

7311 Baltimore Avenue, Takoma Park
(APC Case # 37103-10 JTT)
Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: February 1, 2012

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #583012, rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the November 15, 2011 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mark Freedman and Kristen Summers

Address: 7311 Baltimore Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: amy@abramsdesignbuild.com Contact Person: Amy Abrams
 Tax Account No.: 01065034 Daytime Phone No.: 301-270-6380
 Name of Property Owner: Mark F. Freedman and Kristen M. Summers Daytime Phone No.: 301-485-4556
 Address: 7311 Takoma Park Baltimore Ave 20912
Street Number City State Zip Code
 Contractor: Abrams Design Build Phone No.: 301-270-6380
 Contractor Registration No.: MC# BC3367, MD# 8C6613
 Agent for Owner: Amy Abrams Daytime Phone No.: 301-270-6380

LOCATION OF BUILDING/PREMISES

House Number: 7311 Street: Baltimore Ave
 Town/City: Takoma Park Nearest Cross Street: Takoma Ave
 Lot: 5 Block: 78 Subdivision: 25
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Whack/Raze
- Revision
- Repair
- Reversible

CHECK ALL APPLICABLE:

- HVAC
- Stair
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 570,000

1C. If this is a revision of a previously approved active permit, see Permit # HAWP#537040, MC#572007

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Amy Abrams
Signature of owner or authorized agent

10/25/2011
Date

Approved: [Signature] Chairman, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 2/1/12

Application/Permit No.: 583012 Date Filed: 10/25/11 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

5

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7311 Baltimore Avenue, Takoma Park	Meeting Date:	11/15/2011
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	11/8/2011
Applicant:	Mark Freedman and Kristen Summers (Amy Abrams, Agent)	Public Notice:	11/1/2011
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-10JJJ (REVISION)	Staff:	Josh Silver
PROPOSAL:	Rear addition		

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Queen Anne
DATE: c1890-1900

BACKGROUND

On December 15, 2010 the HPC reviewed and approved a HAWP application for construction of a two-story addition, new screen porch and deck at the rear of the house. The applicants are proposing revisions to their HPC approved plan as a cost cutting measure.

PROPOSAL

The applicants are proposing to construct a T-shaped addition that would extend across the majority of the rear elevation. The proposed addition is inset 1' from the left corner, and 2'-6" from the right corner. The revised design consists of a gable extension that is flanked by a 2 story, shallow pitched roof addition on either side. The proposed habitable portion of the addition section is approximately 505 s.f., finished on three levels, for a net addition size of 1,515 s.f. The revised design is a reduction from the HPC approved design that added an approximately 714 s.f. addition with a total net space increase of 2,053 s.f.

Consistent with the HPC approved design this revision includes a 1 story screen porch and a new wooden deck with stairway to grade.

The proposed material treatments are consistent with the HPC approved plan. The most significant changes from the HPC approved plan include using architectural asphalt shingles roofing and 2/2 double-hung, simulated divided light, wooden windows in lieu of a combination of asphalt and flat seam metal

roofing and casement windows. The revised design keeps two small casement windows on the 1st story left side elevation.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;
- Major additions should, where feasible, be placed to the rear of the existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited;
- While additions should be compatible, they are not required to be replicative of earlier architectural styles;
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single-story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing;
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition;
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course;
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the revised design and material specifications as submitted. The revised design is consistent with the HPC approved plan. The addition remains confined to the rear elevation and is differentiated from the historic massing by using a different siding material and having a lower ridge height. Furthermore, the size of the addition has been reduced, to help further diminish its visibility from the public right-of-way.

Staff supports using an all asphalt shingle roofing material and 2/2, simulated divided double-hung windows in lieu of using a combination of roofing materials and casement window treatments per the HPC approved plans. A single roofing material creates uniformity of material types on the addition section and does not compete with the metal shingles on the historic massing. Similarly, a 2/2, simulated divided light window treatment applied throughout the design (the only exception is the 1st story left side elevation, which includes two wooden casement windows), creates a more uniform window type in the addition section and is more in keeping with the style of the double-hung windows on the historic massing.

Staff finds the proposal as being consistent with Chapter 24A-8(b) (1) & (2) outlined above and recommends approval of the applicant's revised proposal.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the condition** specified on Circle 1 as being consistent with Chapter 24A-8(b) (1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: amy@abramsdesignbuild.com Contact Person: Amy Abrams
 Daytime Phone No.: 301-270-6380
 Tax Account No.: 01065034
 Name of Property Owner: Mark F. Freedman and Kristen M. Summers Daytime Phone No.: 301-485-4556
 Address: 7311 Takoma Park Baltimore Ave 20912
Street Number City Street Zip Code
 Contractor: Abrams Design Build Phone No.: 301-270-6380
 Contractor Registration No.: MC# BC3367, MD# 8C6613
 Agent for Owner: Amy Abrams Daytime Phone No.: 301-270-6380

LOCATION OF BUILDING/PREMISE

House Number: 7311 Street: Baltimore Ave
 Town/City: Takoma Park Nearest Cross Street: Takoma Ave
 Lot: 5 Block: 78 Subdivision: 25
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Stab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 570,000

1C. If this is a revision of a previously approved active permit, see Permit # HAWP # 537040, MC # 572007

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Amy Abrams
 Signature of owner or authorized agent

10/25/2011
 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 583012 Date Filed: 10/25/11 Date Issued: _____

ADDENDUM TO HAWP APPLICATION
7311 Baltimore Avenue, Takoma Park, MD
July 7, 2010
REVISED
October 25, 2011

DESCRIPTION OF EXISTING STRUCTURE

The existing house is a two story + attic, wood framed structure built in 1908 (according to tax records). The steeply pitched, cross gabled roof and lack of ornamentation is a simplified, vernacular expression of Victorian style. The strongest feature is the base of the front gable end flying beyond the diagonal sides of the front bay. The plan is cruciform, with the main block of the house an elongated rectangle running parallel to the street. A large octagonal full height bay projects from the front, with a small front porch tucked into the southwest (right front) corner. A smaller and shallower full height bay projects from the front wall of the main block, to the north (left) of the octagonal bay. This bay is also capped by a reverse gabled roof, smaller in scale but similar in proportion to the roof over the octagonal bay.

A full height rectangular wing, aligned with the octagonal bay, projects 9 feet from the rear of the house. A small single story appendage is contained in the southeast (right rear, viewed from the street) corner. The habitable portion of the house has a footprint of approximately 880 square feet.

Much of the exterior of the house appears to be original (or very early) materials, including 2/2 double hung windows, and nominal 6" wide wood clapboards, milled to resemble weatherboards with 3" exposures. The roof is clad with metal shingles, and drained with half-round gutters and round section spouting.

The house is sited on a standard 50 foot wide by 150 feet deep city lot, amid an eclectic mix of house styles, and a wide variety of scale. An extensively remodeled and extended bungalow sits to its right; on the left is a much modified and extended vernacular house also dated at 1908. Within immediate view are two large recent houses in styles deriving from historic prototypes, and other early twentieth century homes with large additions. The front portion of the subject lot slopes gently down from south to north, but the rear drops more steeply, exposing almost the entirety of the rear wall of the brick basement.

PROJECT DESCRIPTION

This proposal is a revision of a previous plan approved by the Historic Preservation Commission (HAWP # 537040). The Owners now seek approval of a significantly

smaller and less costly plan. However, the current proposal comprises many similar elements of the approved plan.

The proposal is to construct a T-shaped addition that would extend across the majority of the rear of the house, but inset 1' from the left rear corner, and 2'-6" from the right rear corner. It would extend past the existing rear bay approximately 13'-7". A covered porch and deck would project an additional 10'. The footprint of the habitable portion of the addition would be approximately 505 square feet, finished on three levels, for a net addition of 1515 square feet. Based on a topographic survey and consultation with zoning staff at Montgomery County Department of Permitting Services, and given the steep grade, it has been determined that it is otherwise permissible to build a two story addition over a substantially above grade basement on this property.

The addition would also include a screened porch at the left rear corner, and a deck with a stairway to grade.

The theme of the design is to complement the original complex gabled forms with new gabled forms. The main, central portion of the new roof projects from the existing rear bay at the same pitch, but at a reduced height to preserve the existing cruciform plan. The flanking wings of the addition, which recede 6'-8" from the projection of the central portion, will be roofed with low slope roofs, to reduce massing and distinguish them from the original roofs. Cement plank siding would further distinguish the original from the new. Wood casement windows would also contrast with the existing wood double hung units, with an aspect ratio to reference the original proportions. Existing windows in areas that will be enveloped by the addition will be salvaged and installed in the right elevation of the addition.

On the main level, the addition would house a family room, kitchen, and den, and a new stairway to the basement level. (The present stairway to the basement is exceptionally steep and narrow, and leads to an area with a very low ceiling.) The second floor would include a child's bedroom and a master bedroom suite, with provision for a home office. The basement would include a rec room, bathroom, and spare bedroom.

Permits have already been obtained for the removal of two trees in the area impacted by the addition. No other trees would be seriously impacted by construction. A tree preservation plan is already in process.

The habitable portion of the addition will project less than the neighboring houses on either side. Cladding, detailing, and fenestration would distinguish the addition, yet would be in character with the existing elements. We feel that the addition would compliment the house, and little if any visual impact on the public viewscape.

A further goal of the project is to build new space with the highest levels of energy efficiency, and to retrofit existing spaces and equipment, with the specific performance objective that the combined new and existing volumes will use no more net energy for heating and cooling than did the original space.

In conclusion, we feel that the addition will compliment the original house, as well as greatly increasing the utility of the home for its owners and their large, extended family. Therefore, we submit that the proposed project will have no negative impact and hopefully a positive impact on the historic district.

Area summary (not including attic, decks, porches, patios, etc):

Total existing habitable floor area, 1st and 2nd floors: 1710 SF

Existing basement and storage area: 880 SF

Area to be removed: 50 SF

Proposed habitable floor area of addition: 1515 SF

Total existing and proposed habitable floor area: 3225 SF

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Mark F. Freedman &
Kristen M. Summers
7311 Baltimore Ave.
Takoma Park, MD 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Kenneth M. Wyner
7313 Baltimore Ave
Takoma Park, MD 20912

William C Sandberg Et Al Tr.
7307 Baltimore Ave
Takoma Park, MD 20912

Catherine Bernard &
William C Sandberg
7309 Baltimore Ave
Takoma Park, MD 20912

Ellen Brown
7310 Baltimore Ave
Takoma Park, MD 20912

Konrad Augustin A & AM
7312 Baltimore Ave
Takoma Park, MD 20912

Julia Boddy
7314 Baltimore Ave
Takoma Park, MD 20912

Adjacent and confronting Property Owners mailing addresses - continued

Christel Steinvorth
7314 Piney Branch Rd.
Takoma Park, MD 20912

Harvey J. Solomon
7316 Piney Branch Rd.
Takoma Park, MD 20912

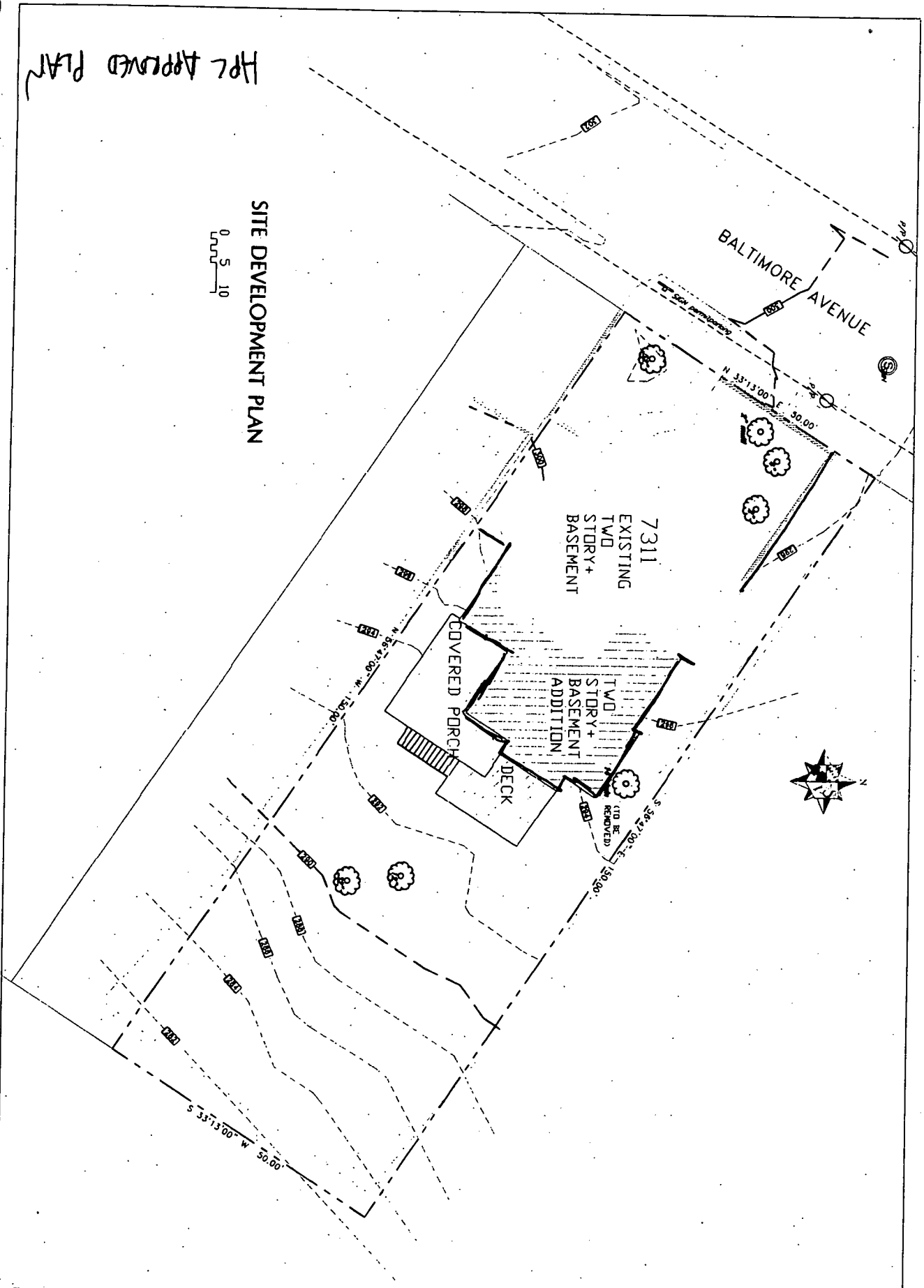
Neil J Gamson &
Lori G Barrud
7318 Piney Branch Rd.
Takoma Park, MD 20912

11

HPL APPROVED PLAN

SITE DEVELOPMENT PLAN

0 5 10

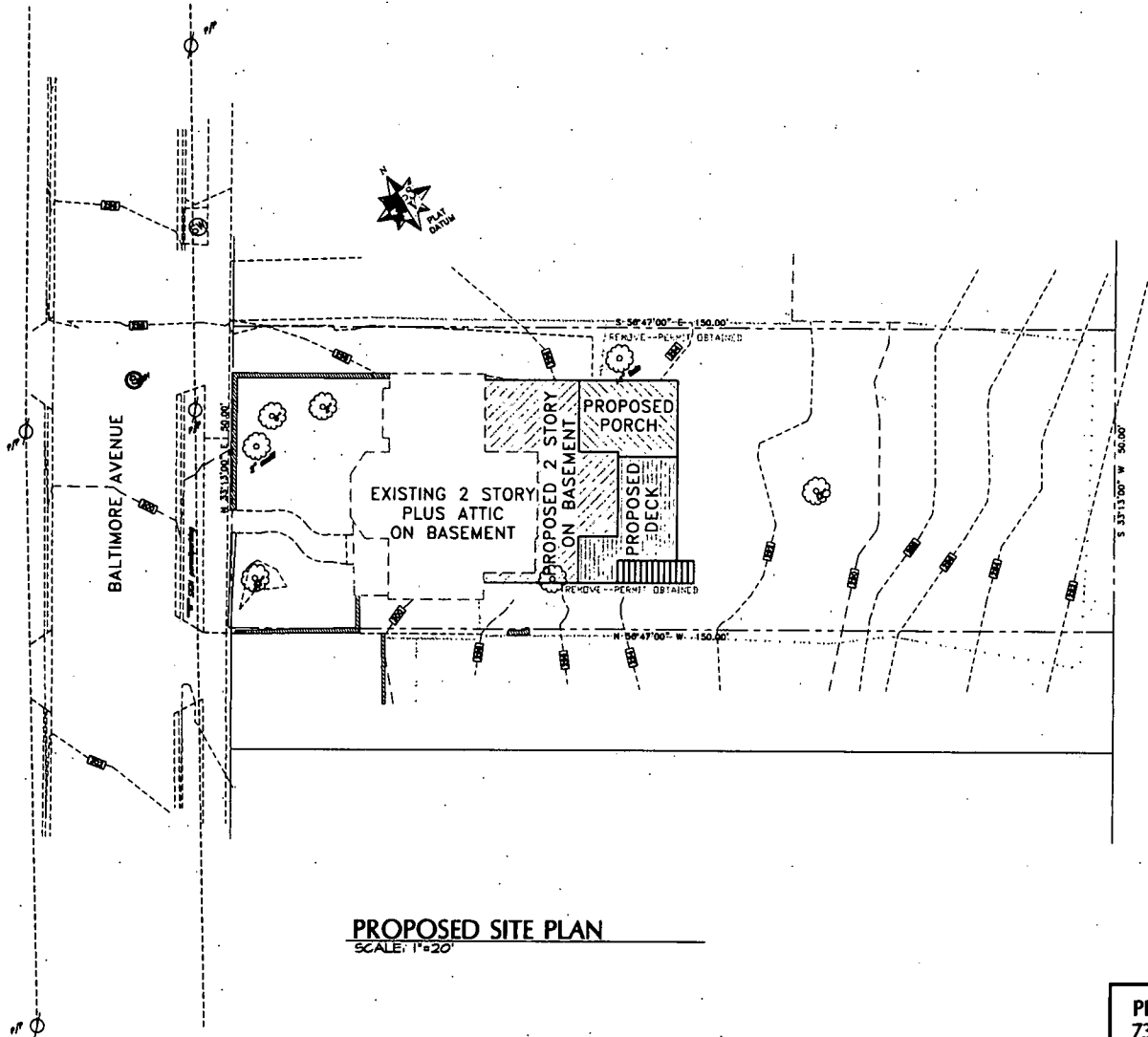


7311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW WDC 20012 202-726-5894
WWW.ABRAMSDSIGNBUILD.COM

HAWP APPLICATION SET
SITE DEVELOPMENT PLAN

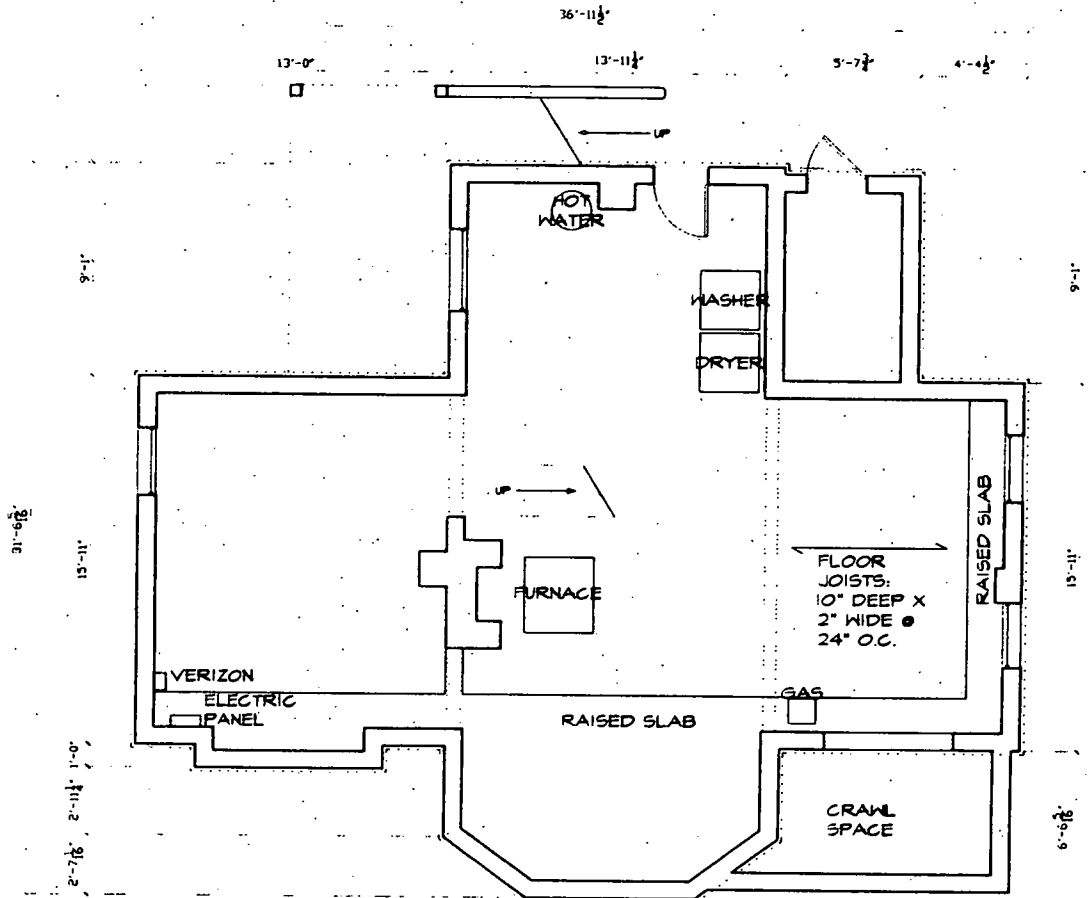
REVISED PLAN



PROPOSED SITE PLAN
SCALE: 1"=20'

PROPOSED ADDITION
7311 BALTIMORE AVE
TAKOMA PARK, MD 20912
OCTOBER 29, 2011
SCALE: 3/16" = 1'0"

ABRAMS DESIGN BUILD LLC
6411 ORCHARD AVE TAKOMA PARK, MD 20912 301-270-NET-ZERO
WWW.ABRAMSDSIGNBUILD.COM



**EXISTING
BASEMENT PLAN**

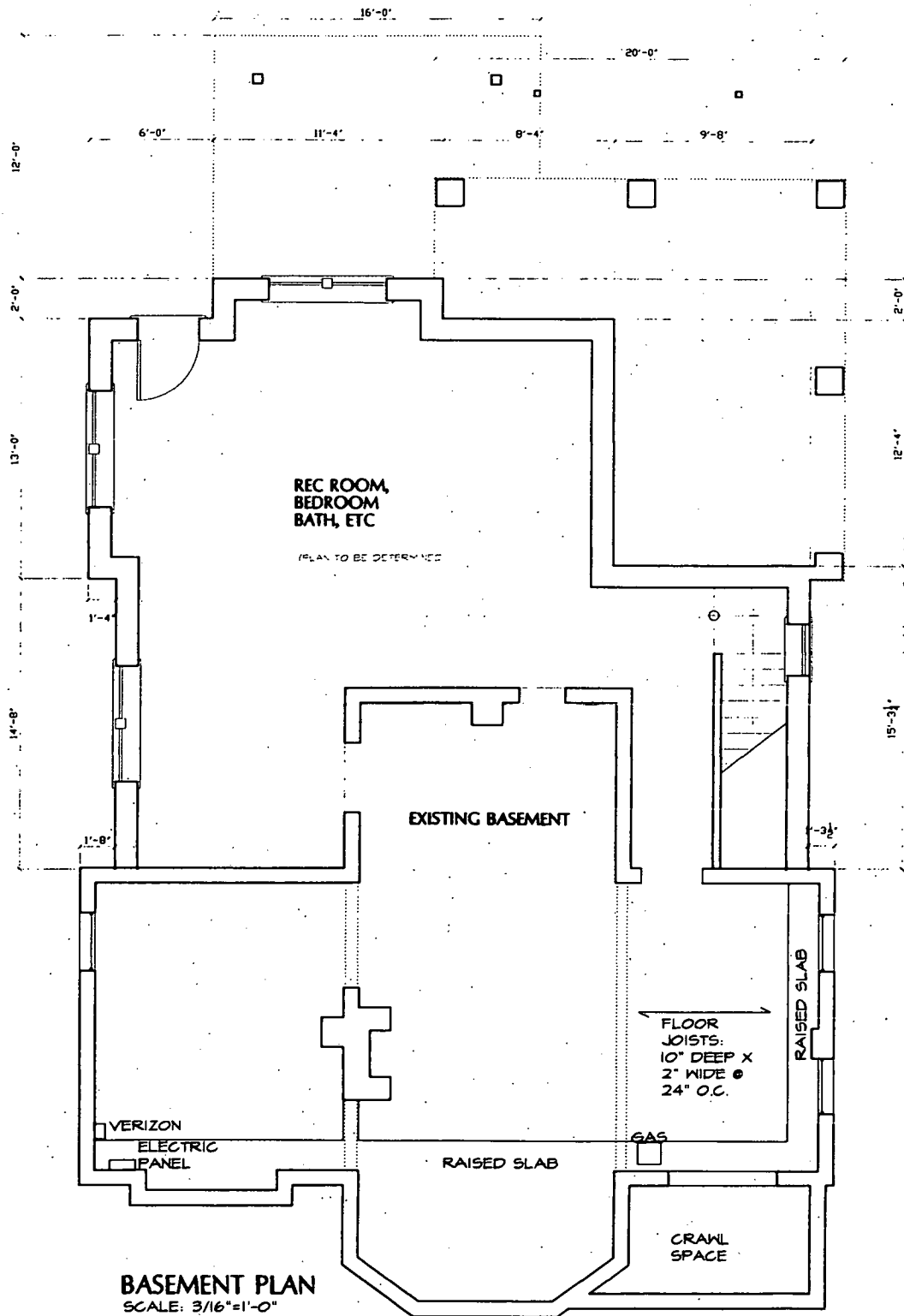
SCALE: 3/16"=1'-0"

Freedman & Summers Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
409 BUTTERNUT STREET NW, WASHINGTON DC 20012
WWW.ABRAMSDSIGNBUILD.COM
202-126-5844

HAWP DISCUSSION SET
SHEET 5 OF 13
JULY 7, 2010

13



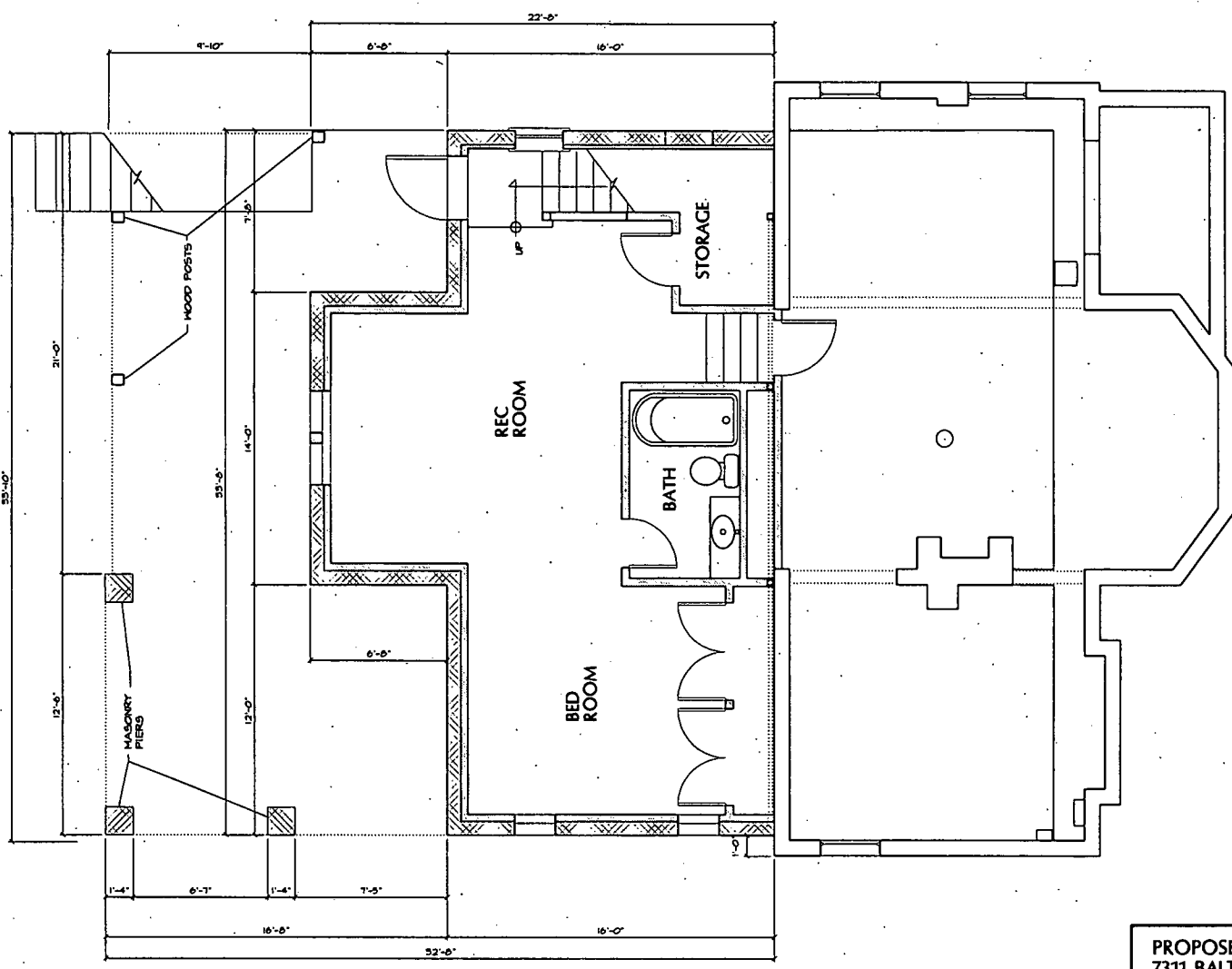
BASEMENT PLAN
SCALE: 3/16"=1'-0"

