclosed porch on right/east side eliminated in response to concerns by Chairwoman Miles, Commissioners Heiler and Swift, and HPC staff member Silver.
- 5.5 The pavement portion of driveway decreased and changed to tinted concrete, in response to concerns by Chairwoman Miles, Commissioners Rodriguez and Swift, and HPC staff member Josh Silver.

6. The project was recommended for approval by the HPC staff and has overwhelming support from the Town of Kensington and surrounding neighbors.

- 6.1 The HPC staff report recommends approval.
- 6.2 Town of Kensington passed a resolution of support, unanimously and without objection, at meeting attended by at least one LAP member.
- 6.3 Twenty immediate neighbors signed letters of support after receiving and reviewing copies of the full proposal, including neighbors adjacent on both sides, across the street, and directly behind; and
- 6.4 Former Kensington Historical Society President (and current KHS Committee Chair) and town realtor Gary Dittò submitted a letter urging approval.

7. Two last minute letters of opposition use incorrect data and implicate significant conflict-of-interest issues.

7.1 Both letters were submitted hours before scheduled February 13th hearing, leaving inadequate time to respond.

7.2 Letter by Ms. Wilkes, purporting to be on behalf of Kensington LAP.

(a) Omits any disclosure that she had drafted competing plans for this very property, raising potential financial or wounded-pride conflicts of interest;

(b) Overstated lot coverage by more than three percent;

(c) Fails the “glass house” standard in light of the large addition she put on her own house. A copy of portions of her HAWP is attached – giving us serious concerns about disparate treatment should our own, smaller project be denied:

(i) 2002 HAWP approved the expansion of her compound from 1,685 square feet to 3,285 square feet (including a 1.5-story guesthouse for which she sought and received HPC approval), an increase of 1,600 square feet (95%);

(ii) Lot coverage increased from 7.7 to 15.0 percent – more than our proposed project;

(iii) A 3-car, 952 square foot “parking pad” – not included in the lot coverage numbers – was approved on the basis of her desire to meet the needs of her modern family.

(iv) Although she argued that our accessibility and eldercare needs must yield, she submitted a letter that took a starkly different position when defending her own plans: “As homeowners who appreciate the Victorian beauty of the block and are keen to preserve its heritage, *we also are very much appreciative of the need to create homes and inner and outer living areas that meet the needs of our families.*”

(A) In 2002, she explained to the HPC that the 3-car parking pad was necessary because “we’re facing the reality of having teenage children coming and going late at night . . . you know, *what we’re talking about here is balancing our needs with the garden setting.*” Tr. at 16-17.

(d) Raises objections not raised in her letter submitted on eve of the October 24th preliminary consultation.

7.3 Email by Julie O'Malley.

- (a) While on the HPC, Julie O'Malley approved the doubling of the Wilkes mansion, its 1.5-story guest house, and the 950 square foot "parking pad." Tr. at 1-2.
- (b) Her email closely tracks the ethically-tainted letter submitted by Ms. Wilkes, and was submitted 90 minutes following our objections to it;
- (c) Overstates our addition's footprint by 125 square feet;
- (d) Contains insulting conjecture about the motivation for neighborhood support – suggesting that the letters of support were the product of pressure or ignorance. Letters were submitted by multiple neighbors who have gone through the HPC process (Carr, Fitzpatrick, Knecht, Strachan, Longo, Collins, Bruch), by a former member of the Kensington LAP (Bruch), and by the Town of Kensington Building Inspector (Stablow), each of whom are demonstrably knowledgeable about the Kensington Historic District and the rules and guidance that pertain.
- (e) Inaccurately characterized the meeting of the Town Council during which the resolution of support was unanimously approved. The size and scale of the project was in fact discussed, as was the HPC preliminary consultation. Our efforts to address the HPC recommendations received favorable comment from the Mayor and Councilmembers and was in fact noted in the subsequent letter to the HPC. In attendance were neighbors and at least one member of the LAP, who raised no objection to the project at the time.

Appendix of Wilkes and O'Malley Materials



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

HISTORIC AREA WORK
PERMIT

IssueDate: 5/20/2002

Permit No: 275095
Expires:
X Ref:
Rev. No:

Approved With Conditions

THIS IS TO CERTIFY THAT:

CHARLES C & H C WILKES
3923 PROSPECT ST
KENSINGTON MD 208950000

HAS PERMISSION TO: CONSTRUCT

PERMIT CONDITIONS:

TWO STORY ADDITION, CONSTRUCT 1 1/2 STORY GUEST HOUSE, REMOVAL OF EXISTING DRIVEWAY, REMOVAL OF TWO TREES. Condition: The applicant will return to the HPC with more developed landscape plan, including their driveway and parking plan.

PREMISE ADDRESS

3923 PROSPECT ST
KENSINGTON MD 20895-

LOT P10
LIBER
FOLIO
PERMIT FEE: \$0.00

BLOCK 11
ELECTION DISTRICT
SUBDIVISION
TAX ACCOUNT NO.:

PARCEL 13
PLATE KENSINGTON

ZONE
GRID

HISTORIC MASTER: Y
HISTORIC ATLAS: N

HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED

Director, Department of Permitting Services

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3923 Prospect Street	Meeting Date:	3/8/02
Applicant:	Helen and Sandy Wilkes	Report Date:	5/01/02
Resource:	Kensington Historic District	Public Notice:	4/24/02
Review:	HAWP	Tax Credit:	Partial
District Number:	#31/6-02K	Staff:	Robin D. Ziek

PROPOSAL: Remove existing rear addition; add new 1- and 2-story rear additions to main house; build separate guest house; remove existing drive and add new driveway; remove two mature hollies.

