

4 Hickory Avenue, Takoma Park  
(HPC Case # 37/03-10LL)  
Takoma Park Historic District



## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

Thomas Jester  
Chairperson

Date: October 12, 2010

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Josh Silver, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #539518, construction of rear screened porch

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the June 23, 2010 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Bill and Tracy Samuel

Address: 4 Hickory Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or [joshua.silver@mncppc-mc.org](mailto:joshua.silver@mncppc-mc.org) to schedule a follow-up site visit.





RETURN TO DEPARTMENT OF PERMITTING SERVICES  
266 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850  
243 777 4570

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

# 539518

Contact Person: Jane Treacy, Treacy & Eagleburger Architects PC

Daytime Phone No.: (202) 342-5226 x1

Tax Account No.: 01060134

Name of Property Owner: Bill & Tracy Samuel Daytime Phone No.: (301) 270-9128

Address: 4 Hickory Ave, Takoma Park, MD 20912  
Street Number City State Zip Code

Contractor: TBD Phone No.:

Contractor Registration No.:

Agent for Owner: Jane Treacy, Treacy & Eagleburger Architects PC Daytime Phone No.: (202) 342-5226 x1

LOCATION OF BUILDING/PREMISE

House Number: 4 Street: Hickory Ave

Town/City: Takoma Park Nearest Cross Street: Columbia Ave

Lot: P1 Block: 20 Subdivision: 25

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend (porch)
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revoceable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other:

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # N.A.

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

N.A.

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other:

2B. Type of water supply: 01  WSSC 02  Well 03  Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

N.A.

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*Jane Treacy*  
Signature of owner or authorized agent

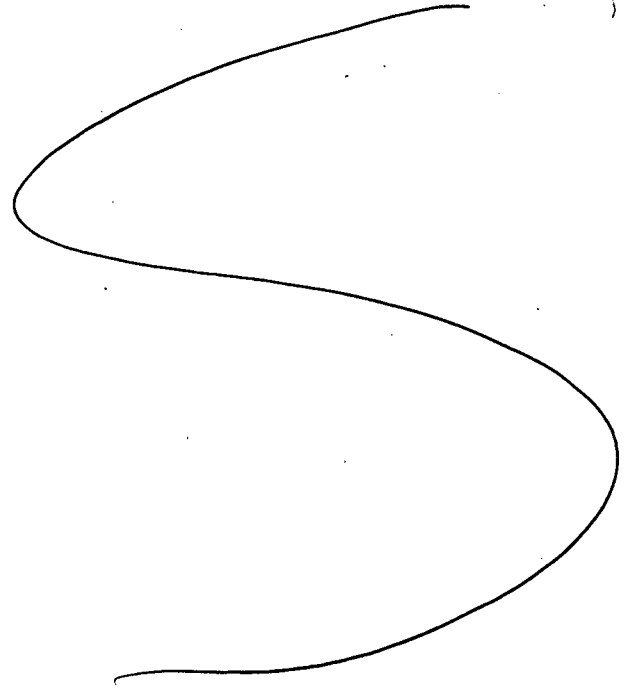
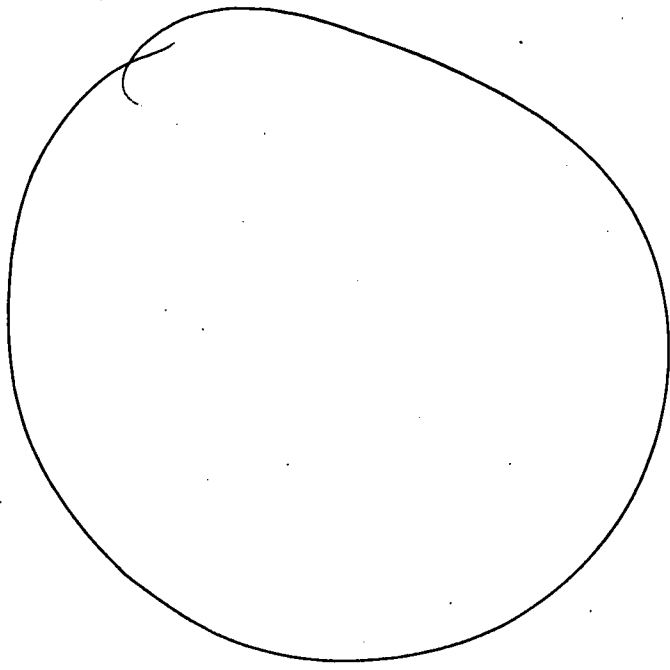
6-2-10  
Date

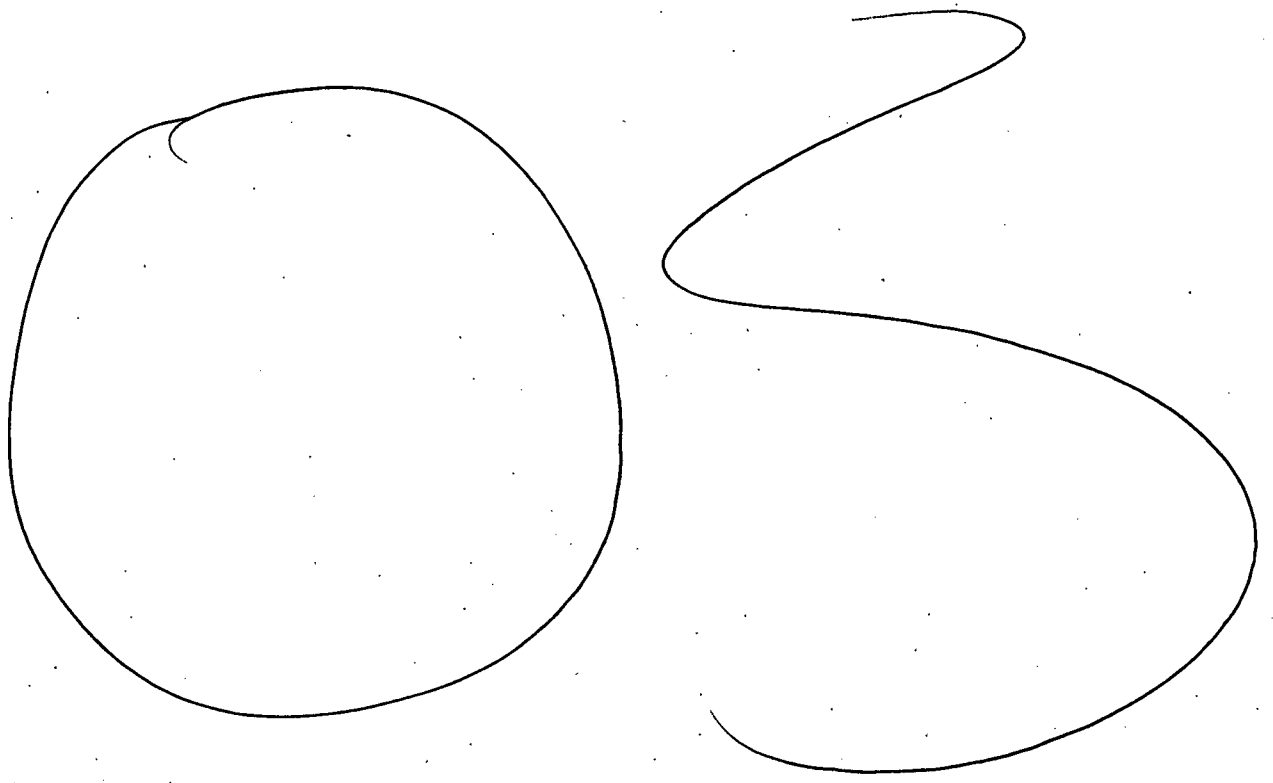
Approved: *[Signature]* For Chairperson, Historic Preservation Commission

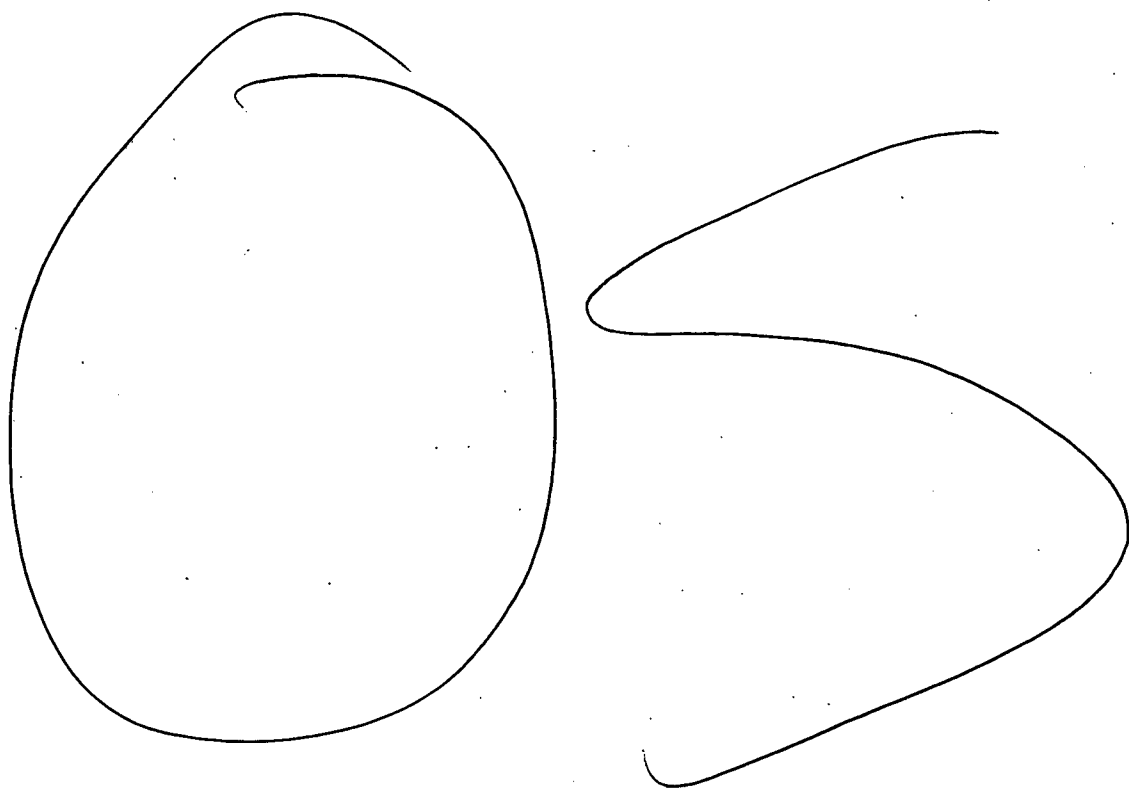
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 10/12/10

