

13 Columbia Avenue, Takoma Park

[HPD Case No. # 37/03-12A]

Takoma Park H.D.



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: February 9, 2012

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #588535, construction of front porch

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the February 8, 2012 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

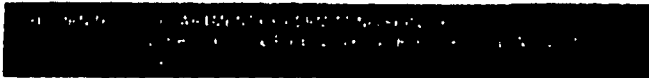
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Neal Cohen

Address: 13 Columbia Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Email: NEALSCOHEN@GMAIL.COM Contact Person: NEAL S. COHEN

Daytime Phone No.: 301-504-7504

Tax Account No.: 01069418

Name of Property Owner: NEAL S. COHEN Daytime Phone No.: 917-405-2939 (c)

Address: 13 TAKOMA PARK COLUMBIA AVE 20912
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

1/10/12
Project Manager

LOCATION OF BUILDING/PREMISE

House Number: 13 Street: COLUMBIA AVE

Town/City: TAKOMA PARK Nearest Cross Street: PINE

Lot: 17 Block: 18 Subdivision: 0025

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 18,000 +/-

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A

2B. Type of water supply: 01 WSSC 02 Well 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

1/10/12
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 2/9/12

Application/Permit No.: 508535 Date Filed: 1/10/12 Date Issued: _____

CONSTRUCTION NOTES

Lot was recorded 1986.
Existing dwelling was constructed in 1960.

DESIGN LOADS

floors	live	dead	total
roofs	40 psf	10 psf	50 psf
attics	10 psf	5 psf	15 psf
without storage R-42"			
ground snow load	30 psf		

BUILDING CODE COMPLIANCE

All work to be in conformance with 2009 I.R.C. with Montgomery County amendments and 2009 IRC.

EXTERIOR FINISHES

Dimensions are to face of concrete or masonry, and to exterior face-of-wall sheathing, except as noted.
Stair dimensions are to nosings.
Verify all existing conditions, elevations, dimensions, and materials before beginning fabrication of masonry, and coordinate with the position. Report any discrepancies to the architect.

CONCRETE FOOTINGS

BRACING
All footings to bear on undisturbed soil, 12" below natural grade, 30' minimum below finished grade.
CONCRETE PIER FOOTINGS
3000 psi concrete.

ROOFING & SHEATHING

#2 spruce-pine-fir, except as noted.
PORCH POSTS
6x6 porch floor posts to be #2 hem-fir.
6x6 porch floor posts to be pressure treated.
To be used where in contact with concrete or masonry, at porch floor framing and railings.
#2 southern pine.
All fasteners in contact with P.T. lumber to be stainless steel.
All fasteners in contact with aluminum to be copper hot dipped galvanized or #4091. Aluminum flashings may not be used.
METAL FASTENERS by Simpson or equal.
Provide metal post caps to secure beams to posts.
Provide metal post bases to secure posts to floor framing.
Provide blocking as required.
Joist hangers to be used at flush beams and as required.
Hurricane clips to be provided to secure each roof rafter to the porch beam.

SKYLIGHT

(2) side by side units by Valux or approved equal.
RS-304, 30 5/8" x 38 1/2" outside frame.
Provide curbs and flashings as required.
Provide bonded board sheat.

EXTERIOR FINISHES

Hardiebrick and with smooth texture.
Hardiepanel side panels with smooth texture.
Use dust reducing saw.
Finished face and all cuts and edges to be primed with acrylic latex primer prior to installation.
Arch. "traditional" trim adjacent to the grade (lattice panels, post trim). Arch edge. Smooth finish.

PORCH COLUMNS

8" x 8" plastic fiberglass column with urethane cap and base by Crown Columns and Millwork or equivalent.

PORCH DECKING

1x4 T&G Ipe full length boards, clear finish.
STAIR TREADS
1x4 T&G Ipe full length boards, clear finish.
PVC CEILING
1x4 T&G fir-beaded board, clear finish.

BEAD MOLDING

WM-75 9/16" x 1 3/8", painted.
WM-881 bottom rail
1 1/2" square pilasters 8 5" o.c.
RAILING POSTS - 4x4 fir, painted.
cap top
2 x 3 1/2" x 3 1/2" scotia
cap molding Arch Adm-93 3/4" scotia
LATTICE
PVC lattice, smooth finish.

EXTERIOR FINISHES

SURFACE MOUNTED CEILING LIGHT
WEATHERPROOF COVER
exterior outlets to be C.P.I.C.

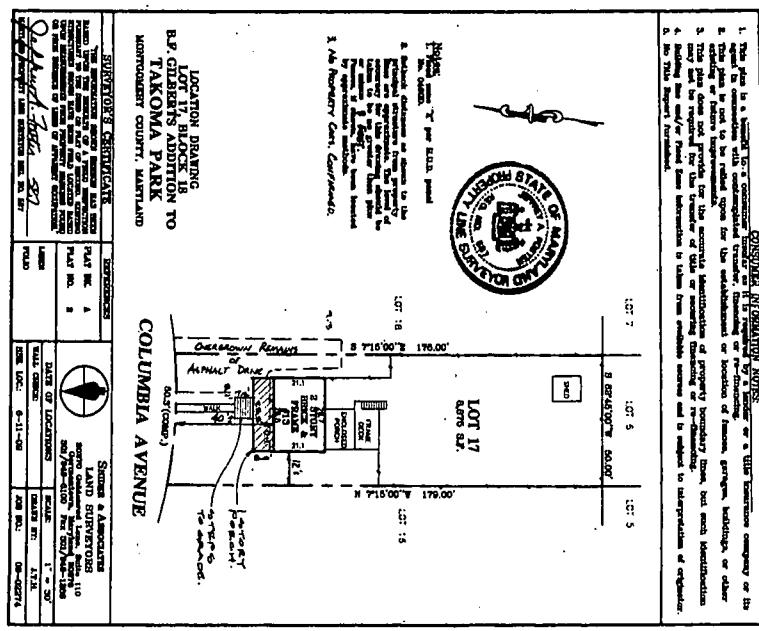


RAILING FINISH

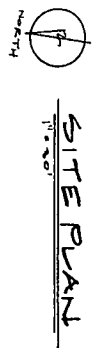
- This plan is a contract for a construction project. It is the property of the architect and is not to be used for any other purpose without the written consent of the architect.
- The architect is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the contractor.
- The architect is not responsible for the accuracy of the information provided by the contractor or for the accuracy of the information provided by the client.
- The architect is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the contractor.
- The architect is not responsible for the accuracy of the information provided by the contractor or for the accuracy of the information provided by the client.



