

7
7111 Cedar Avenue, Takoma Park
(HPC # 3703-11E)
Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Acting-Chairperson

Date: March 14, 2011

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #560198, tree removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the February 23, 2011 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Joel Solomon and Janet Fleischman

Address: 7111 Cedar Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE MD 20850
206 777 4170

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Joel Solomon
Daytime Phone No.: 301-580-7570

Tax Account No.: _____
Name of Property Owner: Joel Solomon/Janet Fleischman Daytime Phone No.: 301-580-7570
Address: 7111 Cedar Ave., Takoma Park, MD 20912
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7111 Street: Cedar Ave.
Town/City: Takoma Park Nearest Cross Street: Tulip Ave.
Lot: 28 Block: 4 Subdivision: BF Gilbert's Addition to Takoma Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|----------------------------------|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>Tree removal</u> | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date: 2-1-11

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 3/15/11
Application/Permit No.: 560198 Date Filed: 2/1/11 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The trees to be removed will not change any structure. The environmental setting is a suburban property. The Taberna Pass arborist has provided a permit for the removal of the trees. Permit no. 1012006. The hemlock is damaging a retaining wall.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

To be removed: A 16 inch dbh Eastern hemlock; and a 7 inch dbh mulberry; and a 10 inch dbh mulberry.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

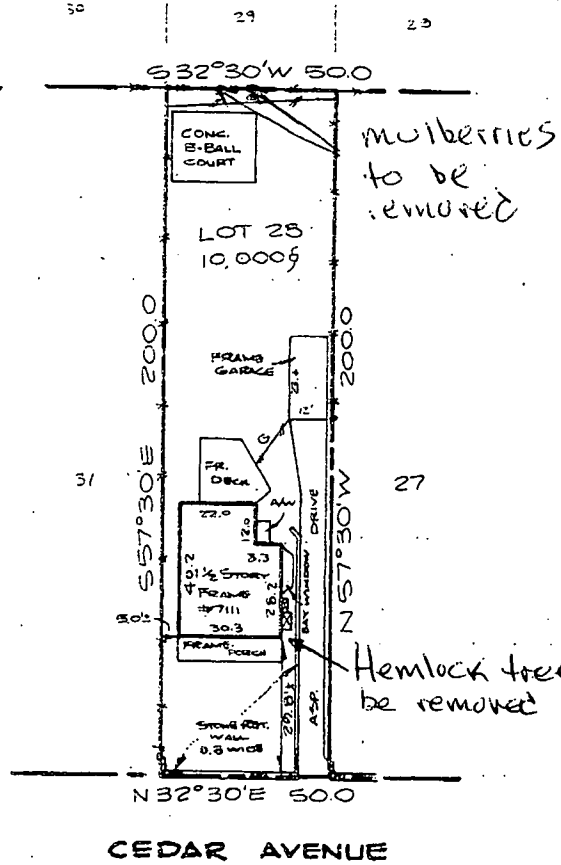
Site Plan

CONSUMER INFORMATION NOTES:


1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

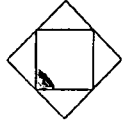
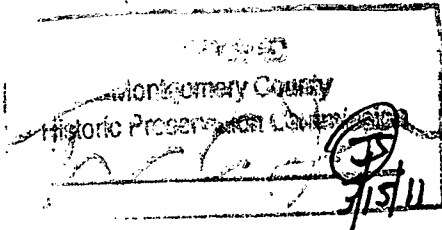
Notes:

1. Flood zone "C" per H.U.D. panel No. 02000
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 Feet.



LOCATION DRAWING
 LOT 28 BLOCK 4
 B.F. GILBERT'S ADDITION TO
TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

<p>SURVEYOR'S CERTIFICATE</p> <p>THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.</p> <p><i>Jeffrey A. Felt</i></p> <p>MARYLAND PROPERTY LINE SURVEYOR REG. NO. 1283</p>	<p>REFERENCES</p> <p>PLAT BK. A</p> <p>PLAT NO. 3</p>	 <p>SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 210 Gaithersburg, Maryland 20878 301/948-5100, Fax 301/948-1288</p>
	<p>LIBER</p> <p>FOLIO</p>	



Shade portion to indicate North

Applicant: Joel Solomon

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7111 Cedar Avenue, Takoma Park	Meeting Date:	3/9/2011
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	3/2/2011
Applicant:	Joel Solomon and Janet Fleischman	Public Notice:	2/23/2011
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-11I	Staff:	Josh Silver
PROPOSAL:	Tree removal		

STAFF RECOMMENDATION:

- Approve
 Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing
STYLE: Bungalow
DATE: c1910-20

PROPOSAL:

The applicants are proposing to remove three trees from the subject property:

1. 16 inch dbh Eastern Hemlock
2. 7 inch dbh Mulberry
3. 10 inch dbh Mulberry.

