

7114 Carroll Avenue, Takoma Park  
(HPC Case # 37/03-10 UV)  
Takoma Park Historic District



## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

Thomas Jester  
Chairperson

Date: September 9, 2010

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Josh Silver, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #546618, rear addition and alterations to house.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the September 7, 2010, meeting:

1. *The proposed deck on the right side elevation will be fabricated from wood and painted. Final details for the proposed deck will be submitted to HPC staff for final review and approval.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Joan Marsh

Address: 7114 Carroll Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or [joshua.silver@mcpcppc-mc.org](mailto:joshua.silver@mcpcppc-mc.org) to schedule a follow-up site visit.



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HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8

520618

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: OWEN PHILBIN  
 Daytime Phone No.: 301 346 9790  
 Tax Account No.: 13-01081205  
 Name of Property Owner: JOAN MARSH Daytime Phone No.: 202 457 3120  
 Address: 328 LINCOLN AVE TAKOMA PARK, MD 20912  
Street Number City Street Zip Code  
 Contractor: SELF Phone No.: \_\_\_\_\_  
 Contractor Registration No.: \_\_\_\_\_  
 Agent for Owner: OWEN PHILBIN Daytime Phone No.: 301 346 9790

### LOCATION OF BUILDING/PREMISE

House Number: 7114 Street: CARROLL AVENUE  
 Town/City: TAKOMA PARK Nearest Cross Street: PARK AVE  
 Lot: 2 Block: 2 Subdivision: HILL CREST - 25  
 Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:

Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed

Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family

Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

Aug. 17, 2010  
Date

Approved: \_\_\_\_\_  
 Disapproved: \_\_\_\_\_  
 Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: 12/3/10

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7114 Carroll Avenue, Takoma Park	<b>Meeting Date:</b>	9/7/2010
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	9/1/2010
<b>Applicant:</b>	Joan Marsh (Owen Philbin, Agent)	<b>Public Notice:</b>	8/25/2010
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	37/03-10VV	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b>	Rear addition and alterations to house		

**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve** this HAWP application **with one condition**:

1. The proposed deck on the right side elevation will be fabricated from wood and painted. Final details for the proposed deck will be submitted to HPC staff for final review and approval.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Four Square  
**DATE:** c1915-1925

**PROPOSAL**

The applicant is proposing to demolish the existing non-historic additions at the rear of the house and construct an approximately 18' x 24', one-story hipped roof addition on the existing foundation. The proposed addition will be clad with fiber cement siding, contain an asphalt shingle roof and wooden windows and doors.

The proposal includes the installation of new wooden double-hung and casement windows and one door in the foundation of the historic massing and installation of a new natural stone sunken patio and above-grade wooden deck on the right side elevation.

The proposal also seeks to repair and/or rehabilitate an original porch and second-story balcony on the front elevation that has been altered. The existing wooden porch decking, non-original columns, balustrades, posts and front steps will be replaced with new wooden materials and painted.

The existing 1/1, double-hung historic windows will be repaired and new 1/1, double hung wood windows will be installed in the existing openings of locations where non-original replacement windows are present. New wooden doors will replace non-historic doors on the 1<sup>st</sup> and 2<sup>nd</sup> stories of the front elevation.

The proposed work includes repairs and/or replacement in-kind of the original stucco on the 1<sup>st</sup> story and

wooden shakes on the 2<sup>nd</sup> story. The existing asphalt shingle roof on the historic massing will be replaced in-kind with matching asphalt shingles.

### **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

#### ***Takoma Park Historic District Guidelines***

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- major additions should, where feasible should be placed to the rear of the existing structure so that they are less visible from the public right-of-way;
- while additions should be compatible, they are not required to be replicative of earlier architectural styles;
- alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course;
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

#### ***Montgomery County Code; Chapter 24A***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
  - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
  - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Staff supports the proposed construction of a 1 story addition on the existing foundation in the rear yard of the subject property. The design of the addition is in keeping with design character of the historic massing and allows the original proportions and character of the Four Square style to remain prominent. The hipped roof form, 1/1, double-hung wooden windows and doors, fiber cement siding and asphalt shingle roof are appropriate treatments for new construction on a Contributing Resource property.

Staff supports the proposed installation of a sunken stone patio and wooden deck on the right side elevation. The proposed patio will have no impact on the streetscape of the historic district due its location below grade. The proposed deck will be visible from the public right-of-way due to the lot location between two streets. The design of the deck will be consistent with the style and materials used for the front porch railings, posts and pickets. The applicant has indicated the deck will be painted. The established setbacks for the property impose a restrictive buildable area for a new deck at the rear of the property. Staff finds that construction of wooden deck that extends beyond the right wall plane of the historic massing is an appropriate location for preserving the historic massing.

Staff supports the removal and replacement of the non-original windows with 1/1, double-hung wooden windows. The proposed window style is consistent with the historic windows of the resource and preserves the casings and proportions of the historic openings. The installation of new foundation level windows will have minimal impact on the historic resource or streetscape of the historic district.

Staff supports the proposed alterations to the front porch and balcony. The proposed work will repair and/or replace in-kind deteriorated elements with appropriate new materials. The design uses materials similar to those seen historically and maintains the existing location, shape and structural porch elements that are original.

The removal and replacement of the existing stucco on the 1<sup>st</sup> story of the historic massing is considered an in-kind replacement. The proposed stucco will match the composition and finish of the original stucco.

Staff finds that the proposed work is consistent with the HPC's review criteria referenced above and recommends approval of the HAWP application with one condition.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve the HAWP application with the condition specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

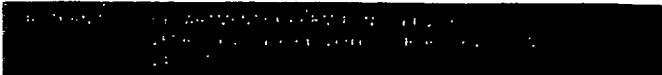
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or [joshua.silver@mncppc-mc.org](mailto:joshua.silver@mncppc-mc.org) to schedule a follow-up site visit.





DPS - #8

516618

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: OWEN PHILBIN  
Daytime Phone No.: 301 346 9790  
Tax Account No.: 13-01081205  
Name of Property Owner: JOAN MARSH Daytime Phone No.: 202 457 3120  
Address: 328 LINCOLN AVE TAKOMA PARK, MD 20912  
Street Number City State Zip Code  
Contractor: SELF Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: OWEN PHILBIN Daytime Phone No.: 301 346 9790

LOCATION OF BUILDING/PREMISE

House Number: 7114 Street: CARROLL AVENUE  
Town/City: TAKOMA PARK Nearest Cross Street: PARK AVE  
Lot: 2 Block: 2 Subdivision: HILL CREST - 25  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  AC  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

Aug. 17, 2010  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

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**American Foursquare  
7114 Carroll Avenue  
Takoma Park, MD 20912**

**WRITTEN DESCRIPTION OF PROJECT**

Introduction

We own an American Foursquare that was purchased as a 4-unit rental property. The property has not been treated well over the years: the front door and many of the windows are replacement windows; ~~the front porch roof has been transformed into an second floor balcony deck with access from the second floor and~~ two additions have been added in the rear of the property to expand footprint to accommodate the rental units.

We would like to rehabilitate the property back to single family home adhering to Classic American Foursquare design principles.

Architectural History of the American Foursquare

The American Foursquare was a popular mail order style built in large numbers across the United States. The design is space-efficient and most often built on narrow lots making it economical for the middle-class budget.

Identifying exterior features of the Foursquare include:

- Square box shape
- 2 1/2 stories on a full basement
- Low hipped or pyramidal roof lines
- Wide roof overhangs with exposed rafter tails or decorative beams or braces under the gables
- Centered dormer in an unfinished attic with a roof line that mirrors main roof
- Full width porch with wide stairs and low hipped roof; sometimes the porch wraps around the side of the house
- Built on narrow lots
- Off-centered front doors and upper story symmetrical windows
- Front entrance is a focal point of the exterior, often with transoms and sidelights
- Most often wood exteriors, but sometimes built of brick, brick or concrete block, or stucco
- Double-hung sash windows
- Belt course just below second story windows separating the different building materials used for the first and second floors; for instance, concrete blocks below and wood siding above

### 7114 Carroll Avenue -- Characteristics

Our property has the classic Foursquare box shape with hipped roofs and centered dormers with similar roof lines. It has a full width front porch with an off-centered door, but the front porch columns are in disrepair and the balustrades have been removed. The windows on the second floor façade are not symmetrical and the second floor includes a door with access to a second floor balcony. The front door has been replaced. Two separate additions have been added on to the back of the house to allow for extra depth on the narrow lot for the construction of 4 separate apartment units. These additions are of poor construction and will need substantial repair. The current condition of the exterior of the property is fair to poor.

Pictures of the property follow.

### Our General Design Plan:

We seek to rehabilitate the property to return it to a single family home with traditional foursquare characteristics. We plan to restore the front façade with a wide front porch with columns and wide stairs leading to a wood front door that is much more of a focal point than the existing entrance. ~~We'd like to eliminate the second story balcony, and cover the new porch with a hip roof that will better align with the design characteristics of the main roof in classic foursquare style.~~ We will maintain the belt around the house between the first and second floor and the classic foursquare approach of using different and in-kind materials to side the first and second floor.

The existing original double-hung windows are in poor condition, with some sash and panes broken. We will repair all original windows, ~~where possible.~~ As to all non-original windows, we would propose replacing them with wood double-hung windows of the same size and in the same location and with the same features as the originals. ~~If we eliminate the second floor balcony, we will replace the existing front facing second floor access door with a wood double hung window using the current opening.~~

A more detailed discussion of the various architectural features with information about specific materials that will be used follows:

#### Front Porch:

The front porch is in disrepair with missing balustrades and rotting floor boards. We plan to rehabilitate the front porch using wood decking, installing wide FourSquare front stairs and columns and balustrades consistent with Foursquare styling. We will maintain the existing location, shape and structural elements of the current front porch.

#### Windows and Doors:

On the first and second floor facade, we plan to maintain the window and door proportions and the historic window arrangement, replacing all non-original windows with wood double-hung windows of similar shape and size and with features that match the original windows (i.e., one over one). As to the original windows, we will maintain and repair them, ~~where possible.~~ We will replace the current replacement door with a solid wood door.

~~On the second floor facade, treatment of the existing door depends on recommendations of Commission regarding the second floor balcony. As we noted above, we would like to eliminate the balcony, in which case we would replace the current non original door with a wood double hung window in the location of the current opening. If we maintain the balcony, we will replace the non-original door with a wood door.~~

Roofs:

We plan to preserve the original form and scale of the hipped roof over the main structure and dormers, replacing the current aged asphalt shingles with new asphalt shingles. ~~Under our current plan, we also plan to restore a hipped roof over the front porch with roof lines that better align with the main roof and the dormer roofs. Alternatively, at the recommendation of the Commission, We will maintain and repair the second floor balcony.~~

Dormers:

All Dormers will be preserved in original form and scale.

Original Exterior Materials:

We plan to repair/replace original siding materials on the main/original part of the building with materials in-kind. Consistent with Foursquare characteristics, different materials will be used for the first and second floor with a belt course dividing them. We propose to use Stucco for the first floor (consistent with the original material) and cedar shake for the second (also consistent with original materials used). The back addition is currently sided with vinyl. That addition will be reduced in scale and substantially rehabilitated and will be sided with James Hardy concrete board.

We plan to paint the materials in different but complementary colors. We have not yet chosen our paint scheme and would welcome guidance on colors that are historically appropriate.

## Silver, Joshua

---

**From:** Joan Marsh and Owen Philbin [ophilbin@yahoo.com]  
**Sent:** Monday, August 23, 2010 4:17 PM  
**To:** Silver, Joshua  
**Cc:** jm3489@att.com  
**Subject:** RE: 7114 carroll

Josh,

Per your site visit this afternoon, we would like to amend our submission on 7114 Carroll to add the following statements:

Per Staff's evaluation of the site, we agree that we shall maintain the 2nd floor balcony roof on the front facade as well as the door to access the balcony. All original 1915 windows will remain and be repaired/rehabilitated as necessary. All non-original windows will be replaced in the original opening of the original structure with one-over-one wood windows. The basement patio egress will be constructed using natural stone materials.

We will forward the amended drawings tomorrow.

Thanks,  
Owen and Joan

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

Joan Marsh  
328 Lincoln Ave  
Takoma Park, MD  
20912

**Owner's Agent's mailing address**

Owen Philbin  
328 Lincoln Avenue  
Takoma Park, MD  
20912

**Adjacent and confronting Property Owners mailing addresses**

Alberto Ramos  
7118 Carroll Ave.  
Takoma Park, MD  
20912

Abraham Lerner  
101 Park Avenue  
Takoma Park, MD  
20912

Lowell Tripp  
7115 Carroll Ave  
Takoma Park, MD  
20912

Milan Pavich  
7113 Carroll Ave  
Takoma Park, MD  
20912

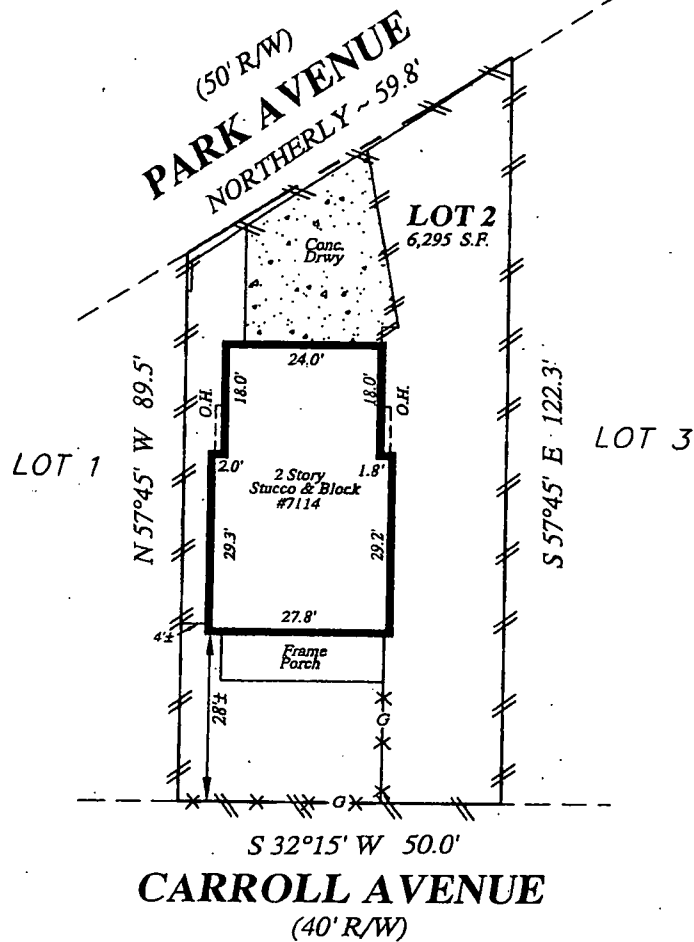
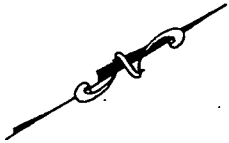
Norman Dean  
114 Park Ave  
Takoma Park, MD  
20912

Sanguvi Hen Kai  
116 Park Ave  
Takoma Park, MD  
20912

**CONSUMER INFORMATION NOTES:**

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 Feet.  
 Flood Zone "C" per H.U.D. Flood Panel No.0200C.



