

718 MAPLE AVE. TP

(FIRE CASE # 37/63-12MM)

TP. H.V.

0/5
6



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: March 21, 2013

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #590644, 2nd story expansion of existing garage

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the December 5, 2012 meeting.

Applicant: Joanna Veltri

Address: 7118 Maple Avenue, Takoma Park





HISTORIC PRESERVATION COMMISSION

301/563-3400

DPS-88

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: STEPHEN SPANGLER
Daytime Phone No.: 202-423-8171

Fee Account No.: _____
Name of Property Owner: JEANNA VELTZI Daytime Phone No.: _____
Address: 7118 MAPLE AVE TAKOMA PARK, MD 20912
City: _____ State: _____ Zip Code: _____
Contractor: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BURIED REMAINS
House Number: 7118 Street: MAPLE AVE
Town/City: TAKOMA PARK Nearest Cross Street: TULIP AVENUE
Lot: PARD 3 D Block: 4 Subdivision: _____
Lot: _____ Parcel: _____
Lot: _____ Parcel: _____

PART ONE: TYPE OF PERMIT AND USE
14. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Sub Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Re-roof Woodburning Stove Single Family
 Revision Repair Re-roof Fence/Wall (includes Section 4) Other: 2nd story on garage
18. Construction cost estimate: \$ 30,000

15. If this is a revision of a previously approved active permit, see Permit # _____
PART TWO: COMPLETE THESE CONSTRUCTION AND EXTENSION DETAILS
2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL
3A. Height: _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/ easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.
Signature of applicant: [Signature] Date: 9/8/2012
Signature of Commission Agent: [Signature] Date Issued: 3/21/13
Application/Permit No.: _____

5906644

SEE REVERSE SIDE FOR INSTRUCTIONS

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|--|-----------------------|-------------|
| Address: | 7118 Maple Avenue, Takoma Park | Meeting Date: | 12/5/2012 |
| Resource: | Contributing Resource Takoma Park Historic District | Report Date: | 11/28/2012 |
| Applicant: | Joanna Veltri (Stephen Strasser, Architect) | Public Notice: | 11/21/2012 |
| Review: | HAWP (CONTINUED) | Tax Credit: | No |
| Case Number: | 37/03-12MM | Staff: | Josh Silver |
| PROPOSAL: | 2 nd story expansion of existing garage | | |

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Bungalow
DATE: c1915-30s

BACKGROUND

The HPC considered the applicant's proposal on November 14, 2012 to add a 2nd story and other alterations to an existing rear yard garage at the subject property. The HPC recommended to the applicant that the case be continued to address specific design and detail issues identified at the hearing. The HPC recommended to the applicant the following revisions:

- Pull-back the front elevation of the proposed 2nd story expansion to better define the existing roofline of the front facing gable
- Reduce the scale of the dormer rake boards to make them less prominent (secondary) to the main gable
- Simplification of the front façade, specific comments were made about reducing the amount of glazing and including a design for the porch roof columns that is more in keeping with the front porch of the main house.

PROPOSAL

The applicant is proposing to add a 2nd floor to an existing non-historic garage structure in the rear yard of the subject property. The proposal consists of adding a shed roof to either side of an existing 1 story, front facing gable roof form and construction of a full-width, open, hipped roof porch supported by two columns at the 1st story front elevation. There are no changes proposed to the existing building footprint

with the exception of the 1 story front porch. The design includes new windows on all elevations and two single-hung entry doors on the front elevation.

The proposed material treatments for the accessory structure consist of:

- Simulated-divided light, exterior clad, wooden, double-hung windows and doors
- Fiber cement board trim, composite shingle cladding at the 2nd story additions and exterior stucco on CMU block
- Standing seam metal low-slope roofing
- Painted wood/composite porch columns.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;
- While additions should be compatible, they are not required to be replicative of earlier architectural styles;

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

Note: The applicant's proposal to add a 2nd story requires a setback variance. In an opinion dated, July 27, 2012, the Board of Appeals for Montgomery County granted a setback variance to construct a 2nd floor addition above the existing structure.

The applicant's revised proposal responds directly to the HPC's recommendations at the November 14, 2012 hearing. The front elevation of the proposed 2nd story expansion has been pulled back to better define the existing gable, the scale of the rake board has been reduced and the front façade simplified. Staff supports the revised proposal as submitted.

Staff's review of the application placed emphasis on the importance of the resource to the overall streetscape and its compatibility with existing patterns, rather than focusing on a close scrutiny of architectural detailing.

The subject accessory structure is located in the rear yard with a front elevation setback of approximately 140' measured from the public right-of-way and is largely centered behind the historic house. There is approximately 45' of separation between the structure's front elevation and the rear elevation of a later addition at the main house.

Staff finds that consistent with Takoma Park Historic District Guidelines, the proposed work as being consistent with the following *Guidelines*;

"All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;

While additions should be compatible, they are not required to be replicative of earlier architectural styles;

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition;

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space";

- The proposed addition of a 2nd story and front porch to an existing non-historic garage will have negligible impact on the overall streetscape of the historic district. The proposal seeks to alter a non-historic structure that is largely centered behind the historic house and setback approximately 140' from the public right-of-way. The proposed work does not expand the existing building footprint, maintains the gable roof form which characterizes the historic massing and includes a column details similar to those on the front porch of the house.

The proposed work does alter any predominant architectural features of the resource or change the pattern of open space between the house and adjacent properties.

The proposed material treatments are compatible for an alteration to a non-historic, rear yard accessory structure that is setback from the public right-of-way. The proposed fenestration patterns, particularly on the front elevation because of its visibility, will have negligible impact on public right-of-way due to the structures location behind the house and its deep rear yard setback.

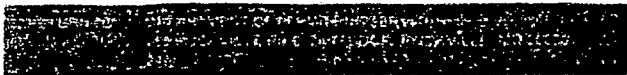
STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the Takoma Park Historic District Guidelines identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: STEPHEN STRACLER

Daytime Phone No.: 202-423-8171

Tax Account No.: _____

Name of Property Owner: JOANNA VELTRI Daytime Phone No.: _____

Address: 7118 MARIE AVE TAKOMA PARK, MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7118 Street: MARIE AVE

Town/City: TAKOMA PARK Nearest Cross Street: TUHP AVENUE

Lot: PART OF 30 Block: A Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repeat
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Stab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: 2ND STORY ON GARAGE

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ foot _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

9/8/2012
Date

590644

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXIST. STRUCTURE IS A SINGLE STORY SHED
GARAGE AT THE REAR OF THE PROPERTY. WOOD
SIDING OVER CMU SLABBING. THERE IS NOTHING
OF HISTORICAL SIGNIFICANCE ABOUT THE
STRUCTURE. REAR YARD IS LANDSCAPED &
MAINTAINED. GARAGE IS USED FOR STORAGE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROPOSING A 2ND STORY ACCESSORY APARTMENT;
RENOVATION TO EXIST. STRUCTURE A NEW EXT.
CLADDING IN A ^{CONTEMPORARY} SINGLE STYLE HARMONIZES WITH THE
EXISTING HOUSE. ADDS A COLONNADE PORCH AND
KEEPS WITHIN THE HEIGHT LIMITATIONS OF 20'

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Joanna Veltri
7118 Maple Avenue
Takoma Park, MD 20912