Professional Certification, I certify that these documents were prepared or approved by me, Dave Kowtko, and that I am a duly licensed architect under the laws of the State of Maryland, License #8536, Expiration Date: 10-25-12



NO.	DATE	DESCRIPTION
1	10/11/11	PERMIT + CONSTRUCTION
2	10/11/11	SITE PLAN
3	10/11/11	CONSTRUCTION NOTES



SITE PLAN

NOTE:
LOCATIONS HAVE BEEN LOCATED BY THE ARCHITECT.
LOCATIONS OF STRUCTURES ARE NOT GUARANTEED BY THE ARCHITECT.
DISTANCE TO LOT LINE MUST BE VERIFIED BY THE CONTRACTOR.
OWNER'S DISCRETION MAKES IN FULL EFFECT.

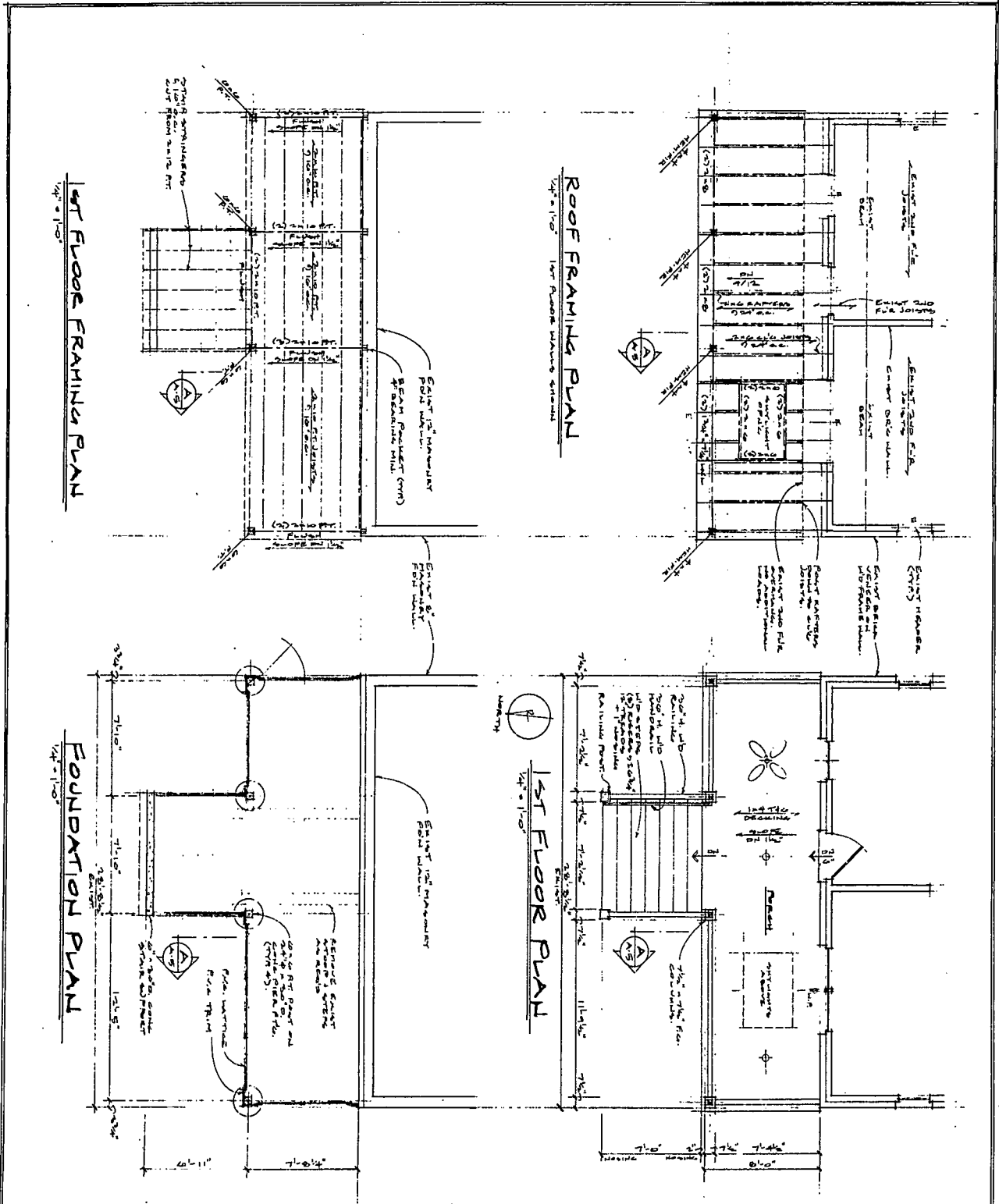
DAVE KOWTKO
ARCHITECT
4521 MAPLE AVE. BETHESDA, MD 20814
(301) 652-7755
dkowtko@aol.com

COHEN RESIDENCE
13 COLUMBIA AVE., TAKOMA PARK, MD

DAVE KOWTKO - ARCHITECT
4521 Maple Ave. Bethesda, MD 20814
(301) 652-7755 dkowtko@aol.com

11-10-11 PERMIT + CONSTRUCTION
11-10-11
A-1
OF 5

Handwritten notes and signature area at the top left of the page.



Professional Certification I certify that these documents were prepared or approved by me, Dave Kowtko, and that I am a duly licensed architect under the laws of the State of Maryland, license #6336, Expiration Date: 10-25-12.