LOCATION DRAWING  
 LOT 2, BLOCK 2  
 "HILL-CREST"  
 TAKOMA PARK  
 MONTGOMERY COUNTY, MARYLAND

**SURVEYOR'S CERTIFICATE**

"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

*Jeffrey A. Foster*  
 MARYLAND PROPERTY LINE SURVEYOR REG. NO. 897

**REFERENCES**

PLAT BK. 2  
 PLAT NO. 140

LIBER  
 FOLIO



**SNIDER & ASSOCIATES**  
 SURVEYORS - ENGINEERS  
 LAND PLANNING CONSULTANTS  
 2 Professional Drive, Suite 216  
 Gaithersburg, Maryland 20879  
 301/948-5100, Fax 301/948-1286

DATE OF LOCATIONS

SCALE: 1" = 30'

WALL CHECK:

DRAWN BY: T.N.T.

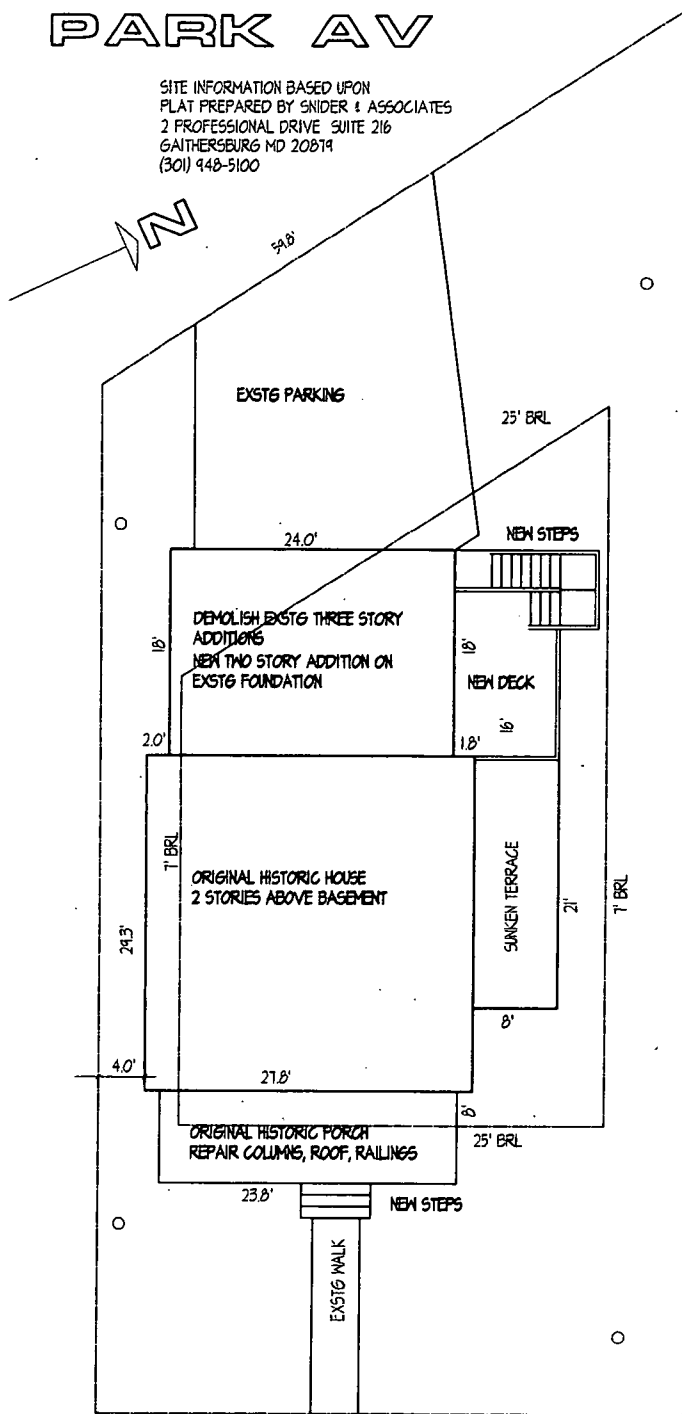
HSE. LOC.: 1-5-05

JOB NO.: 05-0055



# PARK AV

SITE INFORMATION BASED UPON  
PLAT PREPARED BY SNIDER & ASSOCIATES  
2 PROFESSIONAL DRIVE SUITE 216  
GAITHERSBURG MD 20874  
(301) 948-5100

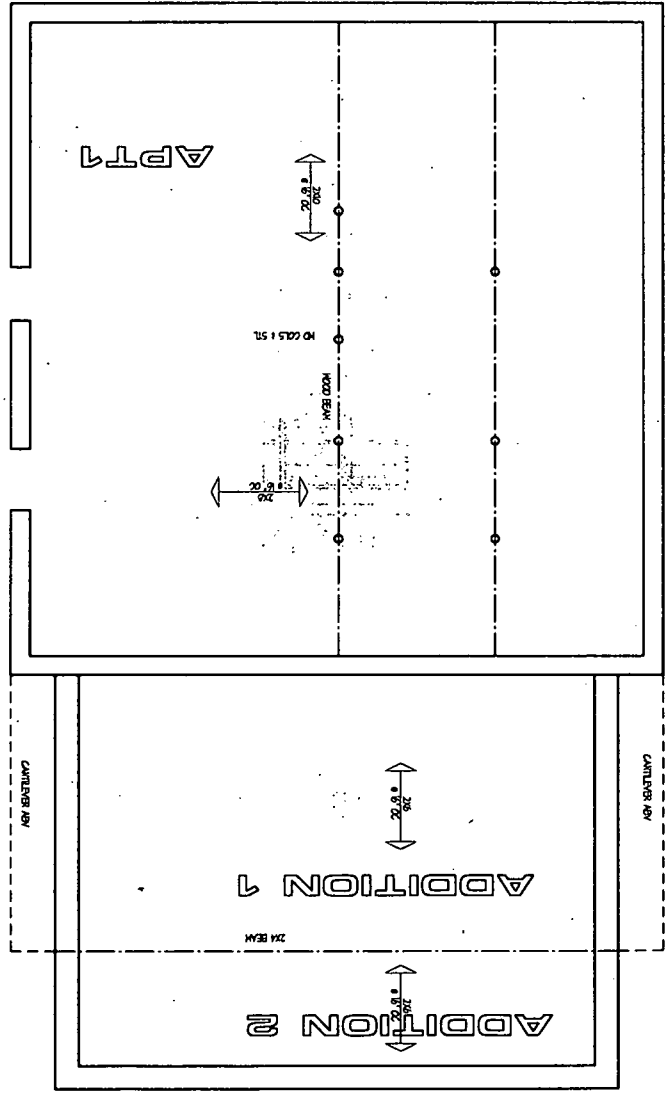


# CARROLL AV

## SITE PLAN 1"=16'

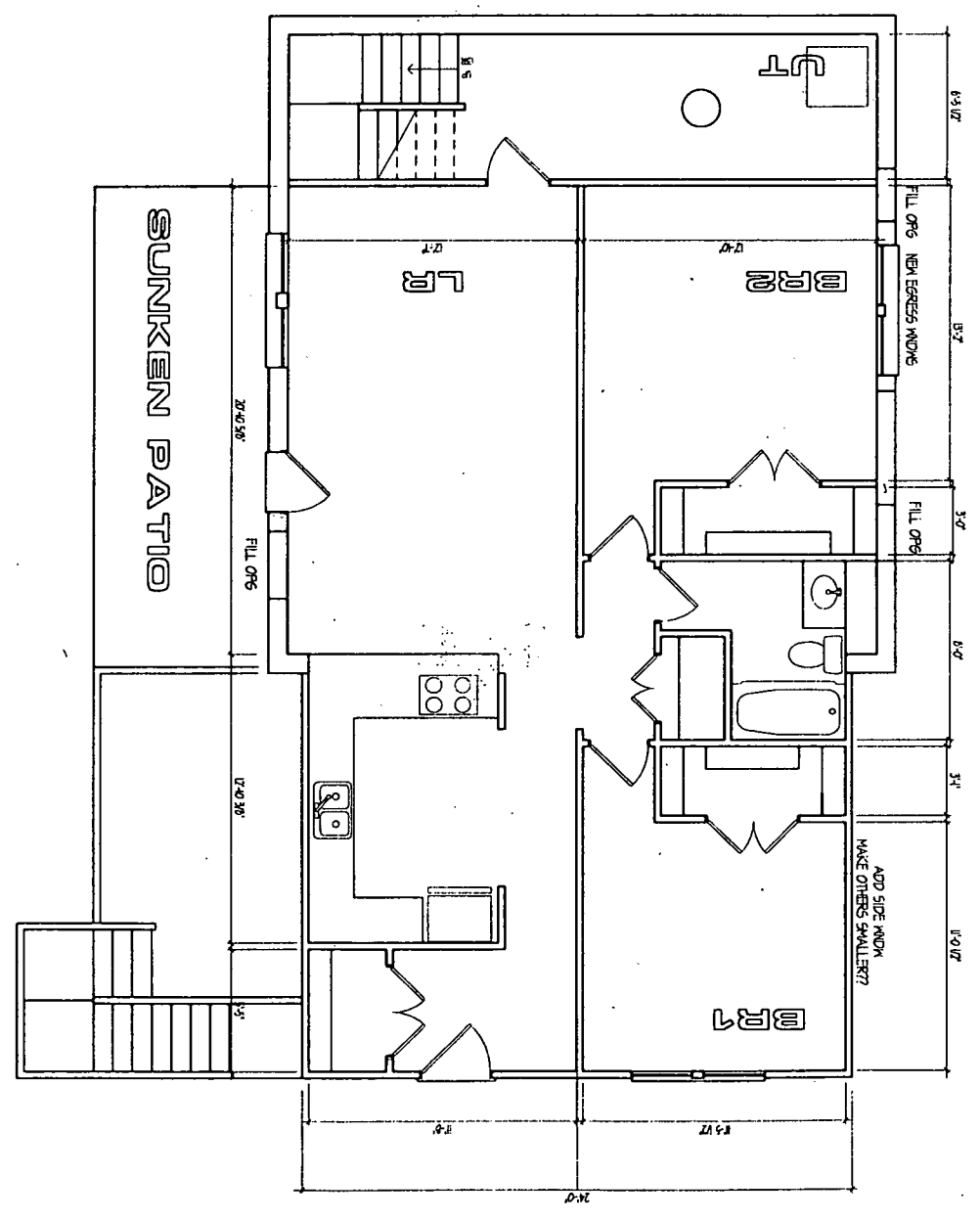
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# BASMENT EXSTG

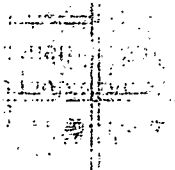


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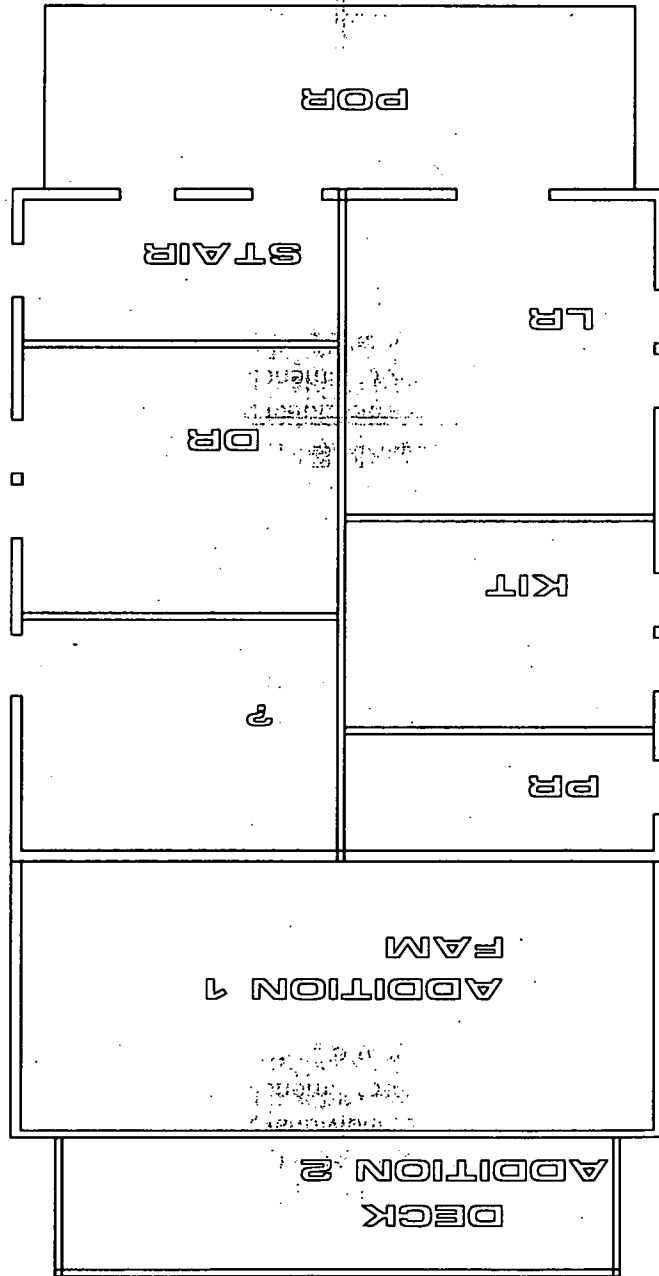
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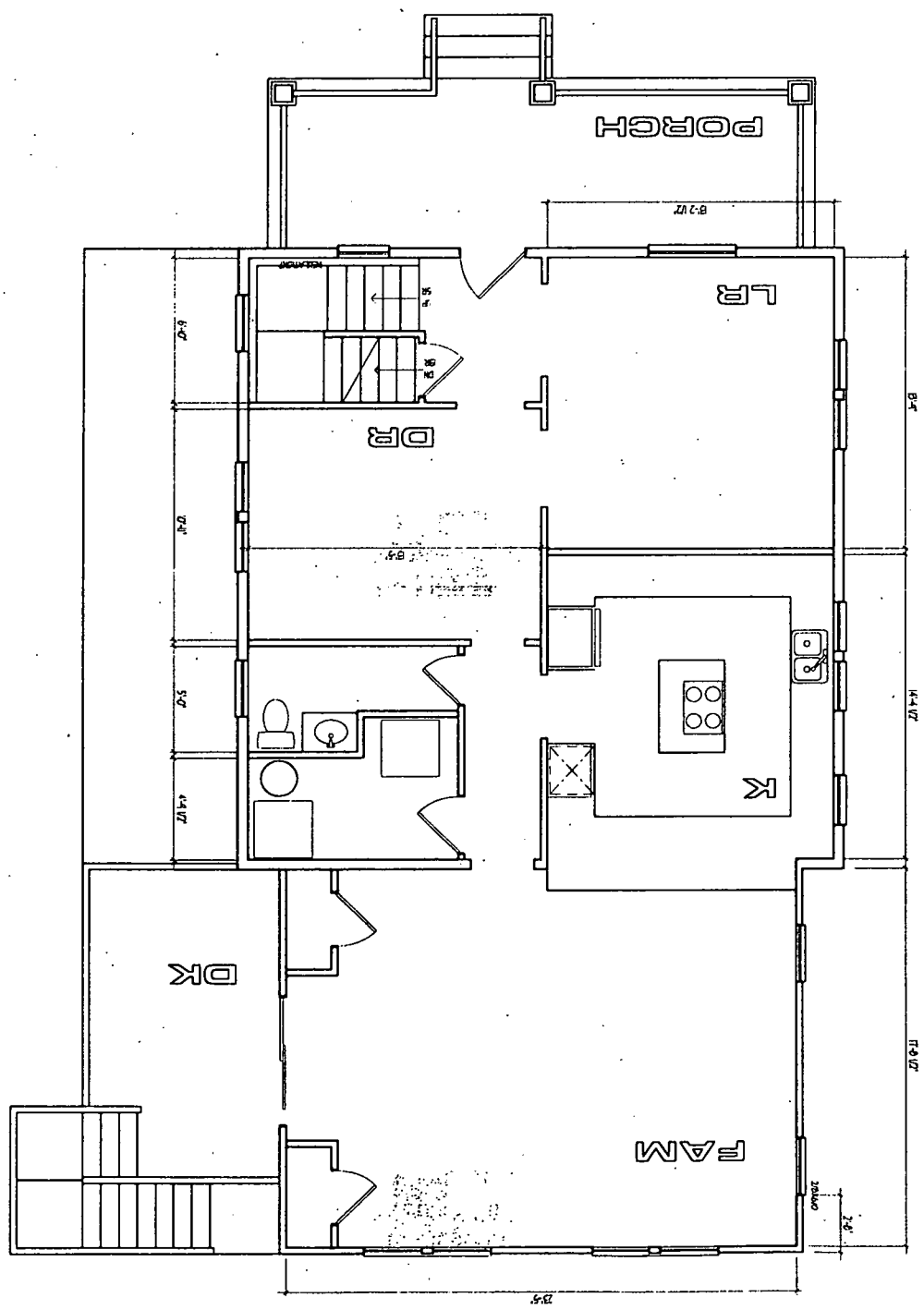


