

7417 Buffalo Avenue, Takoma Park
HPL Case # 37/03-116
Takoma Park Historic District

STAFF ITEM

STAFF MEMBER: JOSH SILVER

SUBJECT: Revision to approved HAWP (HPC Case No. 37/03-11G), for rear addition, at 7417 Buffalo Avenue, Takoma Park, an Outstanding Resource within the **Takoma Park Historic District**

DATE: September 26, 2011

BACKGROUND: On February 23, 2011 the HPC approved the construction of a rear addition at the subject property.

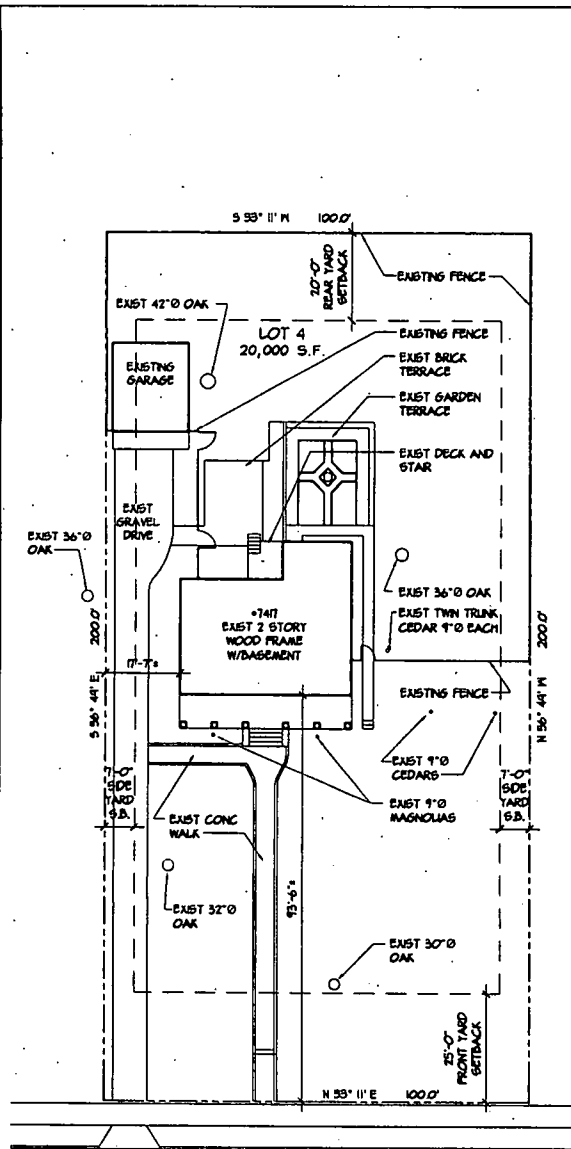
REVISED PROPOSAL: The applicants are requesting approval for hardscape alterations and relocation and reconfiguration of an existing metal fence. No change to the approved rear addition is proposed as part of this revision. The proposed changes include:

1. Leveling out the grade from the driveway toward the new stairs, install new bluestone walks from the driveway to the terrace area.
2. Provide a raised terrace platform of re-used patio brick and bluestone onto which the new porch stairs will land. The proposed step up from the new bluestone walks is 7 ½". Provide a riser back to original terrace at rear yard and introduce raised planting beds in line with the new raised platform.
3. Relocate and reconfigure existing metal fence to sit along the property line along the northeast side of the driveway, in front of the garage, continuing the line of the existing fence. Introduce a new fence with gates across the driveway in line with the rear wall of the original house. Re-use existing gates where applicable.

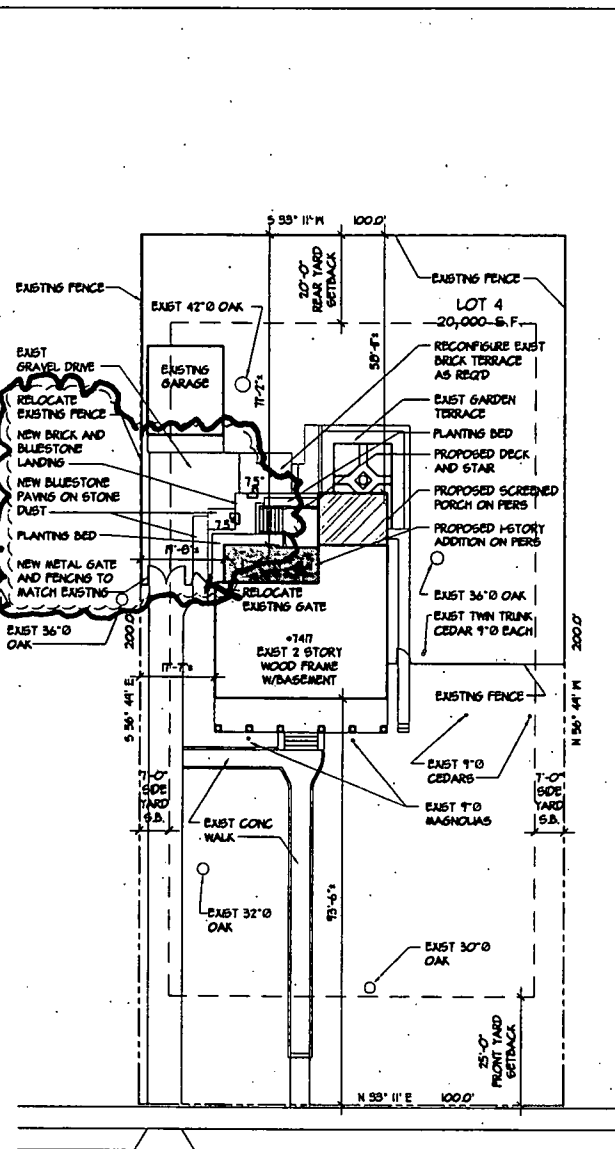
STAFF RECOMMENDATION: Staff recommends approval of the revised changes finding them consistent with Chapter 24A-8(b) (1) & (2), the Takoma Park Guidelines and Secretary of the Interior's Standards for Rehabilitation 9 & 10.

HPC DECISION:

APPROVED



1 EXISTING SITE PLAN
 AU SCALE: 1" = 20'



2 PROPOSED SITE PLAN
 AU SCALE: 1" = 20'

DESCRIPTION OF WORK

THE WORK FOR THIS PROJECT INCLUDES THE FOLLOWING COMPONENTS:

1. CONSTRUCTION OF A ONE STORY ADDITION ON NEW CMU PER FOUNDATIONS. ADDITION TO CONTAIN A NEW BREAKFAST ROOM AND REAR HALL.
2. RENOVATION OF THE FIRST FLOOR KITCHEN, INCLUDING REMOVAL OF EXISTING FIRST FLOOR POWER ROOM.
3. CONSTRUCTION OF A NEW SCREENED PORCH ON CMU PER FOUNDATIONS.

ZONING SUMMARY

PROPERTY ADDRESS: 7417 BUFFALO AVE., TAKOMA PARK, MD 20912
 PROPERTY DESCRIPTION: LOT 4 BLOCK 75

ZONE: R-60
 LOT AREA: 10,000 SQ FT
 MAX. LOT COVERAGE: 35% = 7,000 SQ FT
 EXISTING LOT COVERAGE: 100 SQ FT (15% EXISTING HOUSE INC. COVERED PORCHES) + GARAGE
 PROPOSED LOT COVERAGE: 2287 SQ FT (44%)
 INCREASE IN LOT COVERAGE: 307 SQ FT.
 AREA OF SITE DISTURBANCE: 773 SQ FT
 MAXIMUM BUILDING HEIGHT: 35 FT AND 2 1/2 STORES
 EXISTING AND PROPOSED BUILDING HEIGHT: 40% EXISTING NON-CONFORMING TO REMAIN UNAFFECTED AND UNCHANGED
 YEAR HOUSE BUILT: 1968

REQUIRED SETBACKS:
 MIN. FRONT YARD, MAIN BLDG.: 25' OR THE ESTABLISHED BUILDING LINE
 MIN. SIDE YARD, MAIN BLDG.: 7'-0"
 MIN. REAR YARD, MAIN BLDG.: 20'-0"
 MAX. HEIGHT, MAIN BUILDING: 35'-0"

STORMWATER MANAGEMENT FOR SMALL LOTS:
 NOTE THAT THIS LOT IS EXEMPT FROM THIS REQUIREMENT. LOT AREA EXCEEDS 5,000 S.F.

INDEX OF DRAWINGS

AU	COVER SHEET AND SITE PLANS	A4.2	SECTION
A1.2	TREE PROTECTION PLAN	A4.3	SECTION
A2.0D	BASEMENT DEMOLITION PLAN	A6.1	SCHEDULES
A2.0	PROPOSED BASEMENT PLAN	A7.1	INTERIOR ELEVATIONS
A2.1D	FIRST FLOOR DEMOLITION PLAN	E-0	BASEMENT ELECTRICAL PLAN
A2.1	PROPOSED FIRST FLOOR PLAN	E-1	FIRST FLOOR ELECTRICAL PLAN
A2.2D	SECOND FLOOR DEMOLITION PLAN	E-0	FOUNDATION PLAN
A2.2	PROPOSED SECOND FLOOR PLAN	E-1	FIRST FLOOR FRAMING PLAN
A3.1	PROPOSED ELEVATION	E-2	FIRST FLOOR CEILING FRAMING AND WALL BRACING PLAN
A3.2	PROPOSED ELEVATION	E-3	ROOF FRAMING PLAN AND SECOND FLOOR FRAMING PLAN
A3.3	PROPOSED ELEVATION	E-4	STRUCTURAL DETAILS
A4.1	SECTION	E-5	STRUCTURAL NOTES AND DECK DETAILS

BROADHURST ARCHITECTS, INC.
 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851
 (301) 301-3098 (F) 301-301-3098
 RENOVATION & ADDITION TO THE
WARNER-BLOWER RESIDENCE
 7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912
 COVER SHEET AND SITE PLAN
 SCALE: 1" = 20'
 DATE: 6-6-2011
 CONTRACT NO: 1-24-2011
 A1.1

FILE NAME: WARNER.A1.1

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER: 12374 EXP. 4/30/14 DATE: 02-25-2012

7417 Buffalo

Silver, Joshua

From: Hisao Yatsuhashi [HYatsuhashi@broadhurstarchitects.com]
Sent: Thursday, September 22, 2011 11:28 AM
To: Silver, Joshua
Subject: RE: Warner Blower

The approved scheme had the new porch stairs landing on the existing brick terrace with reconfiguration of the existing metal fence.

Revisions in the updated scheme were introduced to provide more of a connection between the new porch and addition to the rear house by the introduction of a raised terrace. We feel this provides better flow and use of the rear yard as well.

1. Level out the grade from the driveway toward the new stairs, install new bluestone walks from the driveway to the terrace area.
2. Provide a raised terrace platform of re-used patio brick and bluestone onto which the new porch stairs will land. The proposed step up from the new bluestone walks is 7 1/2". Provide a riser back to original terrace at rear yard and introduce raised planting beds in line with the new raised platform.
3. Relocate and reconfigure existing metal fence to sit along the property line along the northeast side of the driveway, in front of the garage, continuing the line of the existing fence. Introduce a new fence with gates across the driveway in line with the rear wall of the original house. Re-use existing gates where applicable.