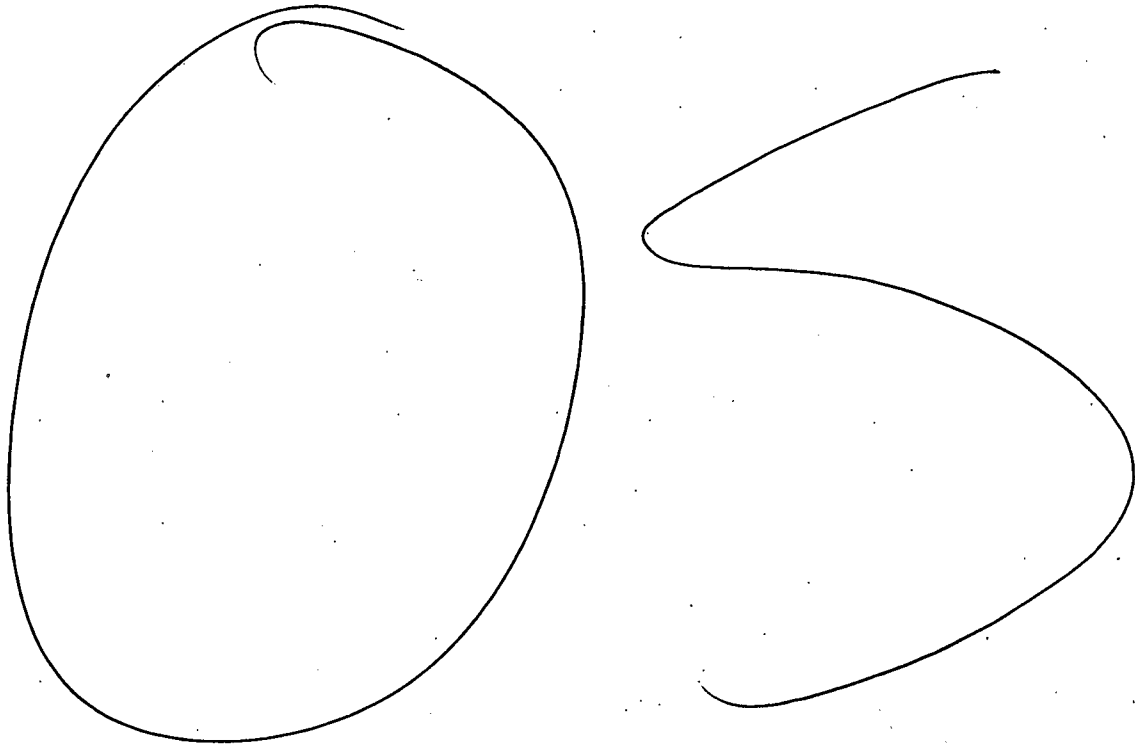
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

OS

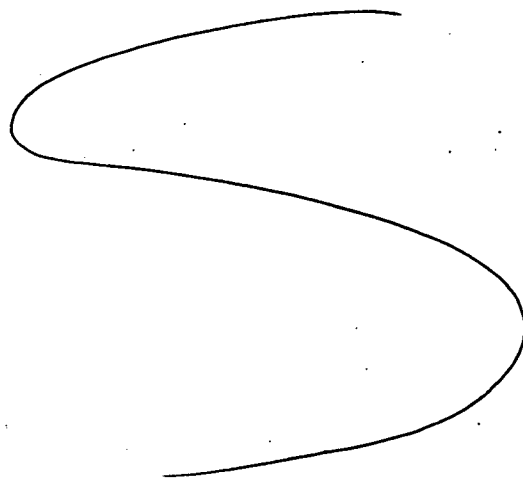
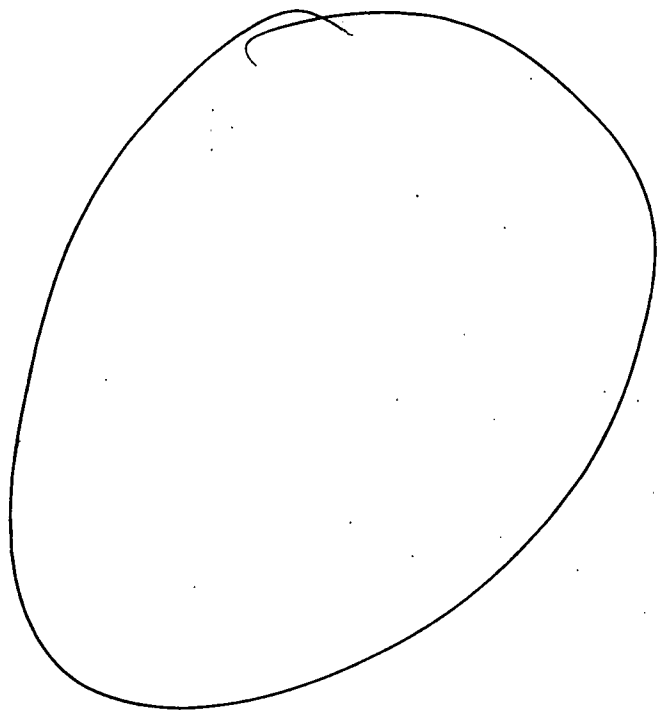












**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	4 Hickory Avenue, Takoma Park	<b>Meeting Date:</b>	6/23/2010
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	6/16/2010
<b>Applicant:</b>	Bill and Tracy Samuel	<b>Public Notice:</b>	6/9/2010
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	37/03-10LL	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b>	Construction of rear screened porch		

**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve** this HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Colonial Revival  
**DATE:** 1910

**PROPOSAL**

The applicants are proposing to construct a one-story screened porch enclosure at the rear of the subject property. The proposed enclosure will extend across the 1<sup>st</sup> story rear elevation and project approximately 5' beyond the east (right) side elevation of the house. A new wooden stair and railing system will provide access between the porch and grade and wooden slats will be installed below the porch to enclose an existing storage area.

An existing 2<sup>nd</sup> floor open-style porch on the rear elevation will be enclosed to match the language of the proposed 1<sup>st</sup> floor porch enclosure.

The proposal also includes the installation of five simulated divided wooden casement windows in the existing non-historic addition at the rear of the house. A flat seam metal roof will sheath the proposed porch enclosure and existing non-historic addition.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Takoma Park Historic District Guidelines***

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- major additions should, where feasible should be placed to the rear of the existing structure so that they are less visible from the public right-of-way;
- while additions should be compatible, they are not required to be replicative of earlier architectural styles;
- alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course;
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

### ***Montgomery County Code; Chapter 24A***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Staff supports the proposed construction of a 1 story porch and other alterations at the rear of the house. The proposed work is compatible with the predominant architectural style of the resource and will have negligible impact on the streetscape of the historic district. Staff supports the 5' projection of the porch beyond the right elevation. Visibility of the projection is diminished by the setback of the house and a change in grade at the property.

The proposed material selections are appropriate for alterations to a rear elevation of a Contributing Resource within the Takoma Park Historic District.

The applicant has provided several rendering views of the proposed alterations to assist the HPC in their review of this application. (See circle 9 + 10).

Staff finds that the proposal is consistent with the HPC's review criteria referenced above and recommends approval of the HAWP application.

The proposed addition is also in keeping with guidance for new additions found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, which states:

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.

**STAFF RECOMMENDATION**

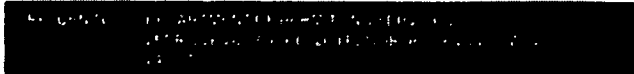
Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b)(1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or [joshua.silver@mncppc-mc.org](mailto:joshua.silver@mncppc-mc.org) to schedule a follow-up site visit.



DPS - #8

HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

#539518

Contact Person: Jane Treacy, Treacy & Eagleburger Architects PC

Daytime Phone No.: (202) 362-5226 x1

Tax Account No.: 01060134

Name of Property Owner: Bill & Tracy Samuel Daytime Phone No.: (301) 270-9128

Address: 4 Hickory Ave, Takoma Park, MD 20912

Contractor: TBD Phone No.:

Contractor Registration No.:

Agent for Owner: Jane Treacy, Treacy & Eagleburger Architects PC Daytime Phone No.: (202) 362-5226 x1

LOCATION OF BUILDING/PREMISE

House Number: 4 Street: Hickory Ave
Town/City: Takoma Park Nearest Cross Street: Columbia Ave
Lot: P1 Block: 20 Subdivision: 25
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend (porch), Alter/Renovate, AC, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other.

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # N.A.

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other: N.A.
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height: N.A. feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/essament

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date: 6-2-10

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

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MEMORANDUM

JUNE 2, 2010

RE: HAWP APPLICATION; #4 HICKORY AVE, TAKOMA PARK, MD

LIST OF ESSENTIAL FACTS:

1. #4 Hickory is located on the corner of Hickory and Columbia Avenues and has street frontage and views from both sides. The back of the house, which is also quite visible from Columbia Ave, has undergone a series of prior modifications.
2. The primary goal of this project is to provide a well-designed kitchen and improve the circulation throughout the first level of the house for a layout that is more conducive to entertaining. These proposed improvements are achieved through a strictly interior renovation without affecting any original windows.
3. The secondary goal of the project is to create a screened porch in lieu of the existing open deck at the rear of the house. The existing open deck, a modification to the original house, was built such that a structural post from the porch roof above runs straight through the middle of the most usable portion of the deck. The proposed screened porch replaces the post with a beam support, making the space more functional for the home owner.
4. The existing structure currently sits within a few feet of the rear set-back line. Although this condition does not allow much room for growth of the planned screened porch towards the back of the property, the site does allow for expansion to either side of the existing porch. There is substantially more room to the Columbia Avenue side of the house for an addition, but the proposed plan to expand to the driveway side seems more private and less visible to the surrounding neighbors. The screened porch addition as planned will extend to the side approx. 3'-0" beyond the location of the existing deck.
5. No original windows are being removed or altered in the project. Five new windows are planned for the existing 1<sup>st</sup> floor "box" addition, which bumps out at the back of the house. The windows help to lighten the existing "box" and better relate it to the language of the adjacent screen porch. A new continuous roof over this one-story portion further ties the bump-out with the screened porch.
6. The existing exterior storage area beneath the 1<sup>st</sup> floor deck is currently open and visible from Columbia Avenue and neighboring properties. As part of the screen porch addition, the storage area below will be enclosed with painted wood slats, creating a more secure and private storage space for the home owner.
7. A new screened enclosure is planned at the existing second floor open porch, matching the language of the new 1<sup>st</sup> floor screen porch and maximizing the space under the existing porch roof.

END OF MEMORANDUM

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>          Bill &amp; Tracy Samuel          4 Hickory Ave          Takoma Park, MD 20912</p>	<p><b>Owner's Agent's mailing address</b>          Jane Treacy          Treacy &amp; Eagleburger Architects PC          3335 Connecticut Ave, NW - 2nd Fl.          Washington, DC 20008</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>Laurence Fischel &amp; Lorraine Gilbert          6 Hickory Ave          Takoma Park, MD 20912</p>	<p>Simon &amp; Jennifer Park          26 Columbia Ave          Takoma Park, MD 20912</p>
<p>Karl &amp; Ruth Pitt          23 Columbia Ave          Takoma Park, MD 20912</p>	<p>Joel &amp; G. Gaspin          28 Columbia Ave          Takoma Park, MD 20912</p>
<p>Andrew Plack &amp; Anne Fitznerjill          33 Columbia Ave          Takoma Park, MD 20912</p>	<p>Emily Hanford &amp; Derek Goldman          30 Columbia Ave          Takoma Park, MD 20912</p>



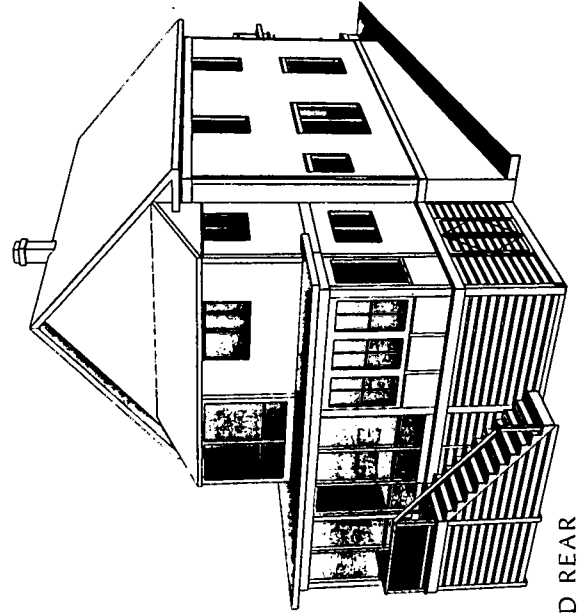
**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Janis Strall 32 Columbia Ave Takoma Park, MD 20912	