1ST FL  
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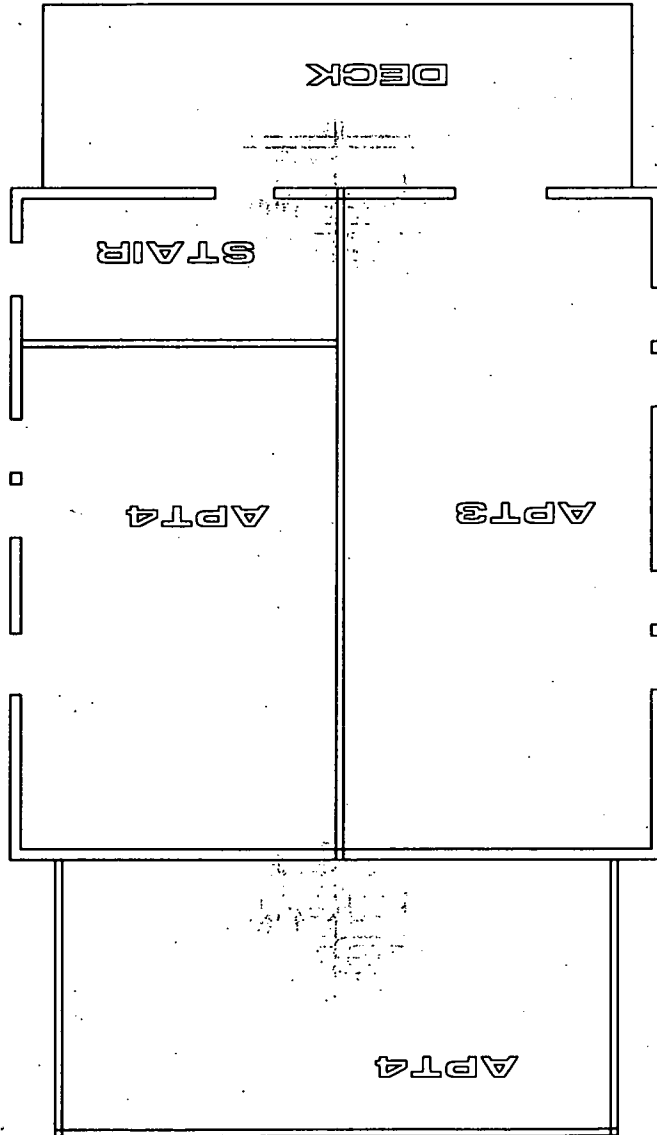


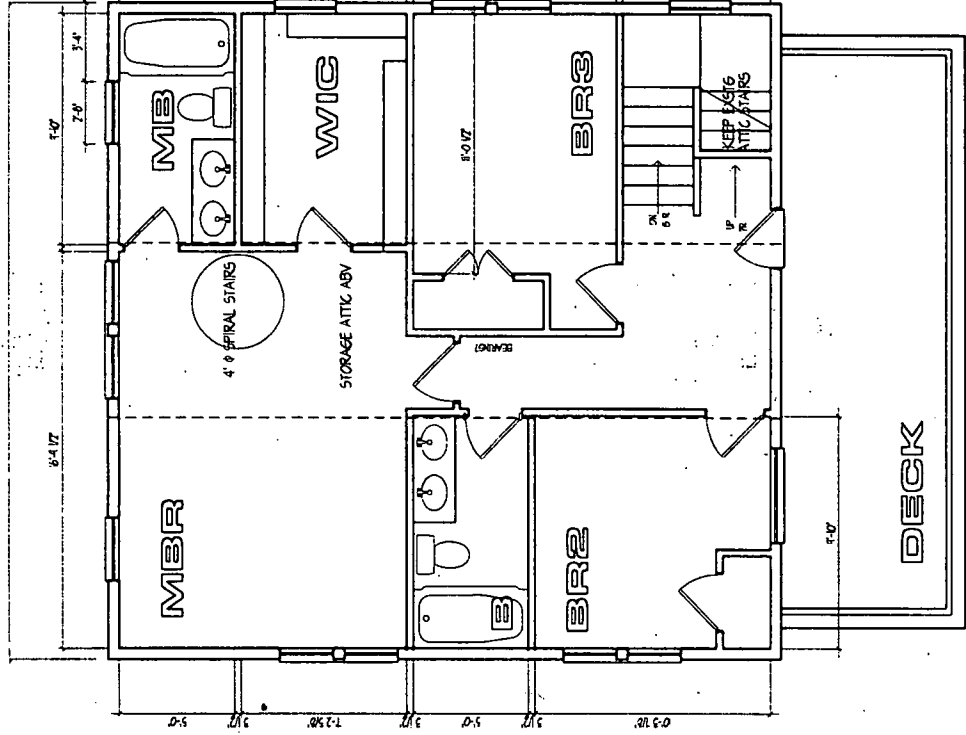
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1ST FL