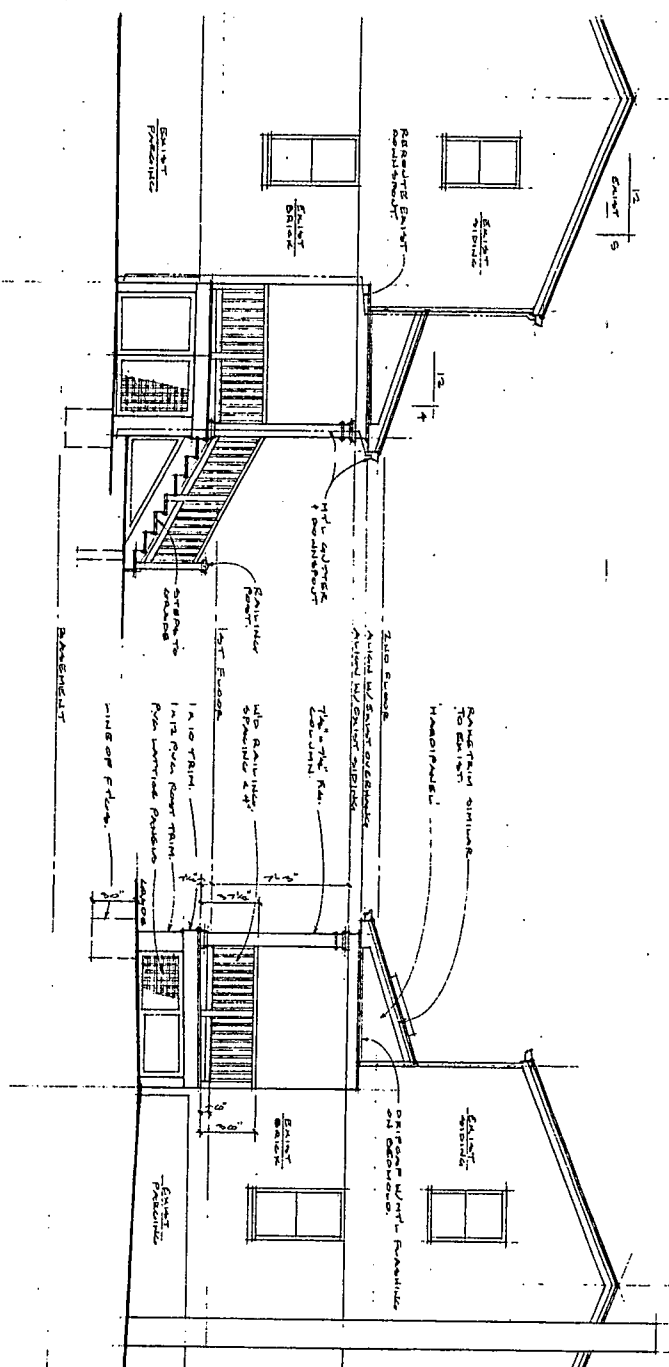
COHEN RESIDENCE
13 COLUMBIA AVE., TAKOMA PARK, MD

DAVE KOWTKO - ARCHITECT
4521 Maple Ave. Bethesda, MD 20814
(301) 652-7755 dkwtko@aol.com

1st FLOOR PLAN
FOUNDATION PLAN
FRAMING PLANS
A-2
05
11.10.11

LEFT SIDE ELEVATION
1/4" = 1'-0"

RIGHT SIDE ELEVATION
1/4" = 1'-0"



Handwritten notes and signature area.

SIDE ELEVATIONS
A-4
0 of 5
11/15/11

COHEN RESIDENCE
13 COLUMBIA AVE., TAKOMA PARK, MD

Professional Certification. I certify that these documents were prepared or approved by me, Dave Kowtko, and that I am a duly licensed architect under the laws of the State of Maryland, license #6330, Expiration Date: 10-25-12
DAVE KOWTKO - ARCHITECT
4521 Maple Ave. Bethesda, MD 20814
(301) 652-7755 dkowtko@aol.com

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	13 Columbia Avenue, Takoma Park	Meeting Date:	2/8/2012
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	2/1/2012
Applicant:	Neal Cohen	Public Notice:	1/25/2012
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-12A	Staff:	Josh Silver
PROPOSAL:	Construction of front porch		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource Within The Takoma Park Historic District
STYLE: Colonial Revival
DATE: c1940-50s

PROPOSAL:

The applicant is proposing to construct a 1 story covered front entry porch at the subject property. The proposed materials consist of clad pressure-treated wooden piers, fiberglass posts, wooden railings, stairs and decking, and an asphalt shingle roof with two low-profile skylights. All trim work and lattice will consist of Azek and/or other paintable composite material as noted in the plans. The proposed porch railing design will be consistent with historic porch railings found throughout the Takoma Park Historic District.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

The *Takoma Park Guidelines* state Non-Contributing Resources are "either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources

should receive the most lenient level of design review.”

The *Guidelines* also state: “Most alterations and additions to Non-Contributing Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.”

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior’s Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The subject property is a Non-Contributing Resource. The Montgomery County Code (Chapter 24A-8(d)) states that the HPC is to evaluate plans for structures of little historical or design significance for potential impacts to the streetscape of the historic district. The Takoma Park Guidelines state that Non-Contributing Resources should receive the most lenient level of design review. Staff applied these criteria in their evaluation of this HAWP application.

Staff supports the proposed construction of a front at the subject property.

The proposed work is consistent with the *Guidelines* for alterations to a Non-Contributing Resource property within the Takoma Park Historic District, which state:

“Most alterations and additions to Non-Contributing Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.”

Furthermore, staff finds that the proposed work is consistent with Chapter 24-8(d) which states:

“In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)”

Staff finds that the proposed work will not destroy historic materials, features, and spatial relationships that characterize the property. The proposed material treatments are appropriate for alterations to a Non-Contributing Resource.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2) and (d);

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: NEALS COHEN@GMAIL.COM Contact Person: NEAL S. COHEN

Daytime Phone No.: 301-504-7504

Tax Account No.: 01069418

Name of Property Owner: NEAL S. COHEN Daytime Phone No.: 917-405-2939 (c)

Address: 13 TAKOMA PARK COLUMBIA AVE 20912

1/10/12
Project Manager

Contractor: TBD Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 13 Street: COLUMBIA AVE

Town/City: TAKOMA PARK Nearest Cross Street: PINE

Lot: 17 Block: 18 Subdivision: 0025

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

1B. Construction cost estimate: \$ 18,000 +/-

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other: N/A

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 1/10/12

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 58535 Date Filed: 1/10/12 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a 1960 two-story colonial, with brick facade on ground floor and vinyl siding on second floor. Although in a historic district, the house is "non-contributing." The second level on the house sticks out farther than the lower level, creating a rather unattractive overhang.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

We plan to add a front porch running the length of the front of the house. The result will be to make our house - and our neighborhood - more attractive.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MARLING LABELS.