The City of Takoma Park, Arborist has approved the removal of the three trees with the condition that the applicants contribute toward the City's Tree Fund program.

APPLICABLE GUIDELINES:**Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Joel Solomon
Daytime Phone No.: 301-580-7570

Tax Account No.: _____
Name of Property Owner: Joel Solomon/Janet Fleischman Daytime Phone No.: 301-580-7570
Address: 7111 Cedar Ave., Takoma Park, MD 20912
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____
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Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

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Town/City: Takoma Park Nearest Cross Street: Tulip Ave.
Lot: 28 Block: 4 Subdivision: BF Gilbert's Addition to Takoma Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|---|--|--|--|--|-------------------------------|-------------------------------|
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- 3A. Height _____ feet _____ inches
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

2-1-11
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 560198 Date Filed: 2/4/11 Date Issued: _____

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 7111 Cedar Ave. Tahama Park, MD 20912	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Frank Wiebe and Mary Jane Breinholt 7112 Cedar Ave. Tahama Park, MD 20912	
Doug Gross 7109 Cedar Ave Tahama Park, MD 20912	
Laura D'Corio and Richard Houston 7115 Cedar Ave. Tahama Park, MD 20912	

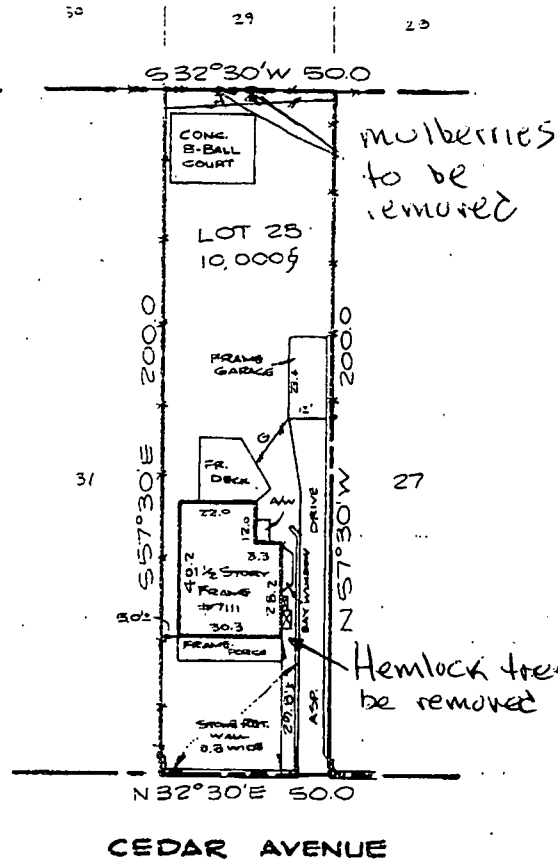
Site Plan

CONSUMER INFORMATION NOTES:


1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

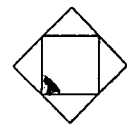
Notes :

1. Flood zone "C" per H.J.D. panel No. 0200C
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 Feet.



LOCATION DRAWING
 LOT 28 BLOCK 4
 B.F. GILBERT'S ADDITION TO
TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION. <i>[Signature]</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 1234	REFERENCES PLAT BK. A PLAT NO. 3	 SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 210 Bethesda, Maryland 20879 301/948-5100, Fax 301/948-1288
	LIBER FOLIO	



Shade portion to indicate North

Applicant: Joel Solomon

Page: 5

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JOEL SOLOMON
7111 Cedar Ave.
Takoma Park, MD 20912
(301) 565-5257, home
(301) 580-7570, mobile

FEB 3 2011

AR

February 1, 2011

Department of Permitting Services
255 Rockville Pike, 2nd Floor
Rockville, MD20850

Dear Department of Permitting Services:

Please find enclosed my application for a permit to remove trees from my property, located at 7111 Cedar Ave., Takoma Park, MD, 20912. I have already obtained the necessary permit from the City of Takoma Park (see enclosed copy of Takoma Park permit no. 1012006). Please note that no structure will be changed in the process of removing the trees.

There are three trees to be removed from the property. The first is a 16 inch dbh eastern hemlock that is destroying a retaining wall. This tree is located at the front of the house, as indicated in the enclosed site plan. There is a picture of this tree included in the enclosed materials. The second and third trees are mulberry trees located at the back of the property, as indicated in the site plan. No picture is enclosed of the mulberries.

Please let me know if there is anything else that you need from me to process the permit.

Sincerely,


Joel Solomon

Date Received in DPS

Mail Log # 270294

Assigned To: R.M.