2ND FL  
EXSTG





2ND FL

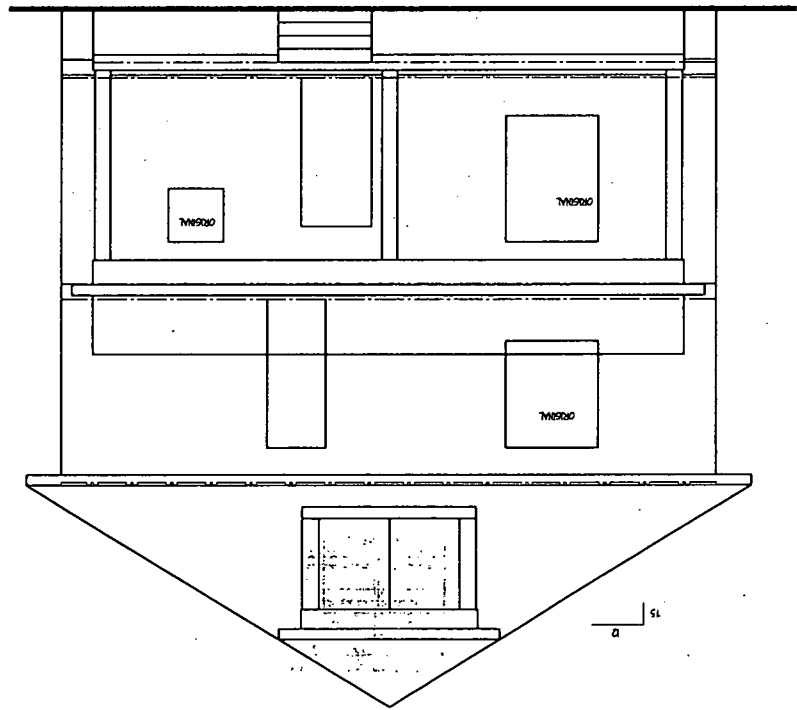
20



FRONT  
EXSTG

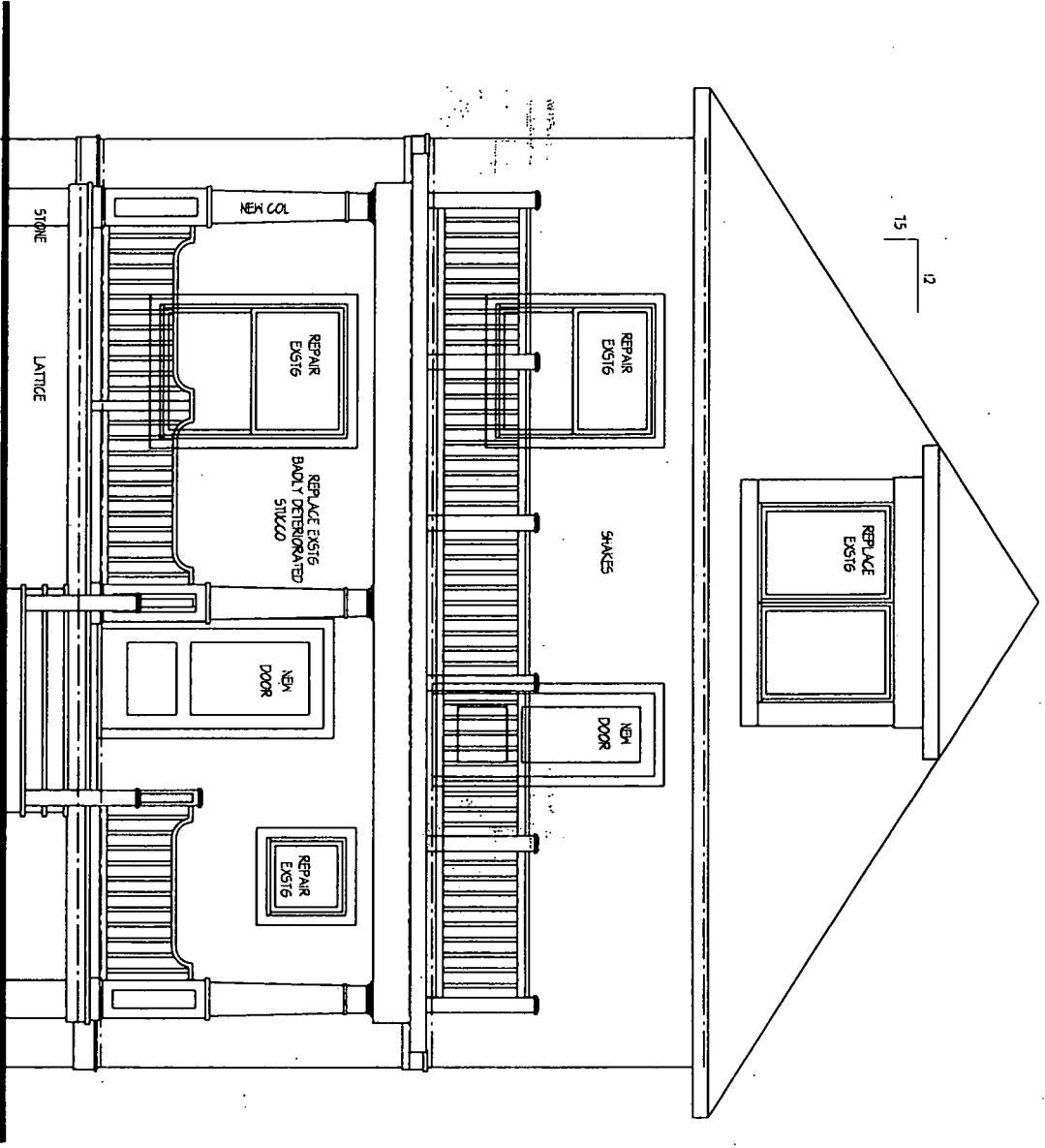


ORIGINAL HOUSE





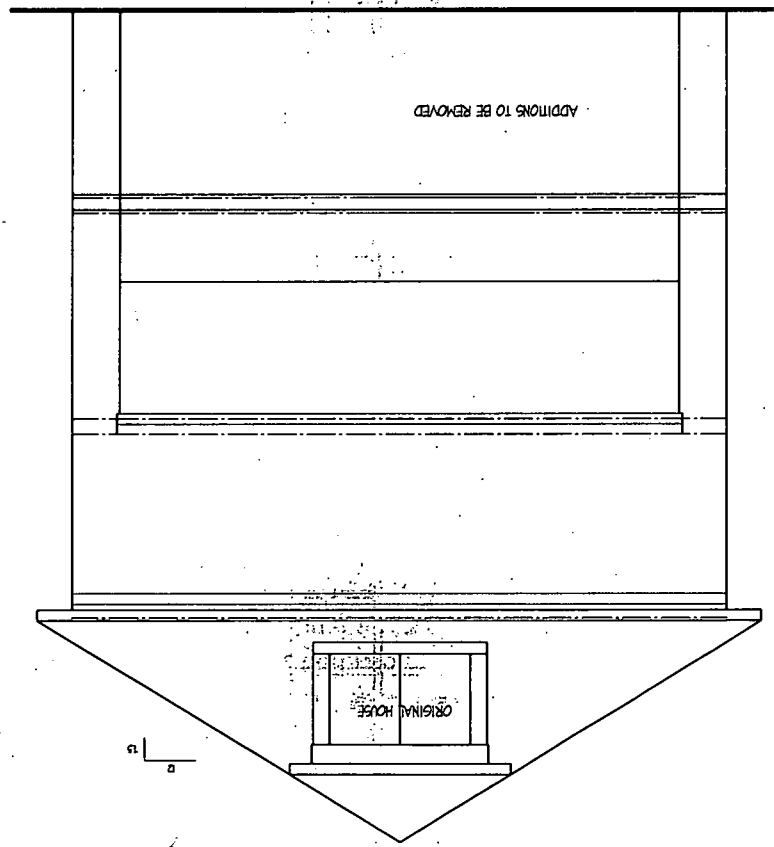
21



FRONT

22

REAR  
EXISTG





73

REAR

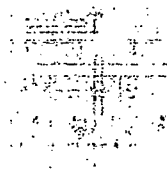
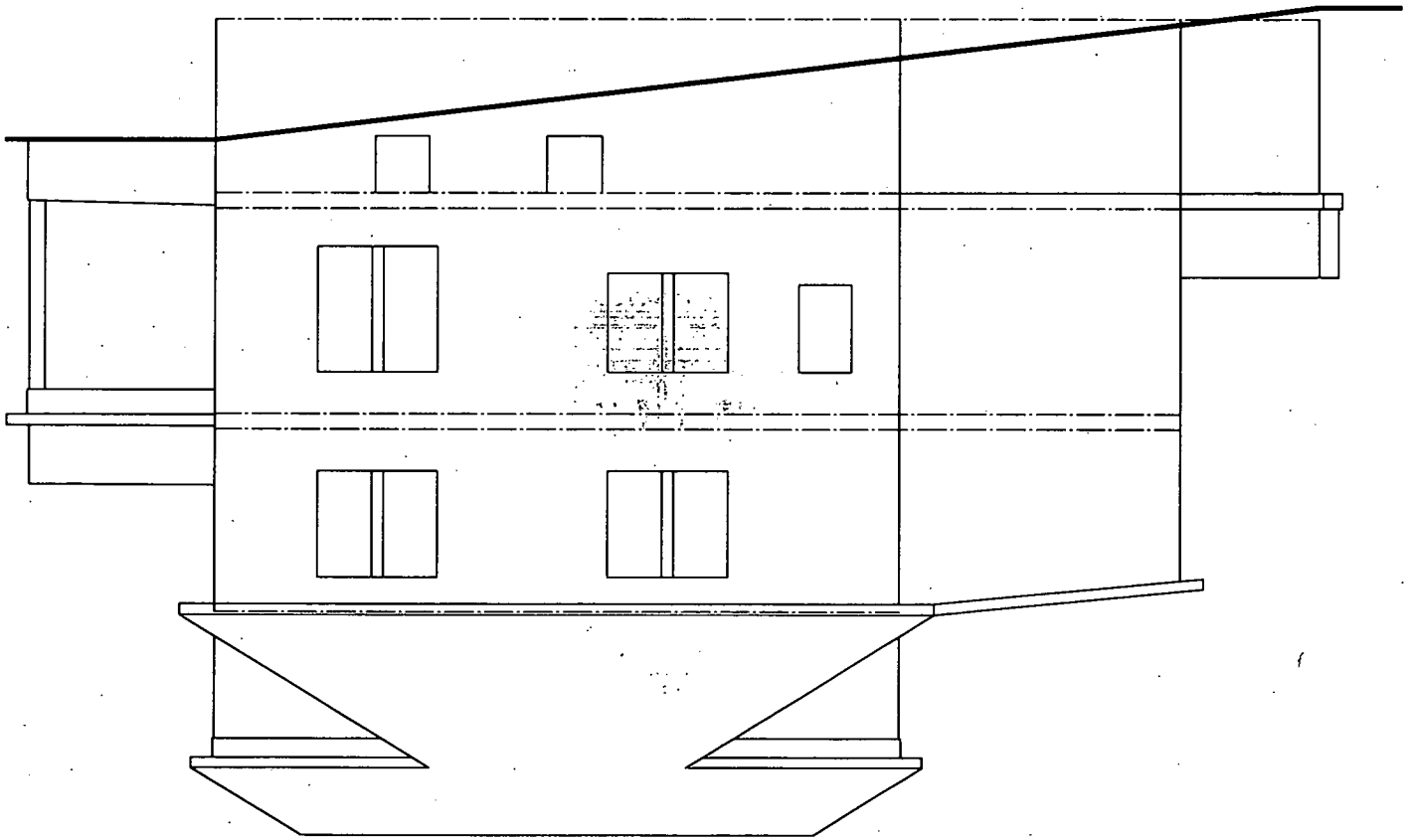
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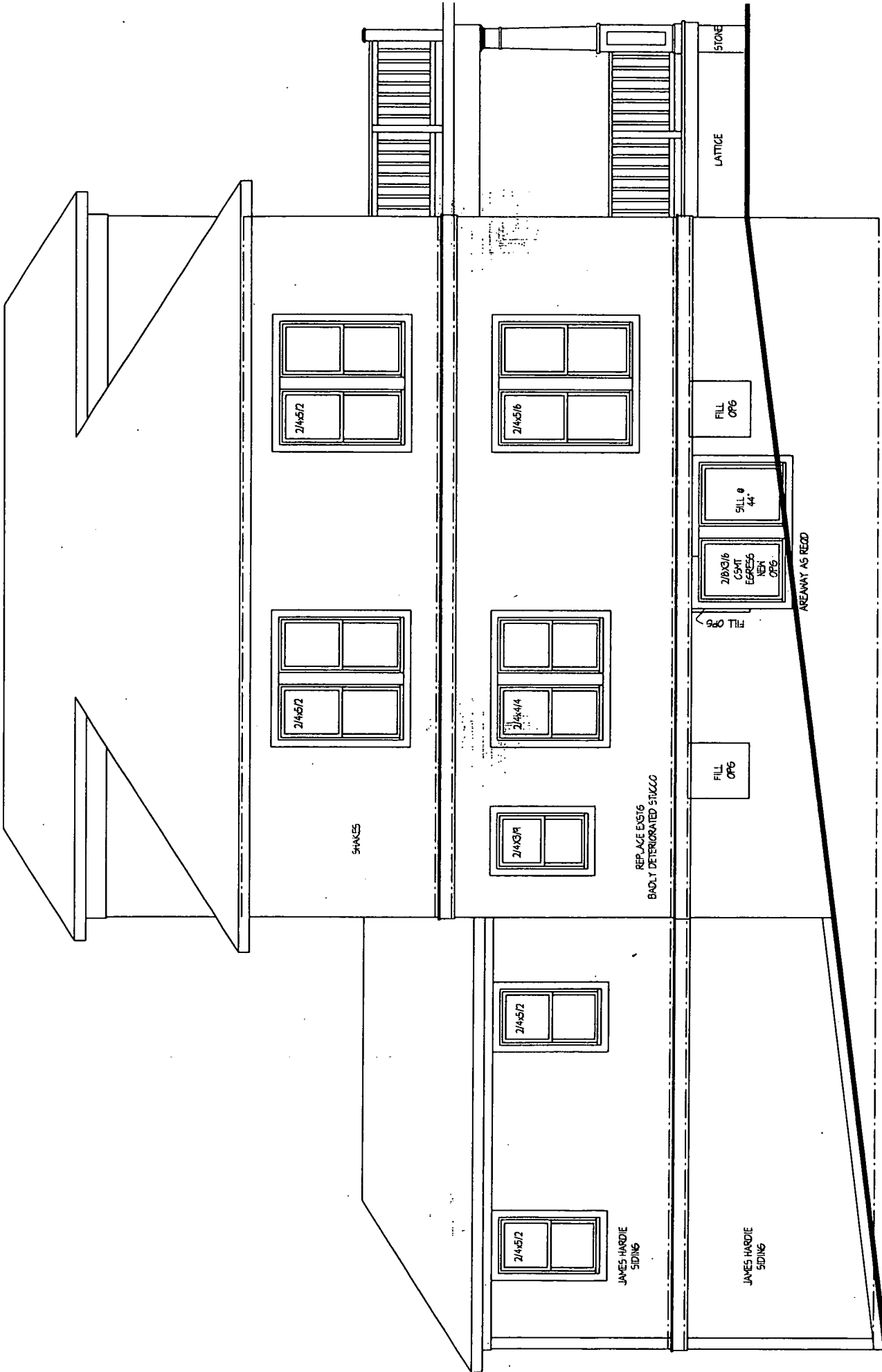