HPC APPROVED PLAN

7311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW WDC 20012 202-726-5844
WWW.ABRAMSDSIGNBUILD.COM

HAWP APPLICATION SET
FLOOR PLANS

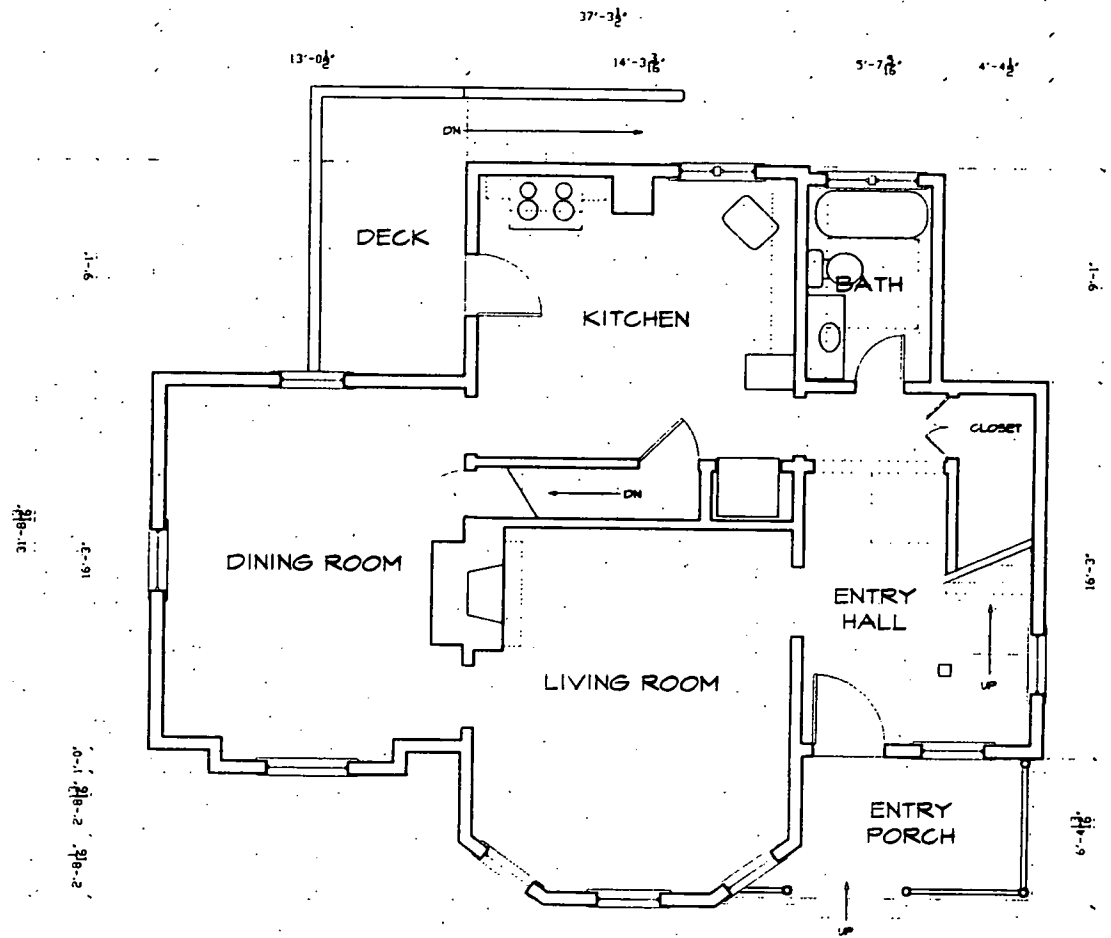


PROPOSED BASEMENT PLAN
 SCALE: 3/16" = 1'-0"

PROPOSED ADDITION
 7311 BALTIMORE AVE
 TAKOMA PARK, MD 20912
 OCTOBER 25, 2011
 REV. NOV 7, 2011
 SCALE: 3/16" = 1'-0"

REVISED PLAN

ABRAMS DESIGN BUILD LLC
 6411 ORCHARD AVE TAKOMA PARK, MD 20912 301-270-NET-ZERO
 WWW.ABRAMSDSIGNBUILD.COM



**EXISTING
MAIN FLOOR PLAN**
SCALE: 3/16"=1'-0"



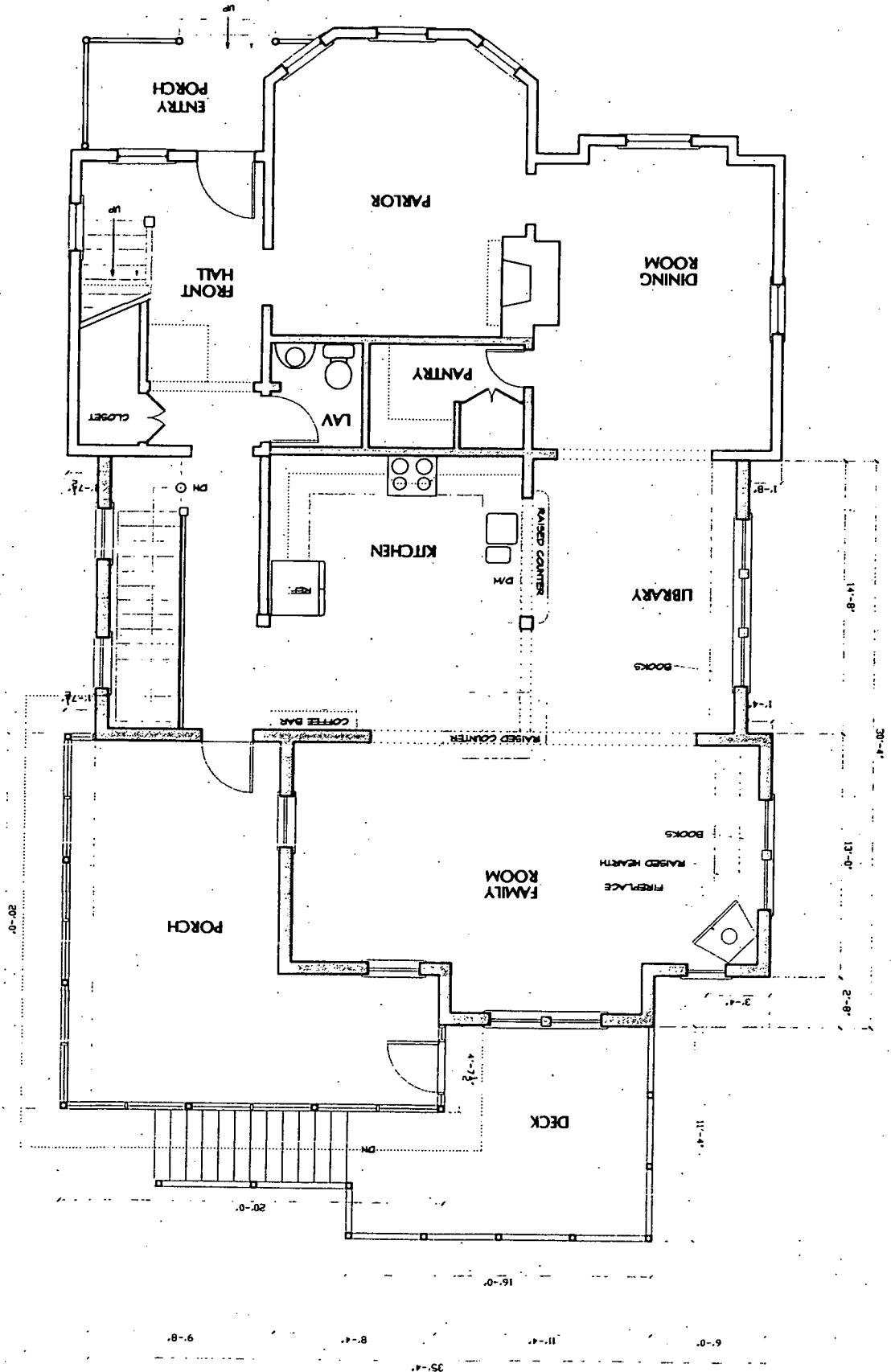
1/8

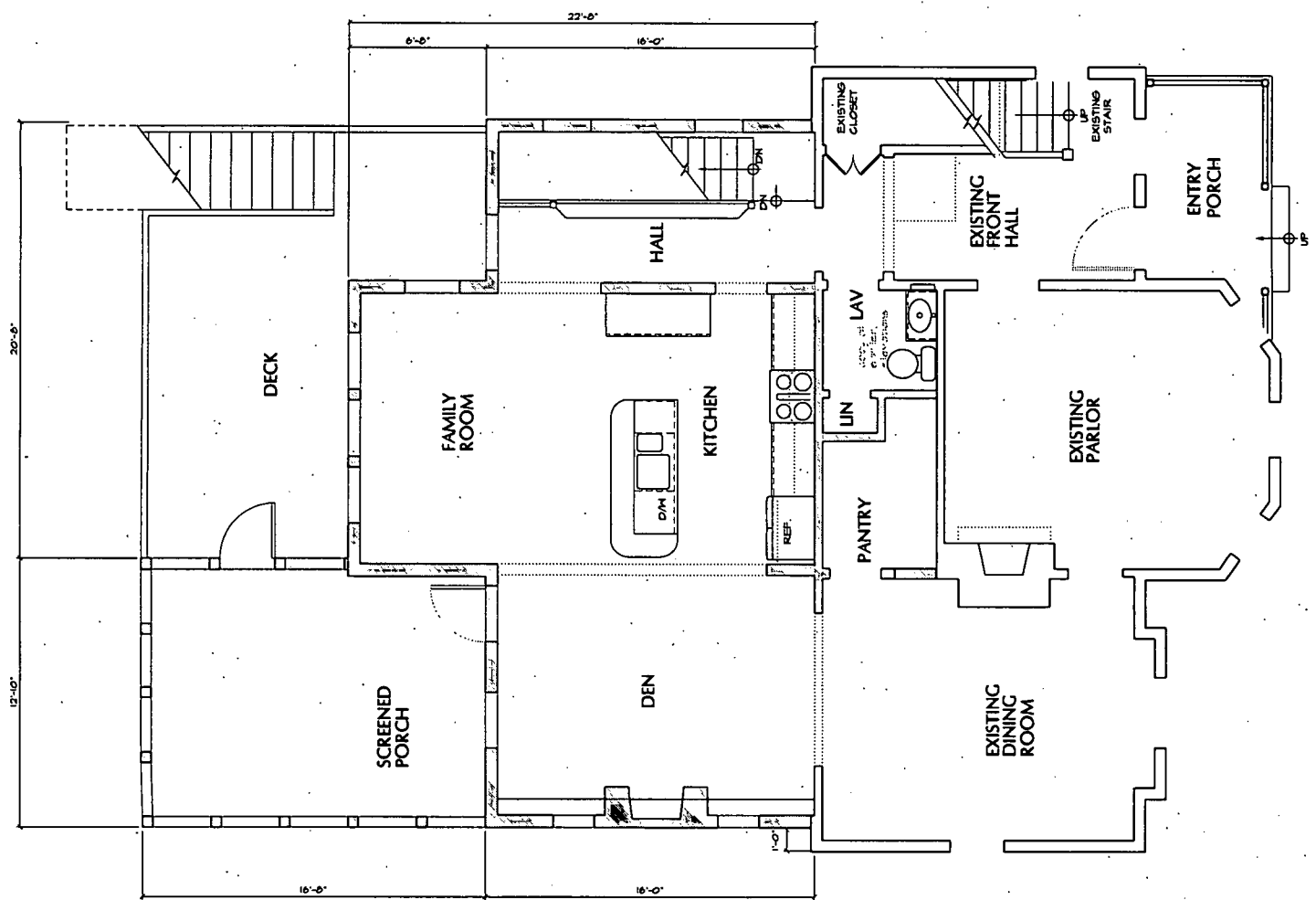
HAMP APPLICATION SET
FLOOR PLANS

ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW MDC 20012 202-726-5844
WWW.ABRAMSDSIGNBUILD.COM

1311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

MAIN FLOOR PLAN
SCALE: 3/16"=1'-0"
HPC APPROVED PLAN





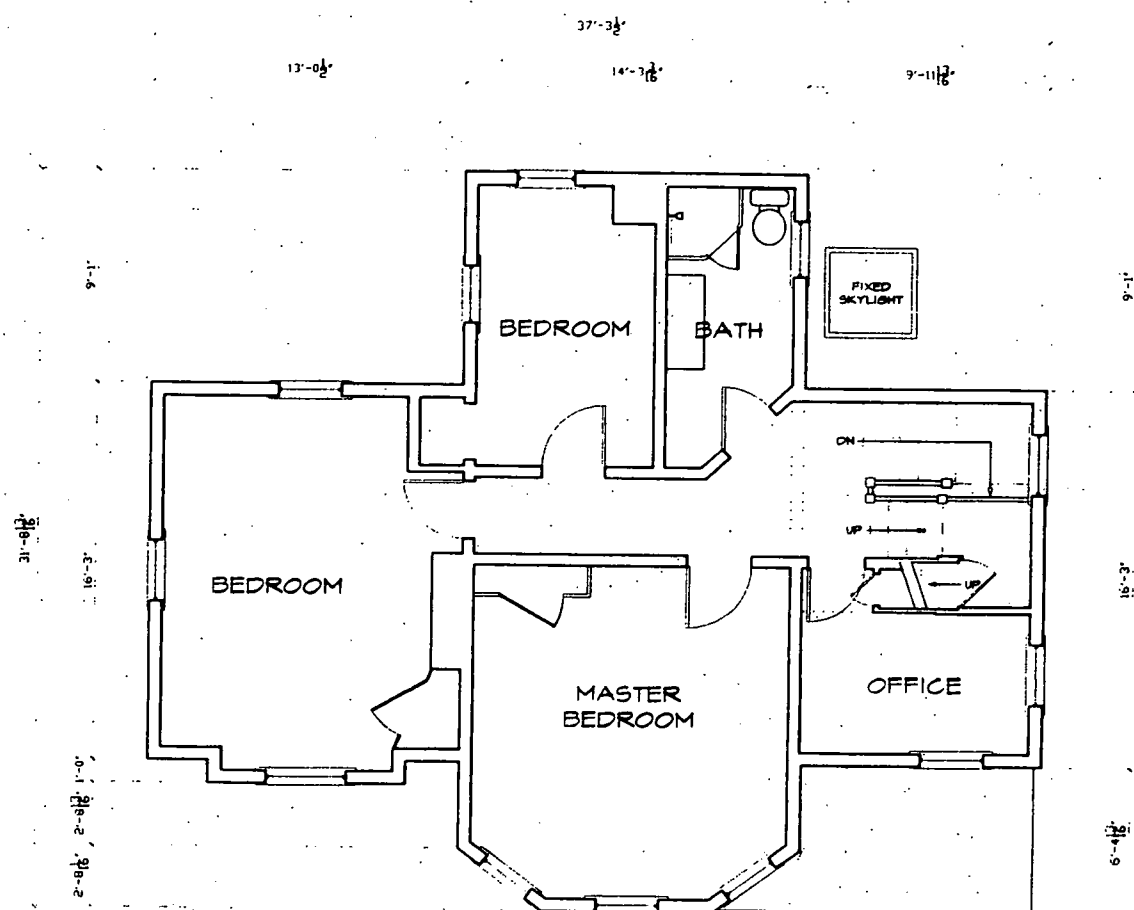
PROPOSED 1ST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

PROPOSED ADDITION
 7311 BALTIMORE AVE
 TAKOMA PARK, MD 20912
 OCTOBER 25, 2011
 REV. NOV 1, 2011
 SCALE: 3/16" = 1'-0"

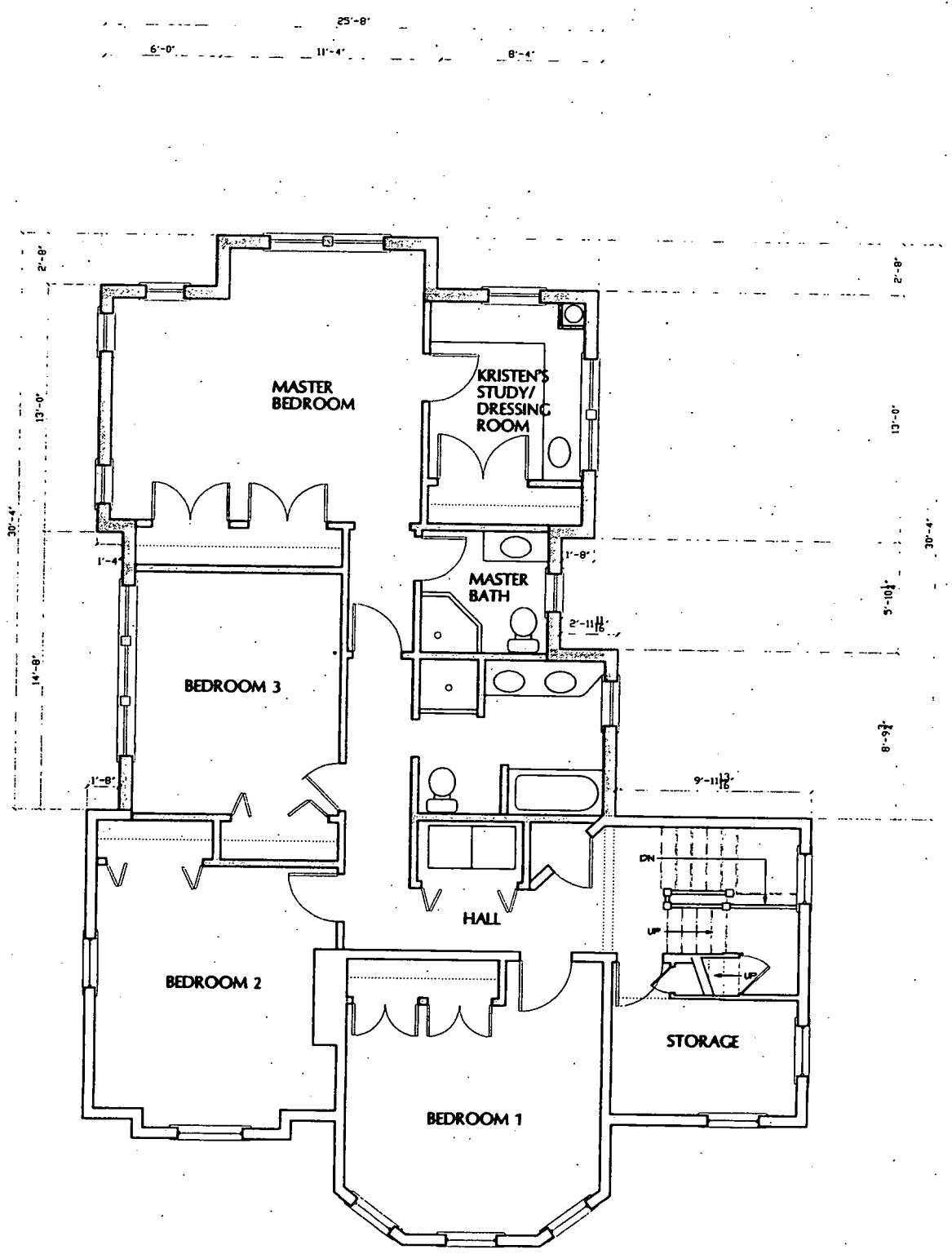
REVISED PLAN

ABRAMS DESIGN BUILD LLC

6411 ORCHARD AVE TAKOMA PARK, MD 20912 301-270-NET-ZERO
 WWW.ABRAMSDSIGNBUILD.COM



**EXISTING
SECOND FLOOR PLAN**
SCALE: 3/16"=1'-0"



SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

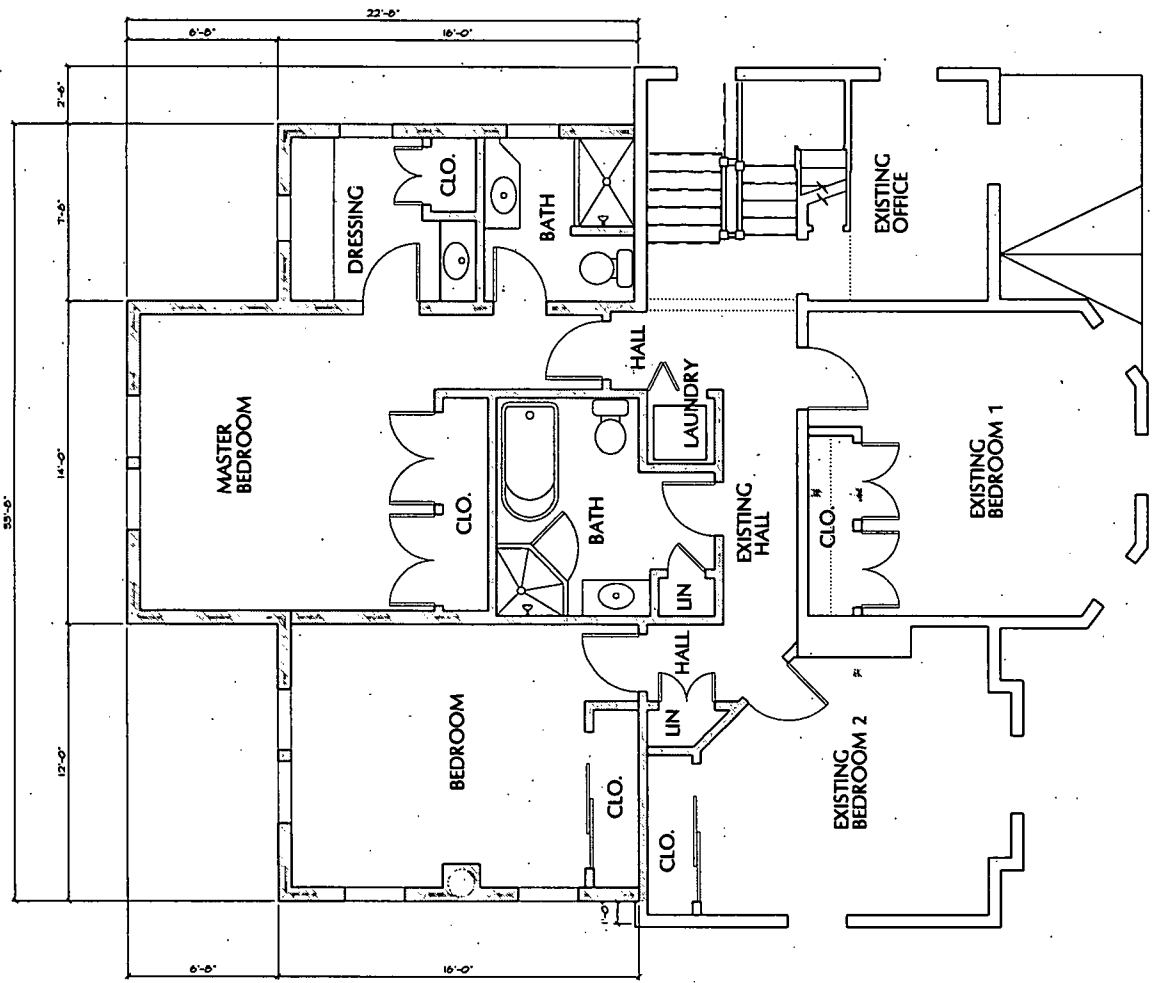
HPC APPROVED PLAN

7311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW WDC 20012 202-726-5844
WWW.ABRAMSDSIGNBUILD.COM

HAWP APPLICATION SET
FLOOR PLANS

20

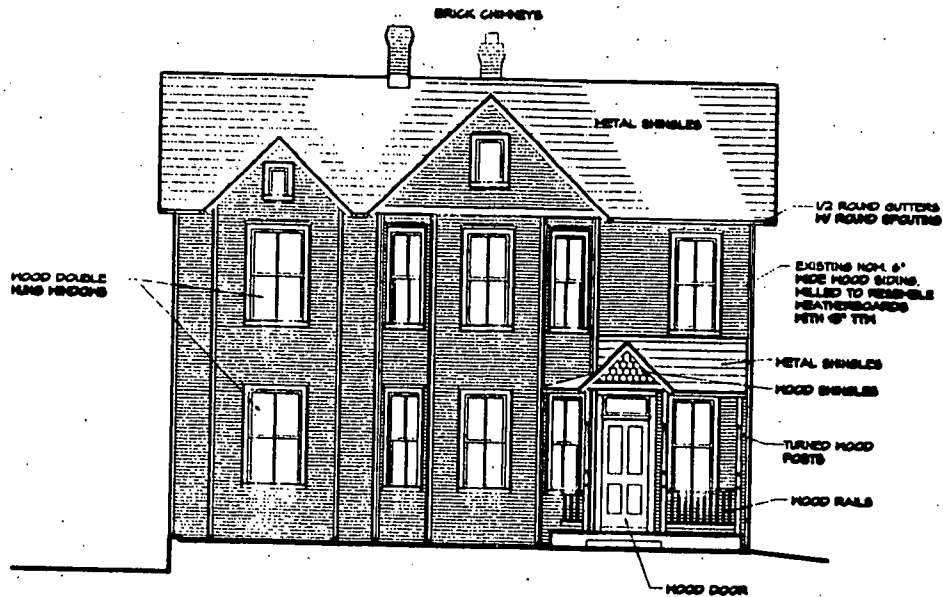


PROPOSED 2ND FLOOR PLAN
 SCALE: 3/16" = 1'-0"

PROPOSED ADDITION
 7311 BALTIMORE AVE
 TAKOMA PARK, MD 20912
 OCTOBER 29, 2011
 REV. NOV 7, 2011
 SCALE: 3/16" = 1'-0"

REVISED PLAN

ABRAMS DESIGN BUILD LLC
 6411 ORCHARD AVE TAKOMA PARK, MD 20912 301-270-NET-ZERO
 WWW.ABRAMSDSIGNBUILD.COM



NO CHANGES PROPOSED FOR THE FRONT ELEVATION

SEE SOUTHEAST ELEVATION FOR ADDITIONAL NOTES

Existing Northwest (Baltimore Street) Elevation

Freedman Residence
 7311 Baltimore Ave.
 Takoma Park, Maryland 20912

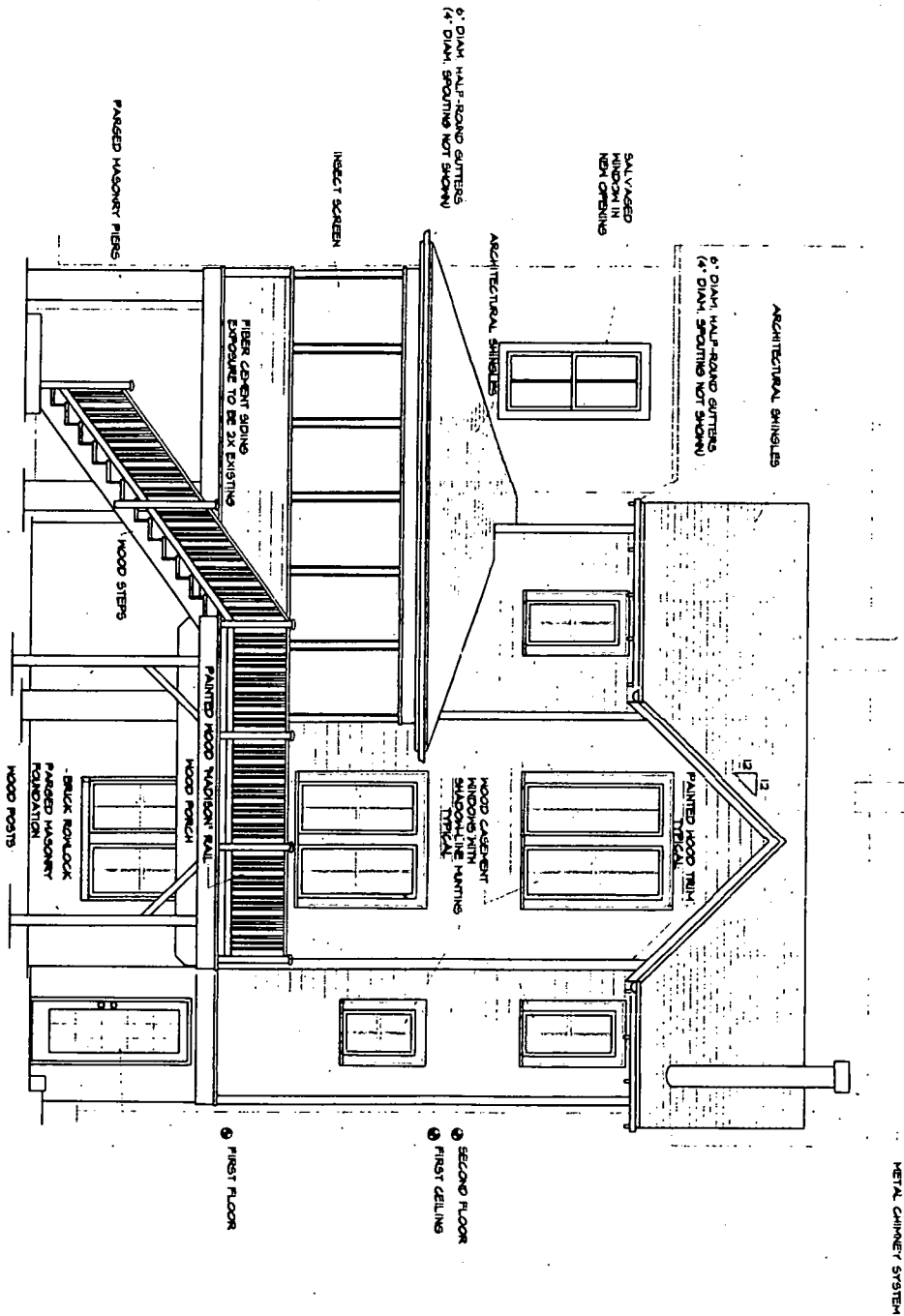
ABRAMS DESIGN BUILD LLC
 A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
 401 BUTTERNUT STREET NW WASHINGTON DC 20003
 WWW.ABRAMSDSIGNBUILD.COM
 202-726-8844