Owner's Agent's mailing address

Stephen F Strasser
Strasser:STUDIO
205 G St. SW
Washington, DC 20024

Adjacent and confronting Property Owners mailing addresses

Roland W. Jr & J.M. Halstead
7116 Maple Avenue
Takoma Park, MD 20912

The City Of Takoma Park
205 Tulip Avenue
Takoma Park, MD 20912

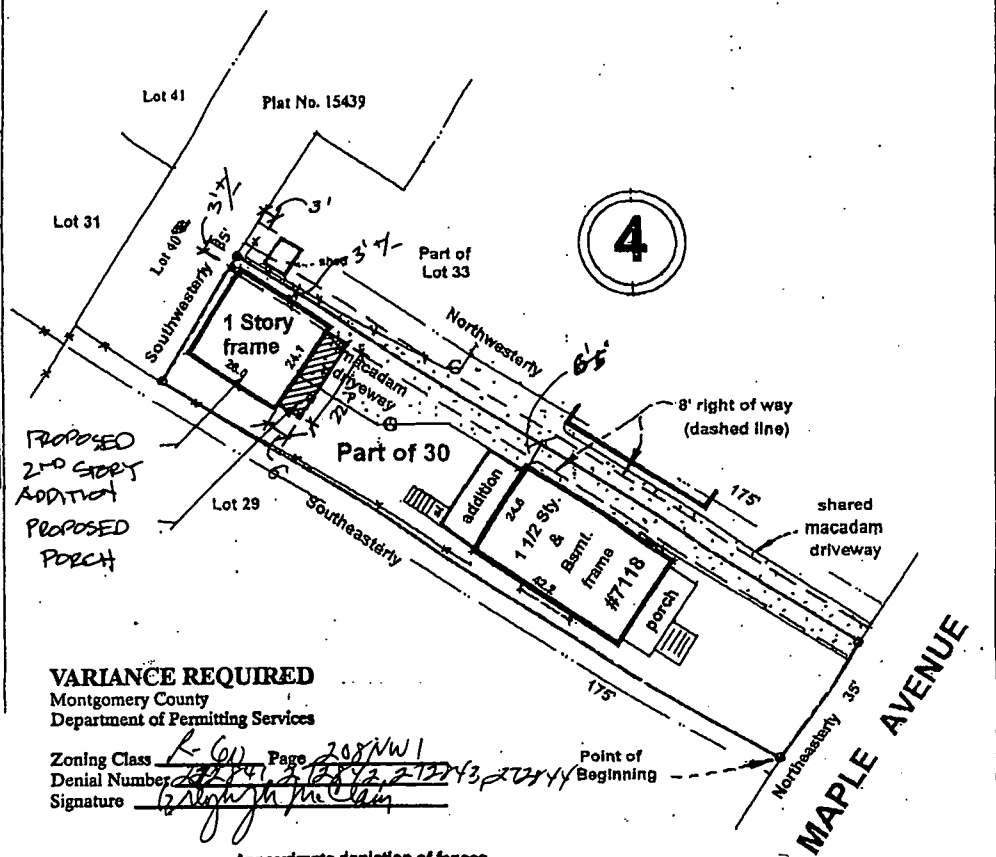
Neil T. Spring
7120 Maple Avenue
Takoma Park, MD 20912

Patricia E. Neill & Aboudou S. Wabi
7133 Maple Avenue
Takoma Park, MD 20912



LANDTECH ASSOCIATES, INC.

10260 OLD COLUMBIA ROAD SUITE J
 COLUMBIA, MARYLAND 21046-1721
 PHONE: 410-290-8099 TOLL FREE: 888-290-1920
 FAX: 410-290-8399 TOLL FREE 888-290-1922



VARIANCE REQUIRED

Montgomery County
 Department of Permitting Services

Zoning Class R-60 Page 208NW1
 Denial Number 2004-2-12-43, 2004-4
 Signature Graden A. Rogers Point of Beginning

Approximate depiction of fences
 and other visible improvements

| | | |
|--------------------------------|---------------------------|-----------------|
| Location Survey of: | LOT: Part of 30 | BLOCK: 4 |
| #7118 Maple Avenue | PLAT BK: "A" | PLAT#: 3 |
| B. F. Gilbert's Addition to | DATE: 2-19-09 | SCALE: 1" = 30' |
| Takoma Park | CASE NUMBER: GT-09-4536MD | |
| Montgomery Co., MD | FILE NUMBER: LT-2090207 | |



- NOTES:
1. This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
 2. This plat is not to be relied upon for the establishment or location of fences, garages, buildings or other existing or future improvements.
 3. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
 4. Property line survey recommended to determine the exact location of improvements and/or encroachments, if any.
 5. Property subject to any/all rights-of-way, easements, and/or covenants of record and/or imposed by law.
 6. This plat is not to be used for the issuance of permits.
 7. No title report furnished.

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

Braden A. Rogers
 BRADEN A. ROGERS - M.D. PROP. L.S. LIC. NO. 119



GENERAL NOTES

GENERAL NOTES

1. All work shall comply with the following:
 - A. These general notes unless otherwise noted on plans or product specifications.
 - B. All applicable local and state codes, ordinances and regulations.
 - C. All items shown on drawings not in contract documents, the contractor shall be bound to perform in strict accordance with manufacturer's specifications and/or recommendations.
2. The general notes and typical details apply throughout the job unless otherwise noted or shown.
3. Measurements: The contractor shall compare and recheck all dimensions, when in the opinion of the contractor, a discrepancy exists he shall promptly report it to the architect for proper adjustment before proceeding with the work.
4. Conditions: In the event certain features of the construction are not fully shown on the drawings, their construction shall be of the same character as the similar conditions that are shown or noted.
5. All work to be performed in a professional manner and in accordance with standard practice and consistent with manufacturer's and supplier's recommended installation procedures.
6. Dimensions shall be read or calculated and must include all dimensions on the drawings unless noted otherwise. All drawings are at 1" = 4'-0" (1/4" = 1'-0") unless noted otherwise.
7. All interior and exterior doors to be 6'-8" in height, unless noted otherwise.

CONCRETE FINISHES

1. The concrete properties shall be as follows:

| Item | Min. Comp. Strength | Max. Aggregate Size | Slump |
|----------------|---------------------|---------------------|--------------|
| Footings | 3000 | 1/2" - 1" | 4" (1'-1/2') |
| Floor Slabs | 3000 | 1/2" - 1" | 4" (1'-1/2') |
| Interior Walls | 3000 | 1/2" - 1" | 4" (1'-1/2') |
| Exterior Walls | 3000 | 1/2" - 1" | 4" (1'-1/2') |
| Garage Slabs | 3000 | 1/2" - 1" | 4" (1'-1/2') |

2. Concrete work shall conform to all requirements of ACI-318-05, specifications for structural concrete buildings.
3. All reinforcement, anchor bolts, pipe sleeves and other inserts shall be properly secured in place before concrete is placed.
4. Provide #12 rebar in concrete at 4' layers on all slabs and footings. Rebar to be of approved material.
5. Reference foundation notes for reinforcement requirements.
6. Top edge of concrete joints and all slab to wall joints.
7. All exterior above-grade concrete shall contain not less than 5% or more than 7% of air entrainment.

FOUNDATION

1. Footing depths are shown on the sections unless otherwise noted. Footings shall have a minimum of 12" into undisturbed soil and a maximum of 24" below finished grade. Check to verify the minimum frost depth as required by local code. When required, cap footings to a minimum of 2 inches below 1" below.
2. Where conditions develop requiring changes to foundation, such changes shall be made as directed by the Geotechnical Engineer.
3. Soil investigations and reports: All soil tests, cone penetration and expansion tests shall be done per recommendations of soil investigation report. Cone penetration test and bearing capacity are based on a 3000 psi value. If the soil test bearing indicates lesser values, notify architect as to any necessary structural modifications to be made.

STRUCTURAL STEEL

1. All girders, columns, and members shall be, unless otherwise noted, AISC 360-10 (Fy=50 ksi).
2. All steel members shall be in accordance with AISC 360-10 (Fy=50 ksi).
3. All structural steel columns shall be sized in accordance with AISC 360-10.
4. All steel connections shall be in accordance with AISC 360-10.
5. All steel base plates shall be AISC 360-10.

WIND DESIGN (SEMI-RIGID JOINTS)

1. These drawings show design wind only. These manufacturer's wind speed drawings and erection drawings. Shop drawings shall be sealed by a professional engineer registered in the governing jurisdiction.
2. Floor trusses shall be designed to resist deflection to L/400 for the load and for a dead load of 40 PSF + 15 PSF. Remove cambrings of different heights the deflection of the trusses span and joints.
3. Floor joists shall be designed to limit deflection to L/400 for the load and for a dead load of 40 PSF + 15 PSF. Remove cambrings of different heights the deflection of the trusses span and joints.