LEFT  
EXISTG

ORIGINAL HOUSE

ADDITIONS TO BE REMOVED

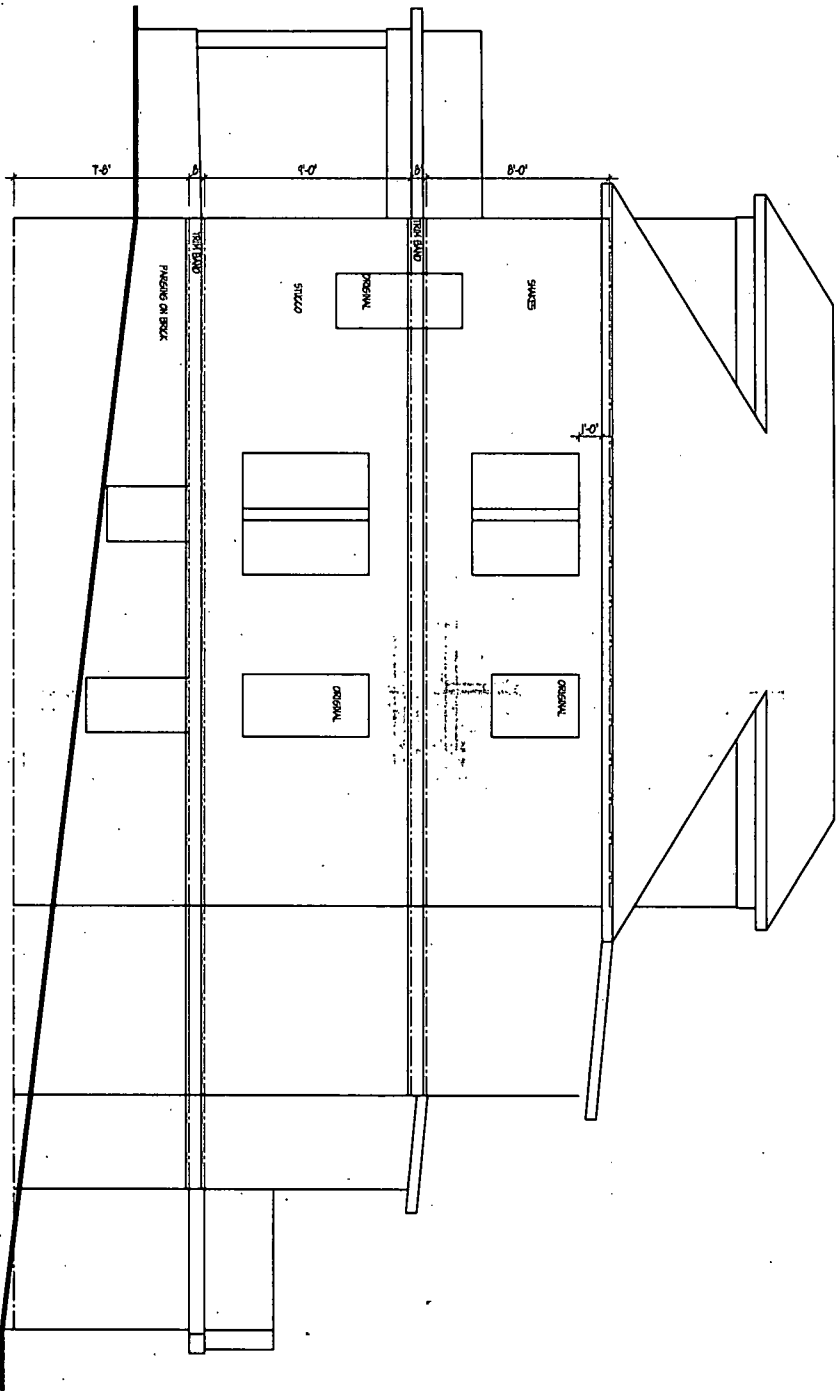




ORIGINAL HOUSE

ADDITIONS TO BE REMOVED  
& REBUILT

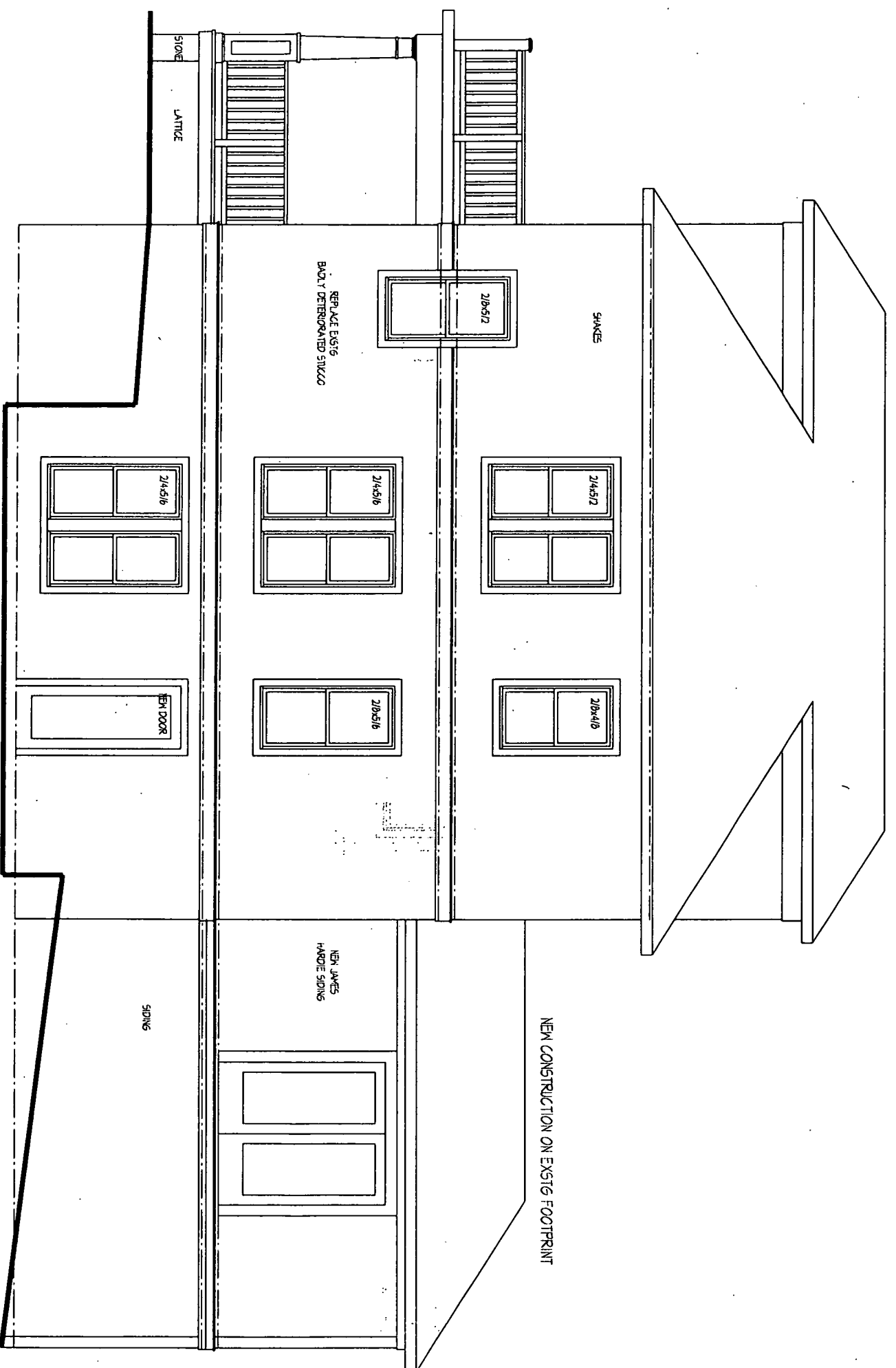
LEFT



**RIGHT  
EXISTG**

27

# RIGHT



NEW OPES TO SINKEN PATIO

NEW ENTRY DECK & STAIR

NEW CONSTRUCTION ON EXIST'G FOOTPRINT

NEW JAMES  
HARDIE SIDING

SIDING

NEW DOOR

214x516

214x516

210x516

214x512

210x418

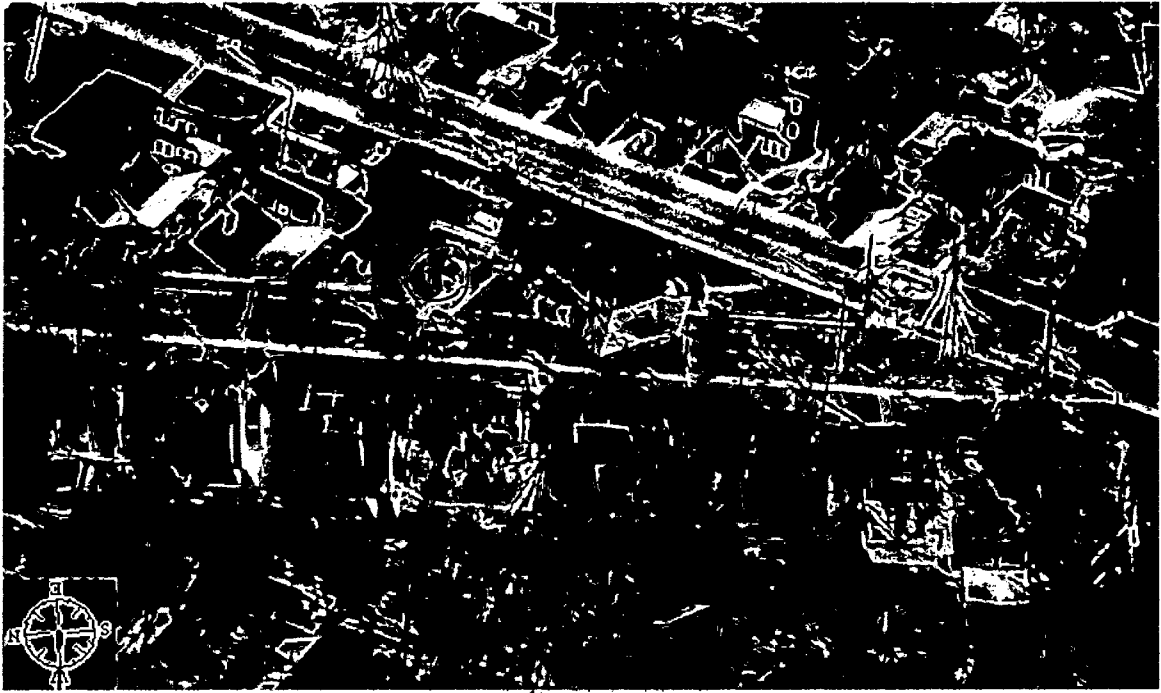
210x512

REPLACE EXIST'G  
BOLDY DETERIORATED STUCCO

SHAKES

STONE

LATTICE



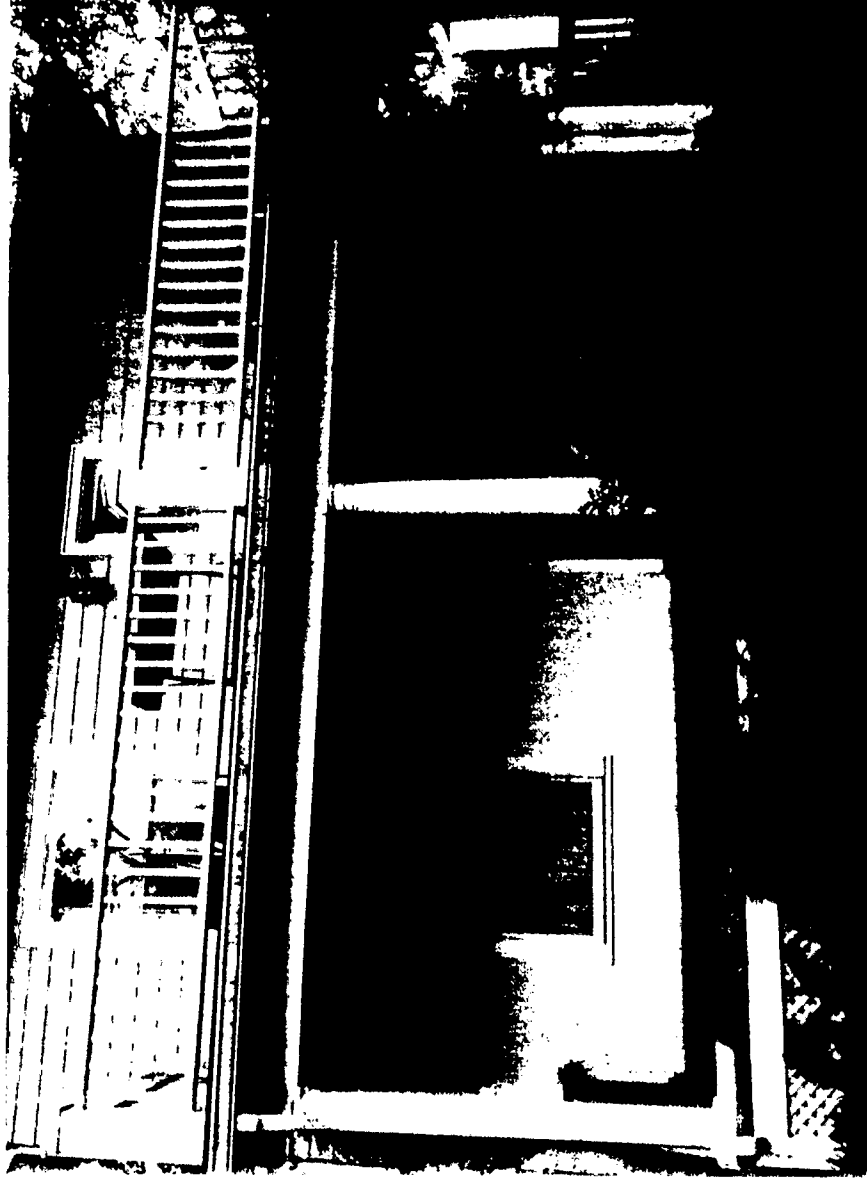


EXISTING PROPERTY CONDITION PHOTOS:

FRONT FAÇADE FACING CARROLL AVENUE:



FRONT PORCH FACING CARROLL AVENUE -- CLOSE UP:



RIGHT SIDE OF PROPERTY FROM CARROLL AVENUE PERSPECTIVE



32



LEFT SIDE OF PROPERTY FROM CARROLL AVENUE PERSPECTIVE

33

9/1/16

Joan Marsh -- 7114 Carroll Avenue



BACK FAÇADE FACING PARK AVENUE:

BACK FAÇADE FACING PARK AVENUE – CLOSE UP



35

HP 00

Joan Marsh -- 7114 Carroll Avenue



BACK FAÇADE FACING PARK AVENUE

Surrounding Neighborhood Characteristics

Carroll Avenue is one of the main historic streets in Takoma Park and enjoys many historic properties, some of which are well maintained and some of which have fallen into disrepair. Many of the old historic houses have been turned into multi-unit dwellings over the years. For example, the property immediately adjacent to our property on the right is a multi-unit dwelling.

PHOTOS OF ADJOINING PROPERTIES:

**7118 CARROLL AVENUE (MULTI UNIT BUILDING) – IMMEDIATELY TO THE RIGHT OF OUR PROPERTY FROM THE CARROLL AVENUE PERSPECTIVE:**





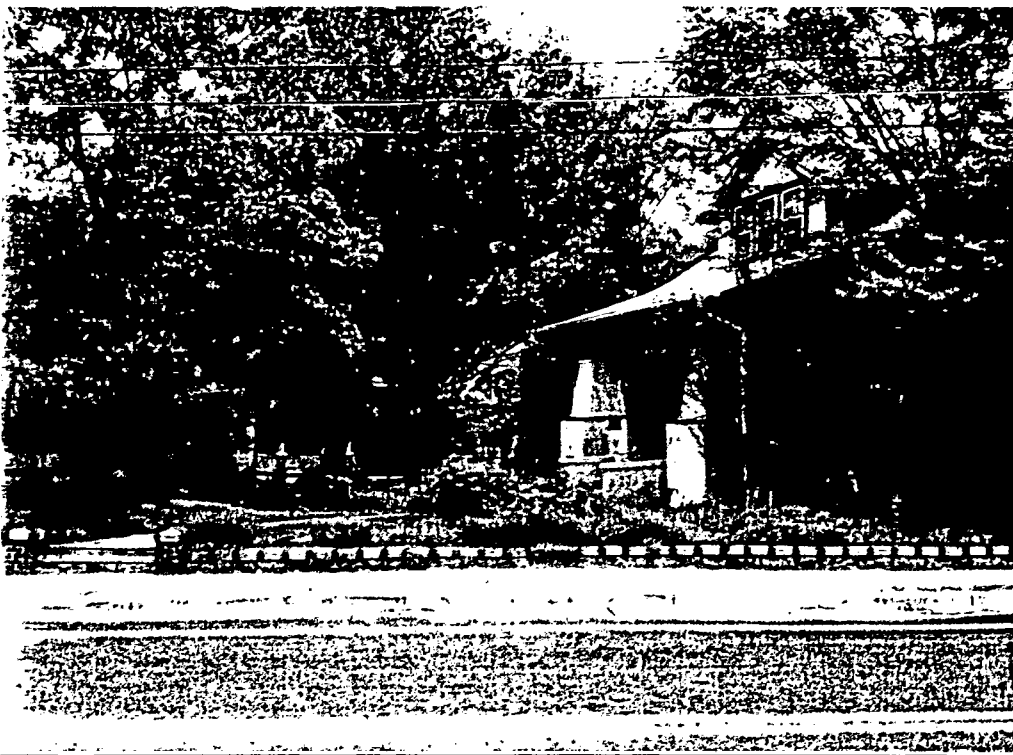
**101 PARK AVENUE – IMMEDIATELY TO THE LEFT OF OUR PROPERTY  
FROM THE CARROLL AVENUE PERSPECTIVE**

Note: 101 Park Avenue is a single family residence built on an odd pie-shaped lot formed by the intersection of Carroll Avenue and Park Avenue. The structure actually sides to Carroll Avenue, with the front of the structure facing the intersection of the two streets. Most of the façade facing Carroll Avenue is a privacy fence.

I've included three pictures for a full view of the property:



101 PARK AVENUE – ADDITIONAL PHOTOS FROM CARROLL AVENUE PERSPECTIVE:

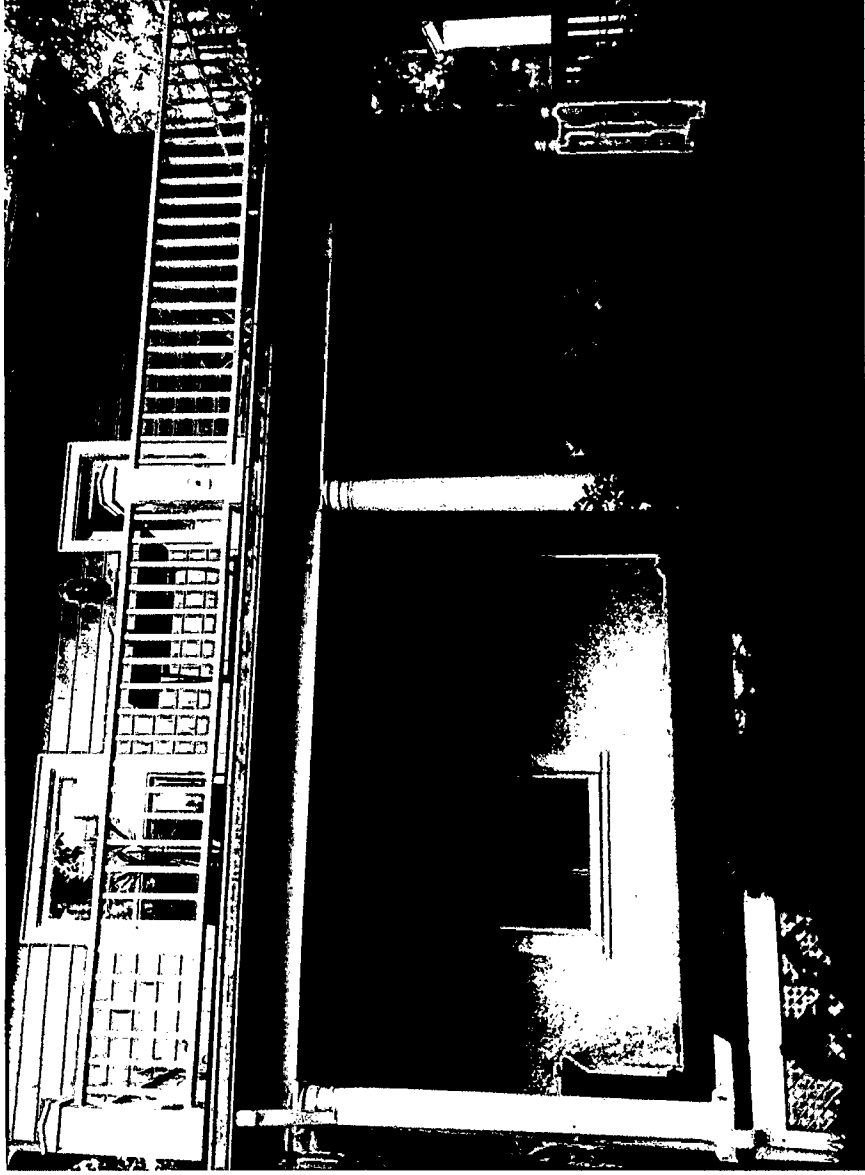


**EXISTING PROPERTY CONDITION PHOTOS:**

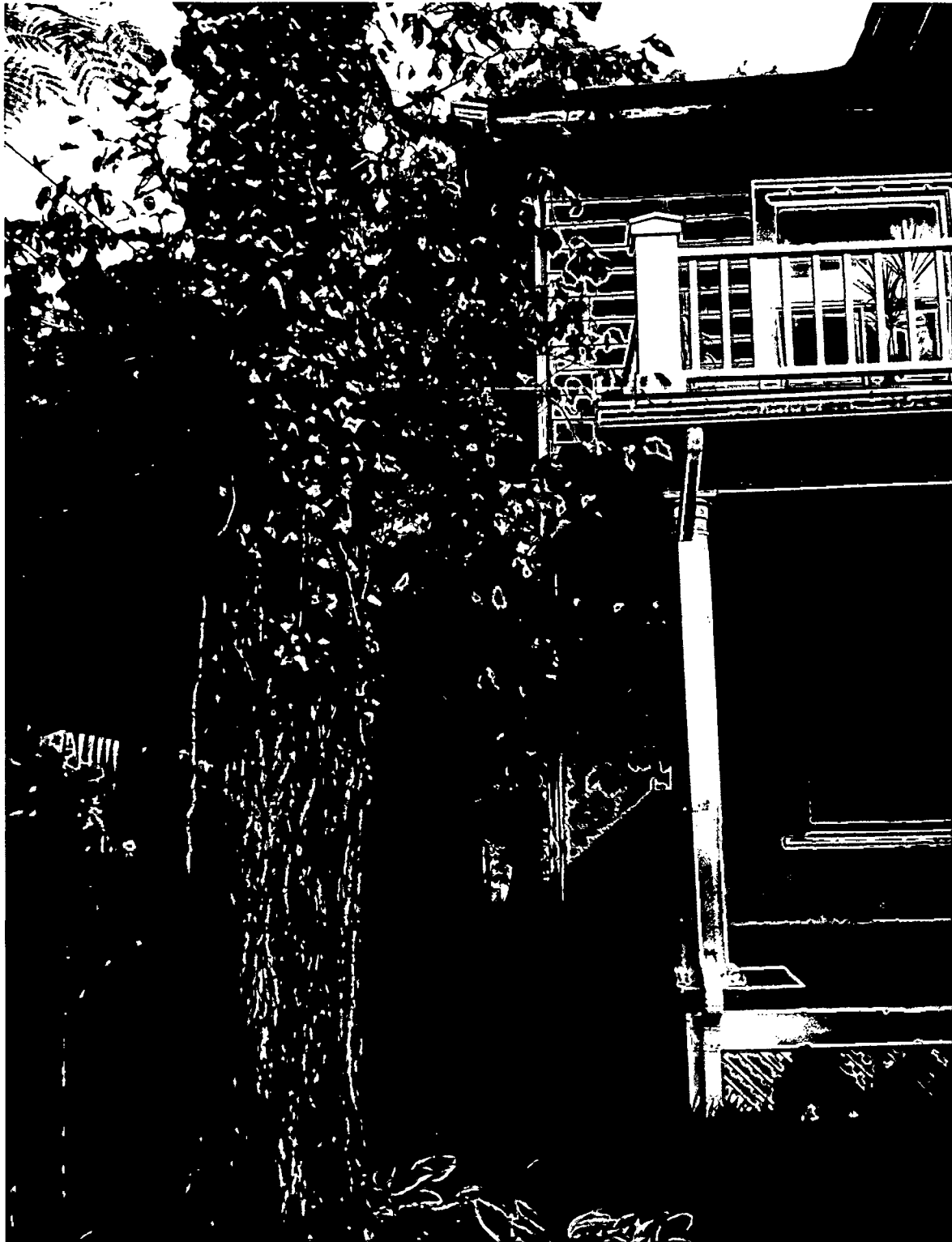
**FRONT FAÇADE FACING CARROLL AVENUE:**



**FRONT PORCH FACING CARROLL AVENUE - CLOSE UP:**



LEFT SIDE OF PROPERTY FROM CARROLL AVENUE PERSPECTIVE



**RIGHT SIDE OF PROPERTY FROM CARROLL AVENUE PERSPECTIVE**



**LEFT SIDE OF PROPERTY FROM CARROLL AVENUE PERSPECTIVE**



**BACK FAÇADE FACING PARK AVENUE:**

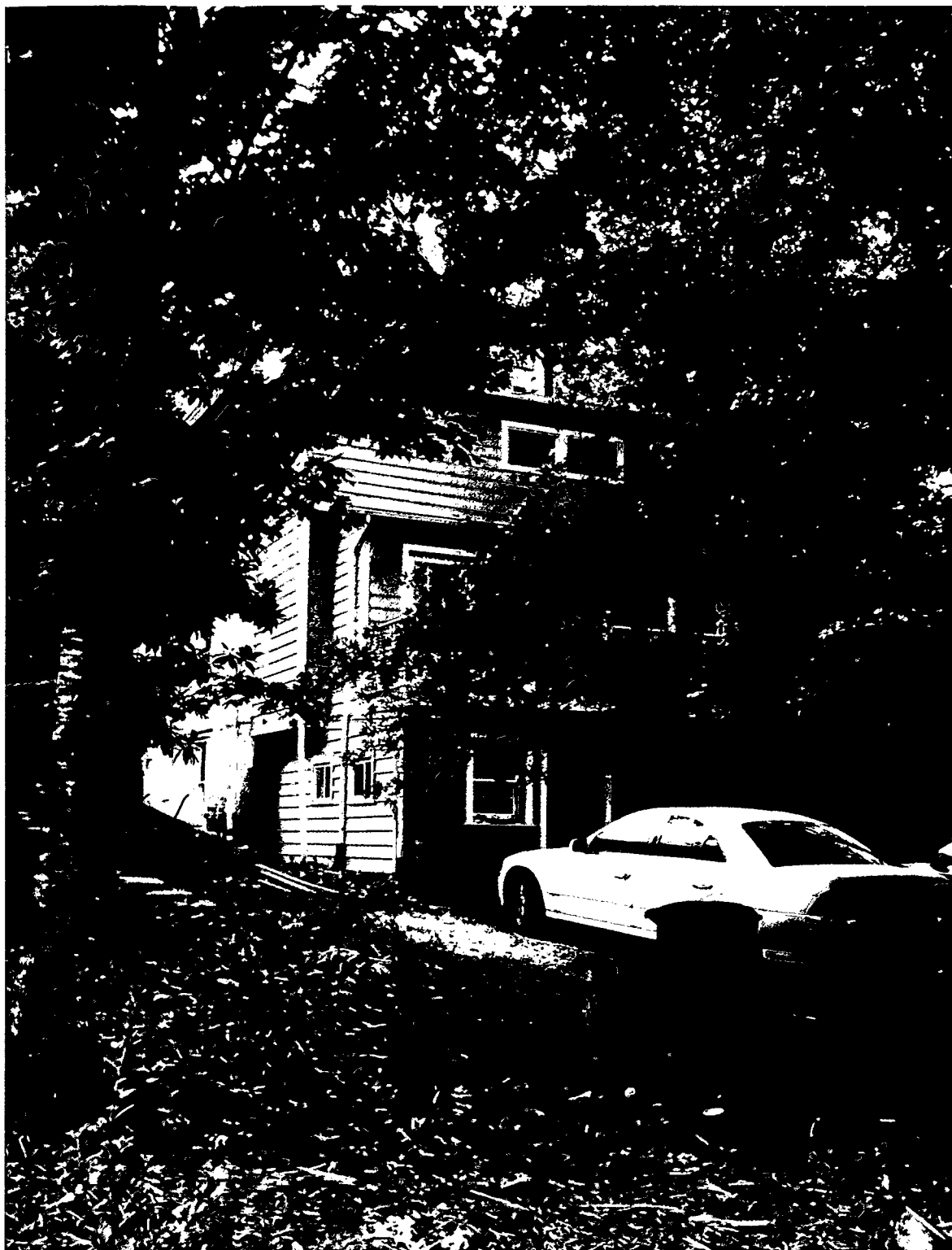




**BACK FAÇADE FACING PARK AVENUE – CLOSE UP**



**BACK FAÇADE FACING PARK AVENUE**



Surrounding Neighborhood Characteristics

Carroll Avenue is one of the main historic streets in Takoma Park and enjoys many historic properties, some of which are well maintained and some of which have fallen into disrepair. Many of the old historic houses have been turned into multi-unit dwellings over the years. For example, the property immediately adjacent to our property on the right is a multi-unit dwelling.

PHOTOS OF ADJOINING PROPERTIES:

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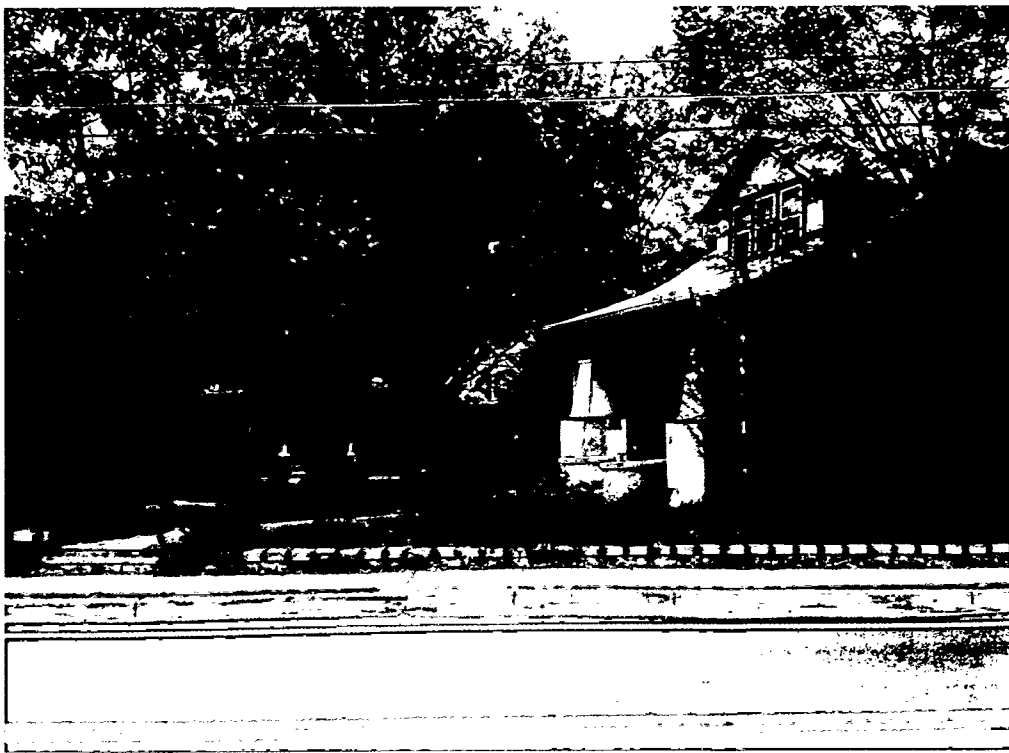
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I've included three pictures for a full view of the property:



101 PARK AVENUE – ADDITIONAL PHOTOS FROM CARROLL AVENUE PERSPECTIVE:



## Silver, Joshua

---

**From:** Joan Marsh and Owen Philbin [ophilbin@yahoo.com]  
**Sent:** Monday, August 23, 2010 4:17 PM  
**To:** Silver, Joshua  
**Cc:** jm3489@att.com  
**Subject:** RE: 7114 carroll

Josh,

Per your site visit this afternoon, we would like to amend our submission on 7114 Carroll to add the following statements:

Per Staff's evaluation of the site, we agree that we shall maintain the 2nd floor balcony roof on the front facade as well as the door to access the balcony. All original 1915 windows will remain and be repaired/rehabilitated as necessary. All non-original windows will be replaced in the original opening of the original structure with one-over-one wood windows. The basement patio egress will be constructed using natural stone materials.

We will forward the amended drawings tomorrow.

Thanks,  
Owen and Joan

## Silver, Joshua

---

**From:** Owen Philbin [ophilbin@yahoo.com]  
**Sent:** Friday, August 27, 2010 8:21 PM  
**To:** Silver, Joshua  
**Cc:** Lynn Gallagher  
**Subject:** Re: deck drawing

That's right. Copying Lynn.

Thanks  
Joan

Sent to you by AT&T  
Rethink Possible

On Aug 27, 2010, at 1:33 PM, "Silver, Joshua" <[Joshua.Silver@mncppc-mc.org](mailto:Joshua.Silver@mncppc-mc.org)> wrote:

Thanks. Owen indicated I should expect elevation drawings showing the deck sometime next week after Lynn returns. Thanks for your quick response.

Josh

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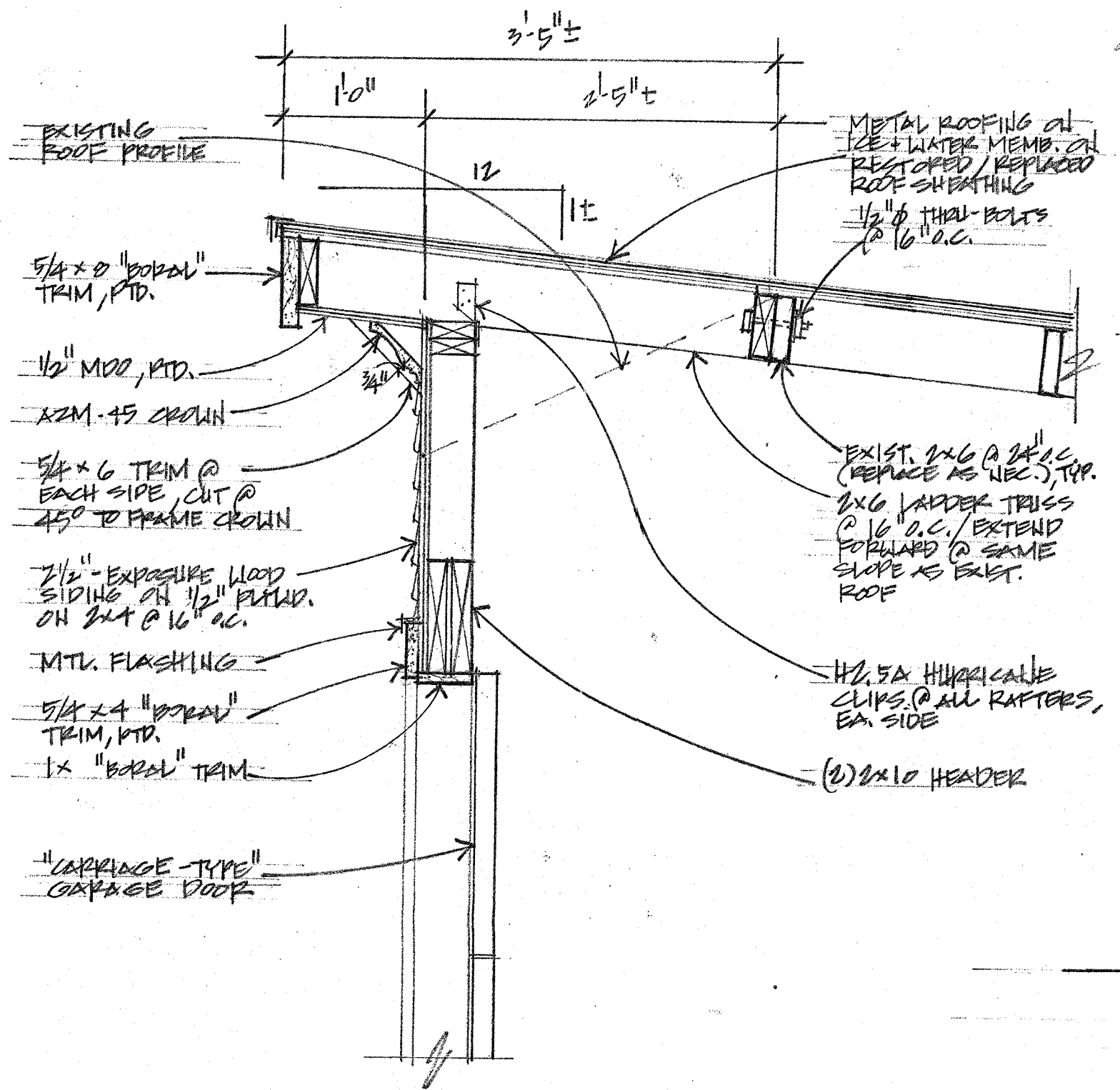
**From:** Joan Marsh and Owen Philbin [mailto:ophilbin@yahoo.com]  
**Sent:** Friday, August 27, 2010 7:41 AM  
**To:** Silver, Joshua  
**Subject:** deck drawing