NORTHWEST ELEVATIONS - Existing and Proposed
 1/8" T-O" May 5, 2010



28

REAR ELEVATION
SCALE: 3/16"=1'-0"



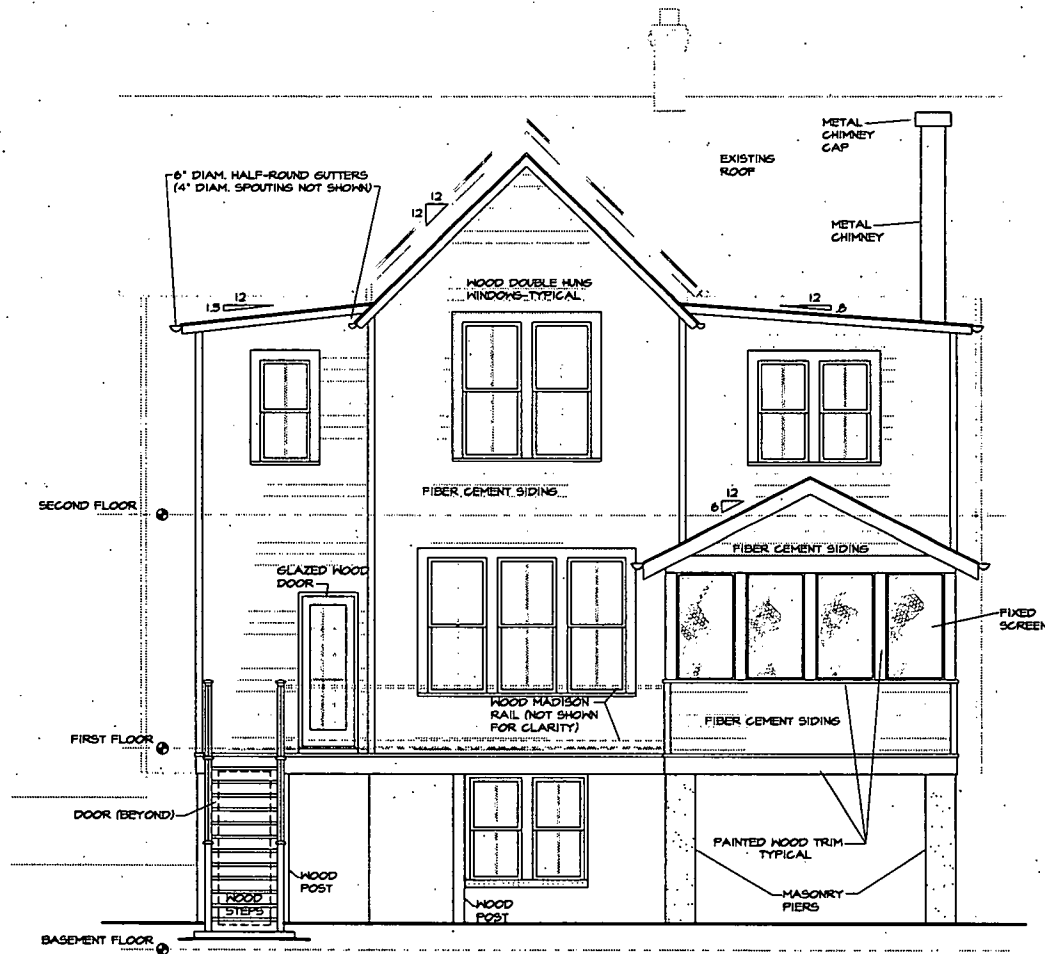
HPL APPROVED PLAN

7311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

ABRAMS DESIGN BUILD LLC
404 BUTTERNUT ST NW WDC 20012 202-726-5894
WWW.ABRAMSDSIGNBUILD.COM

HAWP APPLICATION SET
ELEVATIONS

REVISED PLAN



PROPOSED REAR ELEVATION

SCALE: 3/16" = 1'-0"

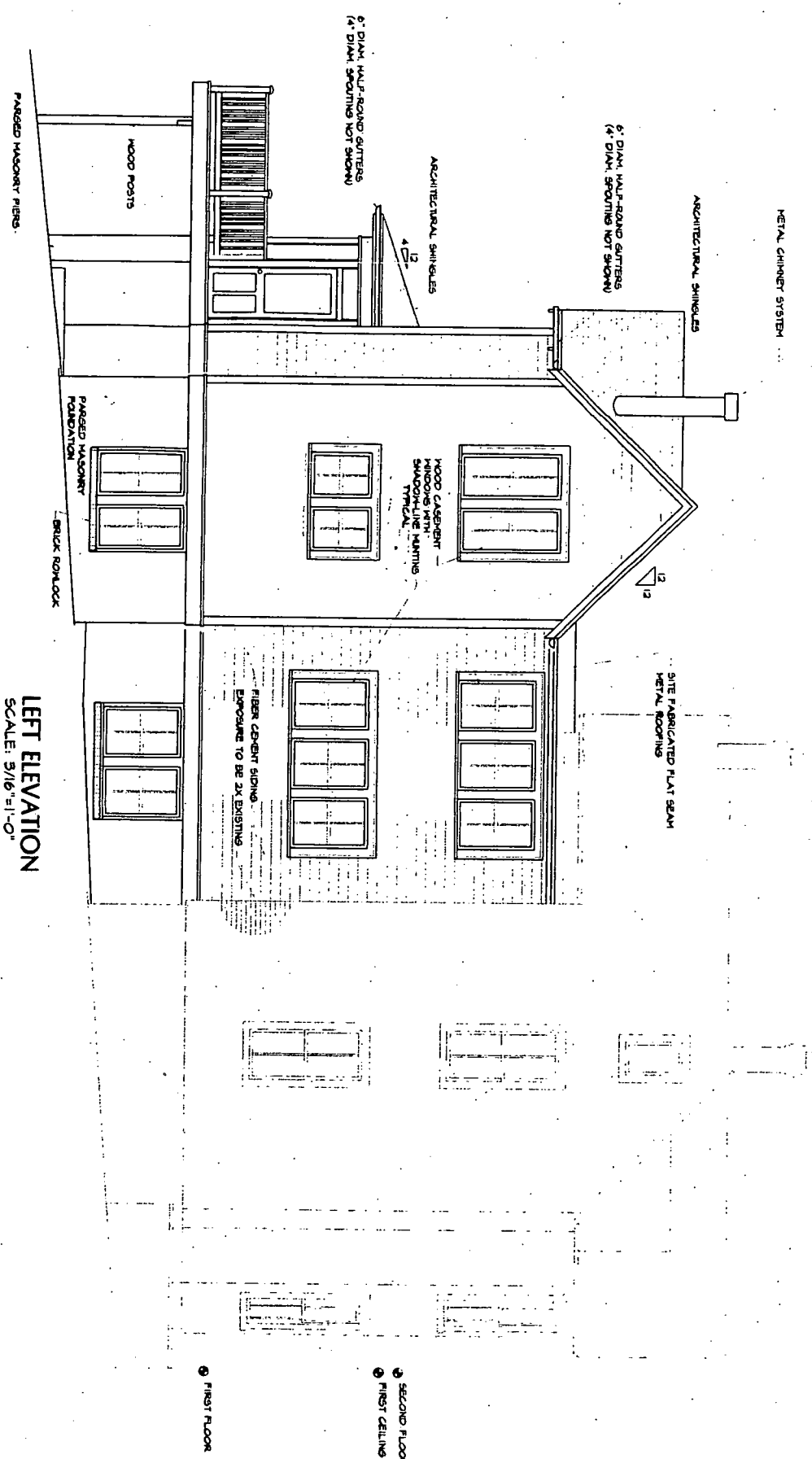
SEE RIGHT ELEVATION FOR
ADDITIONAL NOTES

PROPOSED ADDITION
7311 BALTIMORE AVE
TAKOMA PARK, MD 20912
OCTOBER 25, 2011
REV. NOV 7, 2011
SCALE: 3/16" = 1'-0"

ABRAMS DESIGN BUILD LLC
6411 ORCHARD AVE TAKOMA PARK, MD 20912 301-270-NET-ZERO
WWW.ABRAMSDSIGNBUILD.COM

21

25



LEFT ELEVATION
SCALE: 5/16"=1'-0"

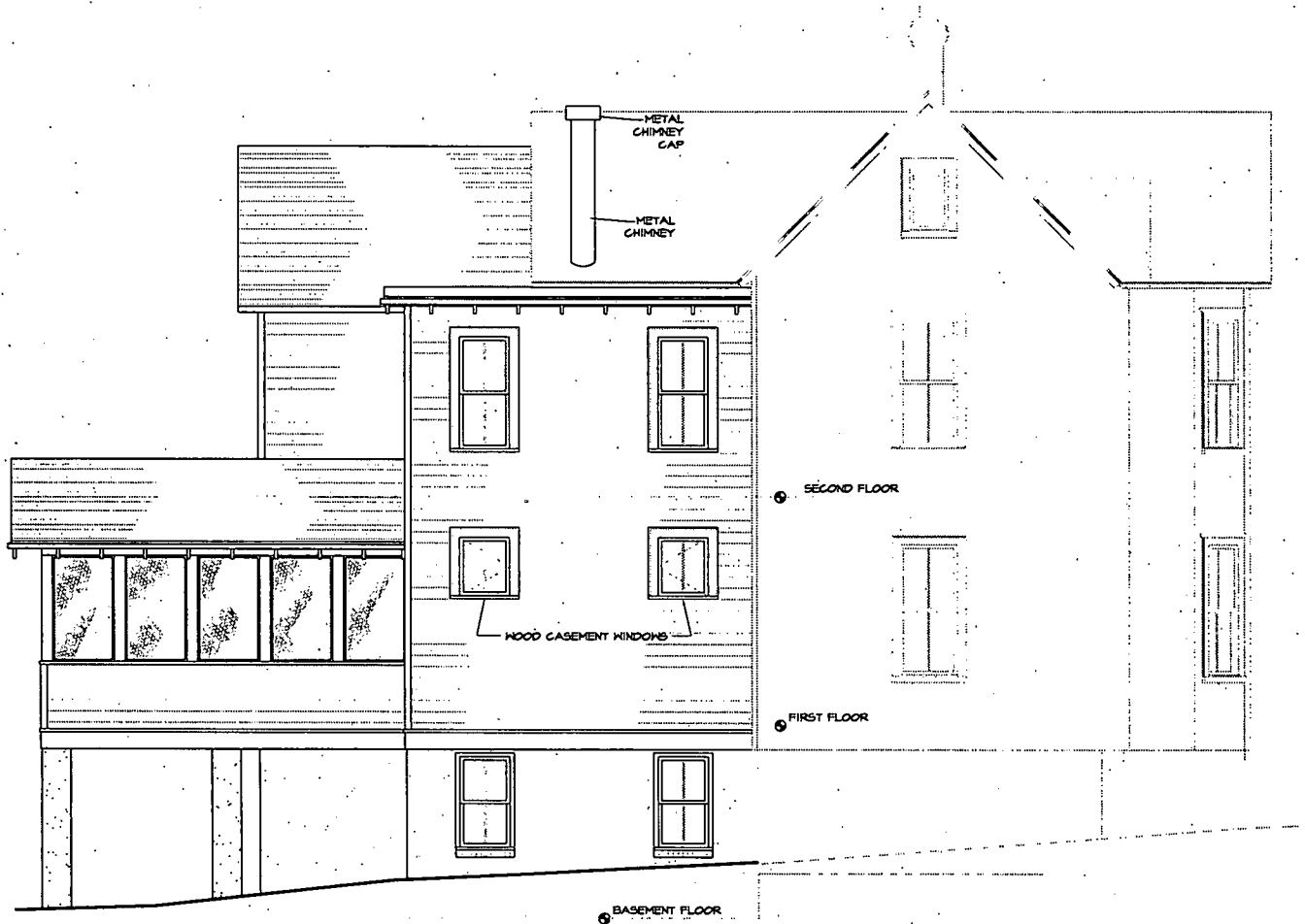
HPC APPROVED PLAN

7311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW WDC 20012 202-726-5894
WWW.ABRAMSDSIGNBUILD.COM

HAWP APPLICATION SET
ELEVATIONS

REVISED PLAN



PROPOSED LEFT ELEVATION
SCALE: 3/16" = 1'-0"
SEE RIGHT AND REAR ELEVATION FOR
ADDITIONAL NOTES

PROPOSED ADDITION
7311 BALTIMORE AVE
TAKOMA PARK, MD 20912
OCTOBER 25, 2011
REV. NOV 7, 2011
SCALE: 3/16" = 1'-0"

ABRAMS DESIGN BUILD LLC
6411 ORCHARD AVE TAKOMA PARK, MD 20912 301-270-NET-ZERO
WWW.ABRAMSDSIGNBUILD.COM

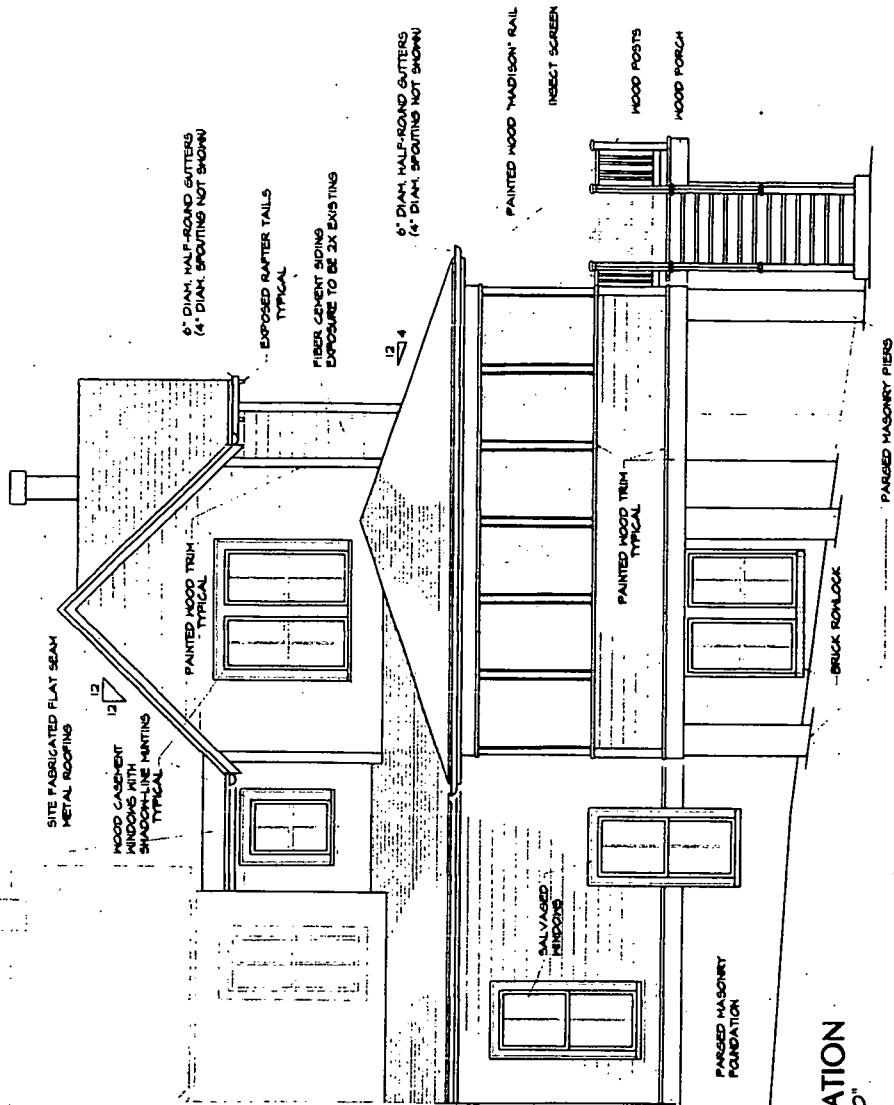
26

HAMP APPLICATION SET
ELEVATIONS

ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW MDC 20012 202-726-5844
WWW.ABRAMSDSIGNBUILD.COM

7311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

HPC APPROVED PLAN



RIGHT ELEVATION
SCALE: 3/16"=1'-0"

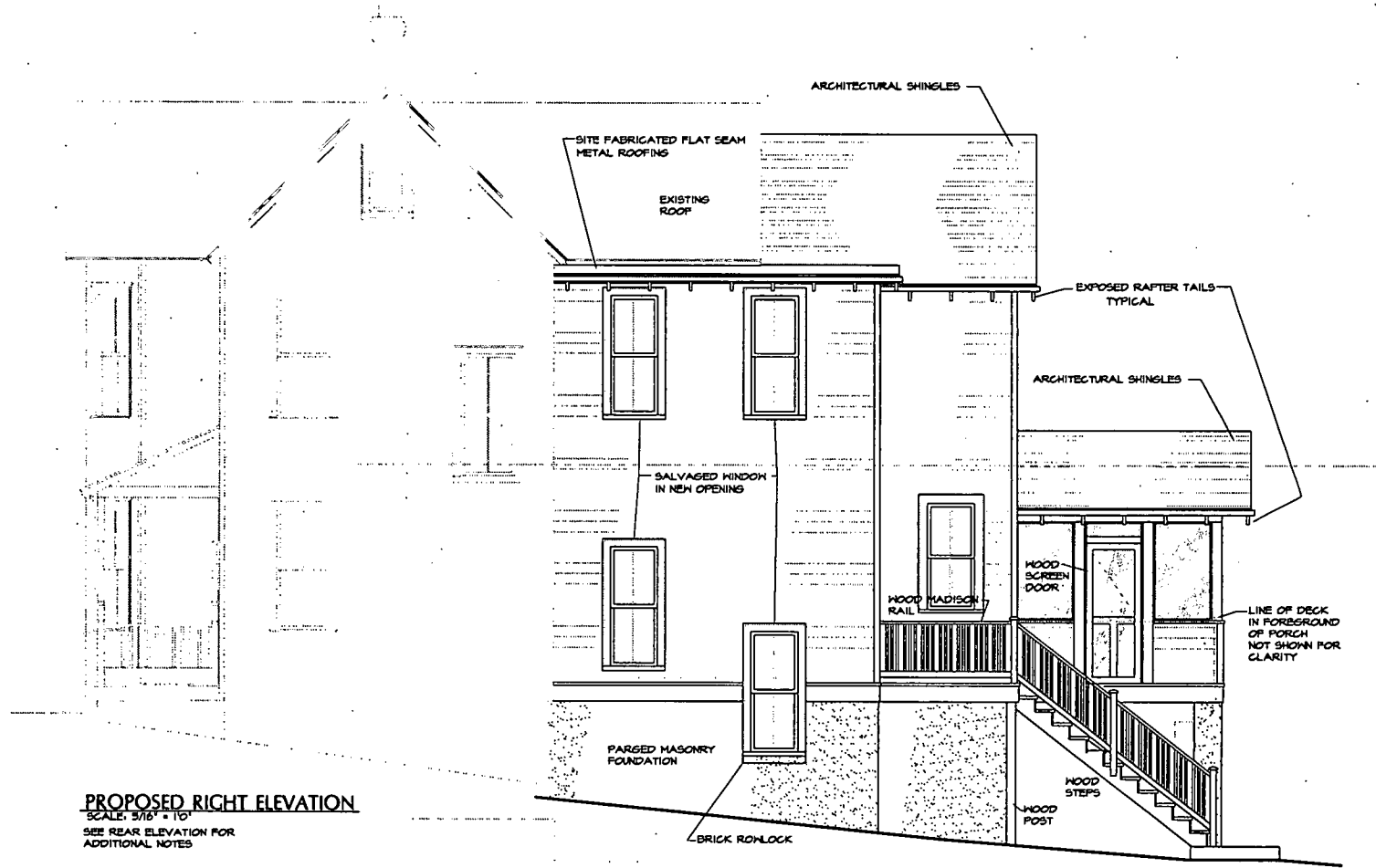


④ SECOND FLOOR
③ FIRST CEILING

② FIRST FLOOR



REVISED PLAN



PROPOSED RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"
 SEE REAR ELEVATION FOR
 ADDITIONAL NOTES

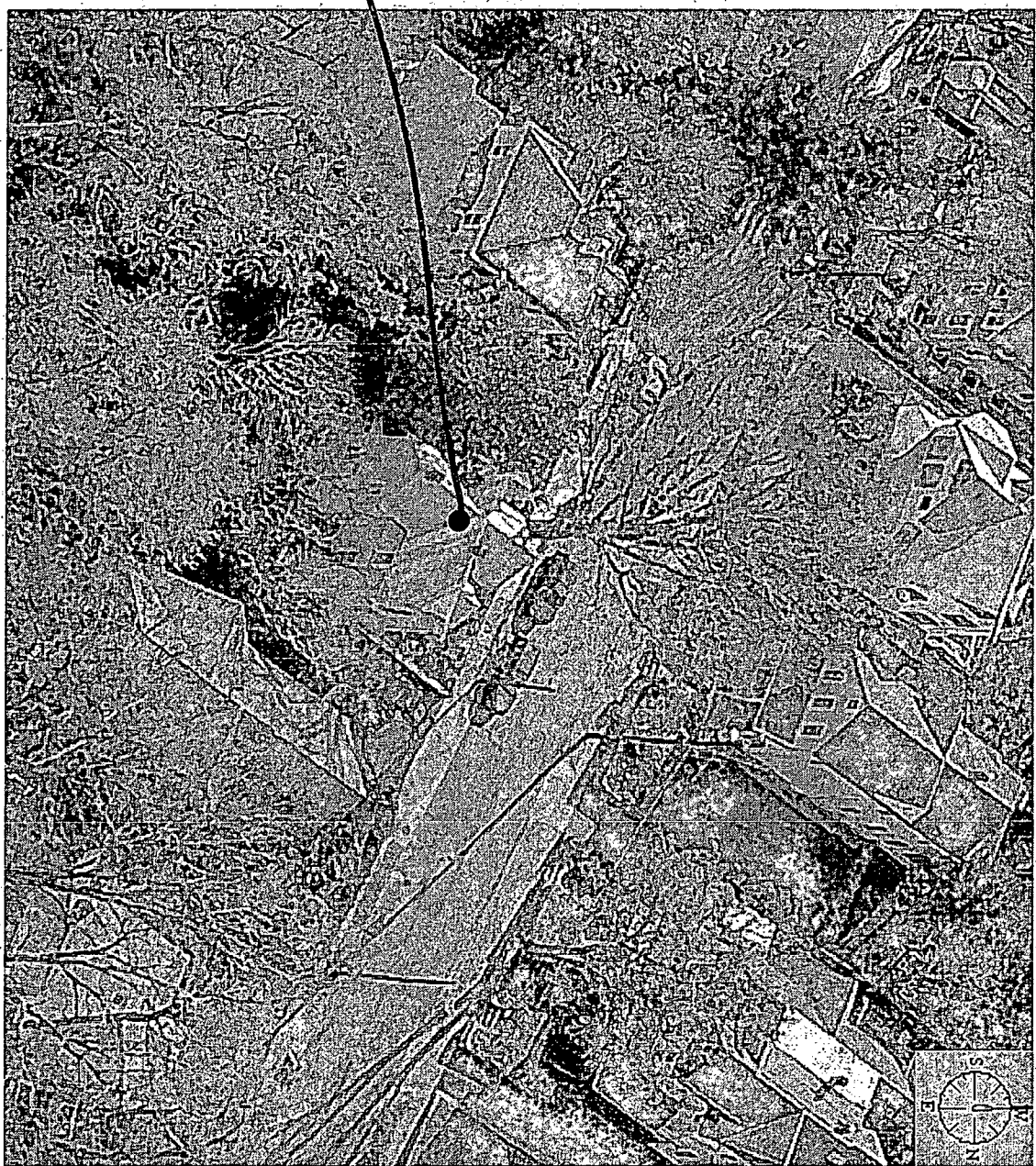
PROPOSED ADDITION
 7311 BALTIMORE AVE
 TAKOMA PARK, MD 20912
 OCTOBER 25, 2011
 REV. NOV 7, 2011
 SCALE: 3/16" = 1'-0"