RECOMMEND: Approval

RESOURCE: Primary
STYLE: Queen Anne
DATE: 1905

The applicant came to the HPC on 10/10/01 for a Preliminary Consultation for this project. The HPC was generally favorable, and also provided some suggestions for consideration prior to applying for the HAWP. Concerns included the extension of the wrap-around porch on the Victorian house, questions about using a full-width front porch on the guest house/studio, questions about the amount of paving for the new driveway.

The subject property consists of 2.5 platted lots (21,875 sf), with the house on the lot on the west edge, and the remaining property in landscape and garden. The 2-1/2 story frame Victorian (ca. 1352 sf) has a deep wrap-around porch with turned columns and side brackets. A small pediment serves to announce the location of the front door. There is a large bay on the east side for the dining room, and a large bay at the 2nd floor facing the street. The broad eaves crown the 2nd story, while the attic pediment climbs above. The gable end has wood shingles, while the rest of the house is sided with wood clapboard. There is a 1-story rear addition off of the kitchen leading to the back yard.

There are two small outbuildings. One is the original garage, which has been renovated to serve as an architecture studio (190 sf). The other shed is more recent, and was built as a sauna and is now used for storage (144 sf). The existing driveway runs along the west edge of the property; the asphalt paving extends from the curb to the edge of the front steps.

*Kim: Motion to approve rear additions + construction of
 guest house; + defer landscape + driveway plan
 to future meeting. 6-1 (Watkins opposed).*

①

The property is screened with heavy vegetation along the west edge. Much of the property is open grass, but there are several mature trees including several hollies on the east side of the house, as well as a mature cherry at the rear east corner.

PROPOSAL

The applicant proposes to remove the existing rear addition, and remove the existing driveway. New construction would include a new rear addition; a small cottage/guest house/studio on the property to the east of the original Victorian; and installation of new sitework, including a new driveway with off-street parking, and extensive new landscape material.

The new rear addition has been slightly modified since the Preliminary consultation to include additional 2nd story space above the new sun room. The proposal for the extension of the wrap-around porch has been deleted, so that the original porch stops at the side entrance (the old dining room, now to be an entry hall), and new stairs are added which lead out to the east yard. The small porch extension in front of the dining room will be removed. In addition, the 1-story portion of the rear addition will be brought out to the line of the front porch, with many windows along this side (see Circle).

The HPC did not see a west elevation in the Preliminary Consultation, and this is present now. Staff notes that a window which is shown on the 2nd floor plan does not appear on the west elevation, and this needs clarification. In addition, the 2nd story portion of this rear addition has no windows proposed, although the massing is complementary to the original house. The plan indicates extensive closet space and a shower along this west wall. There does appear to be an opportunity for a window at the entrance to the Dressing Room, and this should be discussed. This elevation is well out of view from the public right-of-way, and this may be acceptable.

The design of the small cottage has been modified slightly. The plan has been flipped, so that the bay window faces to the west. The porch columns have been simplified. The HPC had some concern about the use of a full-width front porch on this cottage. The applicant felt that this was an important feature, but moved the proposed new building further back on the site to make it less prominent. The old sauna/storage shed would be moved from the center of the back property line to the NE corner.

The third aspect of the project is to remove the existing driveway on the west side of the house, and install a new driveway with off-street parking on the east side of the property. One of the two mature hollies in this side yard would be removed to make room for the driveway. The existing holly which will remain is the larger of the two, and, in conjunction with an existing cherry, will help screen the off-street parking area. Extensive plantings are proposed (see Circle), and the applicant is working with a landscape architect to provide screening along the property's edges, as well as extensive landscaping at the front of the house. The applicant proposes to formalize the area of the rear yard which is currently used for outside dining with the installation of a new patio.

Landscaping includes the addition of stone landings at the side and rear steps, and the installation of stepping stones along the west side of the house to keep the sense of the original driveway.

Lot coverage was discussed at the Preliminary Consultation. The existing lot coverage was noted as 7.7%, of the 21,875 sf property. The new work proposed at the Preliminary resulted in 14.4% lot coverage. The project now has 15% lot coverage. This calculation includes the existing front porch, but does not include the new paving for the driveway and parking, or for the new patio and landings at the steps. The new parking area is 28' x 34', to provide parking for three cars. The driveway is 10' wide, and includes a stub for either a turn-around or for additional parking. The paving will be tan and chip, with stone steps leading up to the stone terrace by the side entrance.

STAFF DISCUSSION

This project is viewed by staff as changes and alterations to an existing historic property. The *Vision of Kensington* ("*Vision Plan*") has been used as guidance, as it provides an overview of the character defining elements of the Town. Staff notes, however, that the recommendations regarding lot coverage for new construction in the *Vision Plan* were directed (see Circle) to wholly new construction of a new family home on an individual property. In other words, the *Vision Plan* addressed the potential for increased density in the historic district. The applicants, in this particular project, are treating their property as a unity. They are building additional room for their family, rather than additional room for a distinct family. The difference, in staff's opinion, is that the sense of space which has been historical y associated with this Victorian house will remain as a single, intact entity.

