

7217 Cedar Avenue, Takoma Park
(HPL Case # 37/03-10Y)
Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Thomas Jester
Chairperson

Date May 13, 2010

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner *JAS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #534337, rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with one condition** at the April 28, 2010 meeting.

- 1. The applicant must contact the City of Takoma Park, Arborist to determine if a tree protection plan is required for this project. If a tree protection plan is required, it must be implemented prior to commencing any new construction at the property.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Robert Englehart

Address: 7217 Cedar Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

#534337

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: JASON ZAWITKOWSKI
Daytime Phone No.: 202.223.7059

Tax Account No.: 01068573

Name of Property Owner: ROBERT ENGLEHART Daytime Phone No.: _____
Address: 7217 CEDAR AVE, TAKOMA PARK, MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: JASON ZAWITKOWSKI Daytime Phone No.: 202.223.7059

House Number: 7217 Street: CEDAR AVE
Town/City: TAKOMA PARK Nearest Cross Street: TULIP AVE
Lot: 10 Block: 5 Subdivision: 25
Liber: _____ Folio: _____ Parcel: _____

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|--|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Stab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Place | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 120,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

3A. Height 25 feet 1 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] (AGENT) _____ Date: 4.1.10
Signature of owner or authorized agent

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] FOR THOMAS JESTER, Date: 5/13/10
CHAIRPERSON
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

7217 Cedar Ave, Takoma Park

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure and environmental setting, including their historical features and significance:

The existing structure is a two story wood framed Craftsman Style residence with a basement built in 1918. The house has had its front porch enclosed and remains in relatively good condition. The first floor exterior is clad with rectangular wood shingles while the second floor exterior is covered with smaller cedar shakes. There are wood windows and trim throughout. The property slopes down towards the street, and has stone retaining walls near the sidewalk.

- b. General description of project and its effect on the historic resources, environmental setting, and, where applicable, the historic district:

The most significant aspect of the proposal is the addition of a bedroom to the second floor which will be integrated into the existing symmetry of the rear façade. The existing den on the first floor will be extended 6' into the backyard as a result of its location under the new second story bedroom. There will also be interior renovations related to these additions. All new windows will be painted wood.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7217 Cedar Avenue, Takoma Park	Meeting Date:	4/28/2010
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	4/21/2010
Applicant:	Robert Englehart (Jason Sawitkowski, Agent)	Public Notice:	4/14/2010
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-10Y	Staff:	Josh Silver
PROPOSAL:	Rear addition		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application **with one condition**:

1. The applicant must contact the City of Takoma Park, Arborist to determine if a tree protection plan is required for this project. If a tree protection plan is required, it must be implemented prior to commencing any new construction at the property.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Bungalow
DATE: 1918

PROPOSAL

The proposal consists of introducing a new 2nd story massing to the rear of the subject resource. The design program will expand a section of the existing rear wall 6' into the rear yard to accommodate the proposed 2nd story expansion.

Material treatments for the proposed addition include a combination of single light and true divided light wooden windows and doors, asphalt shingle roofing and wooden shakes and shingle siding to match the 1st and 2nd stories of the primary resource.

An existing wooden fence in the rear yard will be relocated approximately 4' to the north as a result of the proposed construction. The proposed fence will remain in the rear yard and behind the rear wall plane of the house.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment

for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- major additions should, where feasible should be placed to the rear of the existing structure so that they are less visible from the public right-of-way;
- while additions should be compatible, they are not required to be replicative of earlier architectural styles;
- alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course;
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the construction of 2nd story addition and expansion of the rear wall of the house. The proposed addition is confined to the rear of the subject resource, while visible from the public right-of-way, would have negligible impact on the streetscape or on the historic resource. The proposed roof slope is lower than the ridgeline of the historic massing and distinguished from the main roof form by a change in directional expression to provide a clear sense of differentiation between the two building masses.

The proposed addition is appropriately scaled to avoid competing with the primary structure and predominant gable roof form of the historic massing.

The proposed material treatments are appropriate for the resource type and style. The use of wooden shakes and shingles, wooden window and door treatments are compatible with the historic massing.

