

7105 Carroll Avenue, Takoma Park
(HPC Case No. 37H03-11D)
Takoma Park Historic District

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7105 Carroll Avenue, Takoma Park	Meeting Date:	2/9/2011
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	2/2/2011
Applicant:	Mark Rockman (Rick Vitullo, Architect)	Public Notice:	1/26/2011
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-11D	Staff:	Josh Silver
PROPOSAL:	Removal of rear addition and construction of new addition		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Colonial Revival
DATE: c1915-25

PROPOSAL

The applicant is proposing to remove an existing 2 story (10' x 20'), enclosed porch that has been altered from the rear elevation of the house and construct a 13'8" x 19'8", 2 story addition in the same approximate location.

The proposed material treatments for the addition include wooden sheathing materials, wooden simulated divided light windows and door, fiber cement panels, and asphalt shingle roof.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the

predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- major additions should, where feasible should be placed to the rear of the existing structure so that they are less visible from the public right-of-way;
- while additions should be compatible, they are not required to be replicative of earlier architectural styles;
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic

resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed removal of the existing 2 story enclosed porch and construction of a 2 story addition at the rear of the house. According to the 1927 Sanborn Fire Insurance Map, the porch was originally open on both stories sometime prior to 1927. The porch appears to be original to the house; however, an exact construction date has not been determined.

The applicant has provided a structural engineers report that documents structural deficiencies and deterioration to the foundation, framing, and roof members. (See Circles 22-23)

Staff supports the removal of the 2 story enclosed porch finding it consistent with Chapter 24A-8(b)(1). The existing porch contains evidence of significant alterations that are incompatible with the resource type and style, as such the removal of the porch structure will not substantially alter the exterior features of the historic resource.

The subject property is a corner lot. The proposed addition will be readily visible from the public right-of-way from three sides. Staff finds the proposed design and location of the 2 story addition in the same approximate location as being consistent Chapter 24A-8(b)(1) & (2), *Standards* #9 and 10 and *Guidelines* above. The proposed work is compatible with the predominant architectural style of the resource and will have negligible impact on the streetscape of the historic district. The proposed design recalls characteristics of a porch-like structure and uses materials and window treatments that are compatible with the historic massing that will not destroy features that characterize the property. The proposed addition will maintain a similar footprint to the historical dimensions and will be inset to express differentiation.

Staff finds that the proposed work is consistent with the HPC's review criteria referenced above and recommends approval of the HAWP application.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b)(1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR ROCKVILLE MD 20850
240-777-5270

DPS - #8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: RICHARD J. VITULLO

Daytime Phone No.: (301) 920-0737

Tax Account No.: 01075363

Name of Property Owner: MARK ROCKMAN Daytime Phone No.: (301) 270-5615

Address: 7105 CARROLL AVE. TAKOMA PARK MD 20912
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: RICHARD J. VITULLO Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7105 Street: CARROLL AVE.

Town/City: TAKOMA PARK Nearest Cross Street: COLUMBIA AVE.

Lot: 15 Block: 19 Subdivision: B.F. GILBERT'S ADDITION TO TAKOMA PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 100,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

#559053

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]

Signature of owner or authorized agent

1/19/11

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

5



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CONTRIBUTING RESOURCE RESIDENCE, COLONIAL REVIVAL
CIRCA 1915-25, EXISTING REAR ADDITION HAS BEEN
RENOVATED OVER THE YEARS; SECOND FLOOR PORCH ENCLOSED
IN 1990'S WITH ALUMINIUM SLIDING WINDOWS, ALL AROUND.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REMOVE STRUCTURALLY DEFICIENT REAR ADDITION (10'0" x 20'0")
AND REPLACE WITH 2 STORY ADDITION (13'8" x 19'0")

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context.
*All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Mark Rockman
7105 Carroll Ave.
Takoma Park, MD 20912

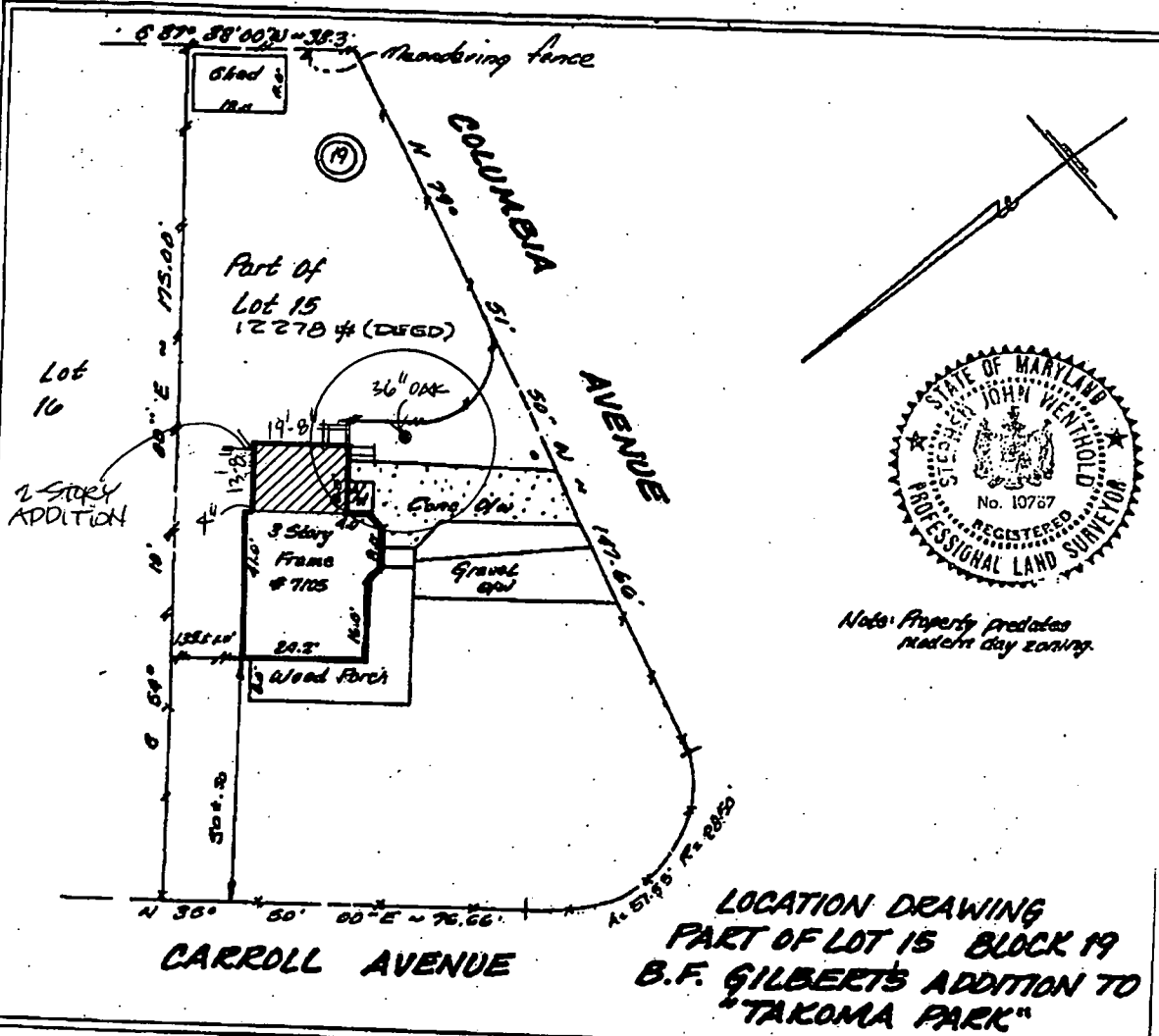
Adjoining Property Owners

HAWP

Jennifer Gillispie
7107 Carroll Ave.
Takoma Park, MD 20912

David & Lori Potts-Dupre
8 Columbia Ave.
Takoma Park, MD 20912

Joan Marsh (Owner of 7114 Carroll Ave.)
328 Lincoln Ave.
Takoma Park, MD 20912



Note: Property predates modern day zoning.

LOCATION DRAWING
PART OF LOT 15 BLOCK 19
B.F. GILBERT'S ADDITION TO
"TAKOMA PARK"

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

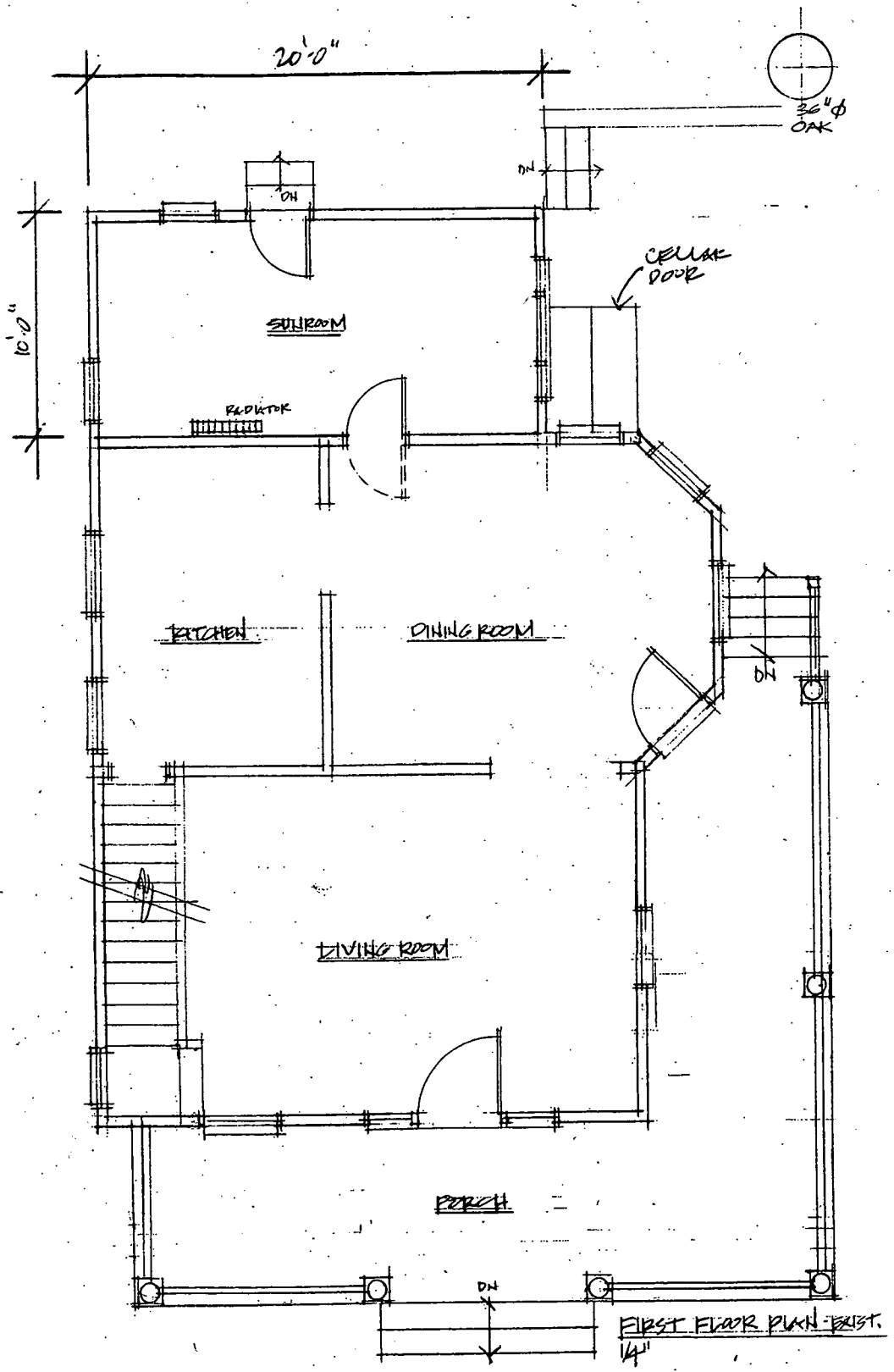
Stephen J. Wenthold
Stephen J. Wenthold, Maryland RLS Reg. No. 10767

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Date: 4-17-96
Scale: 1"=30'
Plat Book: A
Plat No.: 2

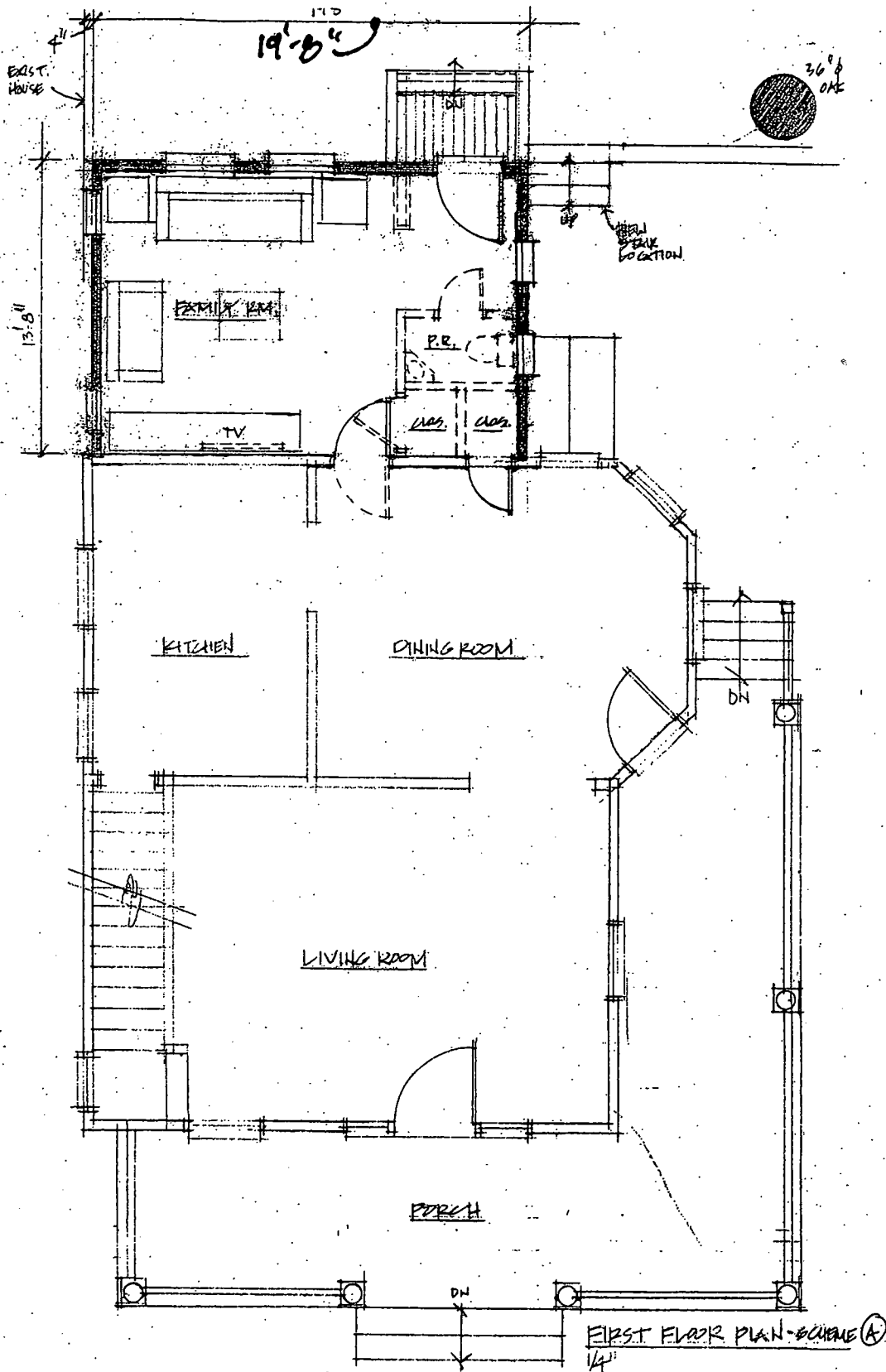


Address: 7105 Carroll Avenue
District: 13
Jurisdiction: Montgomery County, Maryland



(6)

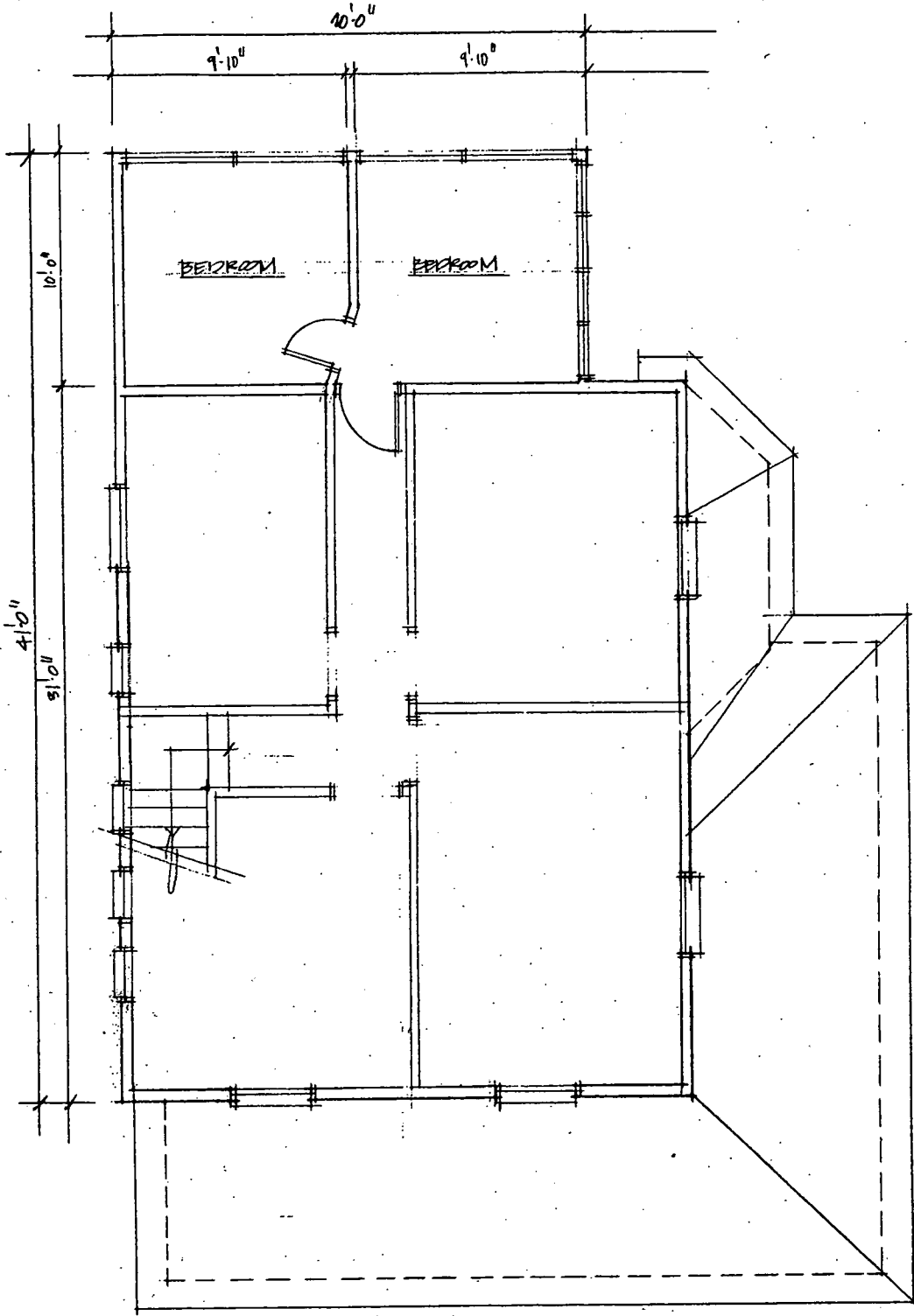
(9)



Vitullo Architecture Studio, PC
 7016 Woodland Ave.
 Takoma Park, MD 20912
 (301)920-0737

ROCKMAN RESIDENCE
 7105 CARROW AVE
 TAKOMA PARK, MD
 1/14/11

①



EXISTING
SECOND FLOOR PLAN
14"