CURRENT LOT COVERAGE

Property	21,875 sf
Existing house footprint	1,332 sf
Original garage	188 sf
Storage shed	165 sf

Total: 1,685 sf

Lot coverage: 7.7%

NEW PROPOSAL

Proposed new footprint:	2095 sf (house and porch)
New Office/guest quarters	837 sf
Original garage	188 sf
Storage shed	165 sf

Total 3,235 sf

Lot coverage: 15.0%

The applicant proposes to double the lot coverage with the new construction. The existing lot coverage is below the average lot coverage for Primary Resources. The proposed lot coverage is above the average lot coverage for these Primary Resources, but well below the maximum lot coverage for Primary Resources. The proposed lot coverage is also below the average lot coverage for the entire district (see Circle)

While this project will take this property from the low end to the middle range of Lot Coverage, staff feels that the overall project supports the historic development pattern in the district. Of primary importance, in staff's opinion, is that the proposal will retain the unity of property which is a character-defining element of the district.

The proposed new cottage has been moved as far to the back of the property as will be permitted by the county. It is subsidiary to the main structure in terms of size, height, scale and massing and design. It will be built with compatible materials (wood siding, wood windows), and the simplified design of the columns also helps to emphasize the secondary nature of the building. Secondary buildings occur throughout the historic district, and range in size from a large barn to small sheds.

While HCP staff has commented on the extensive new paving to this applicant, and has typically brought this to applicants' attention on other projects, this is not typically included in the lot coverage calculations. Nevertheless, staff would recommend that the paving be minimized to the maximum extent. Staff notes, however, that at this particular site, the parking will not be readily visible from the public right-of-way.

Overall, staff feels that this is a sensitive proposal which is respectful of the historic resource - both the specific historic property and the historic district.

STAFF RECOMMENDATION

Staff recommends, with the following Conditions, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files) and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



GUEST HOUSE

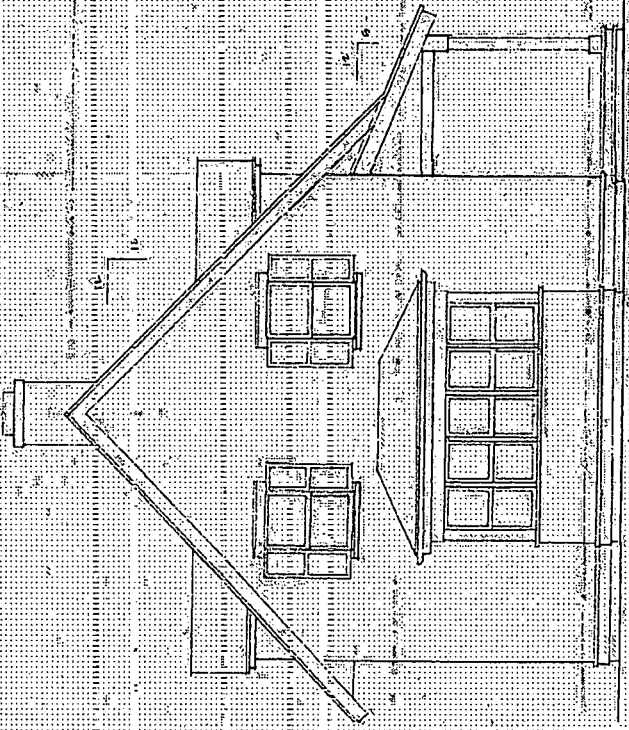
SOUTH ELEVATION

SCALE 1/4" = 1'-0"

PROPOSED AT PRELIMINARY CONS

DESIGNED

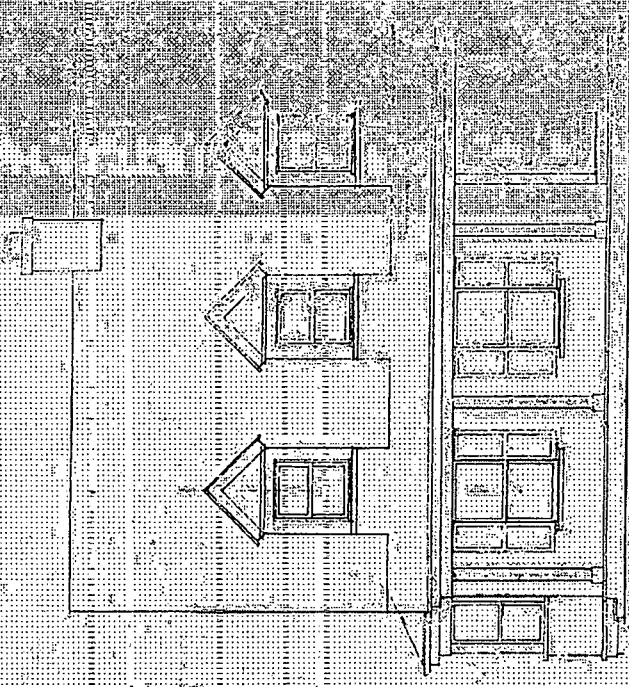
(2)
(18)



22

FRONT ELEVATION

SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"