Hisao J. Yatsuhashi, AIA
Broadhurst Architects
Ph: 301-309-8900
hyatsuhashi@broadhurstarchitects.com
www.broadhurstarchitects.com

From: Silver, Joshua [mailto:Joshua.Silver@montgomeryplanning.org]
Sent: Thursday, September 22, 2011 11:08 AM
To: Hisao Yatsuhashi
Subject: RE: Warner Blower

Hisao,

Could you please list the proposed revisions in a return e-mail.

Thanks,

Joshua Silver | Senior Planner
Maryland-National Capital Park and Planning Commission
Functional Planning and Policy Division
301-563-3400 phone | 301-563-3412 fax
<http://www.montgomeryplanning.org/historic>

Office Location:

1400 Spring Street, Suite 500 W
Silver Spring, MD 20910


Mailing Address:

8787 Georgia Avenue
Silver Spring, MD 20910

Select the image below to see our new Historic Preservation mapping application



Join us on -  [Facebook](#)

Follow us on -  [Twitter](#)

From: Hisao Yatsunami [mailto:HYatsunami@broadhurstarchitects.com]

Sent: Wednesday, September 21, 2011 2:09 PM

To: Silver, Joshua

Subject: Warner Blower

Josh,

Here is a revised site plan. The older approved plan is also attached for reference.

Please review and call with any comments.

Hisao J. Yatsunami, AIA

Broadhurst Architects

Ph: 301-309-8900

hyatsunami@broadhurstarchitects.com

www.broadhurstarchitects.com



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: June 7, 2011

MEMORANDUM

TO: Jennifer Hughes, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner *JS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #523558, construction of rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the February 23, 2011 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Brad Blower and Margaret Warner

Address: 7417 Buffalo Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jeffery Broadhurst, AIA
Daytime Phone No.: 301-309-8900

Tax Account No.: 13-01071310

Name of Property Owner: Brad Blower and Margaret Warner Daytime Phone No.: (301) 270-1627

Address: 7417 Buffalo Ave Takoma Park MD 20912-4144
Street Number City State Zip Code

Contractor: TBD Phone No.: TBD

Contractor Registration No.: TBD

Agent for Owner: Jeffery Broadhurst, AIA Daytime Phone No.: 301-309-8900
Broadhurst Architects

LOCATION OF BUILDING/PREMISE

House Number: 7417 Street: Buffalo Ave

Town/City: Takoma Park Nearest Cross Street: Albany Ave.

Lot: 4 Block: 75 Subdivision: 25

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Stab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other

2B. Type of water supply: 01 WSSC 02 Well 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date: 2-2-2010

Approved: [Signature] for Chairperson, Historic Preservation Commission
Disapproved: Signature: [Signature] Date: 5/7/11
Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is a 2 1/2 story frame residence originally constructed in 1888. The building sits on its original 20,000 square foot lot in a neighborhood consisting predominantly of single family residences. The footprint of the original structure has not been significantly modified on the front and sides. The rear appears to have undergone minor alterations over time. The existing siding on all sides of the exterior of the house consists of horizontal vinyl siding and fascias and eaves are clad in aluminum.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed work includes interior renovations to the first floor kitchen, powder room and part of the basement. A one-story 190 SF addition is proposed on the rear of the house, plus a 90 SF rear deck, with an alternate for a 200 SF rear screened porch. No changes are proposed for the existing front facade. The proposed addition is designed to be sensitive to the original structure with changes as seen from the street being almost unnoticeable. New windows are proposed to the south facade at the basement level to provide natural light to the proposed recreation room. The existing fence (approved in 2008) is to undergo minor changes to accommodate the new design, with materials matching existing.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For All projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7417 Buffalo Avenue, Takoma Park	Meeting Date:	2/23/2011
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	2/16/2011
Applicant:	Brad Blower and Margaret Warner (Jeffery Broadhurst, Architect)	Public Notice:	2/9/2011
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/03-11G	Staff:	Josh Silver
PROPOSAL:	Rear addition		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Greek Revival
DATE: c1885-95

PROPOSAL

The applicants are proposing to:

1. Construct a 1 story (190 s.f.) addition at the rear of the house
2. Construct a 90 s.f. paintable composite material deck at the rear of the house
3. Construct a 1 story (200 s.f.) screen porch at the rear of the house
4. Remove one 1/1, double-hung window from the rear elevation and install a new 1/1, double-hung wooden window in a new location of the rear elevation
5. Install four, 1/1 double-hung wooden windows in the southwest foundation wall.

The proposed material treatments include painted cement stucco CMU foundation piers, wooden windows and doors, wooden siding and paintable composite material trim, decking and columns, and asphalt shingle and flat seam metal roofing.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

The *Guidelines* define an Outstanding Resource as:

A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historical associations that make the resource especially important to the history of the district, and/or it must be especially unique within the context of the district.

The following *Takoma Park Guidelines* pertain to this project:

- plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks and materials.
- emphasize placement of major additions to the rear of the existing structures so that they are less visible from the public right-of-way.
- while additions should be compatible, they are not required to be replicative of earlier architectural styles.
- preservation of original and distinctive architectural features, such as porch dormers, decorative details, shutters etc. is encouraged.
- preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged.
- preservation of original building materials and use of appropriate, compatible new materials is encouraged.
- all changes and additions should respect existing environmental settings, landscaping and patterns of open space.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the scope of work as proposed. The subject house sits approximately 94' back from the public right-of-way, as such any new construction will have negligible impact on the streetscape of the historic district.

The proposed 1 story addition is confined to the rear elevation of the house and does not extend beyond the left elevation. The addition is designed as such that it is sited within the existing ell which minimizes its visual impact on the streetscape of the historic district and to the historic massing.

Similarly, the one story screen porch is inset and sited entirely at the rear of the existing house to minimize its visibility from the public right-of-way.

The proposed additions are compatible in character and scale with the primary structure. The proposed material treatments are consistent with the historic massing and appropriate for new construction on an Outstanding Resource property.

Staff supports the installation of the four foundation level windows on southwest (right) elevation. The proposed installation will not impact the perceived character of the property or obscure, damage, destroy or remove original architectural details of the historic massing.

Staff finds the proposed scope of work as being consistent Chapter 24A-8(b)(1) & (2), *Standards* #9 and 10 and the *Guidelines* above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HA-WP application** as being consistent with Chapter 24A-8(b)(1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jeffery Broadhurst, AIA
Daytime Phone No.: 301-309-8900

Tax Account No.: 13-01071310

Name of Property Owner: Brad Blower and Margaret Warner Daytime Phone No.: (301) 270-1627

Address: 7417 Buffalo Ave Takoma Park MD 20912-4144
Street Number City State Zip Code

Contractor: TBD Phone No.: TBD

Contractor Registration No.: TBD

Agent for Owner: Jeffery Broadhurst, AIA Daytime Phone No.: 301-309-8900
Broadhurst Architects

LOCATION OF BUILDING/PREMISE

House Number: 7417 Street: Buffalo Ave.
Town/City: Takoma Park Nearest Cross Street: Albany Ave.
Lot: 4 Block: 75 Subdivision: 25
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 - Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 - Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

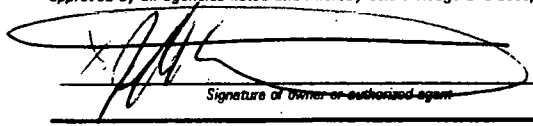
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height 4 feet 0 inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.


Signature of Owner or authorized agent

2-2-2010
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is a 2 1/2 story frame residence originally constructed in 1888. The building sits on its original 20,000 square foot lot in a neighborhood consisting predominantly of single family residences. The footprint of the original structure has not been significantly modified on the front and sides. The rear appears to have undergone minor alterations over time. The existing siding on all sides of the exterior of the house consists of horizontal vinyl siding and fascias and eaves are clad in aluminum.

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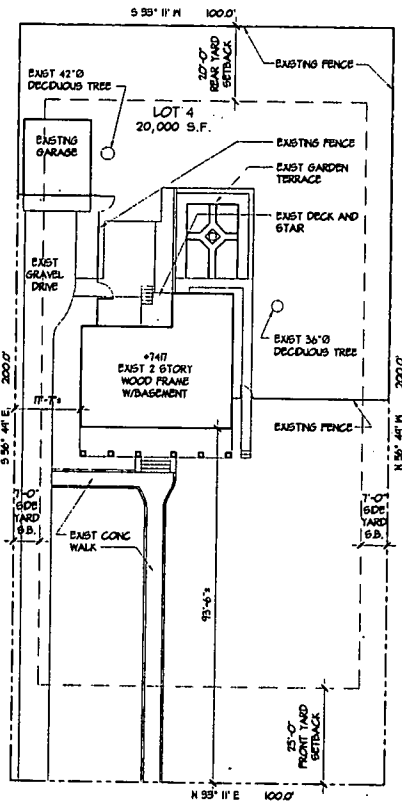
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

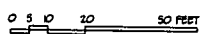
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

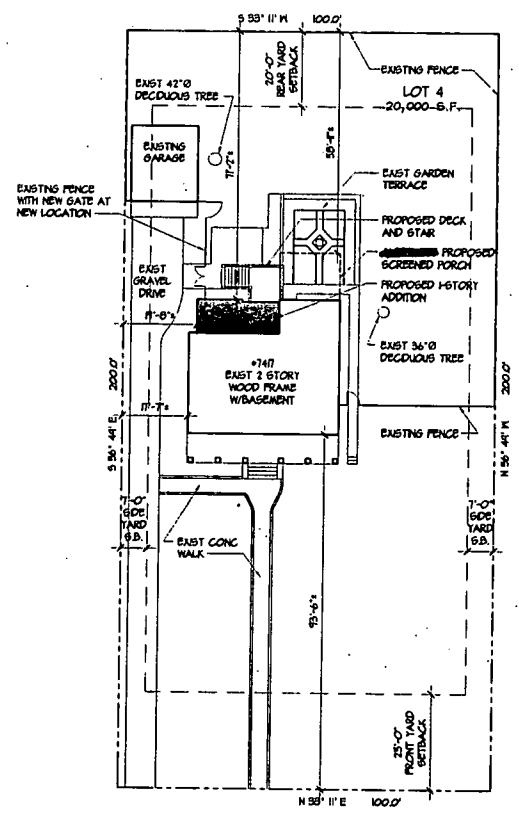
Owner's mailing address	Owner's Agent's mailing address
Brad Blower and Margaret Warner 7417 Buffalo Ave. Takoma Park, MD 20912	Jeffery Broadhurst, AIA 306 First St. Takoma Park, MD 20912
Adjacent and confronting Property Owners mailing addresses	
Francis McNally & Ellen Blackler 7421 Buffalo Ave, Takoma Park, MD 20912	David and Marina Fritz 7415 Buffalo Ave, Takoma Park, MD 20912
Richard Dunne 7420 Buffalo Ave, Takoma Park, MD 20912	Victor Vockerodt & Alison Raphael 507 Albany Ave, Takoma Park, MD 20912
Philip Walker & Wakako Tokunaga Walker 509 Albany Ave, Takoma Park, MD 20912	Deborah Chalfie and Cerinda Loschinkohl 511 Albany Ave. Takoma Park, MD 20912
David & N. H. Weiman 517 Albany Ave. Takoma Park, MD 20912	



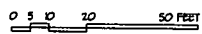
BUFFALO AVE.



1 EXISTING SITE PLAN
SCALE: 1" = 20'



BUFFALO AVE.