9

11

12

2

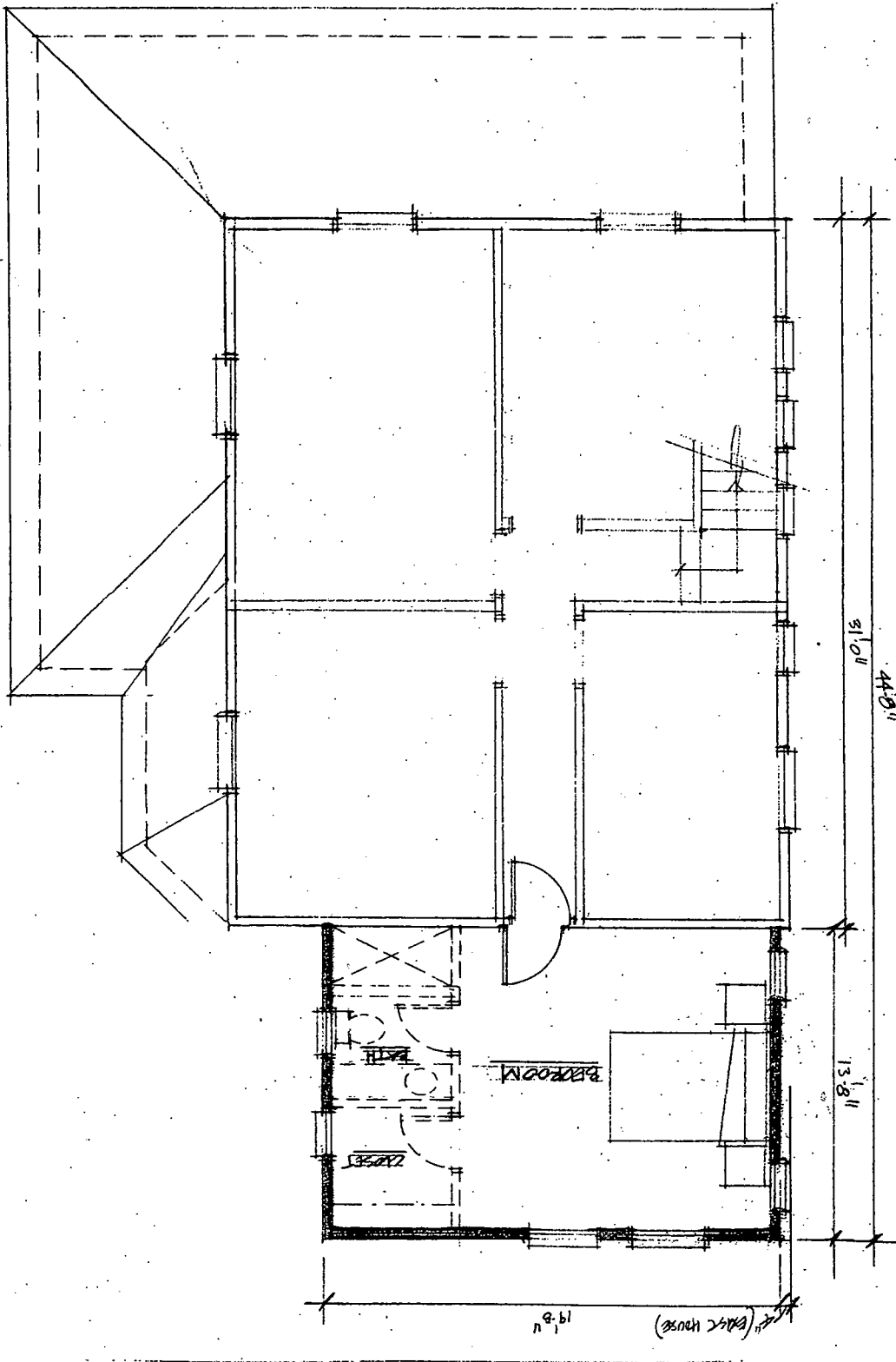
ROCKMKN

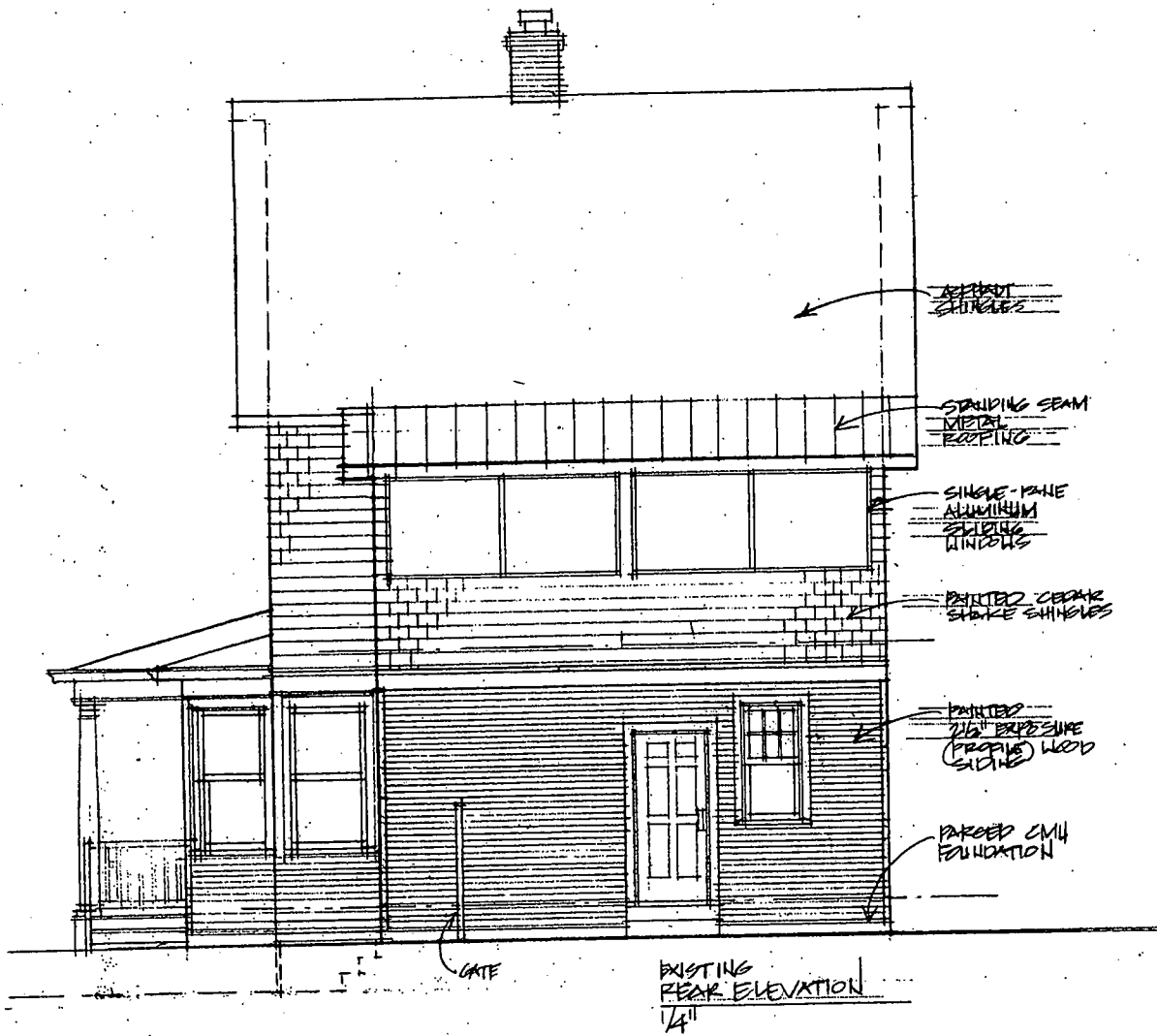
11/5/11

1/4"

SECOND FLOOR PLAN - SCHEDULE A

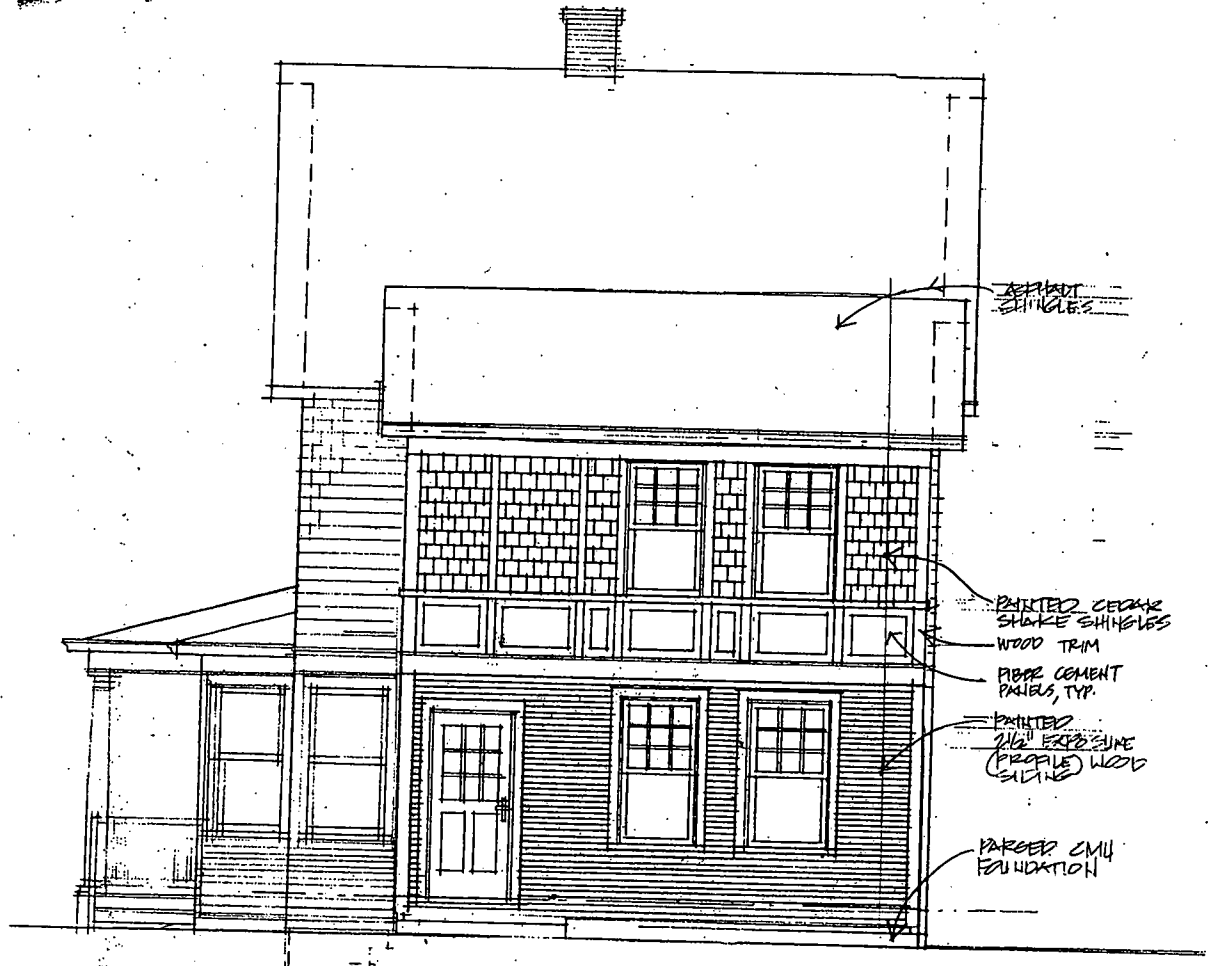
Vitullo Architecture Studio, PC
7076 Woodland Ave.
Takoma Park, MD 20912
(301) 920-0757





11

13

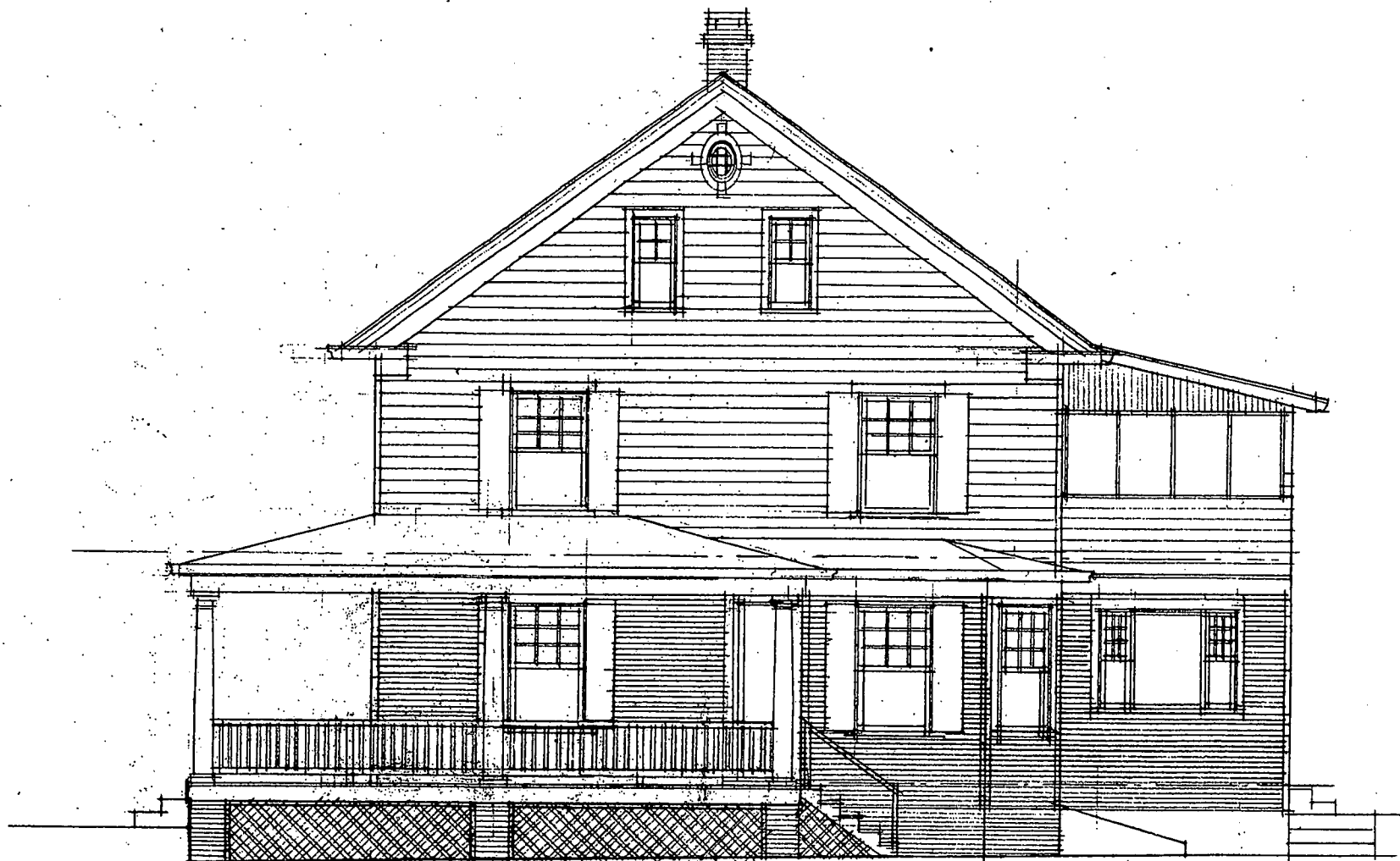


Vitullo Architecture Studio, PC
 7016 Woodland Ave.
 Takoma Park, MD 20912
 (301)920-0737

REAR ELEVATION - SCHEME (A)
 1/4"

1/14/11
 ROCKMAN

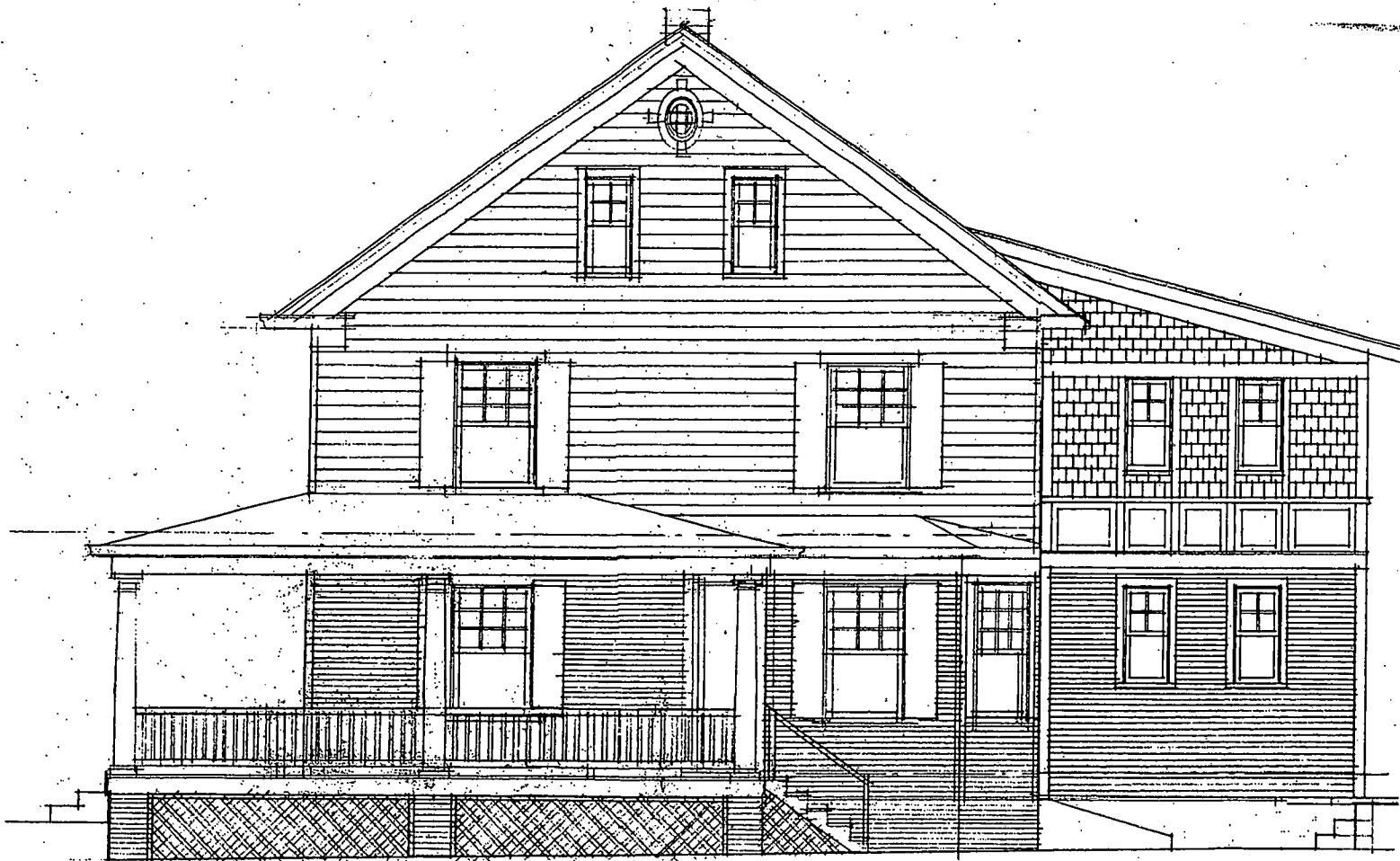
14



EXISTING
SIDE ELEVATION

12

5



Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)920-0737

SIDE ELEVATION - SCHEME (A)

1/14/11
ROCKMAN

(3)