REVISION LOG

DATE: 02-14-12

ABBREVIATIONS

| | | | | | | | | | | | | | |
|----|-----------------|-----|----------------|-----|-----------|----|---------------|----|----------------|-----|--------------------|----|-------|
| AA | ANCHOR BOLT | CC | CONCRETE | DEF | DEFLECTED | HC | HOLD | ME | METAL | REF | REFER TO RESOURCES | TR | TRUSS |
| AF | ALUMINUM FINISH | CCG | CONCRETE GROUT | ED | EXPOSED | HC | HOLD TO SCALE | ME | METAL TO SCALE | REF | REFER TO RESOURCES | TR | TRUSS |
| AF | ALUMINUM FINISH | CCG | CONCRETE GROUT | ED | EXPOSED | HC | HOLD TO SCALE | ME | METAL TO SCALE | REF | REFER TO RESOURCES | TR | TRUSS |
| AF | ALUMINUM FINISH | CCG | CONCRETE GROUT | ED | EXPOSED | HC | HOLD TO SCALE | ME | METAL TO SCALE | REF | REFER TO RESOURCES | TR | TRUSS |

DESCRIPTION OF WORK/SITE INFORMATION

SECOND STORY GARAGE RENOVATION / ADDITION



DRAWING INDEX

IGN GENERAL NOTES, DESIGN INFORMATION & INDEX

A01 DEMOLITION PLAN / FLOOR PLAN
A02 ELEVATIONS
M01 MECHANICAL/ELECTRICAL PLAN / NOTES

S01 FRAMING AND FOUNDATION PLANS
S02 STRUCTURAL DETAILS

ZONING / CODE INFORMATION

SQUARE: PART OF 30, BLOCK 4, PLAT #3
LOT SIZE 6120 SF

RESIDENTIAL USE
EXISTING DETACHED GARAGE
PROPOSED ADDITION - SECOND STORY ACCESSORY APARTMENT
TAKOMA PARK HISTORIC DISTRICT
EXTERIOR 2ND STORY ADDITION: 630 SF

ZONE R-40
MAX. LOT OCCUPANCY - 30 % INCL. ACCESSORY BUILDINGS
MAX. HEIGHT - 35' MAIN + 20' ACCESSORY STRUCTURE
REAR YARD SETBACK FOR ACCESSORY BUILDING - 5'
SIDE YARD SETBACK FOR ACCESSORY BUILDING - 5'
LOT RECORDED BEFORE 3/1/67

EXISTING SINGLE STORY GARAGE:
MASONRY BLOCK WALLS

DESIGN DATA

DESIGN CODE
FOR VIRGINIA UNIFORM STATEwide BUILDING CODE (USBC)

BUILDING LOADS

SOIL BEARING CAPACITY:
MIN. 2000 PSF FOR ALL FOOTINGS

FLOOR LOADS:
JOISTS = 40 PSF LL + 10 PSF DL = 50 PSF TOTAL
W/PSF LL (W/PSF) = 10 PSF DL = 47 PSF TOTAL

ROOF LOADS (ROOF RAFTERS):
W/PSF LL (W/PSF) = 10 PSF DL = 47 PSF TOTAL

WIND LOADS:
BASIC WIND SPEED = 120 MPH OR LESS (1 SEC. Gust)
50% LOW WIND PROBABILITY (WIND EXPOSURE = C)

COMPONENTS CLADDING:
120 MPH OR LESS (1.5 SEC. Gust)
WIND VALUE AT ROOF HULL IS (11.1 - 12.2)
WIND VALUE AT WALL HULL IS (11.2 - 12.6)

DEFLECTION LIMITS:
- BEAM SUPPORTING ROOF OR SLAB: L/160 (L/120 TOTAL L/160/240)
- BEAM SUPPORTING FLOOR SLABS: L/180 (L/120/240)
- JOIST SUPPORTING FLOOR SLABS: L/180 (L/120/240)
- BEAM SUPPORTING MASONRY: L/160 + WINDLOAD/2000 (WIND DEFLECTION OF 0.5")

WALL BRACING:
STRUCTURAL BRACING ON ALL EXTERIOR WALLS
(CONTINUE BRACING METHOD CS-W7, TYP. UNCL.)

BUILDING DATA

FINISHED SQUARE FEET:
BASEMENT = ??? SF
1ST FLOOR = ??? SF
2ND FLOOR = ??? SF
TOTAL = ??? SF
GARAGE = ??? SF

BUILDING ADDRESS

GARAGE RENOVATION/ADDITION RESIDENCE
7118 MAPLE AVENUE
TAKOMA PARK, MD

PROFESSIONAL CERTIFICATION

moment
STRUCTURAL ENGINEERING GROUP, LLC

DC • VIRGINIA • MD

3712 PARK AVENUE • FAIRFAX, VA 22030
Phone: 703.920.9299 • Email: greg@momenteng.com
www.momenteng.com

22a3a Plotted at 1/4" = 1'-0" - 11x17 Plotted at 1/8" = 1'-0"

GARAGE RENOVATION/ADDITION

GENERAL NOTES

DATE: 4/15/11
REV No: 01E
XXX XXXXXX

11-100

SHEET No: GN

DESCRIPTION OF WORK
SECOND STORY GARAGE RENOVATION/ ADDITION

REVISION LOG

ABBREVIATIONS

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ZONING / CODE INFORMATION

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BUILDING DATA

BUILDING ADDRESS

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BUILDING ADDRESS

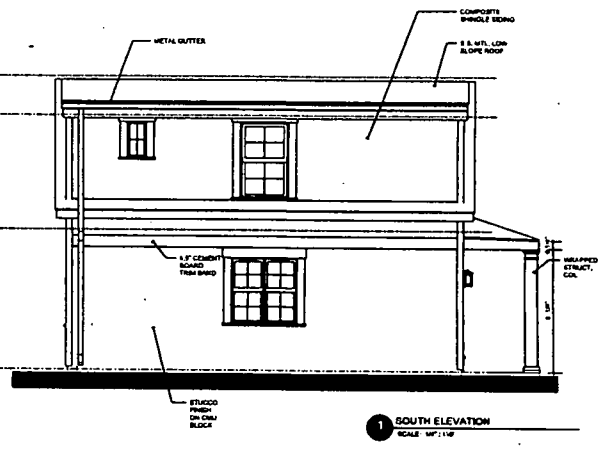
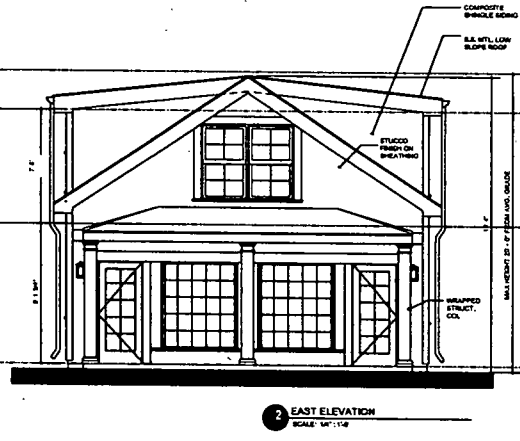
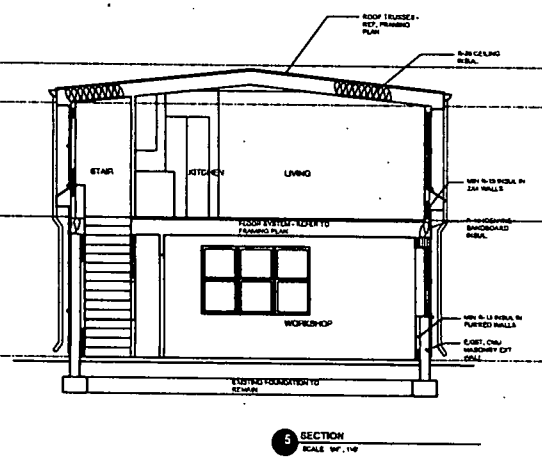
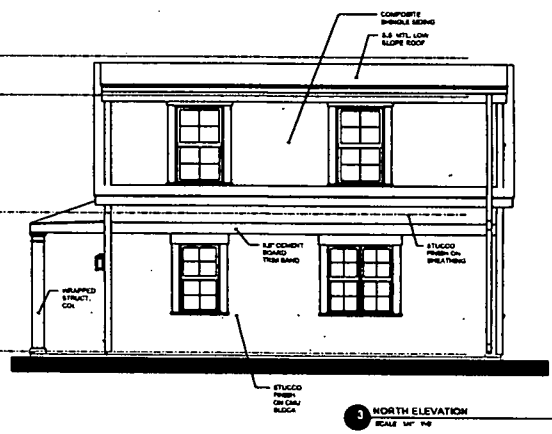
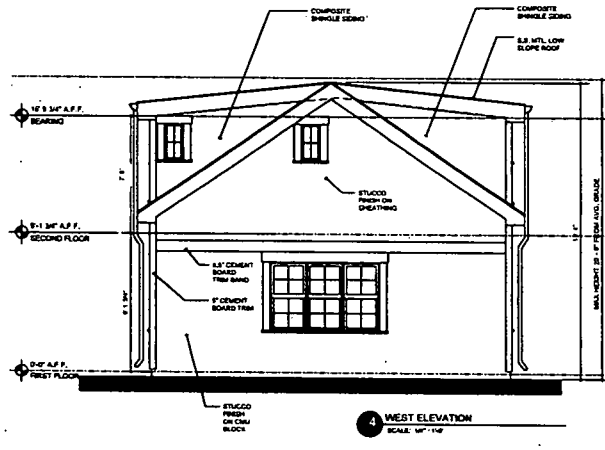
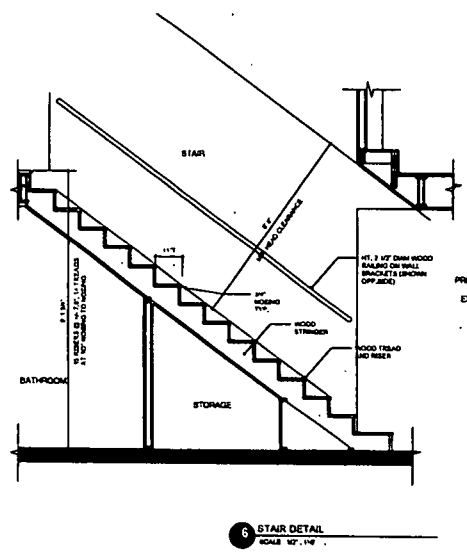
PROFESSIONAL CERTIFICATION