Josh,

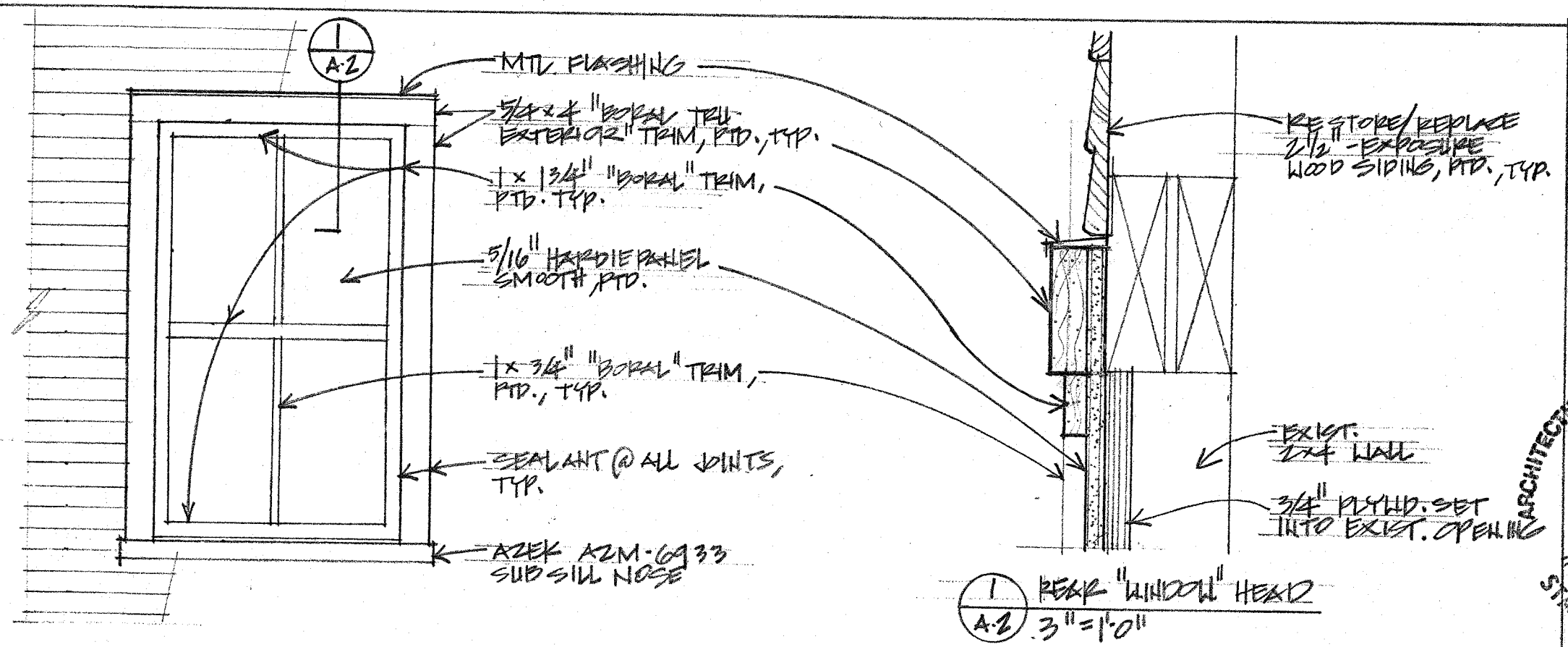
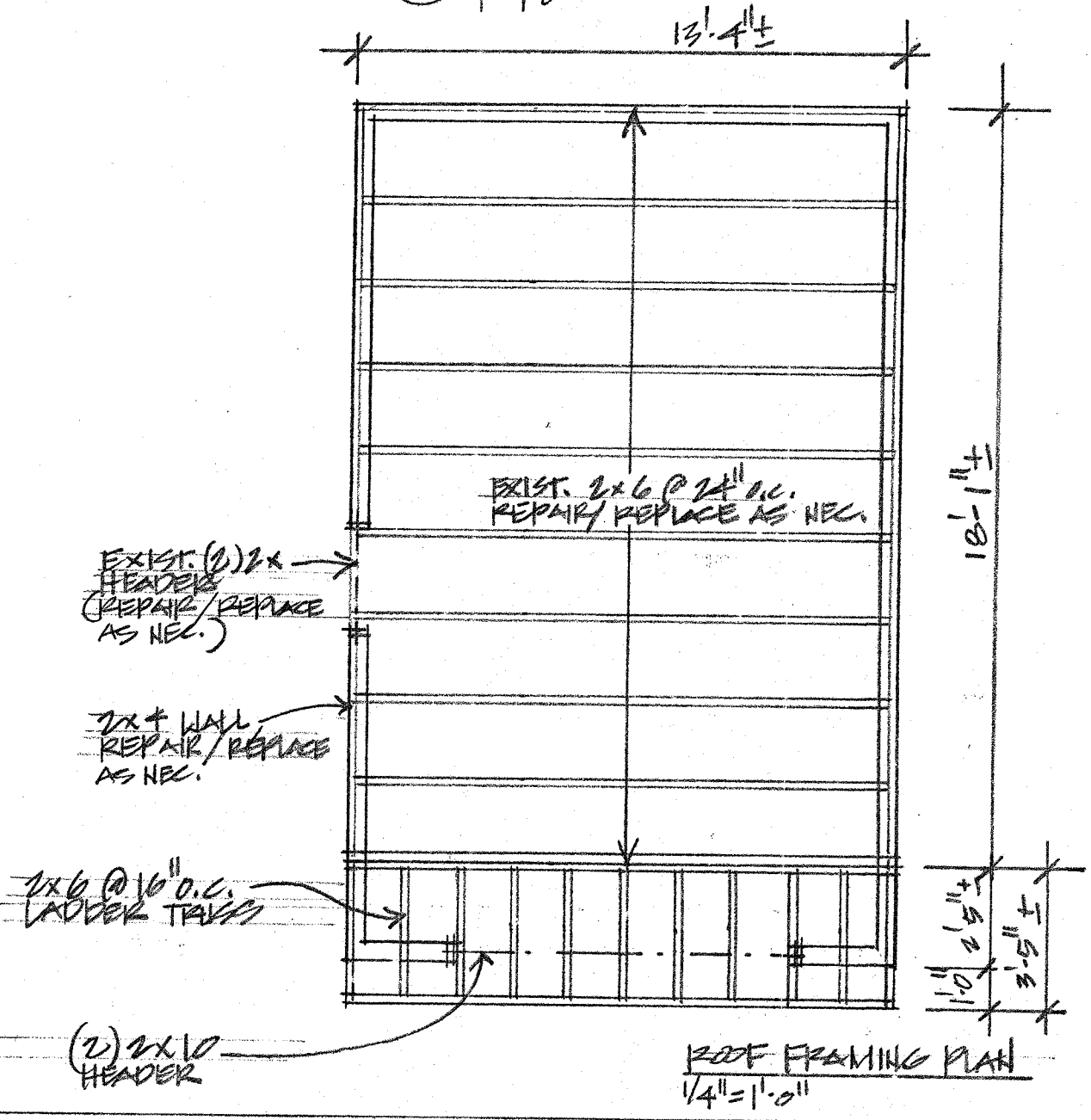
Owen said you needed something on the deck. Please see the attached which shows the location of the deck. It is our intent to build the railings on the deck identical in size and styling to the railings on the front porch so they will match and carry that style back to the rear of the house.

Let us know if you need anything else,

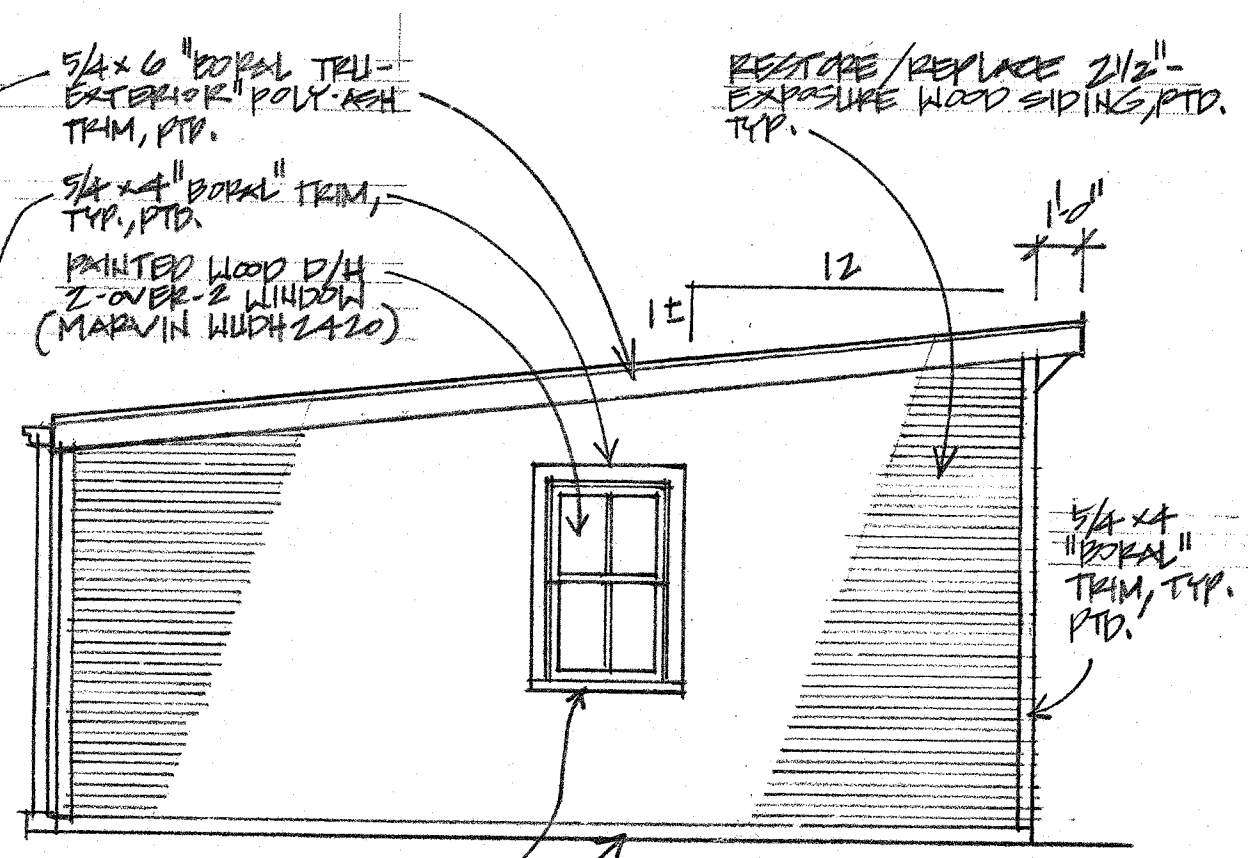
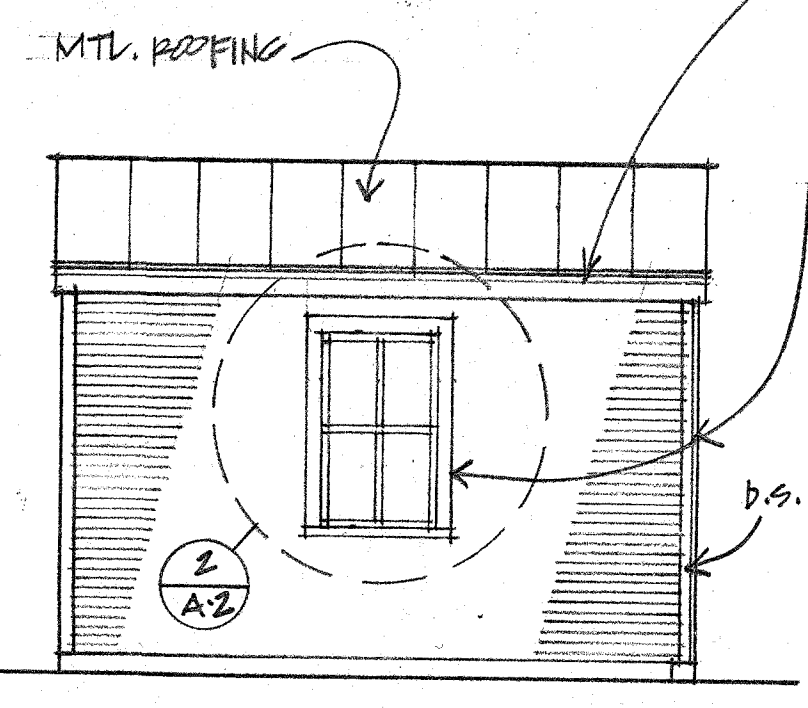
Thanks, Joan