16

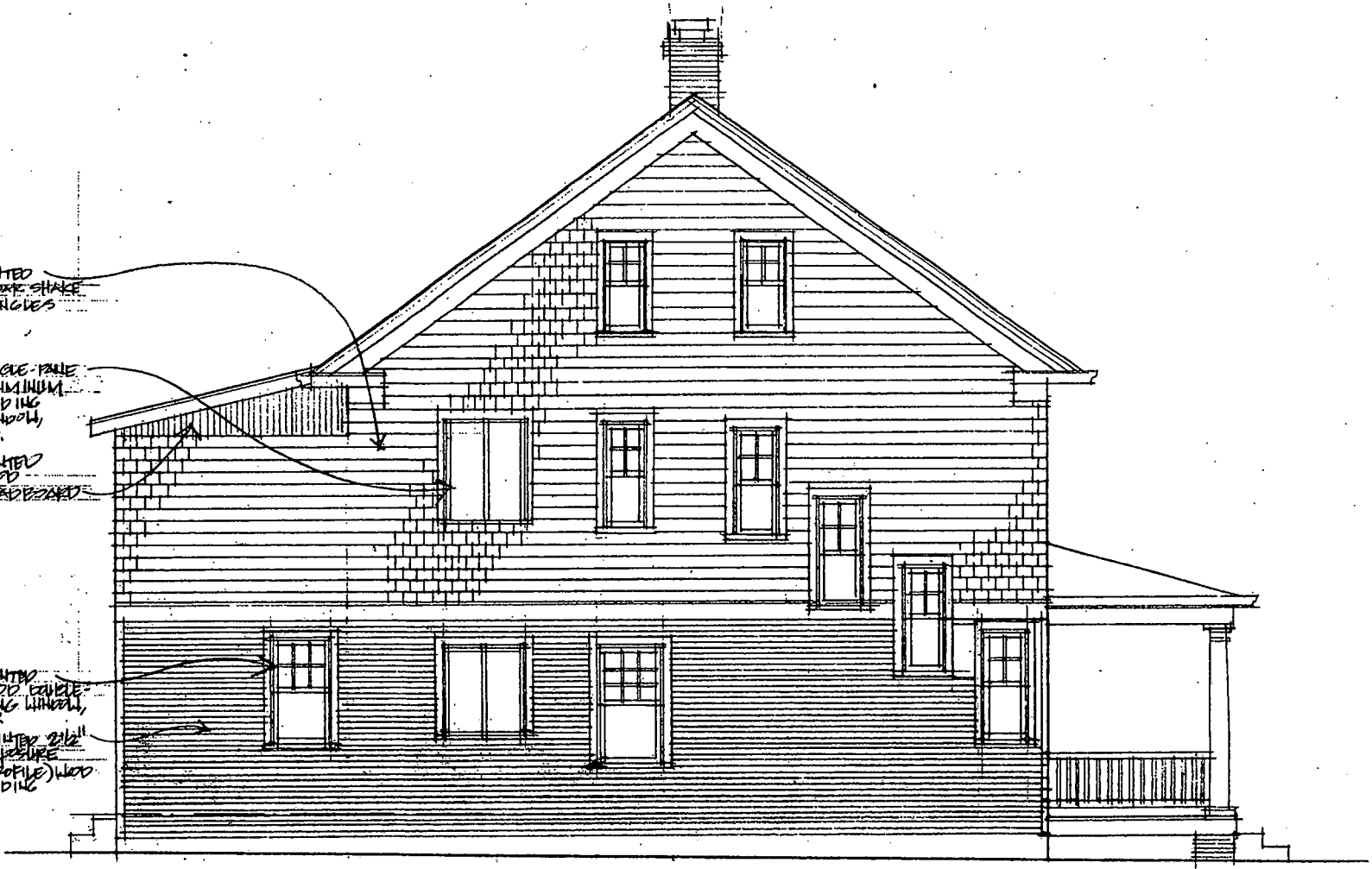
PAINTED
CEDAR SHAKE
SHINGLES

SINGLE-PANE
ALUMINUM
SLIDING
WINDOW,
TOP

PAINTED
WOOD
BRACKET

PAINTED
WOOD DOUBLE
HUNG WINDOW,
TOP

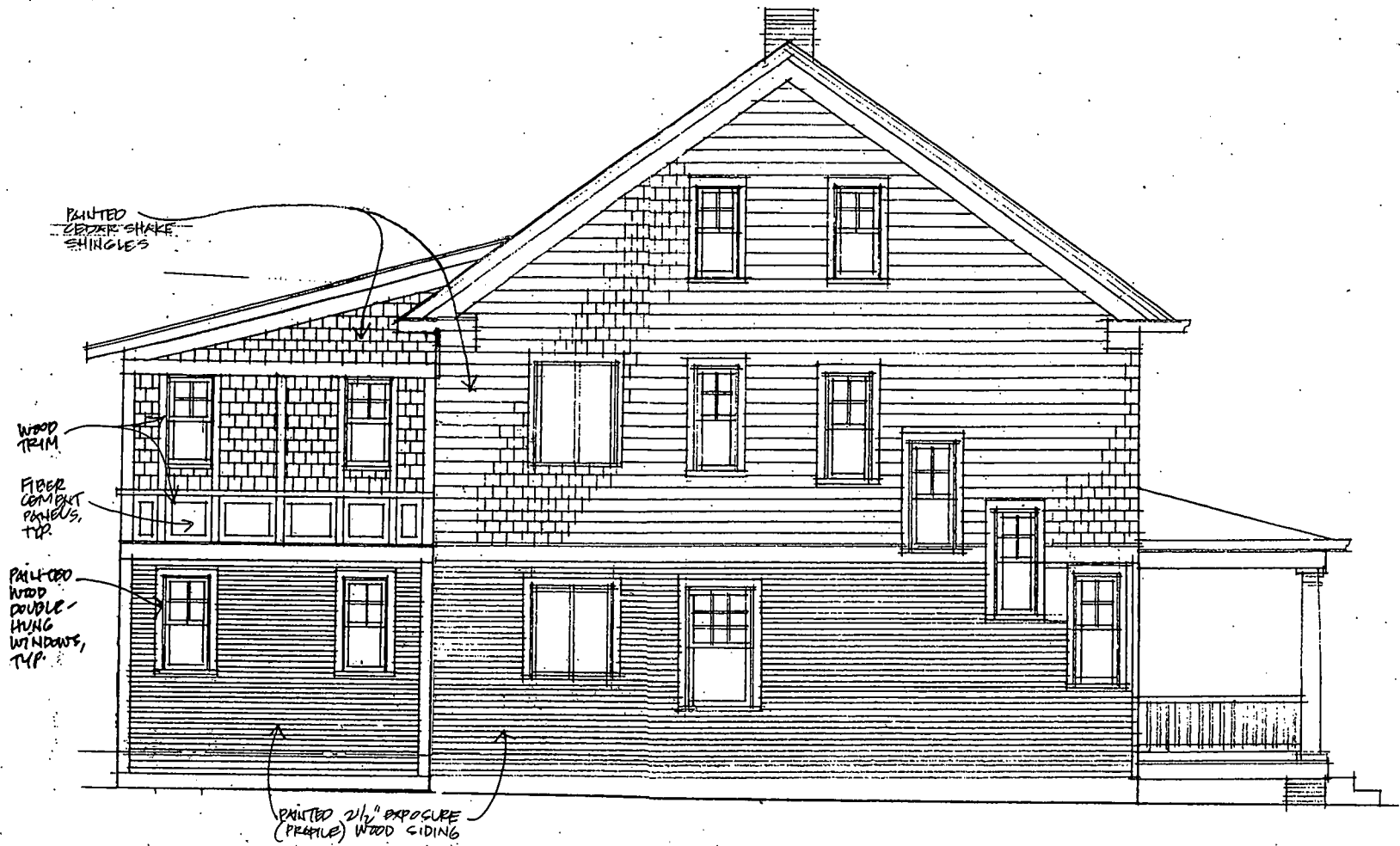
PAINTED
WOOD
EXPOSURE
(PROFILE) WOOD
SIDING



EXISTING
SIDE ELEVATION
14

10

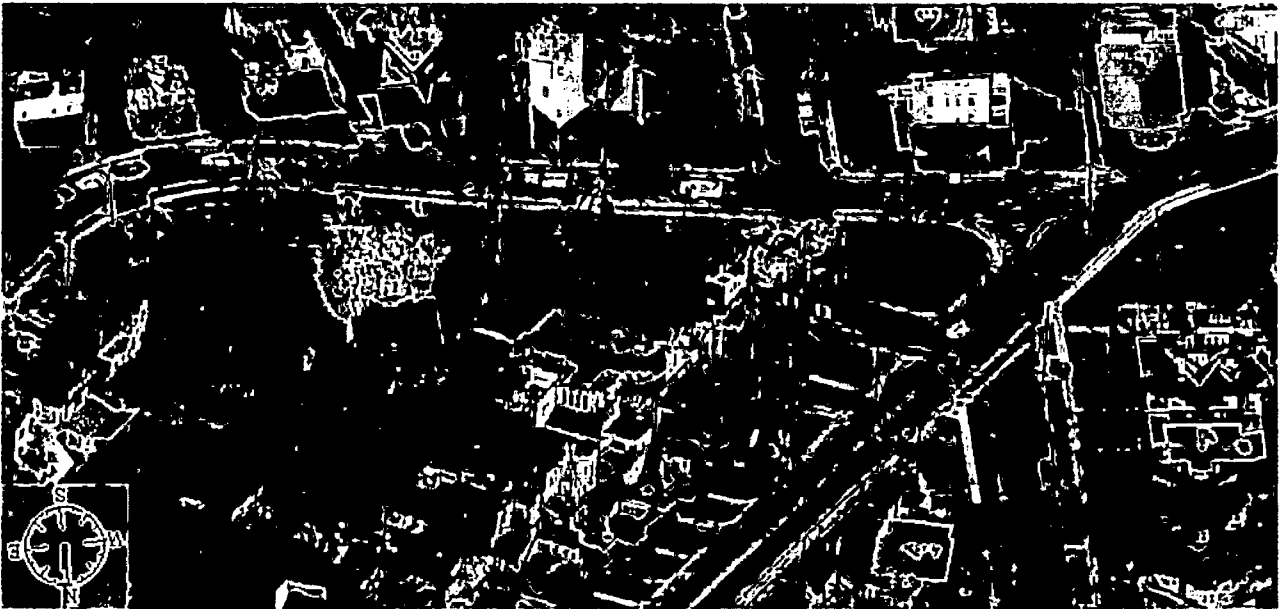
17



Vitullo Architecture Studio, PC
 7016 Woodland Ave.
 Takoma Park, MD 20912
 (301)920-0737

SIDE ELEVATION - SCHEME (A)
 14"
 1/14/11
 ROCKMAN

(H)



7105 Carroll Avenue, Takoma Park



REAR ELEVATION



SIDE ELEVATION

7105 CARROW AVE.
TAKOMA PARK, MD

F
P

20



FRONT ELEVATION

①

7105 CARROLL AVE.
TAKOMA PARK, MD

21

NORTON CONSULTING ENGINEERS, LLC
2235 REGINA DRIVE - CLARKSBURG, MD 20871
OFFICE (301) 865-6010 - FAX (301) 865-9669 - CELL (240) 393-3672

January 15, 2011

Mr. Mark Rockman
7105 Carroll Avenue
Takoma Park, MD

Re: 7105 Carroll Avenue

Mr. Rockman,

I visited the above-referenced property at the request of your architect, Mr. Richard Vitullo, to perform a visual assessment of the structural conditions of the two-story, rear addition to the home, pursuant to possible renovation of this rear addition. You expressed reservation regarding the overall condition of the rear addition structure, as well as concern for the settlement of the addition's foundation wall.

The house is a two-story, wood-frame structure. The rear addition appears to have been open sleeping porches originally built on piers, which were subsequently enclosed later in time. The foundation wall of the addition is a compilation of in-fill c.m.u. block. This foundation wall appears to be experiencing differential settlement.

Marked settlement of the addition structure has occurred at the mid-point of the rear foundation wall, as well as at the side foundation wall adjacent the driveway. Part of this settlement appears to be due to deteriorated framing, as the addition's first floor framing is at grade at the rear. The area below the addition's first floor is crawlspace (less than 12 inches from soil grade to first floor joist). Because this crawlspace is filled with rubble, the condition of the first floor joists could not be clearly observed.

The roof of the rear addition consists of 2x6 rafters at 24" on centers. These rafters are sagging, and have caused the interior drywall seams to crack. The second floor addition walls are comprised of window slider units (approximately 5'-0" x 5'-0") from corner to corner. These windows are not properly installed or flashed, which is allowing moisture to access the structure below.

Horizontal shear cracks (greater than 1/4" wide) were observed in the addition's first floor drywall, which are indicative of lateral movement of the structure. Vertical settlement cracks were also seen in the addition's first floor interior walls and wall finishes, which indicate overall settlement of the addition structure. The nailing pattern in the addition's interior drywall demonstrates a lack of uniformity in the wall stud spacing.

Based on the above-noted observations, the two-story rear addition has numerous structural conditions which compromise the structure's integrity. Some of these are:

- The in-fill foundation wall has settled and can continue to settle because its discontinuity allows moisture into the crawl space, which undermines the foundation footing.
- The in-fill foundation wall does not appear to be at the same depth as the adjacent full basement.
- The rear yard has a negative grade sloping toward the rear addition wall, which permits moisture to access (and ultimately undermine) the foundation footings.
- Due to the frame structure's proximity to grade, the first floor joists and wall framing of the addition appear to have deteriorated.
- The roof members of the addition are undersized, necessitating a new roof structure.
- The second floor walls require replacement to be in compliance with building code.

Due to the extensive structural irregularities and insufficiencies of the two-story rear addition in question, repair of the existing structure would far exceed the cost of its demolition and replacement. I recommend the most reasonable and practical course of action to be, removal of the existing addition structure, and installation of a new structure atop a proper foundation, conforming to current building codes.

Should you have any questions, or require further assistance, please call.

Very truly yours,

George W. Norton PE



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Leslie Miles
Acting-Chairperson

Date: April 21, 2011

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #559053, removal of rear addition and construction of new addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the April 13, 2011 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mark Rockman

Address: 7105 Carroll Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: RICHARD J. VITULLO
Daytime Phone No.: (301) 920-0737

Tax Account No.: 01075363
Name of Property Owner: MARK ROCKMAN Daytime Phone No.: (301) 270-5615
Address: 7105 CARROLL AVE, TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: RICHARD J. VITULLO Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7105 Street: CARROLL AVE
Town/City: TAKOMA PARK Nearest Cross Street: COLUMBIA AVE
Lot: 15 Block: 19 Subdivision: B.F. GILBERT'S ADDITION TO TAKOMA PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 100,000.00
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: #559053
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

R. Vitullo _____ Date: 4/11
Signature of owner or authorized agent

Approved: X For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 4/21/11
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: RICHARD J. VITULLO

Daytime Phone No.: (301) 920-0737

Tax Account No.: 01075363

Name of Property Owner: MARK ROCKMAN Daytime Phone No.: (301) 270-5615

Address: 7105 CARROLL AVE, TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: RICHARD J. VITULLO Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7105 Street: CARROLL AVE

Town/City: TAKOMA PARK Nearest Cross Street: COLUMBIA AVE

Lot: PART OF 15 Block: 19 Subdivision: B.F. GILBERT'S ADDITION TO TAKOMA PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 - Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 - Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 100,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

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2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
 - Entirely on land of owner
 - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed, and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

R. Vitullo

Signature of owner or authorized agent

1/19/11

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 4/21/11

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

STRUCTURAL NOTES

Any Federal, State or Municipal laws, codes, rules or regulations as may be applicable shall be complied with, whether or not indicated and/or specified herein. This building is designed in conformance with the 2009 Edition of the International Residential Code (IRC), and the 2009 edition of the International Building Code (IBC) along with any adopted amendments from local agencies. All work shall be performed in a workmanlike fashion in conformance with rules of accepted good practice.

General:

The following live loads were utilized in the design:

- School classroom, live floor loads 40psf,
- Hallways, and stairs live load 80psf
- Snow load 30psf
- Dead load: floors and roofs 10 psf
- Wind Speed design parameter = 90-mph. Seismic Design category is B.

Concrete

All concrete to have minimum compressive strength (F'c) = 3000 psi in 28 days, with maximum slump of 4". Exterior slabs, including garage floor slabs, shall have a minimum strength of 4000 psi. All concrete shall be poured in accordance with ACI 301 specification. Concrete exposed to weather to be air entrained.

All reinforcing steel to meet ASTM-A-615 Grade 60. Detailing, fabricating and placing of reinforcement shall be in accordance with ACI-315 "Manual of Standard Practice for Detailing Reinforced Concrete Structures". Furnish support bars and all required accessories in accordance with C.R.S.I. Standards. All reinforcing to be spliced a minimum of 40 bar diameters. Welded wire fabric shall conform to ASTM A-185.

All reinforcing bars that intercept perpendicular elements shall terminate in hooks, placed two (2) inches clear from outer face of element.

No concrete shall be placed until the Contractor has installed all reinforcing, and inspected by the building official.

Protective cover for reinforcing steel shall be as follows:

- Footings - 3" from bottom
- Beams and columns - 2" -exposed to weather
- Slab - mid-depth (uno)
- Walls - 1 1/2" at interior face, 3" at exterior face.
- Wire mesh to be placed at mid-depth of slab.

Concrete slabs-on-grade to be 4" thick, reinforced with 6x6 W1.4 x W1.4 and shall be placed on 6 mil. vapor barrier over 4" of compacted gravel. If additional reinforcing is required, it will be shown in the Drawings.

Steel

All structural steel shall conform to ASTM A-36.

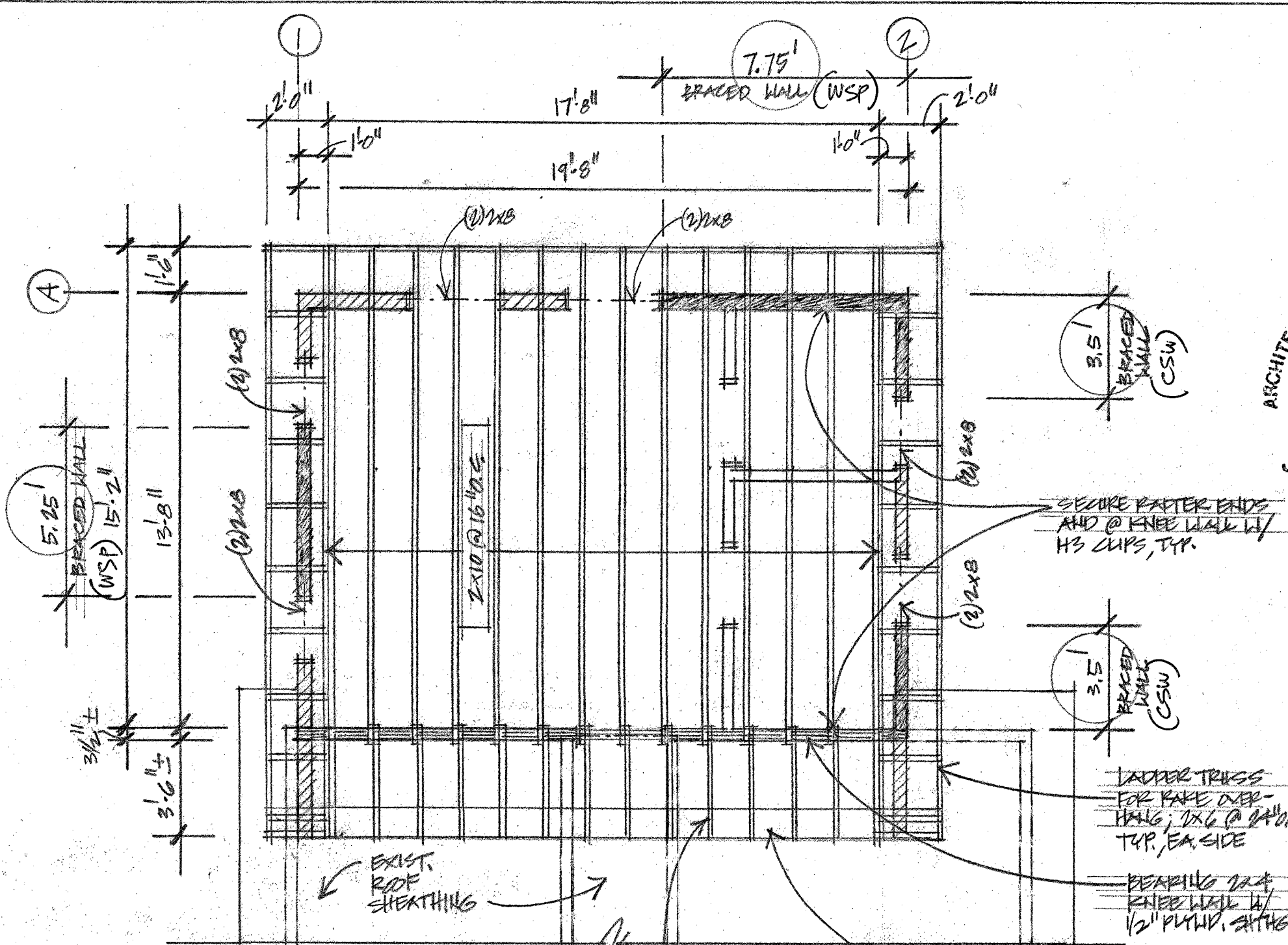
- Pipe to be A-53, schedule 40
- Tube to be A500 or A501.
- Detailing to be in accordance with AISC Structural Steel Detailing Manual.
- Connections shall be capable of supporting allowable uniform load stress of 24 ksi.
- Bolted field connections shall be 3/4" diameter high strength bolts meeting ASTM Spec. A-325.
- Bolted joints to be bearing type using the turn-of-the-nut method of tightening, except add hardened washer under turned element.