11'-0" 0/0

10'-0" 0/0

11'-0" 0/0

11'-0" 0/0

June 22, 2002

To the Chairman of the HPC,

We are neighbors of the Wilkes, writing in strong support of their current landscape plan, supplemental to their proposed renovation. We in no way believe that this plan, with its proposed drive and 3 car parking pad, will affect the suburban garden streetscape of our block. First, the car pad will not be visible from the street, and in that regard does not affect the flowing rhythm of their beautiful, sloped property. More specifically, it does not in any way add building mass or height that can be seen from the street. Second, their current drive, situated as it is directly in front of their front staircase, is far less pleasing to the eye, and more obstructive to the flow of the streetscape than the proposed drive. Third, neighbors in this area have always had considerable discretion in how they choose to design their front, side and backyard area. Some have extended the paved area in in order to accommodate basketball hoops, others have torn up grass and planted perennial gardens and brick walks in its place, still others have torn up the perennial gardens they have inherited and reverted to grass. The yard area serves to meet individual family needs and preferences without affecting the overall massing on the lots and the overall Victorian garden suburb feel of the block.

As homeowners who appreciate the Victorian beauty of the block and are keen to preserve its heritage, we also are very much appreciative of the need to create homes and inner and outer living areas that meet the needs of our families. We believe the Wilkes's plans are most respectful of the historic nature of the area and, in calling for a reconfiguration of the drive and parking area, will enhance the presentation of their Victorian house and the overall streetscape.

Sincerely yours, NANCY SHERMAN

Mary Sherman
 Marshall Parnell
 Paulette Aruca

3927 Prospect St, Kensington MD
 3927 Prospect St, Kensington
 3924 Prospect St, Kensington

(CONT.)

Carol Jones 3908 Prospect St.
Dannell Jones 3908 Prospect St.
Lawrence F. O'Hara 3911 Prospect St.
Mary H. Bensabat-Alt 3911 Prospect St.
Christine Blazina 3918 Prospect St.
Lora Weisman 3926 Prospect Street, Kensington

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: **3023 Prospect Street** Meeting Date: **6/26/02**
Applicant: **Helen and Sandy Wilkes** Report Date: **6/19/02**
Resource: Kensington Historic District Public Notice: 6/12/02
Review: **HAWP - REVISION** Tax Credit: No
District Number: #31/6-02K REV Staff: Robin D. Ziek

PROPOSAL: Remove existing drive and add new driveway; remove two mature hollies.

RECOMMEND: Approval with Conditions:

1. The applicant should reduce the paved parking area by using grasscrete (or equal) for the turn-around.
2. The applicant to work with staff to find a rustic paving material for the parking area.

The applicant came to the HPC on 10/10/01 for a Preliminary Consultation, and then returned on 5/8/02 for a HAWP. At that meeting, the HPC approved the application with the condition that the applicant provide a more developed landscape plan, including the driveway and parking plan. Several commissioners expressed concern about the amount of proposed paving.

RESOURCE: Primary
STYLE: Queen Anne
DATE: 1905

The subject property consists of 2.5 platted lots (21,875 sf), with the house on the lot on the west edge, and the remaining property in lawn and garden. The 2-1/2 story frame Victorian (ca. 1352 sf) is sited at the west edge of the property. There are also two small outbuildings at the rear of the property, including the original garage, which has been renovated for an architecture studio (190 sf); and, a shed that was built as a sauna and is now used for storage (144 sf). The existing driveway runs along the west edge of the property; the asphalt paving extends from the curb to the edge of the front steps.

The property is heavily screened with trees and shrubs along the street edge. Approximately 70' back from the edge of the sidewalk, the property opens up to a grassy lawn. Topographically, the site is higher than the sidewalk, and the back yard is very private.

①

PROPOSAL

The applicant proposes to remove the existing driveway in the front of the house, and replace the existing concrete sidewalk and steps with brick. The west edge of the property will be landscaped with low shrubs and lawn to frame the front entrance to the house.

The new driveway will be located approximately where today there is a grassy path between existing trees and shrubs. The new driveway would curve through the front landscaping to a new parking area located where there is now existing open lawn. The south edge of the parking area (30' wide, to provide space for three cars) would be edged with a stone retaining wall (no height specified) and stone steps on the west edge. These step up to a narrow flagstone walk which leads to the side porch steps (see Circle 10).

The new landscape plan calls for extensive plantings in the back yard where there is now open lawn. The back property line will be edged with trees and shrubs. The new Studio/Guest House will be edged almost all around with extensive plantings. The applicant has reduced the amount of flagstone paving at the east side of the Studio/Guest House porch, but retained the flagstone walk link from the side porch steps to the new Studio/Guest House, to the new patio space at the rear, and to the original Garage in the NW corner of the property. This flagstone walkway will be landscaped with trees and shrubs.

The applicant has also removed from the proposal a new exterior stair on the west side of the house, as well as some flagstone paving along the east side of the Garage. Additional planting material has been provided along the east side of the proposed new driveway, with a mix of trees and shrubs. This will help screen the parking area from the neighboring house. Additional planting material has also been proposed by the large Holly to deepen the vegetative buffer for the parking, as viewed from the public right-of-way. Finally, additional planting is also suggested along the edge of the stone steps to soften the west edge of the parking area as viewed from the house and porch.

The new parking area measures approximately 28' x 34', and provides parking for three cars. The driveway is 10' wide, and includes a stub for a turn-around. The applicant has considered tar and chip paving, but as this may not be the most environmentally "friendly" paving, the material specification is pending.