ABRAMS DESIGN BUILD LLC
 6411 ORCHARD AVE TAKOMA PARK, MD 20912 301-270-NET-ZERO
 WWW.ABRAMSDSIGNBUILD.COM

24

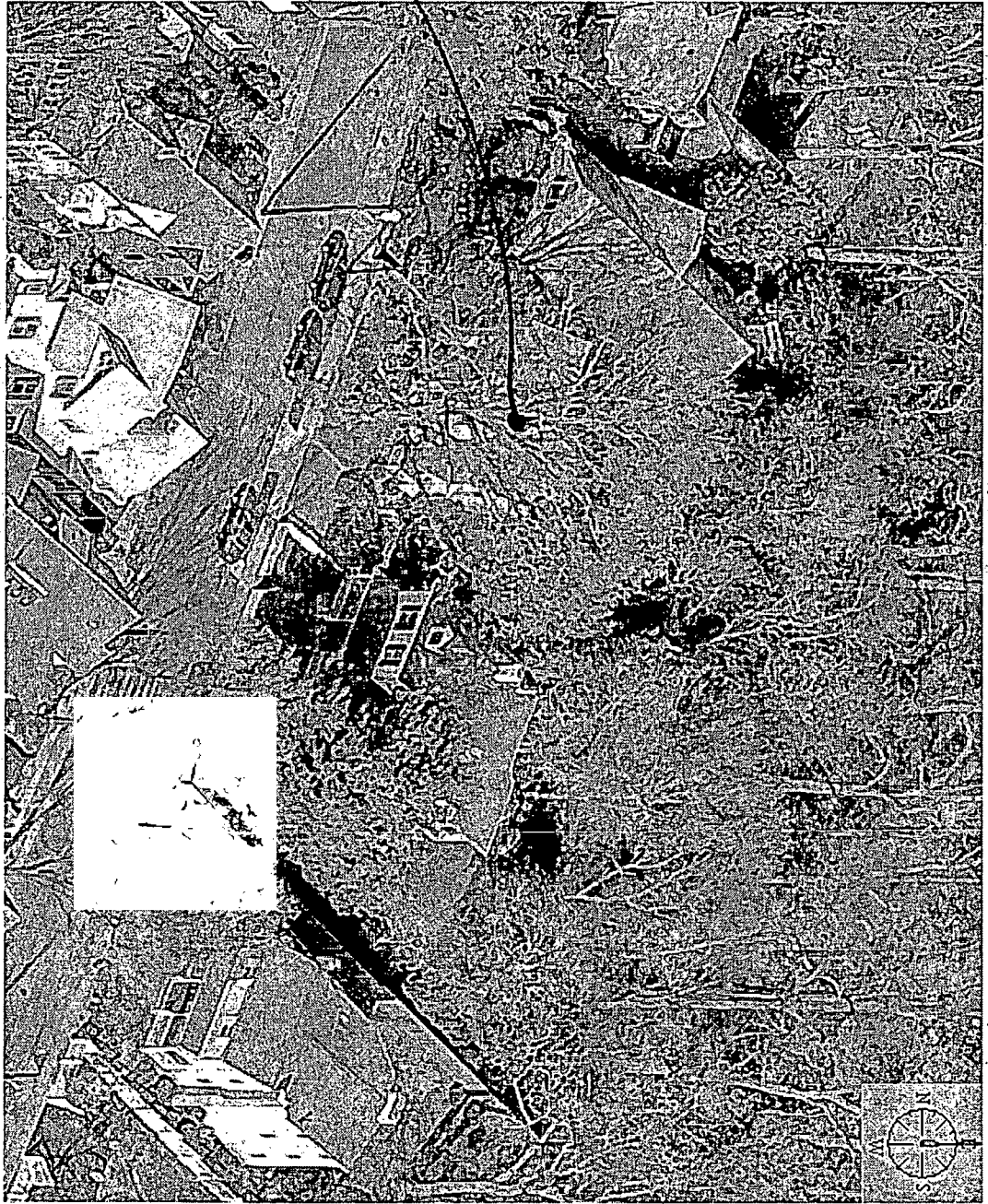
29

7311
BATHMORE



30

7311
BALTIMORE



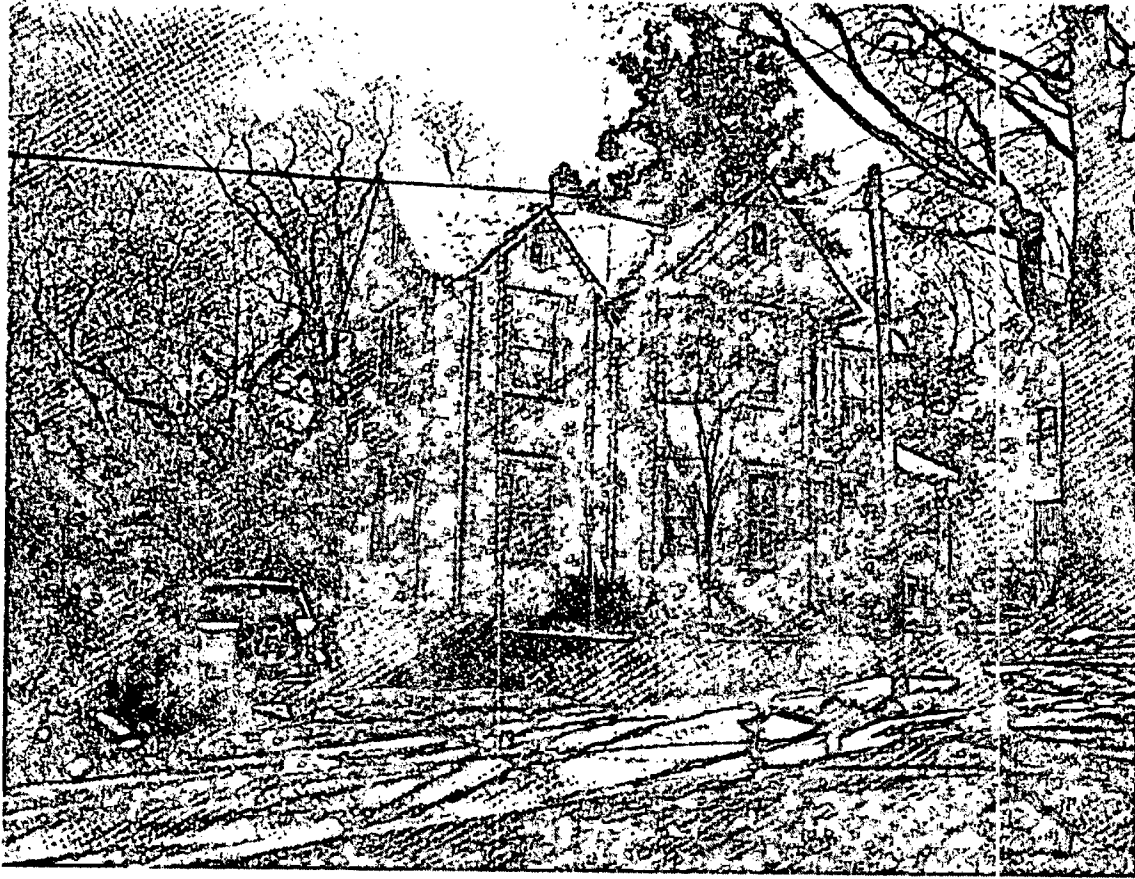
Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



Northwest Elevation (Street Elevation) of House

91

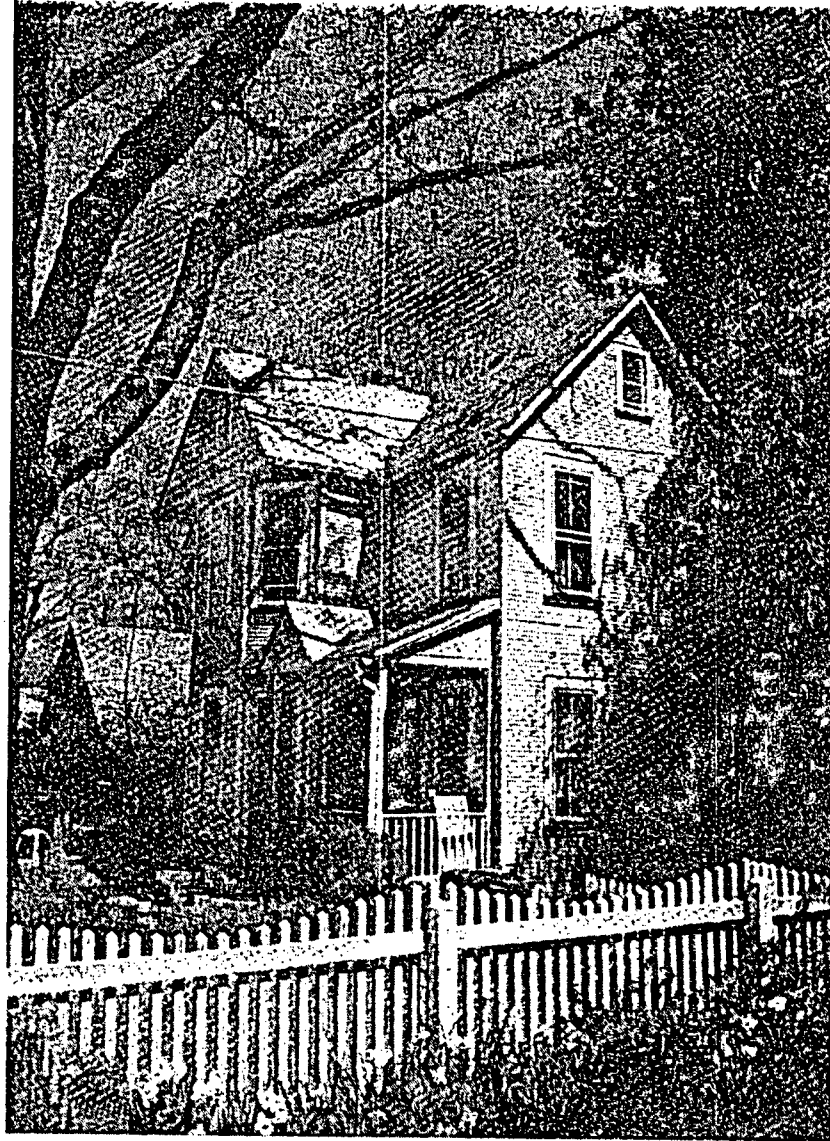
Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



View of North Corner



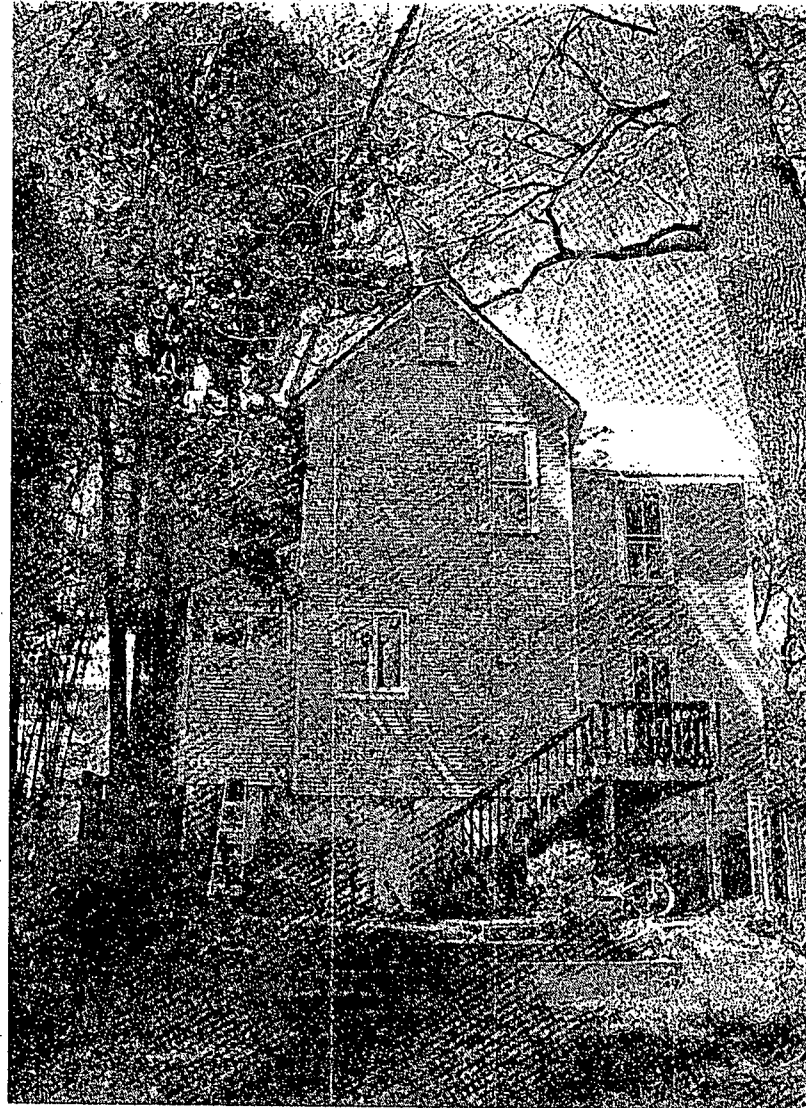
Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



View of West corner of house

98

Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



Current view from backyard

34

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7311 Baltimore Avenue, Takoma Park	Meeting Date:	12/15/2010
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	12/8/2010
Applicant:	Mark Freedman and Kristen Summers (Amy Abrams, Agent)	Public Notice:	12/1/2010
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-10JJJ	Staff:	Josh Silver
PROPOSAL:	Rear addition and tree removal		

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with one condition**:

1. The applicants will contact the City of Takoma Park, Arborist to determine if a tree protection plan is required for the project. If a tree protection plan is required, it must be implemented prior to commencing work at the property.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Queen Anne
DATE: c1890-1900

BACKGROUND

On June 23, 2010 the HPC held a Preliminary Consultation hearing for construction of a rear addition at the subject property. The HPC recommended the applicant make revisions to the proposed design and return for a 2nd Preliminary Consultation.

The HPC held a 2nd Preliminary Consultation hearing on July 28, 2010. (See Circle# 37 for HPC meeting transcript). There was consensus among the HPC that the revised design responded to the general feedback the applicant received at the 1st Preliminary Consultation. The HPC provided the applicant with the following feedback in response to the proposed design:

1. The revised design is consistent with the predominant architectural style and massing of the primary resource
2. The design is successful in preserving the cruciform plan of the house and includes appropriate materials consistent with the resource.
3. A 12:12 pitch for the transverse roof of the addition was recommended to match the existing roof pitch of the house and proposed rear bay
4. A masonry building component (pier/foundation) was recommended for the proposed rear bay

5. Additional attention should be given toward the alignment/positioning of the addition in relationship to the existing cruciform plan.

PROPOSAL

The proposed massing and design is consistent with the plans presented by the applicant at the 2nd Preliminary Consultation, which the HPC supported.

The applicants are proposing to construct a two-story addition over a full basement at the rear of the house.

The proposed design extends across the majority of the rear elevation and beyond the existing rear bay approximately 18' into the rear yard. The proposed design includes a 2 story bay over a full foundation that extends an additional 2'8" into the rear yard. The proposed addition increases the habitable portion of the house 714 square feet (building footprint); the current habitable portion of the house is approximately 880 square feet (building footprint). A 2 story reduced area of approximately 593 square feet is proposed for the left side rear elevation that serves as a connection between the 2nd level of the historic massing and living area of the proposed addition. The proposed addition will be inset 1'8" on both sides of the historic massing and lower than the ridgeline of the primary structure and original gable roof bay at the rear of the house.

The proposed design also includes the construction of a 1 story, hipped roof screened porch located at the southwest corner and a new wooden deck and stairway to grade.

Material treatments include a combination of architectural asphalt shingles and flat seam metal roofing, fiber cement siding, 2/2 muntin profile, simulated divided light wooden casement windows, a wooden door, parged CMU foundation, and a wooden deck with stairs to grade.

The applicant is also requesting approval for the removal of two trees.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;
- Major additions should, where feasible, be placed to the rear of the existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited;
- While additions should be compatible, they are not required to be replicative of earlier architectural styles;
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single-story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing;
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition;
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course;
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed design and material specifications as submitted. The revised design is consistent with what the HPC supported at the 1st Preliminary Consultation and responds directly to the feedback the applicants received from the HPC at the 2nd Preliminary Consultation.

The roof pitches and alignment of the addition have been simplified for consistency and compatibility with historic massing. The revised design introduces a 12:12 roof pitch for the transverse roof and the eave lines of the new roofs have been adjusted to the same horizontal datum to enable better alignment between the roof forms of the addition. A full masonry foundation has been added to the rear bay in lieu of a cantilevered bay on wooden posts.

Staff supports the proposed tree removal and recommends that the applicant consult with the City of Takoma Park, Arborist to determine an appropriate course of action for their removal and to determine if a tree protection plan is required for the proposed undertaking.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the condition** specified on Circle 1 as being consistent with Chapter 24A-8(b) (1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
 246 727 5272

DPS - #8

J

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

Contact Person: Amy Abrams

Daytime Phone No.: 202-726-5894

Tax Account No.: 01065034

Name of Property Owner: Mark E. Freedman and Kristen M. Summers Daytime Phone No.: 301-485-4556

Address: 7311 Takoma Park Baltimore Ave 20912
Street Number City Street Zip Code

Contractor: Abrams Design Build Phone No.: 202-726-5894

Contractor Registration No.: MC #BC3367, MD #86613

Agent for Owner: Amy Abrams Daytime Phone No.: 202-726-5894

LOCATION OF BUILDING/PREMISE

House Number: 7311 Street: Baltimore Ave

Town/City: Takoma Park Nearest Cross Street: Takoma Ave

Lot: 5 Block: 78 Subdivision: 25

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMITS ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 450,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Amy Abrams
 Signature of owner or authorized agent

11/24/2010
 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 537040 Date Filed: _____ Date Issued: _____

6

ADDENDUM TO HAWP APPLICATION
7311 Baltimore Avenue, Takoma Park, MD
November 24, 2010

DESCRIPTION OF EXISTING STRUCTURE

The existing house is a two story + attic, wood framed structure built in 1908 (according to tax records). The steeply pitched, cross gabled roof and lack of ornamentation is a simplified, vernacular expression of Victorian style. The strongest feature is the base of the front gable end flying beyond the diagonal sides of the front bay. The plan is cruciform, with the main block of the house an elongated rectangle running parallel to the street. A large octagonal full height bay projects from the front, with a small front porch tucked into the southwest (right front) corner. A smaller and shallower full height bay projects from the front wall of the main block, to the north (left) of the octagonal bay. This bay is also capped by a reverse gabled roof, smaller in scale but similar in proportion to the roof over the octagonal bay.

A full height rectangular wing, aligned with the octagonal bay, projects 9 feet from the rear of the house. A small single story appendage is contained in the southeast (right rear, viewed from the street) corner. The habitable portion of the house has a footprint of approximately 880 square feet.

Much of the exterior of the house appears to be original (or very early) materials, including 2/2 double hung windows, and nominal 6" wide wood clapboards, milled to resemble weatherboards with 3" exposures. The roof is clad with metal shingles, and drained with half-round gutters and round section spouting.

The house is sited on a standard 50 foot wide by 150 feet deep city lot, amid an eclectic mix of house styles, and a wide variety of scale. An extensively remodeled and extended bungalow sits to its right; on the left is a much modified and extended vernacular house also dated at 1908. Within immediate view are two large recent houses in styles deriving from historic prototypes, and other early twentieth century homes with large additions. The front portion of the subject lot slopes gently down from south to north, but the rear drops more steeply, exposing almost the entirety of the rear wall of the brick basement.

PROJECT DESCRIPTION

The proposal is to construct an addition that would extend across the majority of the rear of the house, but inset one foot, eight inches from each rear corner. It would extend past the existing rear bay approximately 18 feet, plus a two story bay extending an additional two feet, eight inches. The footprint of the habitable portion of the addition would be

approximately 714 square feet. The main floor area of the addition would be 740 square feet, and the area of the addition on the second floor would reduce to 593 square feet. There would be a habitable walkout basement below the main floor. Based on a topographic survey and consultation with zoning staff at Montgomery County Department of Permitting Services, and given the steep grade, it has been determined that it is otherwise permissible to build a two story addition over a substantially above grade basement on this property.

The addition would also include a screened porch at the southwest corner, and a deck with a stairway to grade.

The theme of the design is to complement the original complex gabled forms with new gabled forms. The main portion of the new roof would have reduced pitch, to distinguish it from the original construction, and to establish a hierarchy of spaces. Cement plank siding would further distinguish the original from the new. Wood casement windows would also contrast with the existing wood double hung units; however the 2/2 glazing configuration and slender aspect ratio would reference the original style and proportions.

The main portion of the addition is connected to the original construction by a flat roofed hyphen, again to distinguish old and new, and to preserve to the greatest extent possible the original cruciform plan. This solution preserves in its entirety the rear gable and all other portions of the original roof.

On the main level, the addition would house a family room, with areas for play and study; also casual dining area which will do double duty as a library, and a new stairway to the basement level. (The present stairway to the basement is exceptionally steep and narrow, and leads to an area with a very low ceiling.) The second floor would include a child's bedroom and a master bedroom suite, with provision for a home office. The basement would include a rec room, bathroom, and spare bedroom.

On the site, one large tree (a magnolia, which is less than three feet away from the existing house) needs to be removed, whether the addition is built or not. Also, a mulberry tree near the north property line would need to be heavily pruned or removed. (to be determined during the Tree Protection Planning process). No other trees would be seriously impacted by construction. Standard precautions for other trees on site would be taken.

The addition, though large, would project much less than the neighboring house on the left, which would still project approximately 16' beyond the proposed addition. The proposed addition would project only approximately 2' beyond the back line of the neighboring house on the right. Cladding, detailing, and fenestration would distinguish the addition, yet would be in character with the existing elements. We feel that the addition would compliment the house, and little if any visual impact on the public viewscape.

A further goal of the project is to build new space with the highest levels of energy efficiency, and to retrofit existing spaces and equipment, with the specific performance objective that the combined new and existing volumes will use no more net energy for heating and cooling than did the original space.

In conclusion, we feel that the addition will compliment the original house, as well as greatly increasing the utility of the home for its owners and their large, extended family. Therefore, we submit that the proposed project will have no negative impact and hopefully a positive impact on the historic district.

Area summary (not including attic, decks, porches, patios, etc):

Total existing habitable floor area, 1st and 2nd floors: 1710 SF

Existing basement and storage area: 880 SF

Area to be removed: 50 SF

Proposed habitable floor area of addition, on first and second floors: 1337 SF

Proposed habitable floor area of new basement: 718 SF

Total proposed added habitable floor area: 2053 SF

Total existing and proposed habitable floor area: 3711 SF

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Mark F. Freedman &
Kristen M. Summers
7311 Baltimore Ave.
Takoma Park, MD 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Kenneth M. Wyner
7313 Baltimore Ave
Takoma Park, MD 20912

William C Sandberg Et Al Tr.
7307 Baltimore Ave
Takoma Park, MD 20912

Catherine Bernard &
William C Sandberg
7309 Baltimore Ave
Takoma Park, MD 20912

Ellen Brown
7310 Baltimore Ave
Takoma Park, MD 20912

Konrad Augustin A & AM
7312 Baltimore Ave
Takoma Park, MD 20912

Julia Boddy
7314 Baltimore Ave
Takoma Park, MD 20912

Adjacent and confronting Property Owners mailing addresses - continued

Christel Steinvorth
7314 Piney Branch Rd.
Takoma Park, MD 20912

Harvey J. Solomon
7316 Piney Branch Rd.
Takoma Park, MD 20912

Neil J. Gamson &
Lori G Borrud
7318 Piney Branch Rd.
Takoma Park, MD 20912

BALTIMORE AVENUE



7311
EXISTING
TWO
STORY+
BASEMENT

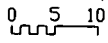
TWO
STORY+
BASEMENT
ADDITION

DECK

COVERED PORCH

(TO BE
REMOVED)

SITE DEVELOPMENT PLAN

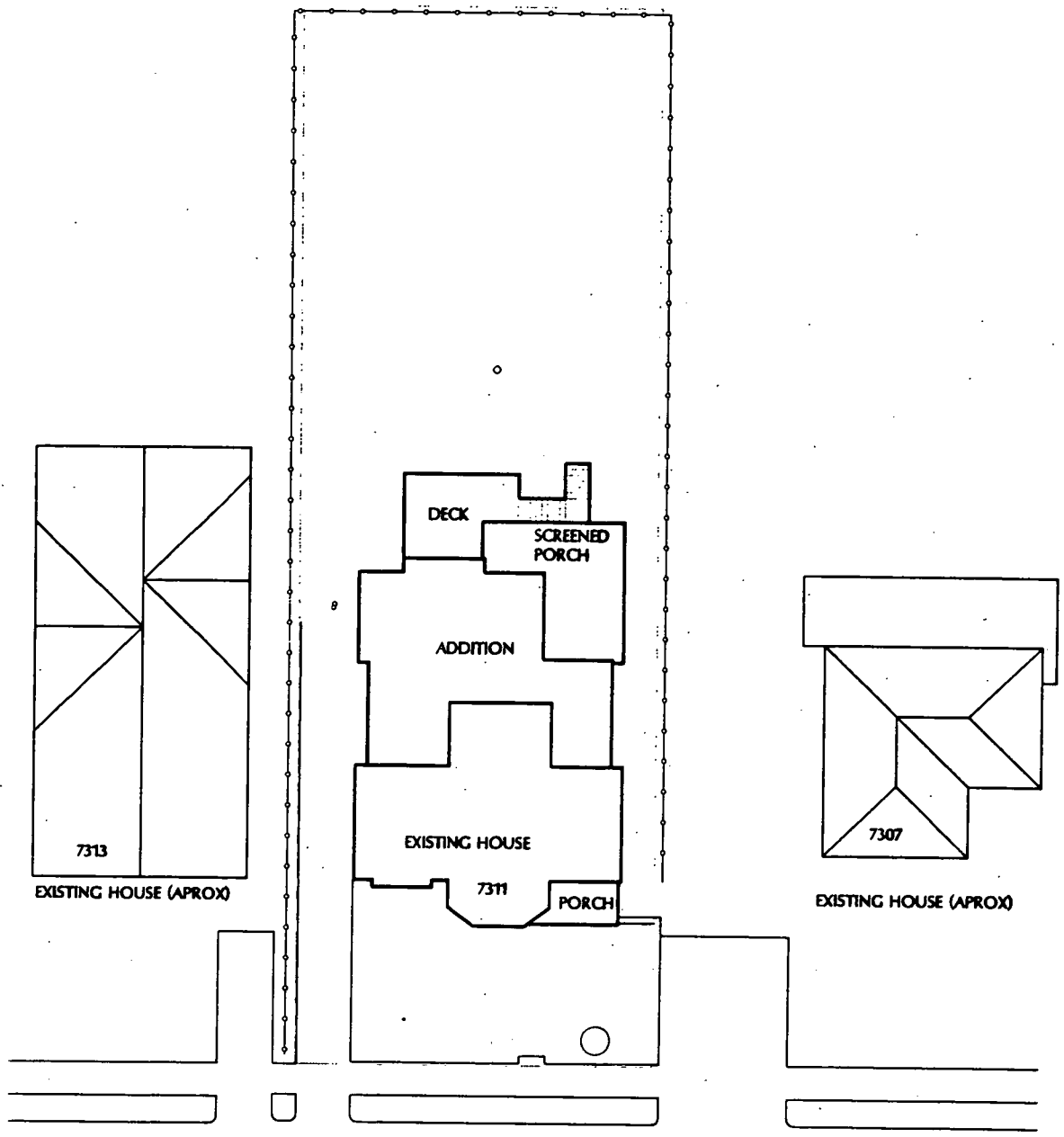


HAMP APPLICATION SET
SITE DEVELOPMENT PLAN

ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW, NDC 20012 202-726-5844
WWW.ABRAMSDSIGNBUILD.COM

7311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

12



BALTIMORE AVENUE

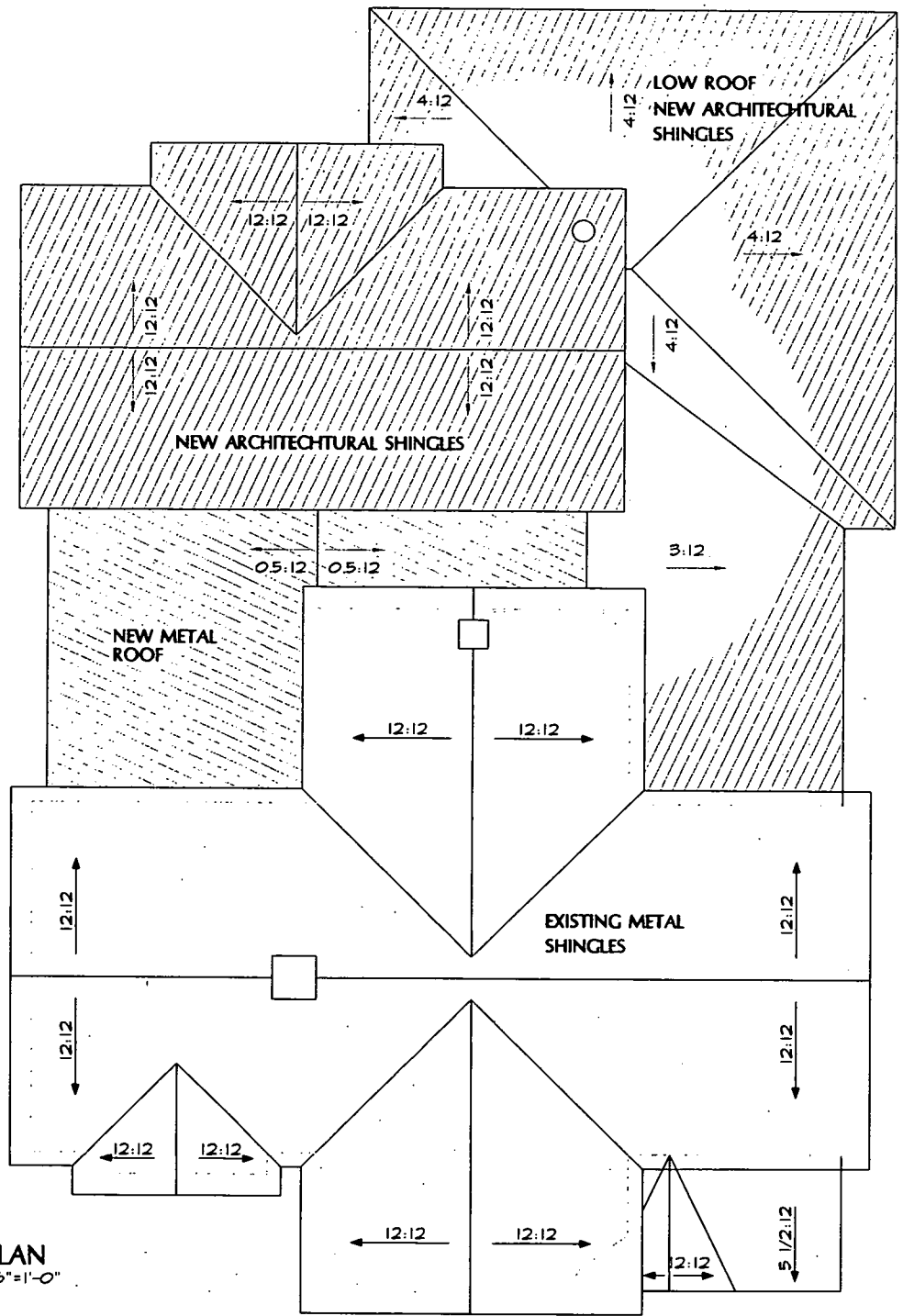


PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"

<p>Freedman & Summers Residence 7311 Baltimore Ave. Takoma Park, Maryland 20912</p>	<p>ABRAMS DESIGN BUILD LLC A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE 409 BUTTERNUT STREET NW WASHINGTON DC 20012 WWW.ABRAMSDSIGNBUILD.COM 202-726-5844</p>	<p>HAWP DISCUSSION SET SHEET 1 OF 16 JULY 7, 2010</p>
---	---	---