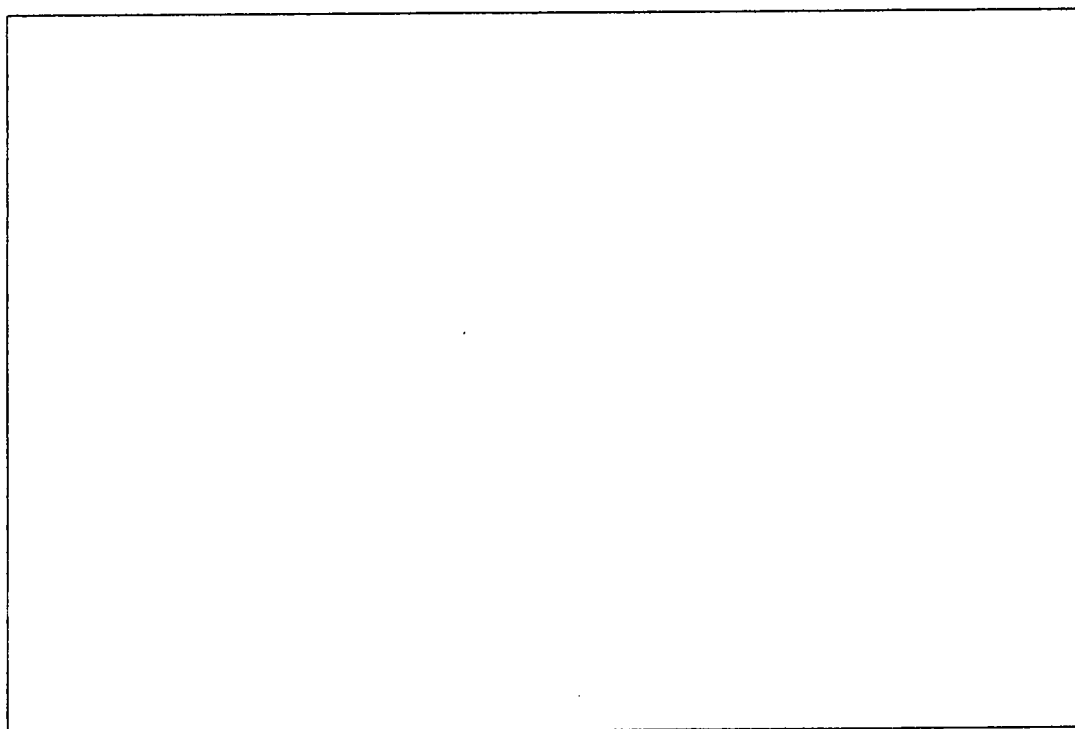
7

Existing Property Condition Photographs (duplicate as needed)



Hemlock to
be
removed

Detail: 16 inch dbh eastern hemlock to be removed.



Detail: _____

Applicant: Joel Salomon

Page: 1

8

City of Takoma Park, Maryland

DEPARTMENT OF PUBLIC WORKS
TELEPHONE: 301-891-7633
FAX: 301-585-2405



31 OSWEGO AVENUE
SILVER SPRING, MD 20910

Fee: \$50.00
Tree Fund: \$525.00

Permit No. 1012006
Issue Date: 12/27/10

TREE REMOVAL PERMIT

Permit for removal of a 16 inch dbh **EASTERN HEMLOCK** tree, a 7 inch dbh **MULBERRY** tree and a 10 inch dbh **MULBERRY** tree from property:

7111 CEDAR AVENUE

ISSUED TO: Joel Solomon & Janet Fleischman
7111 Cedar Avenue
Takoma Park, Maryland 20912

Conditions/Comments:

Tree Fund contribution of \$525.00 received.