Further, these alterations are consistent with guidance for new additions found in *Design Guidelines for Historic Sites and District in Montgomery County, Maryland*, which recommends:

18.0 Design of New Additions

- 18.1 Place an addition at the rear of a building to minimize its visual impact
- 18.2 Do not obscure, damage, destroy, or remove original architectural details and materials of the primary structure
- 18.3 An addition should be compatible in scale with primary structure.

Staff finds that the proposal is consistent with the HPC's review criteria referenced above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application with the condition specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

#534337

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Daytime Phone No.: 202.223.7059

Tax Account No.: 01068573

Name of Property Owner: ROBERT ENGLEHART Daytime Phone No.: _____
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Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

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Agent for Owner: JASON ZAWITKOWSKI Daytime Phone No.: 202.223.7059

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Town/City: TAKOMA PARK Nearest Cross Street: TULIP AVE
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|---|--|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
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| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
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3A. Height 25 feet 1 inches

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

(AGENT)
Signature of owner or authorized agent _____ Date: 4.1.10

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

5

7217 Cedar Ave, Takoma Park

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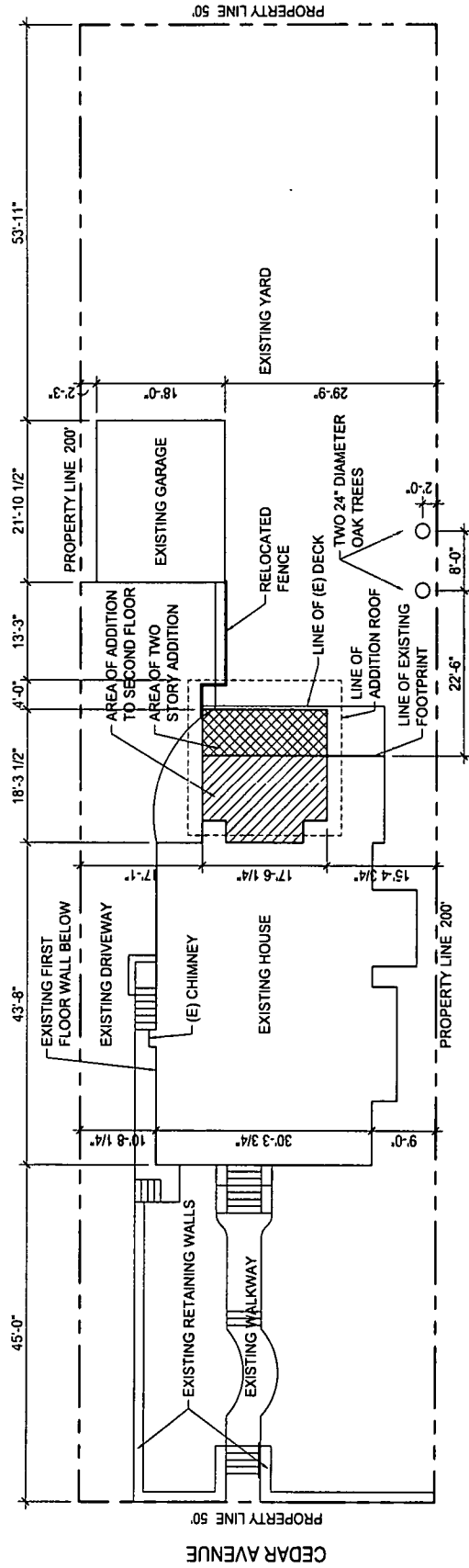
The most significant aspect of the proposal is the addition of a bedroom to the second floor which will be integrated into the existing symmetry of the rear façade. The existing den on the first floor will be extended 6' into the backyard as a result of its location under the new second story bedroom. There will also be interior renovations related to these additions. All new windows will be painted wood.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