2 PROPOSED SITE PLAN
SCALE: 1" = 20'

DESCRIPTION OF WORK

THE WORK FOR THIS PROJECT INCLUDES THE FOLLOWING COMPONENTS:
 1. CONSTRUCTION OF A ONE STORY ADDITION ON NEW CAU PER FOUNDATIONS. ADDITION TO CONTAIN A NEW BREAKFAST ROOM AND REAR HALL.
 2. RENOVATION OF THE FIRST FLOOR KITCHEN, INCLUDING REMOVAL OF EXISTING FIRST FLOOR POWDER ROOM.
 3. RENOVATION OF PART OF THE EXISTING BASEMENT TO INCLUDE A NEW RECREATION ROOM AND BATHROOM.
 4. ALTERNATE CONSTRUCTION OF A NEW SCREENED PORCH ON CAU PER FOUNDATIONS.

ZONING SUMMARY

PROPERTY ADDRESS:	7417 BUFFALO AVE., TAKOMA PARK, MD 20912
PROPERTY DESCRIPTION:	LOT 4 BLOCK 75
ZONE:	R-60
LOT AREA:	20,000 SQ FT
MAX. LOT COVERAGE:	35% = 7,000 SQ FT
EXISTING LOT COVERAGE:	100 SQ FT (1.5%); EXISTING HOUSE (INC. COVERED PORCHES) & GARAGE
PROPOSED LOT COVERAGE:	2090 SQ FT (10.5%) 2281 SQ FT (11.4%) IF SCREEN PORCH ALTERNATE IS CONSTRUCTED
INCREASE IN LOT COVERAGE:	80 SQ FT (0.81%) W/ GC PORCH ALTERNATED
AREA OF SITE DISTURBANCE:	500 SQ FT (775 SQ FT W/ GC PORCH ALTERNATED)
MAXIMUM BUILDING HEIGHT:	35 FT AND 2 1/2 STORES
EXISTING AND PROPOSED BUILDING HEIGHT:	40% EXISTING NON-CONFORMING TO REMAIN UNCHANGED
YEAR HOUSE BUILT:	1988
REQUIRED SETBACKS:	
MIN. FRONT YARD, MAIN BLDG.:	25' OR THE ESTABLISHED BUILDING LINE
MIN. SIDE YARD, MAIN BLDG.:	7'-0"
MIN. REAR YARD, MAIN BLDG.:	20'-0"
MAX. HEIGHT, MAIN BUILDING:	35'-0"

INDEX OF DRAWINGS

A1	COVER SHEET AND SITE PLANS	EX-1	EXISTING BASEMENT PLAN
A2.0	PROPOSED BASEMENT PLAN	EX-2	EXISTING FIRST FLOOR PLAN
A2.1	PROPOSED FIRST FLOOR PLAN	EX-3	EXISTING SECOND FLOOR PLAN
A2.2	PROPOSED SECOND FLOOR PLAN	EX-4	EXISTING THIRD FLOOR PLAN
A3.1	PROPOSED ELEVATION	EX-5	EXISTING ELEVATION
A3.2	PROPOSED ELEVATION	EX-6	EXISTING ELEVATION
A3.3	PROPOSED ELEVATION	EX-7	EXISTING ELEVATION
A3.4	PROPOSED ELEVATION		
A3.5	PROPOSED ELEVATION		
A3.6	PROPOSED ELEVATION		

BROADHURST ARCHITECTS, INC.
 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851
 (PH) 301.309.8900 (F) 301.309.8915



RENOVATION & ADDITION TO THE
WARNER-BLOWER RESIDENCE
 7410 BUFFALO AVENUE, TAKOMA PARK, MD 20912

COVER SHEET
 AND SITE PLAN
 SCALE: 1" = 20'

DATE:
 2-2-2011
 HAWP SUBMISSION

A.11

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER: 1374 EXPIRATION DATE: 03-28-2012

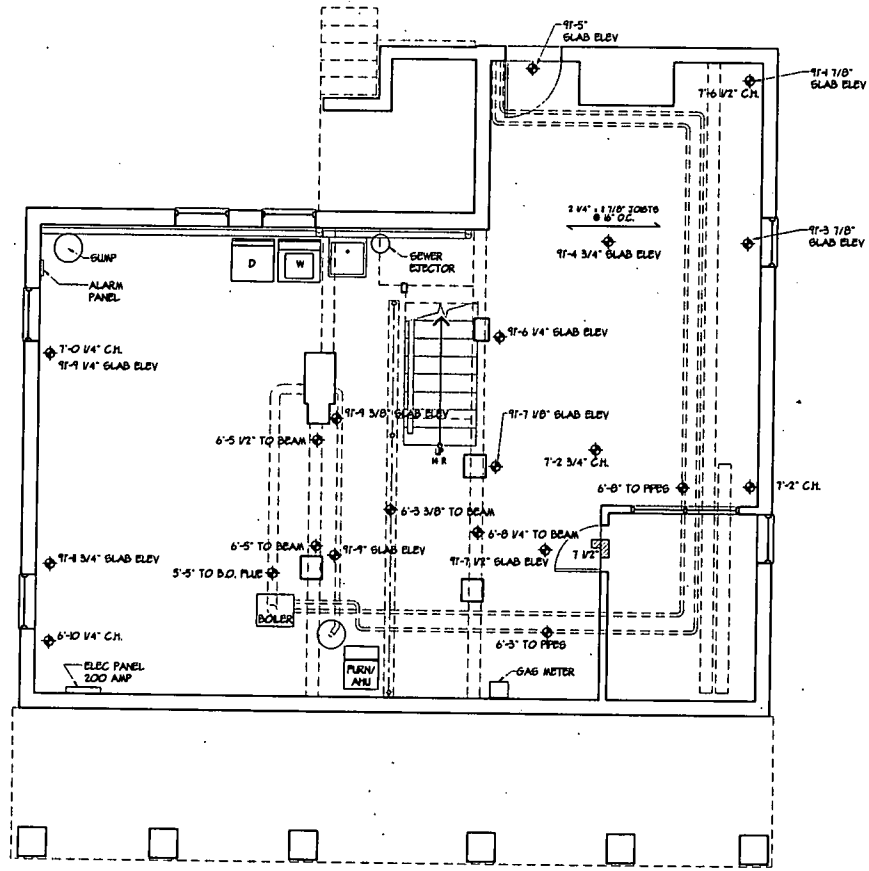
8

FILE NAME: WARMER-A1117

6

FILE NAME

1 EX-1 EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"



BROADHURST ARCHITECTS, INC.
 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851
 (PH) 301.309.8900 (FAX) 301.309.8915



RENOVATION & ADDITION TO THE
WARNER-BLOWER RESIDENCE
 7417 BUFFALO AVENUE TAKOMA PARK, MD 20912

EXISTING BASEMENT PLAN
 SCALE: 1/4" = 1'-0"

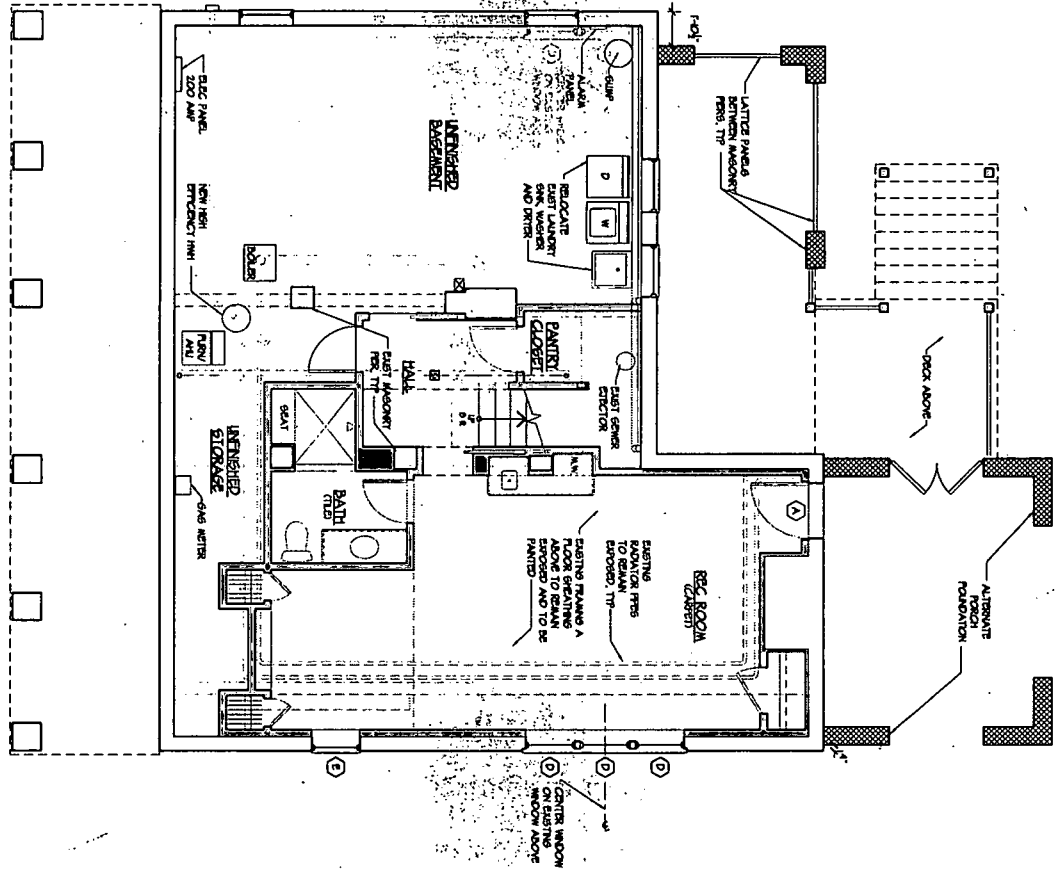
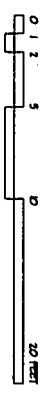
DATE

EX-1

01

FILE NAME: WARN_A20.dwg

1
BASEMENT PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND

	EXISTING WALL
	PROPOSED FRAME WALL
	PROPOSED BRICK VENEER
	PROPOSED CMU WALL

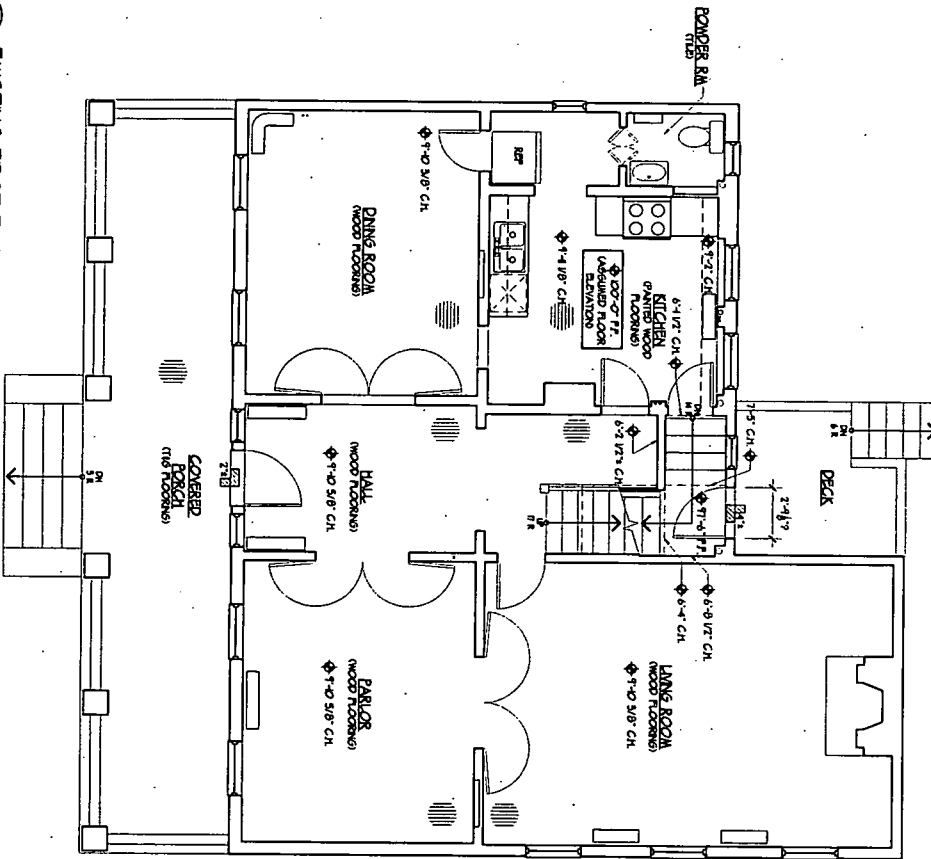
PROFESSIONAL ARCHITECTURAL DESIGN
 PROVIDED OR APPROVED BY THE ARCHITECT
 DATE: 3/24/11
 DRAWING SUBMISSION
 3-14-11
 3-14-11

