

8 Crescent Place, Takoma Park
[HPC Case # 37/03-114]
Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: June 1, 2011

MEMORANDUM

TO: Jennifer Hughes, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #565402, alterations to front steps and hardscape

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the May 25, 2011 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Geoff Maxon

Address: 8 Crescent Place, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

565402

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Geoff Maxson
Daytime Phone No.: 301 286-2337

AR

Tax Account No.: _____
Name of Property Owner: Geoffrey J Maxson Daytime Phone No.: 301 286-2337
Address: 8 Crescent Pl Takoma Park MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

PART ONE: LOCATION OF BUILDING/PERMITS

House Number: 8 ~~Crescent Pl~~ Street: Crescent Pl
Town/City: Takoma Park Nearest Cross Street: Holt
Lot: 21 Block: 2 Subdivision: Hill-Crest
Liber: 33954 Folio: 726 Parcel: _____

PART TWO: TYPE OF PERMIT/ACTIVITY AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ _____
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITION

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Geoff J Maxson Signature of owner or authorized agent 3-29-11 Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 6/1/11
Application/Permit No.: 565402 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1923 Bungalow, small front yard on a hill. Existing yard is flat with steep slope to sidewalk and driveway. Neighboring houses have constructed retaining wall to deal with this issue.
Front steps are not original, are uneven and crumbling and unattractive.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Retaining wall on right side will match neighboring retaining wall. On left, two terraced retaining walls will also match style to fit in with the ~~site~~ rest of the street.
• Stone path and steps to door on left side of house will allow mud-free entry to house from driveway. ~~approval~~
New steps and landing to front door will be consistent with ~~the~~ historic style and context.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

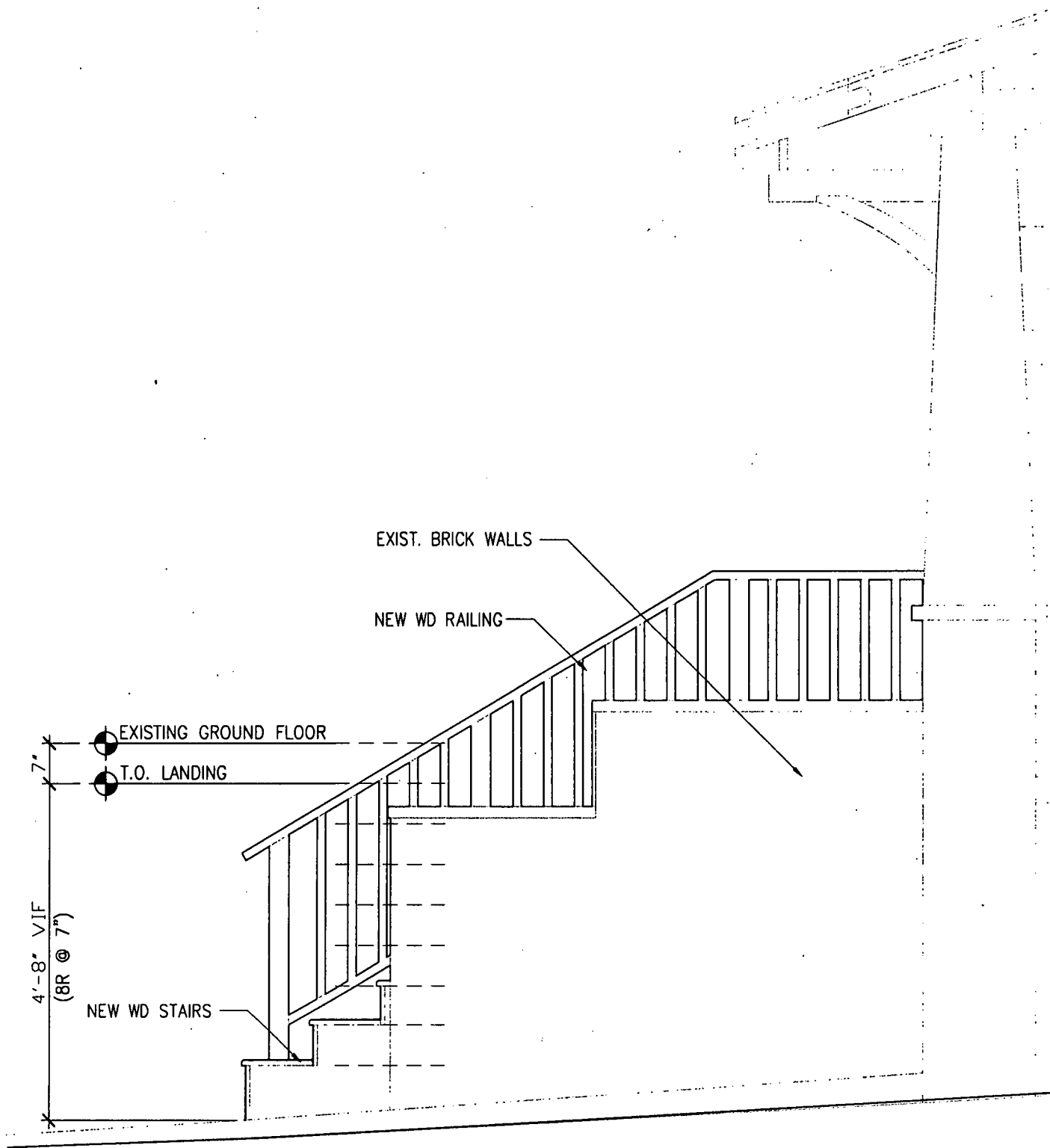
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

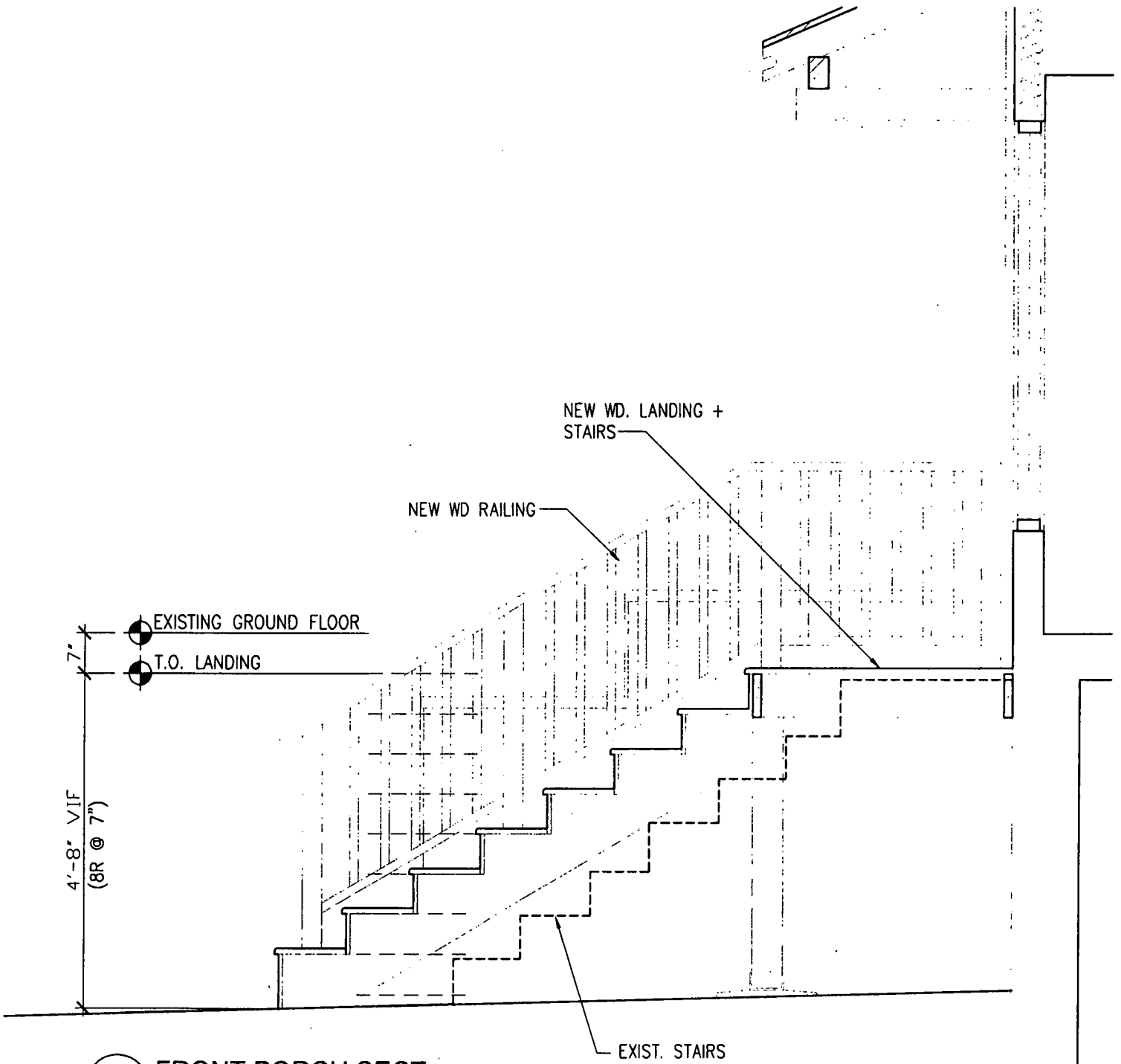
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MARKING LABELS.