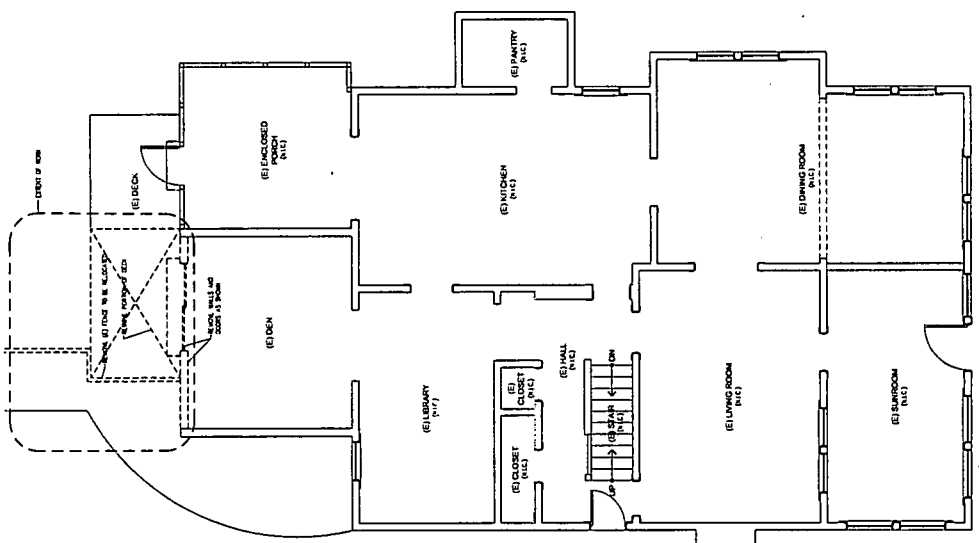
Owner's mailing address	Owner's Agent's mailing address
BOB ENGLEHART 7217 CEDAR AVE TAKOMA PARK, MD 20912	JASON ZAWITKOWSKI 1353 U ST. NW, 2ND FLOOR WASHINGTON, DC 20009
Adjacent and confronting Property Owners mailing addresses	
EDWARD ADAM DIGBY AND TR. BROOKS 7218 CEDAR AVE TAKOMA PARK, MD 20912	EDWARD A FAINE 7214 CEDAR AVE TAKOMA PARK, MD 20912
ROBERT LANZA AND TERRY STEINBERG 7215 CEDAR AVE TAKOMA PARK, MD 20912	PETER BANWELL 7221 CEDAR AVE TAKOMA PARK, MD 20912
ROBERTA LIGHT 7216 MAPLE AVE TAKOMA PARK, MD 20912	