All welders shall be certified in accordance with the American Welding Society. All welding electrodes, machines, etc. shall be compatible with the type of steel being welded.

Provide all base and bearing plates, anchors, inserts, ties, clips, straps, hangers, bolts and all other hardware and fastening devices as required.

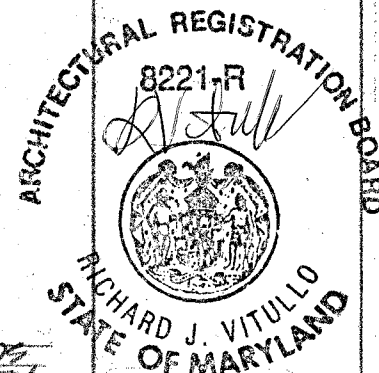
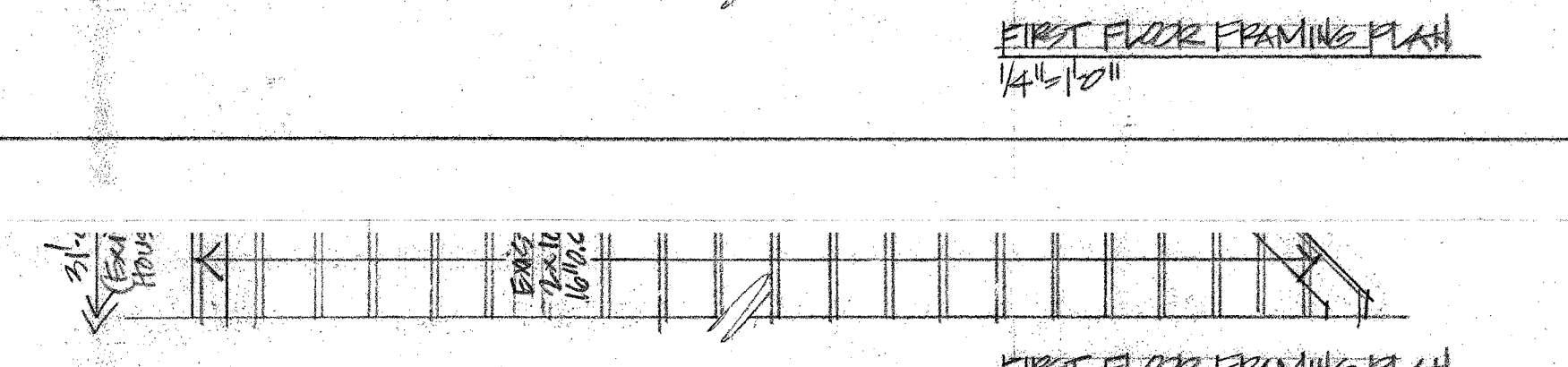
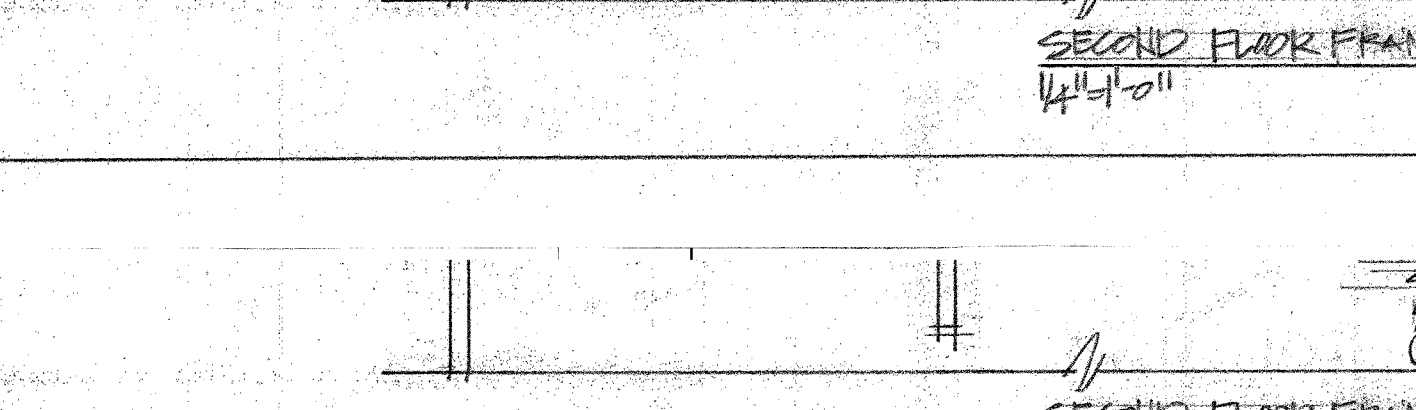
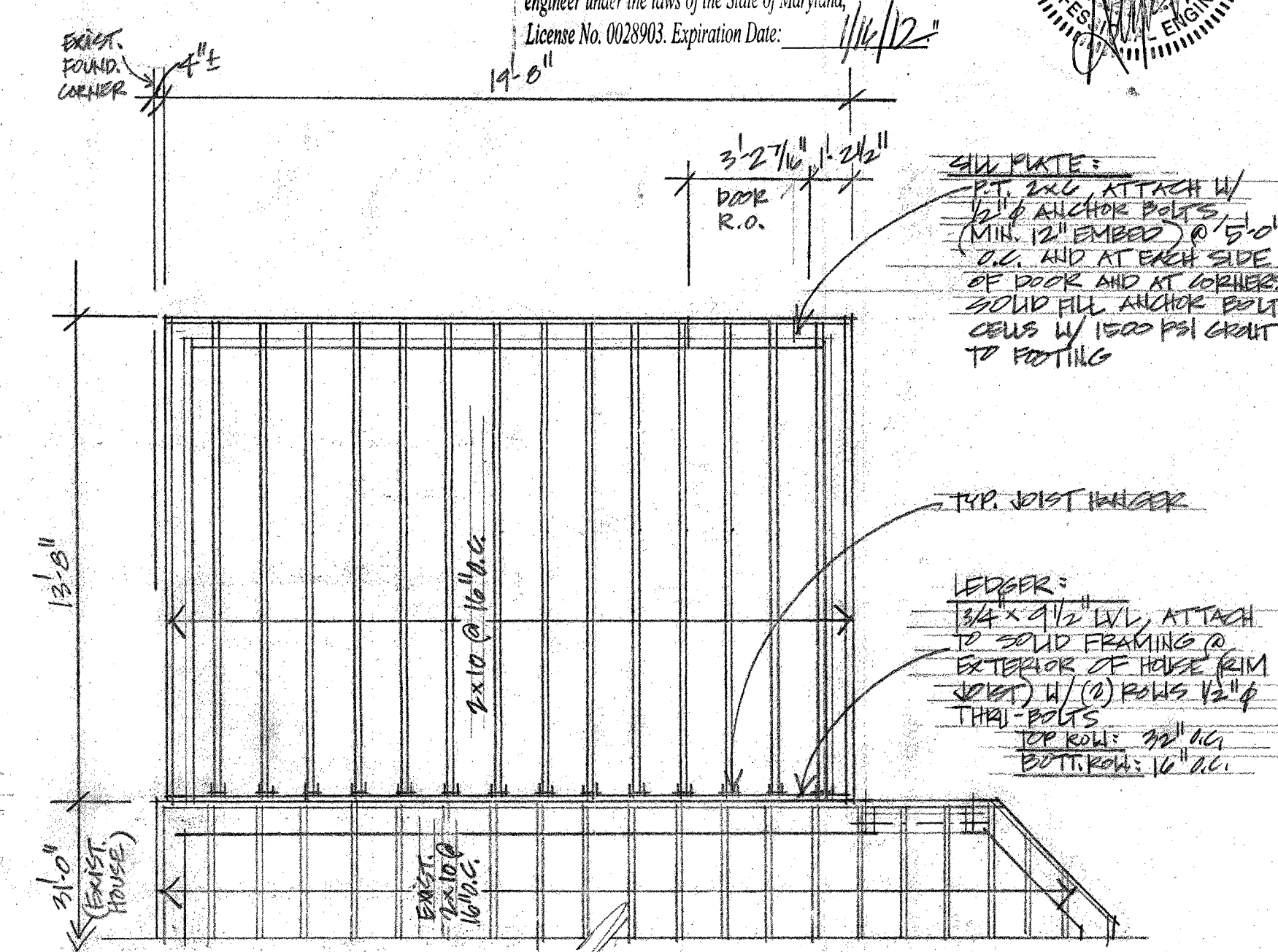
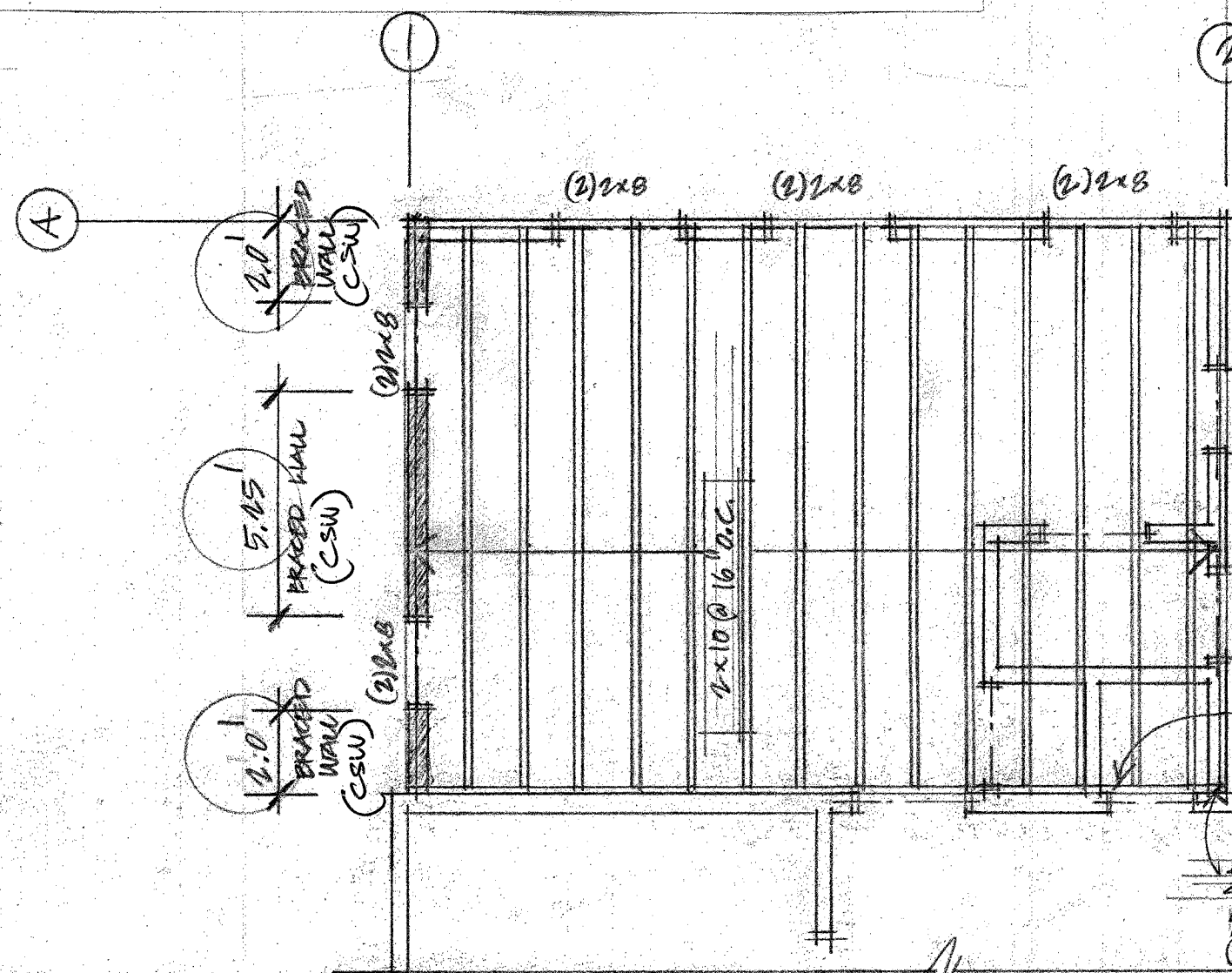
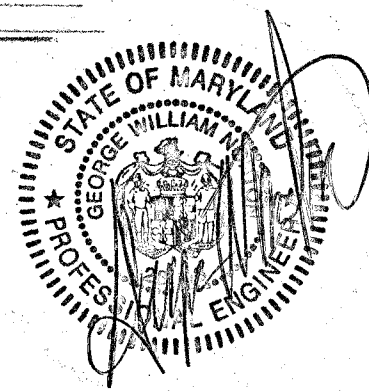
Wood

All lumber, not specified to be treated-pine, shall be Hem Fir, Grade #2 or Spruce-Pine-Fir, Grade #2, or better. *Note: Spruce-pine-fir (south) is not acceptable.



WIND BRACING SCHEDULE						
(All Wind Bracing according to 2009 IRC, Section 602.10, Table 602.10.1.2)						
Floor	Brace Wall (BW)	Brace Wall Spacing	Method used	Brace Wall / Req'd	Brace Wall / Actual	Status
2nd Floor	A	14'	WSP	3.0'	7.75'	OK
	1	20'	WSP	4.0'	5.25'	OK
1st Floor	2	20'	CSW	3.5'	7.0'	OK
	1	15.0'	CSW	7.5'	9.0'	OK

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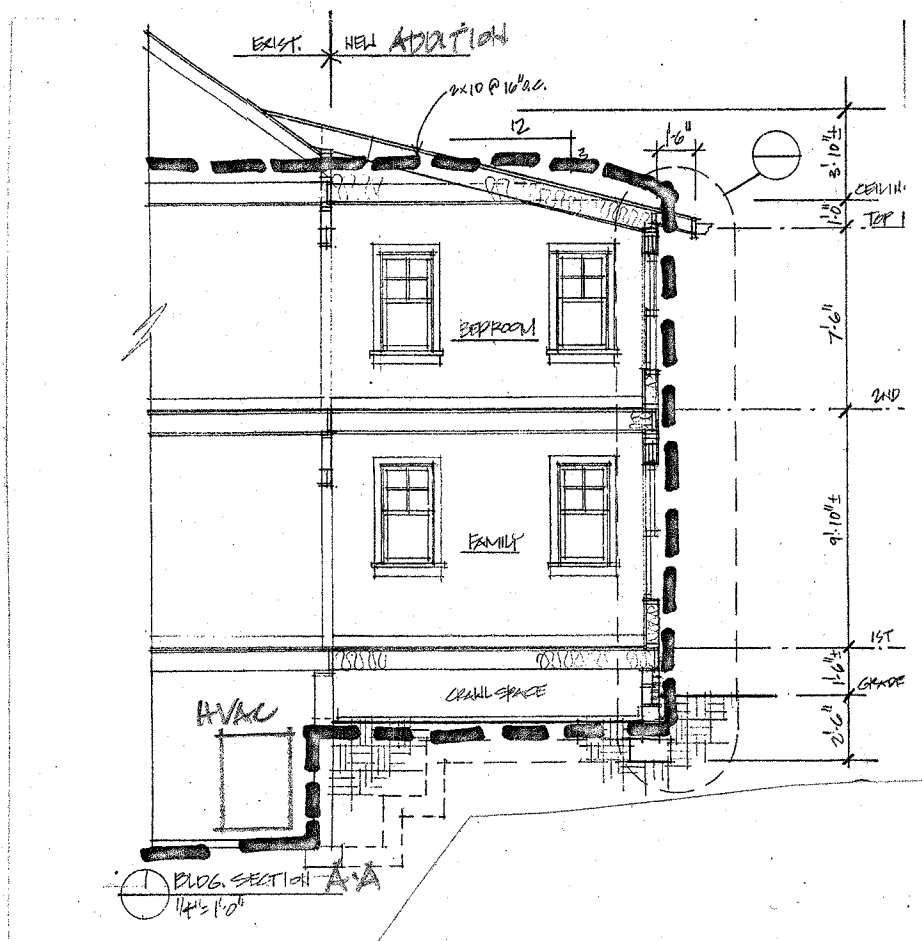
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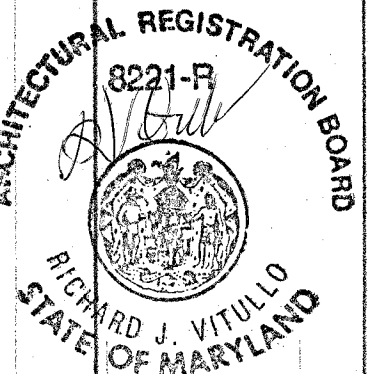
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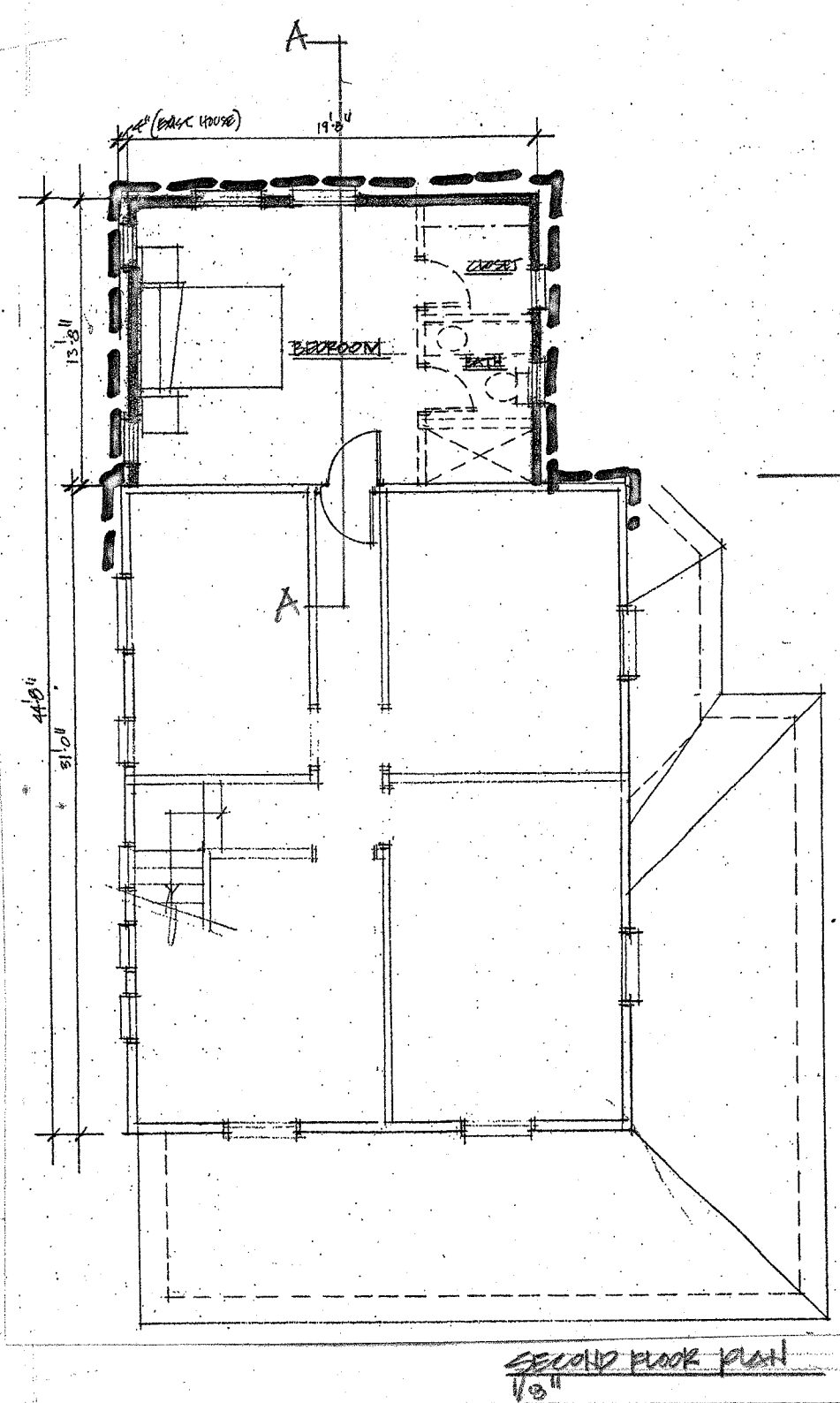