3 WALL SECTION  
A-2 1" = 1'-0"

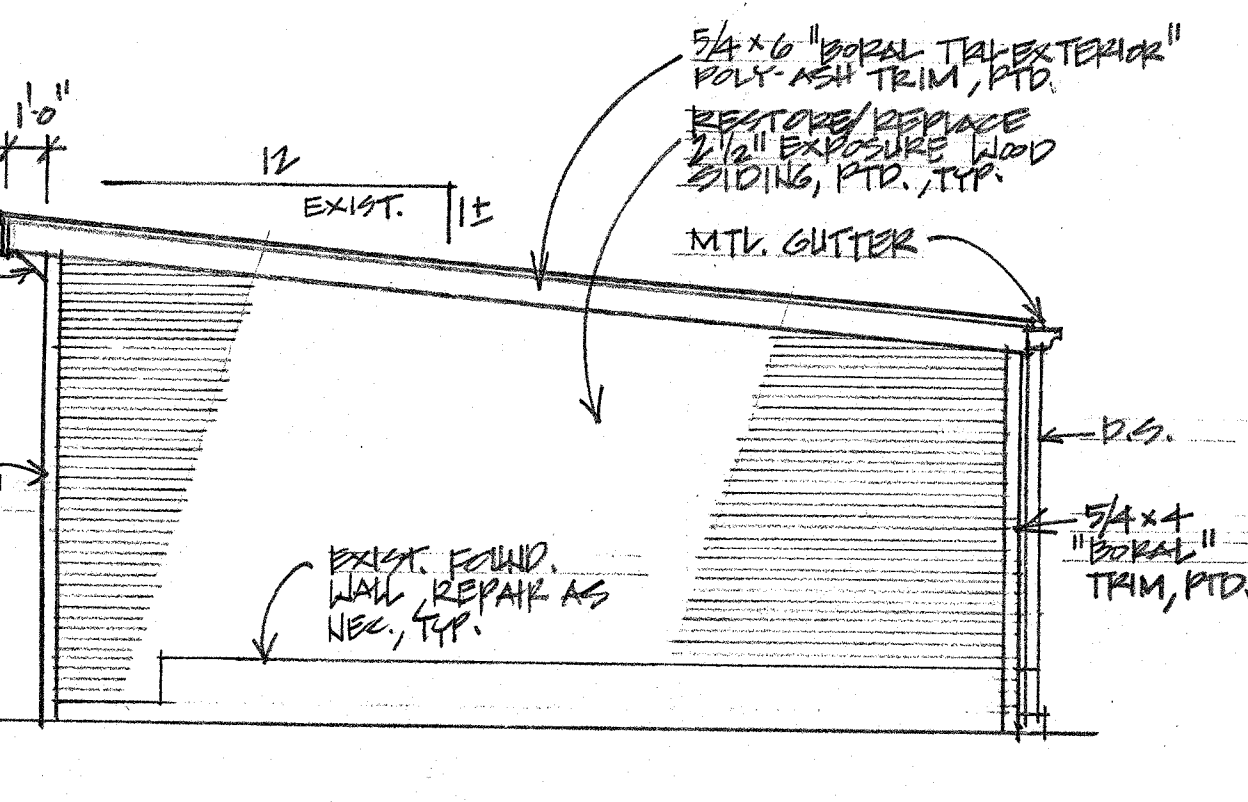
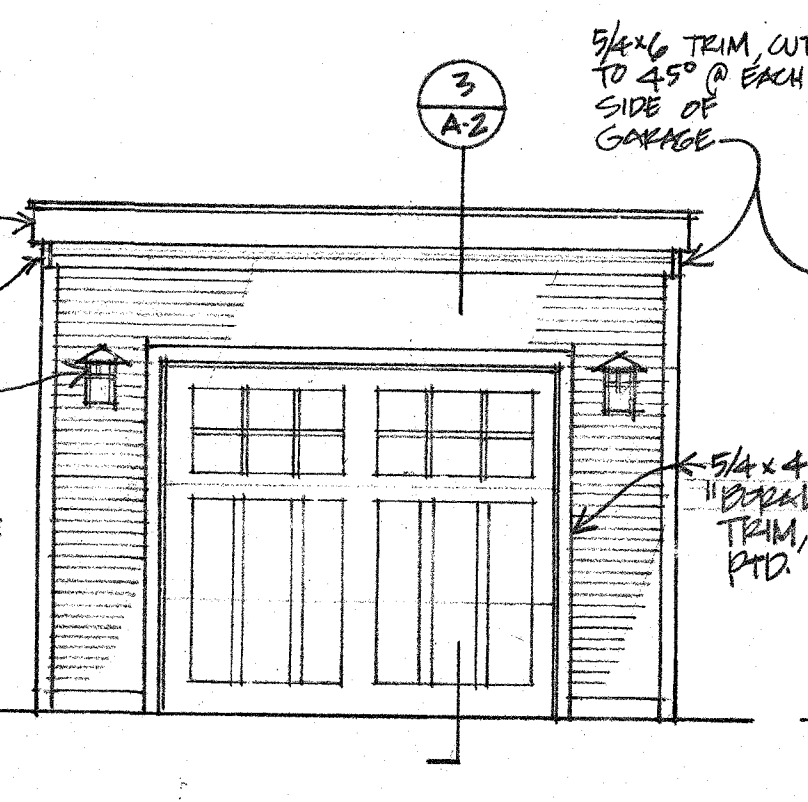


2 REAR WINDOW TRIM DETAIL  
A-2 3/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"

SIDE ELEVATION (LEFT)  
1/4" = 1'-0"



FRONT ELEVATION  
1/4" = 1'-0"

SIDE ELEVATION (RIGHT)  
1/4" = 1'-0"

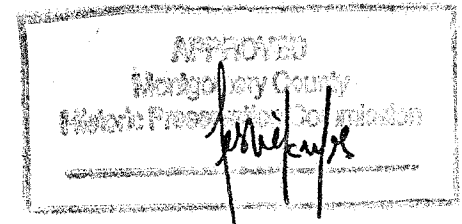


Professional Certification:  
I certify that these documents were prepared or approved by me, and that I am duly licensed. License # 8221-R, Exp. Date: 7/22/14

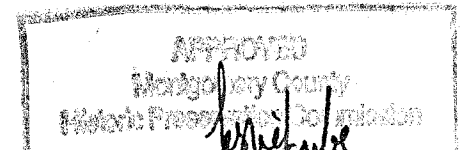
Vitullo Architecture Studio, PC  
7016 Woodland Ave.  
Takoma Park, MD 20912  
(301)920-0737

Handley/Wise Garage  
7130 Carroll Ave.  
Takoma Park, MD 20912  
10-18-12

A-2



A-2





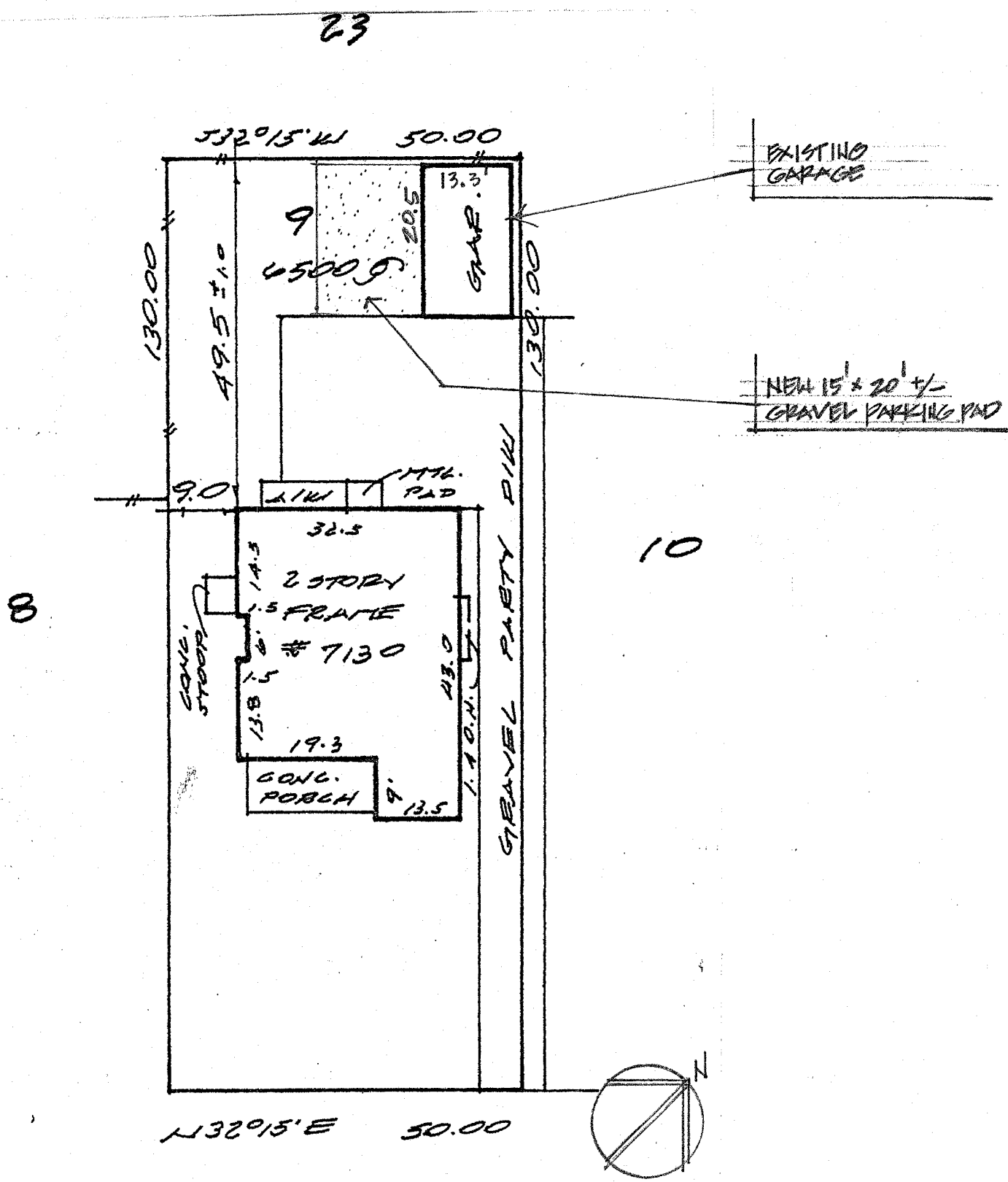
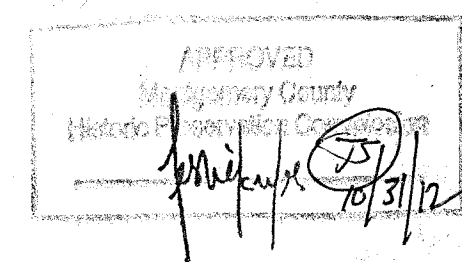
# Garage Restoration for:

## Handley/Wise Residence

7130 Carroll Ave., Takoma Park, MD 20912



Professional Certification:  
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
License #: 8221-R, Exp. Date: 7/22/14



**CARROLL AVENUE**

### Site Plan

1" = 20'-0"  
 Lot: 9 Block: 2  
 Plat No.: 140  
 Subdivision: Hillcrest  
 Address: 7130 Carroll Ave., Takoma Park, MD 20912  
 Year built: 1915-25 +/-

**PROJECT DESCRIPTION:**  
 Restore/renovate existing garage at rear of residence.

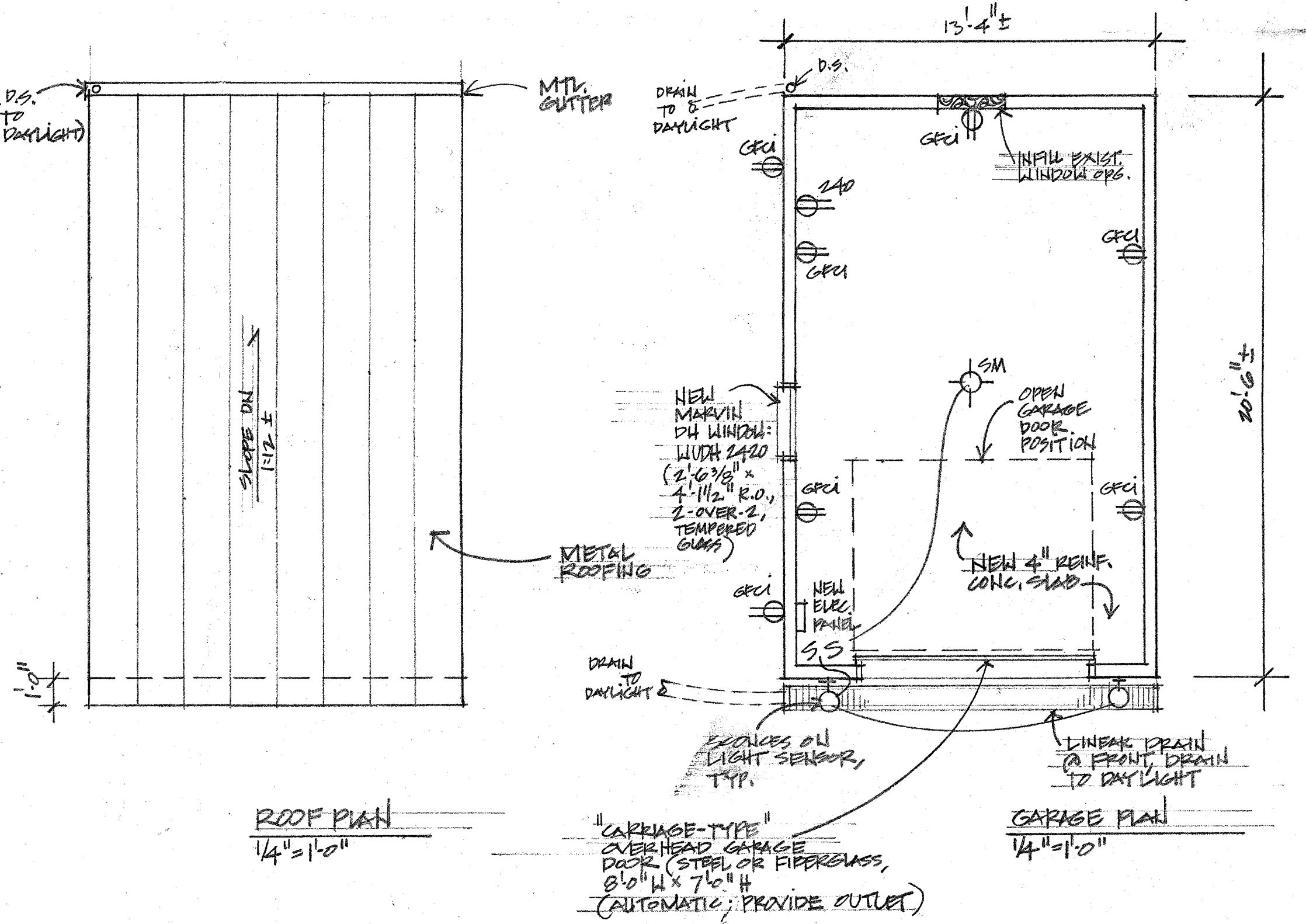
**RESIDENTIAL CODE NOTES:**  
 All construction shall be in conformance with the International Residential Code (IRC), 2012 Edition, with Mont. Co. amendments.

### AREA CALCULATIONS

EXISTING:	
Lot Area:	6500 s.f.
Total Lot Coverage:	1648 s.f.
% of Lot Coverage:	25%

### ELECTRICAL & LIGHTING LEGEND

- ⊖ B Duplex Outlet/existing
- ⊖ Duplex Outlet/new
- ⊖ A/C Duplex Outlet/new/above counter
- ⊖ GFCI Duplex Outlet/new/GFCI (all outlets in kitchens, baths, and exterior are to be GFCI)
- ⊖ Double Duplex Outlet
- ⊖ F Duplex Floor Outlet
- ⊖ 240 240v Outlet
- ⊖ EF Exhaust Fan
- ⊖ EF/H Exhaust Fan/Heat
- ⊖ EF/H/L Exhaust Fan/Heat/Light
- ⊖ CF Ceiling Fan
- ⊖ CF/L Ceiling Fan/Light
- ⊖ P Pendant Light Fixture
- ⊖ R Recessed Light Fixture
- ⊖ R/E Recessed Light Fixture/Eyeball
- ⊖ SM Surface Mounted Light Fixture
- ⊖ W Wall Mounted Light Fixture/Sconce
- ⊖ WP Light Fixture /Waterproof
- ⊖ DFL Dual Flood Light
- ⊖ DSL Data/Telephone Jack
- ⊖ TV Coaxial/Cable TV
- ⊖ SP Audio Speaker
- S Switch
- S D Switch/Dimmer
- S 3 Three-way Switch
- T Track light
- P "Plugmold" Power Strip
- U/C Undercabinet Lights
- S.P. Smoke & Carbon Monoxide Detectors (hard-wired in dedicated circuit, interconnected, with battery backup)
- ⊖ Thermostat



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 Takoma Park, MD 20912  
 (301)920-0757

Handley/Wise Garage  
 7130 Carroll Ave.  
 Takoma Park, MD 20912

A-1

A-1