REVISION LOG

ABBREVIATIONS

| | |
|-------|-----------|
| DATE: | 1/30/2011 |
| BY: | ES |
| NO: | 23-33-03 |

10-100
 SHEET NO
A02

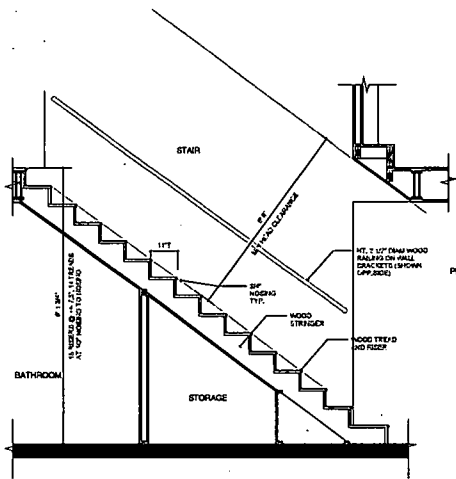


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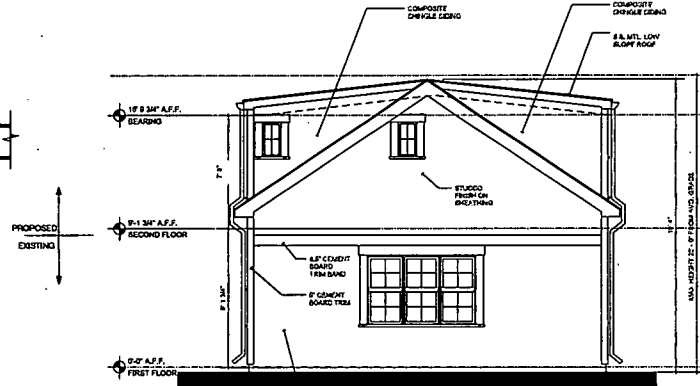
COPYRIGHT © 2010 MGC LLC 2010

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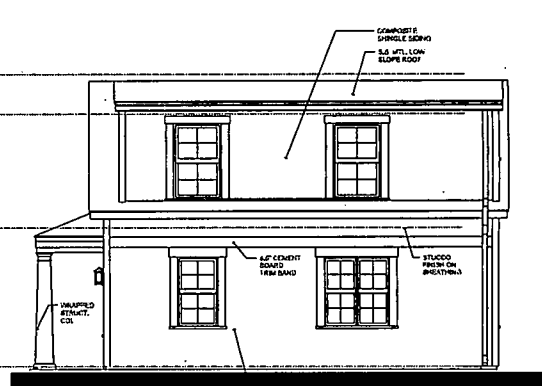
ORIGINAL PLAN



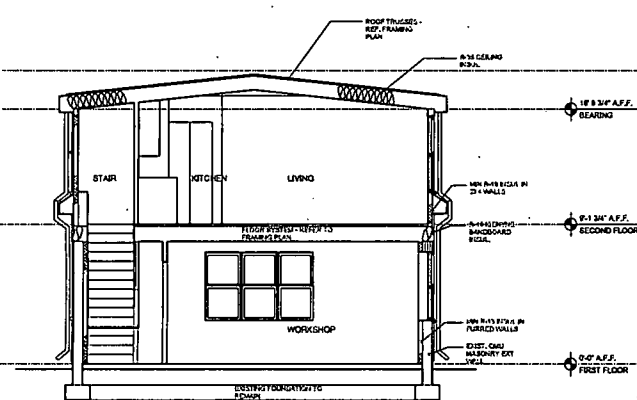
6 STAIR DETAIL
SCALE: 1/2" = 1'-0"



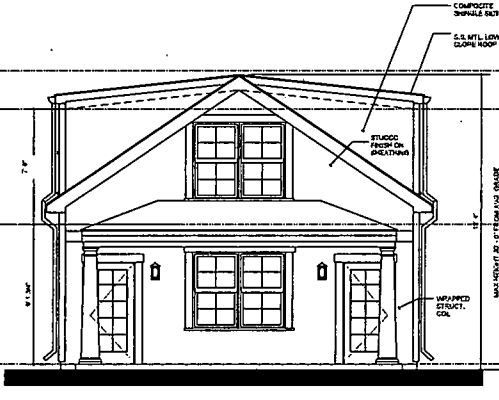
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



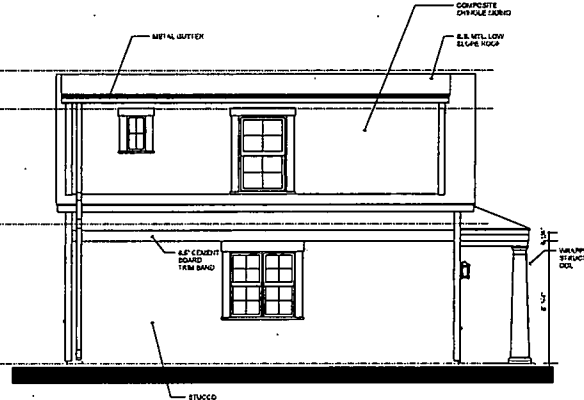
3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 SECTION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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ENGINEERING
GROUP, LLC
DC • VIRGINIA • MD
3711 KANSAS AVENUE, SUITE 100, FALLS CHURCH, VA 22040
Phone: 703.292.0729 • Email: greg@momenteng.com
Website: www.momenteng.com

22-34 Plotted at 1/8"=1'-0" - 11x17 Plotted at: 1/8" = 1'-0"
GARAGE RENOVATION/ADDITION
ELEVATIONS / SECTION