<p>A.20</p>	<p>BASEMENT PLAN SCALE: 1/4" = 1'-0"</p>	<p>RENOVATION & ADDITION TO THIS WARNER-BLOWER RESIDENCE 7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912</p>	 <p>BROADHURST ARCHITECTS, INC. 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851 (PH) 301.309.8500 (F) 301.309.8915</p>
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11

FILE NAME: WARN_EC-A3.dwg

1 EXISTING FIRST FLOOR PLAN
EX-2 SCALE: 1/4" = 1'-0"

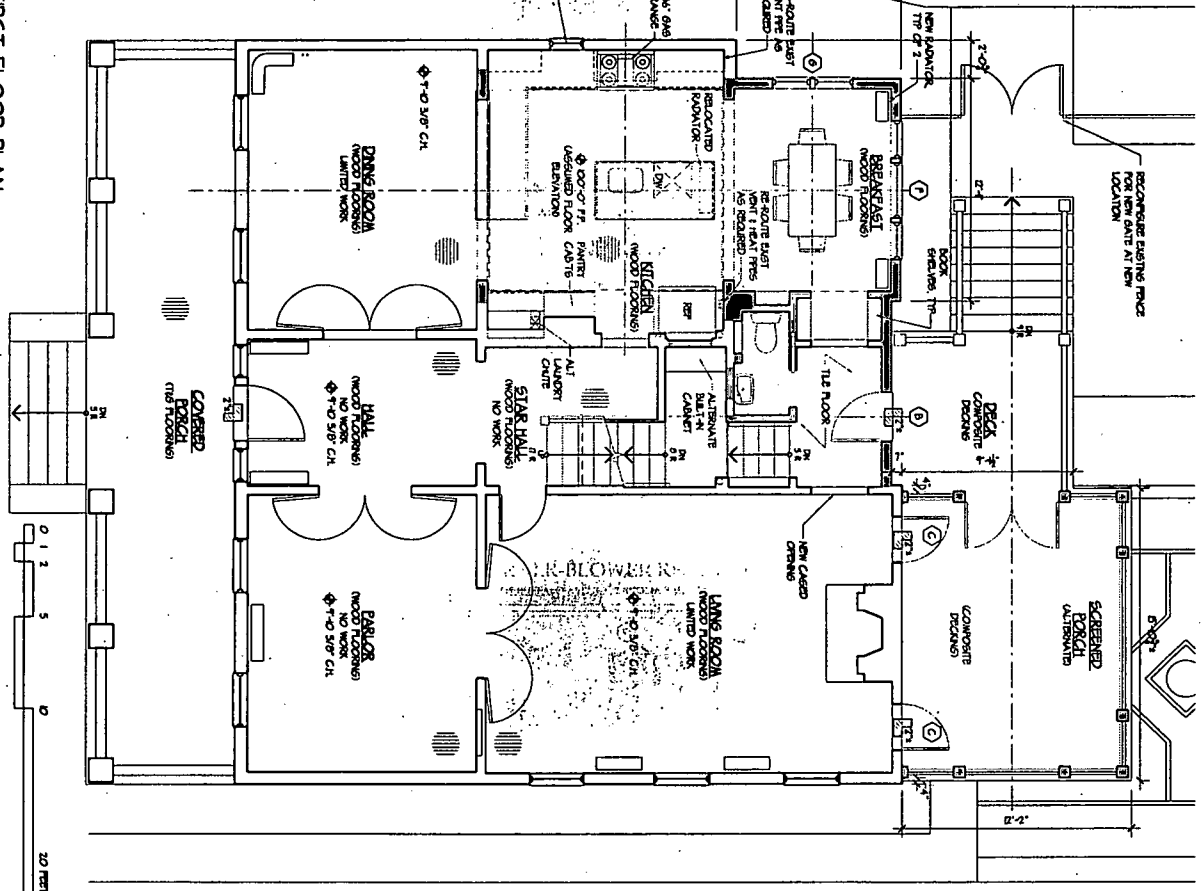


EX-2	DATE	RENOVATION & ADDITION TO THE WARNER-BLOWER RESIDENCE 7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912	 BROADHURST ARCHITECTS, INC. 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851 (PH) 301.309.8900 (F) 301.301.8915
	EXISTING FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"		

12

FILE NAME: WARN.A32.dwg

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



- WALL LEGEND**
- EXISTING WALL
 - RECONSTRUCT FRAME WALL
 - RECONSTRUCT BRICK WALL
 - RECONSTRUCT CMU WALL

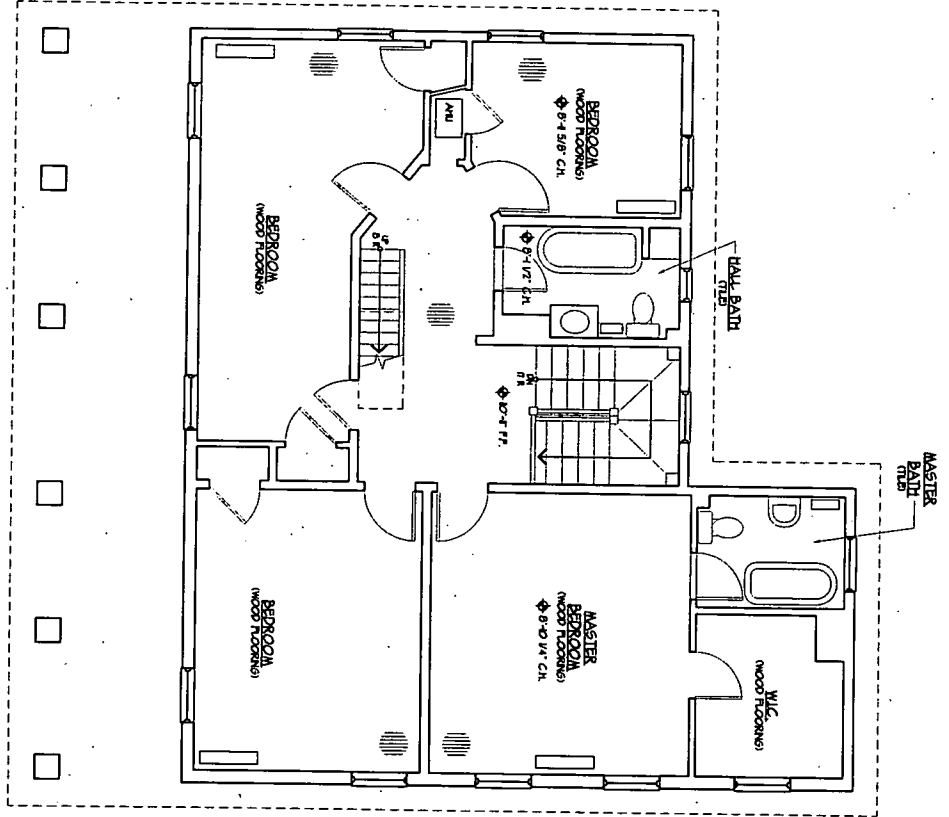
PROFESSIONAL ARCHITECTURAL DESIGN
 DRAWING TO BE APPROVED BY THE ARCHITECT
 AND THE BOARD OF ARCHITECTS OF THE STATE OF MARYLAND
 NUMBER 12014 (EXPIRES) DATE 03-25-2017

A2.1	FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"	RENOVATION & ADDITION TO THE WARNER-BLOWER RESIDENCE 7417 BUFFALO AVENUE TAKOMA PARK, MD 20912	 BROADHURST ARCHITECTS, INC. 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851 (PH) 301.309.8900 (F) 301.301.309.8915
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1/3

FILE NAME: WARN, EC-3220

1 EXISTING SECOND FLOOR PLAN
EX-3 SCALE: 1/4" = 1'-0"

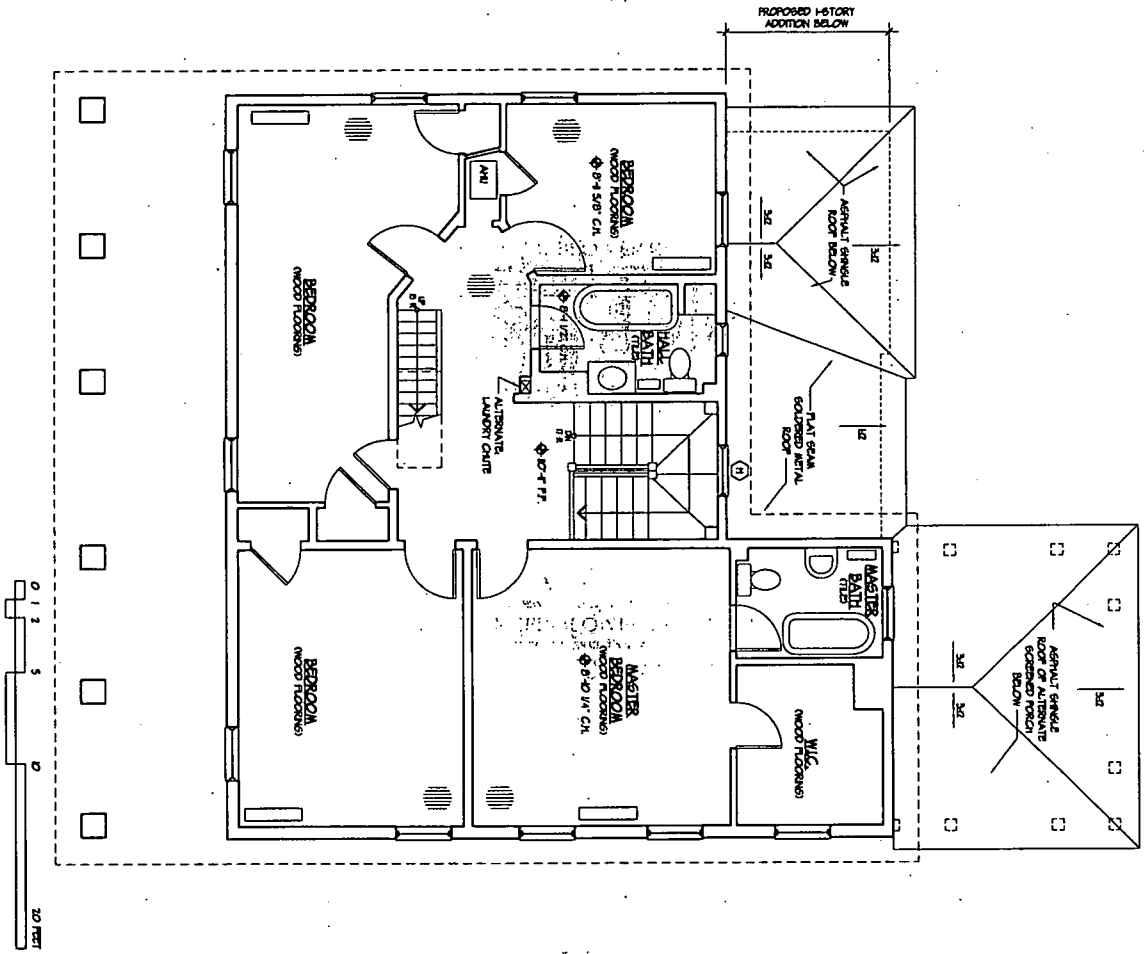


EX-3	DATE	RENOVATION & ADDITION TO THE WARNER-BLOWER RESIDENCE 7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912	 BROADHURST ARCHITECTS, INC. 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851 (PH) 301.309.8900 (FX) 301.309.8915
	EXISTING SECOND FLOOR PLAN		