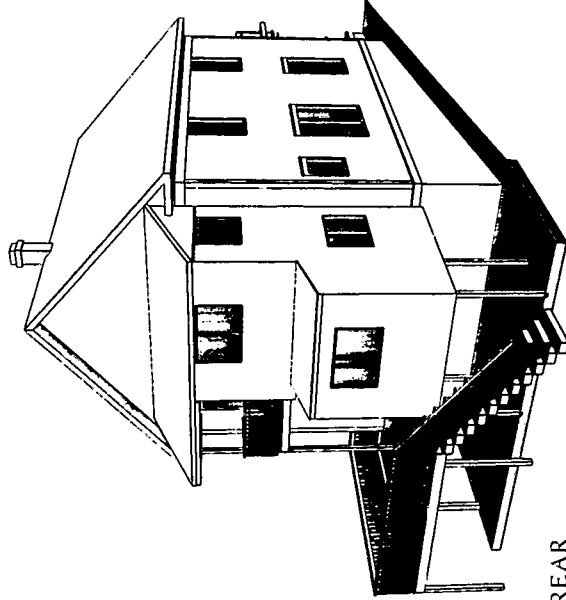
SAMUEL RESIDENCE  
4 HICKORY AVE  
TAKOMA PARK, MD

H.A.W.P.  
BEFORE AND AFTER  
2 JUNE 2010

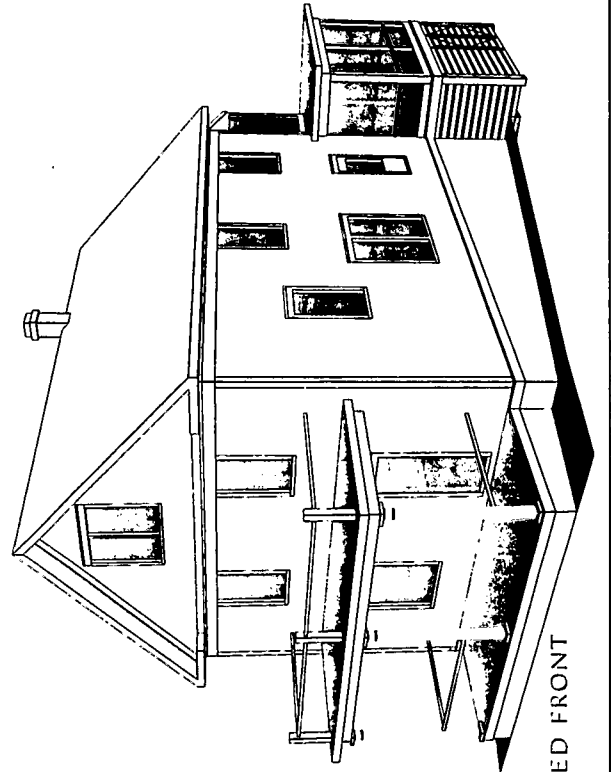
TREACY & EAGLEBURGER  
ARCHITECTS  
3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008  
202-362-5226 ■ FAX: 202-362-7791



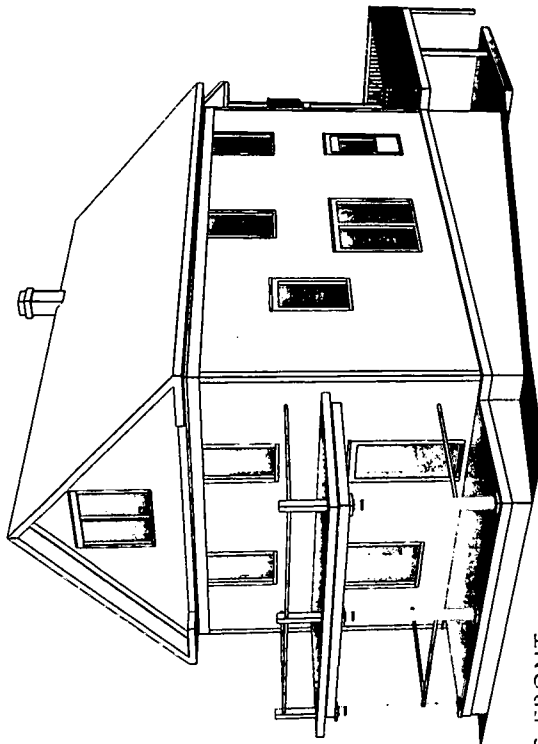
PROPOSED REAR



EXISTING REAR



PROPOSED FRONT



EXISTING FRONT

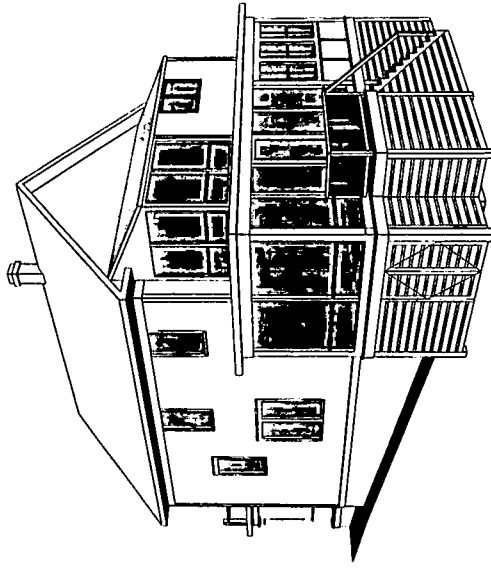
SAMUEL RESIDENCE

4 HICKORY AVE  
TAKOMA PARK, MD

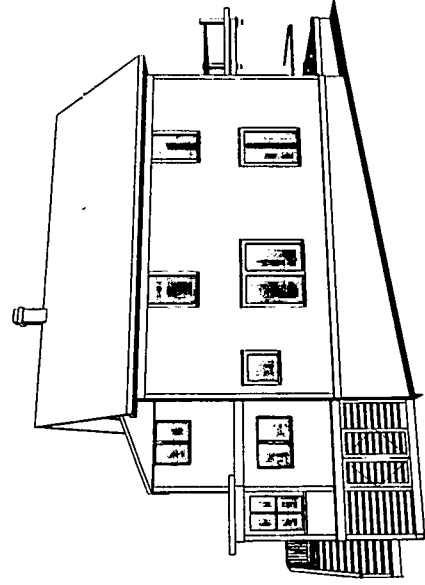
H.A.W.P.  
PROPOSED VIEWS

2 JUNE 2010

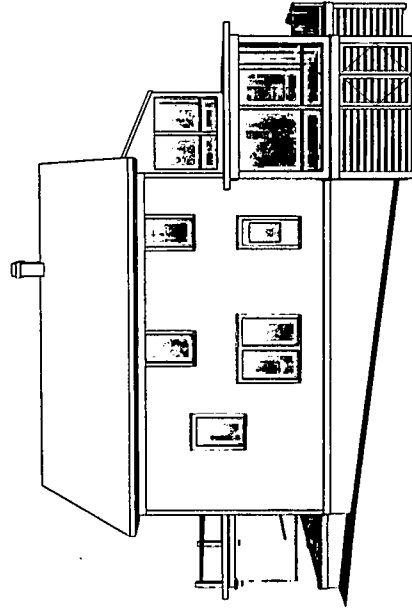
TREACY & EAGLEBURGER  
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202-362-5226 • FAX: 202-362-7791



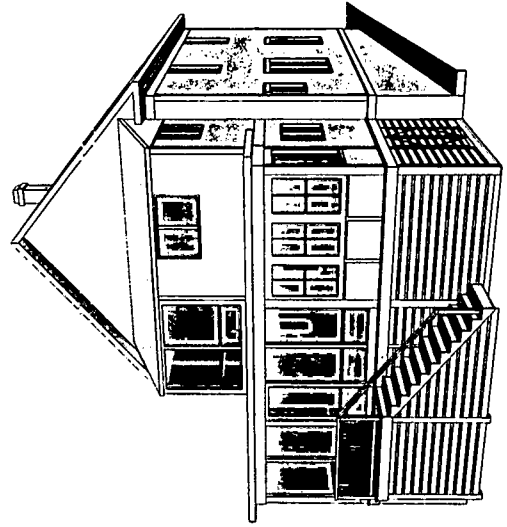
REAR ELEVATION



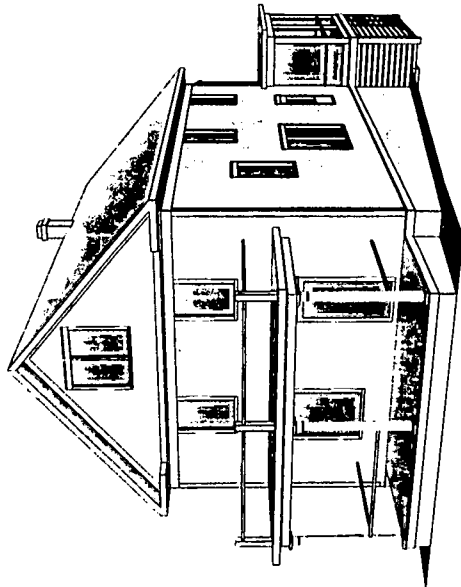
SIDE ELEVATION (COLUMBIA AVE)



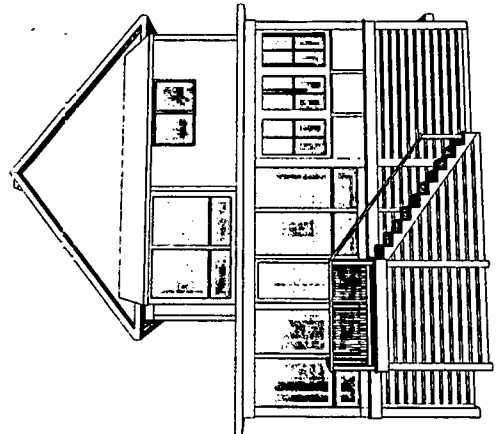
SIDE ELEVATION (NEIGHBOR)



REAR ELEVATION



FRONT ELEVATION (HICKORY AVE)