AIR BARRIER, INSULATION AND THERMAL BARRIER SCHEDULE		
* This schedule is based on Table N1102.4.2 from the 2009 IRC.		
Component	Thermal Barrier Provided	Air Barrier Provided
1 Ceiling joists below attic	R-38 batt insulation	(unconditioned attic)
2 Roof rafters above attic	(unconditioned attic)	House wrap over roof sheathing
3 Exterior Walls, 2 x 6 (including corners and headers)	R-19 kraft-faced batt insulation	Sealant at all interior vertical and horizontal framing member joints; house wrap on exterior
4 Windows & Doors	Install sealant and/or closed cell foam sealer between jambs and frame	Install sealant and/or closed cell foam sealer between jambs and frame
5 Wall Sill Plate	Install sill sealer between bottom wall plate and subfloor	Install sill sealer between bottom wall plate and subfloor
6 Rim Joists	Install R-30 batt insulation in bay adjacent to rim joist	House wrap at exterior
7 Floors (above unconditioned spaces)	n/a	n/a
8 Crawlspace Walls	R-10 minimum rigid insulation board	House wrap on underside of joists
9 Shafts and Penetrations	Install sealant at all gaps and joints	House wrap at exterior/ sealant at perimeter of penetration
10 Narrow Cavities	R-19 batt insulation	House wrap at exterior
11 Garage Separation	n/a	n/a
12 Recessed Lighting	n/a	n/a
13 Plumbing and Wiring	R-19 kraft-faced batt insulation	House wrap on exterior
14 Shower/tub at Exterior Wall	R-19 kraft-faced batt insulation	House wrap on exterior
15 Electrical and Communication boxes	R-19 kraft-faced batt insulation	House wrap on exterior; use air-seal electrical boxes
16 Party/Common Wall	n/a	n/a
17 HVAC Register boots	Install sealant at all gaps and joints	Install sealant at all gaps and joints
18 HVAC Ducts	All ducts to have minimum R-8 in unconditioned spaces; R-6 in conditioned spaces, per 2009 IRC M1601.4.1	Install sealant at all gaps and joints/ per 2009 IRC M1601.4.5
19 Fireplace	n/a	n/a

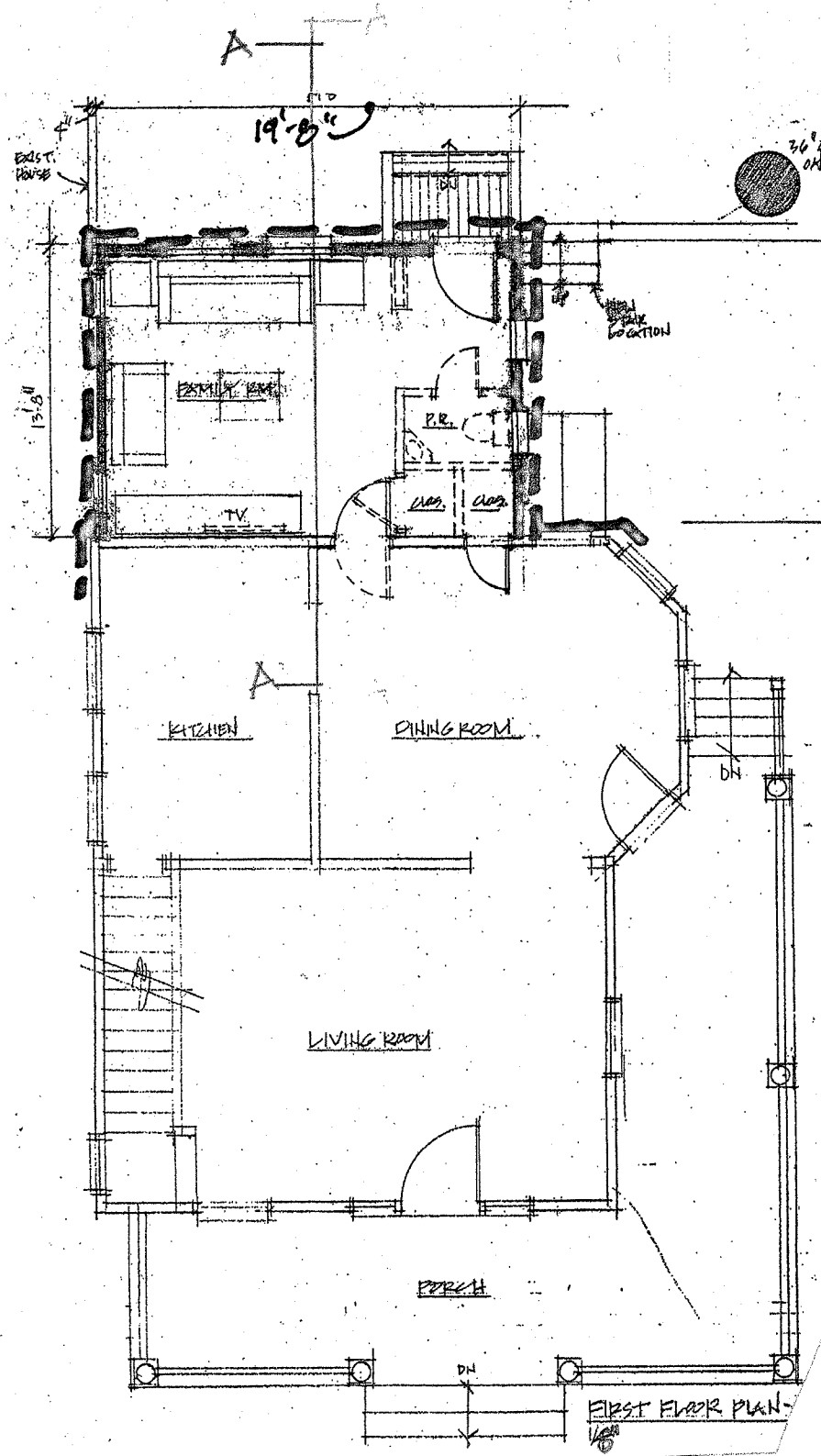
1. All exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier.
 2. All breaks or joints in the air barrier are filled or repaired.



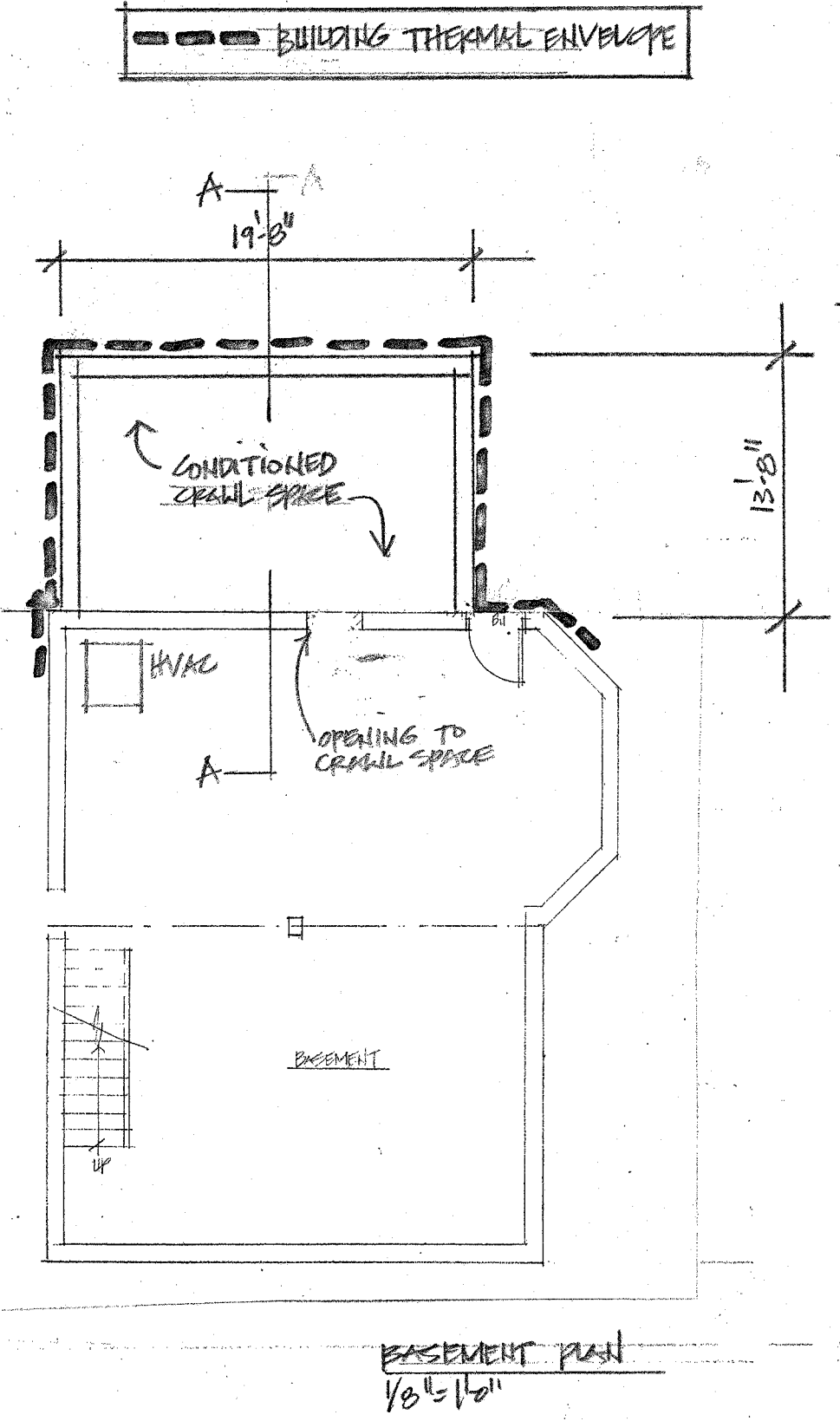
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EXIST. NEW ADDITION



EXIST. NEW ADDITION



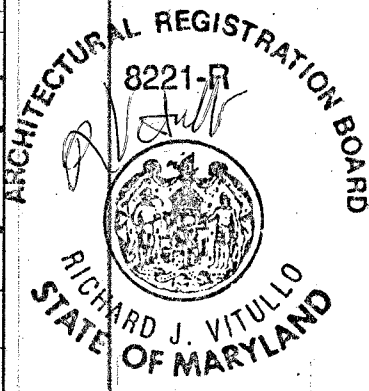
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WINDOW SCHEDULE					Manufacturer- Windows: Marvin										
No.	Mfr. No.	Height, Unit (R.O./ M.O.)	Width, Unit (R.O.)	Jamb Depth	Window Type/Material	Glazing Type	Grille Structure	Mullion Divisions	Screens / Screen Door	Exterior Clad Color	Overall Opening Size (Total s.f.)	U-value Total Unit	Egress window	Quant.	Remarks
A	WUDH 2020	4'-1" (4'-1 1/2" R.O.)	2'-1 3/8" (2'-2 3/8" R.O.)	5 1/2" wall	Double hung /wood interior & wood exterior	Tempered/ Insulating Low E II glass	Simulated Divided Lite	4-over-1	yes	n/a	8 s.f. (64 s.f.)	0.33	no	8	Operable; both windows (2 total) to be tempered
B	WUDH 3228	5'-5" (5'-5 1/2" R.O.)	3'-1 3/8" (3'-2 3/8" R.O.)	5 1/2" wall	Double hung /wood interior & wood exterior	Tempered Insulating Low E II glass	Simulated Divided Lite	9-over-1	yes	n/a	16.5 s.f. (37 s.f.)	0.33	YES	2	Operable
C	WUDH 3228	5'-1" (5'-1 1/2" R.O.)	3'-1 3/8" (3'-2 3/8" R.O.)	5 1/2" wall	Double hung /wood interior & wood exterior	Insulating Low E II glass	Simulated Divided Lite	9-over-1	yes	n/a	15 s.f. (30 s.f.)	0.33	no	2	Operable
SUBTOTAL											131 s.f.	0.33	12 units		
DOOR SCHEDULE					Manufacturer- Doors: Marvin/ TBD										
No.	Mfr. No.	Height, Unit (R.O.)	Width, Unit (R.O.)	Jamb Depth	Door Type / Material	Glazing Type	Grille Structure	Mullion Divisions	Screens / Screen Door	Exterior Color	Overall Opening Size/Total (s.f.)	U-value Total Unit	Swing direction (shown from outside room)	Quant.	Remarks
100	Marvin WUJFD 3070	7'-2" (7'-2 1/2" R.O.)	3'-1 7/16" (3'-2 7/16" R.O.)	5 1/2" wall	New wood door with glazing on top half	Tempered insulating low-E	Simulated Divided Lite	9 lites	n/a	n/a	21 s.f.	0.33	Left-hand	1	Exterior Door
101	TBD	6'-8" (6'-8" R.O.)	2'-4" (2'-6" R.O.)	3 1/2" wall	New pre-hung solid wood, paint-grade (match exist.)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Left-hand Reverse	1	Interior Door
102	TBD	6'-8" (6'-8" R.O.)	2'-4" (2'-6" R.O.)	3 1/2" wall	New pre-hung solid wood, paint-grade (match exist.)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Right-hand Reverse	1	Interior Door
103	TBD	6'-8" (6'-8" R.O.)	2'-0" (2'-2" R.O.)	3 1/2" wall	New pre-hung solid wood, paint-grade (match exist.)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Right-hand Reverse	1	Interior Door
200	TBD	6'-8" (6'-8" R.O.)	2'-6" (2'-8" R.O.)	3 1/2" wall	New pre-hung solid wood, paint-grade (match exist.)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Right-hand Reverse	1	Interior Door
201	TBD	6'-8" (6'-8" R.O.)	2'-4" (2'-6" R.O.)	3 1/2" wall	New pre-hung solid wood, paint-grade (match exist.)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Right-hand Reverse	1	Interior Door
202	TBD	6'-8" (6'-8" R.O.)	2'-4" (2'-6" R.O.)	3 1/2" wall	New pre-hung solid wood, paint-grade (match exist.)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Right-hand Reverse	1	Interior Door
SUBTOTALS											21 s.f.		7 units		
TOTALS											152 s.f.	0.33 avg.	19 units		



Professional Certifications:
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FINISH SCHEDULE																
Room	FLOORS	FLOOR COVERING	BASE		WINDOW / DOOR TRIM		WALLS		CEILING		CEILING Height	Area +/- (Sq. Feet)				
Powder Room	New hardwood floor	Water-based low-VOC poly.	none	none	Match existing	Paint	Match existing	Match existing	Match existing	Paint	1/2-inch gyp. bd.	Paint	1/2-inch gyp. bd.	Paint	9'-0" +/-	15
Family Room	New hardwood floor	Water-based low-VOC poly.	none	none	Match existing	Paint	Match existing	Match existing	Match existing	Paint	1/2-inch gyp. bd.	Paint	1/2-inch gyp. bd.	Paint	9'-0" +/-	208
Closet 1	New hardwood floor	Water-based low-VOC poly.	none	none	Match existing	Paint	Match existing	Match existing	Match existing	Paint	1/2-inch gyp. bd.	Paint	1/2-inch gyp. bd.	Paint	9'-0" +/-	5
Closet 2	New hardwood floor	Water-based low-VOC poly.	none	none	Match existing	Paint	Match existing	Match existing	Match existing	Paint	1/2-inch gyp. bd.	Paint	1/2-inch gyp. bd.	Paint	9'-0" +/-	5
Second Floor																
Bedroom	New hardwood floor	Water-based low-VOC poly.	none	none	Match existing	Paint	Match existing	Match existing	Match existing	Paint	1/2-inch gyp. bd.	Paint	1/2-inch gyp. bd.	Paint	7'-6" to 8'-0" +/-	170
Bath	Ceramic Tile	n/a	none	none	Ceramic Tile	Paint	Match existing	Match existing	Match existing	Paint	1/2-inch water resistant gyp. bd.	Paint	1/2-inch water res. gyp. bd.	Paint	7'-6" to 8'-0" +/-	39
Closet	New hardwood floor	Water-based low-VOC poly.	none	none	Match existing	Paint	Match existing	Match existing	Match existing	Paint	1/2-inch gyp. bd.	Paint	1/2-inch gyp. bd.	Paint	7'-6" to 8'-0" +/-	26