41

FILE NAME: WARN EC-A22.dwg

1 SECOND FLOOR PLAN
A22 SCALE: 1/4" = 1'-0"



CONSTRUCTION OF THIS PLAN IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT AND THE STATE OF MARYLAND. LICENSE NUMBER: 1234 (EXPIRES DATE: 03/28/2011)

WALL LEGEND

- EXISTING WALL
- PROPOSED PLUMB WALL
- PROPOSED BRICK VENEER
- PROPOSED CMU WALL

A22

DATE: 3-2-2011
DRAWN BY: JAMES S. BLOOMER
CHECKED BY: JAMES S. BLOOMER

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

RENOVATION & ADDITION TO THIS
WARNER-BLOWER RESIDENCE
7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912

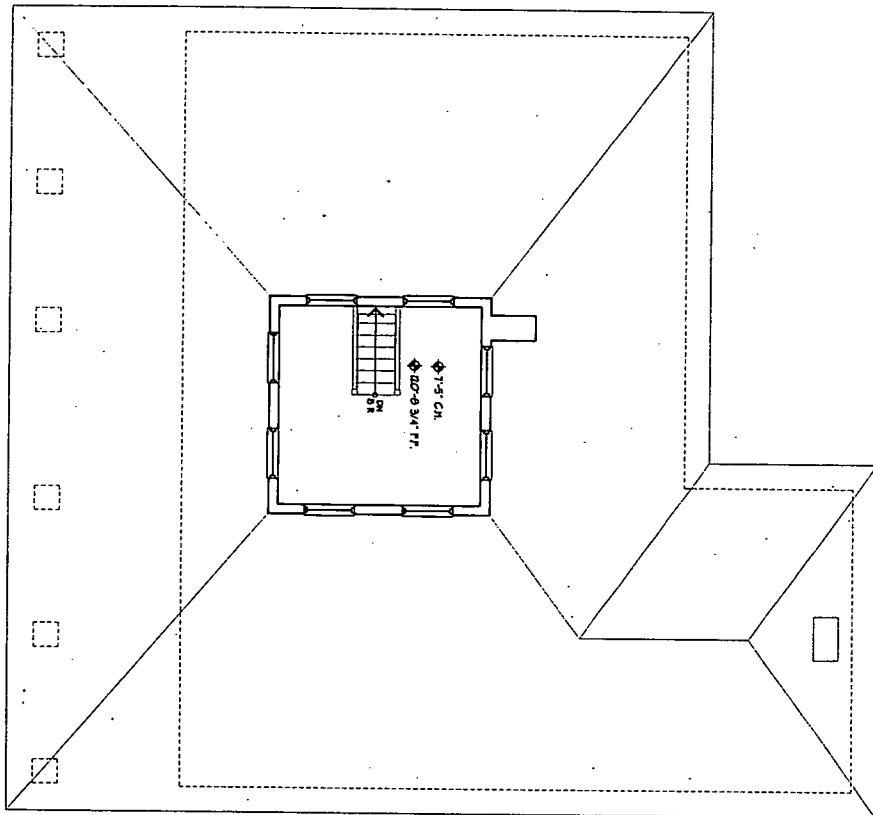


BROADHURST ARCHITECTS, INC.
306 FIRST STREET, ROCKVILLE, MARYLAND, 20851
(PH) 301.309.8900 (F) 301.301.309.8915

15

FILENAME: WARN_EC-AL2.dwg

1 EXISTING THIRD FLOOR PLAN
EX-4 SCALE: 1/4" = 1'-0"

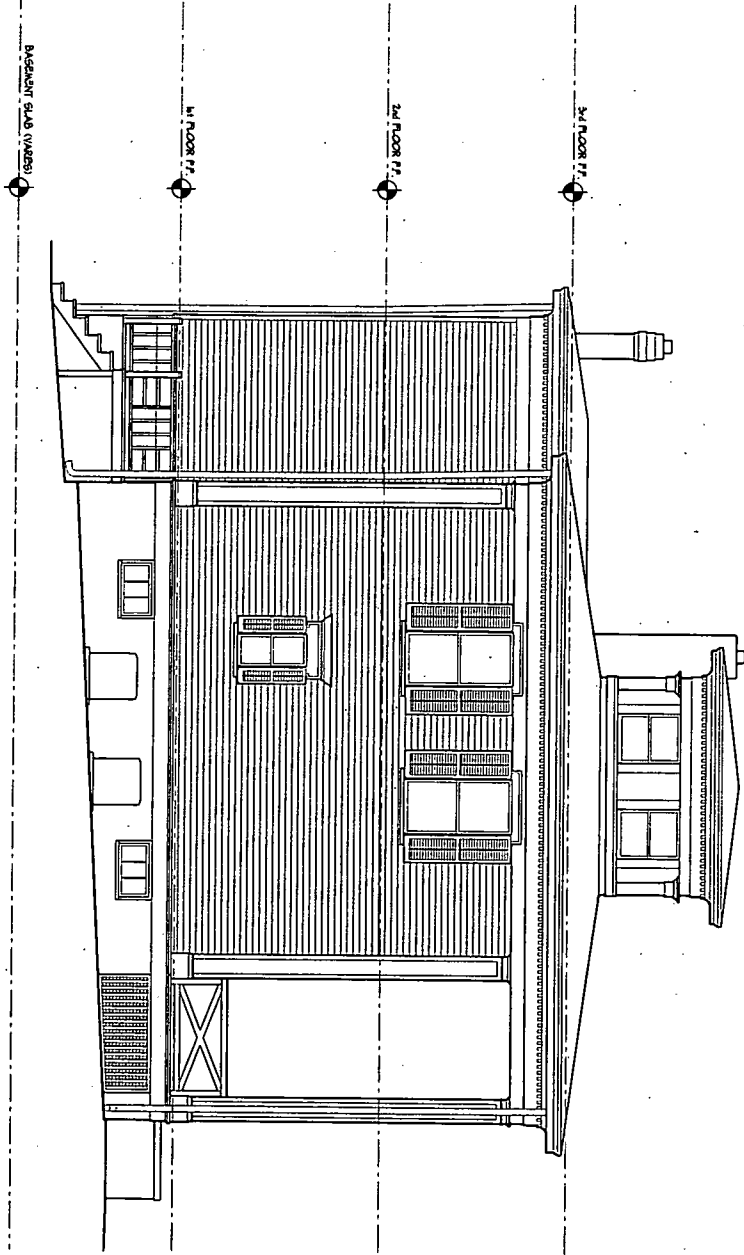


EX-4	DATE	EXISTING THIRD FLOOR PLAN	RENOVATION & ADDITION TO THE WARNER-BLOWER RESIDENCE 7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912	 BROADHURST ARCHITECTS, INC. 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851 (PH) 301.309.8900 (F) 301.309.8715
		SCALE: 1/4" = 1'-0"		

9/

FILE NAME: WARN_EC-032

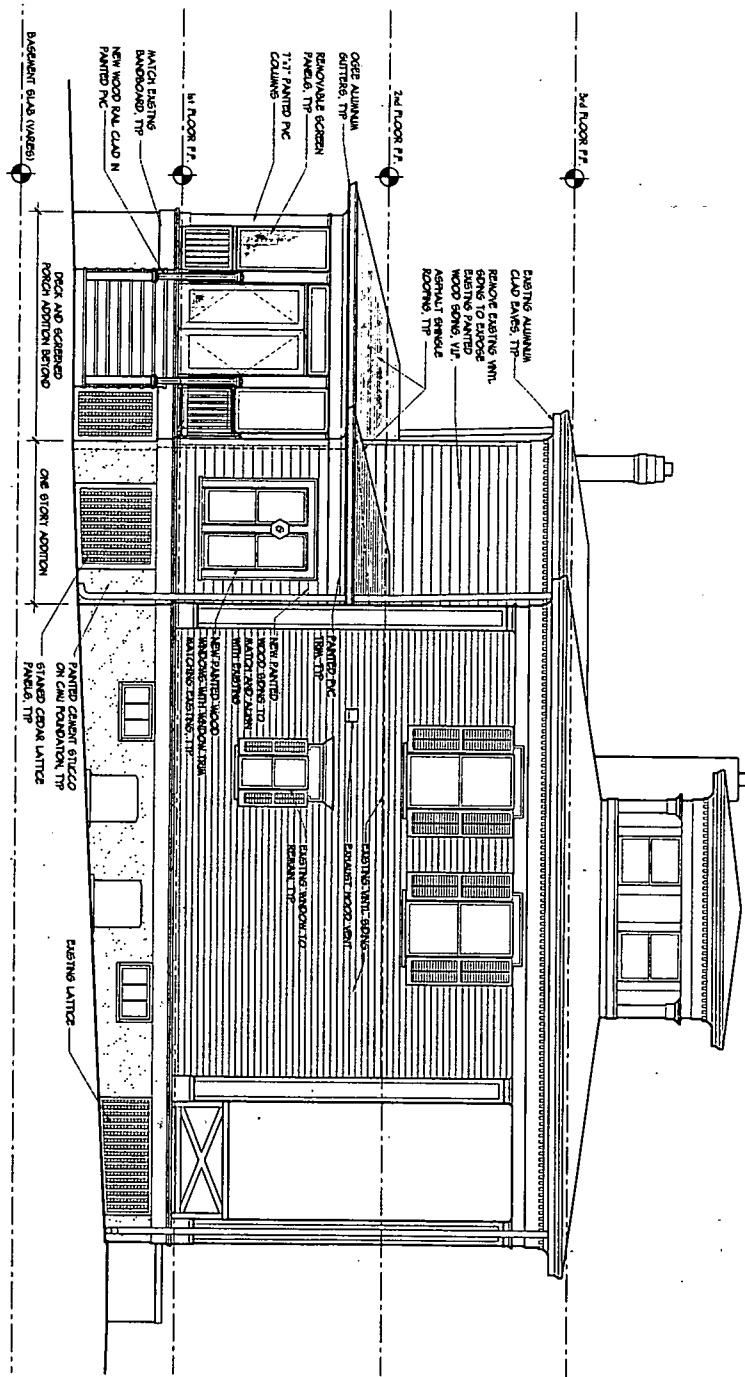
1 EXISTING NORTHEAST ELEVATION
EX-5 SCALE: 1/4" = 1'-0"