DRAWN BY:
SPK
DATE: 1/19/2012
REV. NO. DATE
XXX XX-XX-XX

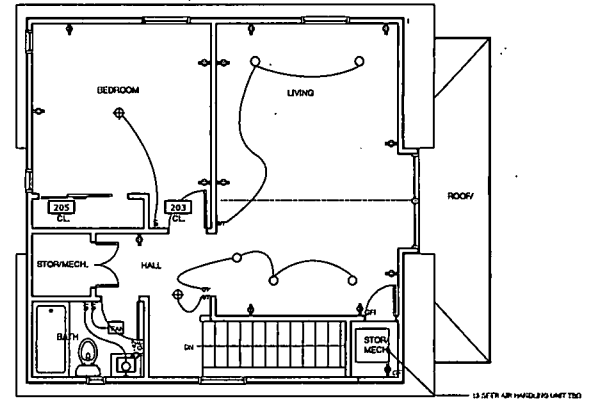
10-100

SHEET NO.
A02

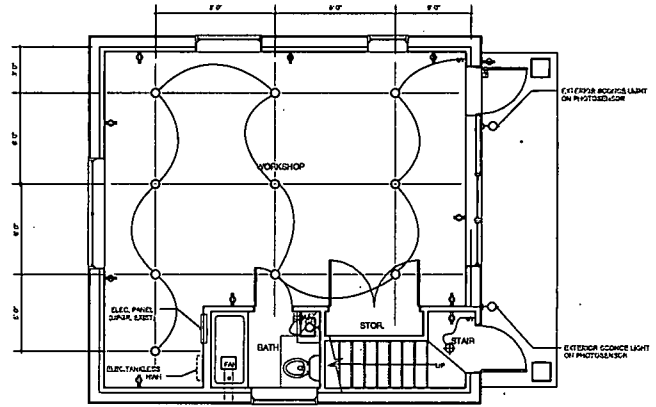
15

REVISED PLAN

| LEGEND | | | |
|--------|----------------------|---|---------------------------|
| ⬆ | NEW DUPLEX OUTLET | — | NEW TRACK FIXT |
| ⬆ | NEW 240V OUTLET | □ | EXIST 12X TROFFER FIXT |
| ⬆ | NEW GFI OUTLET | ⊕ | NEW 3-WAY SWITCH |
| ⬆ | EXISTING OUTLET | ⊕ | NEW DIMMER SWITCH |
| ⊕ | NEW RECESSED FIXT | ⊕ | NEW CEILING PENDANT FIXT |
| ⊕ | NEW WALL FIXT | ⊕ | NEW CEILING EXHAUST |
| ⊕ | NEW TRACK FIXT | ⊕ | EXIT SIGN (ILL. AND HOWD) |
| ⊕ | EXISTING WALL SWITCH | ⊕ | SMOKE DETECTOR |
| ⊕ | NEW 3-WAY SWITCH | ⊕ | EMERGENCY LIGHT FIXT |



2 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



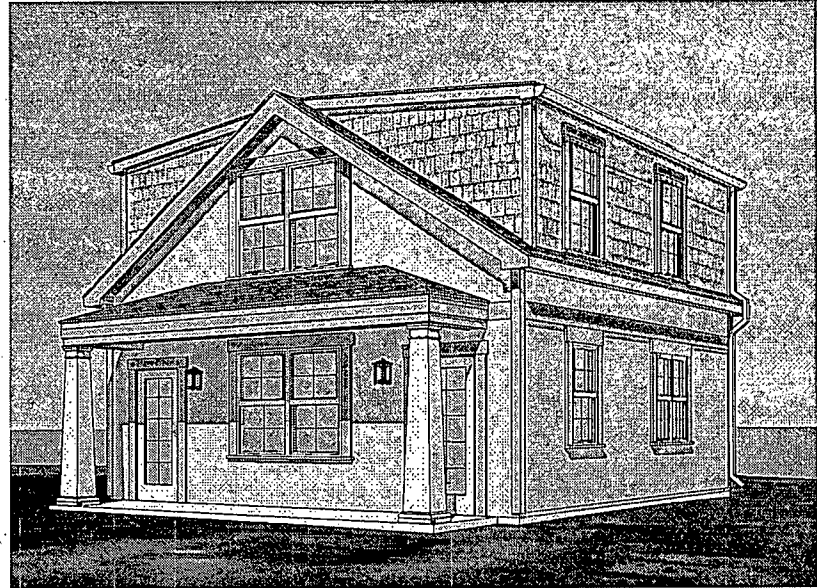
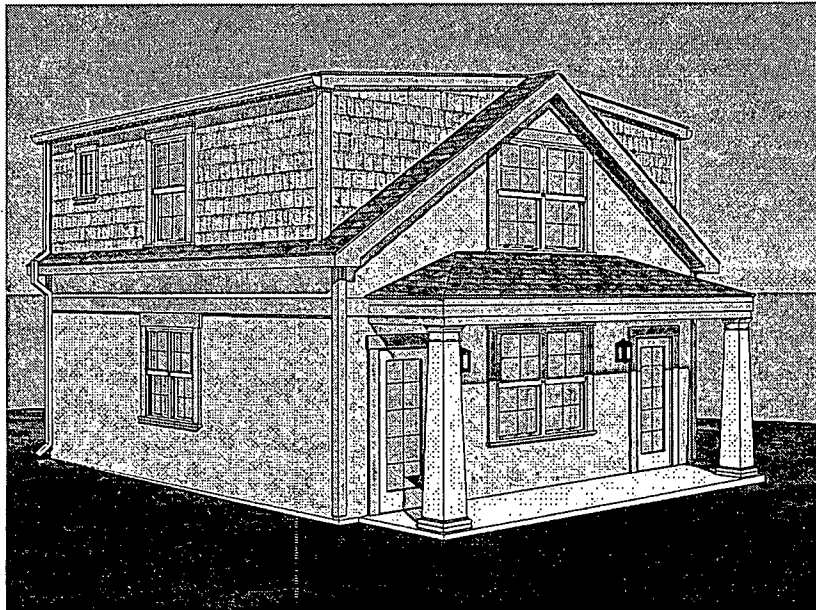
1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- NOTES:**
- POWER AND COMMUNICATION PLANS REPRESENT LOCATIONS OR OUTLET PLACEMENT ONLY. ALL INFORMATION RELATED TO CIRCUITING, NUMBER OF OUTLETS PER CIRCUIT, ETC. SHALL BE PROVIDED BY THE ELECTRICAL ENGINEER OR CONTRACTOR. REFER TO DRAWINGS FOR SPECIFIC REQUIREMENTS.
 - ALL OUTLETS SHALL BE CENTERED EITHER ON THE WALL OR COLUMN FACE BETWEEN THE CORNER AND THE DOOR FRAME OF THE WALL ON WHICH THEY ARE SHOWN UNLESS OTHERWISE NOTED.
 - SAVE ADJACENT OUTLETS TOGETHER. MAXIMUM TWO OUTLET COVER PLATES ARE INSTALLED NEXT TO EACH OTHER, MAXIMUM DISTANCE ALLOWED IS UNLESS OTHERWISE NOTED.
 - ALL EMERGENCY BROWNS ARE TO CENTERLINE OF OUTLET OR GROUP OF OUTLETS FROM FINISHED FACE OF PARTITIONS UNLESS OTHERWISE NOTED.
 - ALL OUTLET COVER PLATES SHALL BE STANDARD UNLESS OTHERWISE AND SHALL BE MOUNTED STRAIGHT AND ALIGNED, SLIGHT COLOR SELECTIONS TO ARCHITECT FOR APPROVAL.
 - OUTLET/CEILING TO BE PROVIDED BY CONTRACTOR, COORDINATE ALL REQUIREMENTS/SPECIFICATIONS WITH CLIENT AND ARCHITECT.
 - ALL OUTLETS OCCURRING ABOVE MILLWORK SHALL BE MOUNTED HORIZONTALLY UNLESS OTHERWISE NOTED.
 - ALL WIRE/CABLES FOR FIRE ALARM SYSTEM SHALL BE INSTALLED IN CONDUIT AS REQUIRED BY LOCAL CODE.
 - PROVIDE TYPE/RETIEN SIGNAL DETECTOR FOR NEW PANELS, IDENTIFYING CIRCUITS AND SPACES TO TRAVEL AND PROPERTY MANAGER.
 - CONTRACTOR TO VERIFY POWER REQUIREMENTS FOR CLIENT SUPPLIED EQUIPMENT, SIZE AND LOCATE POWER OUTLETS ACCORDINGLY.
 - THE CONTRACTOR IS RESPONSIBLE FOR PERMANENT CONNECTION OF ALL UTILITIES.