STAFF DISCUSSION

This proposal is a hybrid, where the applicant seeks to accommodate family spatial needs while preserving the integrity of both the historic house and the historic district. Typically, the HPC would review a proposal for a large addition to the historic house; or, the HPC would review an application for a new house on a side lot. This proposal is a hybrid, because it has a small addition and a small new structure, all within a clearly defined hierarchy of primary residence to outbuilding. In the past, the HPC has been successful in establishing a greater setback for new infill construction, but never to the position of an outbuilding. This project clearly defines the new Studio/Guest House as an outbuilding with the maximum setback allowed by zoning, and an architectural design which is subsidiary to that of the house.

The remainder of the project has been conceived as landscaping, with both hardscape and greenscape. The view from the public right-of-way has been emphasized and controlled. The

privacy of the backyard has been maintained, while the garden aspect from the public sidewalk has been reinforced with additional plantings, softer materials (brick for the front walk), and a driveway with a picturesque curve.

The HPC has expressed concern with the sheer amount of on-site parking proposed. Staff notes that paving has never been included in any calculations for lot coverage, and staff has not included that type of analysis here. On the other hand, driveways have always been discussed in terms of the impact on the potential garden space for the neighbors and the overall district. Staff notes that the parking area would be located in an area that is currently open lawn, and which is not visible from the public right-of-way. One small (and unhealthy) dogwood will be removed, while 11 new trees will be planted in and around the parking area (see Circle 10). In terms of run-off, the applicant could grade the parking area so the run-off drains to a planted area on the property, thus promoting natural filtering of the run-off rather than adding more into the city sewer system.

The applicant could also reduce the apparent parking area by using a material that is 50% paving and 50% grass, perhaps for the turn-around space. This has been used with varying success at other sites, and would increase the apparent amount of lawn as viewed from the applicant's house.

STAFF RECOMMENDATION

Staff recommends, with the following Conditions, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

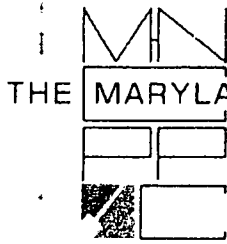
and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

1. The applicant should reduce the paved parking area by using grasscrete (or equal) for the turn-around.
2. The applicant to work with staff to find a rustic paving material for the parking area.

and subject to the general condition that **the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

July 16, 2002

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit 31/6-02A #275095 REVISION

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved Denied Approved with Conditions:

1. The applicant will work with staff to find a rustic paving material for the parking area. An appropriate material for the turn-around could be the same as the rest of the paving, or different.

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Helen and Sandy Wilkes
3923 Prospect Street
Kensington, MD 20895

HISTORIC PRESERVATION COMMISSION

MONTGOMERY COUNTY, MARYLAND

-----X
:
6 HISTORIC AREA WORK PERMITS :
:
7 -----X

A hearing in the above-entitled matter was held on
Wednesday, May 8, 2002, commencing at 7:40 p.m., at the MRO
Auditorium, 3787 Georgia Avenue, Silver Spring, Maryland,
before:

STEVEN E. SPURLOCK
Chairman

JULIA O'MALLEY
LYNNE B. WATKINS
STEVEN BRESLIN
NANCY LESSER
DOUGLAS HARBIT
Board Members

ROBIN ZIEK
GWEN WRIGHT
Staff

 ORIGINAL

Deposition Services, Inc.

APPEARANCES

HELEN WILKES
PHILIP METZGER

1 just keeping it grass. But you know, the reality is that we
2 would be backing into grass, and I don't know.

3 MS. O'MALLEY: Or just backing down to the street.
4 That will get them really good at driving.

5 MS. WILKES: I don't think I want to do that.

6 MS. O'MALLEY: That's how we do ours.

7 MS. WILKES: I know. And I'm terrible with the
8 driveway actually. And I think I ran over one of your flashy
9 light --

10 MR. SPURLOCK: Children --

11 MS. WILKES: No, I don't want to do that. I mean,
12 you know, why design it that way when you can design it so
13 that, you know, why design accidents in.

14 MS. O'MALLEY: Well then you would have less
15 impervious material.

16 MS. WILKES: Right, right. Well, I appreciate the
17 intent.

18 MS. WILLIAMS: There is also the benefit of having
19 on street parking to slow traffic down, you know, street.
20 There's always that as an issue. I mean I'm not opposed to
21 on street parking.

22 MS. WILKES: Oh, I'm not either, but it's, you
23 know, again, we're facing the reality of having teenage
24 children coming and going late at night. It's awfully nice
25 to be able to bring them into the fold, so to speak, if we

1 can do it, so. But I can understand, you know, what we're
2 talking about here is balancing our needs with the garden
3 setting.

4 MR. BRESLIN: Well, as far as that goes, the garden
5 setting, in addition to the parking, you've quite a bit of
6 patio space. It seems a couple of hundred feet of patio
7 space and walkway space. And I think that just makes a lot
8 coverage situation worse.

9 MS. WILKES: Right.

10 MR. BRESLIN: And offhand it seems like the
11 compounds have multiple outbuildings plus couple hundred feet
12 of patio space, plus a very large parking area.

13 MS. WILKES: Sure.

14 MR. BRESLIN: And I think your lot is large enough
15 to absorb an awful lot of this, but all those things in
16 total, I think it's close to being overwhelming.