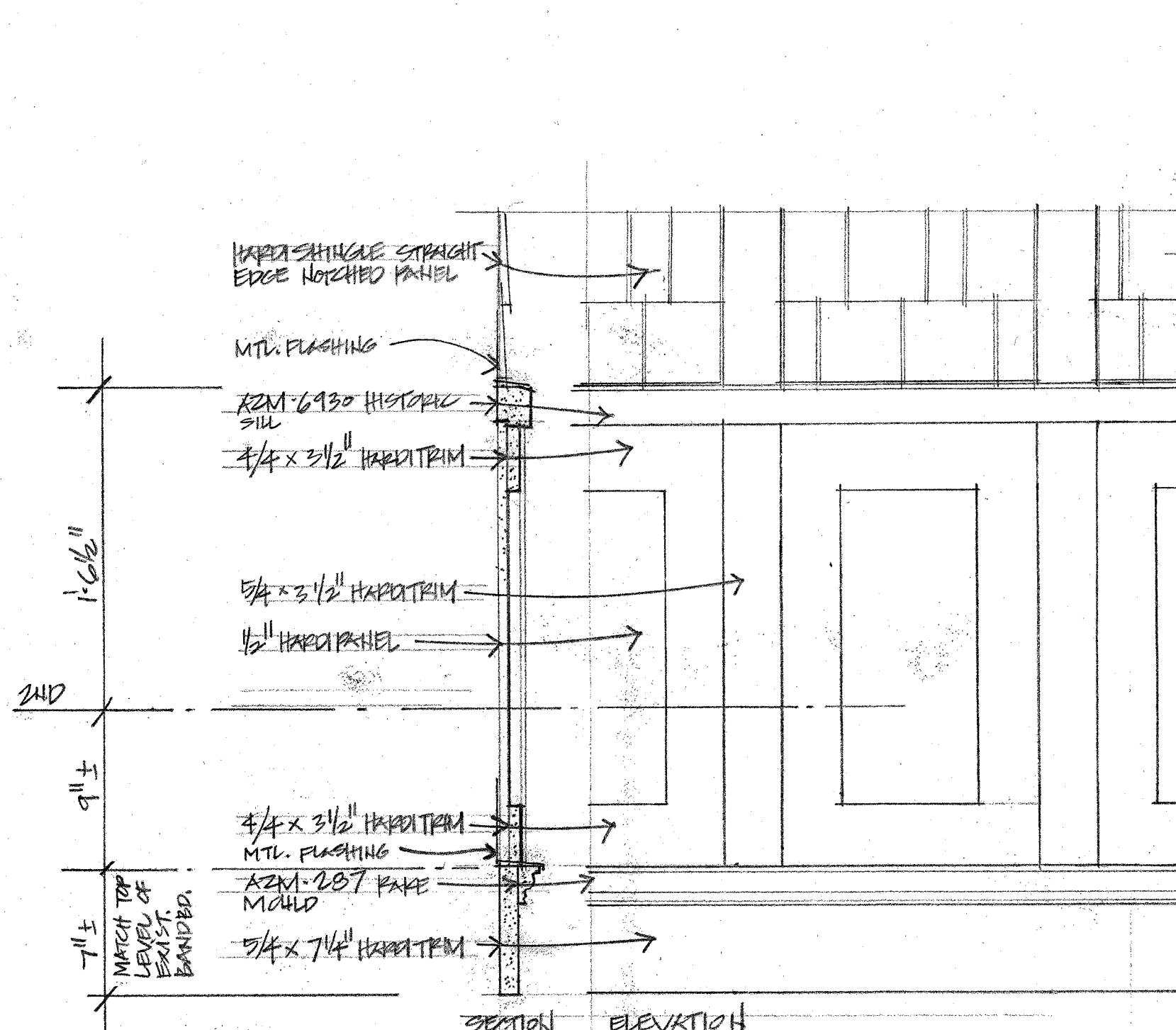
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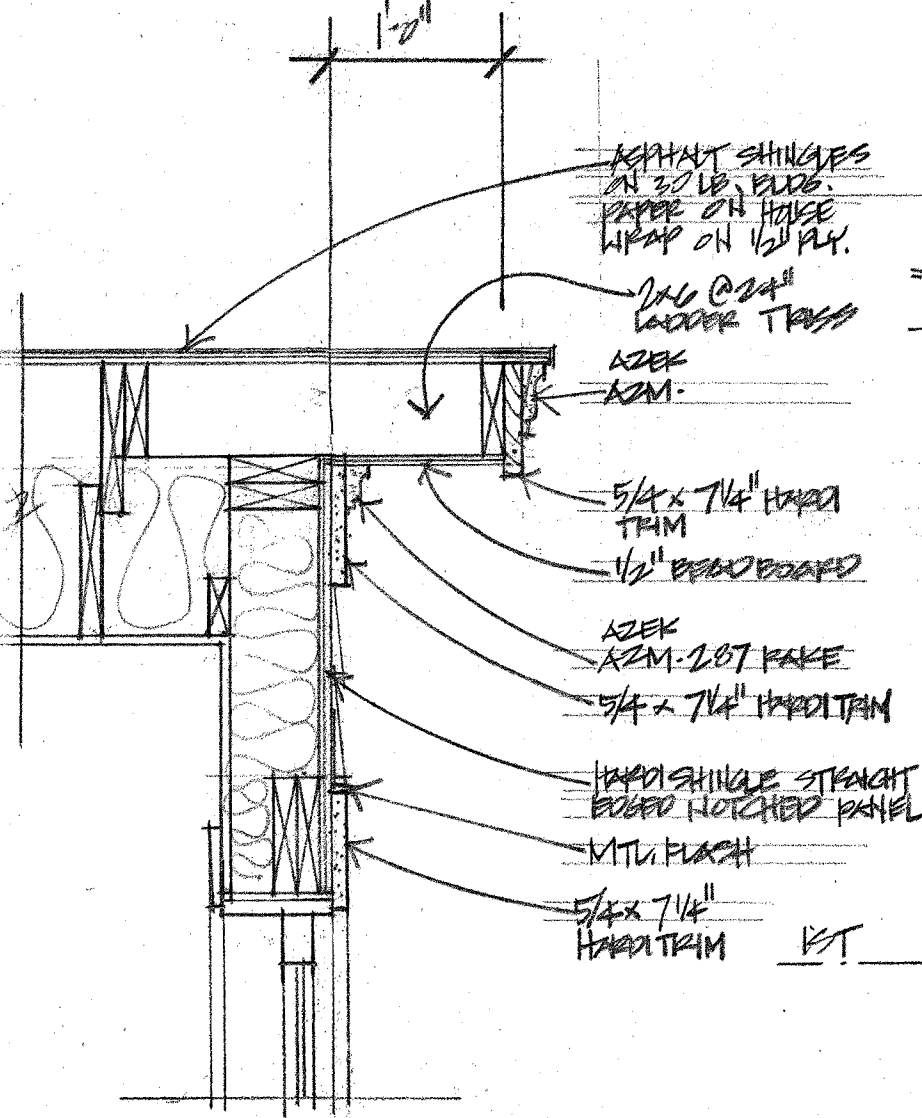
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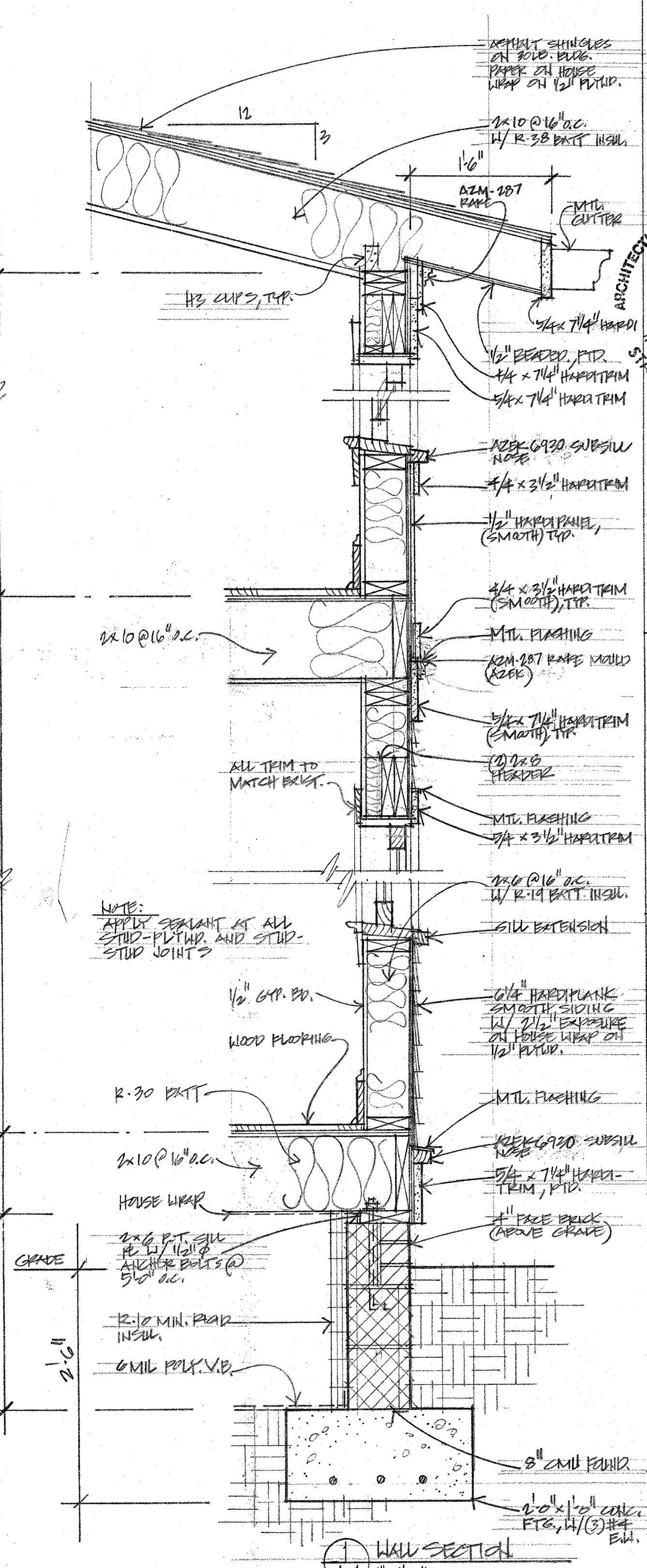
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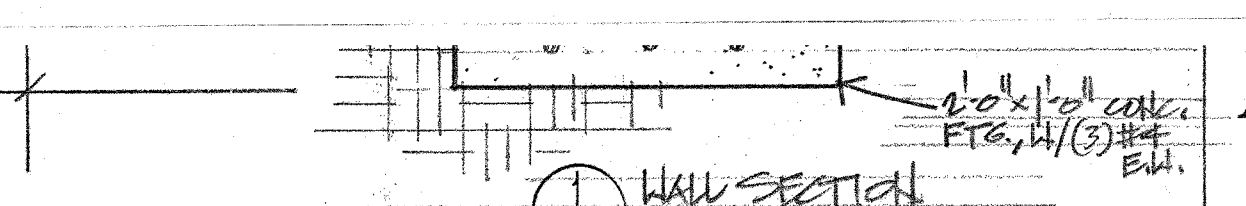
3 WALL ELEVATION DETAIL
A4 1/2" = 1'-0"



2 WALL SECTION @ RAKE
A4 1/2" = 1'-0"



1 WALL SECTION
A4 1/2" = 1'-0"



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8221-R
RICHARD J. VITULLO
STATE OF MARYLAND

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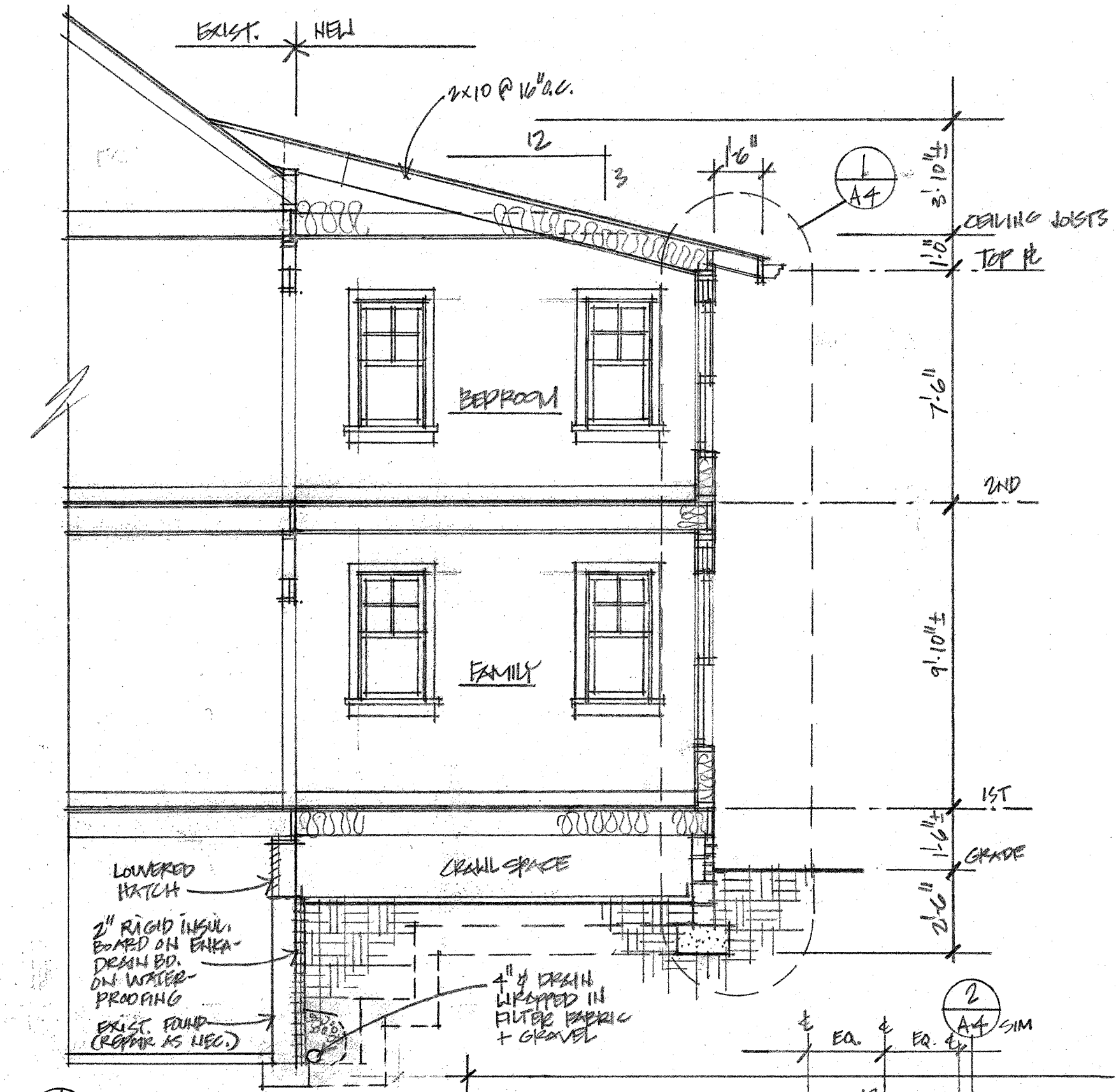
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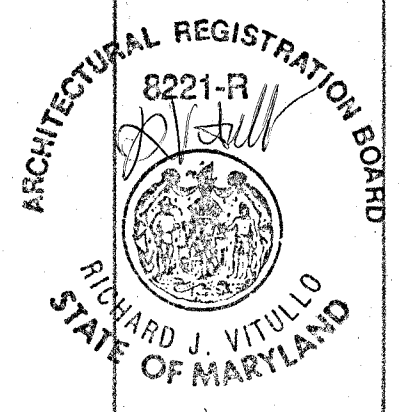
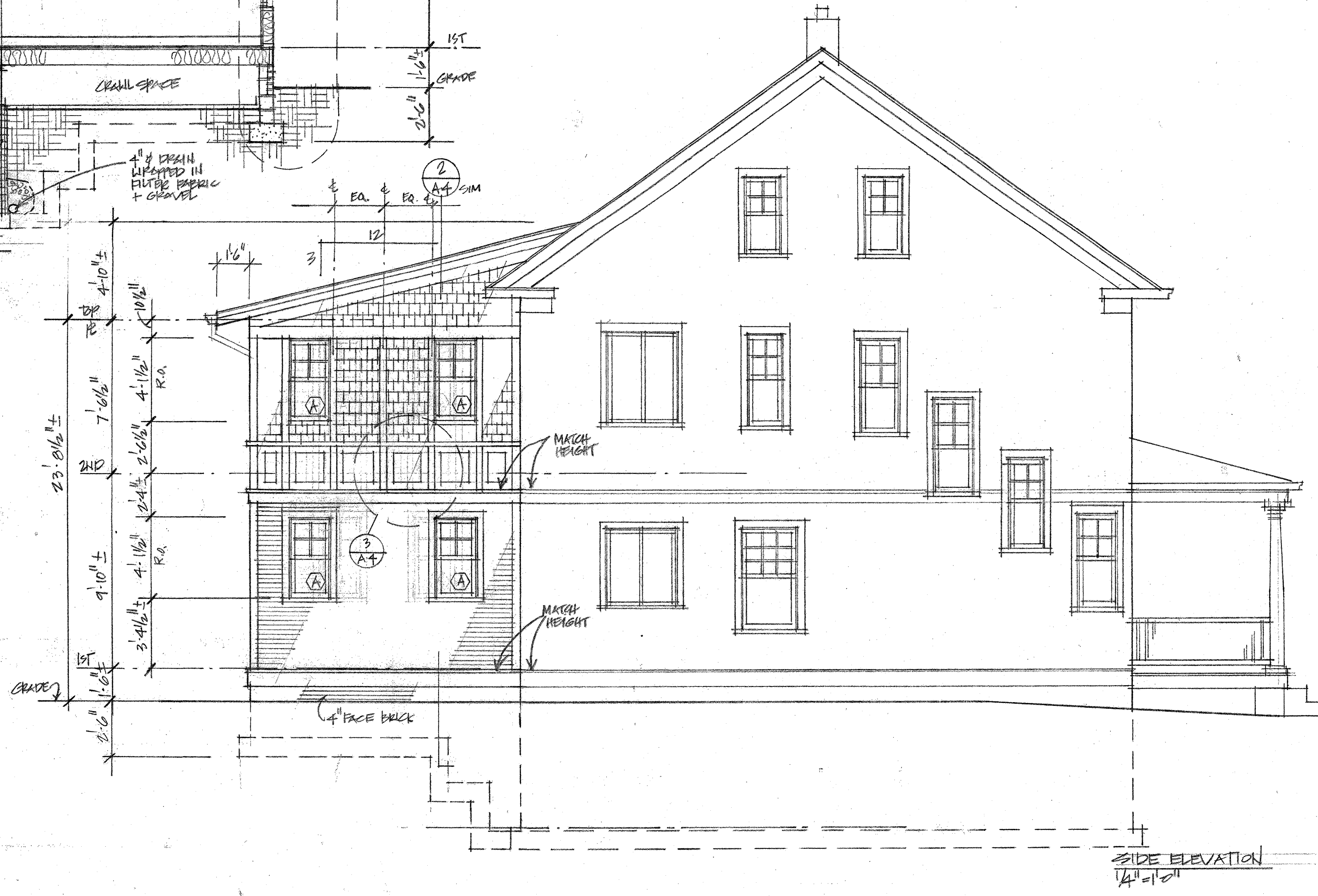
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PLNG. SECTION
A-3 1/4" = 1'-0"



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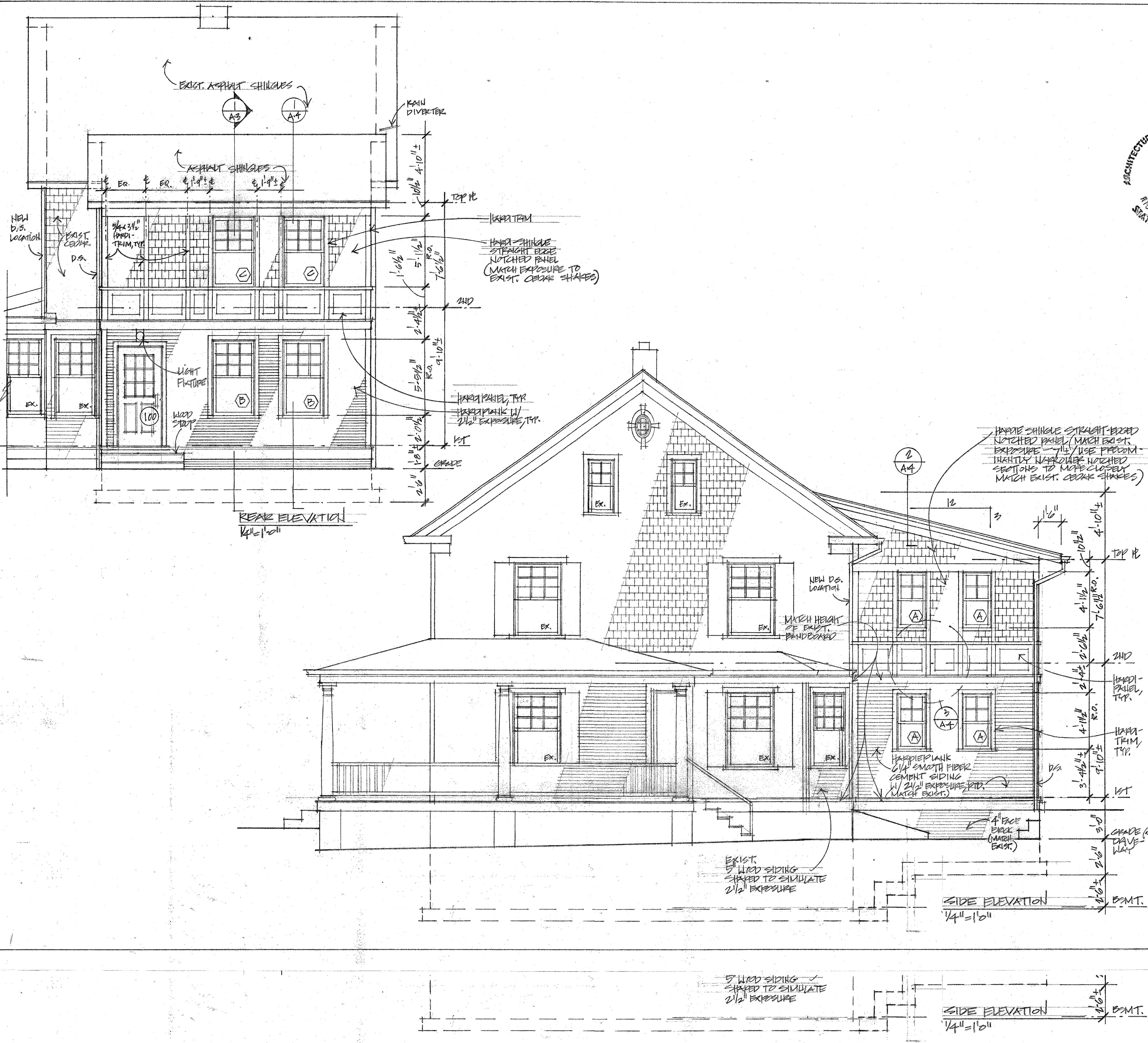
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A-3