3 FRONT PORCH ELEV.
1/2" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 5/6/11

8 CRESCENT PL.
 FRONT PORCH SKETCH
 1-20-2010
 HELICON WORKS



4 FRONT PORCH SECT.
 1/2" = 1'-0"

8 CRESCENT PL.
 FRONT PORCH SKETCH
 1-20-2010
 HELICON WORKS

APPROVED
 for Forsyth County
 Historic Preservation Commission
[Signature] 6/1/11

THE GREENFIELDS COMPANY

BYRNE H. KELLY, RLA, ASLA

Landscape Architecture & Environmental Planning
Green Design and Land Development

Office: 301-270-4626
CELL: 240-678-9121
FAX: 301-270-4626

307 Circle Avenue
Takoma Park, Maryland
20912

www.thegreenfieldscompany.com
ByrneHK@starpower.net TGCinc@sprint.blackberry.net

MAXSOM RESIDENCE: FRONT YARD MASONRY PLAN

**# 8 CRESCENT PLACE, TAKOMA PARK
MARYLAND 20912,**

SCALE: 1/8" INCH = ONE FOOT, MARCH 2011

12.5'±

AREA UNDER
CONSTRUCTION

9.9'±

26.2

40.3

2 Story
FRAME
8

40.3

26.4

PPSD STONE PATI RAMP S-R

STONE
STEPS

STONE PATH

23'-6"

EX. CONC. RUNNER

EX. RUNNER

HEMLOCK 3
TO REMAIN

4'-0"

7'-0"

NEW STEP
LANDING
DESIGN BY
OTHERS

"HISTORIC PIER"
TO REMAIN

NEW CHEEK WALLS
BLOCK W STUCCO

UTILITY
POLE

4' SW.

WIDTH VARIES

22'

1'-2'

10'

28"±

+ 7.5" PPSD T.O.W.

19.5"± PPSD T.O.W.

E

28"±

+ 17" T.O.W.

MATCH HTS

± 15' TO PPSSD WALL

13'-0"±

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8 Crescent Place, Takoma Park	Meeting Date:	5/25/2011
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	5/18/2011
Applicant:	Geoff Maxon	Public Notice:	5/11/2011
Review:	HAWP	Tax Credit:	No
Case Number:	37/03-11U	Staff:	Josh Silver
PROPOSAL:	Alterations to front steps and hardscape		

STAFF RECOMMENDATION:

- Approve
 Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Craftsman (Altered)
DATE: c1915-25

PROPOSAL:

Note: The removal and replacement of the upper concrete steps and railings with wood and the installation of a stone veneer retaining wall between the front left corner of the house and front steps were reviewed and approved by the HPC on May 26, 2010. **No further action by the HPC is required for these projects.**

The applicant is proposing to:

1. Remove and replace the non-original cheek walls on both sides of the front entry stairs with concrete block walls parged with stucco. The front entry contains evidence of one original brick pier that will be maintained
2. Install a stone veneer retaining wall along the south (right) side of the front yard between the existing concrete steps and stone retaining wall on the adjacent property to the right. The proposed wall will be setback from the public right-of-way and range in height from 17" at the front stairs and rise to 24" where it will match the height of the existing retaining wall on the adjacent property
3. Add a second stone veneer retaining wall behind the proposed retaining wall along the driveway and front sidewalk to provide additional stabilization to the front yard grade change. The proposed

- wall will not exceed 28" high. Both retaining walls be faced using a local quarry stone veneer similar to the retaining wall on the adjacent property and will be approximately 1' thick
4. Install a 3' wide flagstone ramp on the left side of the driveway to provide access to the front door of the HPC approved addition.

APPLICABLE GUIDELINES:

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings, if**

applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - 88

565402

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Daytime Phone No.: 301 286-2337

ATL

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LOCATION OF BUILDING/PREMISES

House Number: 8 ~~Crescent Pl~~ Street: Crescent Pl
Town/City: Takoma Park Nearest Cross Street: Holt
Lot: 21 Block: 2 Subdivision: Hill-Crest
Liber: 33954 Folio: 726 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Rein
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Stair
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Geoffrey J Maxson Signature of owner or authorized agent
3-29-11 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 565402 Date Filed: _____ Date Issued: _____

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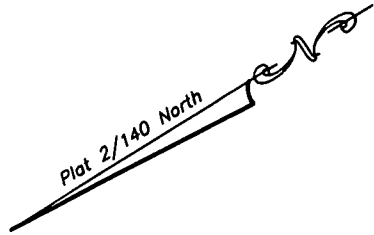
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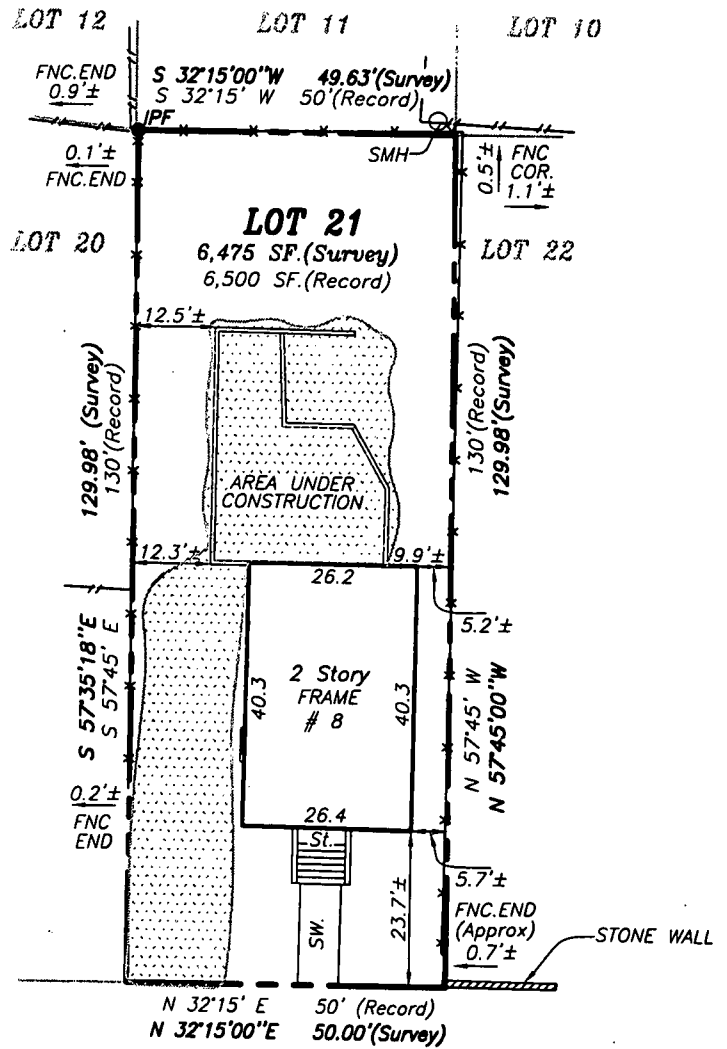
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 8 Crescent Pl Takoma Park, MD 20912	Owner's Agent's mailing address.
Adjacent and confronting Property Owners mailing addresses	
6 Crescent Pl Takoma Park, MD 20912	
Andrew & Katya Partan 25 Holt Pl Takoma Park, MD 20912	
Dan Aibel 227 Park Ave Takoma Park, MD 20912	