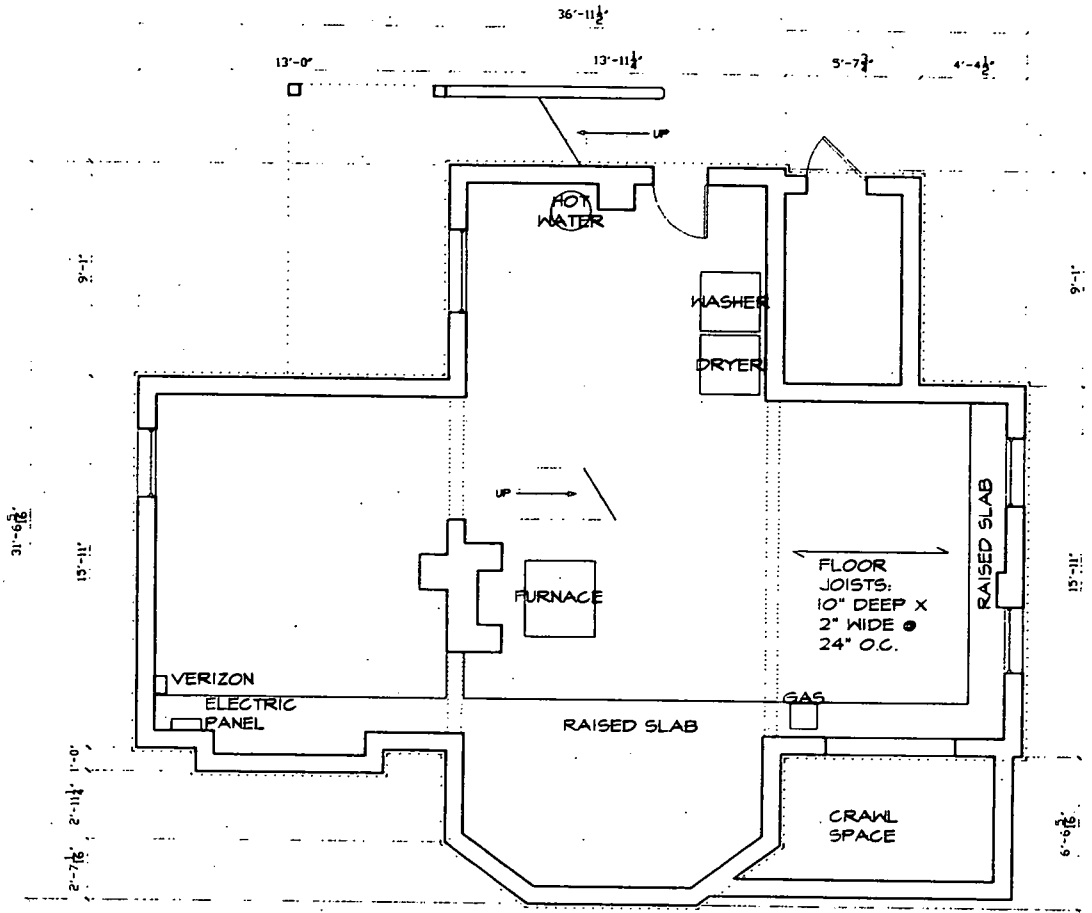


ROOF PLAN
SCALE: 3/16"=1'-0"

7311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

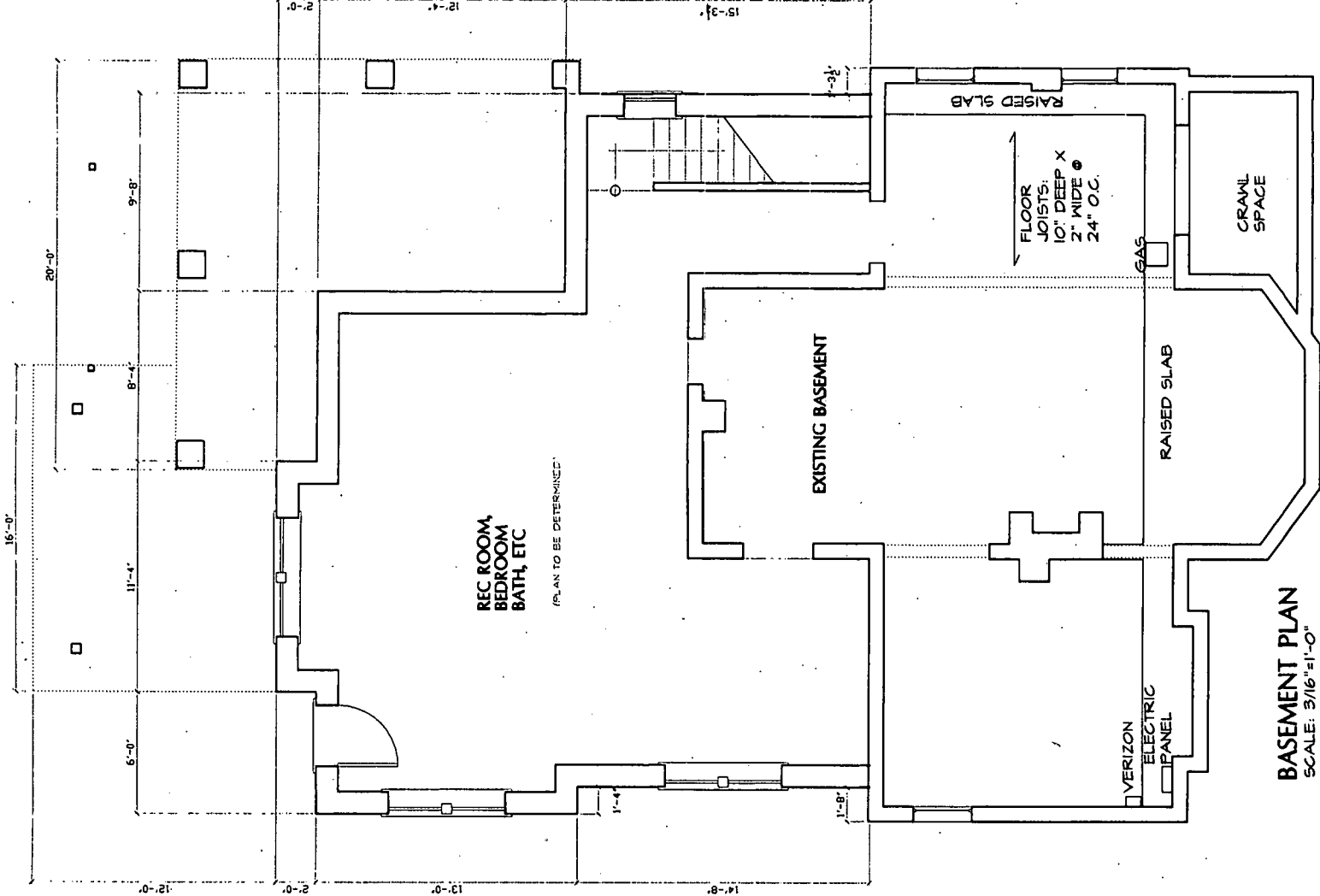
ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW WDC 20012 202-726-5894
WWW.ABRAMSDSIGNBUILD.COM

HAWP APPLICATION SET
ROOF PLAN



**EXISTING
BASEMENT PLAN**

SCALE: 3/16"=1'-0"



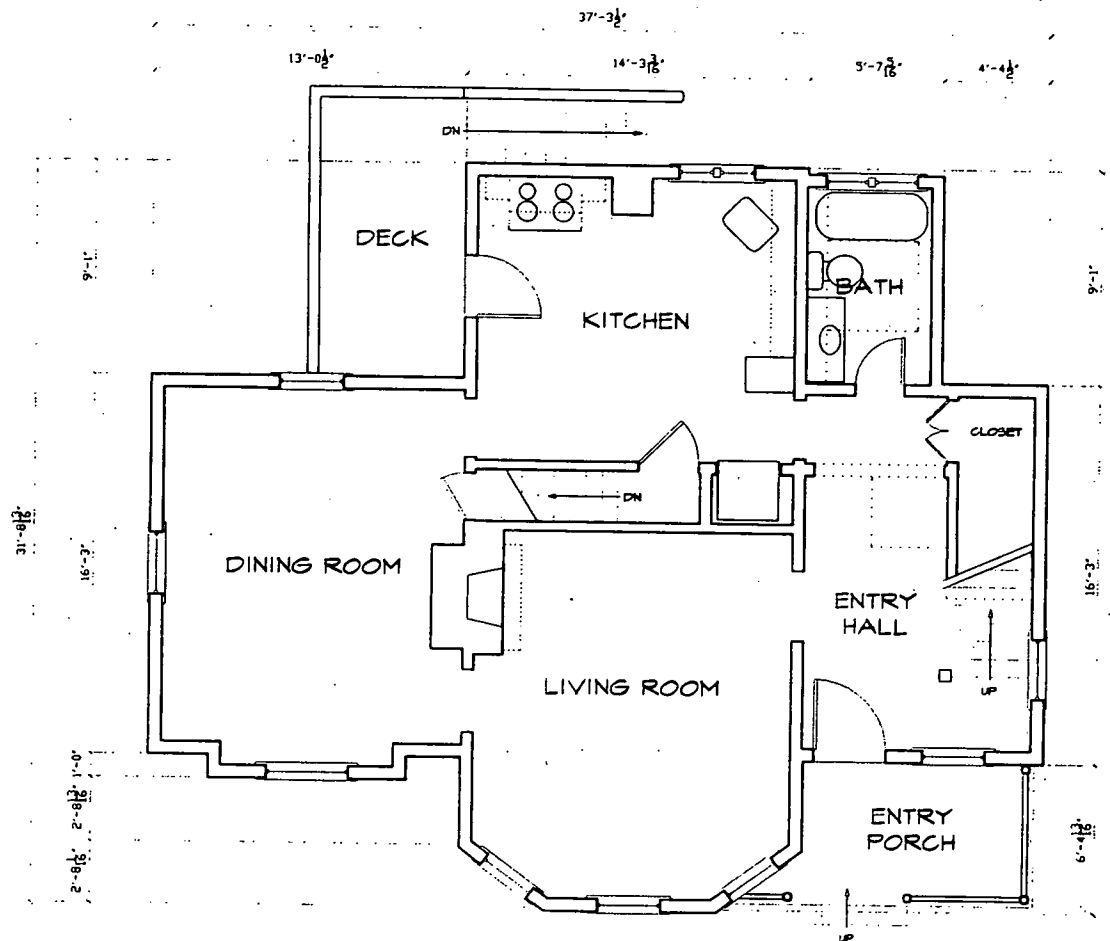
BASEMENT PLAN
SCALE: 3/16"=1'-0"

PROPOSED

1311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

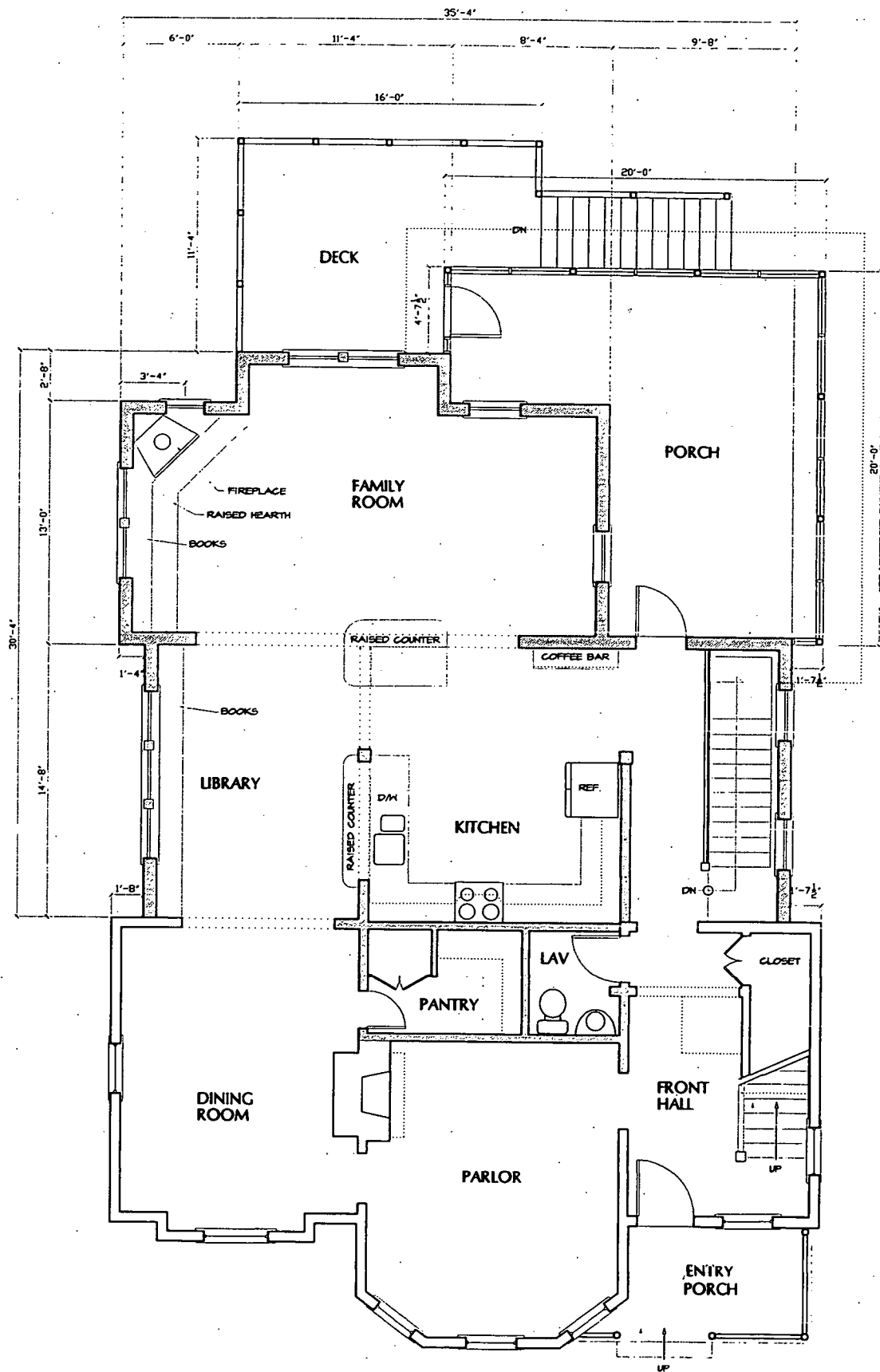
ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW, NDC 20012 202-726-5844
WWW.ABRAMSDSIGNBUILD.COM

HAMP APPLICATION SET
FLOOR PLANS



**EXISTING
MAIN FLOOR PLAN**

SCALE: 3/16"=1'-0"

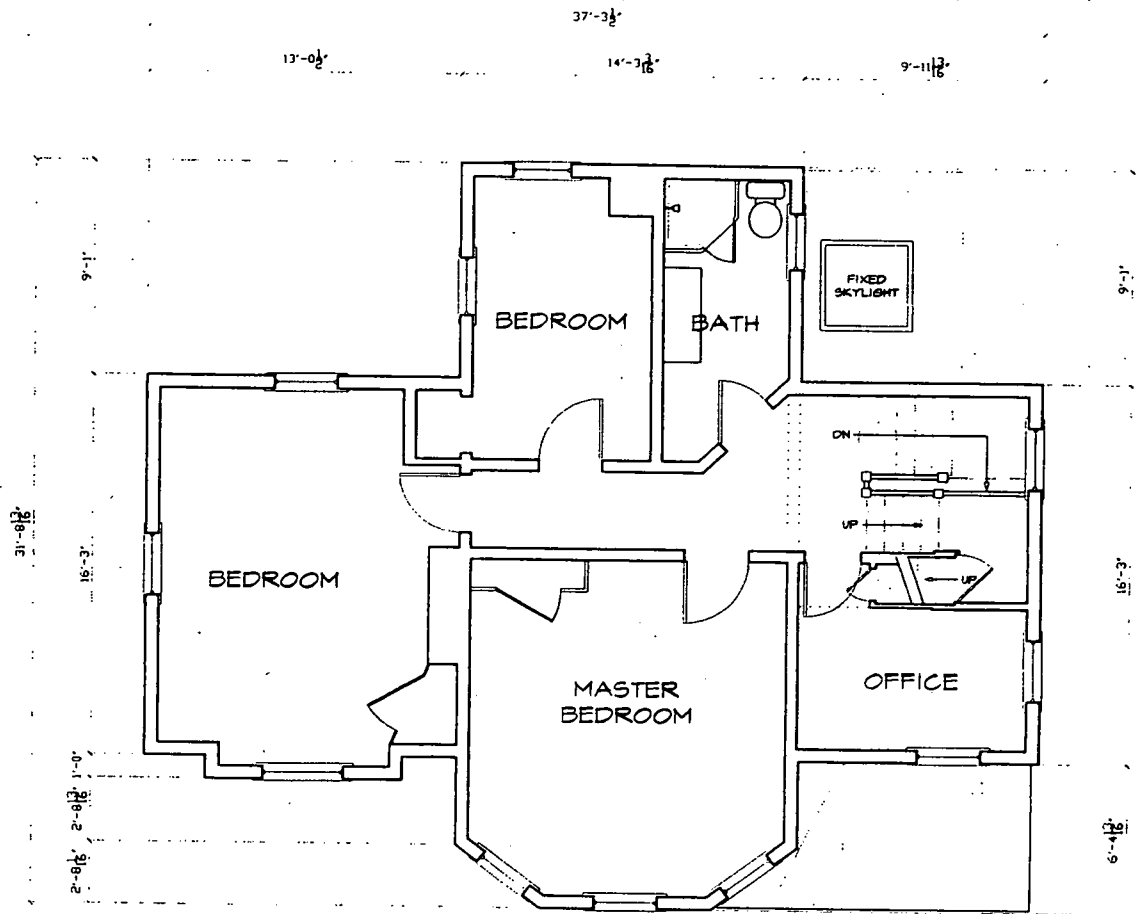


MAIN FLOOR PLAN *PROPOSED*
 SCALE: 3/16"=1'-0"

7311 BALTIMORE AVE
 TAKOMA PARK MD
 NOVEMBER 22, 2010

ABRAMS DESIGN BUILD LLC
 409 BUTTERNUT ST NW WDC 20012 202-726-5894
 WWW.ABRAMSDSIGNBUILD.COM

HAWP APPLICATION SET
 FLOOR PLANS



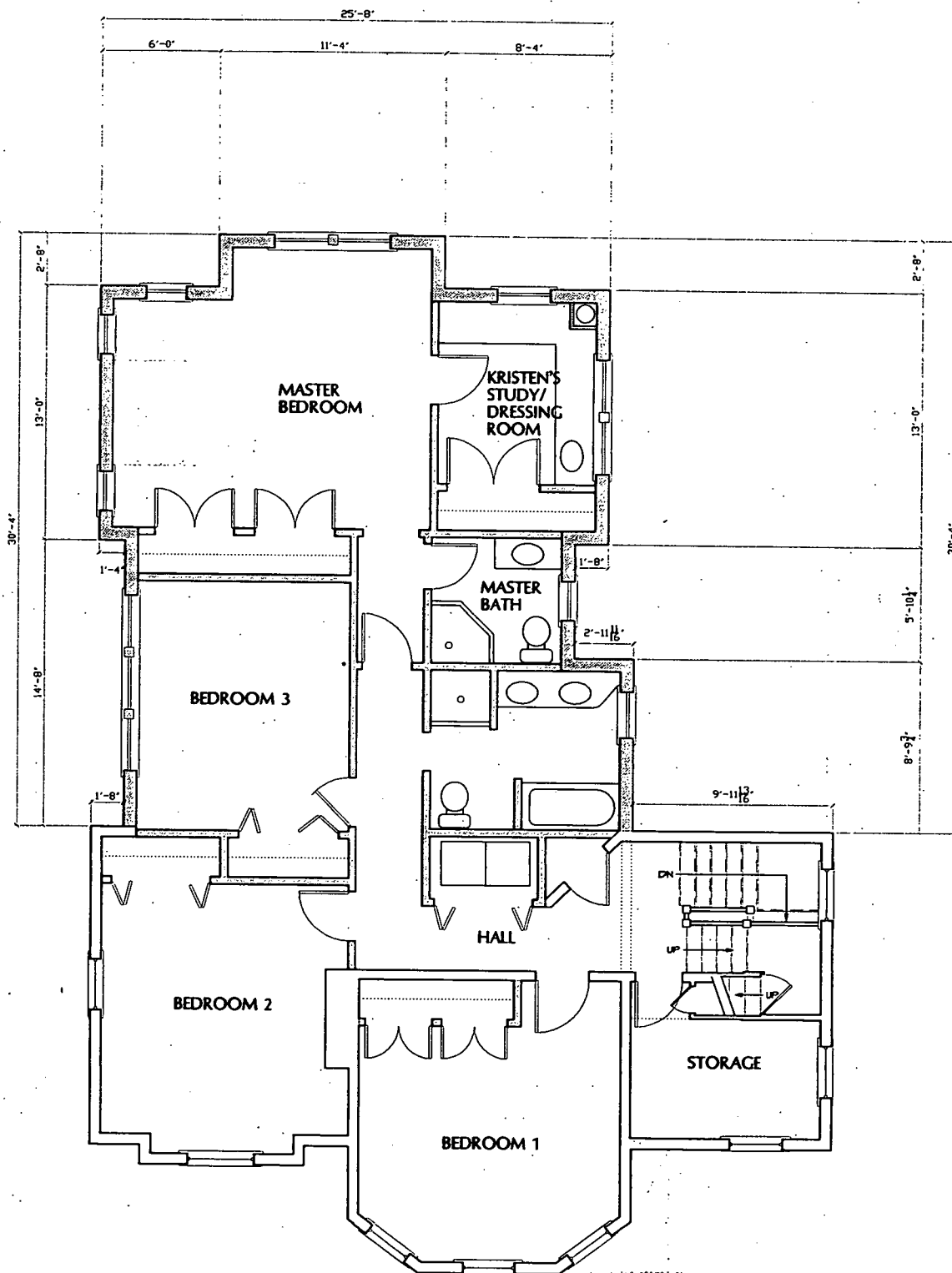
**EXISTING
SECOND FLOOR PLAN**

SCALE: 3/16" = 1'-0"

Freedman & Summers Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
409 BUTTERNUT STREET NW WASHINGTON DC 20012
WWW.ABRAMSDSIGNBUILD.COM
202-726-5844

HAWP DISCUSSION SET
SHEET 5 OF 16
JULY 7, 2010



SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

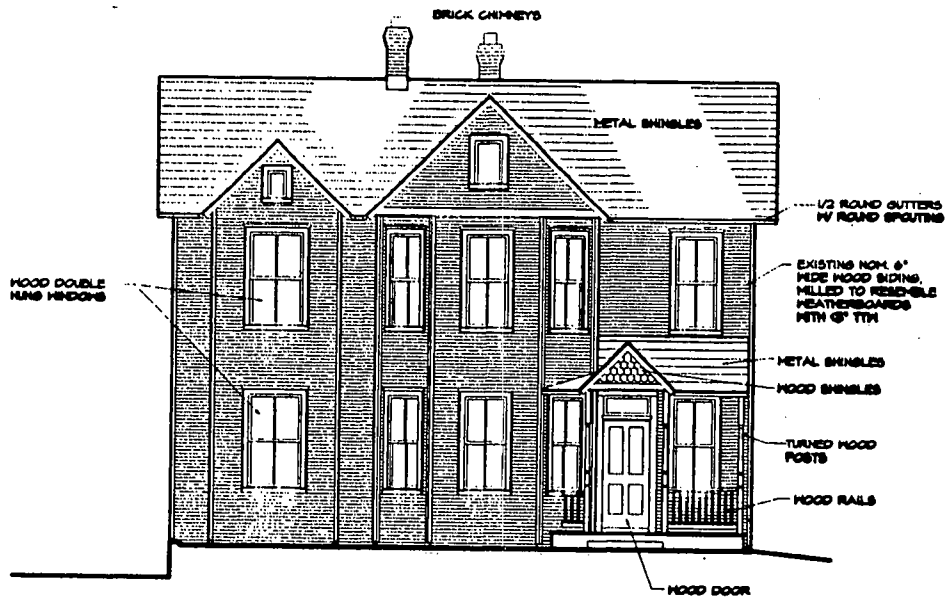
PROPOSED

7311 BALTIMORE AVE
TAKOMA PARK MD
NOVEMBER 22, 2010

ABRAMS DESIGN BUILD LLC
409 BUTTERNUT ST NW WDC 20012 202-726-5844
WWW.ABRAMSDSIGNBUILD.COM

HAWP APPLICATION SET
FLOOR PLANS

20



NO CHANGES PROPOSED FOR THE FRONT ELEVATION

SEE SOUTHEAST ELEVATION FOR ADDITIONAL NOTES

Existing Northwest (Baltimore Street) Elevation

Freedman Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
404 BUTTERNUT STREET NW WASHINGTON DC 20002
INFO@ABRAMSDESIGNBUILD.COM
202-726-8894

NORTHWEST ELEVATIONS - Existing and Proposed
1/8" T-O" May 5, 2010



22

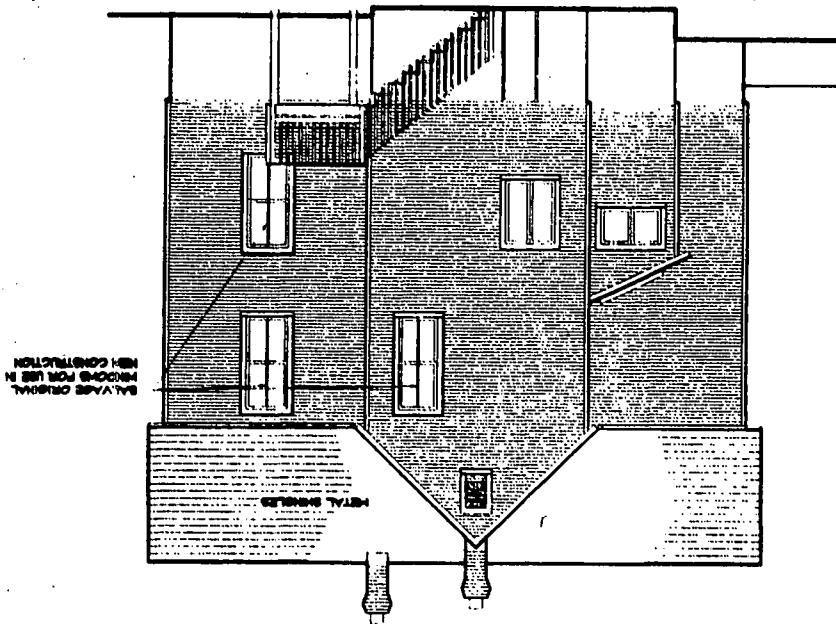
Freedman Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
A SERVICE APPROACH TO BEAUTIFUL SPACE
401 BUTTRICK STREET NW WASHINGTON DC 20001
202-726-8344

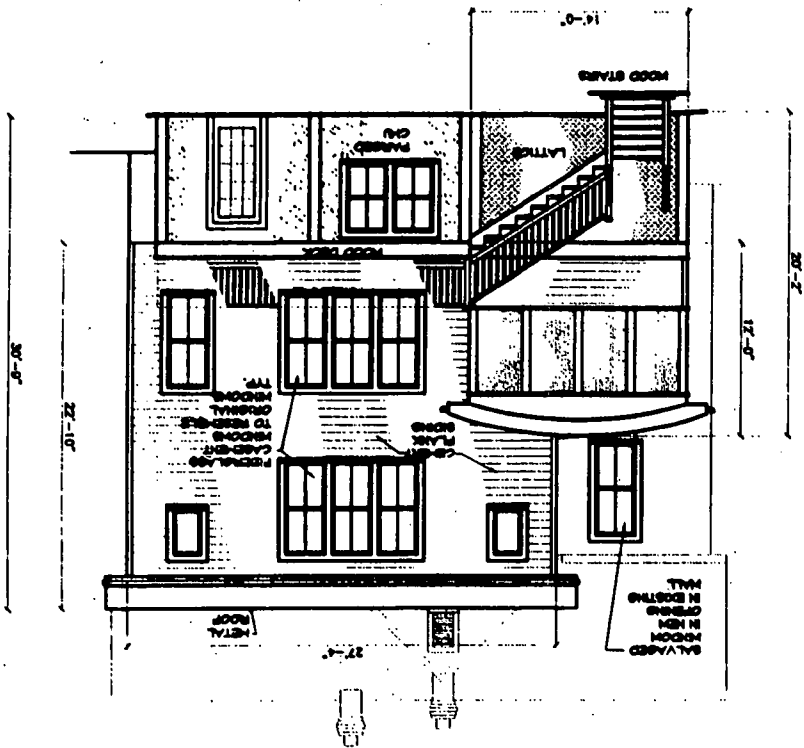
SOUTHEAST ELEVATIONS - Existing and Proposed
1/8" = 1'-0" May 5, 2010