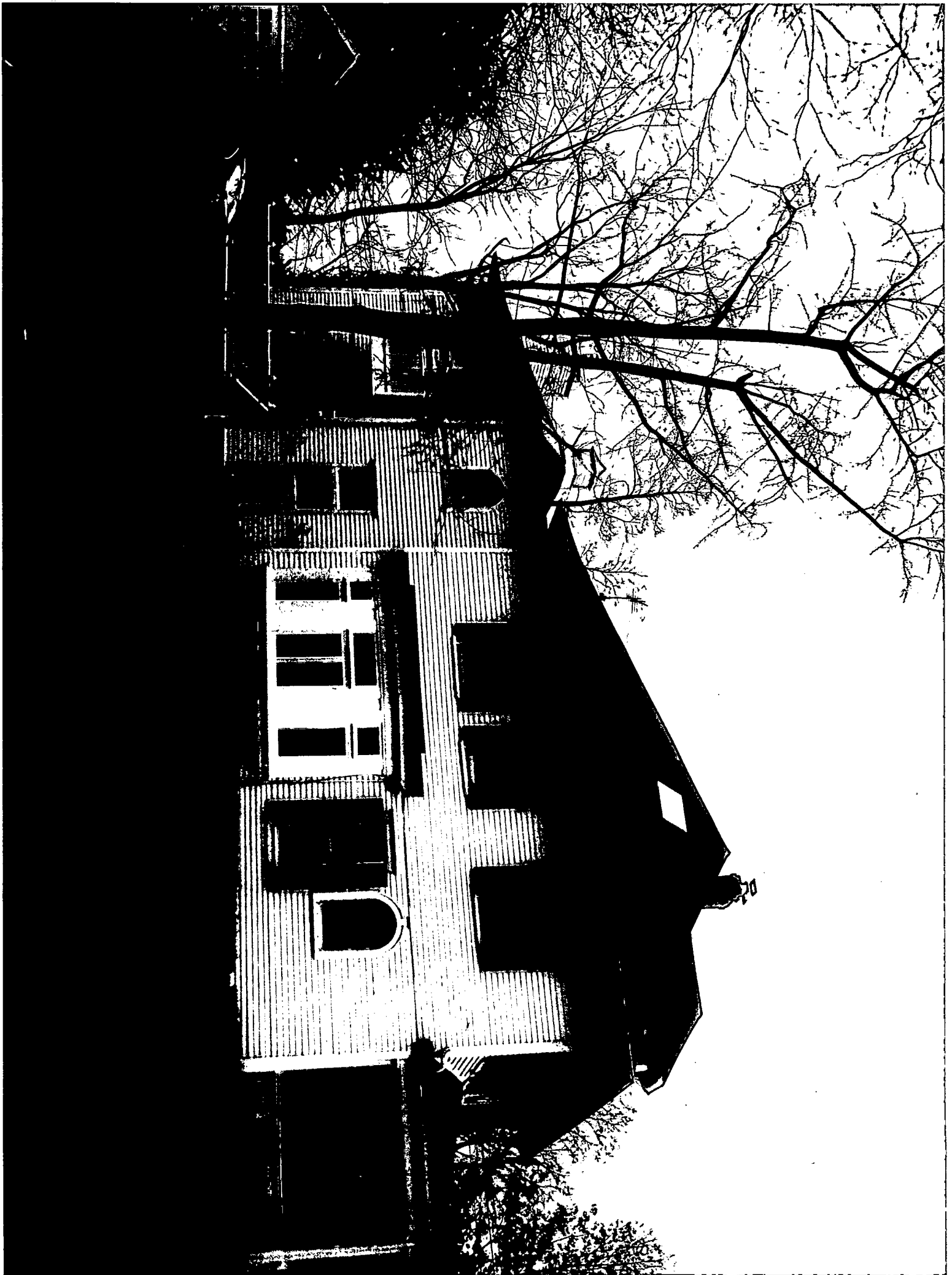
17 MS. WILKES: Well, I have talked with the landscape
18 architect about reducing the stepping stone aspects. I do
19 want to have the patio out back because in reality, we've
20 been using, I've wanted an outdoor room for many years. We
21 just haven't done it. And so that's important in terms of a
22 priority. And then I suppose that we can reduce the number
23 of pavers and connections.