EX-5	DATE	EXISTING ELEVATION	RENOVATION & ADDITION TO THE WARNER-BLOWER RESIDENCE 7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912	 BROADHURST ARCHITECTS, INC. 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851 (PH) 301.309.8900 (F) 301.301.8915
		SCALE: 1/4" = 1'-0"		

71

FILE NAME: WARN_EC432.dwg



1 NORTH-EAST ELEVATION (SCREENED PORCH ALTERNATE)
 A3.4 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED OR APPROVED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT REGISTERED IN THE STATE OF MARYLAND. NUMBER: 12371 EXPIRATION DATE: 05-28-2013

DATE: 2-22-2011
 DRAWN BY: [Name]
 A3.4

PROPOSED ELEVATION
 (SCREENED PORCH ALTERNATE)
 SCALE: 1/4" = 1'-0"

RENOVATION & ADDITION TO THE
WARNER-BLOWER RESIDENCE
 7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912

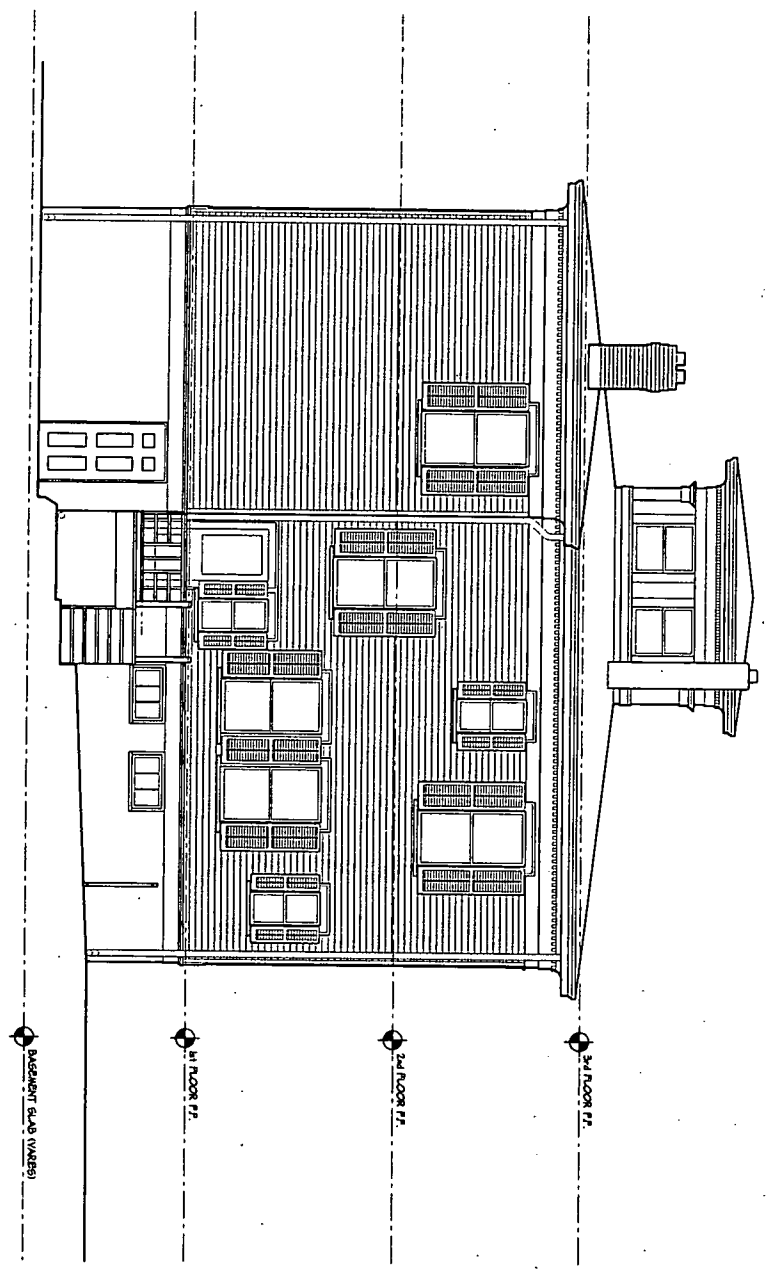


BROADHURST ARCHITECTS, INC.
 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851
 (714) 301.309.8900 (714) 301.309.8915

81

FILE NAME: WARN, DC.A320

1 EXISTING SOUTHEAST ELEVATION
EX-6 SCALE: 1/4" = 1'-0"

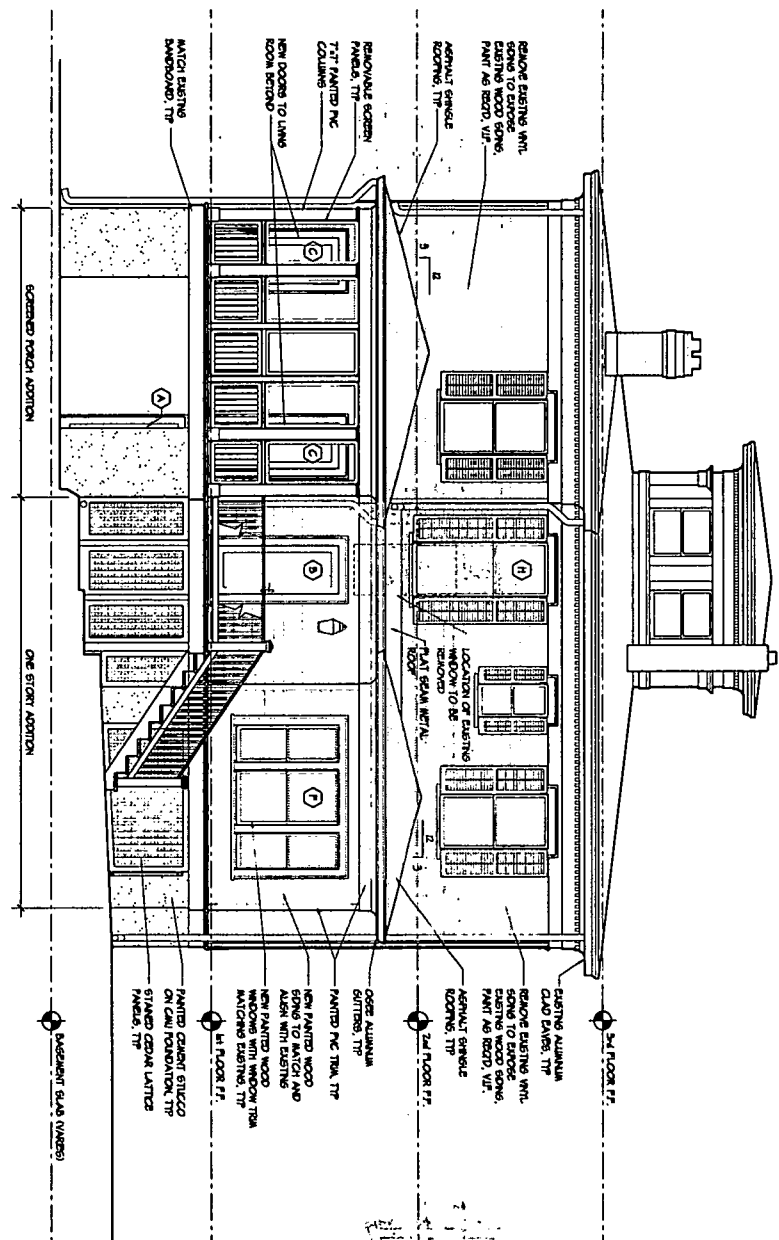


EX-6	DATE	EXISTING ELEVATION	RENOVATION & ADDITION TO THE WARNER-BLOWER RESIDENCE 7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912		BROADHURST ARCHITECTS, INC. 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851 (PH) 301.309.8900 (FX) 301.309.8915
		SCALE: 1/4" = 1'-0"			

61

FILE NAME: WARN_A3.5

1 SOUTHEAST ELEVATION (SCREENED PORCH ALTERNATE)
 A3.5 SCALE: 1/4" = 1'-0"



PROFESSIONAL CERTIFICATION: I, HELEN M. BROADHURST, ARCHITECT, LICENSE NO. 12741, REGISTERED PROFESSIONAL ARCHITECT, STATE OF MARYLAND, CERTIFY THAT THIS DOCUMENT IS MY ORIGINAL WORK AND THAT I AM THE AUTHOR OF THE SAME.

A3.5
 DATE: 2-2-2011
 DRAWN BY: HMB
 CHECKED BY: HMB

PROPOSED ELEVATION
 (SCREENED PORCH ALTERNATE)
 1/4" = 1'-0"