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REVISED PLAN

17



PERSPECTIVES

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3712 PARR AVENUE • FAIRFAX VA 22031
Phone: 703.750.9999
Website: www.w3eg.com

22.34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"

GARAGE RENOVATION/ADDITION
MECH / ELEC PLAN / NOTES

| | |
|------------|-----------|
| DESIGN BY: | |
| SPK | |
| DATE: | 1/18/2012 |
| REV. NO. | DATE |
| XXX | XX-XX-XX |

10-100

SHEET NO.
P01

81

REVISED PLAN [PERSPECTIVE]

Existing Property Condition Photographs (duplicate as needed)



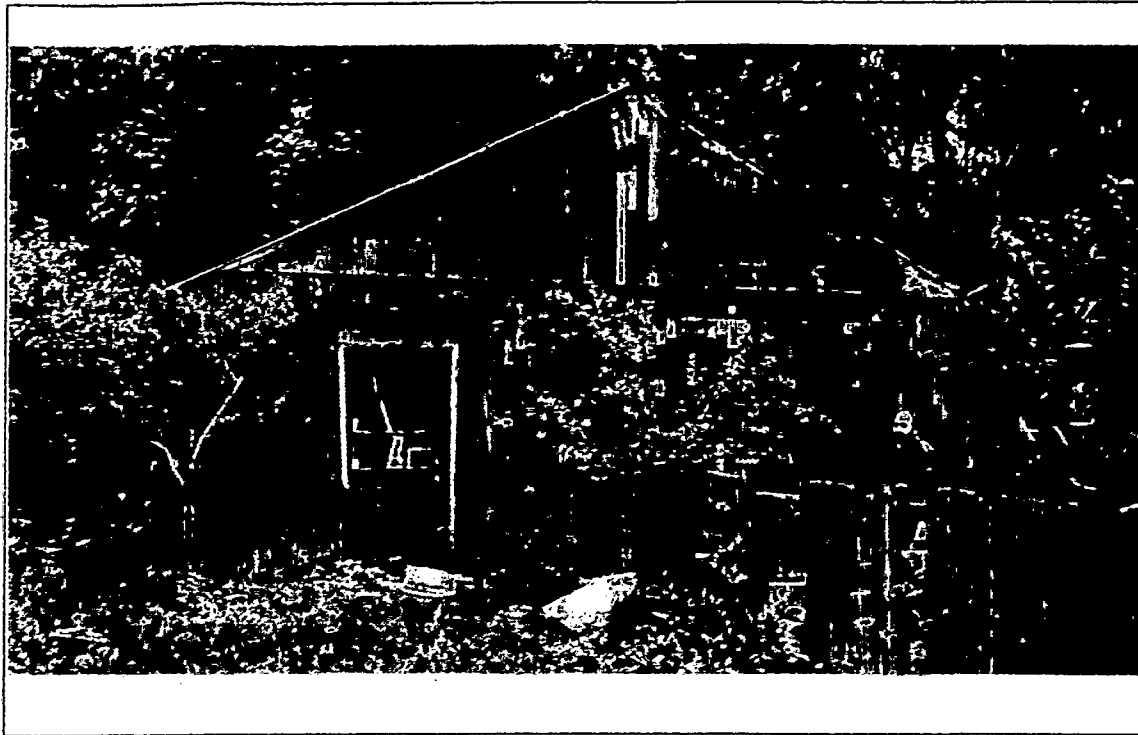
Detail: Street View of Subject Property and driveway - Garage in the background



Detail: Street View of Subject Property Front of House

Applicant: Joanna Veltri
7118 Maple Avenue
Takoma Park, MD 20912

Existing Property Condition Photographs (duplicate as needed)



Detail: Existing Garage



Detail: Existing Garage

Applicant: Joanna Veltri
7118 Maple Avenue
Takoma Park, MD 20912



25

GARAGE

7118 MAPLE AVE.



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13

CARAGE

7113



(BZ)

GARAGE

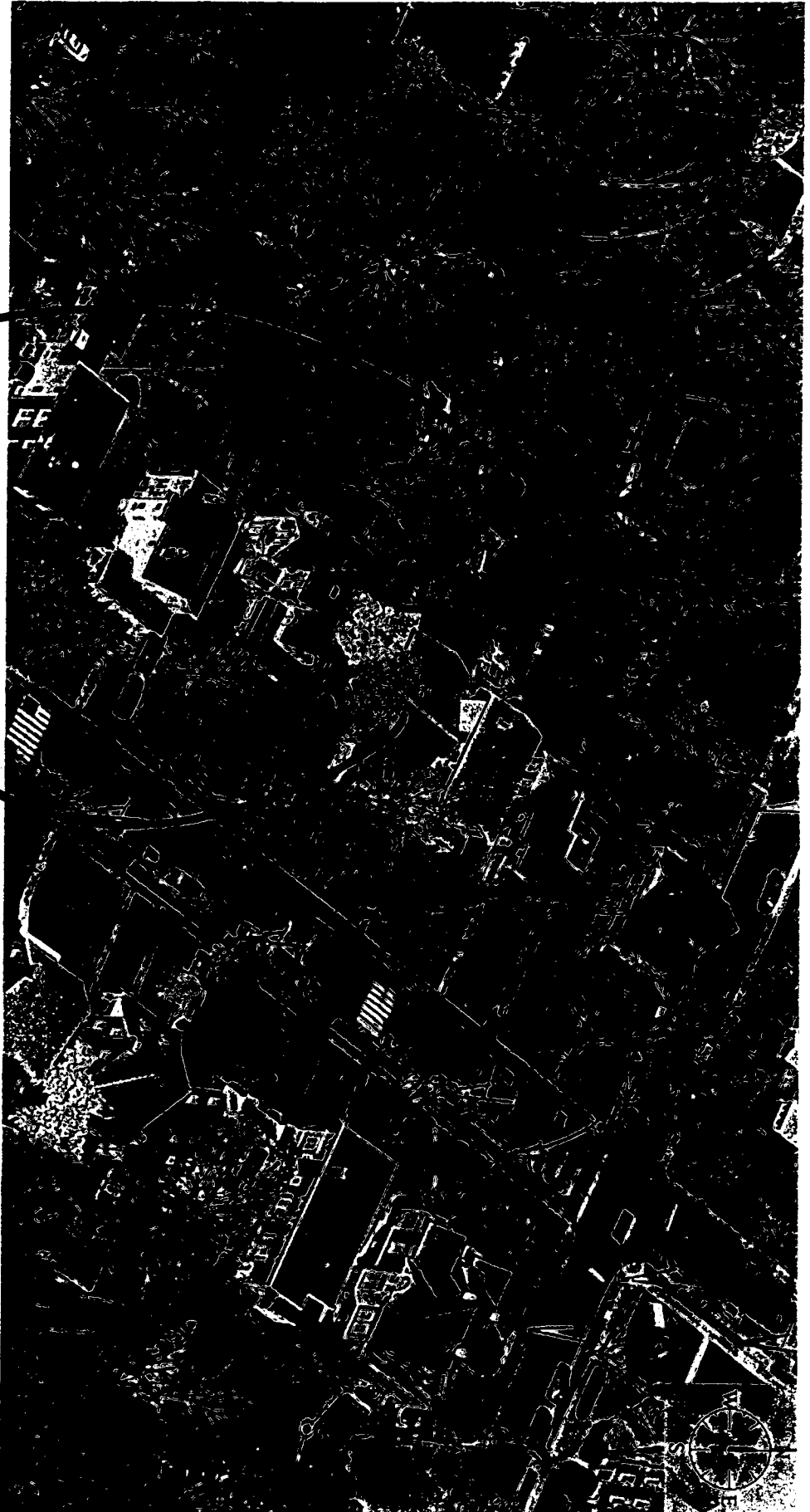
7118



87

GARAGE

7118



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|--|-----------------------|-------------|
| Address: | 7118 Maple Avenue, Takoma Park | Meeting Date: | 11/14/2012 |
| Resource: | Contributing Resource Takoma Park Historic District | Report Date: | 11/7/2012 |
| Applicant: | Joanna Veltri (Stephen Strasser, Architect) | Public Notice: | 10/31/2012 |
| Review: | HAWP | Tax Credit: | No |
| Case Number: | 37/03-12MM | Staff: | Josh Silver |
| PROPOSAL: | 2 nd story expansion of existing garage | | |

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Bungalow
DATE: c1915-30s

PROPOSAL

The applicant is proposing to add a 2nd floor to an existing non-historic garage structure in the rear yard of the subject property. The proposal consists of adding a shed roof to either side of an existing 1 story, front facing gable roof form and construction of a full-width, open, hipped roof porch supported by three columns at the 1st story front elevation. There are no changes proposed to the existing building footprint with the exception of the 1 story front porch. The design includes new windows on all elevations and two single-hung entry doors on the front elevation.

The proposed material treatments for the accessory structure consist of:

- Simulated-divided light, exterior clad, wooden, double-hung and fixed picture windows and doors
- Fiber cement board trim, composite shingle cladding at the 2nd story additions and exterior stucco on CMU block
- Standing seam metal low-slope roofing
- Painted wood/composite porch columns.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment

for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;
- While additions should be compatible, they are not required to be replicative of earlier architectural styles;

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

Note: The applicant's proposal to add a 2nd story requires a setback variance. In an opinion dated, July 27, 2012, the Board of Appeals for Montgomery County granted a setback variance to construct a 2nd floor addition above the existing structure.