24 MR. BRESLIN: And it's also a patio on the east
25 side of the parking area?

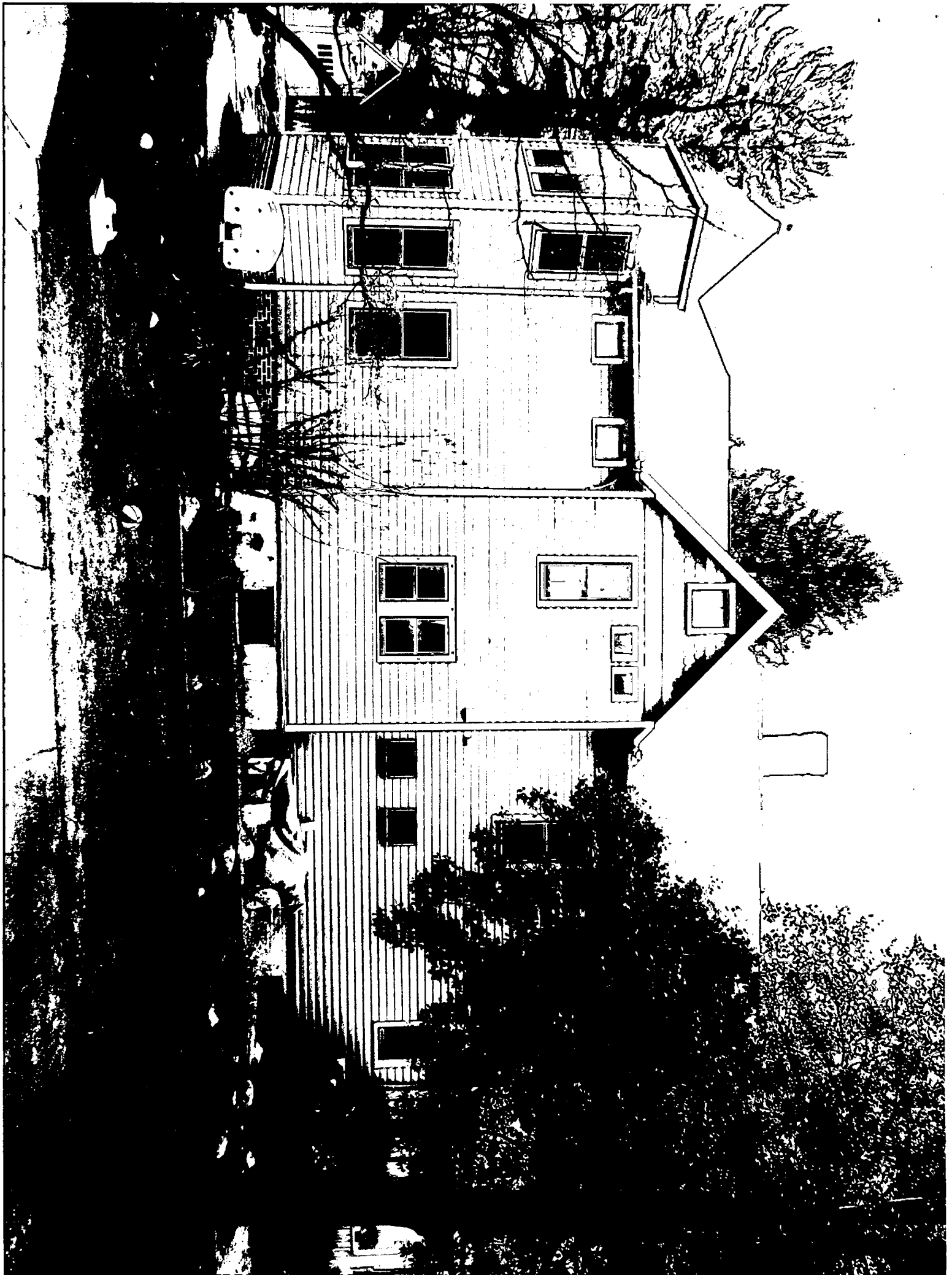