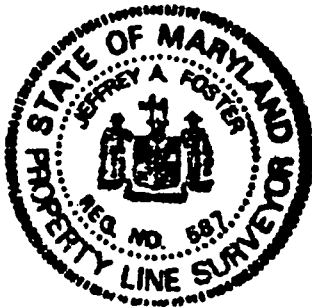
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address 13 Columbia Avenue Takoma Park, MD 20912</p>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>11 Columbia Avenue (Adjacent) Takoma Park, MD 20912 Owner: Ronald Levine</p>	<p>15 Columbia Avenue (Adjacent) Takoma Park, MD 20912 Owner: Lucinda Meehan</p>
<p>8 Columbia Avenue (confronting) Takoma Park, MD 20912 Owner: DAVID & LORI DUPREE</p>	
<p>12 Montgomery Ave. (rear) Takoma Park, MD 20912 Owner: PAUL MILLER</p>	

SITE PLAN

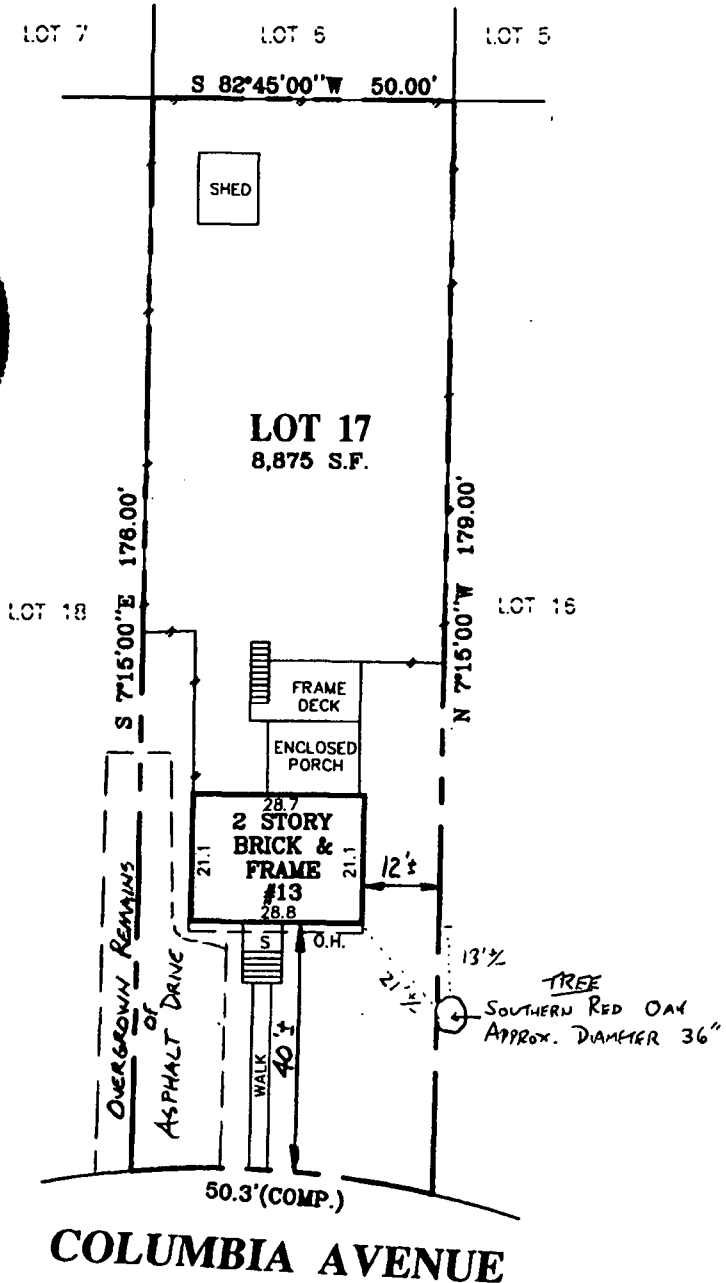
CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.



Notes:

1. Flood zone "X" per H.U.D. panel No. 0460D.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus **3 feet**. Fences, if shown, have been located by approximate methods.
3. **No PROPERTY CARS. CONFIRMED.**



LOCATION DRAWING
LOT 17, BLOCK 18
B.F. GILBERTS ADDITION TO
TAKOMA PARK
MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE	REFERENCES	SNIDER & ASSOCIATES LAND SURVEYORS 20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20878 301/948-5100 Fax 301/948-1288	
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION. <i>Jeffrey A. Foster 587</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587	PLAT BK. A	DATE OF LOCATIONS	SCALE: 1" = 30'
	PLAT NO. 2	WALL CHECK:	DRAWN BY: J.T.H.
LIBER	FOLIO	HSE. LOC.: 6-11-09	JOB NO.: 09-02274

APPLICANT: COHEN, 13 COLUMBIA AVE.

CONSTRUCTION NOTES

Lot was recorded 1886.
Existing dwelling was constructed in 1960.

DRIVER LOADS

floor	luna	dead	total
40 psf	10 psf	50 psf	
40 psf	10 psf	40 psf	
10 psf	5 psf	15 psf	
30 psf		30 psf	

BUILDING CODE CONFORMANCE

All work to be in conformance with 2009 I.R.C. with Montgomery County amendments and 2009 IMCC.

DIMENSIONS

Dimensions are to face of concrete or masonry, and to exterior face of wall sheathing, except as noted.
Stair dimensions are to nosings.
Finish all exterior elevations, elevations, dimensions or construction at the jobsite. Report any discrepancies to the architect.

CONCRETE FOOTINGS

Beating castings to bear on undisturbed soil, 12" below natural grade, 30" minimum below finished grade.
2000 p.s.f. soil bearing minimum.
CONCRETE PIER FOOTINGS
3000 psi concrete.