Existing Southeast (Back) Elevation

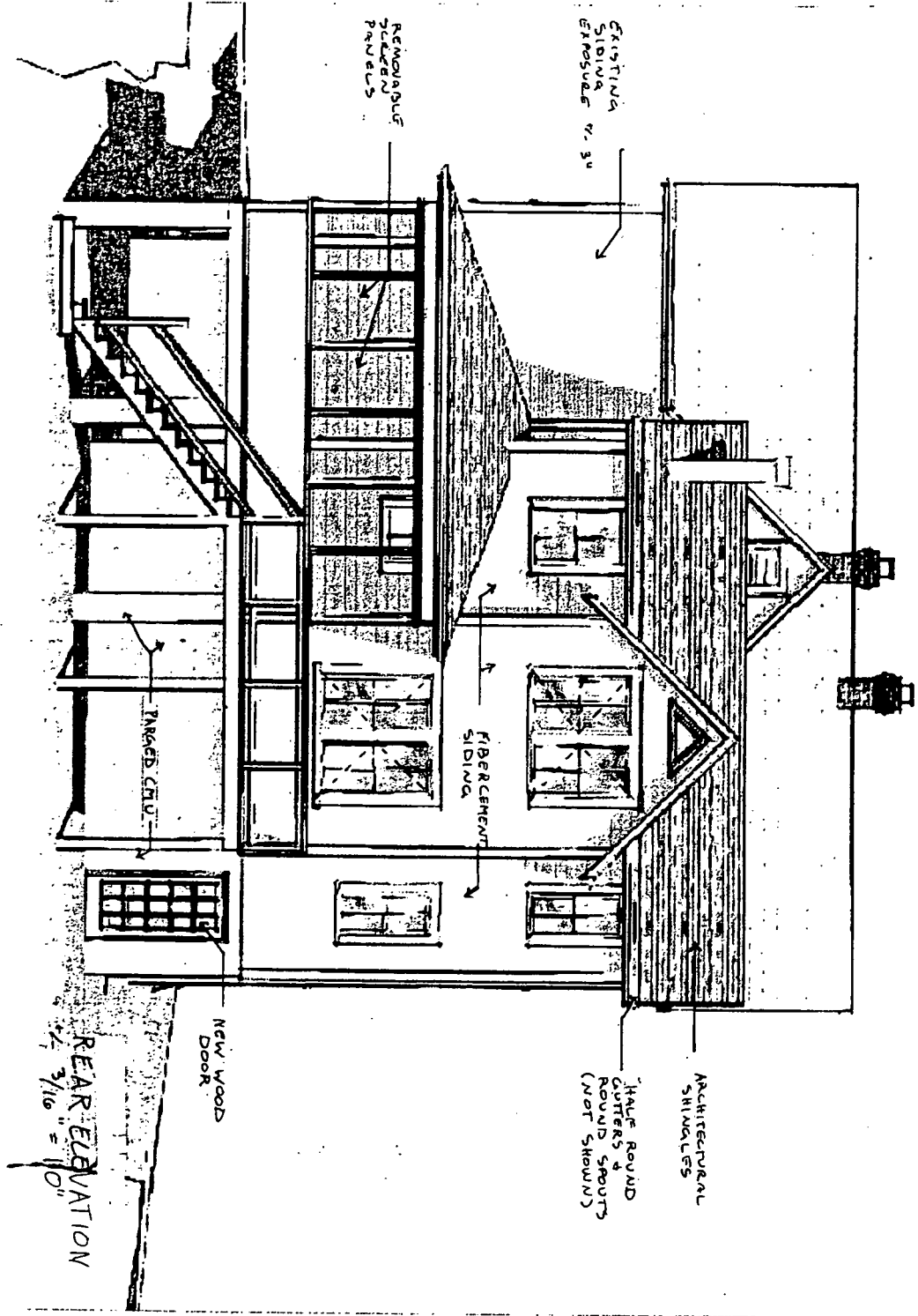
SEE SOUTHEAST ELEVATION FOR NOTES



1st Preliminary Consultation Proposal
Proposed Southeast (Back) Elevation



123



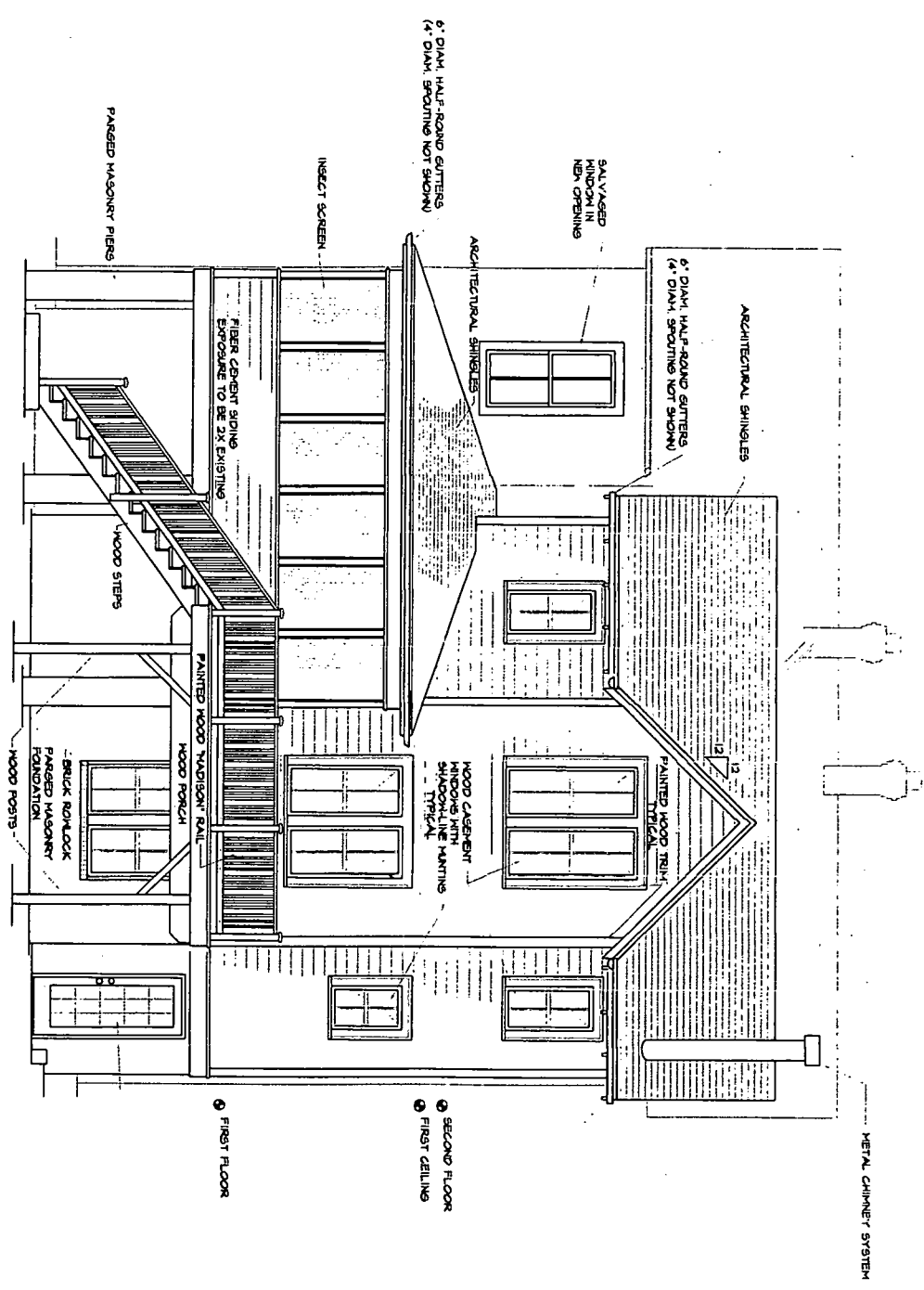
2nd Preliminary Consultation Proposal

Freedman & Summers Residence
 7311 Baltimore Ave.
 Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
 A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
 409 BUTTERNUT STREET NW WASHINGTON DC 20012
 WWW.ABRAMSDSIGNBUILD.COM
 202-126-5844

HAWP DISCUSSION SET
 SHEET 13 OF 16
 JULY 7, 2010

24



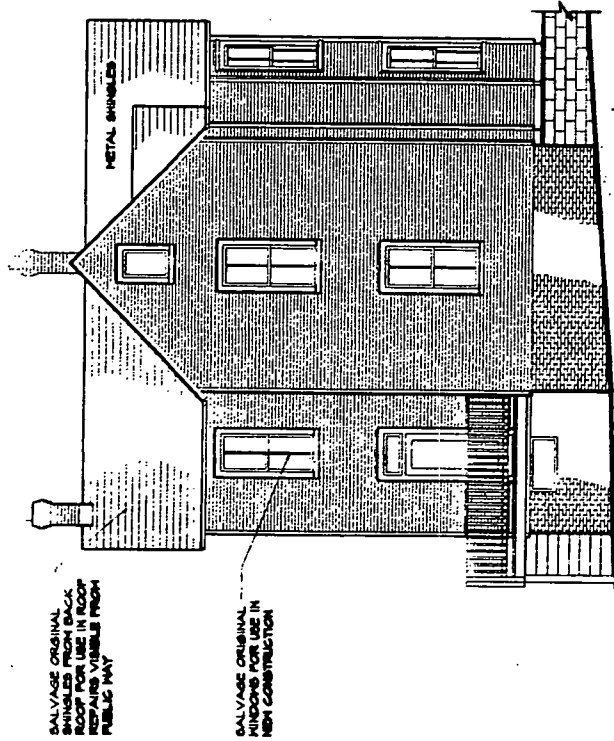
REAR ELEVATION
 SCALE: 3/16"=1'-0"

Proposed

7311 BALTIMORE AVE
 TAKOMA PARK MD
 NOVEMBER 22, 2010

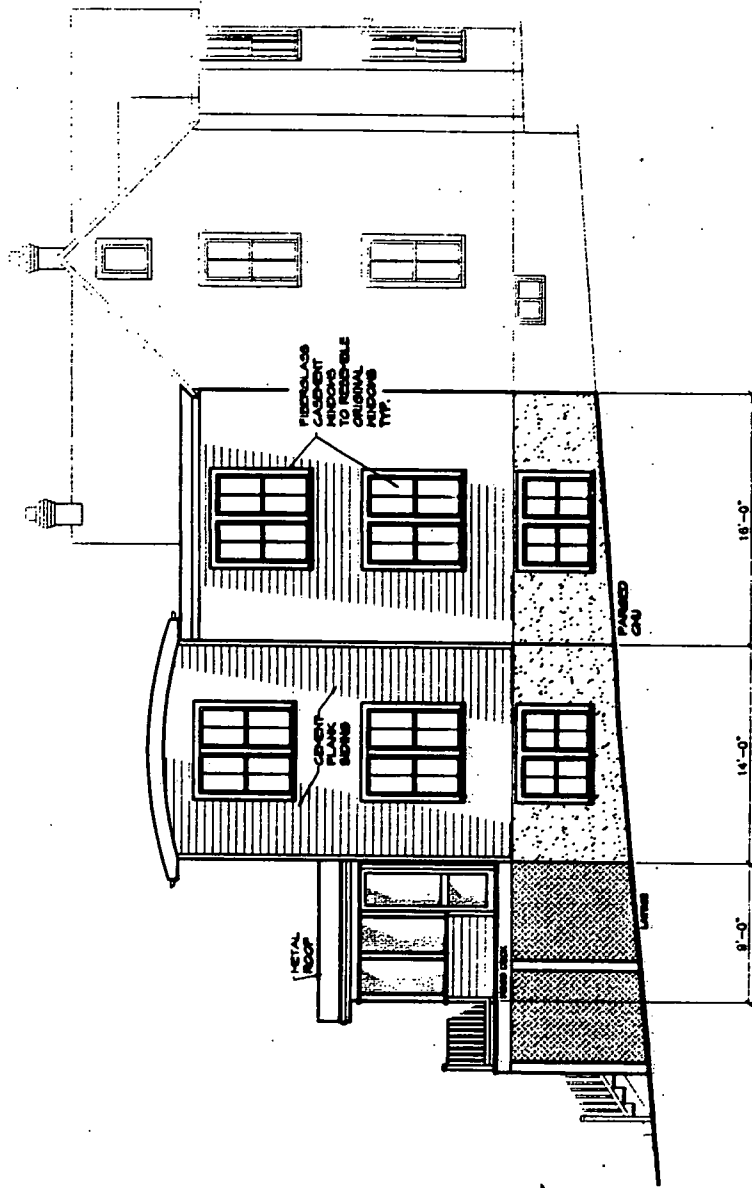
ABRAMS DESIGN BUILD LLC
 409 BUTTERNUT ST NW WDC 20012 202-726-5894
 WWW.ABRAMSDESIGNBUILD.COM

HAWP APPLICATION SET
 ELEVATIONS



SEE SOUTHEAST ELEVATION FOR NOTES

Existing Northeast (Driveway Side) Elevation



1st Preliminary Consultation Proposal
Proposed Northeast (Driveway Side) Elevation

Freedman Residence
7371 Baltimore Ave.
Takoma Park, Maryland 20912

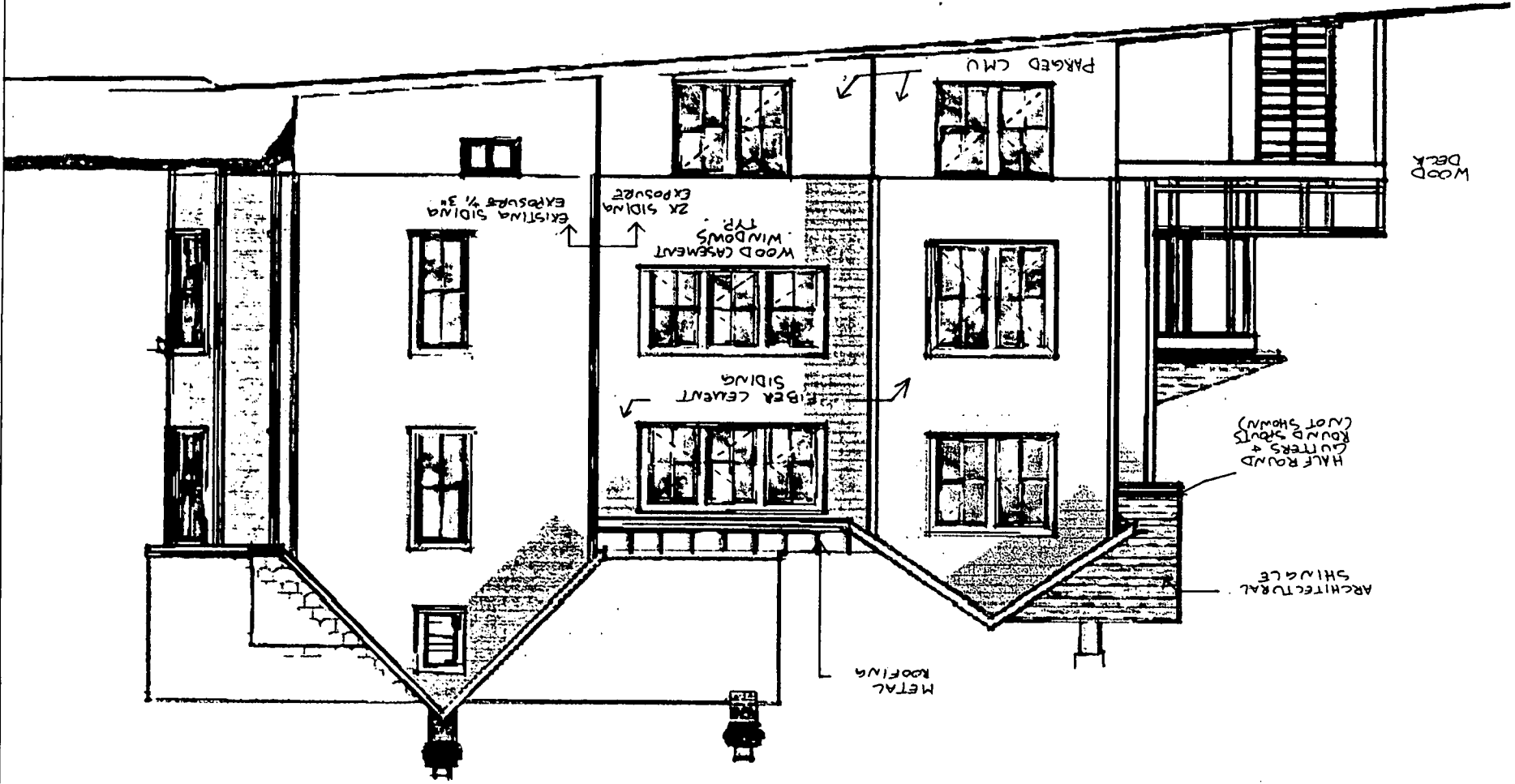
ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
404 BUTTERNUT STREET NW, WASHINGTON DC 20033
WWW.ABRAMSDSIGNBUILD.COM
202-728-8844

NORTHEAST ELEVATIONS - Existing and Proposed
1/8" T=0" May 3, 2010

25

2nd Preliminary Consultation Proposal

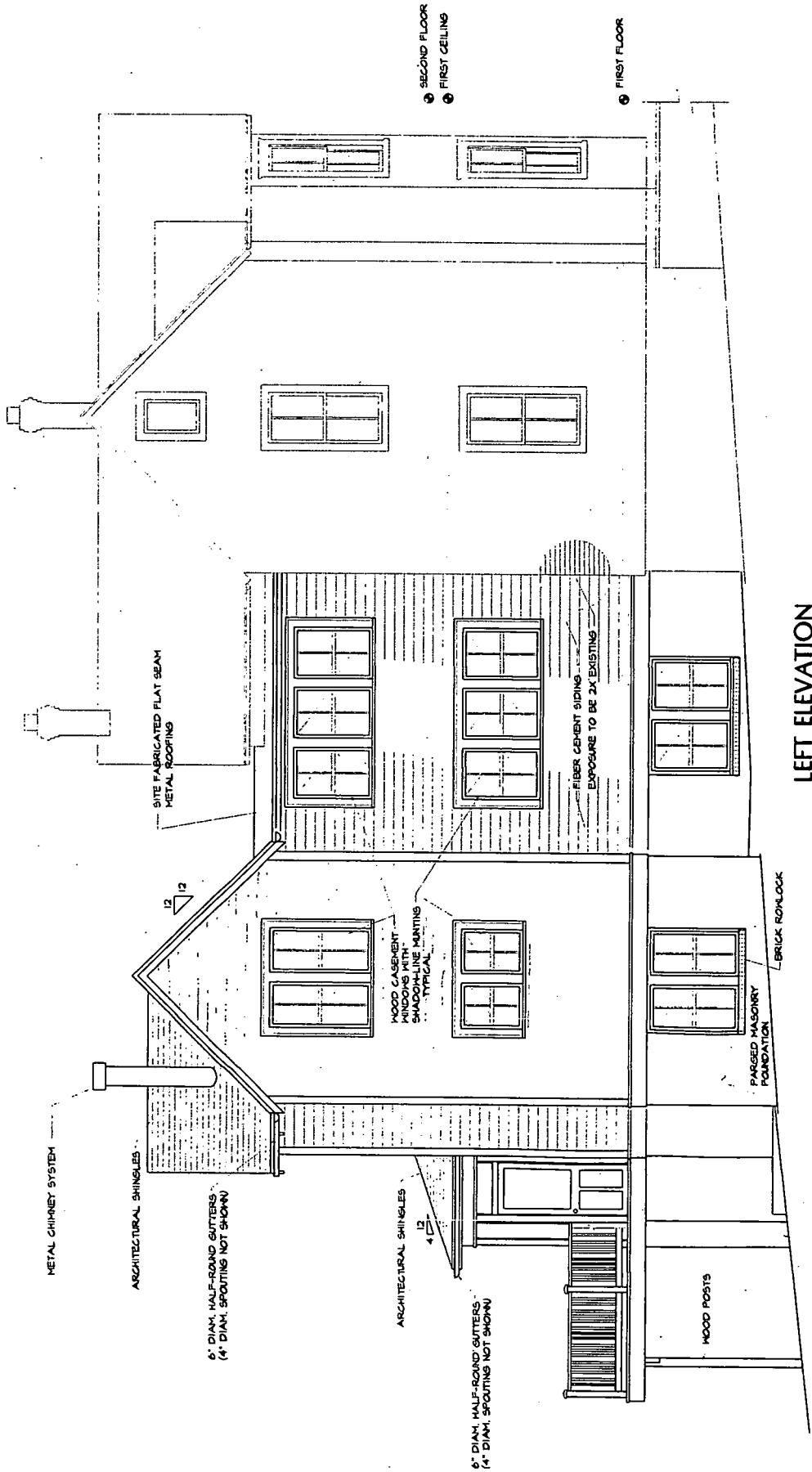
LEFT ELEVATION
1/4" = 3/16" = 1'0"



Freedman & Summers Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
404 BUTTERNUT STREET NW, WASHINGTON, DC 20012
WWW.ABRAMSDSIGNBUILD.COM
202-726-9994

HAWP DISCUSSION SET
SHEET 14 OF 16
JULY 7, 2010



LEFT ELEVATION
SCALE: 3/16"=1'-0"

PROPOSED



SALVAGE ORIGINAL SHINGLES FROM BACK ROOF FOR USE IN ROOF REPAIRS VISIBLE FROM PUBLIC WAY

EXISTING NOM. 6" WIDE WOOD SIDING, MILLED TO RESEMBLE HEATHERBOARDS WITH 6" TTH

BRICK FOUNDATION

FIBERGLASS CASEMENT WINDOWS TO RESEMBLE ORIGINAL WINDOWS TYP.

HALF ROUND GUTTERS

METAL ROOF

CEMENT PLANK SIDING TYP.

FIXED INSECT SCREEN

LATTICE

WOOD STAIRS

PAVED GR

WOOD POSTS

Existing Southwest (Side) Elevation

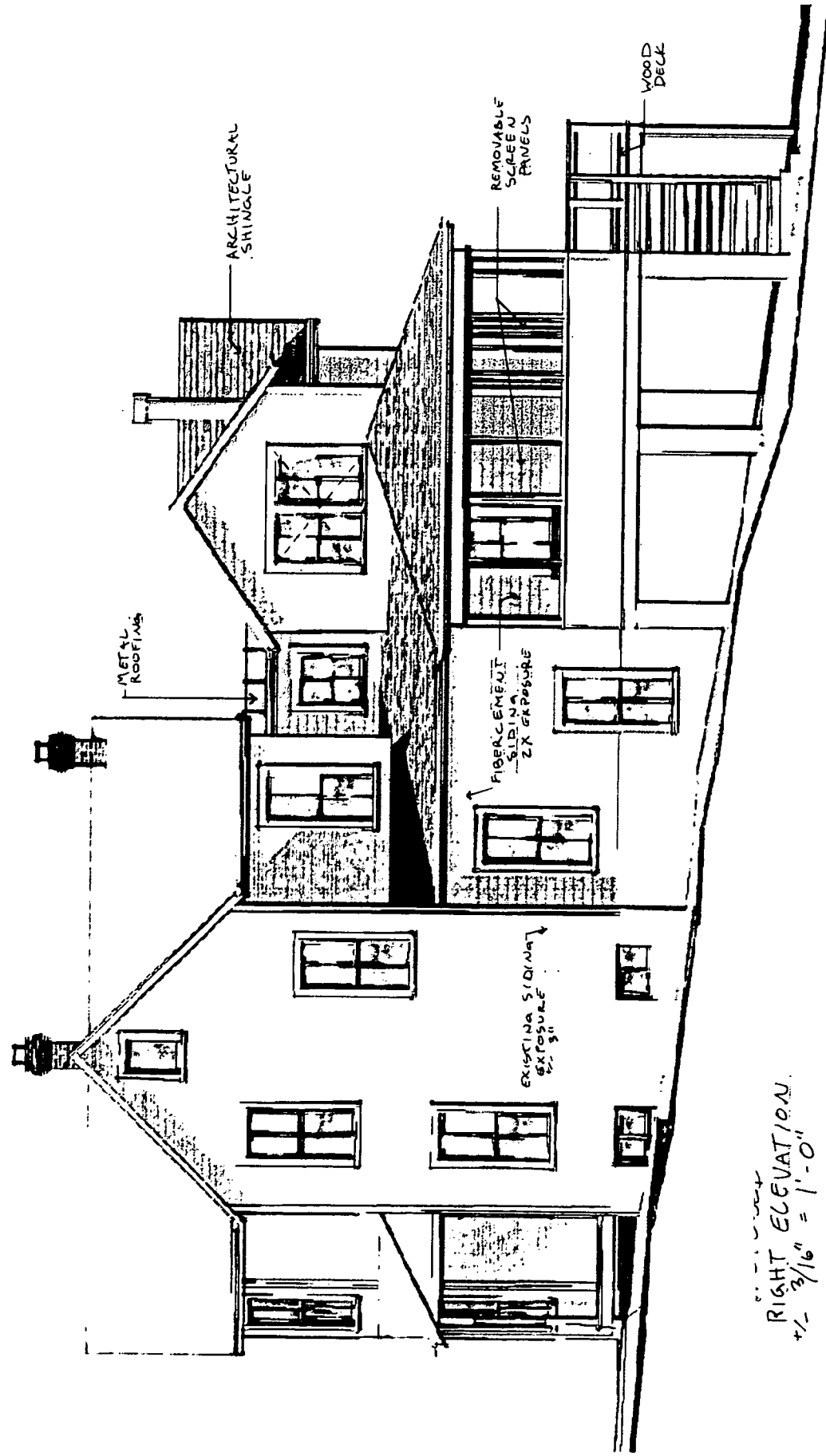
1st Preliminary Consultation Proposal
Proposed Southwest (Side) Elevation

Freedman Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
401 BUTTERNUT STREET NW WASHINGTON DC 20012
WWW.ABRAMSDSIGNBUILD.COM
202-728-8844

SOUTHWEST ELEVATIONS - Existing and Proposed
1/8" T=0" May 5, 2010

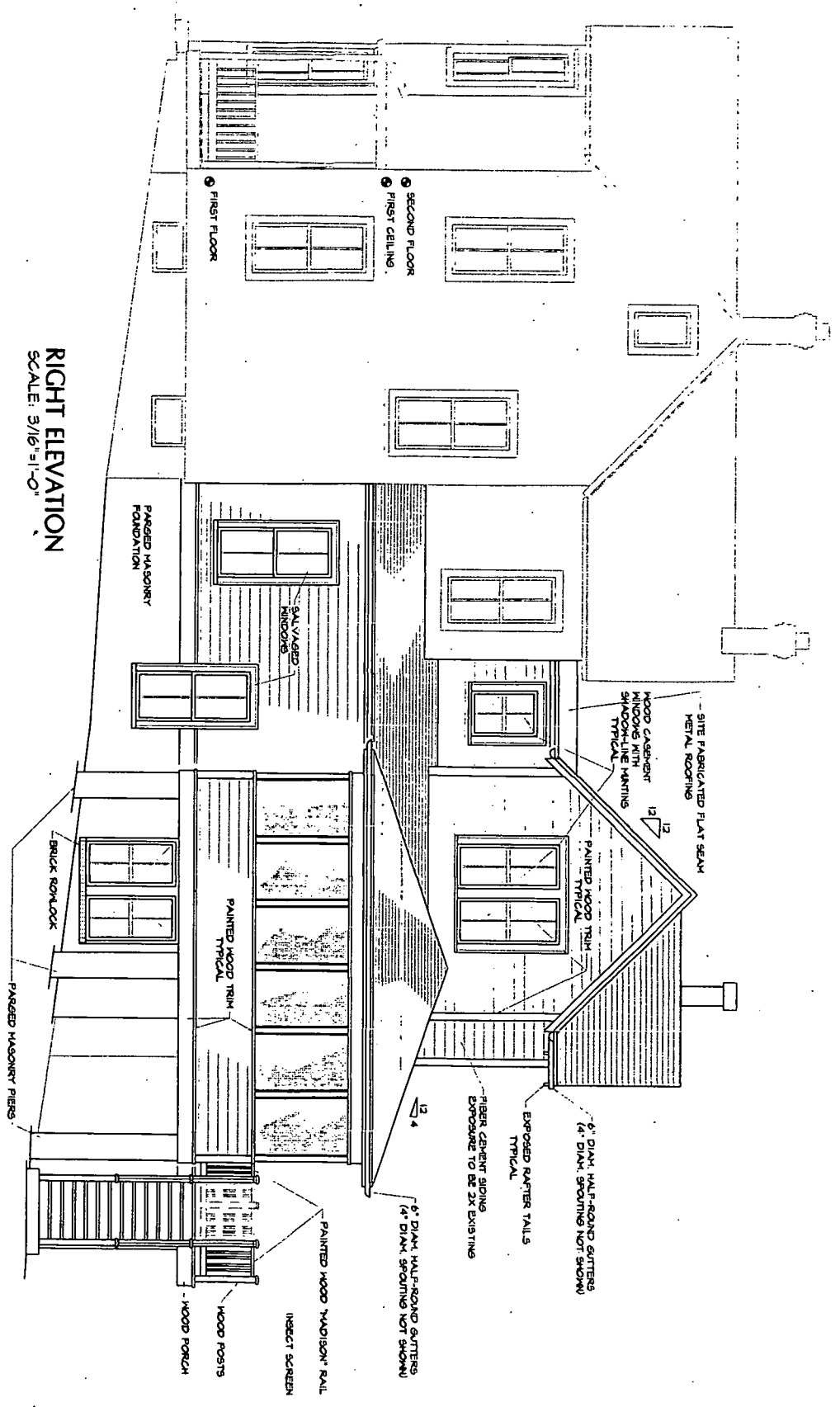




RIGHT ELEVATION.
1/2" = 1'-0"