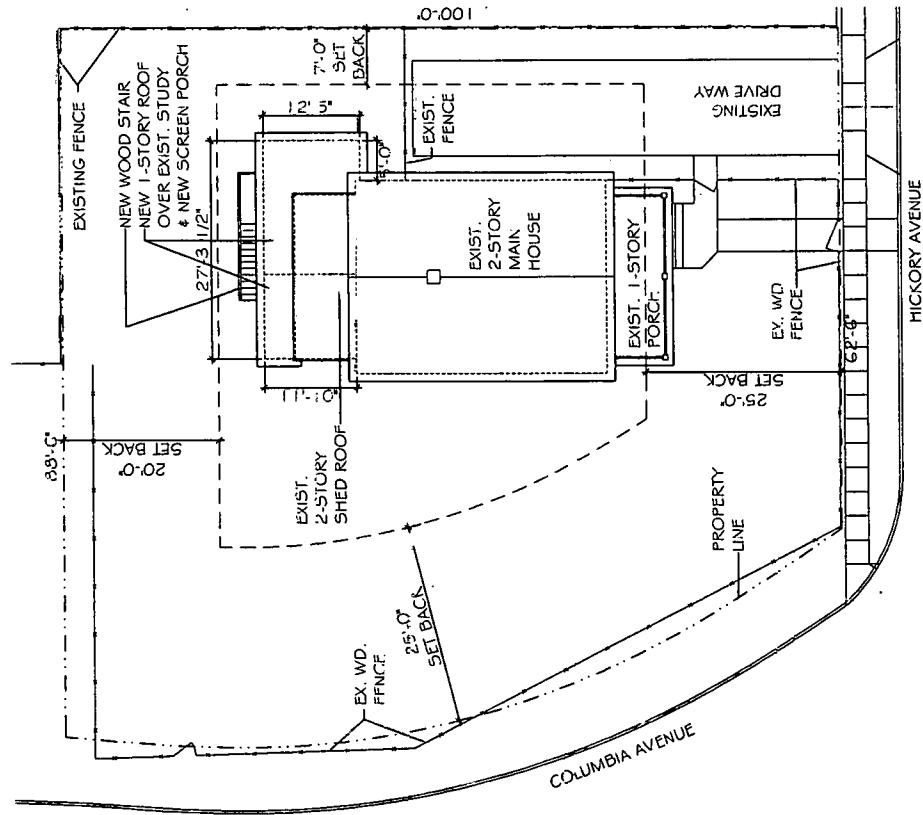


REAR ELEVATION

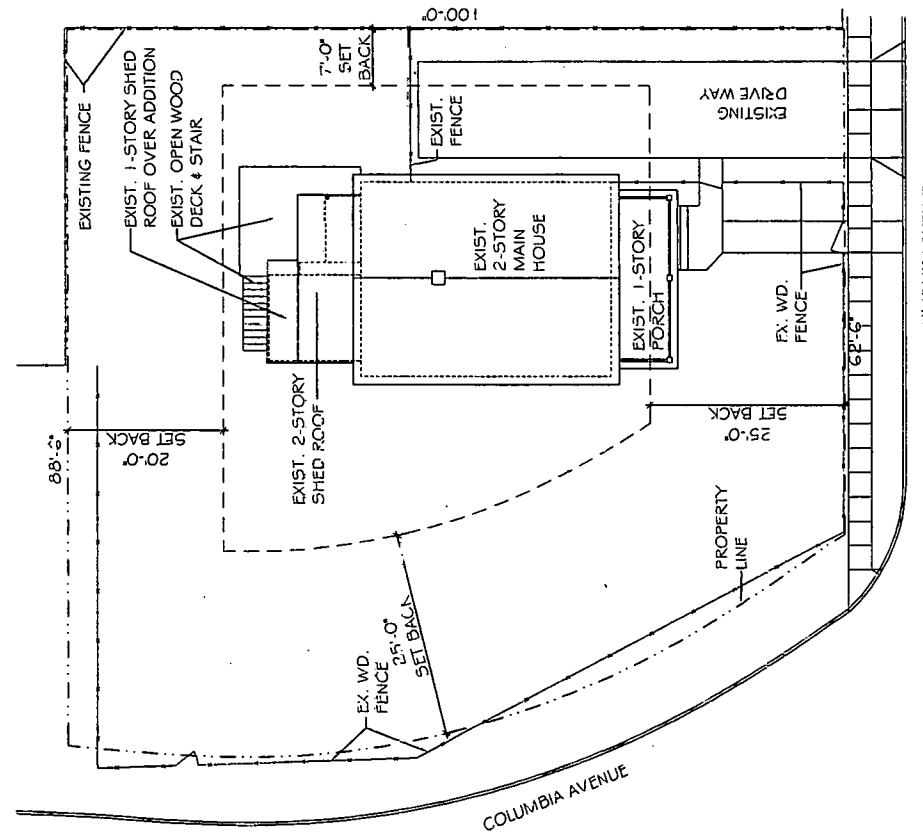
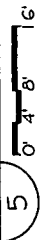
SAMUEL RESIDENCE  
 4 HICKORY AVE  
 TAKOMA PARK, MD

H.A.W.P.  
 1ST FLOOR PLANS  
 1/8" = 1'-0"  
 2 JUNE 2010

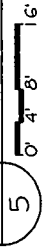
TREACY & EACLEBURGER  
 ARCHITECTS  
 1335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008  
 202-362-5226 FAX: 202-362-7791

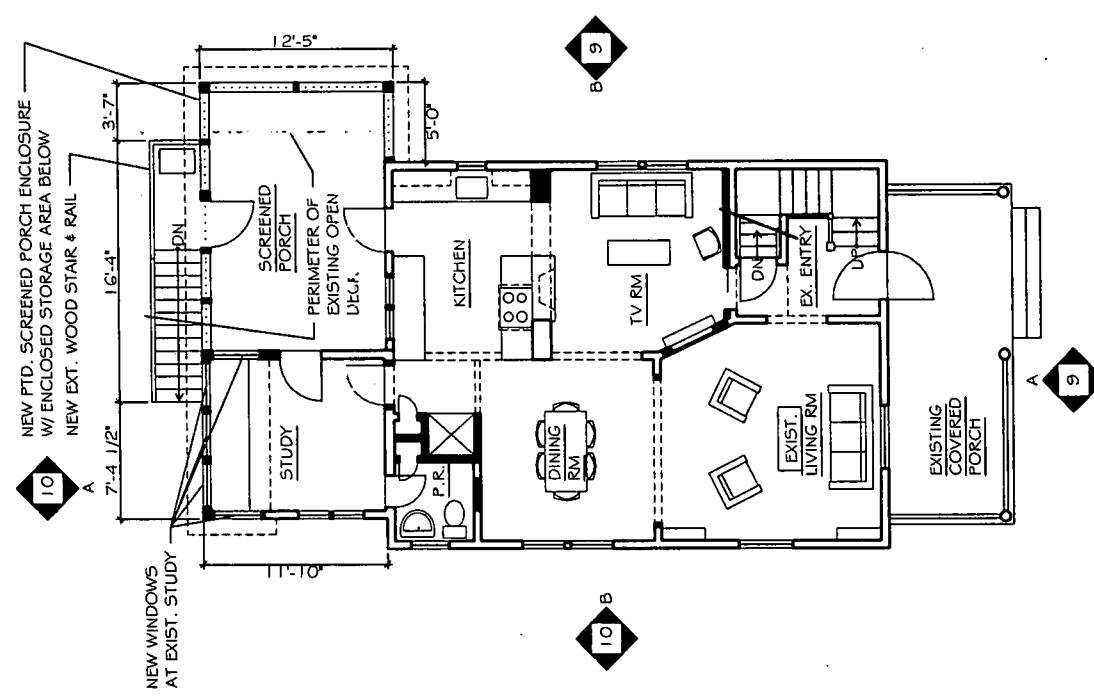


B PROPOSED SITE PLAN



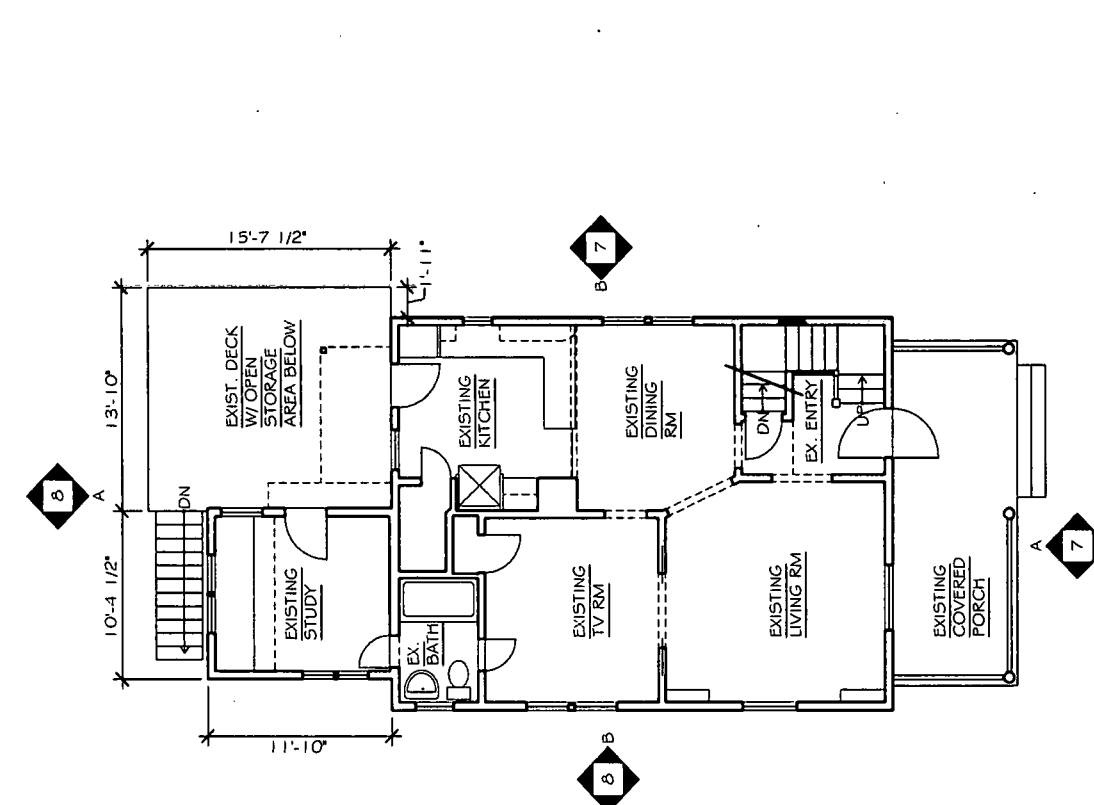
A EXISTING SITE PLAN





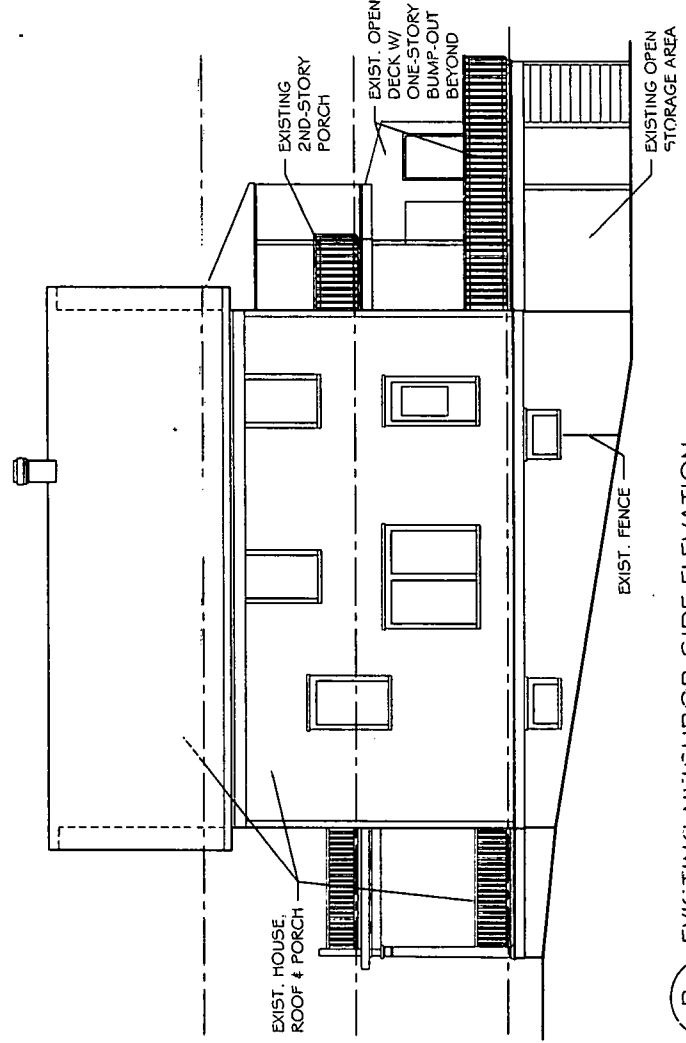
B PROPOSED 1ST FLOOR PLAN

6 0' 2' 4" 8'

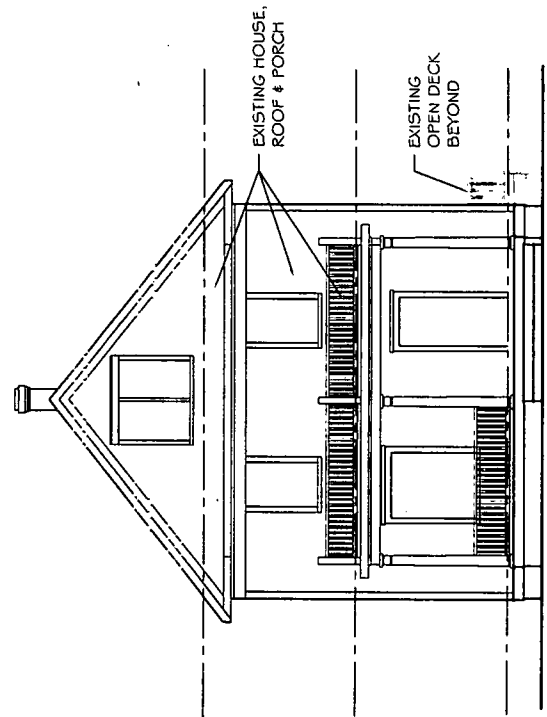


A EXISTING 1ST FLOOR PLAN

6 0' 2' 4" 8'