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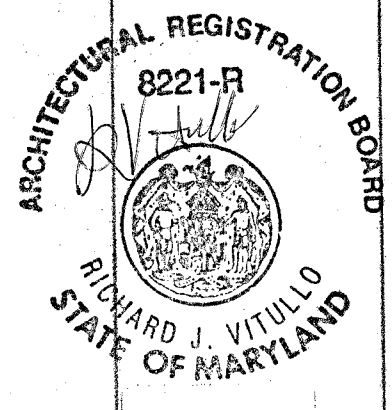
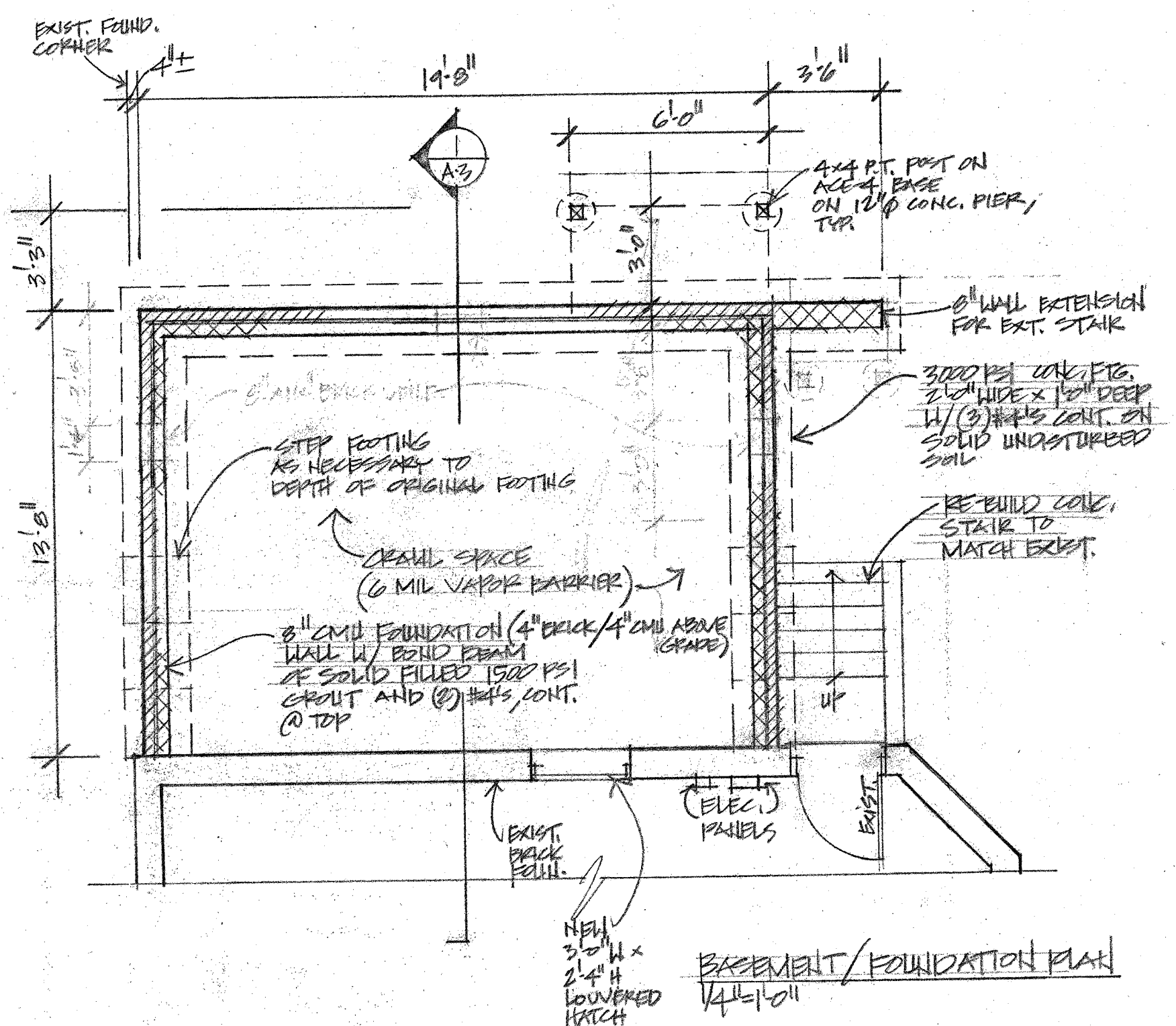
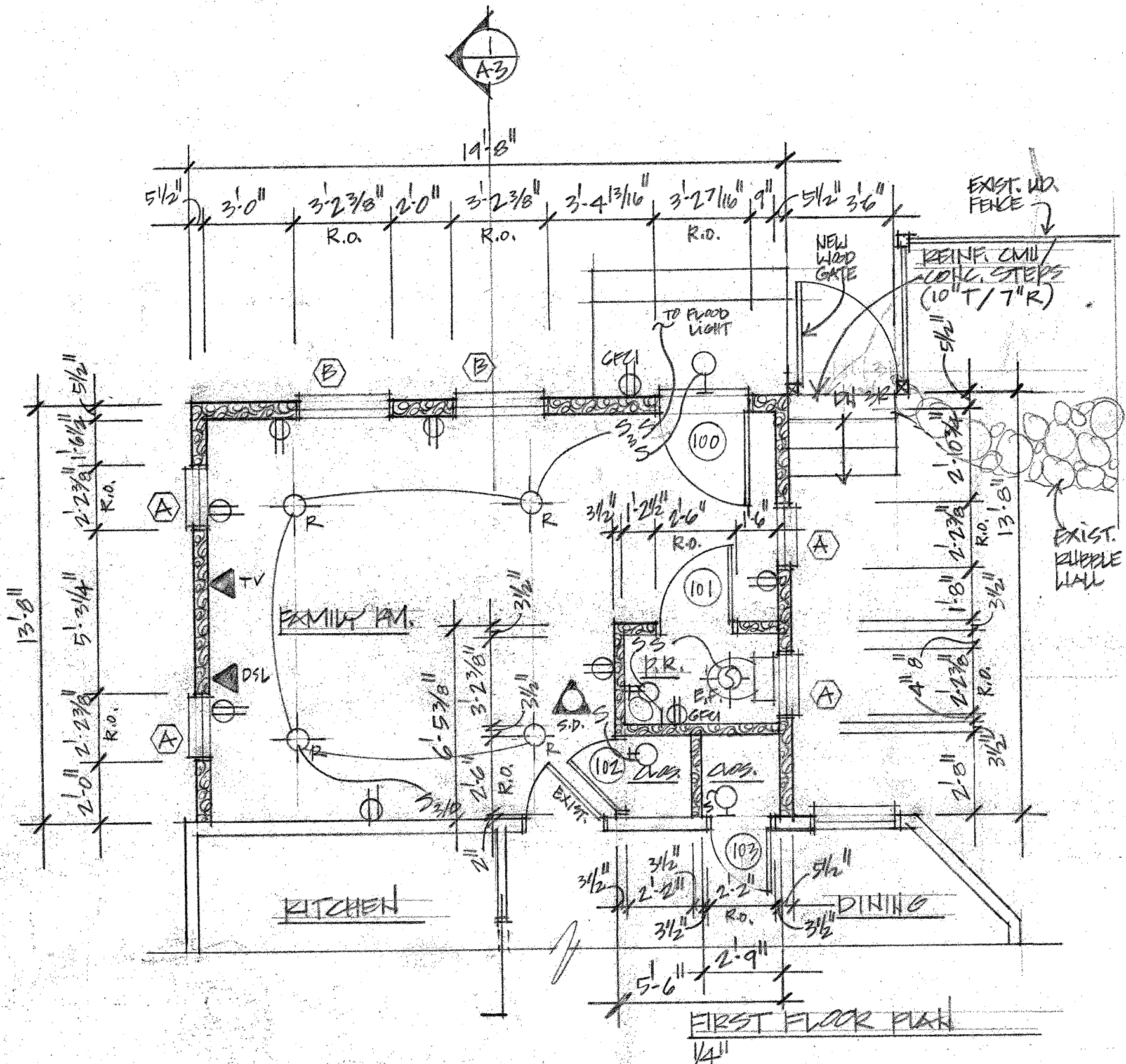
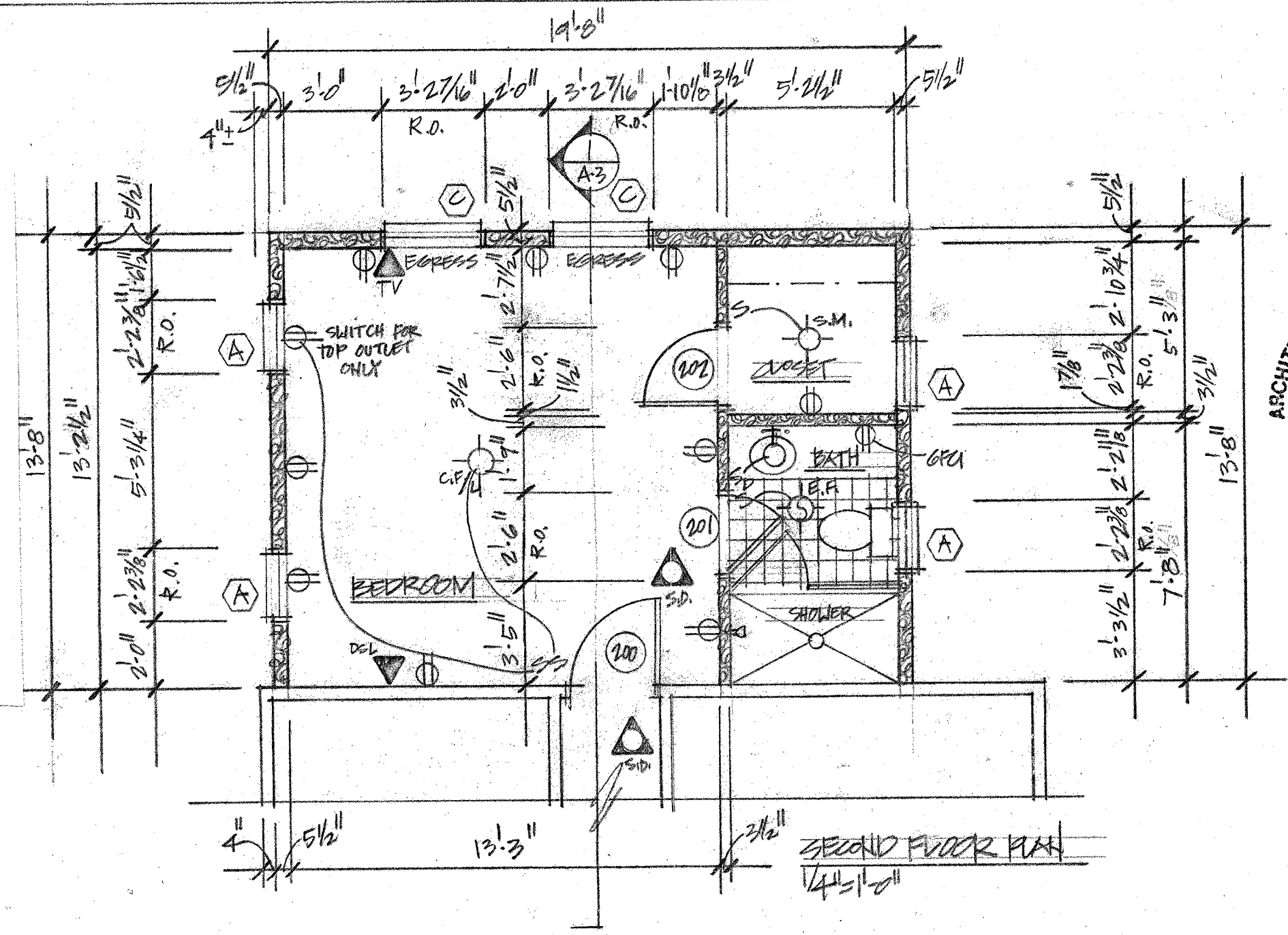
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ELECTRICAL & LIGHTING LEGEND

- ⊖_E Duplex Outlet/existing
- ⊖ Duplex Outlet/new
- ⊖_{A/C} Duplex Outlet/new/above counter
- ⊖_{GFCI} Duplex Outlet/new/GFCI
(all outlets in kitchens, baths, and exterior are to be GFCI)
- ⊖_{DD} Double Duplex Outlet
- ⊖_F Duplex Floor Outlet
- ⊖₂₄₀ 240v Outlet
- ⊖_{EF} Exhaust Fan
- ⊖_{EF/H} Exhaust Fan/Heat
- ⊖_{EF/H/L} Exhaust Fan/Heat/Light
- ⊖_{CF} Ceiling Fan
- ⊖_{CF/L} Ceiling Fan/Light
- ⊖_P Pendant Light Fixture
- ⊖_R Recessed Light Fixture
- ⊖_{R/E} Recessed Light Fixture/Eyeball
- ⊖_{SM} Surface Mounted Light Fixture
- ⊖_{WM} Wall Mounted Light Fixture/Sconce
- ⊖_{WP} Light Fixture /Waterproof
- ⊖_{DSL} Data/Telephone Jack
- ⊖_{TV} Coaxial/Cable TV
- S Switch
- S_D Switch/Dimmer
- S₃ Three-way Switch
- === T Track light
- === P "Plugmold" Power Strip
(Model V2000 (Ivory ScuffCoat/outlets: 6" o.c.))
- === u/c Undercabinet Lights
- ⊖_{SD} Smoke Detectors
(hard-wired in dedicated circuit, interconnected,
with battery backup)
- ⊖ Thermostat

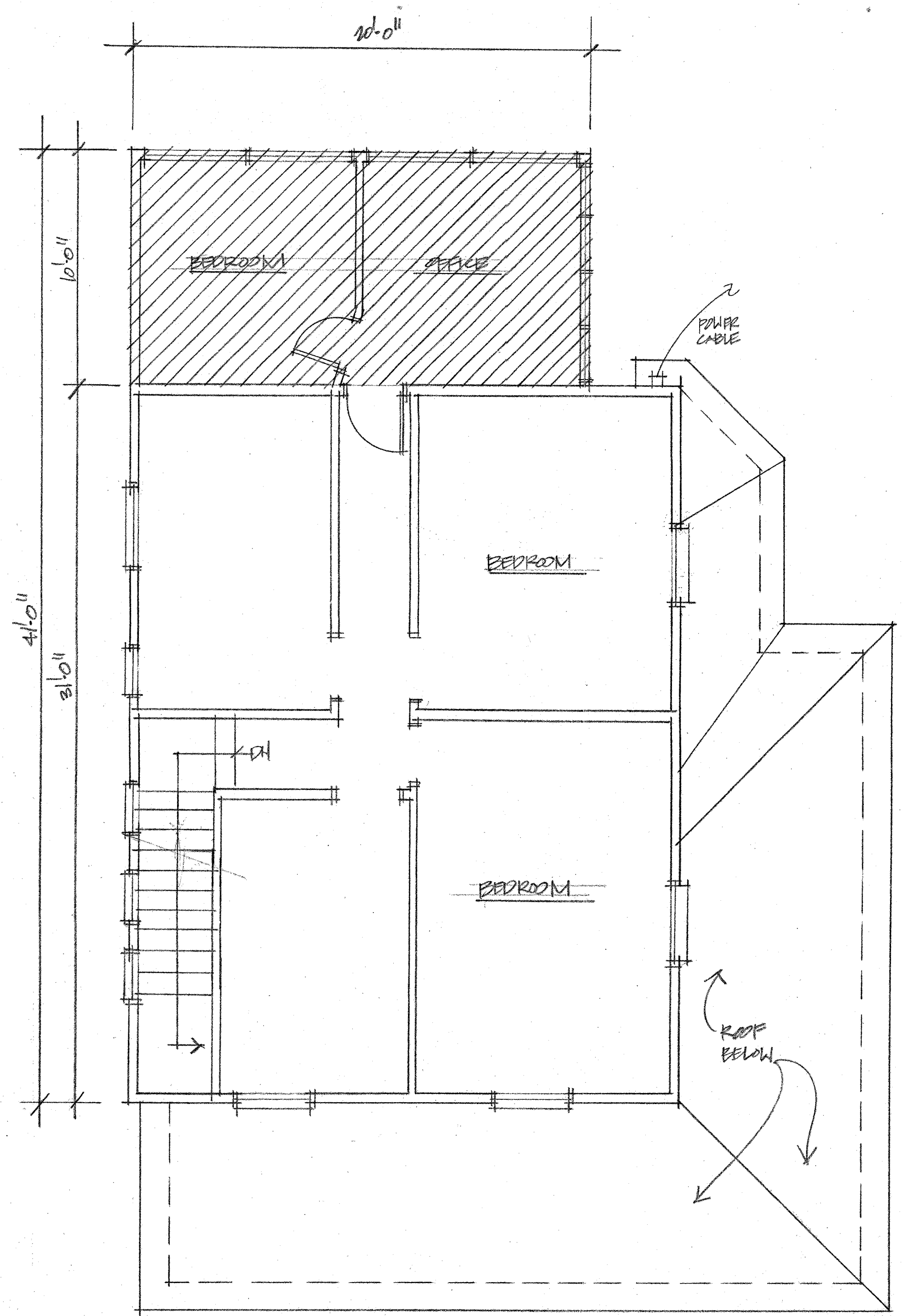


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□ EXIST. TO REMAIN
 ▨ TO BE DEMOLISHED

SECOND FLOOR PLAN - DEMOLITION
 14'-5 1/2"

GENERAL DEMOLITION NOTES:

1. Remove existing items as necessary to implement new plan layout; save any items as per owners' request, dispose of all others.
2. Remove/re-route plumbing (water supplies, drains, vents and gas lines) as necessary to accomplish new plan layout and to minimize their impact on the new space; cap off lines as necessary during construction.
3. Remove all trim, gypsum board/plaster, doors, thresholds, flooring, etc. but only as necessary to implement new layout and design.
4. Remove/re-route existing radiators and HVAC ducts as nec. to minimize their impact on the new space.
5. Remove existing wall and/or floor construction as noted on plans as necessary to implement new layout; if walls are bearing walls, use temporary supports to re-direct loads until new bearing elements are constructed.
6. Remove and salvage existing light fixtures as necessary to implement new plan layout.
7. Remove all electrical outlets, fixtures, smoke alarms, telephone wiring, exposed wiring, etc. that are to be replaced by new work.
8. Dispose of all discarded material in safe and clean manner.
9. Protect all surfaces during demolition (and construction) from unnecessary damage.
10. Remove siding and trim only as necessary to install new openings.