- NOTE: 1) This drawing and the surveying work reflected hereon was prepared without the benefit of a title report, therefore, may not reflect all easements or encumbrances which may affect subject property.
- 2) All property corners have been recovered or verified per field survey performed: December 26, 2009. However due to lack of access into exact place, property markers have not been set.
- 3) IPF indicates iron pipe found on property corner.



LEGEND	
St.	Stoop
SW.	Sidewalk
Conc. Area	
Area under Construction	
Wood Fence	
Chain Link Fence	



Survey of
LOT 21, BLOCK 2
HILL-CREST
MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE

This drawing and the surveying work reflected in it were prepared by the surveyor or the surveyor was in responsible charge over its preparation, all in compliance with requirements set forth in COMAR Regulation 09.13.06.12.

By: F. Alimo 12/26/09 Date
MD Professional Land Surveyor #21382

REFERENCES	
PLAT BK.	2
PLAT NO.	140
LIBER	33954
FOLIO	726

ALIMO & ASSOCIATES LLC
LAND SURVEYORS
3516 Singers Glen Drive
Olney, Maryland 20832
Tele.: (240) 888-7631 Fax: (301) 570-0967

DATE OF LOCATIONS	SCALE: 1"= 30'
WALL CHECK:	DRAWN BY: F.A.
HSE. LOC.: 12-26-2009	JOB NO.: 2008-10085

THE GREENFIELDS COMPANY

BYRNE H. KELLY, RLA, ASLA
 Landscape Architecture & Environmental Planning
 Green Design and Land Development

307 Circle Avenue
 Takoma Park, Maryland
 20912
 Office: 301-270-4626
 CELL: 240-678-9121
 FAX: 301-270-4626

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 BymeHK@starpower.net TGCinc@sprint.blackberry.net