SITE PLAN & TREE SURVEY
SCALE: 1/16"=1'-0"
4.1.10



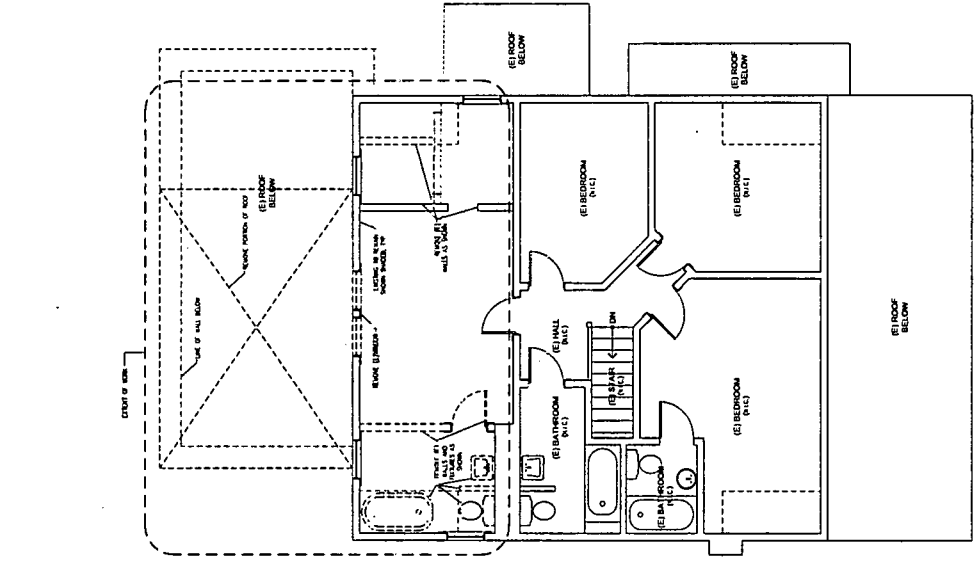
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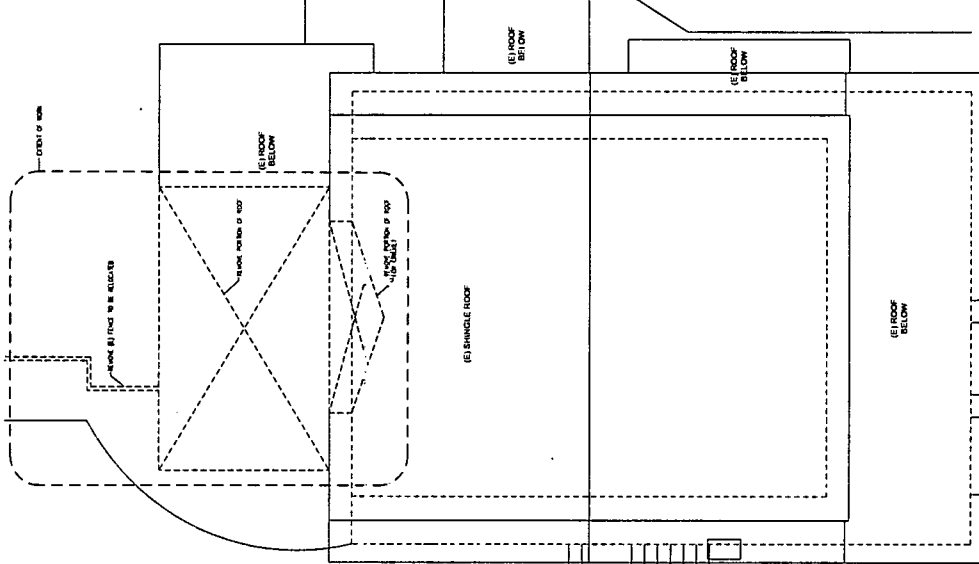
1 EXISTING AND FIRST FLOOR DEMOLITION
0100 ISSUE DATE: 01/11/17

DRAWING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- CONTINUED TO BE REMOVED