2nd Preliminary Construction Proposal

38



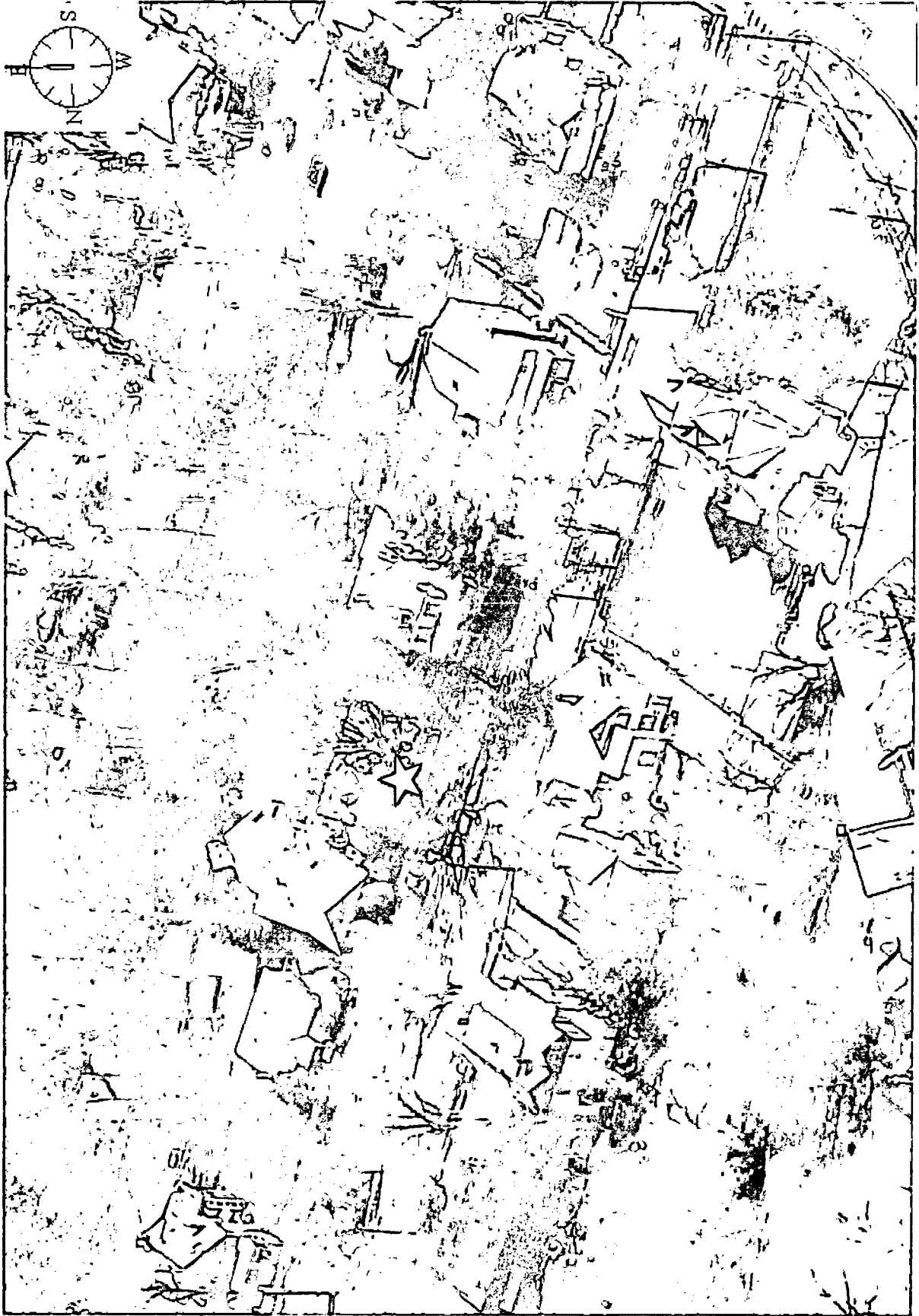
RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"

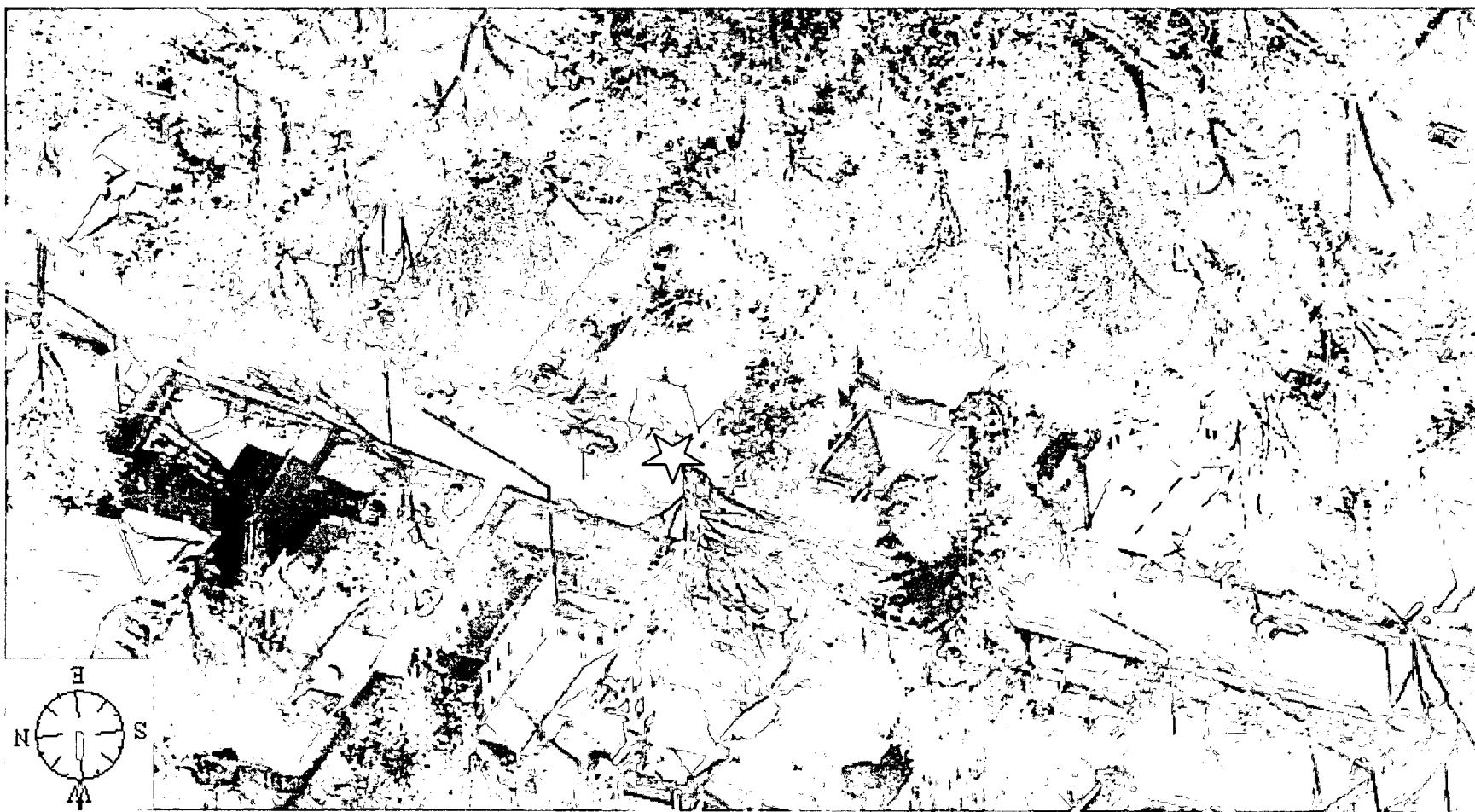
Proposed

7311 BALTIMORE AVE
 TAKOMA PARK MD
 NOVEMBER 22, 2010

ABRAMS DESIGN BUILD LLC
 409 BUTTERNUT ST NW NDC 20012 202-726-5844
 WWW.ABRAMSDSIGNBUILD.COM

HAWP APPLICATION SET
 ELEVATIONS





32

Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



Northwest Elevation (Street Elevation) of House

100

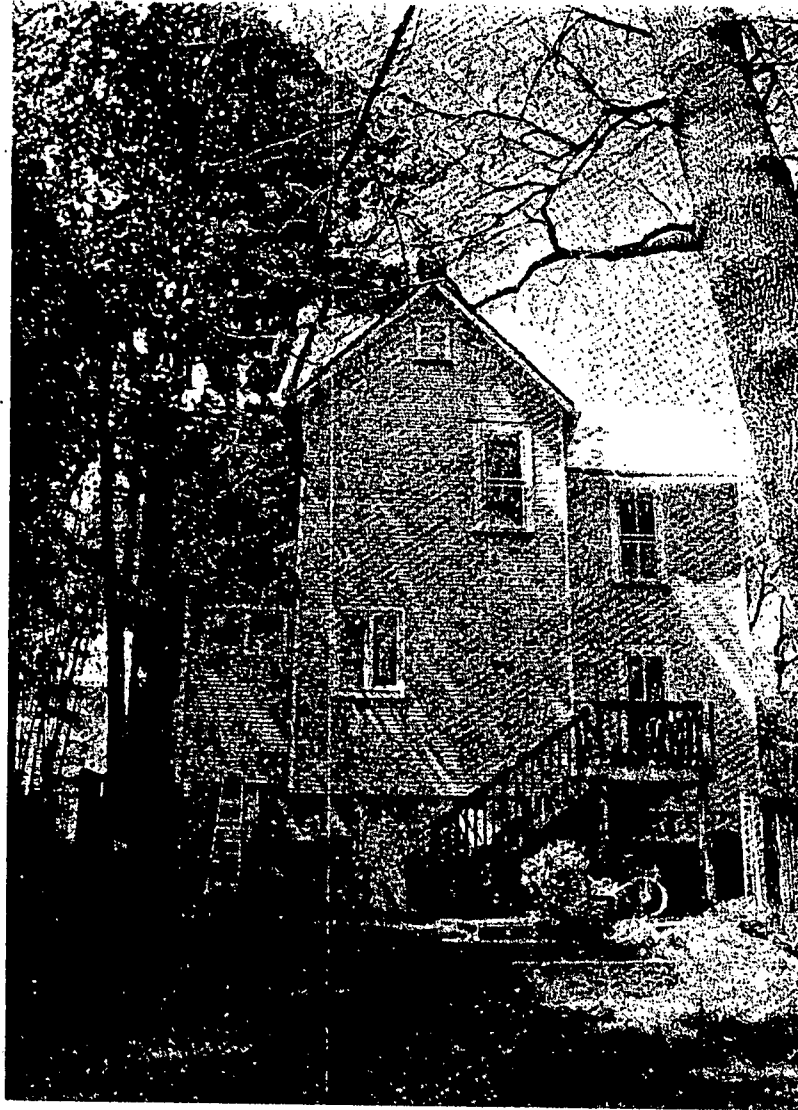
Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



View of North Corner

116

Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



Current view from backyard

Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



View of West corner of house

32

**HPC Meeting Transcript
(2nd Preliminary Consultation)
July 28, 2010**

1 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
2 HISTORIC PRESERVATION COMMISSION

- 3 ----- X
- 4 HISTORIC AREA WORK PERMIT - :
- 5 10220 Carroll Place : :
- 6 ----- X
- 7 HISTORIC AREA WORK PERMIT - :
- 8 10308 Montgomery Avenue : :
- 9 ----- X
- 10 PRELIMINARY CONSULTATION - :
- 11 7311 Baltimore Avenue : :
- 12 ----- X
- 13 PRELIMINARY CONSULTATION - :
- 14 4728 Dorset Avenue : :
- 15 ----- X

16 A meeting in the above-entitled matter was held on
17 July 28, 2010, commencing at 7:39 p.m., in the MRO
18 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
19 20910, before:

20 COMMITTEE CHAIRMAN
Thomas Jester

21 COMMITTEE MEMBERS
22 Sandra Heiler
23 Jorge Rodriguez
24 Leslie Miles
25 Meg Maher
Paul Treseder
Craig D. Swift

Deposition Services, Inc.
6245 Executive Boulevard
Rockville, MD 20852
Tel: (301) 881-3344 Fax: (301) 881-3338
info@DepositionServices.com www.DepositionServices.com

ALSO PRESENT:

Joshua Silver, Staff
Anne Fothergill, Staff

APPEARANCES

STATEMENT OF:

PAGE

Jim Engel, Applicant
Maureen Conley, Applicant

8

10

George Myers, Architect
Lauren Clark, Architect
Dennis Kilcullen, Applicant

26

Mark Freedman, Applicant
Alan Abrams, Architect

50

53

Anthony Barnes, Architect

77

1 MR. JESTER: Any discussion? All in favor? Okay.
2 Opposed. Two opposed and five in favor, so the motion
3 passes and the project is approved. Thank you.

4 MR. KILCULLEN: Thank you very much.

5 MS. MAHER: Can I just say, for the record, my
6 only reason I did not approve was because of the driveway
7 issue.

8 MR. JESTER: All right. Thank you. All right.
9 Where are we?

10 MS. FOTHERGILL: Chairman Jester, the applicant
11 who requested the reconsideration for case I is not here.

12 MR. JESTER: Okay. So we will postpone that one,
13 postpone it for reconsideration.

14 MS. FOTHERGILL: I guess if they still want the
15 reconsideration, they can request it for the next agenda.
16 So yes, postpone it.

17 MR. JESTER: Okay. And we agree that we do not
18 need to hear about the stabilization plan, since we've
19 already made our endorsement?

20 MR. SILVER: That's correct.

21 MR. JESTER: Okay. So the next item on our agenda
22 are the preliminary consultations. The first case is 7311
23 Baltimore Avenue, Takoma Park. Do we have a staff report?

24 MR. SILVER: Yes, we do. 7311 Baltimore Avenue is
25 a contributing resource in the Takoma Park historic

1 district. This is the second preliminary consultation. It
2 was recommended by the HPC to the applicants that they
3 return for some additional discussion with regard to their
4 proposed program.

5 And the applicant was provided with feedback on
6 several items to the initial design proposed at the first
7 consultation. A few points I think that are worth
8 mentioning that are in the background section of the staff
9 report were from comments that the Commission said were
10 either a more contextual or modern design treatment should
11 be pursued; the scale and massing of the proposed addition
12 should be reduced and simplified; more preservation of the
13 cruciform plan was recommended; and the size and orientation
14 of the porch should be reduced and better integrated with
15 the rear addition to help reduce some of the scale.

16 The proposal remains largely consistent in terms
17 of the program for the resource with regard to a two-story
18 addition of a full basement at the rear of the house. The
19 design will extend across the majority of the rear
20 elevation, beyond the existing rear bay, and approximately
21 18 feet into the yard. There will be a two-story bay that
22 extends an additional two feet into the rear yard.

23 There also will be a second level connection
24 between the historic massing and the proposed addition on
25 the left side elevation, and the addition is inset one foot

1 eight inches on both sides. So the historic massing and the
2 design also includes the construction of a one-story hipped
3 roof screen porch located at the rear on the right side
4 elevation.

5 Material treatments are consistent with what the
6 Commission reviewed at the first preliminary consultation
7 with the exception of the window treatment, which were
8 initially proposed as fiberglass, and they are now all wood
9 and with two simulated divided light windows. The
10 foundation is CMU and there will be a deck and stairs at the
11 rear.

12 Staff identified that the application or the
13 preliminary consultation plans respond directly to items
14 one, two, three, four, five, six, eight, and nine, and 10
15 that were listed on circle one, a few of which I went
16 through.

17 The applicant is certainly employed in a more
18 contextual design compatible with the historic massing and
19 the size of the addition was reduced. And the modified
20 barrel roof forms have been eliminated.

21 The new treatments are consistent with the
22 resource and respond to the comments and the feedback the
23 HPC provided the applicant with.

24 Staff finds that the proposed design preserves the
25 cruciform plan of the house as viewed from the streetscape

1 and the historic district without adversely affecting the
2 perceived character of this resource.

3 And staff's recommendations for the design, there
4 are two recommendations one of which is to eliminate the
5 two-story bay on the rear elevation, to assist with reducing
6 the scale, the perceived scale of the addition, which would
7 also help simplify transitions between the different roof
8 forms.

9 The shed roof form is also recommended for the, or
10 sloped roof form for the roof pitch for the one-story porch
11 in lieu of the hipped roof. Again, this speaks to the
12 comments about a confusing roof transitions, and it also
13 would assist with more consistency, the roof profile
14 throughout the length of the first story addition.

15 Staff supports the proposed materials, and has
16 acknowledged that the applicant is pursuing a simulated
17 divided light wood window that is appropriate for the
18 resource. And there are four points on circle five of the
19 staff report that the applicant is looking for feedback on.

20 One is the proposed design consistent with the
21 predominant architectural style and period of the resource.
22 Two is the addition compatible with the scale. Three, does
23 the design preserve a sufficient level of the cruciform
24 plan. And four, are the treatments appropriate for the
25 resource type and style, including the siding, the roofing,

1 the windows, doors, and the deck and railing system.

2 I do not have a presentation, but the applicant
3 has come armed with a model for you to see, as well as some
4 photos. And the staff report obviously provides photos as
5 well.

6 MR. JESTER: All right. Thank you, Josh. Are
7 there any questions for staff? Okay. If not, if the
8 applicant would like to come forward, and if you would just
9 press the button until the microphone turns red, and
10 identify yourselves for the record, please? Welcome back.

11 MR. FREEDMAN: Good evening. My name is Mark
12 Freedman. Thank you for hearing our second presentation
13 here. I'll try to be brief, and then hand it over to Alan
14 who can really handle the details.

15 I'll repeat, I'll try not to repeat everything I
16 said, but I'll repeat some of the things I said last month,
17 since I know some of the people here weren't here for that
18 presentation.

19 My wife and I have lived in this contributing
20 resource in Takoma Park for 10 years, and now it's a house
21 that's full of kids and family and guests and relatives.
22 And we're finding that we could use some more room, in
23 particular, my mother-in-law comes once a month to spend
24 time with her grandchildren, and we would kind of like to
25 have two upstairs bathrooms and a separate guest room to

1 make everyone a little more comfortable with the regular
2 visits.

3 We, unfortunately in this house, both the attic
4 and the basement are uninhabitable and not available to make
5 into any kind of living space. So we can't go up and we
6 can't go down, so we have to go back. And that's part of
7 what has driven part of this project.

8 We are very enthusiastic about the design that we
9 have in front of you. There are ways in which it is not
10 what I expected to have before you, but part of that has to
11 do with how we got where we are today.

12 The design has your input from the last session.
13 It has lots of input from staff. And it has the expertise
14 that Alan has brought with his decades of experience living
15 in Takoma Park, building in Takoma Park, working on historic
16 properties, and even right on my street, building on
17 historic properties, or building new homes in the historic
18 district. That's part of the reason why I wanted to work
19 with him.

20 I know Alan from when we were on the board of
21 Historic Takoma together. And when we started with this
22 project, historic preservation was one of the things I had
23 forefront in my mind. So I sat down, and I knew this was
24 going to be a big project, so I sat down with two different
25 design firms.

1 I sat down with Alan, and then separately I sat
2 down with Rick Leonard from Heritage Building, because I
3 wanted to get two different perspectives on what hopefully
4 you all would want, what would work with the guidelines,
5 what would work with our property, and what was realistic.

6 Interestingly, they came up with -- they both came
7 up with very similar plans, and we had shown those initially
8 to staff, gotten some encouragement. We submitted to staff
9 originally those plans.

10 We were then somewhat surprised when we were told
11 that we had made a fundamental error in judgment about the
12 center rear bay of the house, which I should note, that part
13 of the house is not viewable from the right-of-way from any
14 directions.

15 While we were surprised and had a lot of
16 investment at that point in the plans, we sat down with
17 staff and we said, okay, well, what should we do? What do
18 you think? Where do we go? And let's get our priorities
19 right.

20 Then it was with that input that we came up with
21 the plans that we submitted the last time, and I think that
22 we were able to then work with your comments and your input,
23 as staff has pointed out, out of 10 items, I think we have
24 hit on nine of them, and the one remaining on the porch is
25 something that I think we can work very well with.

1 We've reduced the massing by over 10 percent, and
2 I suppose in some ways most importantly I can envision
3 living in these spaces. And over the course of the last
4 couple of weeks, I've been very conscious of how these kinds
5 of spaces would work.

6 The rear porch is a big part of our design. We
7 hope to make use of that big back yard and having a rear
8 screened porch that can be a real three-season living/dining
9 area. It's something that a number of our neighbors have
10 done is created a rear porch area that they can really spend
11 a lot of time living on. So that's part of why it has that
12 size.

13 I think the pieces complement each other nicely.
14 And I think that given the input that's gone into this, and
15 the thoughts that have gone into this, and the work that has
16 gone into this, I am certainly optimistic that we've got
17 something good that we can move forward with.

18 I will turn it over to Alan.

19 MR. ABRAMS: Thank you. I'm Alan Abrams, Abrams
20 Design Build. I first want to thank the Commission for the
21 very valuable feedback four weeks ago. The comments came
22 from many points of view, and some Commissioners actually
23 had different points of view. And despite the
24 contradictions in the aggregate, they were a great help in
25 guiding and forming the revisions that we're presenting

1 tonight.

2 I'd like to address the issues in detail one by
3 one, if I may. And I will open up -- I will fumble with my
4 computer here.

5 This is a view of the original part of the house.
6 And sweeping the cursor over an addition to the rear,
7 generally speaking.

8 Item number one, the house, the original house,
9 the original construction is an extremely straight forward
10 unassuming and direct, and essentially very honest house.
11 And we were given the assignment to either approach the
12 addition in dramatic contrast, or to go contextual.

13 And I didn't think the house deserved a
14 confrontation. It's not in my nature to be confrontational.
15 And so I thought a contextual solution was appropriate. I
16 was very happy to do that.

17 We have drawn the general form from the original
18 house, but we've distinguished it, in many ways, by reducing
19 the overall height, reducing the roof pitch, even though
20 they are pitched roofs. We've changed the nature or the
21 cladding in detail. The original cladding has a rhythm of
22 about -- horizontal rhythm of about two and three-quarter
23 inches. And the cladding that we're proposing would have a
24 rhythm exactly twice that, again, contrasting in a very
25 gentle and respectful way.

1 We've reduced the footprint by 14 percent. We've
2 reduced the net area by 11 percent of the addition. And I
3 would like to reserve discussion of item two for the
4 (indiscernible), because I have some photographs that I
5 think might help put things in context.

6 With regard to number three, we did abandon the
7 barrel vault. That's a dead issue, and gone, obviously,
8 with the pitched roofs. With regard to the cruciform plan,
9 which is daunting, because absolutely any -- if we can pan
10 from above --

11 (Discussion off the record.)

12 MR. ABRAMS: Any addition to the second story is
13 confronting this issue. There is no way you can add to the
14 second floor of this house without confronting the cruciform
15 plan. However, we did keep the transitional roof, the roof
16 of the hyphen, below the level of the eave of the cross-
17 axis, the rear cross-axis, and we preserved the gable end in
18 its entirety.

19 And we preserved the right elevation of that
20 projection in its entirety. And certainly from above it's
21 crystal clear that it's preserved.

22 With regard to the windows, we're good with the
23 wood windows. I would love to carry this discussion
24 forward, because I believe we should be building with
25 preservable materials. If we are dealing in a preservation

1 context. But I won't belabor that.

2 I do want to point out that I would like to use
3 casement windows for a number of reasons, for their superior
4 performance in terms of infiltration, double the ventilation
5 area of double hung windows, egress. It's much easier to
6 comply with bedroom egress regulations, and I like them
7 architecturally.

8 As a matter of fact, I want to point out that the
9 way I do pairs of casement windows is not conventional in
10 the sense that I don't like to hinge them from the sides. I
11 like to hinge them in a butterfly fashion so that a breeze
12 can waft in and waft back out and create a negative pressure
13 area in the house. It's a solution to passive ventilation,
14 where you can avoid using the air conditioner in pleasant,
15 in mild weather.

16 MR. JESTER: Mr. Abrams, I don't want to cut you
17 off, but if you could just touch quickly on the remaining
18 points.

19 MR. ABRAMS: Okay. Thank you.

20 MR. JESTER: Because we're going to have an
21 opportunity to ask you some questions, and I'm sure we'll
22 get to the heart of some of these other issues in the course
23 of the discussion.

24 MR. ABRAMS: Okay. We've succeeded in pushing
25 back the sides of the transitional portions. They're now

1 about 17 or 18 inches in either side. They are very vivid.
2 The shadow lines are crisp. There is no question about
3 distinguishing the old and new.

4 With regard to the porch, we reduced the porch by
5 two feet. We also, if you can swing around to the side,
6 broke the eave line. And I think that also helps reduce the
7 perceived mass of the porch. And I'm talking about this
8 area where I'm waving the cursor over right now.

9 In the previous iteration, that line was
10 continuous, and I could understand why it would be perceived
11 as excessive.

12 I did wrap the porch around the corner, and that
13 was taking off of a comment by Commissioner Kirwan, who I
14 don't see tonight. I'm not even sure that was identified
15 correctly in the transcript. But that was a suggestion to
16 help reduce the massing, to wrap the porch around the back
17 of the house. And I agree that it does help step the
18 massing down, and adjust to the topography, which slopes
19 downhill continuously through the lot.

20 Metal roofing, we've always been agreeable to site
21 constructed metal roof panels, rather than panelized
22 construction. And we've included the floor plans as well.

23 Now, as to the issue of massing -- I've lost my --
24 I wanted to comment that I took almost a day and went
25 through the tax records street by street in the historic

1 district in Takoma Park, house by house, and looked at the
2 area of many of these houses. And I found a number of
3 houses that were in excess of 3,000 square feet, many in the
4 mid-range between 3,000 and 4,000, and several in excess of
5 4,000 square feet.

6 Here is Takoma Avenue, 7611, 3,788 square feet.
7 These all have additions, as well, rather modern era
8 additions. Takoma Avenue, 4,000 square feet, and really
9 extended program on this house.

10 MR. JESTER: If you would, I really need you to
11 conclude your presentation so we have some time to discuss
12 the project.

13 MR. ABRAMS: Okay, well I want to compare --

14 MR. JESTER: I think you made your point with that
15 particular set of slides.

16 MR. ABRAMS: Okay. Let me just state
17 categorically that I think, I was going to show you one
18 that's even bigger than this, and we are well within that
19 range of large additions. There are at least two additions
20 in the Takoma Park historic district where houses have been
21 tripled and quadrupled. Thank you.

22 The staff had not seen the floor plans last time,
23 and you have that in your packet. If there are no
24 questions, immediately on it, I'll scroll right through
25 that. Elevations. The front elevation. 12 pitch on the

1 roof, very severe, unadorned, folk Victorian.

2 MR. JESTER: Mr. Abrams, we have all these images
3 in our packet.

4 MR. ABRAMS: Okay.

5 MR. JESTER: Everyone has reviewed them prior to
6 the meeting, so I really think that it would be beneficial
7 for you if we could ask you some questions --

8 MR. ABRAMS: Great.

9 MR. JESTER: -- and provide some feedback on this
10 design, compared to where you were a month ago. And if that
11 would be okay?

12 MR. ABRAMS: I'm fine. Thank you.

13 MR. JESTER: Do Commissioners have questions for
14 the applicant?

15 MS. MAHER: This was in the transcripts. We
16 talked about the oddities of the house, the existing house's
17 space, and how it's not, the layout is not efficient. Can
18 you just clarify that.

19 MR. FREEDMAN: Happy to, and I don't know if you
20 have in your packet the -- well, you can see somewhat in the
21 floor plans, and let me find the page in your packet, where
22 I can highlight the oddities that create some of our space
23 issues.

24 We are driven by second floor bedroom spacing.
25 And let me find the page in your packet that has the floor

1 plans. Pardon me for a moment.

2 MR. JESTER: Circle 14.

3 MR. FREEDMAN: Circle 14. There we go. Terrific.
4 Thank you. Let's see: That's got the main floor, and then
5 if you look on circle 14 --

6 MS. MILES: (sneezing) I'm allergic to your floor
7 plans. I'm sorry.

8 MR. FREEMAN: You haven't been in my attic.
9 Circle 14, as you look on the right side, you see that you
10 have the main staircase coming up there with a DN as
11 indicated. There is, you then have a staircase, a fixed
12 staircase that goes up into the attic. Well, you'll notice
13 it doesn't nest over the main staircase, which starts to eat
14 up floor space.