MAXSOM RESIDENCE: FRONT YARD MASONRY PLAN

8 CRESCENT PLACE, TAKOMA PARK
 MARYLAND 20912,

SCALE: 1/8" INCH = ONE FOOT, MARCH 2011

12.5'±

AREA UNDER
 CONSTRUCTION

9.9'±

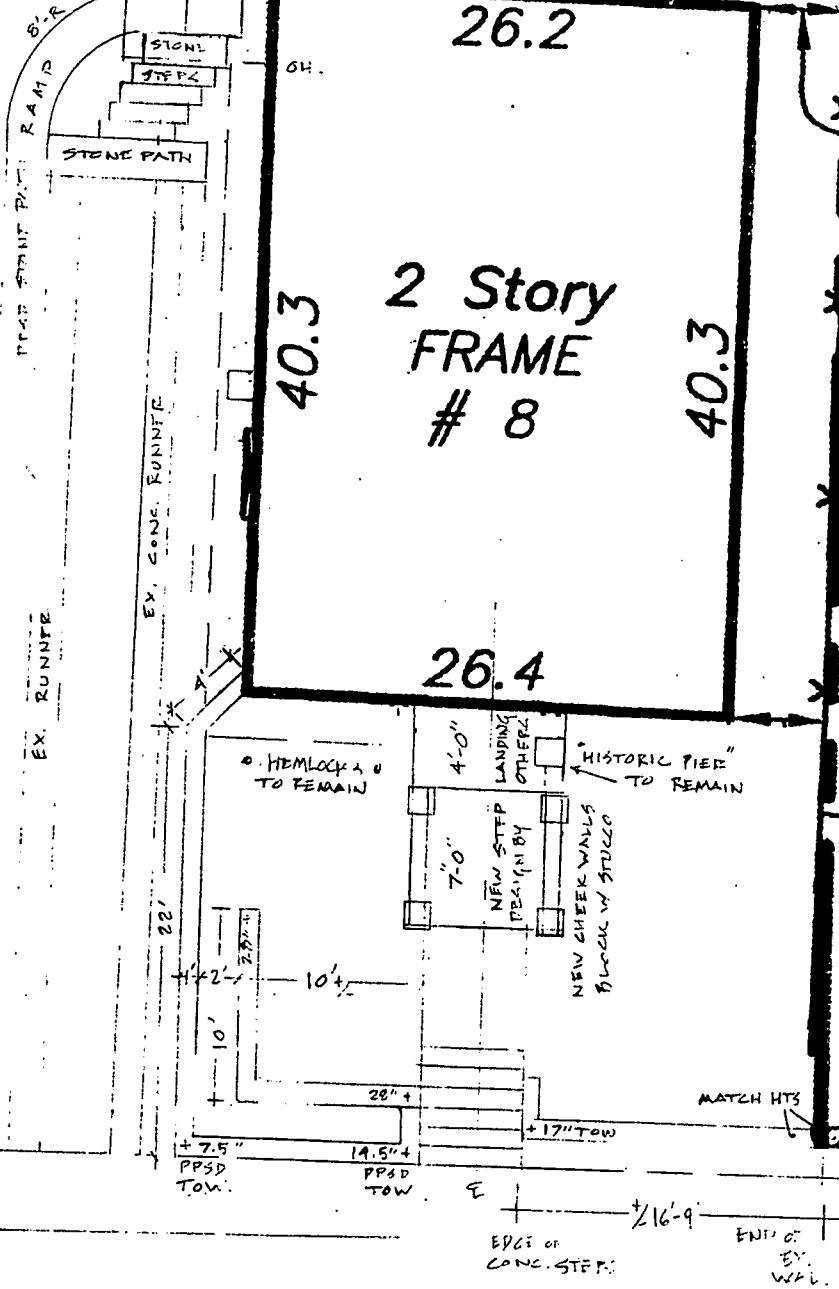
26.2

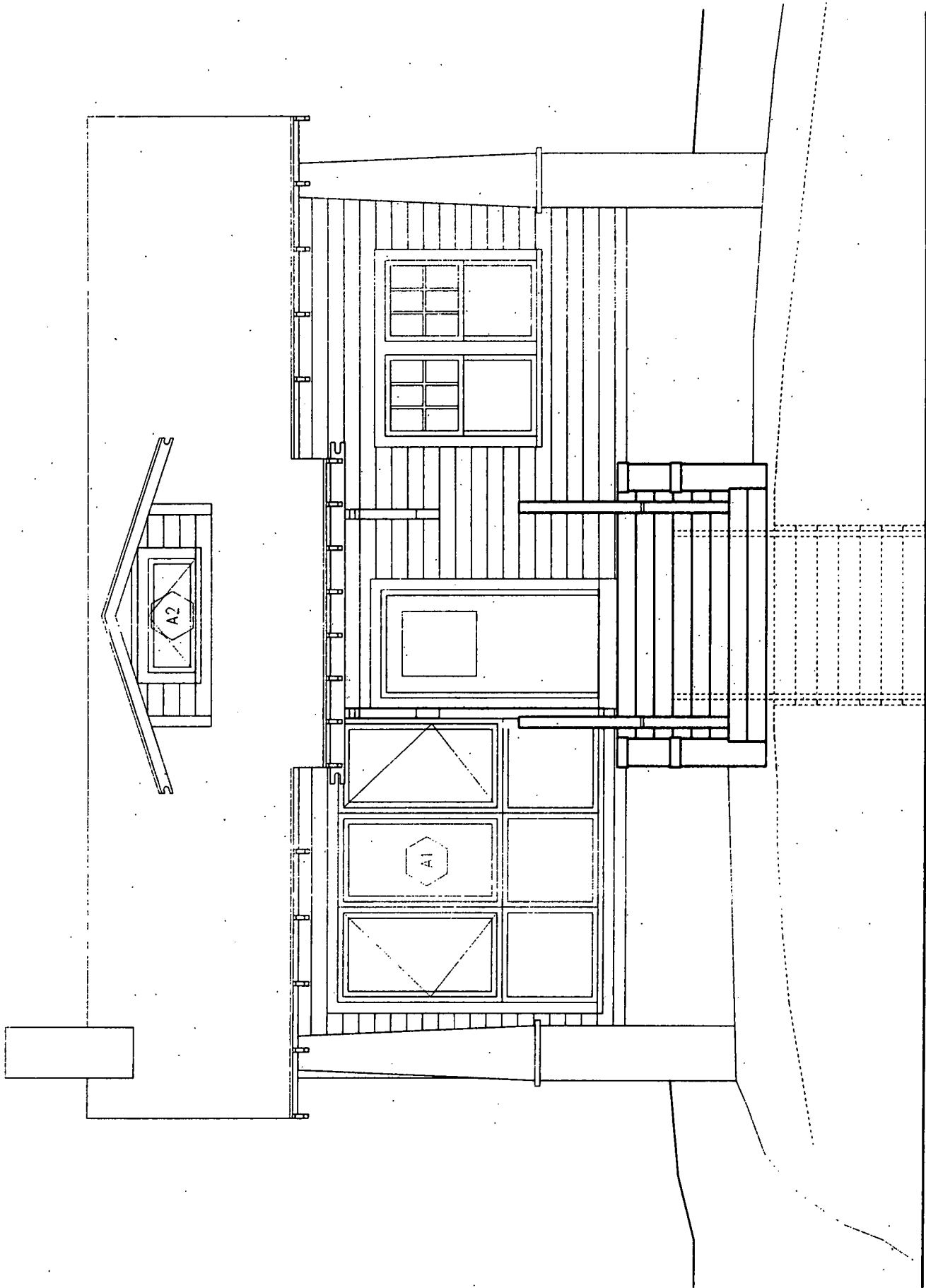
2 Story
 FRAME
 # 8

40.3

40.3

26.4

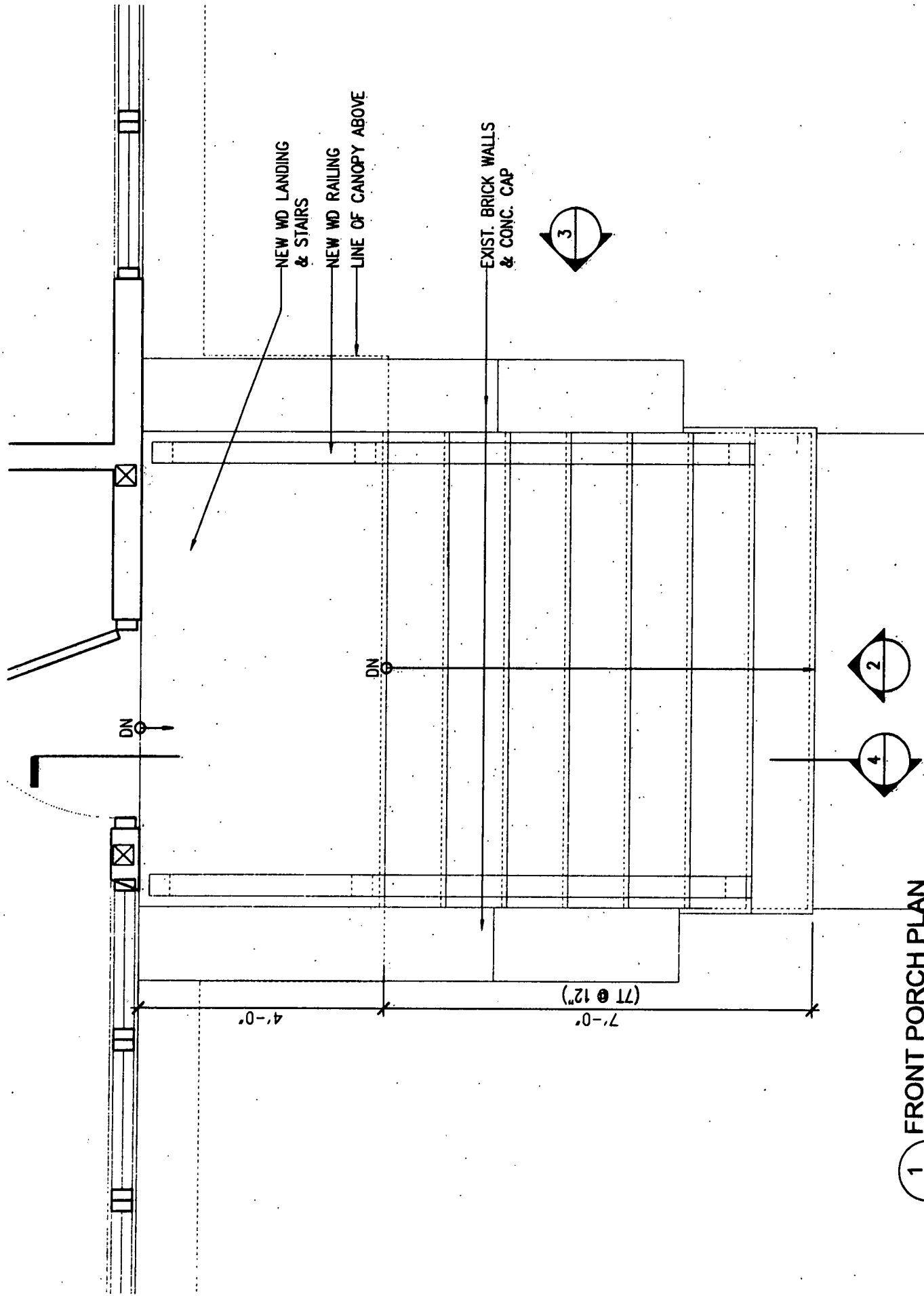




8 CRESCENT PL.
FRONT PORCH SKETCH
1-20-2010

2 FRONT PORCH ELEV.
1/4" = 1'-0"

9



NEW WD LANDING
& STAIRS

NEW WD RAILING
LINE OF CANOPY ABOVE

EXIST. BRICK WALLS