2 EXISTING AND SECOND FLOOR DEMOLITION
0100 ISSUE DATE: 01/11/17



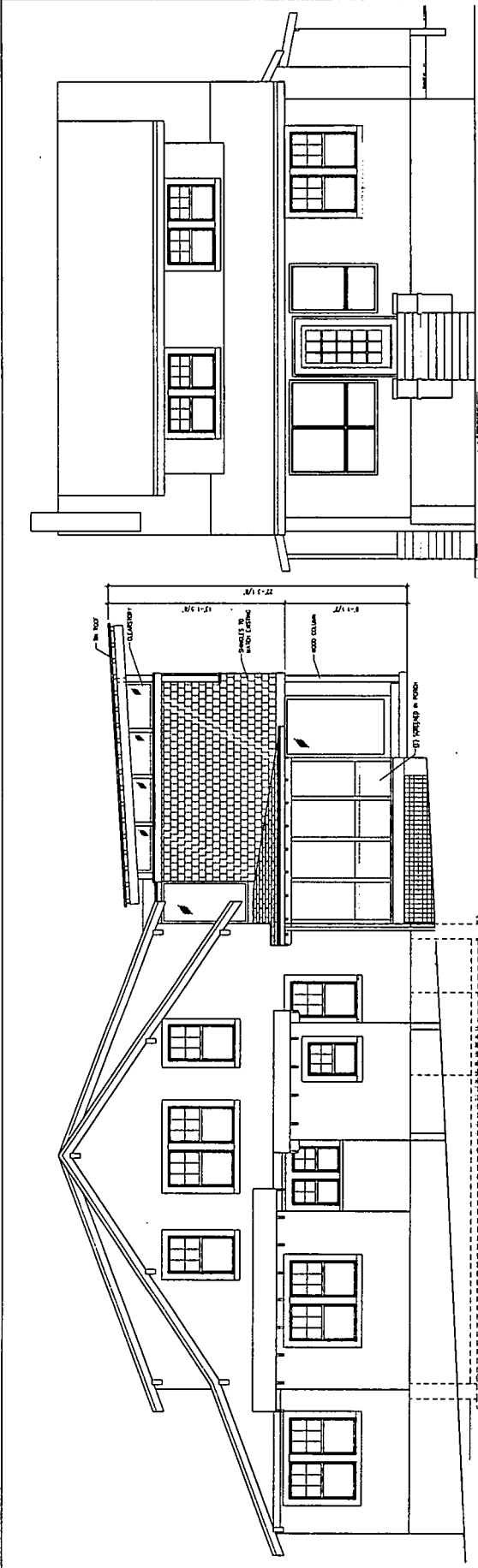
3 EXISTING ROOF AND ROOF DEMOLITION
0100 ISSUE DATE: 01/11/17

- DEMOLITION NOTES:**
1. Removal of interior partitions, walls, equipment and structure necessary for any remaining structure to be retained shall be shown on the drawings and schedule.
 2. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
 3. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
 4. Items of construction shall be the Contractor's responsibility for removal as shown on the drawings. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
 5. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
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 9. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
 10. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
 11. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
 12. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
 13. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
 14. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.
 15. Demolition shall include the removal of all existing structure to be demolished, including but not limited to: walls, floors, ceilings, roof, and foundation.



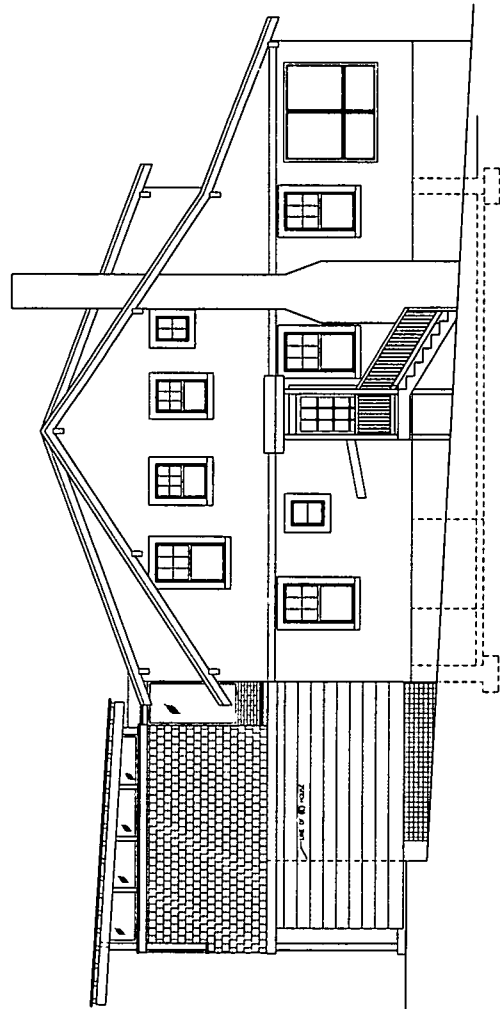
1841 N. STREET, SUITE 200
 75111 Dallas, Texas
 PHONE: 214.343.1111
 WWW: GRONNINGARCH.COM

**ENGLEHART
 RESIDENCE**
 7511 Cedar Avenue
 Dallas, TX 75215

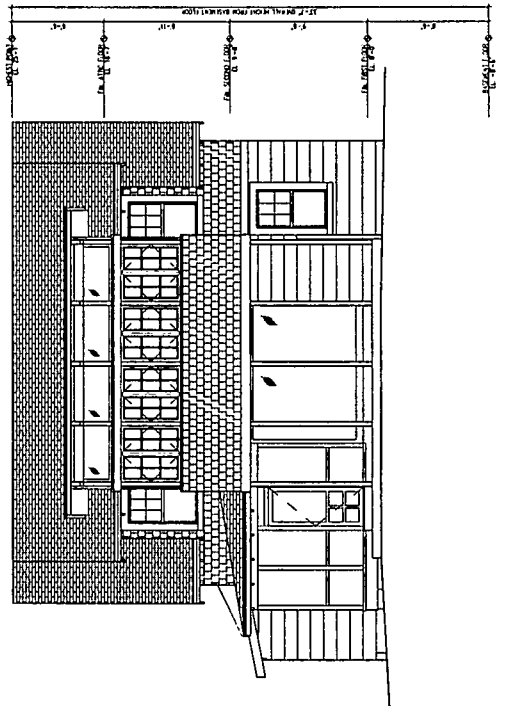


4 | SOUTH ELEVATION
 1/8" = 1'-0"