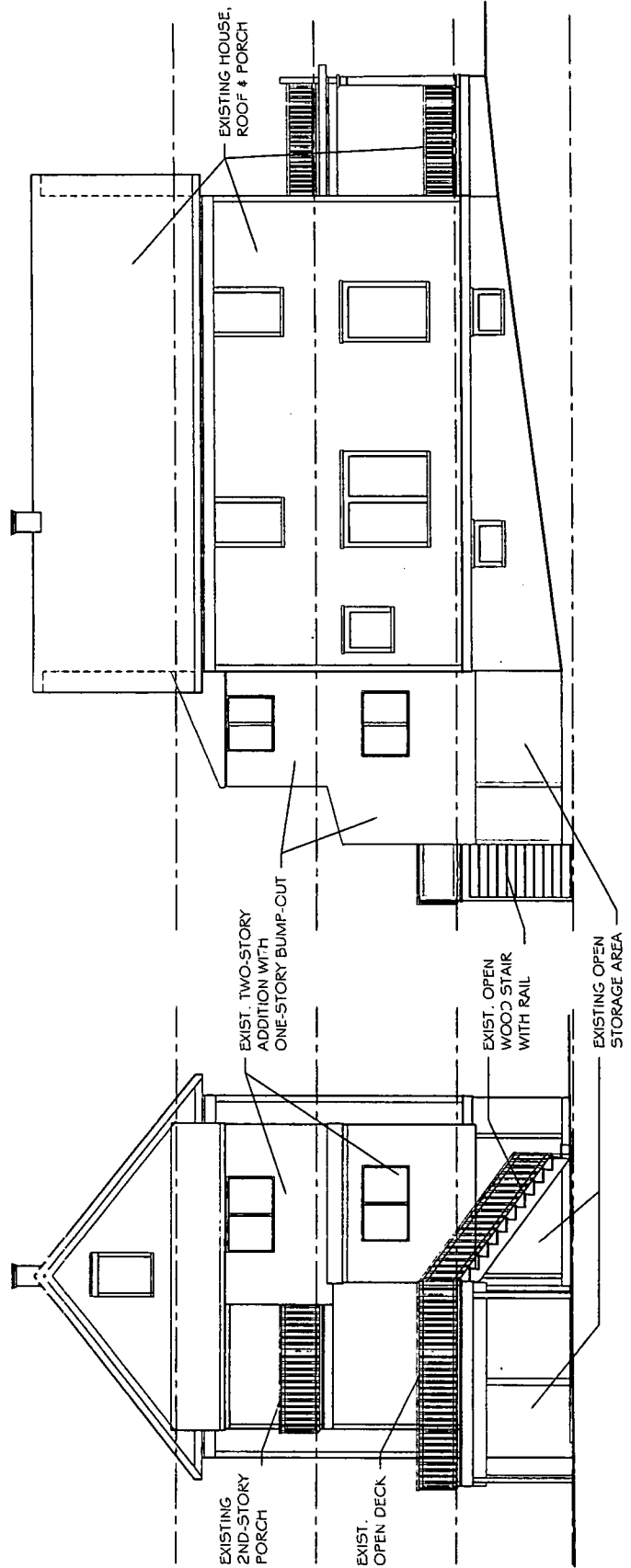


B EXISTING NEIGHBOR-SIDE ELEVATION



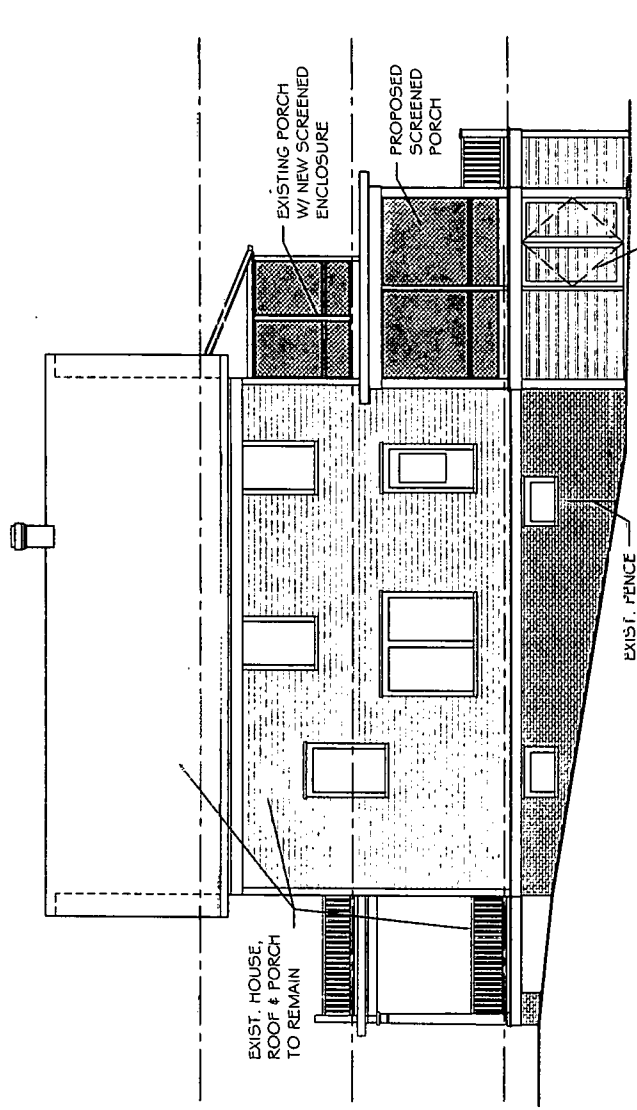
A EXISTING FRONT ELEVATION



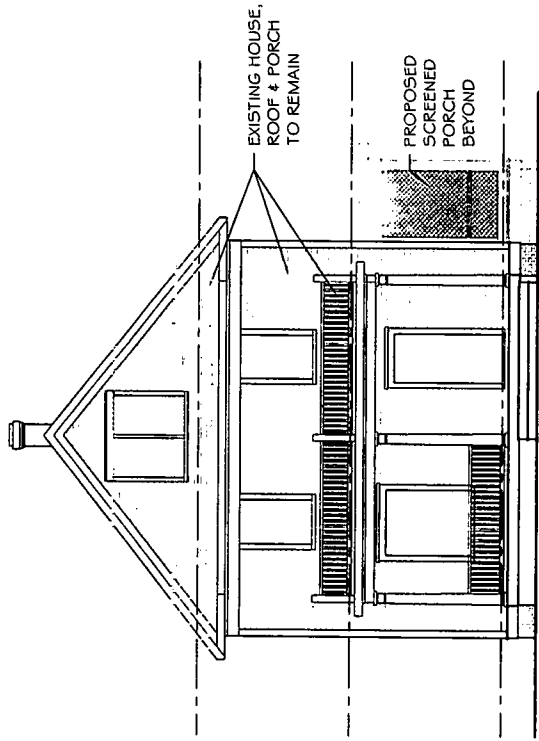


A EXISTING REAR ELEVATION

B EXISTING STREET-SIDE ELEVATION



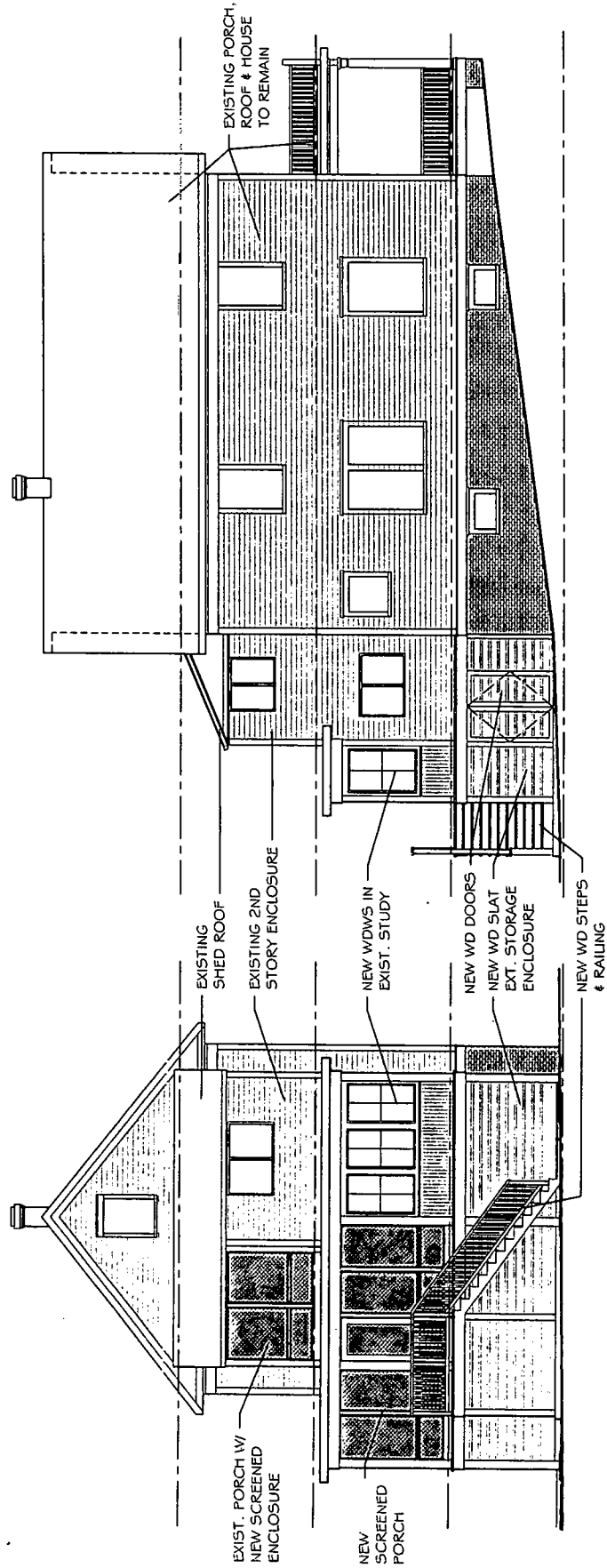
B PROPOSED REAR-SIDE ELEVATION



A PROPOSED FRONT ELEVATION

15

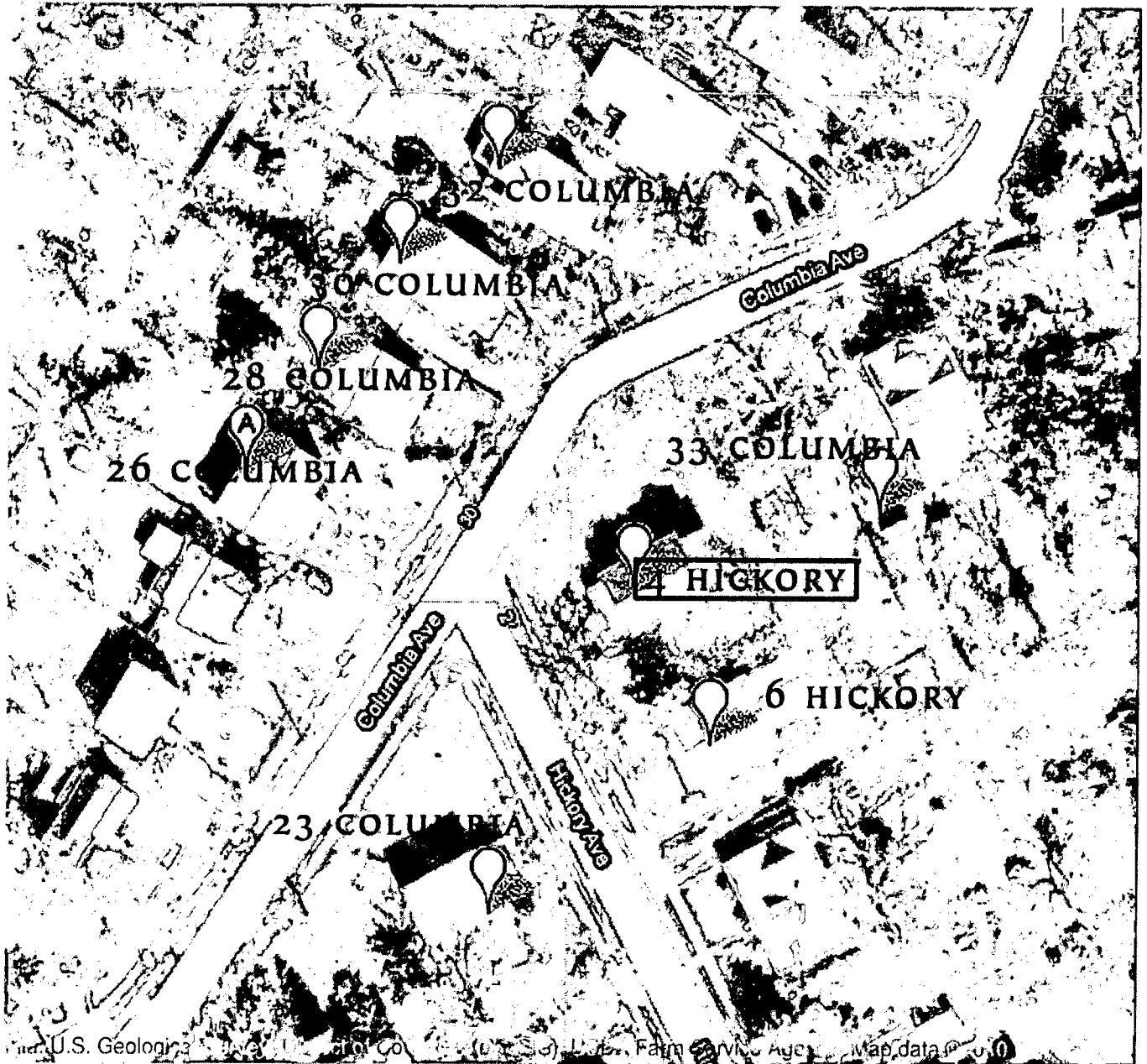




A PROPOSED REAR ELEVATION  
 10' 0" 2' 4" 8'

B PROPOSED STREET-SIDE ELEVATION  
 10' 0" 2' 4" 8'

16



4 HICKORY AVENUE, TAKOMA PARK, MD  
ADJACENT AND OPPOSING PROPERTIES

SAMUEL RESIDENCE  
4 HICKORY AVE  
TAYLOR PARK, MD

H.A.W.P.  
EXISTING PHOTOS  
2 JUNE 2010

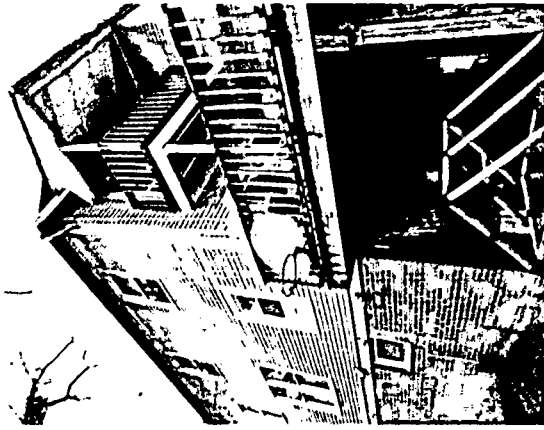
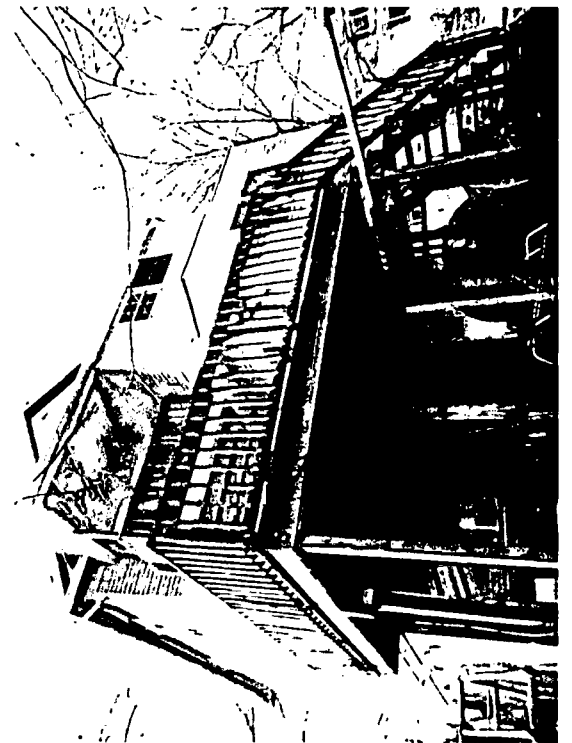
TREACY & EAGLEBURGER  
ARCHITECTS  
3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008  
202-362-5226 • FAX: 202-362-7791



SAMUEL RESIDENCE  
4 H. CORY AVE  
TAKOMA PARK, MD

H.A.W.P.  
EXISTING PHOTOS  
2 JUNE 2010

TREACY & EAGLEBURGER  
ARCHITECTS  
3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008  
202-362-5226 • FAX: 202-362-7791