& CONC. CAP



1 FRONT PORCH PLAN
1/2" = 1'-0"

8 CRESCENT PL
FRONT PORCH SKETCH
1-20-2010
HELICON WORKS

THE GREENFIELDS COMPANY

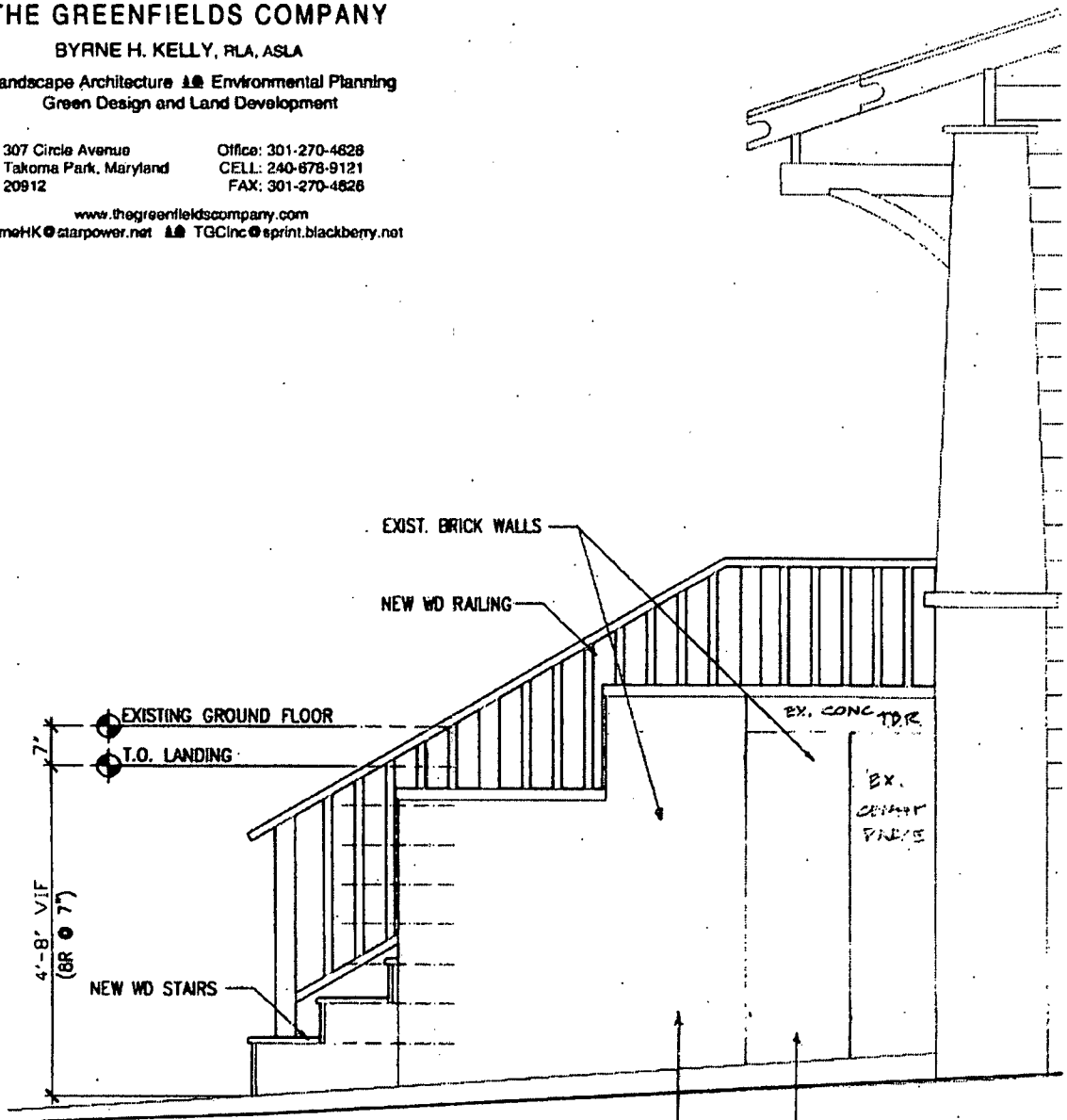
BYRNE H. KELLY, RLA, ASLA

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307 Circle Avenue
Takoma Park, Maryland
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CELL: 240-878-9121
FAX: 301-270-4828

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ByrneHK@starpower.net ■ TGCInc@sprint.blackberry.net