3 | FRONT (WEST) ELEVATION
 1/8" = 1'-0"



2 | NORTH ELEVATION
 1/8" = 1'-0"



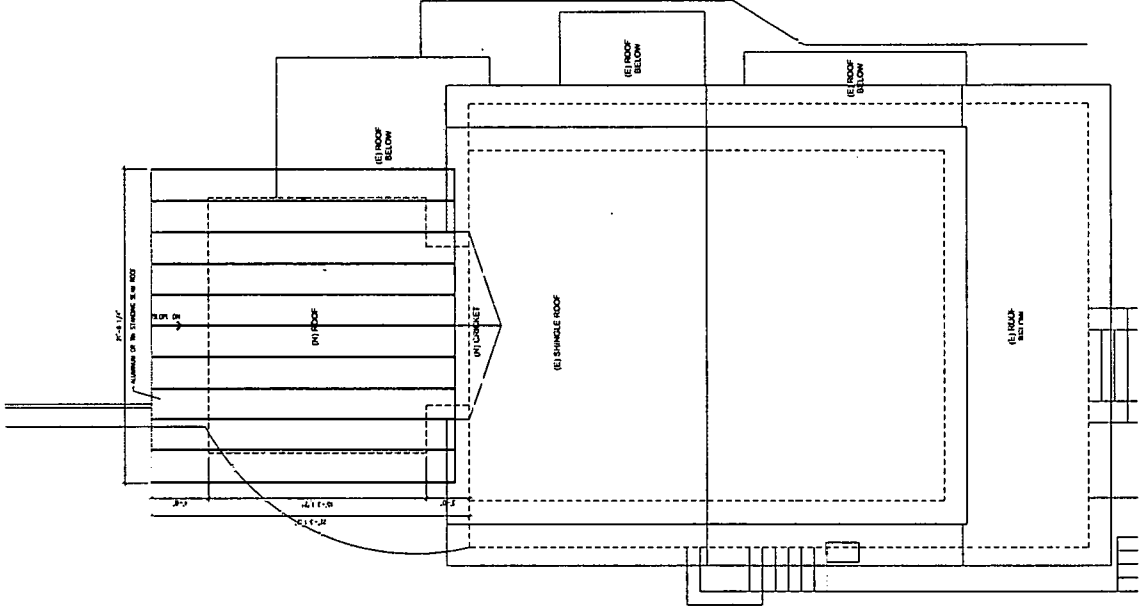
1 | REAR (EAST) ELEVATION
 1/8" = 1'-0"

BUILDING ELEVATIONS

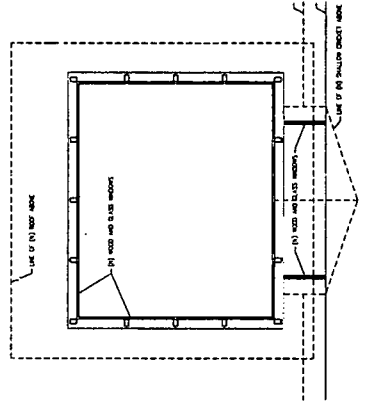
A300

DESIGN DEVELOPMENT
 11/15/11

PROJECT NO.	2014-001
DATE	10/15/14
SCALE	AS SHOWN
DRAWN BY	GR
CHECKED BY	GR
DATE	10/15/14
PROJECT	ENGLEHART RESIDENCE
DESCRIPTION	ROOF PLAN
DATE	10/15/14
SCALE	AS SHOWN
DRAWN BY	GR
CHECKED BY	GR
DATE	10/15/14