Permit Expires: 12/27/11

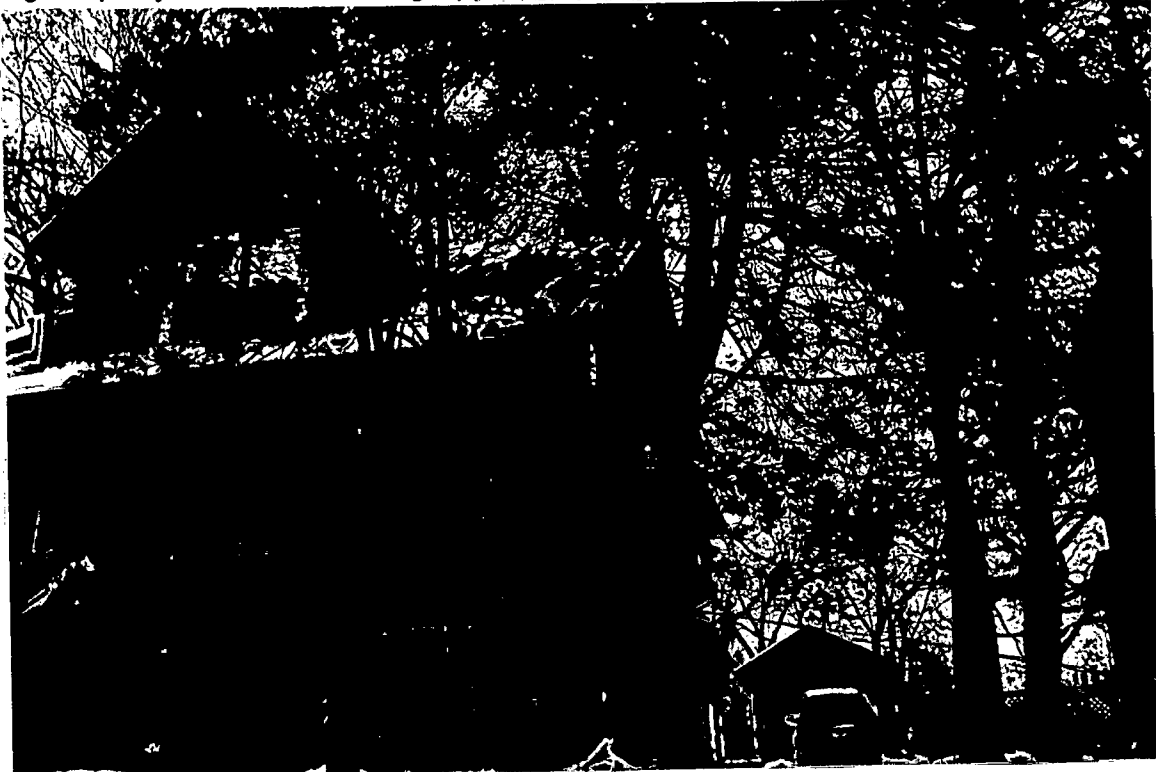
THIS PERMIT IS NOT VALID UNLESS SIGNED BY THE ARBORIST OF THE CITY OF TAKOMA PARK MARYLAND OR HIS DESIGNEE

DATE:

12/27/10

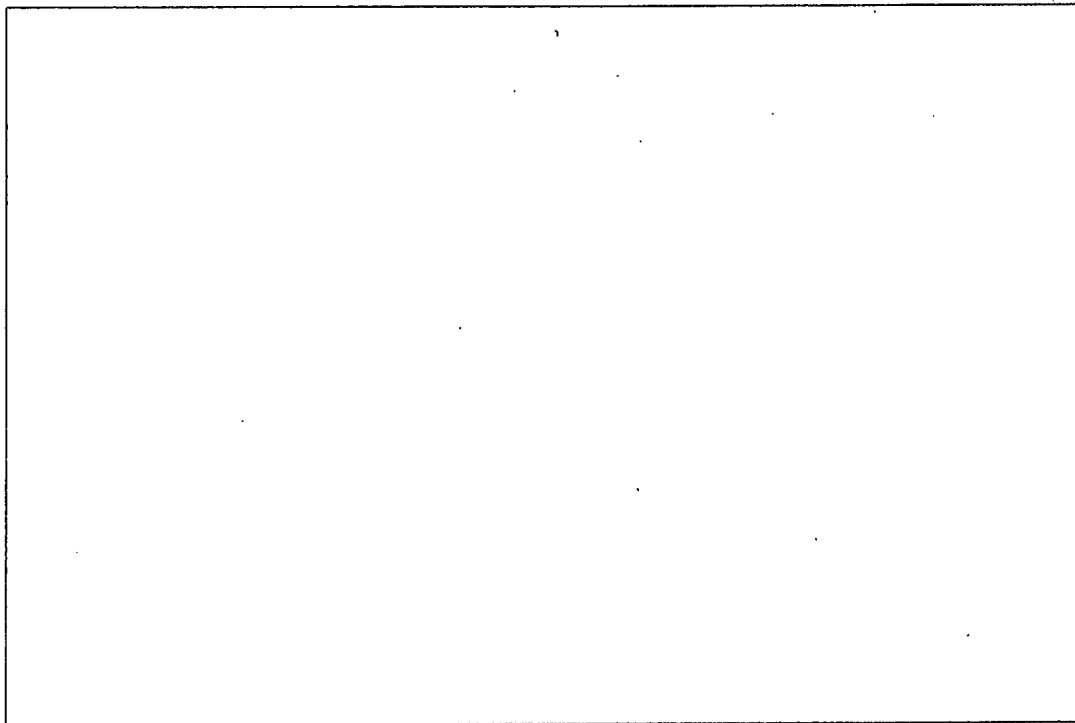
Todd M. Bolton
City Arborist

Existing Property Condition Photographs (duplicate as needed)



Hemlock to
be
removed

Detail: 16 inch dbh eastern hemlock to be removed.



Detail: _____

Applicant: Joel Solomon

Page: 4