EX. "NEWER" BRICK WALLS
SUBJECT TO BE REFINED AND
REPLACED, OR PATCHED OR
FACED WITH
NATURAL STONE,
TO BE DETERMINED

"HISTORIC"
"ORIGINAL" BRICK PIER
TO REMAIN

3 FRONT PORCH ELEV.
1/2" = 1'-0"

WALL PROFILE TO REMAIN AS IS

8 CRESCENT PL.
FRONT PORCH SKETCH
1-20-2010
HELICON WORKS

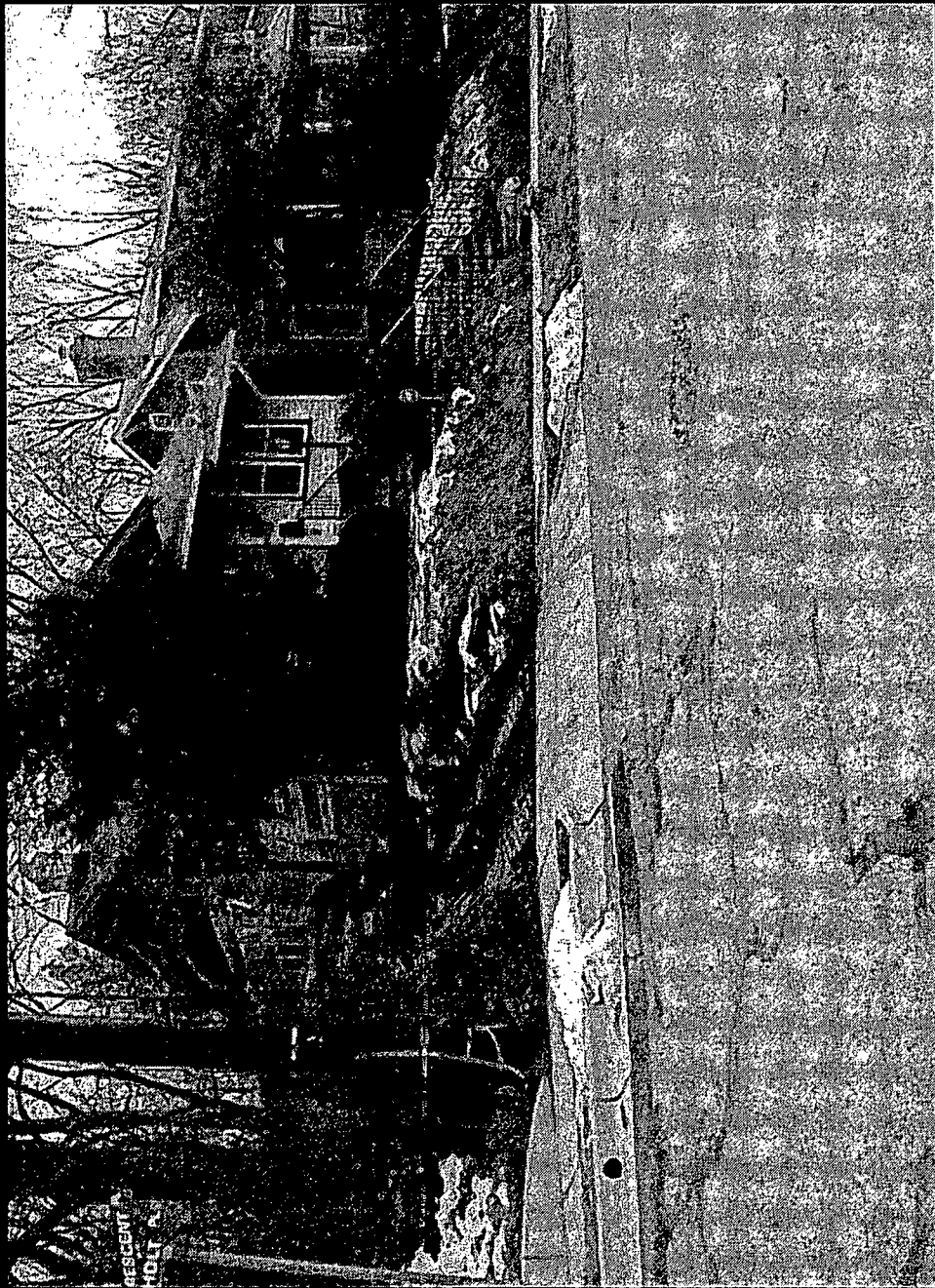


Geoff Maxson, 8 Crescent Pl, Takoma Park, 20912





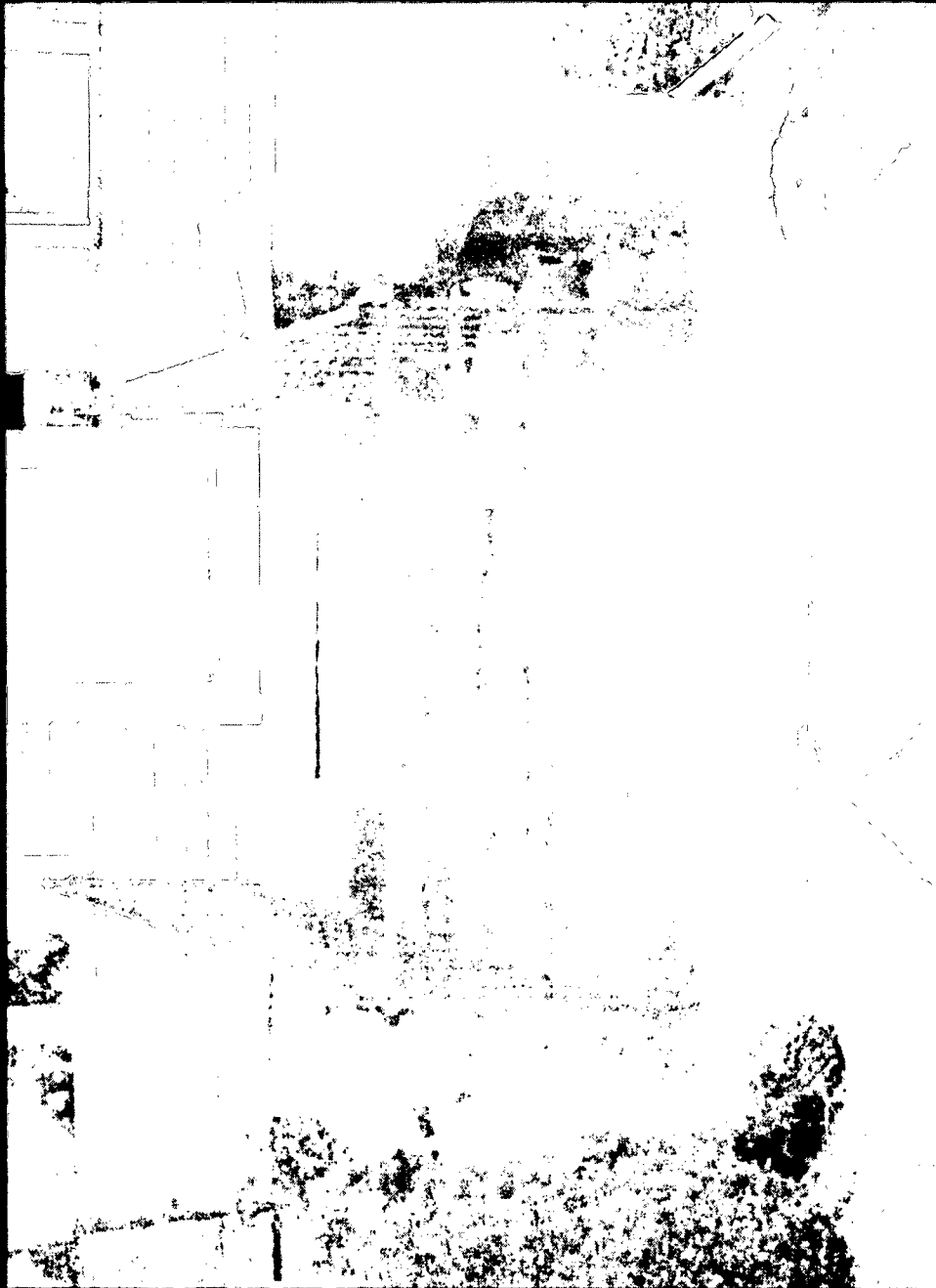




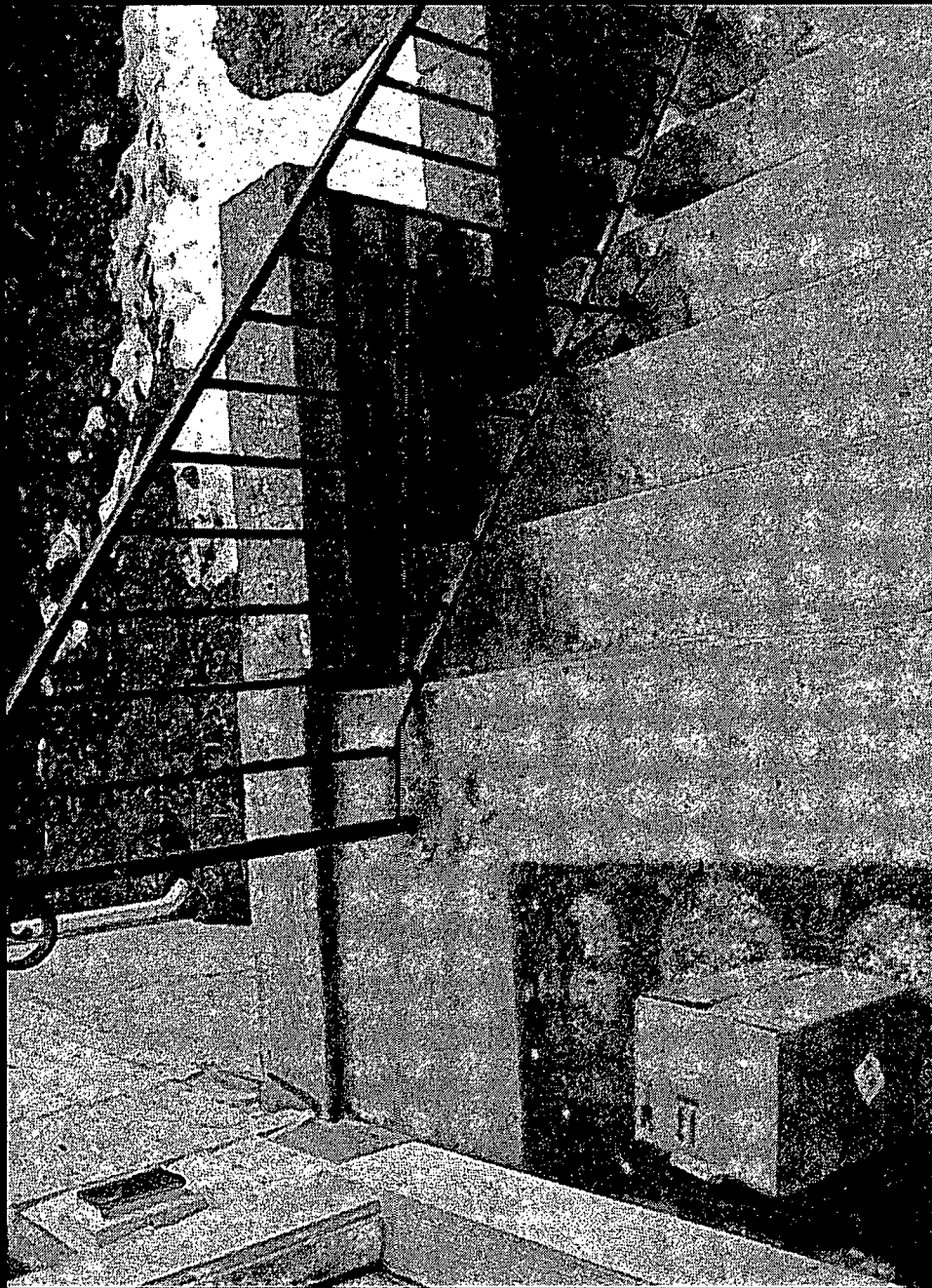
DESCRIBE
HOLY