1 ROOF PLAN
VERTICAL SCALE 1/4" = 1'-0"
DRAWING LEGEND
CONCRETE CONSTRUCTION TO REMAIN
NEW OTHER PARTITION U.S.A.



**PARTIAL PLAN
2 / AT CLEARSTORY**
VERTICAL SCALE 1/4" = 1'-0"

13





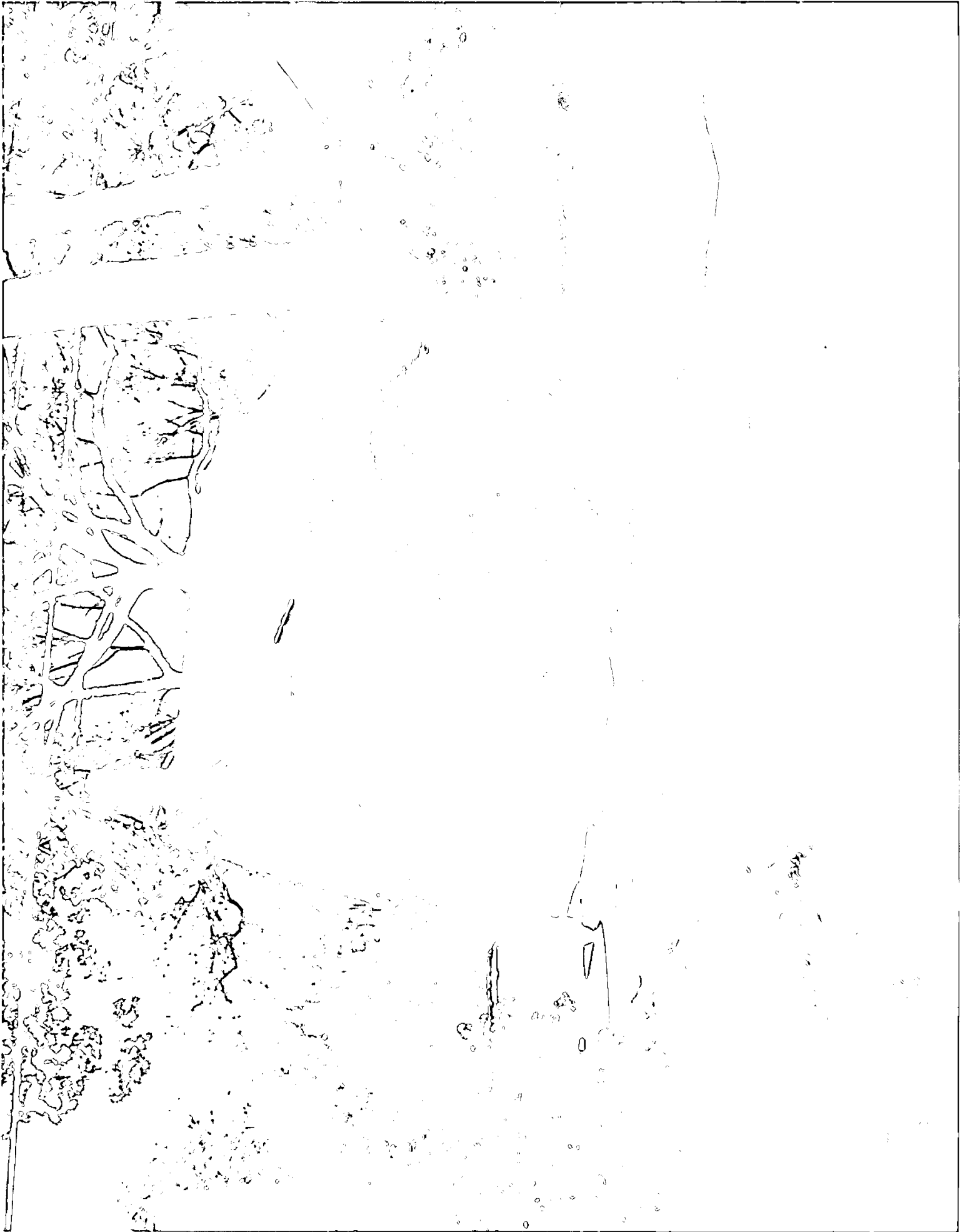
WEST FACADE - View from street

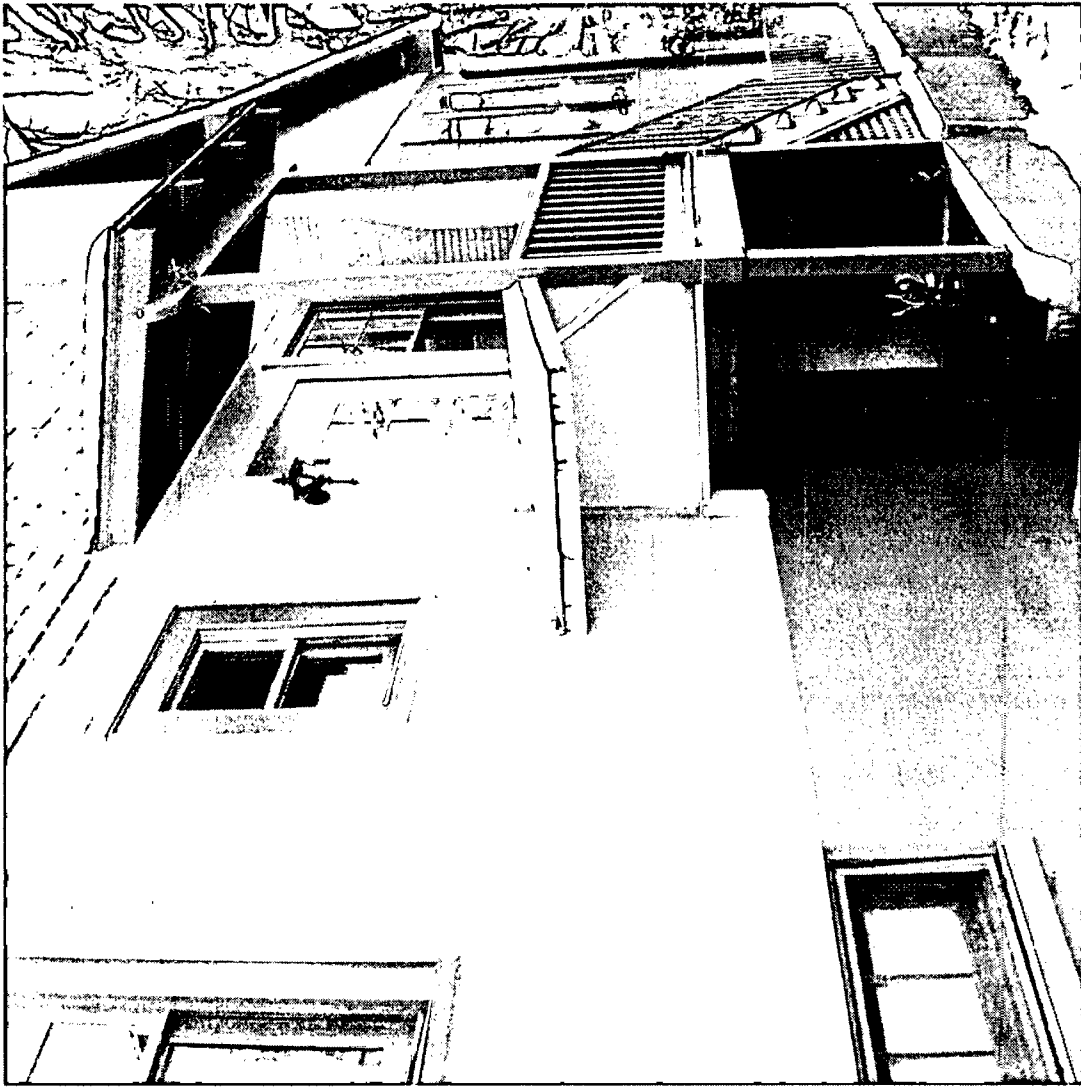


SOUTH FACADE - View from street



EAST FACADE- View from backyard





NORTH FACADE - Views from driveway