FRAMING

JOISTS & RAFTERS
#2 spruce-pine-fir, except as noted.
PORCH POSTS
4x4 porch roof posts to be #2 hem-fir.
Pressure treated lumber to be used where in contact with concrete or masonry, at porch floor framing and railings.
#2 southern pine.
All fasteners in contact with P.F. lumber to be stainless steel or hot dipped galvanized steel.
All flashings to be stainless steel or hot dipped galvanized or vinyl. Aluminum flashings may not be used.
METAL FASTENERS by Simpson or equal
Provide metal post bases at concrete footings.
Provide metal post caps to secure beams to framing.
Provide metal post bases to secure posts to floor framing. Provide blocking as required.
Joint hangers to be used at flush beams and as required.
Hurricane clips to be provided to secure each roof rafter to the porch beam.

SKYLIGHT

(2) side by side units by Velux or approved equal.
FS-304, 30 5/8" x 38 1/2" outside frame.
Provide clear glazing.
Provide curbs and flashings as required.
Provide beaded board shaft.

EXTERIOR FINISH LUMBER

Hardtrim X10 with smooth texture.
Hardipanel side panels with smooth texture.
Use dist reducing wax.
Finish face and all cuts and edges to be primed with acrylic latex primer prior to installation.

Deck (traditional trim adjacent to the grade (lattice panels, post trim). Ashk edge. Smooth finish.

PORCH COLUMNS
8" x 8" plain fiberglass column with tuscan wood capital and base by Crown Columns and Millwork or equal.

PORCH DECKING
1x4 TAG Ipe full length boards, clear finish.

SPRINT TREADS
1x4 TAG fir beaded board, clear finish.

PORCH CEILING
1x4 TAG fir beaded board, clear finish.

BRD HOLDING
WM-75 9/16" x 1 5/8", painted.

PORCH MAILING - Painted

1 1/2" square pickets @ 5" o.c.

RAILING POSTS - 4x4 fir, painted, cap top

cap molding Ashk 1/2" x 5 1/2" x 5 1/2" PVC lattice, smooth finish.

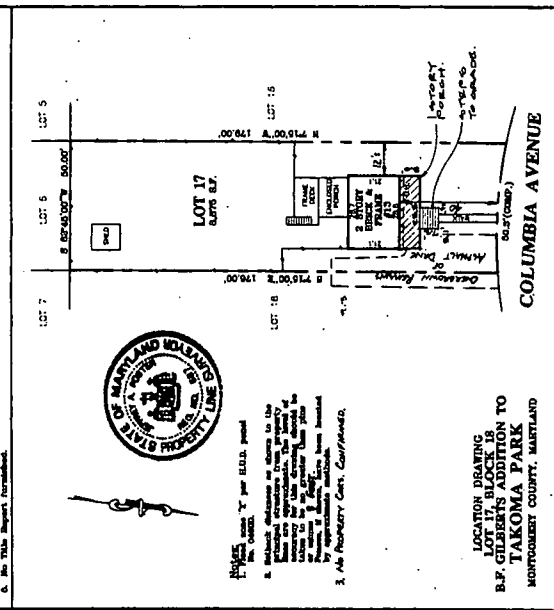
LATTICE
PVC lattice, smooth finish.

ELECTRICAL SYMBOLS



SURFACE MOUNTED CEILING LIGHT
WEATHERPROOF OUTLET
exterior outlets to be G.P.I.C.
PADDLE FAN

- The plan is a contract to a contractor. It is not to be used for the establishment of location of features, egress, buildings, or other structures. It is to be used for the construction of the building.
- This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or recording of the plan.
- The information in this plan is based on information received and is subject to interpretation of originator. The originator is not responsible for any errors or omissions.
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DATE OF LOCATION	DATE OF LOCATION	DATE OF LOCATION	DATE OF LOCATION
SCALE	SCALE	SCALE	SCALE
DATE OF LOCATION	DATE OF LOCATION	DATE OF LOCATION	DATE OF LOCATION
SCALE	SCALE	SCALE	SCALE



SITE PLAN
11-20-20

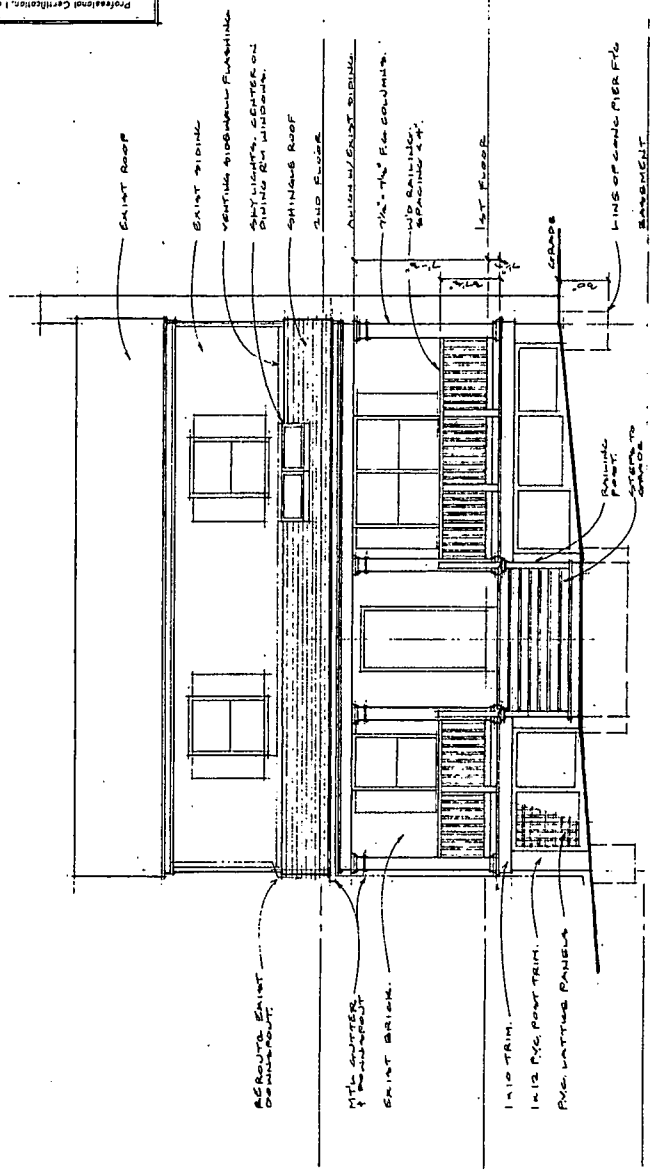
NOTE
WORKING DRAWING ONLY.
LOCATIONS HAVE BEEN LOCATED BY THE ARCHITECT.
LOCATIONS OF STRUCTURES ARE NOT GUARANTEED BY THE SURVEYOR OR THE ARCHITECT. DISTANCE TO LOT LINE MUST BE VERIFIED BY THE CONTRACTOR.
SURVEYOR'S DISCLAIMERS REMAIN IN FULL EFFECT.