**STAFF ITEM**

**STAFF MEMBER: JOSH SILVER**

**SUBJECT:** Revision to approved HAWP (Case 37/03-10LL), for construction of a rear screened porch at 4 Hickory Avenue, Takoma Park, a Contributing Resource within the **Takoma Park Historic District**

**DATE:** July 26, 2010

**BACKGROUND:** On June 23, 2010 the HPC reviewed and approved the construction of a one-story screened porch enclosure and other alterations at the rear of the house. No changes to the approved rear porch design are proposed.

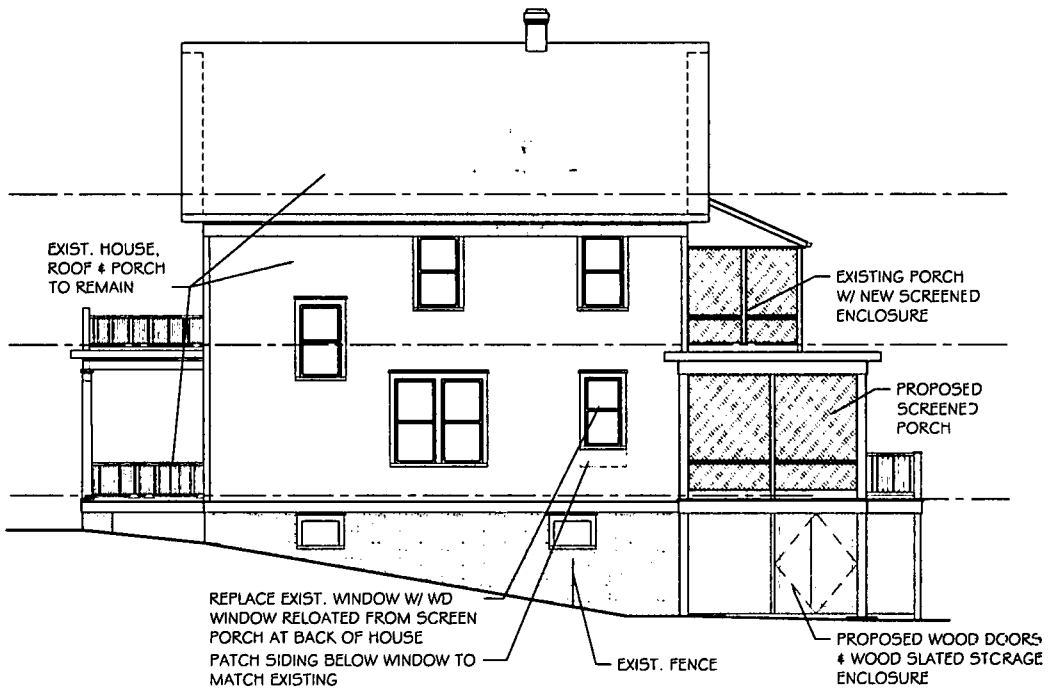
**REVISED PROPOSAL:** The applicants are proposing to remove and replace a non-original window located on the right side elevation and install a 1/1 double-hung wooden window in the same location. The existing window opening has evidence of alterations that are inconsistent with the original window openings on the house. The applicants propose to reuse a window from the rear elevation that will be removed to accommodate construction of the approved rear porch enclosure. New wooden siding will be installed below the window to match the existing siding on the house.