RENOVATION & ADDITION TO THE
WARNER-BLOWER RESIDENCE
 7417 BUTTALO AVENUE, TAKOMA PARK, MD 20912

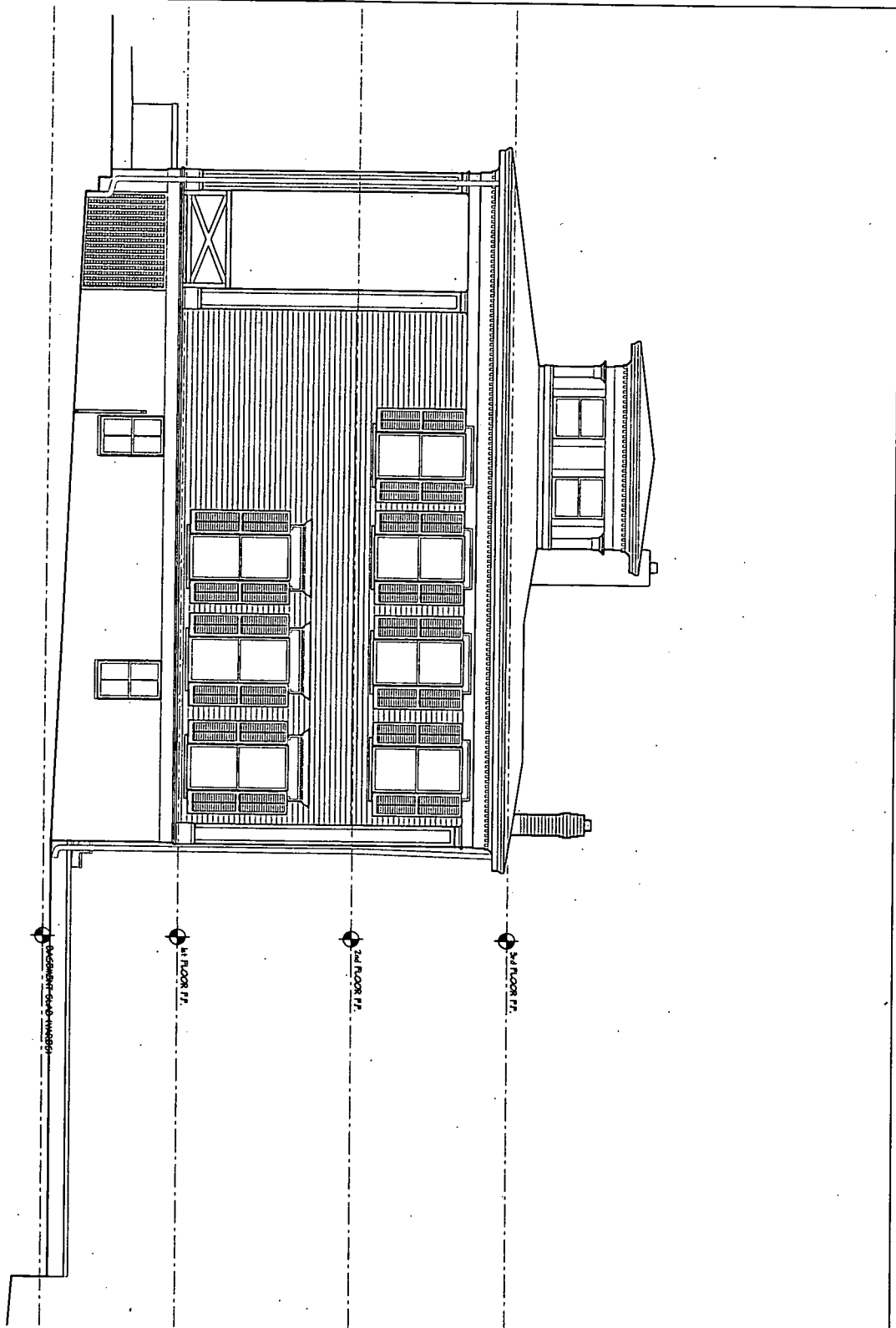



BROADHURST ARCHITECTS, INC.
 308 FIRST STREET, ROCKVILLE, MARYLAND, 20851
 (PH) 301.309.8500 (F) 301.309.8915

28

FILE NAME: WARN, EC-432

1 EXISTING SOUTHWEST ELEVATION
EX-7 SCALE: 1/4" = 1'-0"

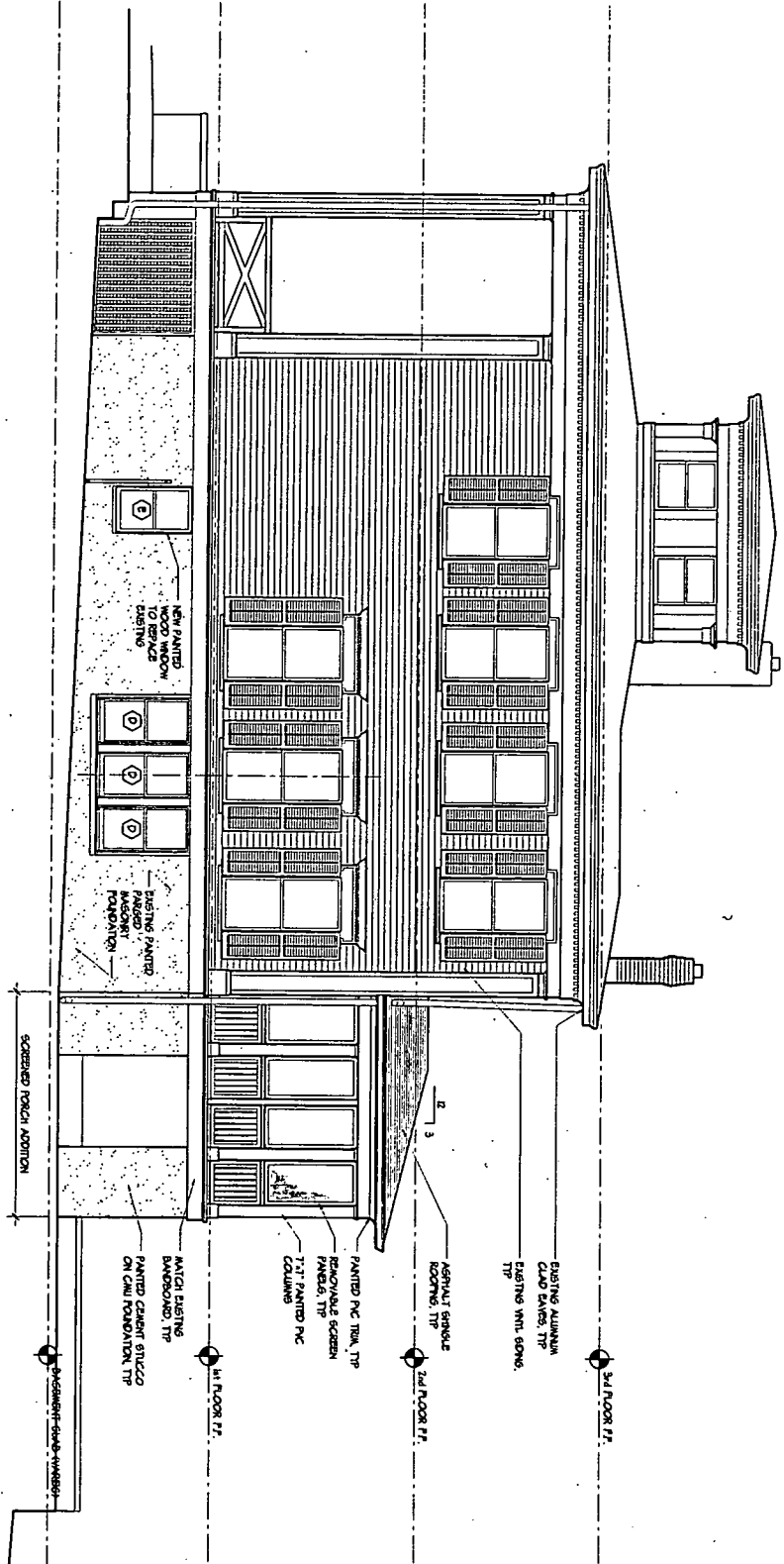


EX-7	DATE	EXISTING ELEVATION	RENOVATION & ADDITION TO THE WARNER-BLOWER RESIDENCE 7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912	 BROADHURST ARCHITECTS, INC. 306 FIRST STREET, ROCKVILLE, MARYLAND, 20851 (PH) 301.309.8900 (F) 301.309.8915
		SCALE: 1/4" = 1'-0"		

21

FILE NAME: WARN_A33.dwg

1 SOUTHWEST ELEVATION (SCREENED PORCH ALTERNATE)
A33 SCALE: 1/4" = 1'-0"



NEW PAINTED WOOD WINDOW TO REPLACE EXISTING

EXISTING PAINTED WINDOW

SCREENED PORCH ADDITION

MATCH EXISTING BANDBOARD TYP

PAINTED CASSET STUDS ON OLD FOUNDATION TYP

1st FLOOR FF

PAINTED PVC TRIM TYP
REMOVABLE SCREEN PANELS TYP
TYP PAINTED PVC COLUMNS

ASPHALT SINGLE ROOFING TYP

2nd FLOOR FF

EXISTING ALUMINUM CLAD BARS TYP
EXISTING WHT. SONS TYP

3rd FLOOR FF

PROFESSIONAL CERTIFICATION: I, ERIC J. BROADHURST, ARCHITECT, AMERICAN INSTITUTE OF ARCHITECTS, LICENSE NO. 12345, STATE OF MARYLAND, EXPIRES 12/31/2023

PROPOSED ELEVATION (SCREENED PORCH ALTERNATE)

SCALE: 1/4" = 1'-0"

RENOVATION & ADDITION TO THE
WARNER-BLOWER RESIDENCE
7417 BUFFALO AVENUE, TAKOMA PARK, MD 20912



BROADHURST ARCHITECTS, INC.
306 FIRST STREET, ROCKVILLE, MARYLAND, 20851
(PH) 301.309.8900 (FX) 301.301.8915

A33.6

DATE: 10/15/2023
DRAWN BY: [Name]
CHECKED BY: [Name]

22



BROADHURST ARCHITECTS, INC.



View of Front Façade from Buffalo Avenue. No Change Intended.

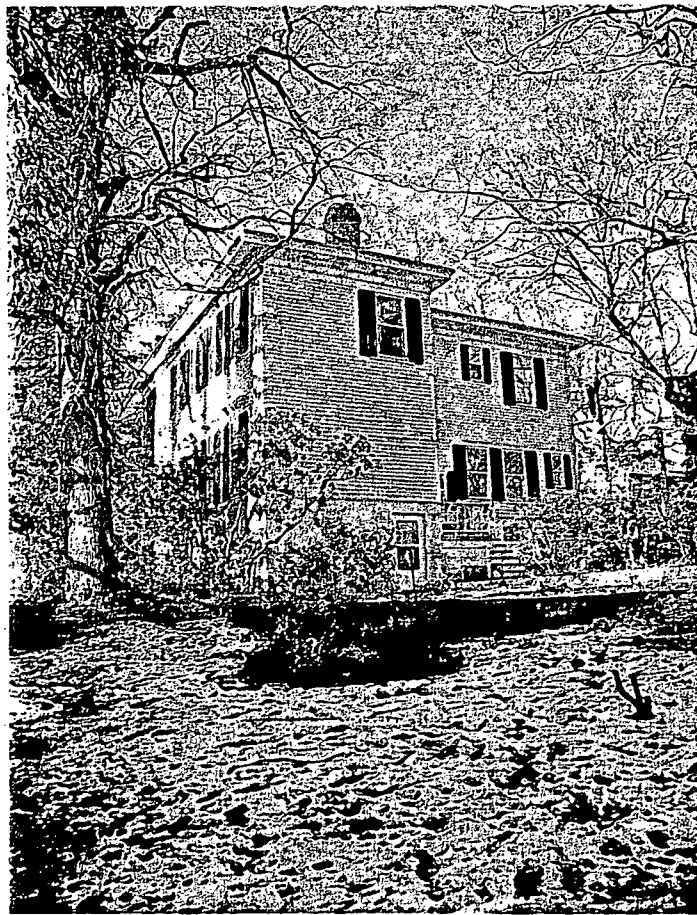


View of Existing North Side Façade along driveway

BROADHURST ARCHITECTS, INC.



View of Existing Rear Façade

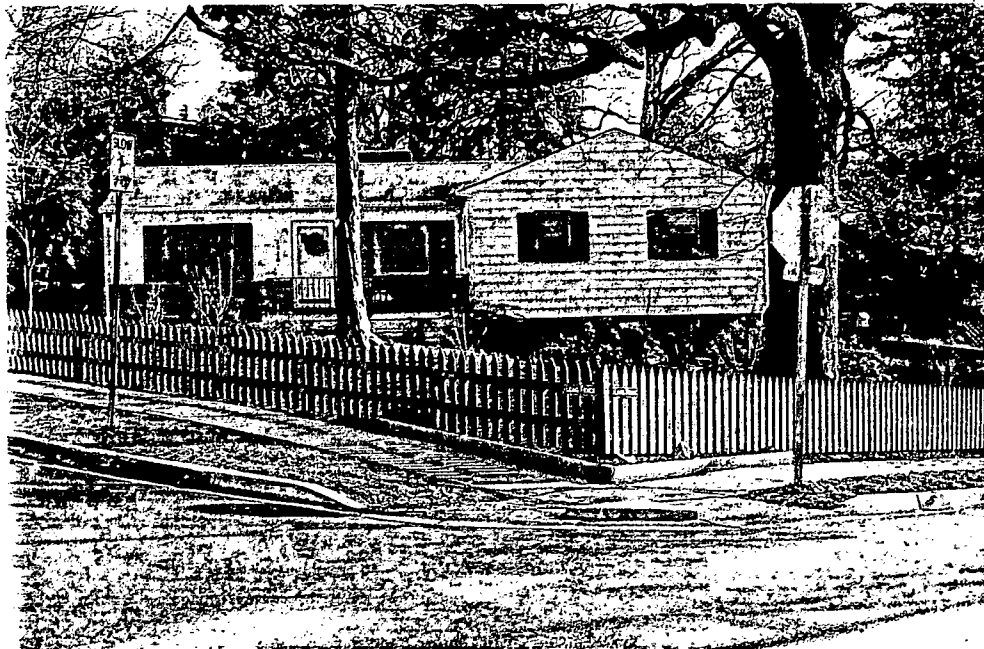


Oblique View of Existing Rear Façade

BROADHURST ARCHITECTS, INC.