Professional Certificate, License #030, Expiration Date: 10-25-17.
approved by me, Dave Kowitz, and that I am a duly licensed architect under the laws of the State of Maryland.
DAVE KOWITKO - ARCHITECT
4521 Maple Ave. Bethesda, MD 20814
(301) 652-7755
dkowitz@dc.com

COHEN RESIDENCE
13 COLUMBIA AVE., TAKOMA PARK, MD

11-20-11 PERMIT & CONSTRUCTION SHEET A-1 OF 5 11-20-11

Professional Certification: I certify that these documents were prepared or approved by me, Dave Kowtko, and that I am a duly licensed architect under the laws of the State of Maryland, license 88396, Expiration Date: 10-25-12.



FRONT ELEVATION
1/4" = 1'-0"
NORTH

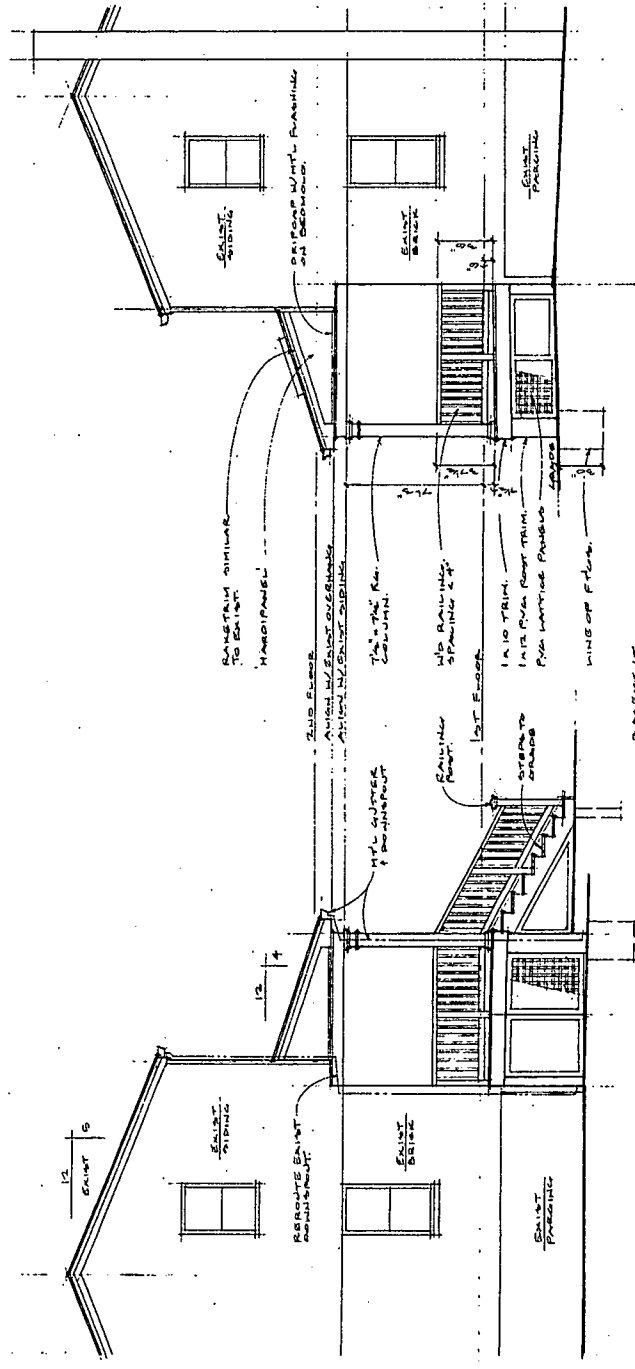
Professional Certification: I certify that these documents were prepared or approved by me, Dave Kowitz, and that I am a duly licensed architect under the laws of the State of Maryland, license #8386, Expiration Date: 10-25-12.

DAVE KOWITKO - ARCHITECT
 4521 Maple Ave. Bethesda, MD 20814
 (301) 652-7755
 dkowitz@aol.com

COHEN RESIDENCE
 13 COLUMBIA AVE., TAKOMA PARK, MD

SIDE ELEVATIONS

SHEET
 A-4
 OF 5
 11.10.11

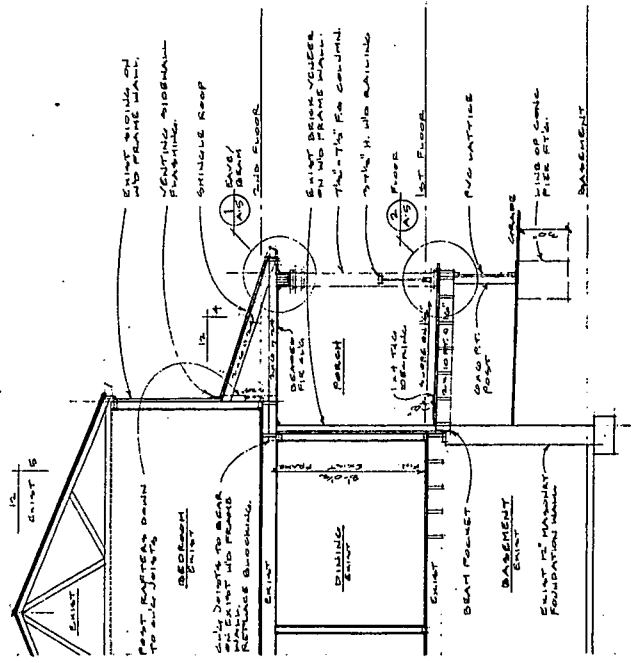


RIGHT SIDE ELEVATION
 1/4" = 1'-0"