Staff's review of the application placed emphasis on the importance of the resource to the overall streetscape and its compatibility with existing patterns, rather than focusing on a close scrutiny of architectural detailing.

The subject accessory structure is located in the rear yard with a front elevation setback of approximately 140' measured from the public right-of-way and is largely centered behind the historic house. There is approximately 45' of separation between the structure's front elevation and the rear elevation of a later addition at the main house.

Staff finds that consistent with Takoma Park Historic District Guidelines, the proposed work as being consistent with the following *Guidelines*;

"All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;

While additions should be compatible, they are not required to be replicative of earlier architectural styles;

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition;

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space";

- The proposed addition of a 2nd story and front porch to an existing non-historic garage will have

negligible impact on the overall streetscape of the historic district. The proposal seeks to alter a non-historic structure that is largely centered behind the historic house and setback approximately 140' from the public right-of-way. The proposed work does not expand the existing building footprint and maintains the gable roof form which characterizes the historic massing.

The proposed work does alter any predominant architectural features of the resource or change the pattern of open space between the house and adjacent properties.

The proposed material treatments are compatible for an alteration to a non-historic, rear yard accessory structure that is setback from the public right-of-way. The proposed fenestration patterns, particularly on the front elevation because of its visibility, will have negligible impact on public right-of-way due the structures location behind the house and the deep rear yard setback.

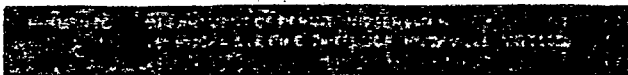
STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the Takoma Park Historic District Guidelines identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: STEPHEN GRACER
Daytime Phone No.: 202 423 8171

Tax Account No.: _____
Name of Property Owner: JOANNA VELTRI Daytime Phone No.: _____
Address: 7118 MAPLE AVE TAKOMA PARK, MD 20912
Street Number City State Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PROJECT

House Number: 7118 Street: MAPLE AVE
Town/City: TAKOMA PARK Nearest Cross Street: TULIP AVENUE
Lot: PART OF 30 Block: 4 Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|--|---|--|---|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Stab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Reze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input checked="" type="checkbox"/> Other: <u>2ND STORY ON GARAGE.</u> | | | | |

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

9/8/2012
Date

590644

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXIST. STRUCTURE IS A SINGLE STORY SHED
GARAGE AT THE REAR OF THE PROPERTY. WOOD
SIDING OVER CMU SLABBING. THERE IS NOTHING
OF HISTORICAL SIGNIFICANCE ABOUT THE
STRUCTURE. REAR YARD IS LANDSCAPED.
MAINTAINED. GARAGE IS USED FOR STORAGE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROPOSING A 2ND STORY ACCESSORY APARTMENT;
RENOVATION TO EXIST. STRUCTURE A NEW EXT.
CLADDING IN A SHINGLE STYLE HARMONIZES WITH THE
EXISTING HOUSE. ADDS A COLONADE PORCH AND
KEEPS WITHIN THE HEIGHT LIMITATIONS OF 20'

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and features proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK (INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE BORDERS OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Joanna Veltri
7118 Maple Avenue
Takoma Park, MD 20912

Owner's Agent's mailing address

Stephen F Strasser
Strasser:STUDIO
205 G St. SW
Washington, DC 20024

Adjacent and confronting Property Owners mailing addresses

Roland W. Jr & J.M. Halstead
7116 Maple Avenue
Takoma Park, MD 20912

The City Of Takoma Park
205 Tulip Avenue
Takoma Park, MD 20912

Neil T. Spring
7120 Maple Avenue
Takoma Park, MD 20912

Patricia E. Neill & Aboudou S. Wabi
7133 Maple Avenue
Takoma Park, MD 20912

GENERAL NOTES

- GENERAL NOTES**
1. These general notes apply to the drawings and shall be read in conjunction with the specifications and the contract documents.
 2. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.
 3. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable codes and regulations.
 4. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable codes and regulations.
 5. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable codes and regulations.
 6. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable codes and regulations.
 7. All work shall be performed in accordance with the specifications and the contract documents.
 8. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable codes and regulations.
 9. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable codes and regulations.
 10. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable codes and regulations.

CONCRETE REVISIONS

1. The concrete properties shall be as follows:

| Item | Min. Compressive Strength | Min. Slump | Max. Free Water |
|------------|---------------------------|------------|----------------------|
| Slab | 3000 | 1/2" - 1" | 1 1/2" (1/2" / 1/2") |
| Foundation | 3000 | 1/2" - 1" | 1 1/2" (1/2" / 1/2") |
| Foundation | 3000 | 1/2" - 1" | 1 1/2" (1/2" / 1/2") |
| Foundation | 3000 | 1/2" - 1" | 1 1/2" (1/2" / 1/2") |
| Foundation | 3000 | 1/2" - 1" | 1 1/2" (1/2" / 1/2") |

- REVISIONS**
1. All reinforcement, anchor bolts, pipe sleeves and other items shall be installed in place before concrete is placed.
 2. All reinforcement shall be installed in place before concrete is placed.
 3. All reinforcement shall be installed in place before concrete is placed.
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- CONCRETE**
1. All concrete shall be placed in accordance with the specifications and the contract documents.
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DESCRIPTION OF WORK/SITE INFORMATION

SECOND STORY GARAGE RENOVATION / ADDITION



DRAWING INDEX

GENERAL NOTES, DESIGN INFORMATION & INDEX

- A01 DEMOLITION PLAN / FLOOR PLAN
- A02 ELEVATIONS
- M01 MECHANICAL/ELECTRICAL PLAN / NOTES
- S01 FRAMING AND FOUNDATION PLANS
- S02 STRUCTURAL DETAILS

ZONING / CODE INFORMATION

SQUARE: LOT PART OF 30, BLOCK 4, PLAT #3
 LOT SIZE 8120 SF
 RESIDENTIAL USE
 EXISTING DETACHED GARAGE
 PROPOSED ADDITION - SECOND STORY ACCESSORY APARTMENT
 TAKOMA PARK HISTORIC DISTRICT
 EXTERIOR 2ND STORY ADDITION - 630 SF
 ZONE R-40
 MAX. LOT OCCUPANCY - 30 INCL. ACCESSORY BUILDINGS
 MAX. HEIGHT - 35' MAX. - 20' ACCESSORY STRUCTURE
 REAR YARD SETBACK FOR ACCESSORY BUILDING - 5'
 SIDE YARD SETBACK FOR ACCESSORY BUILDING - 5'
 LOT RECORDED BEFORE 3/18/28
 EXISTING SINGLE STORY GARAGE
 MASONRY BLOCK WALLS

DESIGN DATA

DESIGN CODE
 2024 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC)

BUILDING LOADS
 SOIL BEARING CAPACITY: 4000 PSF FOR ALL FOOTINGS
 FLOOR LOADS: 40 PSF LL + 2 PSF DL + 12 PSF IBC LL
 ROOF LOADS: 20 PSF RW (S) + 11 PSF DL + 40 PSF IBC LL
 WIND LOADS: BASIC WIND SPEED = 120 MPH OR 125 (1) SEC. GUST
 EXISTING WIND SPEED = 110 MPH OR 115 (1) SEC. GUST
 EXISTING WIND SPEED = 110 MPH OR 115 (1) SEC. GUST
 EXISTING WIND SPEED = 110 MPH OR 115 (1) SEC. GUST

DEFLECTION LIMITS
 - BEAM DEFLECTION: L/240
 - SLAB DEFLECTION: L/180
 - JOIST DEFLECTION: L/240
 - TOTAL DEFLECTION: L/240

COMPONENTS CLADDING
 EXISTING CLADDING: 2x4 STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD
 NEW CLADDING: 2x4 STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD

REVISION LOG

| NO. | DATE | DESCRIPTION |
|-----|----------|---------------------|
| 1 | 01/15/24 | ISSUED FOR PERMIT |
| 2 | 01/20/24 | REVISIONS TO PERMIT |
| 3 | 01/25/24 | REVISIONS TO PERMIT |
| 4 | 02/01/24 | REVISIONS TO PERMIT |
| 5 | 02/05/24 | REVISIONS TO PERMIT |
| 6 | 02/10/24 | REVISIONS TO PERMIT |
| 7 | 02/15/24 | REVISIONS TO PERMIT |
| 8 | 02/20/24 | REVISIONS TO PERMIT |
| 9 | 02/25/24 | REVISIONS TO PERMIT |
| 10 | 03/01/24 | REVISIONS TO PERMIT |