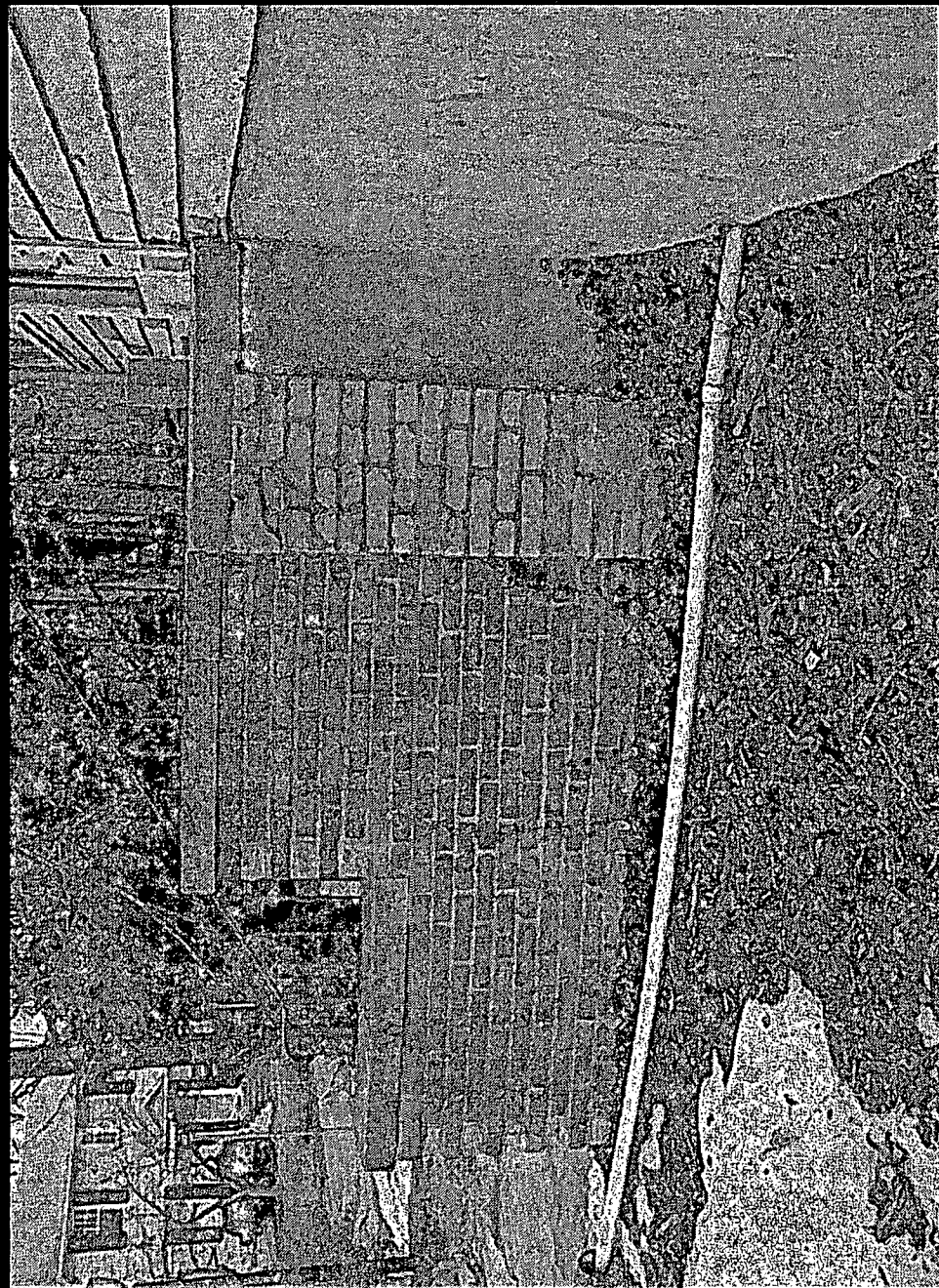


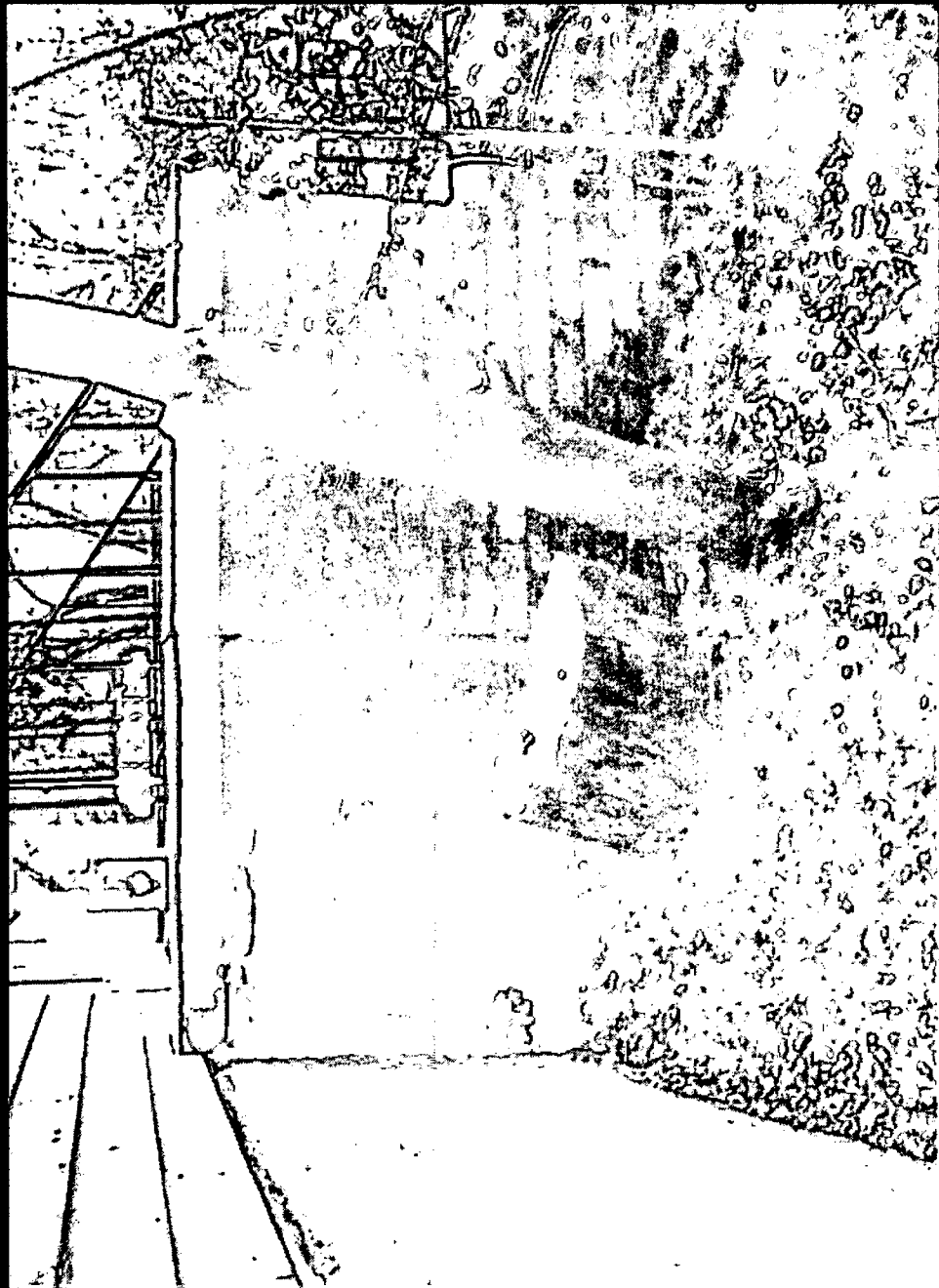












Silver, Joshua

From: Byrne Kelly [byrnehk@starpower.net]
Sent: Friday, May 13, 2011 3:27 PM
To: Silver, Joshua
Cc: Geoff Maxson
Subject: Re: 8 Crescent Place, Takoma Park
Attachments: #8 Crescent Place TP.pdf; 012010 front porch.pdf; #8 Crescent PI Steps Elevation.pdf

Joshua Silver:

Please include these attached drawings as part of the modifications to the original HAWP application.