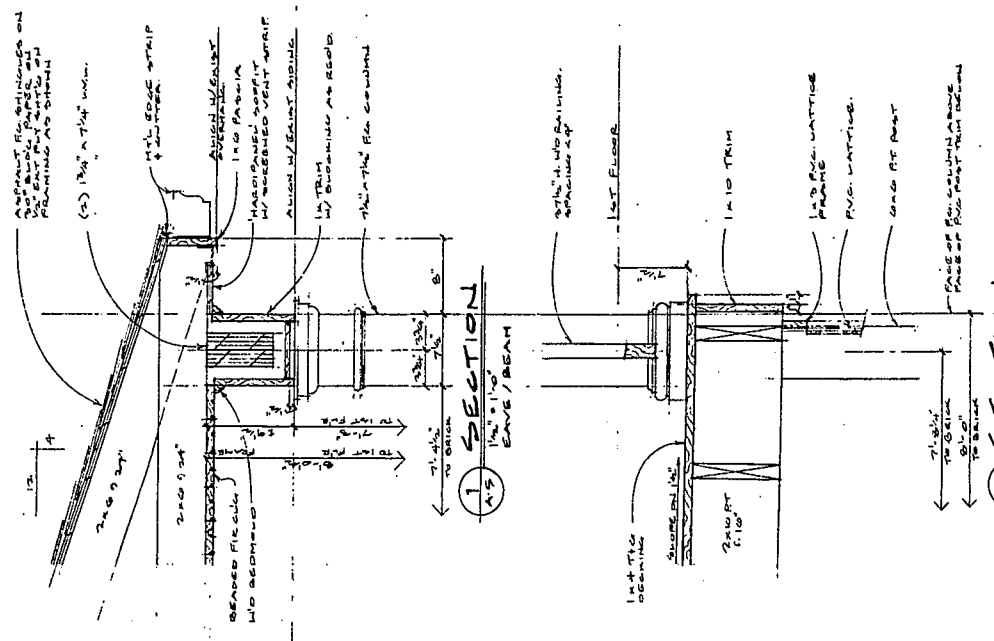
LEFT SIDE ELEVATION
 1/4" = 1'-0"



Professional Certification: I certify that these documents were prepared or approved by me, Dave Kowtko, and that I am a duly licensed architect under the laws of the State of Maryland, license #6336, Expiration Date: 10-25-13.

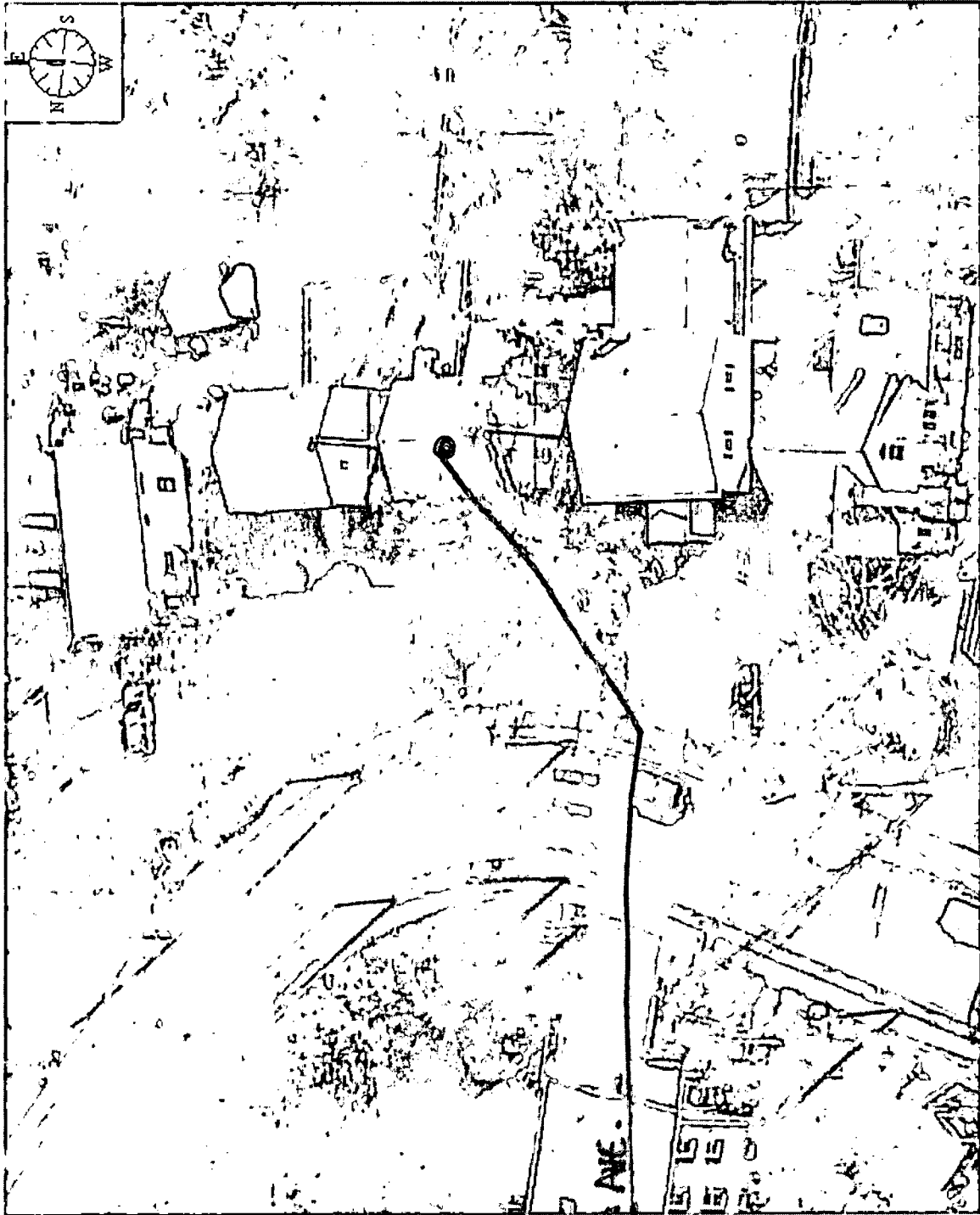


A SECTION
1/4" = 1'-0"



1 SECTION
1/4" = 1'-0"
EAVE / BEAM

2 SECTION
1/4" = 1'-0"
FLOOR



13 COLUMBIA AVE.

Existing Property Condition Photographs (duplicate as needed)



Detail: Front of 13 Columbia as seen from sidewalk/street.