Adjoining Property: 7421 Buffalo Avenue



Adjoining Property: 7415 Buffalo Avenue

BROADHURST ARCHITECTS, INC.



Adjoining Property: 511 Albany Avenue



Adjoining Properties: 509 and 507 Albany Avenue

City of Takoma Park

Housing & Community Development

Telephone: (301) 891-7119
Fax: (301) 270-4568



7500 Maple Avenue
Takoma Park, MD 20912

January 31, 2011

Department of Permitting Services
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166

E-mail: hyatsuhashi@broadhurstarchitects.com

Property Owner Name: Margaret Warner and Brad Blower
Architect: Broadhurstarchitects – 301-309-8900

Location of Requested Building Permit: 7417 Buffalo Avenue

Proposed Scope of Work: Interior and exterior renovation, rear addition, and fence adjustment.

Dear Department of Permitting Services:

The above property owner or owner's agent has notified the City of Takoma Park that they are planning to apply for permits for the above summarized construction project. The property owner or owner's agent has been informed that the City of Takoma Park has regulations and permit requirements that may apply to their project and if they do not comply they may be cited or fined.

Yours sincerely,

A handwritten signature in black ink, appearing to read "Ilona Blanchard".

Ilona Blanchard
Community Development Coordinator



<http://www.montgomerycountymd.gov/permittingservices/>

Application For Residential Building Permit

Sediment Control # _____ Building AP #(s) 550019 Demolition # _____

DESCRIPTION OF WORK: (check all that apply)

- ADD
 - ALTER
 - CONSTRUCT
 - DEMOLISH
 - MOVE
 - FOUNDATION ONLY
 - RESTORE and/or REPAIR
 - REVISION
 - FINAL INSPECTION ONLY
- Gross Sq. Ft. of Area Created
or Affected by this Action: 280 sf
- Estimated Cost: \$ 200,000
- Disturbed Land Area: 500 sf
- Lot Size: 20,000 sf

TYPE OF STRUCTURE:

- SINGLE FAMILY DWELLING
- TOWNHOUSE
- FENCE*
- RETAINING WALL
- TRAILER**
- MODULAR HOME**
- HOT TUB
- OTHER _____
- DECK
- DUPLEX
- BASEMENT
- POOL IN GROUND
- POOL ABOVE GROUND
- DETACHED GARAGE
- SHED

PROPOSED USE OF STRUCTURE: Kitchen, Rec Room

*** For ALL Construction**

HEIGHT: 40 ft. (existing) in. Note: (A signed approval letter from the adjacent lot owner(s) is required)

- Located entirely on the land of the owner
- Public Right of Way/Easement
- Located on the lot line

****NOTE:**

Manufacturer's Name and Model # for All Trailers and Modular Homes _____

MODEL HOUSE PROGRAM: *to build new homes*

- INITIAL SUBMITTAL or
 - PREVIOUSLY APPROVED PERMIT # _____
- New Home Model Name or # _____

REFER-BACK SYSTEM: *to build new homes & pools*

- INITIAL SUBMITTAL or
- PREVIOUSLY APPROVED PERMIT # _____

REVISION to ORIGINAL PERMIT # _____

(Original permit has been issued and is active)

- SITE
- STRUCTURAL
- HOUSE TYPE
- OTHER: _____

MNCPPC Site Plan No. _____

Record Plat No. _____

Preliminary Plan No. _____

- Y N Forest Conservation Easement?

BUILDING PREMISE ADDRESS:

Add'l House #'s If
building new townhouses: _____

House Number 7417 Street Buffalo Ave. City Takoma Park Zip 20912

Lot(s) 4 Block 75 Subdivision 25

Nearest Cross Street Albany Ave.

APPLICANT INFORMATION: Contact ID #: _____

Fax #: _____ Email: mmw9@cdc.gov

Name of Applicant Margaret Warner and Brad Blower
(Permit will be issued to Applicant)

Daytime Phone #: (301) 270-1627

Address 7417 Buffalo Ave. City Takoma Park State MD Zip 20912

CONTACT INFORMATION: Contact ID #: _____

Fax #: _____ Email: jbroadhurst@broadhurstarchitects.com

Contact Person Jeffery Broadhurst
(if other than Applicant)

Daytime Phone # 301-309-8900

Address 306 First St. City Rockville State MD Zip 20912

Contractor TBD MHIC or Montgomery County Builders License # _____

Contractor Address _____ Daytime Phone # _____

If applying for "Design for Life" certification, indicate the level of accessibility Visit-Able Live-Able

CERTIFICATE NAME:

Bldg.appl.res.4/08

ADDITIONAL APPROVALS:

Properties located within historic districts, municipalities and special taxing districts may require additional approvals beyond the required Department of Permitting Services (DPS) building permit.
For projects located in the City of Takoma Park's Commercial Revitalization Overlay, certain permits must be approved by the City prior to commencing construction.
Please refer to "Permit Procedures for Properties within a Montgomery County Municipality" for more information.

TYPE OF WATER SUPPLY WSSC WELL OTHER (specify) _____
SEWAGE DISPOSAL WSSC SEPTIC OTHER (specify) _____

MPDU ... 20% of this new home development will be built as Moderately Priced Dwelling Units Yes No

SPECIAL EXCEPTION: Is this lot subject to a Special Exception? Yes, Case # _____ No

VARIANCE: Has a Variance been granted to perform this work? Yes, Variance # _____ No

HISTORIC AREA IN ATLAS or MASTER PLAN: Is the property a Historic resource? Yes No

AUTHORIZED AGENT AFFIDAVIT: I hereby declare and affirm, under the penalty of perjury, that:

1. I am duly authorized to make this permit application on behalf of: Margaret Warner and Brad Blower
(Please print property owner's name)
2. The work proposed by this building permit application is authorized by the property owner; and
3. All matters and facts set forth in this Affidavit are true and correct to the best of my knowledge, information and belief.

x Bradley H. Blower 2/2/11 Bradley H. Blower
(Property Owner's Signature) Date (Print Name)

[Signature] 2-2-11 Jeffery Broadhurst
(Authorized Agent's Signature) Date (Print Name)

STATEMENT OF HOMEOWNER ACTING AS NEW HOME BUILDER:

I, the undersigned property owner, state that I am not a licensed new home builder and that the building to be constructed under this permit is to be used as a residence for me and my immediate family. I will serve as general contractor and take responsibility for compliance with all applicable building codes.

(Property Owner's Signature) Date (Print Name)

TO BE READ BY THE APPLICANT:

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of the application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies.

x Bradley H. Blower 2/2/11 Bradley H. Blower
(Applicant's Signature) Date (Print Name)

EXPEDITED PLAN REVIEW: I request an Expedited Plan Review, when available, which is subjected to additional fees.

(Applicant's Signature) Date (Print Name)

BROADHURST ARCHITECTS, INC.



View of Front Façade from Buffalo Avenue. No Change Intended.

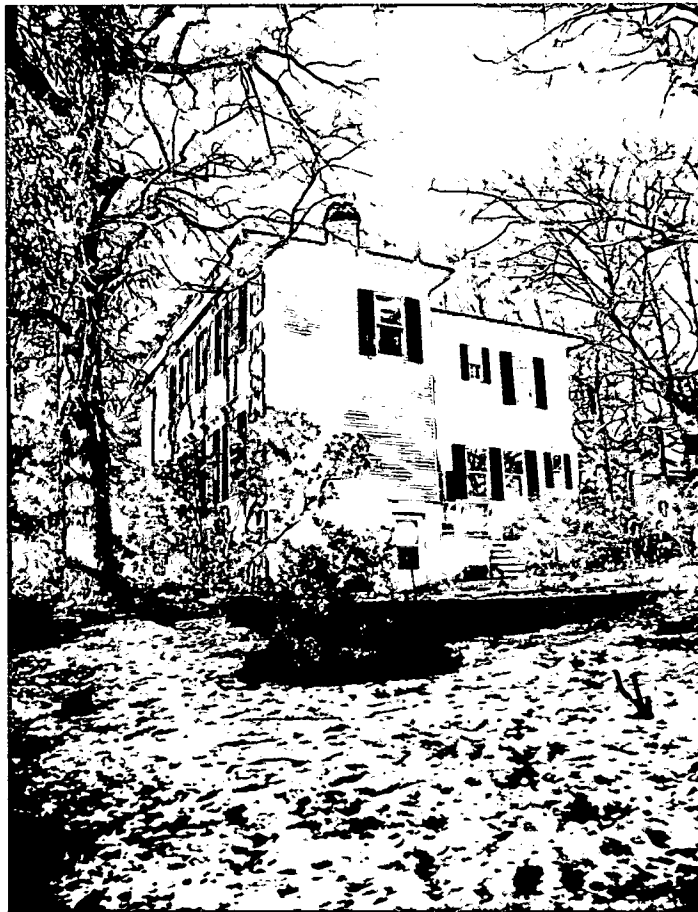


View of Existing North Side Façade along driveway

BROADHURST ARCHITECTS, INC.



View of Existing Rear Façade



Oblique View of Existing Rear Facade

BROADHURST ARCHITECTS, INC.



Adjoining Property: 7421 Buffalo Avenue

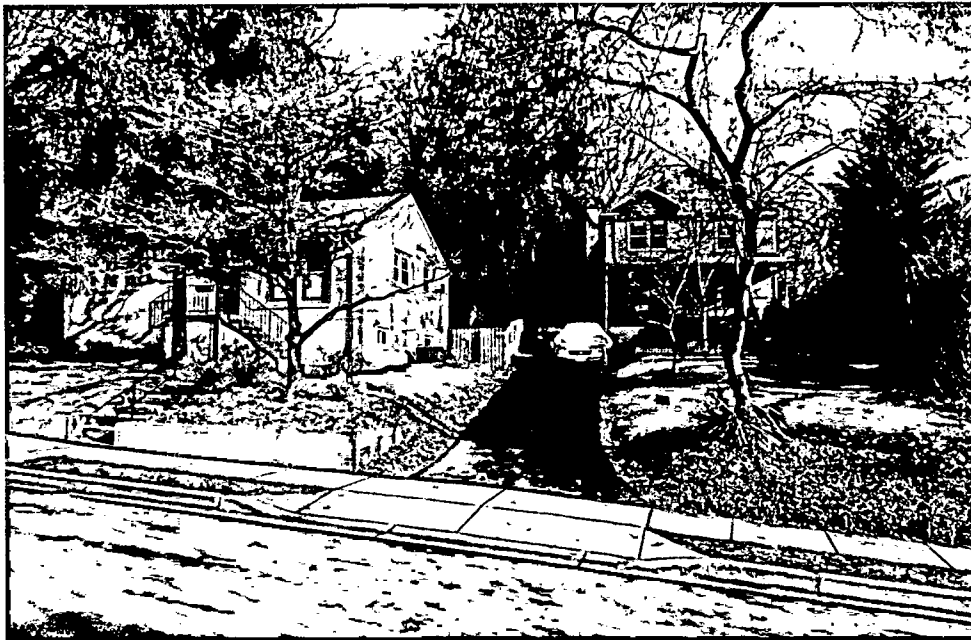


Adjoining Property: 7415 Buffalo Avenue

BROADHURST ARCHITECTS, INC.



Adjoining Property: 511 Albany Avenue



Adjoining Properties: 509 and 507 Albany Avenue