**STAFF RECOMMENDATION:** Staff is recommending that the HPC approve the revised proposal.

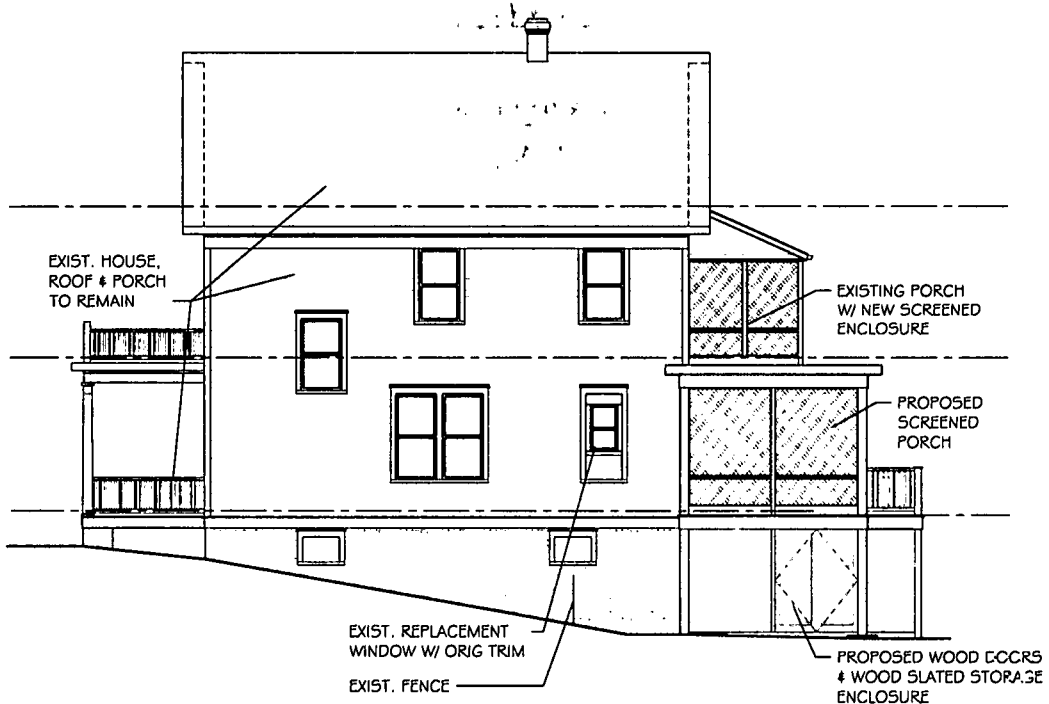
**HPC DECISION:**

*APPROVED*

37/03-10LL

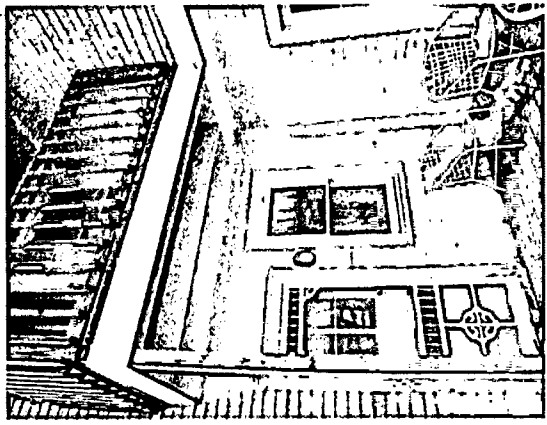


**A** PROPOSED SIDE ELEVATION (WITH WINDOW REVISION)  
 1/8" = 1'-0"

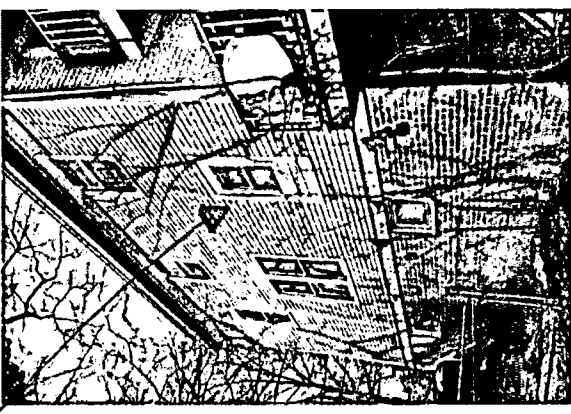


**B** PROPOSED SIDE ELEVATION (H.A.W.P. APPROVED - 06/23/10)  
 1/8" = 1'-0"

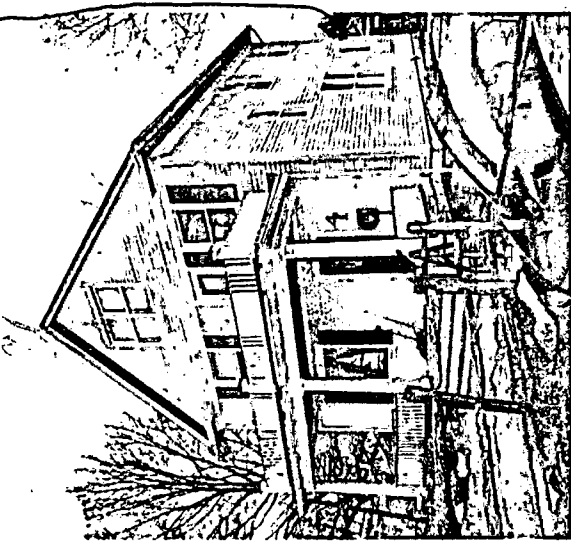
PROPOSED WINDOW REPLACEMENT PROJECT



PHOTOS OF PROPOSED  
REPLACEMENT  
WINDOW AT NEW  
SCREENED PORCH



EXTERIOR PHOTOS  
EXISTING SIDE  
ELEVATION



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H.A.W.P.  
EXISTING PHOTOS  
26 JULY 2010

SAMUEL RESIDENCE  
4 HICKORY AVE  
TAKOMA PARK, MD 20912

## Silver, Joshua

---

**From:** Christina Haislip [christina@treacyeagleburger.com]  
**Sent:** Monday, July 26, 2010 2:50 PM  
**To:** Silver, Joshua  
**Cc:** Jane Treacy  
**Subject:** FW: 4 Hickory  
**Attachments:** Samuel\_HAWP\_7.26.10.pdf

Hi Josh,

Please find attached a pdf copy of the window modification proposal for the Samuel Residence at 4 Hickory Ave that we discussed with you last week. If it's not too late, we'd like to have it reviewed at the HPC meeting on July 28<sup>th</sup>. (We are trying to finalize our drawings in the next few weeks and would love to know if we have approval to proceed with this change this month if possible.)

After closer examination, we have found that one of the older existing wood double-hung windows (currently slated to be removed at the screened porch area) is a close match to the original windows and is a perfect dimension for what we need. We are proposing to save and relocate that window to the side elevation and to patch the wood siding below to match existing. The attached pdf includes the side elevation drawing of the house as approved in the HAWP review on 6.23.10 and as we are currently proposing. Also included are existing site photos of the side elevation and photos of the existing wood window for your reference.

Please let me know if you have any questions or concerns with our proposal.

Thanks for all your help,

Christina

Christina Haislip  
Treacy & Eagleburger Architects PC  
3335 Connecticut Avenue, NW, 2nd Fl.  
Washington, DC 20008-1302  
(T) 202-362-5226  
(F) 202-362-7791

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**From:** Jane Treacy  
**Sent:** Thursday, July 22, 2010 6:09 PM  
**To:** Silver, Joshua  
**Cc:** Christina Haislip  
**Subject:** Re: 4 Hickory

Thx again Josh - will get back to you.  
Have a great vacation if I don't talk to you . . .

Sent from my iPhone

On Jul 22, 2010, at 4:34 PM, "Silver, Joshua" <[Joshua.Silver@mncppc-mc.org](mailto:Joshua.Silver@mncppc-mc.org)> wrote:

Waiting is very reasonable. The next HPC meeting is August 11<sup>th</sup>. There is no specified due date for a staff item. However, the entire Planning Department is closed for a mandatory furlough from August 2 through August 6, due to county budget cuts. We will not reopen until Monday, August 9<sup>th</sup>. This would leave very little time to prepare a staff item and distribute it to the HPC for review. While not ideal, if you can get me plans and a brief narrative description by Monday, August 9<sup>th</sup> I could plan on taking the item to the HPC on August 11<sup>th</sup>. The next meeting after August 11<sup>th</sup> is September 8<sup>th</sup>.



Josh

**From:** Jane Treacy [mailto:jane@treacyeagleburger.com]  
**Sent:** Thursday, July 22, 2010 4:17 PM  
**To:** Silver, Joshua  
**Cc:** Christina Haislip  
**Subject:** RE: 4 Hickory

Thank you for this info – since we are still working out a number of details, I may opt to wait for the next meeting – After you are back. Would this be a reasonable approach? What would be the next due date?

Thanks again  
Jane Treacy  
Treacy & Eagleburger Architects PC  
3335 Connecticut Avenue, NW, 2nd Fl.  
Washington, DC 20008-1302  
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(F) 202-362-7791

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**From:** Silver, Joshua [mailto:Joshua.Silver@mcncppc-mc.org]  
**Sent:** Thursday, July 22, 2010 4:12 PM  
**To:** Jane Treacy  
**Cc:** Christina Haislip  
**Subject:** RE: 4 Hickory

Hi Jane,

Your proposal to remove the replacement window on the right side elevation and install a new window that matches the dimensions of the 2<sup>nd</sup> floor windows is appropriate. The new window must be all wood (interior/exterior, no cladding). Please submit some type of drawing (basic is fine) showing the proposed work and window treatment no later than Monday, July 26<sup>th</sup> and I will take it to the HPC for administrative approval on Wednesday, July 28<sup>th</sup>. The project is considered a minor revision to the approved HAWP, as such a formal submission is not required.

FYI. I will be out of the office July 29 – August 6. Please contact my colleague Anne Fothergill [anne.fothergill@montgomeryplanning.org](mailto:anne.fothergill@montgomeryplanning.org) if you'd like to find out the HPC's decision before I return.

Thanks,  
Josh

**From:** Jane Treacy [mailto:jane@treacyeagleburger.com]  
**Sent:** Wednesday, July 21, 2010 4:55 PM  
**To:** Silver, Joshua  
**Cc:** Christina Haislip  
**Subject:** 4 Hickory

Hi Josh

We are planning to proceed with working drawings for the Samuels at #4 Hickory in Takoma Park and have a question regarding that project. I have attached a photo of the side of the house which is NOT on the street. This is the same side to which the screen porch will be seen (a little bit) from the front. The little window which is located close to the deck (future screen porch) was very obviously replaced with a fairly cheesy window some years ago. I would love to restore that window to something that would be more consistent with the rest of the house, providing the cost is within reason. Because that window is located in the kitchen and a kitchen counter is along that wall, I would propose that we match the other

SINGLE windows on that elevation – meaning, a shorter window than what the existing trim indicates was formerly there. The proposed window would match the 2<sup>nd</sup> floor windows as well as the window towards the front. Is this something that we can discuss – and is it something that can be handled by you (staff) without going back through a full board review? I am not positive that the owners will do this because they have a very tight budget, but I would like to try, since I think that what is there is so bad looking.

Any thoughts on this?

Thanks

Jane

Jane Treacy

Treacy & Eagleburger Architects PC

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**STAFF ITEM**

**STAFF MEMBER: JOSH SILVER**

**SUBJECT:** Revision to approved HAWP (Case 37/03-10LL), for construction of a rear screened porch at 4 Hickory Avenue, Takoma Park, a Contributing Resource within the Takoma Park Historic District

**DATE:** October 6, 2010

**BACKGROUND:** On June 23, 2010 the HPC reviewed and approved the construction of a one-story screened porch enclosure and other alterations at the rear of the house. No changes to the approved rear porch design are proposed.

**REVISED PROPOSAL:** The applicants are proposing to remove and replace a non-original jalousie window located on the left side elevation and install a wooden casement window in the same location. The proportions of the window opening and trim work will be retained.

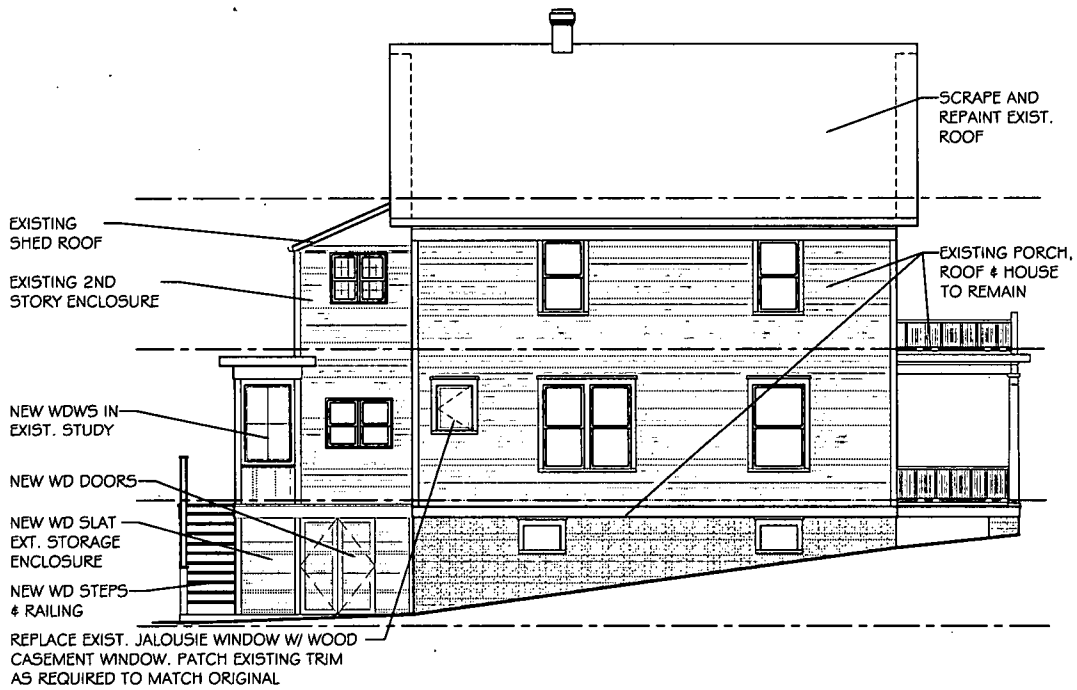
**STAFF RECOMMENDATION:** Staff is recommending that the HPC approve the revised proposal.