GENERAL NOTES:

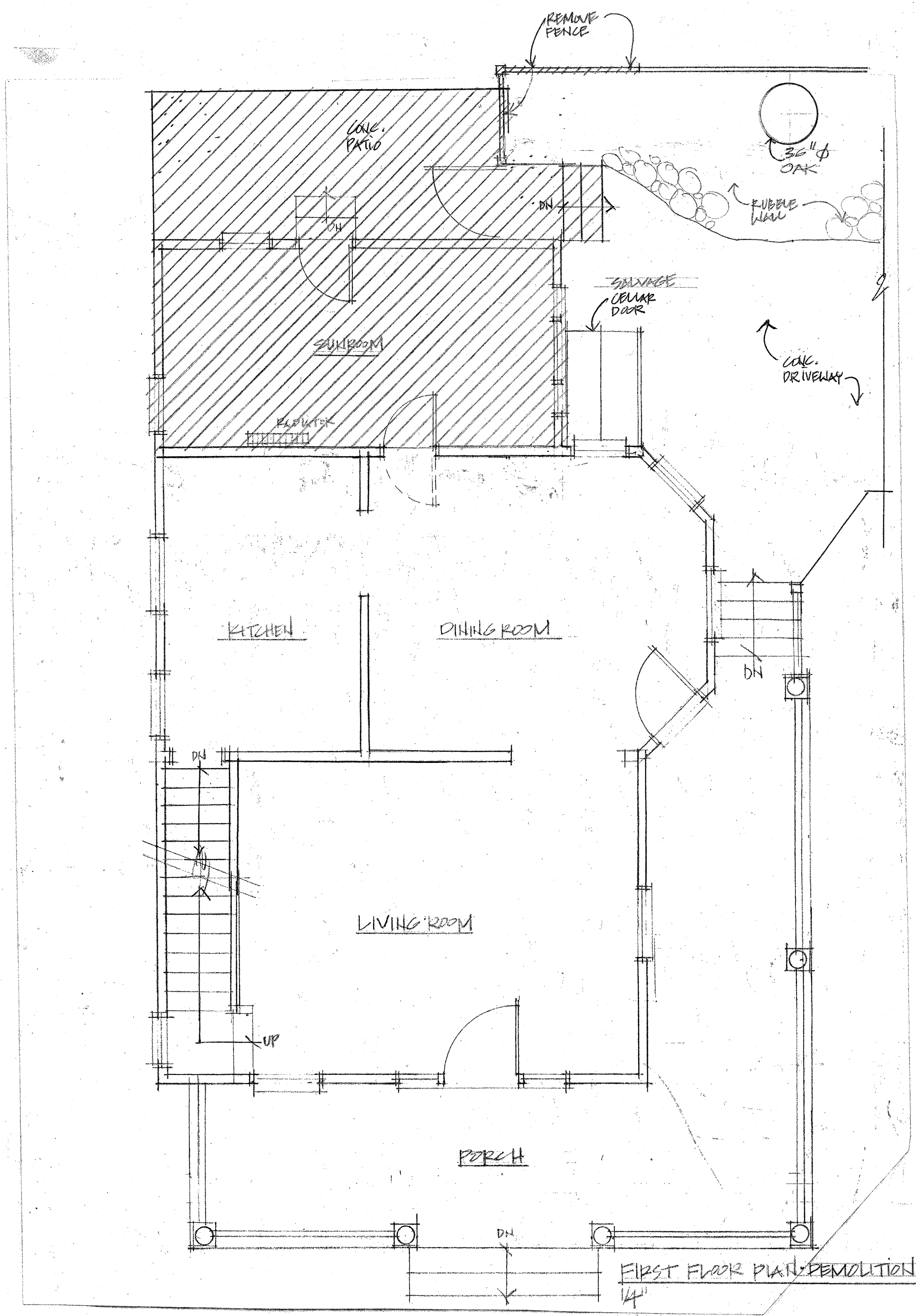
1. These drawings are to show only materials and layout of the design; means and methods are to be determined by contractor.
2. Contractor to verify all dimensions and assumed conditions in the field; bring any discrepancies to the attention of the architect and owner.
3. Contractor to notify architect if any existing pipes, ducts, or structural elements (or any other condition) to be removed or re-routed for new plan that are determined to not be movable or removable.
4. All plan dimensions on drawings are set to edge of framing members; all finishes are not taken into account unless otherwise noted. If dimension is taken to a finish surface, it shall be noted as "FINISH DIMENSION", "FIN. DIM.", or "CLEAR DIM."
5. All new or existing wall surfaces are to be prepared for painting to be smooth and free of cracks, peeling paint, etc.; walls to be primed and painted (2 coats, min.) with color to be selected by owner.
6. New wood and ceramic tile flooring to be selected by owner, installed by contractor. Make surface smooth and flat for receipt of new flooring.
7. New doors, windows and hardware, are to be provided and installed by contractor.
8. Install shelves and closet poles in clothes Closets at 5'-6" A.F.F., typ.; sand, prime and paint shelves with gloss paint; color by owner.
9. Insulation in all new walls to be R-19 kraft-faced batt insulation in the wall void. Insulation in the roof/attic to be minimum R-38.
10. Install solid blocking in walls for receipt of accessories, hardware, cabinets, etc., as necessary.
11. Contractor to notify architect and/or structural engineer if any existing wood joists, sheathing, studs, etc. are damaged or deteriorated from termites, water, etc.
12. Install new interconnected AC-powered smoke detectors as per code as necessary.
13. All electrical outlets in bath, kitchen and at exterior to be ground fault interrupter circuits (GFCI).
14. Upgrade electrical service as necessary to provide sufficient power for new fixtures, etc.
15. Electrical switches (dimers, toggles, etc.), and telephone/modem to be approved by owner, installed by contractor. All decorative light fixtures to be selected by owner, installed by contractor.
16. Toilet (for both bathrooms): Toto Aquia II Dual Flush CST416M
17. Medicine Cabinet/Mirror: Nutone Recess Mount Cabinet/Frameless Mirror Model #781053
18. Exhaust Fan/Heater (for both bathrooms): Panasonic Whisper Warm 110 cfm Ceiling Mounted Fan/Heat Combination #FV-11VH2

All decorative light fixtures to be selected by owner, installed by contractor.

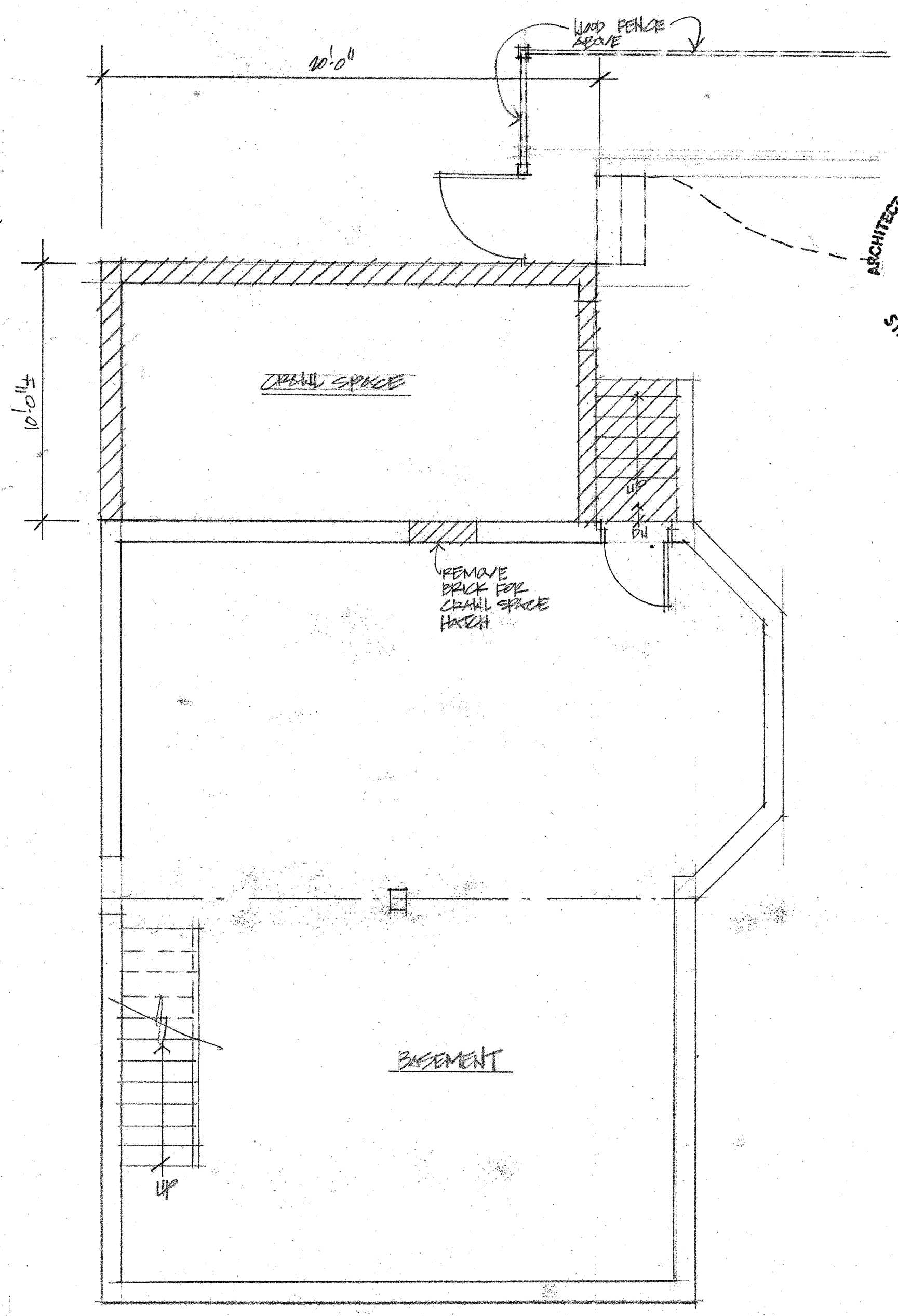
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□ EXIST. TO REMAIN
 ▨ TO BE DEMOLISHED

SECOND FLOOR PLAN - DEMOLITION
 14'-5 1/2"

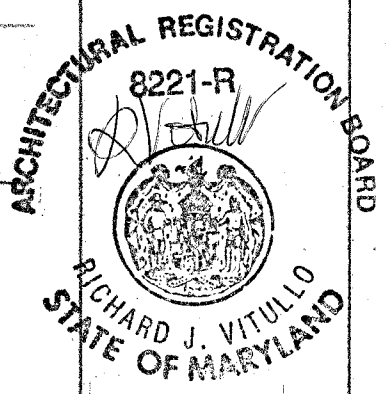


FIRST FLOOR PLAN DEMOLITION
1/4" = 1'-0"



BASEMENT DEMOLITION PLAN
1/4" = 1'-0"

EXIST. TO REMAIN
 TO BE DEMOLISHED



Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/12

Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)920-0737

Rockman, Residence
7105 Carroll Ave.
Takoma Park, MD

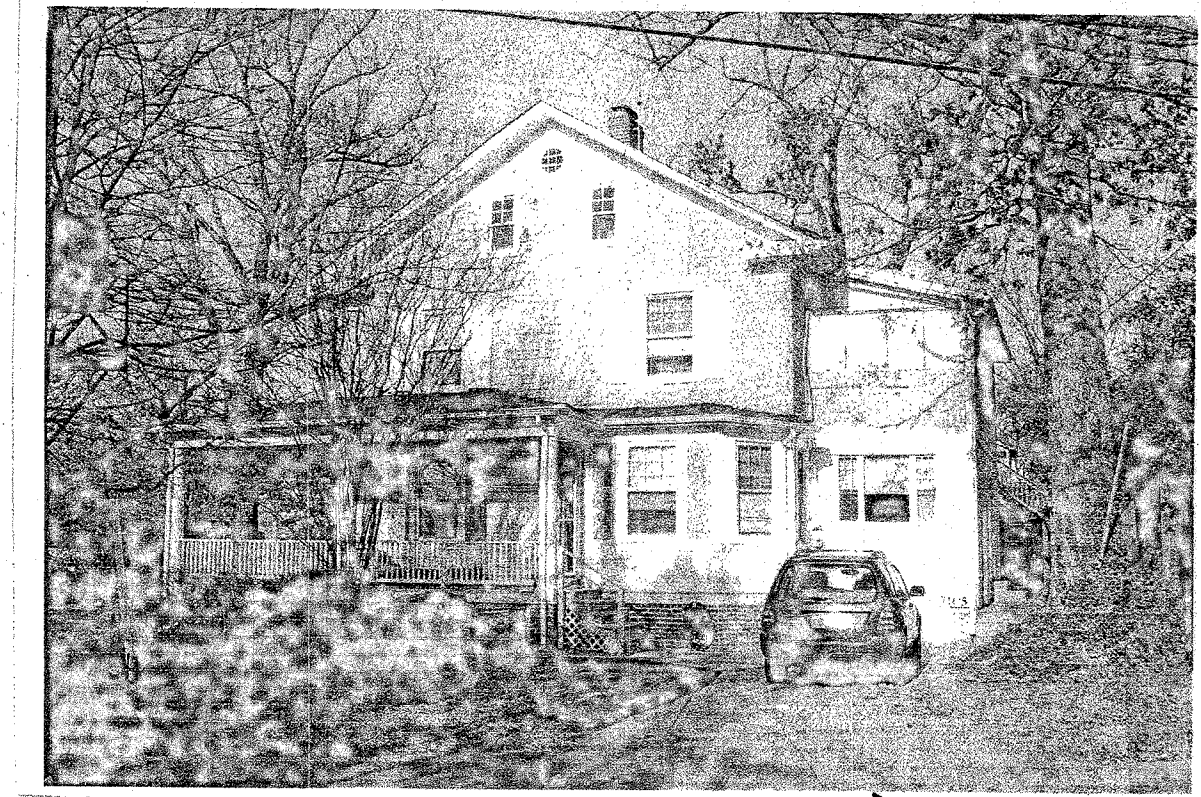
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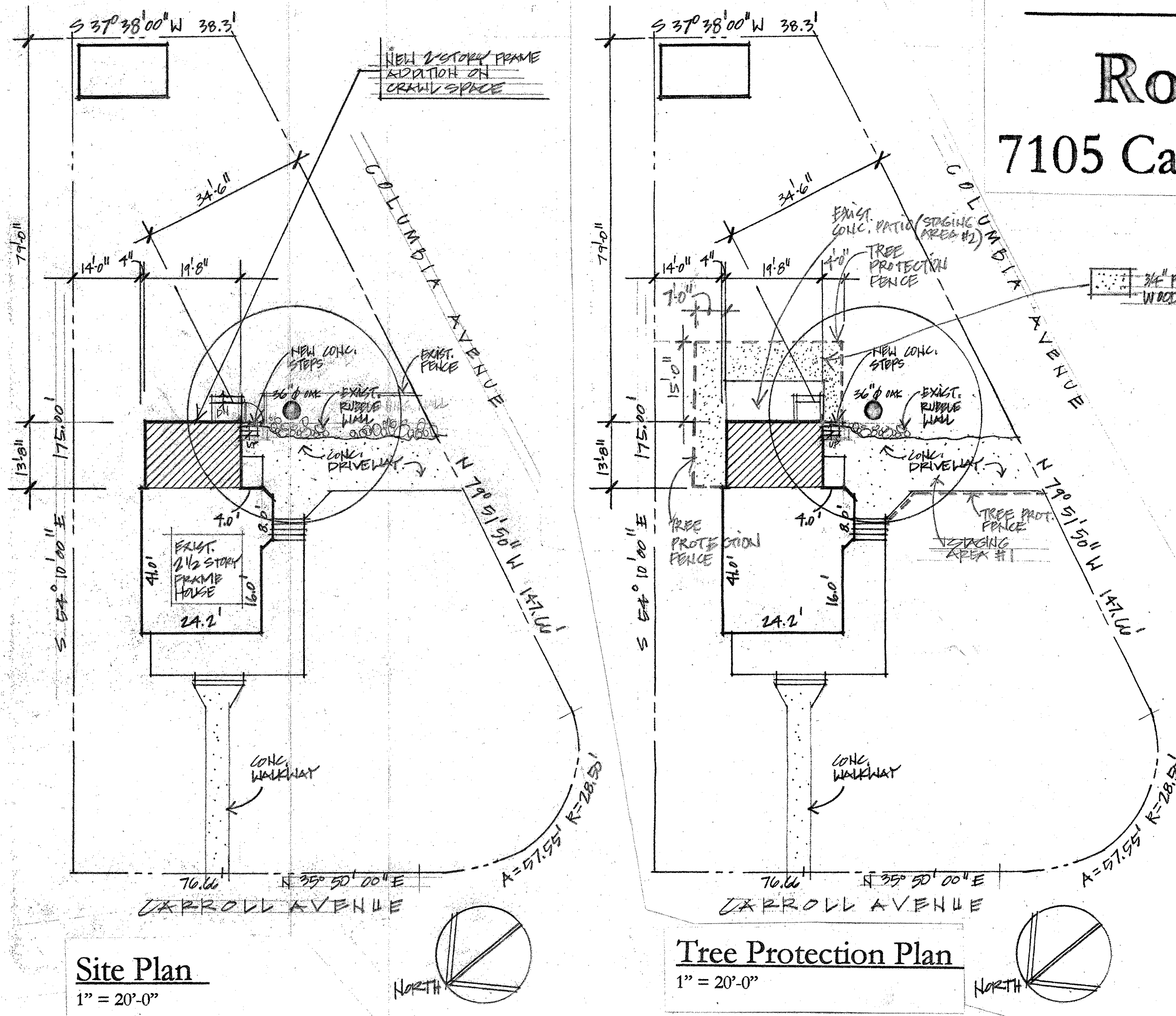
2-story Rear Addition

Rockman Residence 7105 Carroll Ave. Takoma Park, MD 20912



ARCHITECTURAL REGISTRATION BOARD
8221-R
RICHARD J. VITULLO
STATE OF MARYLAND

Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/12



Site Plan

1" = 20'-0"

Lot: P15 Block: 19
Plat Book: A Plat No.: 2
Subdivision: B.F. Gilbert's Addition to Takoma Park
Address: 7105 Carroll Ave., Takoma Park, MD 20912
Year built: 1917 +/-

PROJECT DESCRIPTION:

Construct new 269 s.f. 2-story addition at rear of residence.

RESIDENTIAL CODE NOTES:

All construction shall be in conformance with the International Residential Code (IRC), 2009 Edition, with Mont. CO. amendments.

AREA CALCULATIONS

EXISTING:

Lot Area:	12,278 s.f.
Total Lot Coverage:	1686 s.f.
% of Lot Coverage:	13.7%

PROPOSED:

Lot Coverage:	269 s.f.
Total Lot Coverage (Existing + Proposed):	1755 s.f.
% Lot Coverage:	14%

Tree Protection Plan

1" = 20'-0"

Sheet No. Sheet Title

Cover	Site Plan / Project Description
	Tree Protection Plan

ARCHITECTURAL

D-1 Demolition Plans / Basement & First Floor (1/4"=1'-0")
D-2 Demolition Plan / Second Floor (1/4"=1'-0")

A-1 Basement/Foundation, First & Second Floor Plan (1/4"=1'-0")
A-2 Side Elevation (Southwest) (1/4"=1'-0")
Rear Elevation (Southeast) (1/4"=1'-0")
A-3 Side Elevation (Northeast) (1/4"=1'-0")
Building Section (1/4"=1'-0")
A-4 Wall Sections (1"=1'-0")
Detail (1 1/2"=1'-0")
A-5 Window / Door Schedule
Finish Schedule
A-6 Building Thermal Envelope
Diagrams & Schedule

STRUCTURAL

S-1 First Floor, Second Floor Framing & Roof Framing Plan (1/4"=1'-0")
Wind Bracing Schedule
Structural Notes

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7016 Woodland Ave.
Takoma Park, MD 20912
(301)920-0737

Rockman, Residence
7105 Carroll Ave.
Takoma Park, MD

4.5.11

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

COVER

PROPOSED:

Lot Coverage:	269 s.f.
Total Lot Coverage (Existing + Proposed):	1755 s.f.
% Lot Coverage:	14%

APPROVED
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COVER