Detail: Front of 13 Columbia from street.

Applicant: Neal S. Cohen

Page: 4

Existing Property Condition Photographs (duplicate as needed)



Detail: 13 Columbia as seen from adjacent property - 11 Columbia



Detail: 13 Columbia as seen from adjacent property - 15 Columbia

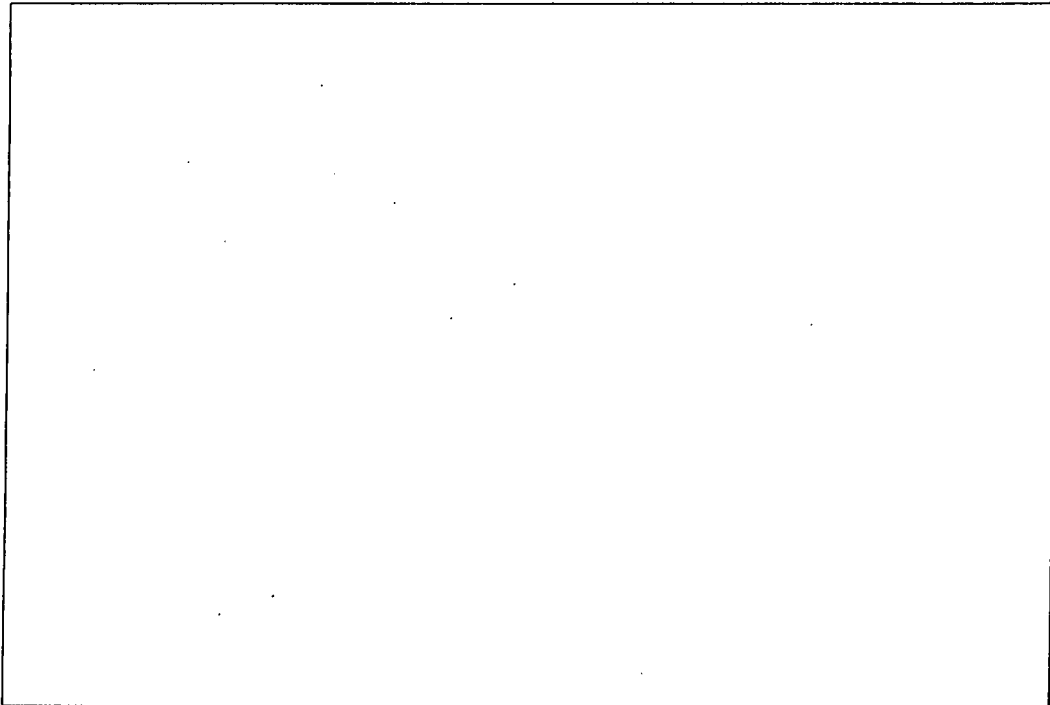
Applicant: Neal S. Cohen

Page: 5

Existing Property Condition Photographs (duplicate as needed)



Detail: Rear of 13 Columbia (unaffected by this project)



Detail: _____

Applicant: Neal S. Cohen

Page: 6

17

Existing Property Condition Photographs (duplicate as needed)



Detail: Front of 13 Columbia as seen from sidewalk/street.



Detail: Front of 13 Columbia from street.

Existing Property Condition Photographs (duplicate as needed)



Detail: 13 Columbia as seen from adjacent property - 11 Columbia

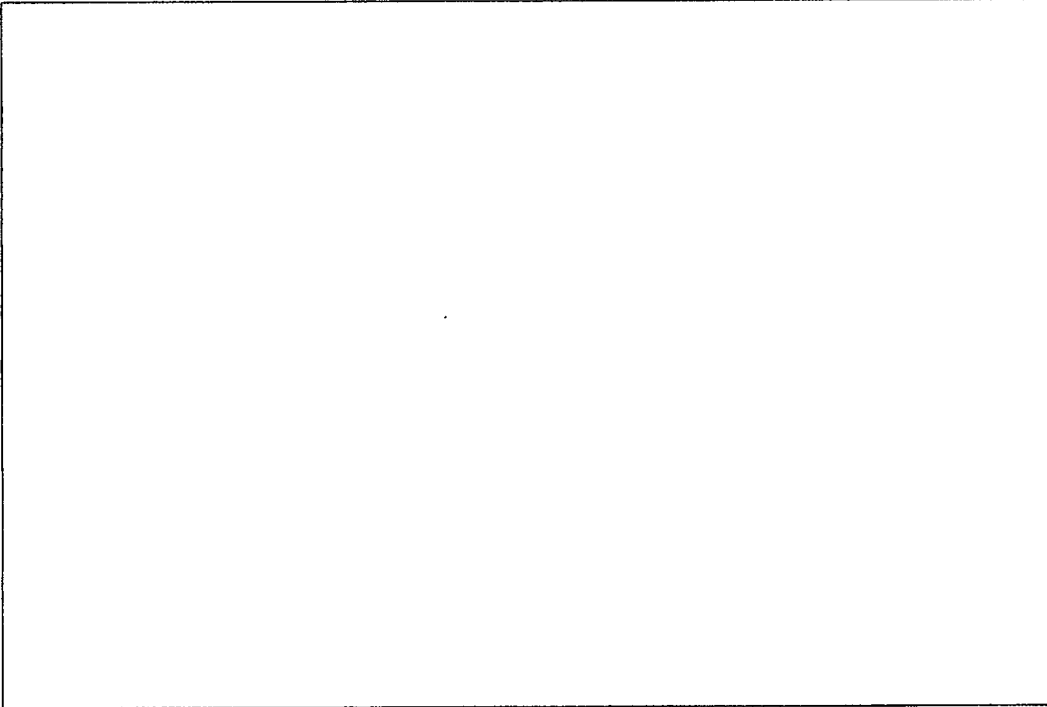


Detail: 13 Columbia as seen from adjacent property - 15 Columbia

Existing Property Condition Photographs (duplicate as needed)



Detail: Rear of 13 Columbia (unaffected by this project)



Detail: _____