**HPC DECISION:**

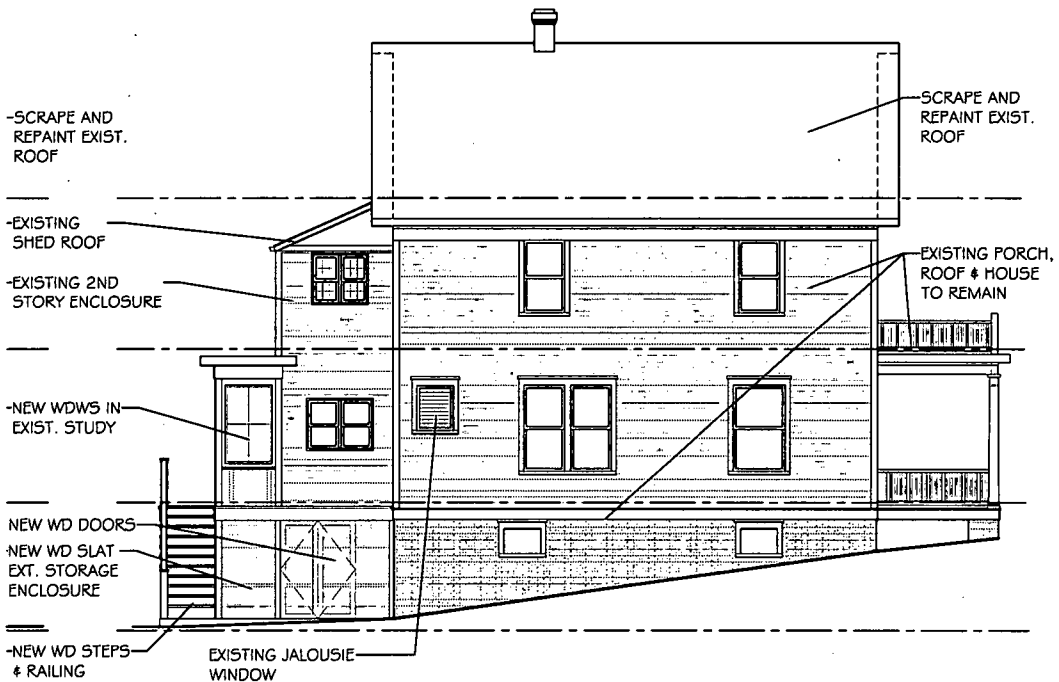
*APPROVED*

37/03-10LL, P  
Contributing Res

Contributing Res



**A** PROPOSED SIDE ELEVATION (WITH WINDOW REVISION)  
 1/8" = 1'-0"



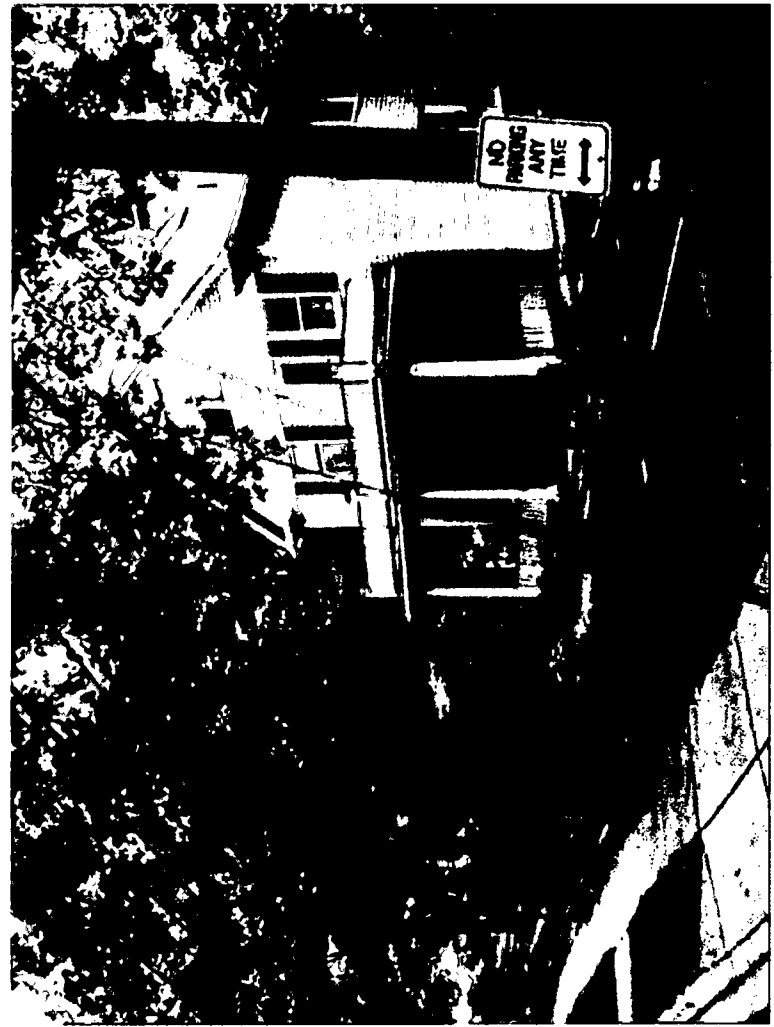
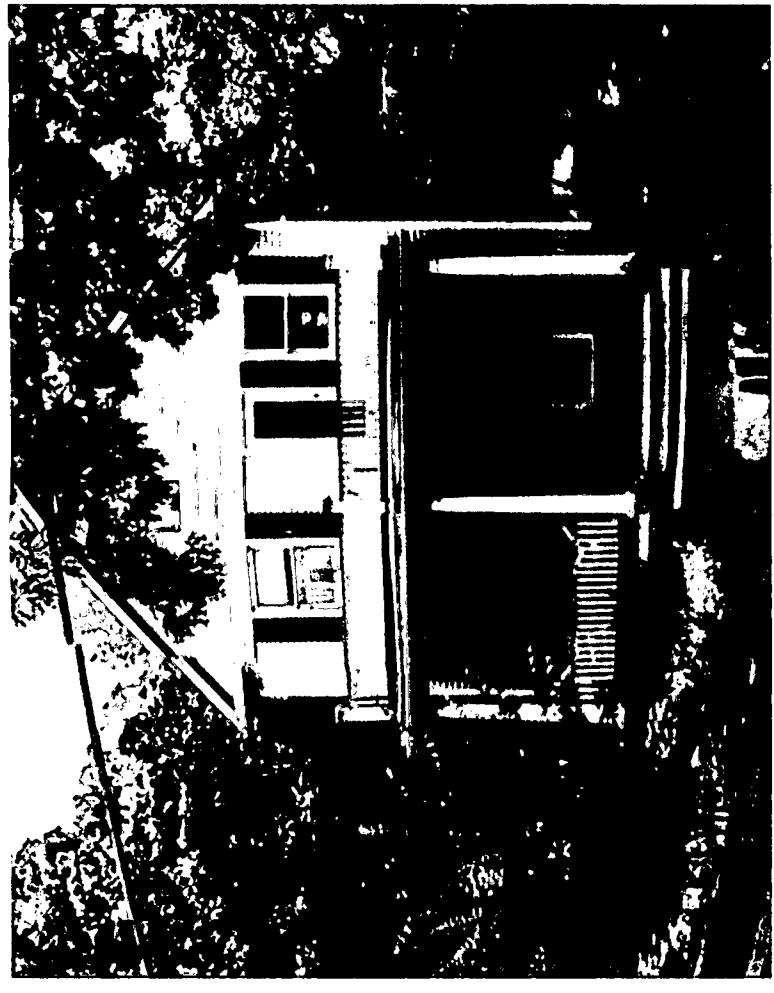
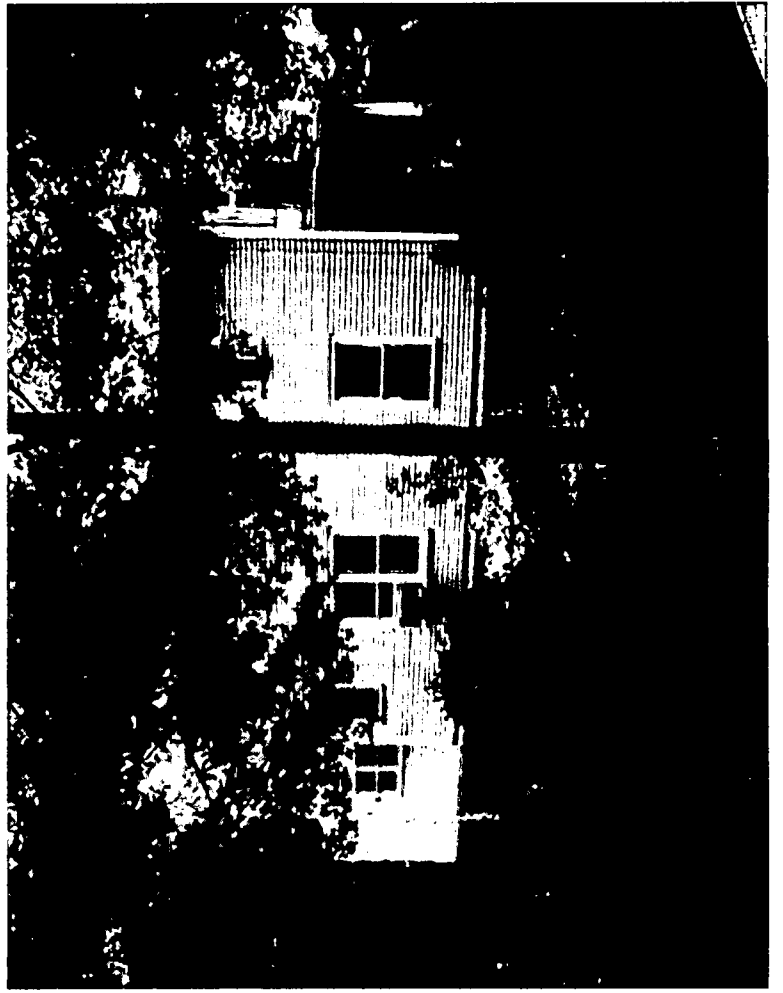
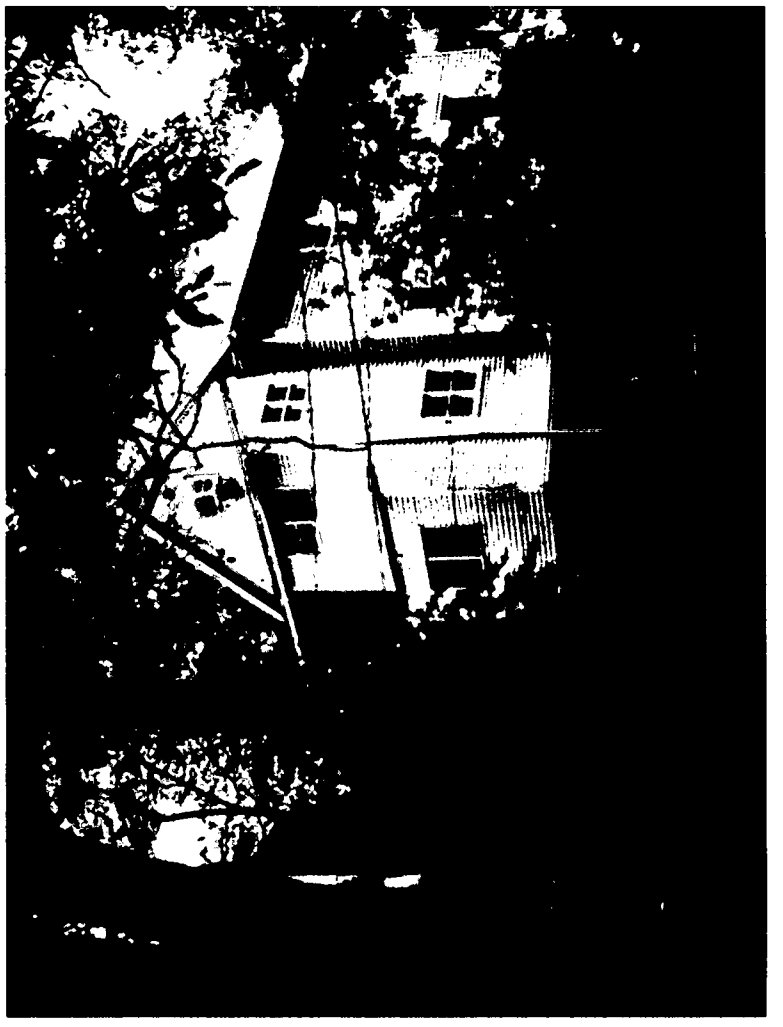
**B** STREET-SIDE ELEVATION (APPROVED BY HPC)  
 1/8" = 1'-0"



SAMUEL RESIDENCE  
4 HICKORY AVE  
TAKOMA PARK, MD

H.A.W.P.  
EXISTING PHOTOS  
2 JUNE 2010

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2 JUNE 2010

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