15 You'll see this little, labeled as an office, we
16 refer to it as the realtor's bedroom, because it was listed
17 as a four-bedroom house, but I understand it's well below
18 code for a fourth bedroom. You could probably fit a crib
19 and something else in there.

20 It creates this problem of, you've got this whole
21 side of the house where you have this little office, but you
22 don't really have a bedroom in any way over there. You then
23 have these two front rooms, which are fairly generous,
24 although lacking any closet space, you know, they are built
25 for a time of wardrobes, and then we have this rear bedroom

1 that I understand is just barely bigger than code.

2 And our goal is to have four bedrooms and two
3 bathrooms upstairs, which on a house on paper, it sounds
4 like it wouldn't be such a big challenge, but as we start
5 trying to figure out how to do that, how to get,
6 essentially, a bigger bedroom than the existing rear
7 bedroom, and an additional bedroom on top of that, we start
8 going back and we want to add a second bathroom. We're not
9 looking for a big Jacuzzi tub. We're just looking for basic
10 function. We keep going out.

11 Now, in our original plan, we would have expanded,
12 we would have gone the whole width of the house, to try to
13 keep having to go back ~~to~~ far. But that would obliterate
14 the rear bay. And that's what we were told we shouldn't do.
15 We wanted to preserve one side of that. So that forced us
16 over on one side, and it forced us to go back even farther.
17 So that's where a lot of our current shape has been driven
18 by our function. Does that answer your initial question?

19 MS. MAHER: Well, I'm looking at the first floor
20 plan --

21 MR. FREEDMAN: Put it back up, circle 12.

22 MS. MAHER: ~~And~~ and there is some duplication as
23 far as the usage of ~~the~~ space. And so I'm wondering whether
24 or not a bedroom on the first floor was considered?

25 MR. FREEDMAN: Not really. The design of this

1 house is an upstairs/downstairs house. And I think it would
2 fundamentally alter the way the house works to have a
3 bedroom on the main floor. It's not the way, it's not the
4 way the house reads or lives, and so creating a bedroom on
5 the first floor, we think, would just alter the way the
6 house works, and it's not really what we envisioned.

7 MR. JESTER: Go ahead Commissioner Treseder.

8 MR. TRESEDER: I have a question for the designer,
9 for Alan. Alan, on the rear bay gable, you match the roof
10 pitch of the original resource. How did you come up with
11 the roof pitch of the transverse roof pitch, which doesn't
12 match? What was the functional reason for that?

13 MR. ABRAMS: It was to establish a hierarchy with
14 the original house, to make the addition subordinate. And
15 in the rear elevation, where I thought we might have a
16 little more liberty, you know, just to reflect back onto the
17 original, to increase the pitch to the original pitch.

18 MR. FREEDMAN: If I may, because I know that staff
19 had some questions about the bay, and one thing that I like
20 about it is that it gives you a read from the original back
21 of the house, that the sense of having a central protruding
22 bay, you still get from the backyard with this design. I
23 think it's a nice feature. I see how it also adds to the
24 complexity. I think it and the porch work well together.

25 MR. ABRAMS: Yes, I think the aspect ratio in this

1 computer might be a little skewed. It's sort of widening
2 the way it really looks.

3 MR. TRESEDER: Thank you guys for answering.

4 MR. JESTER: Yes, I think we have the drawings in
5 front of us as well. Unless there are other questions for
6 the applicant, I think we can move into some deliberations,
7 and provide the applicant with some additional feedback
8 about the current proposal.

9 MS. MAHER: Can we just, because you had both
10 given different percentages for the reduction in the
11 massing. One of you had said 10 percent and one of you said
12 14.

13 MR. FREEDMAN: I think I generalized it was over
14 10 percent, and Alan had --

15 MS. MAHER: And what is that computing to,
16 relative to the existing mass?

17 MR. ABRAMS: May I clarify that? The footprint of
18 the addition is reduced by 14 percent. The net floor area
19 on the three levels of habitable space is reduced 11
20 percent.

21 MR. JESTER: Okay.

22 MS. MAHER: What is the, vis-a-vis the existing
23 structure, what's now the overall numbers for the square
24 footage, as opposed to the existing square footage?

25 MR. SWIFT: It's what's shown on circle 8,

1 correct?

2 MR. SILVER: Yes. Thank you. I included a cut-
3 out from the first preliminary consultation of an area of
4 summary for you guys to refer to.

5 MS. MAHER: Sorry. I didn't see it.

6 MR. JESTER: I think what we'd like to do is
7 address a number of the issues that were raised at the first
8 preliminary, that the applicant has addressed in this
9 current design. I think that the primary ones, in doing the
10 list here, is one is just that the whole design style you
11 used, the treatment of the design, the massing, the
12 cruciform plan has been retained. I think we can pull off
13 on the windows and stick with the main design issues.

14 I think there's maybe some questions about the
15 porch design, how that's integrated. Those are the main
16 ones I think we need to address. Would someone like to
17 comment on the current design for those particular items?
18 Commissioner Treseder.

19 MR. TRESEDER: ~~I will, even though I wasn't here~~
20 ~~at the last meeting?~~ I will comment on them. I think the
21 massing is, feels very comfortable. I think the porch roof,
22 I don't agree with the staff report. I think the way it
23 wraps around the house reduces its mass and accomplishes
24 what, you know, it integrates the addition to the original
25 resource. And I think it accomplishes everything that the

1 ~~staff asked for in the last sessions.~~

2 So, I have some individual suggestions which I
3 might make, design suggestions, you know. I would say that
4 I look at the roof plan, and you have five different roof
5 pitches on the addition. The original house has one. I
6 think that a less, I think it would be perfectly reasonable,
7 and other Commissioners may chime in with their opinion, to
8 change the transverse roof pitch to a 12-12 to echo the
9 rhythm of the house. I don't think it would compete.

10 I don't have a problem with the rear bay. I think
11 it adds a verticality which this house needs. I think that
12 it's, again, it's a detail. I think the cantilever should
13 be avoided. For vision reasons, there should be a masonry
14 pier under that bay to give a sense of support, similar to
15 what is being used on the screen porch.

16 MS. MILES: I would generally agree. I think that
17 I have no issues with the hip roof on the porch. I agree
18 that the wrap achieves what I wanted to see, and the bay
19 doesn't disturb me. I agree that it kind of mimics the
20 existing rear elevation, and I actually kind of like it.

21 I think it's ~~to~~ answer the four questions, I
22 think the proposed design is consistent with the predominant
23 architectural style and period. I think it's compatible in
24 scale and massing. I think it preserves the cruciform plan.
25 I think the proposed materials are appropriate, although I

1 agree that the rear porch should not be on two by fours, or
2 whatever, the four by fours, whatever they are. I think
3 they should be on some kind of masonry.

4 But overall, I think this is very successful and
5 very appropriate, and a vast improvement and just what I
6 wanted to see.

7 MS. HEILER: I would agree completely with
8 Commissioner Miles. However, I do think Commissioner
9 Treseder is right. The design would improve by repeating
10 the roof pitch from the original house, the 12-12. It's
11 very distinctive, and the fact that, you know, the porch has
12 a hipped roof, so that's kind of out of it, but there are a
13 large number of other pitches in the back that I think would
14 benefit by matching.

15 MS. MILES: I'll agree with that too. I meant to
16 say it.

17 MR. RODRIGUEZ: I agree that the massing has
18 improved immensely. I think there are a few details that I
19 would like to suggest. I think there is a positioning of
20 the back volume, the volume that is going across that I
21 think is, it could be much better placed in relationship
22 with the cruciform plan. And it's just a matter of
23 alignment. And I would suggest that you explore that. I
24 didn't play architect here which I should have, but there is
25 a simple alignment that probably related two volumes, one to

1 the other. I think it would be a more modern connection.

2 I agree that probably there is too many roof
3 pitches, and the project moves in a little more
4 simplification, so many changes in the roof slopes and
5 things like that, it definitely will improve things overall,
6 help compact and cohesive ease to the reserves, and as an
7 addition to this house.

8 MR. SWIFT: I wasn't here for the first
9 consultation. I feel, looking at the back, I'd still like
10 to see maybe some more simplification. And I think it
11 probably has to do with the cantilevered bay that's
12 mentioned in the staff report. So I'd be interested in
13 seeing that simplified a bit, maybe pulled back in. But
14 otherwise, I think it's generally in the right range.

15 MS. MAHER: I think that you guys have done a
16 wonderful job. It's a vast improvement over the previous
17 prelim. You know, I think the treatment is much better.

18 I find it a shame that the bottom is open, kind of
19 dead space, so I was kind of hoping to see something there
20 where it would be better utilized. And actually, I'm a
21 little disappointed in that from one side, you know, you're
22 not experiencing the building from above. You were
23 commenting on how it, things look really beautiful from
24 above, but you're not really experiencing it from that way.

25 And I do feel that on this side, the back part of

1 the cruciform form could be a little bit stronger. And I
2 don't know if that -- I'm not sure, because I'm not an
3 architect, how that could be achieved to better accentuate
4 that, other than kind of shifting things downward somehow.
5 But I otherwise think it's a vast improvement over the
6 previous preliminary.

7 MR. JESTER: I guess from my perspective, I'd also
8 like to commend you on the work that you've done over the
9 last month. I think this is, you've made a lot of progress
10 and are really working toward what I think will be a very
11 nice project. And I think you've done a nice job addressing
12 all the comments we made a month ago.

13 I realize there were some different views, and I
14 think that's always a challenge is to try and address all of
15 the comments.

16 I believe it's consistent with the predominant
17 architectural styles. I think the massing is appropriate
18 and compatible with the resource. I think you've done a
19 nice job preserving the cruciform plan. And I think the
20 materials, I think are appropriate.

21 I would ~~continue to feel that the windows should~~
22 ~~be wood~~. I think I'm not opposed to the casements you
23 talked about. I think the comment that Commissioner
24 Rodriguez made is also something worth considering, if there
25 is a way to simplify the roof forms any further. I realize

1 it's pretty complex with all you are trying to accomplish,
2 and you are trying to get minimum ceiling heights, and there
3 is not a lot of room to work.

4 I think the suggestion of making the back cross-
5 section 12 by 12 is something you should consider. And I
6 agree that there should be some more thought given to how
7 the porch is handled below with the posts, and try to avoid
8 just having lattice work hanging on metal hooks. So if
9 there is a way to give that a little bit more thought.

10 I think what you've heard from the Commission is
11 that you are very close to being able to prepare a HAWP, and
12 I would encourage you to do that for the next submission. I
13 think hopefully with the other comments you have received
14 tonight, you can make the minor adjustments that are needed
15 to make your final application.

16 MR. FREEDMAN: I realize this is slightly out of
17 order, may I ask one clarification question?

18 MR. JESTER: Sure.

19 MR. FREEDMAN: One of the things you mentioned is
20 the roof pitches, and it's something that we have struggled
21 with a lot, especially that transition roof area. And part
22 of the tension is trying to preserve the existing, the roof
23 of the existing house, and not trying to build off of it or
24 hide that.

25 And so with that in mind, I was, I guess I just

1 have a general question, if in terms of that transition roof
2 area and the possibility of blocking the view of the
3 original structure roof, if there is any thoughts you have
4 on that, since you've commended on that topic. And I don't
5 want to spin my wheels in directions that might be
6 inconsistent with your priorities.

7 MR. JESTER: I don't want to speak for all the
8 other Commissioners but I think that you're, the work that
9 you're doing to preserve the original roof forms is
10 important, and probably paramount to efforts to change the
11 roof to be more consistent. I think it's a challenge you
12 have to make, to get all those pieces in there, and I think
13 you are very close. So I wouldn't be asking, I wouldn't be
14 denying the project if you came forward and retained the
15 roof plan that you currently have.

16 MR. RODRIGUEZ: I would like to add that it's how
17 you treat a separation between the two pieces. So what is
18 the lines that you follow, how you align certain pieces,
19 what is the height that you match, which will help you to
20 define how much you follow the house and how much you
21 separate from it. It's a very abstract thing, but it has to
22 do with the extensive height and how those two things
23 relate.

24 MR. TRESEDER: I would also suggest that you work
25 with staff on this, your window concept, because I think it

1 is something that is, we don't commonly see. And I think
2 there's a solution to be had there, but I think there are
3 some subtleties of design of windows, as you know, are
4 extremely important to the character.

5 And for instance, if they are casements, are they
6 going to be casements that imitate double hungs, or are they
7 going to be casements that express themselves as casements,
8 those kinds of details. I encourage you to work with staff
9 to come up with something that makes sense.

10 MR. JESTER: Great. Thank you very much. I look
11 forward to seeing your application.

12 MR. FREEDMAN: Thank you.

13 MR. JESTER: The next case we're going to hear is
14 the second preliminary at 4728 Dorset Avenue in Chevy Chase.
15 Is there a staff report?

16 MS. FOTHERGILL: There is. This is a contributing
17 resource in the Somerset historic district, but for
18 clarification for the Commissioners who may not have
19 reviewed a project in Somerset, Somerset only has
20 contributing and non-contributing. It does not have
21 outstanding resources. And in fact, this house is one of
22 the original houses in Somerset, and is listed in the
23 national register of historic places. I just wanted to be
24 sure you were aware that there are no outstanding resources,
25 and this would be one if there was that category.



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: June 16, 2011

MEMORANDUM

TO: Jennifer Hughes, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner *(JS)*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #537040, rear addition and tree removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the December 15, 2010 meeting.

- The applicants will contact the City of Takoma Park, Arborist to determine if a tree protection plan is required for the project. If a tree protection plan is required, it must be implemented prior to commencing work at the property.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mark Freedman and Kristen Summers

Address: 7311 Baltimore Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Amy Abrams

Daytime Phone No.: 202-726-5894

Tax Account No.: 01065034

Name of Property Owner: Mark E. Freedman and Kristen M. Summers Daytime Phone No.: 301-485-4556

Address: 7311 Takoma Park Baltimore Ave 20912
Street Number City Street Zip Code

Contractor: Abrams Design Build Phone No.: 202-726-5894

Contractor Registration No.: MC #BC3367, MD #86613

Agent for Owner: Amy Abrams Daytime Phone No.: 202-726-5894

LOCATION OF BUILDING/PREMISE

House Number: 7311 Street: Baltimore Ave

Town/City: Takoma Park Nearest Cross Street: Takoma Ave

Lot: 5 Block: 78 Subdivision: 25

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable

CHECK ALL APPLICABLE:

- A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other

1B. Construction cost estimate: \$ 450,000.00

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [X] WSSC 02 [] Septic 03 [] Other:

2B. Type of water supply: 01 [X] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

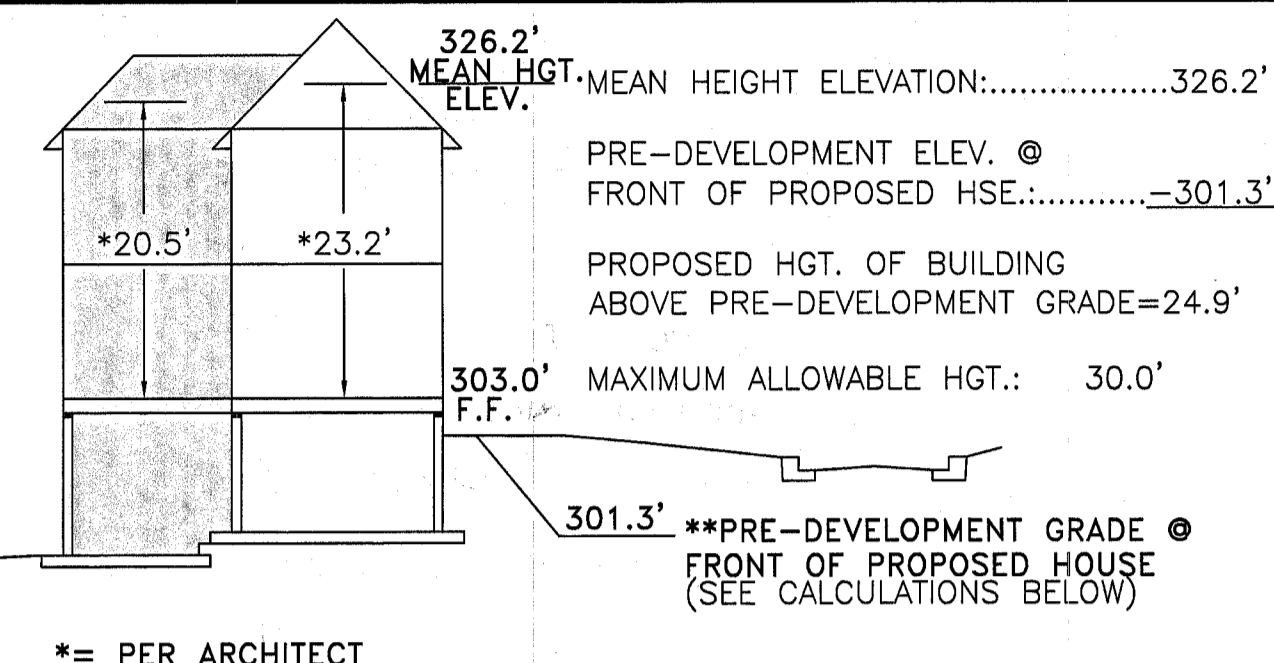
Signature of owner or authorized agent

Date: 11/24/2010

Approved: [Signature] Disapproved: [Signature] Application/Permit No.: 537040 Date Filed: Date Issued: 6/20/11

GENERAL NOTES

- SURVEY:**
- HORIZONTAL DATUM BASED ON MONTGOMERY COUNTY PLAT # B-23
 - VERTICAL DATUM BASED ON WSSC TOPOGRAPHY
 - TOPOGRAPHY BASED ON FIELD RUN TOPO PERFORMED 04-20-10.
 - NO TITLE REPORT WAS FURNISHED FOR THIS PLAN
- ZONING:**
- PROPERTY ZONED: R-60
 - FRONT YARD: 25.0' OR ESTABLISHED BUILDING LINE
 - SIDE YARD: 7.0'
 - REAR YARD: 20.0'
 - MAXIMUM COVERAGE: 28.50%
 - (25.03% EXISTING / PROPOSED FOR THIS PROJECT)
 - MAXIMUM BUILDING HEIGHT:



1) DISTANCES ACROSS FRONT OF PROPOSED HOUSE

DISTANCE	AVERAGE GRADE	TOTAL
10.1' X	300.8'	= 3,038.08
7.1' X	301.7'	= 2,142.07
2.4' X	301.9'	= 724.56
8.3' X	301.6'	= 2,503.28
2.9' X	301.2'	= 783.12
TOTALS:	30.5'	= 9,191.11
		9,191.11/30.5'
		AVERAGE GRADE @ FRONT OF HSE. = 301.34'

**= FOR THE PURPOSE OF DETERMINING BUILDING HEIGHT, AT NO POINT MUST THE FINISHED GRADE BE HIGHER THAN THE PRE-DEVELOPMENT GRADE.

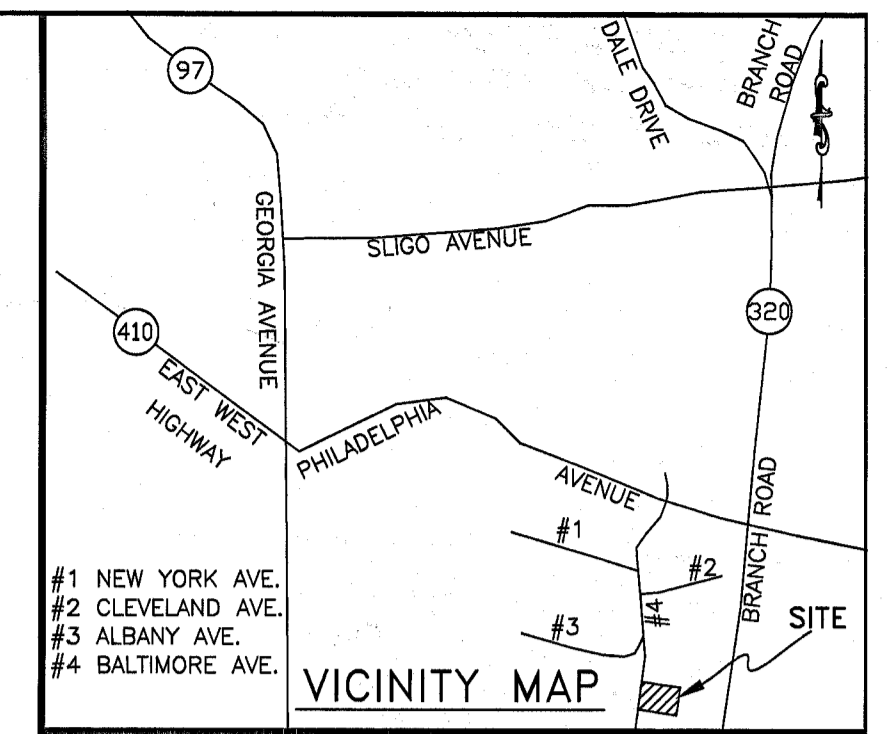
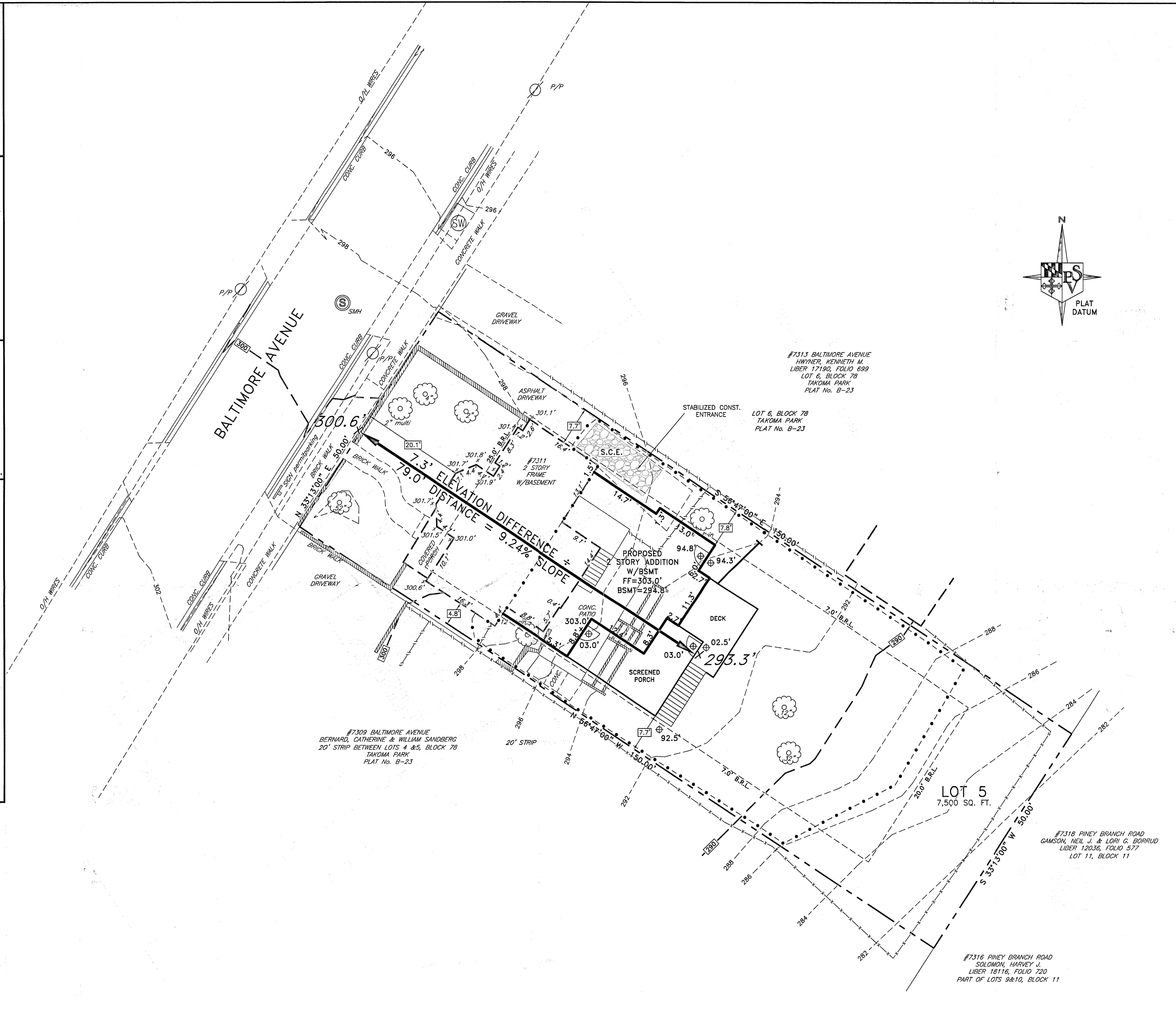
- DISTURBED AREA:**
- PROJECT TO DISTURB 3,971 SQ.FT.
 - CONTRACTOR IS RESPONSIBLE TO ENSURE POSITIVE DRAINAGE AWAY FROM FOUNDATION WALLS. CONTRACTOR IS TO CONTACT P.V.S. IF ANY GRADING QUESTIONS ARISE.
 - ALL DISTURBED AREAS MUST BE TOPSOILED PER THE MONTGOMERY COUNTY "STANDARDS and SPECIFICATIONS FOR TOPSOIL" PRIOR TO FINAL VEGETATION STABILIZATION.

- FOREST CONSERVATION:**
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION UNDER SECTION 22A-5(o)(2) OF THE MONTGOMERY COUNTY FOREST CONSERVATION LAW.
 - CONSULT WITH ARBORIST ON ALL TREES THAT MAY BE AFFECTED BY THE LIMITS OF THE PROPOSED CONSTRUCTION.

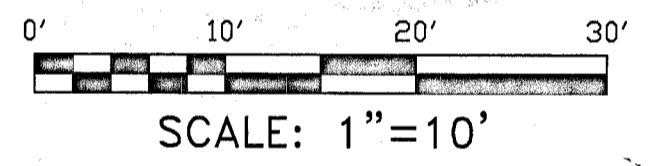
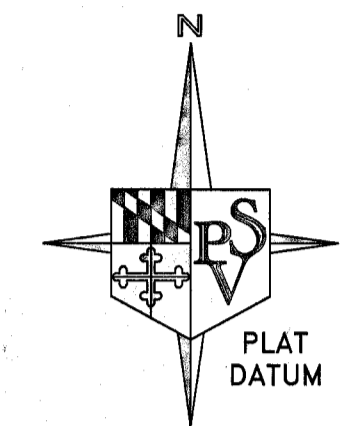
- STORMWATER MANAGEMENT:**
- SEE STORMWATER MANAGEMENT / SEDIMENT CONTROL PLAN.
 - CONTRACTOR IS RESPONSIBLE TO ENSURE POSITIVE DRAINAGE AWAY FROM FOUNDATION.

- UTILITIES:**
- PROJECT UTILIZES PUBLIC WATER AND SEWER WITHIN WSSC GRID 209NW01
 - CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION.
 - VERIFY THE ELEVATION OF THE SEWER HOUSE CONNECTION PRIOR TO CONSTRUCTION TO CHECK FOR THE AVAILABILITY OF GRAVITY FLOW FROM THE BASEMENT.

- SEDIMENT CONTROL:**
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AS DIRECTED BY THE AUTHORIZED M.C.D.P.S. REPRESENTATIVE (INSPECTOR).



- LEGEND**
- EXISTING CONTOURS= [Symbol]
 - EXISTING SPOT GRADE= x 100.0'
 - PROPOSED CONTOURS= [Symbol]
 - PROPOSED SPOT GRADE= ⊕ 64.7'
 - PROPOSED SILT FENCE= [Symbol]
 - PROPOSED LIMIT OF DISTURBANCE= [Symbol]
 - ITEMS TO BE REMOVED= TBR
 - DOWNSPOUTS= [Symbol]
 - DRAINAGE PATH= [Symbol]
 - STABILIZED CONSTRUCTION ENTRANCE= [Symbol]
 - PROPOSED UNDERGROUND DRAIN PIPE= [Symbol]
 - RETAINING WALLS= [Symbol] (DESIGN BY OTHERS)



SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND WAS OBTAINED BY ME OR OTHERS UNDER MY SUPERVISION IN ACCORDANCE WITH COMAR 09-13-06-12 AND THAT THE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID P. MOWATT, DATE 05/26/11
 MARYLAND PROFESSIONAL LAND SURVEYOR #2

REVISIONS

DATE:	REVISIONS:

THIS PLAN PREPARED FOR: MARK FREEDMAN, 7311 BALTIMORE AVENUE, TAKOMA PARK, MARYLAND 20912

JOB No. 010-023
 DATE: 05-26-11
 DRAWN BY: BJ
 SHEET: 1 of 1

**SITE GRADING/
 ZONING PLAN**

7311 BALTIMORE AVENUE
 TAKOMA PARK
 LOT 5, BLOCK 78
 PLAT No. B-23
 MONTGOMERY COUNTY, MARYLAND

POTOMAC VALLEY SURVEYS

20010 FISHER AVENUE, SUITE F
 POOLESVILLE, MARYLAND
 1-888-349-5090

APPROVED
 Montgomery County
 Historic Preservation Commission