✓ The existing front steps are proposed be replaced with wooden steps as shown in the drawings.

The masonry step wing walls shown in the attached photograph are proposed to be either:

- 1) parged with stucco except for the historic brick pier.
- ② removed and replaced with concrete block walls and either parged with stucco or faced with stone veneer similar to the proposed stone retaining walls along the front.

The south side stone retaining wall along the front will match the height the top of the existing retaining wall of the neighbor on the south side.

I submitted you a slide show of pictures of the property which clearly shows that height.

Because the sidewalk grade slopes down from north to south (left to right as you face the house)

the wall south of the existing concrete steps from the sidewalk to the front walk, will remain level over to the front steps; and therefore will diminish in height to 17" above the sidewalk, from south to north (downhill to uphill).

From the driveway to the front steps the lower wall on the north will be a mere 7.5 inches high at the drive way and 14.5 inches where it turns 90 degrees and dies back into the slope next to the existing steps.

Along the driveway it shall remain low to the grade 7.5 to 12" maximum height where it returns toward the house.

The upper wall (on the north side) shall be a 28 inch height above that return segment and shall also remain level as it turns back toward the house.

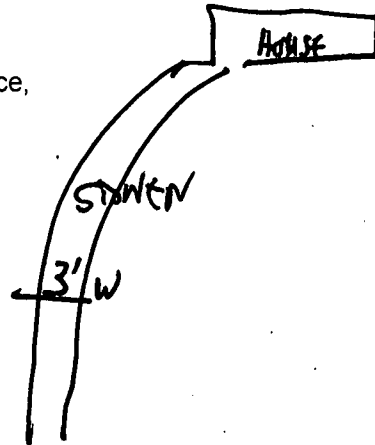
The retaining walls shall be constructed of concrete footings, concrete block (CMUs) faced with a local quarry stone veneer, similar to but not exactly the same as the neighboring wall (we intend to do better than that one:-) The wall shall be approximately one foot thick and shall be constructed with Type S mortar.

I do hope this explanation and the attached drawings and photographs will suffice, and meet your needs in order approve Geoff Maxson's application.

Sincerely,

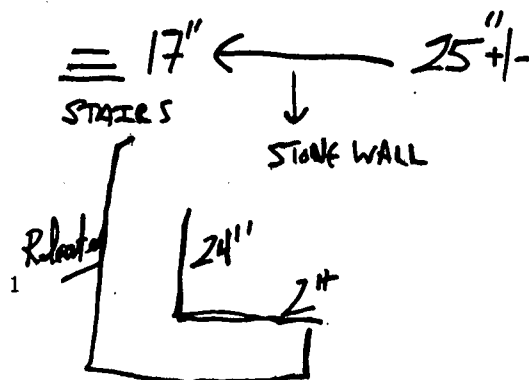
Byrne H. Kelly,

President: THE GREENFIELDS COMPANY, Inc.
Environmental Planner, Registered Landscape Architect
Member, American Society of Landscape Architects
The Studio @ 307 Circle Avenue, Takoma Park, MD 20912
www.thegreenfieldscompany.com
301-270-4626 w+fax. 240-678-9121 cell



----- Original Message -----

From: Silver, Joshua
To: Byrne Kelly
Cc: Geoff Maxson
Sent: Tuesday, May 10, 2011 10:00 AM
Subject: RE: 8 Crescent Place, Takoma Park



The application only includes a plan drawing. An elevation drawing showing the proposed stair/landing alteration, wall installation (a section profile showing the wall materials/height) etc., is required to evaluate the application. Also, in looking at the plan I remain uncertain about the dimensions of the walls, stair alteration and proposed stone pathway.

A written description of the work is also required to complement the plans. This is usually accomplished in a paragraph or two. Please be as succinct as possible without leaving out details pertinent to explaining the proposed work.

Thanks,
Josh

From: Byrne Kelly [mailto:byrnehk@starpower.net]
Sent: Tuesday, May 10, 2011 7:33 AM
To: Silver, Joshua
Cc: Geoff Maxson
Subject: Re: 8 Crescent Place, Takoma Park

Good morning Josh,
could you please provide to me in writing exactly what your concerns are,
and what you need me to show in a drawing.
I am not comfortable with the second hand translation I received from Geoff.
Thank you;

Byrne H. Kelly,

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----- Original Message -----

From: Geoff Maxson
To: Byrne Kelly
Sent: Monday, May 09, 2011 2:56 PM
Subject: Fwd: 8 Crescent Place, Takoma Park

Byrne,

What is the status of the elevation drawing? And the paperwork for the driveway drainage? Please let me know where things stand

Thanks
Geoff

----- Forwarded message -----

From: Silver, Joshua <Joshua.Silver@mncppc-mc.org>
Date: Mon, May 9, 2011 at 12:37 PM
Subject: RE: 8 Crescent Place, Takoma Park
To: Geoff Maxson <geoffmaxson@gmail.com>

Hi Geoff,

Just checking to see if you coordinated with Byrne to produce the additional documentation in support of your HAWP application. I need the additional information (elevation drawing and more detailed written description) preferably by this Wednesday, however I would be willing to accept it up until Friday, May 13th.

Thanks,

Josh

From: Geoff Maxson [mailto:geoffmaxson@gmail.com]
Sent: Wednesday, May 04, 2011 9:50 AM
To: Silver, Joshua
Subject: Re: 8 Crescent Place, Takoma Park

Josh,

Ok. I can't say I'm not disappointed, but I understand.

Geoff

On Wed, May 4, 2011 at 9:44 AM, Silver, Joshua <Joshua.Silver@mncppc-mc.org> wrote:

Hi Geoff,

Thanks for your e-mail. My recommendation is to postpone consideration of your application until the May 25th HPC meeting so that we can be sure to have all pertinent details in place before moving forward. I will make sure your project is the first one on that agenda. I want to get this right the first time and per our discussion I think we both agree some important information is missing. Please confirm ASAP you agree to postponing the consideration of your application until May 25th.

Thanks for your understanding.

Josh

From: Geoff Maxson [mailto:geoffmaxson@gmail.com]
Sent: Tuesday, May 03, 2011 5:04 PM
To: Silver, Joshua
Subject: Re: 8 Crescent Place, Takoma Park

Josh,

I apologize for not getting back to you today - I got swamped here at work. I thought you said you needed the information by tomorrow?

I was not able to get hold of Byrne - he has been out of town. I measured the retaining wall next door, and it was 28" tall. We will conform to that for the left retaining wall and for the lower wall on the right side. Please refer to the previous drawing about the porch for the elevation drawing, and we will conform to that.

If you need more information than this before COB tomorrow, then I guess we will have to wait for the next meeting.

Thank you for your patience.

Regards,
Geoff

On Tue, May 3, 2011 at 3:08 PM, Silver, Joshua <Joshua.Silver@mncppc-mc.org> wrote:

Hi Geoff,

Do you have any update from Byrne about making the necessary project updates (elevation drawing and more detailed written description) about the front porch configuration? As we discussed I need this information by COB today (Tuesday, May 3rd) to process the application. I have concern moving it forward without some additional clarification from you and Byrne.

Thanks for your cooperation,

Josh

Joshua Silver | Senior Planner

Maryland-National Capital Park and Planning Commission

Functional Planning and Policy Division

301-563-3400 phone | 301-563-3412 fax

<http://www.montgomeryplanning.org/historic>

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Silver Spring, MD 20910

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