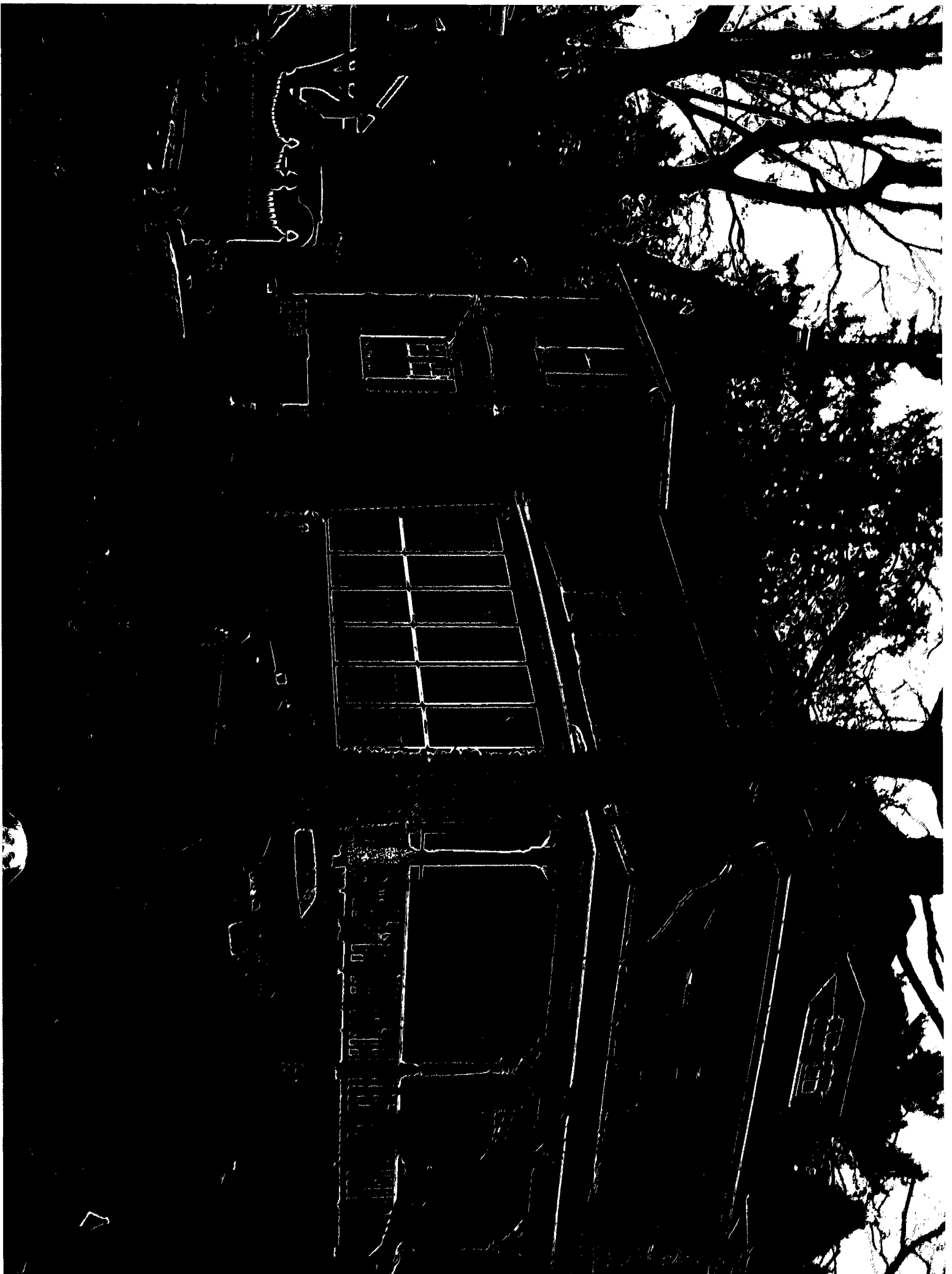




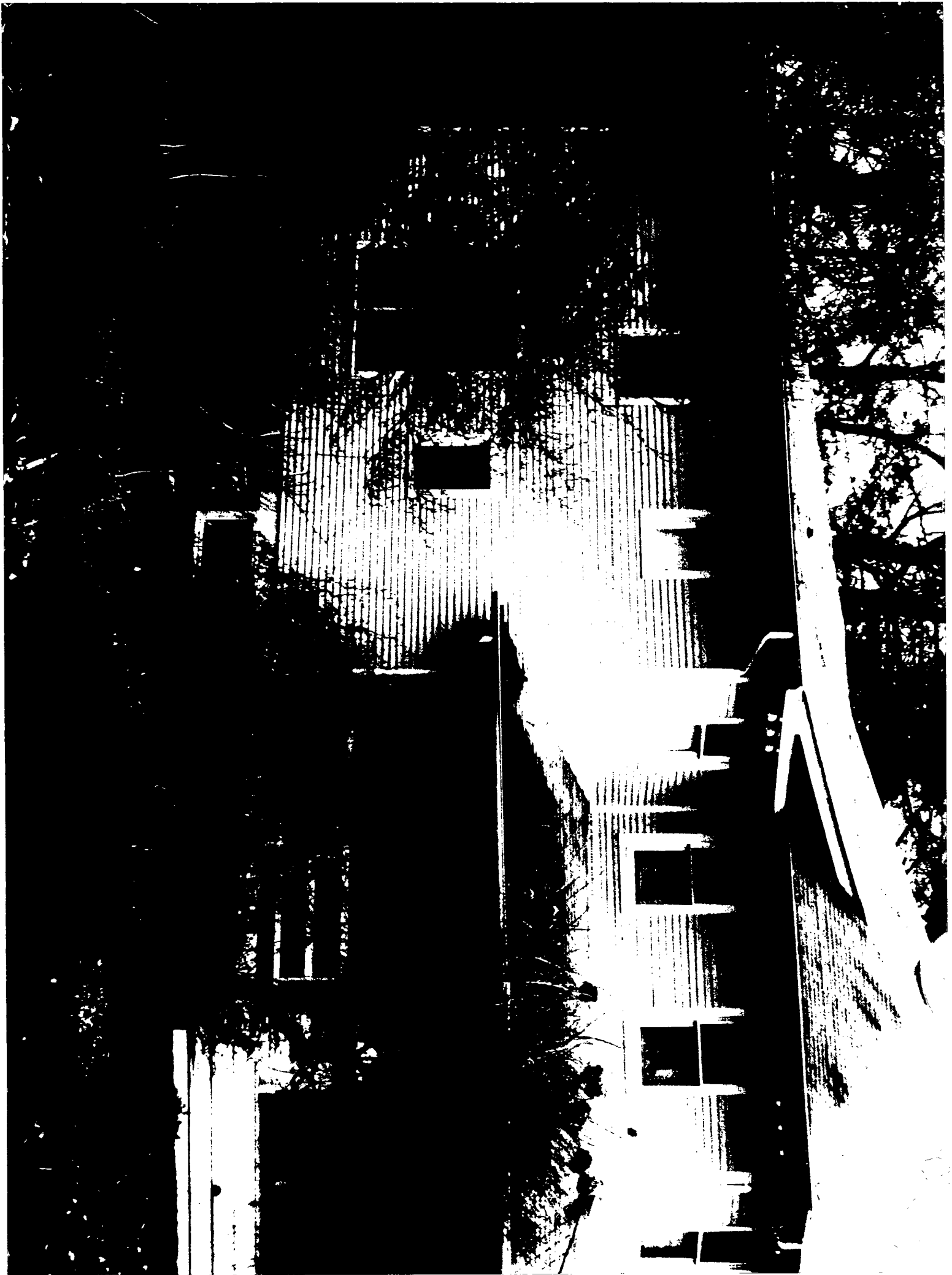
















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