ABBREVIATIONS

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|--------|------------------|--------|------------------|--------|------------------|
| AC | ACROBATIC | AC | ACROBATIC | AC | ACROBATIC |
| AD | ADULT | AD | ADULT | AD | ADULT |
| AE | ADULT EQUIPMENT | AE | ADULT EQUIPMENT | AE | ADULT EQUIPMENT |
| AF | ADULT FURNITURE | AF | ADULT FURNITURE | AF | ADULT FURNITURE |
| AG | ADULT GYMNASIUM | AG | ADULT GYMNASIUM | AG | ADULT GYMNASIUM |
| AH | ADULT HALL | AH | ADULT HALL | AH | ADULT HALL |
| AI | ADULT INDOOR | AI | ADULT INDOOR | AI | ADULT INDOOR |
| AJ | ADULT JUDO | AJ | ADULT JUDO | AJ | ADULT JUDO |
| AK | ADULT KARATE | AK | ADULT KARATE | AK | ADULT KARATE |
| AL | ADULT LAUNDRY | AL | ADULT LAUNDRY | AL | ADULT LAUNDRY |
| AM | ADULT MEETING | AM | ADULT MEETING | AM | ADULT MEETING |
| AN | ADULT NURSERY | AN | ADULT NURSERY | AN | ADULT NURSERY |
| AO | ADULT OFFICE | AO | ADULT OFFICE | AO | ADULT OFFICE |
| AP | ADULT PLAY | AP | ADULT PLAY | AP | ADULT PLAY |
| AQ | ADULT QUIET | AQ | ADULT QUIET | AQ | ADULT QUIET |
| AR | ADULT RECREATION | AR | ADULT RECREATION | AR | ADULT RECREATION |
| AS | ADULT STORAGE | AS | ADULT STORAGE | AS | ADULT STORAGE |
| AT | ADULT TENNIS | AT | ADULT TENNIS | AT | ADULT TENNIS |
| AV | ADULT VESTIBULE | AV | ADULT VESTIBULE | AV | ADULT VESTIBULE |
| AW | ADULT WORK | AW | ADULT WORK | AW | ADULT WORK |
| AX | ADULT X-RAY | AX | ADULT X-RAY | AX | ADULT X-RAY |
| AY | ADULT YOGA | AY | ADULT YOGA | AY | ADULT YOGA |
| AZ | ADULT ZOO | AZ | ADULT ZOO | AZ | ADULT ZOO |

DESCRIPTION OF WORK

SECOND STORY GARAGE RENOVATION / ADDITION

The work consists of renovating and adding to the second story of the garage. The renovation includes the removal of existing walls and the installation of new walls, windows, and doors. The addition includes the construction of a new second story garage structure. The work shall be performed in accordance with the specifications and the contract documents.



DC • VIRGINIA • MD
 3712 PARK AVENUE • FAIRFAX, VA 22030
 Phone: 703.928.0229 • Email: info@momenteng.com
 Website: www.momenteng.com

2024 Printed at 1/4" = 1'-0" - 1x17 Plotted at 1/8" = 1'-0"
 GARAGE RENOVATION/ADDITION
 GENERAL NOTES

BUILDING DATA

FINISHED SQUARE FEET:
 BASEMENT = ??? SF
 1ST FLOOR = ??? SF
 2ND FLOOR = ??? SF
 TOTAL = ??? SF
 GARAGE = ??? SF

BUILDING ADDRESS

GARAGE RENOVATION/ADDITION RESIDENCE
 7118 MAPLE AVENUE
 TAKOMA PARK, MD

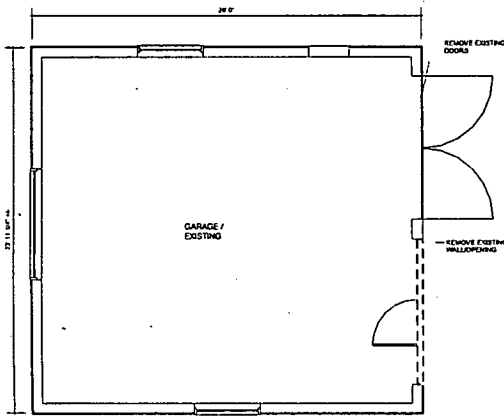
PROFESSIONAL CERTIFICATION

DATE: 01/15/24
 BY: [Signature]
 TITLE: [Title]
 FIRM: [Firm Name]

11-100

GN

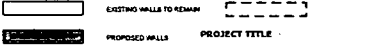
6



2 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

- DEMOLITION NOTES:**
1. THE DEMOLITION SHALL CONSIST OF ALL THAT IS NECESSARY FOR THE INSTALLATION OF THE NEW GARAGE AS SHOWN ON THE CONSTRUCTION DRAWINGS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL OF ALL ELEMENTS AS SCHEDULED IN THE DRAWINGS REQUIRED TO COMPLETE THE WORK AS SHOWN HEREIN AND ALL FILES CONNECTED WITH THE REMOVAL FROM PROJECT AND SITE.
 3. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS IF NECESSARY FOR ALL DEMOLITION AND CONSTRUCTION WORK.
 4. THE CONTRACTOR SHALL CONSULT THE OWNER IN ADVANCE OF DEMOLITION TO ADEQUATE PREPARATIONS MAY BE MADE TO ACCOMMODATE DEMOLITION AND REPAIR OPERATIONS PRIOR TO DEMOLITION CONSULT WITH THE OTHER SUBCONTRACTORS TO DETERMINE IF EXISTING MECHANICAL OR ELECTRICAL WORK HAS BEEN DISCONNECTED AND CAPPED, DO NOT PROCEED UNLESS DISCONNECTS AND CAPS HAVE BEEN COMPLETED, MAKE ADVANCE PREPARATIONS TO AVOID DAMAGE TO THE BUILDING AND ADJACENT TO THE ELEMENTS INTERFERED BY THE OWNERS SCHEDULE AND COORDINATION OF EXISTING BUILDINGS AND CONTENTS.
 5. THE CONTRACTOR SHALL GUARANTEE THE REMOVE WHERE SPECIFIED OR NOTED, ANY DOORS, WINDOWS, HARDWARE, SUPPLIES, ELEMENTS INCLUDING, TRIM, SPECIAL FEATURES ETC. AND STORE THEM ACCORDING TO A PLACE SECURE FROM THEFT AND WEATHER AND REINSTALL AS SPECIFIED IN THE CONTRACT DOCUMENTS. THE OWNER SHALL PREPARE A FULL LIST OF ITEMS TO BE REMOVED AND STORED, IN ADVANCE OF THE DEMOLITION OF THE CONSTRUCTION CONTRACT. IF NO LIST IS PROVIDED, CONTRACTOR SHALL BE DEEMED TO HAVE SAID ITEMS COVER ALL MATERIALS SPECIFIED FOR DEMOLITION.
 6. EXISTING PLASTER AND GYPSUM WALLS BOILED DOWN ON WALLS WHERE NOT DAMAGED BY WEATHER OR CONSTRUCTION SHALL REMAIN AND BE PREPARED TO MATCH THE ORIGINAL FINISH AND QUALITY CONDITION. PLASTER WALLS SHALL BE CHASED FOR ELECTRICAL WIRING WHERE REQUIRED THEN PATCHED AND PREPARED FOR REFINISH.
 7. CONTRACTOR TEMPORARY ENCLOSURES FROM TO OPENING ON DEMOLITION OF WALLS, PARTITIONS, ROOFS OR PORTION OF WALLS. TEMPORARY ENCLOSURES SHALL PREVENT DAMAGE TO ADJACENT BUILDING INCLUDING PURCHASED TO RAIN, SNOW, BRUISE, INSECTS AND CONSTRUCTION DUST.
 8. INSTALL ALL TEMPORARY SUPPORTS AS REQUIRED AND NECESSARY TO AVOID ANY DAMAGE TO THE EXISTING STRUCTURE AND FINISHES DURING DEMOLITION OF EXISTING WALLS, PARTITIONS, PARTITIONS, ETC. ADJACENT TO THE WORK AREA, WHICH SHALL BE PROTECTED BY ADEQUATE BRACING AND SHORING UNTIL WORK IS COMPLETED. IF NECESSARY, CONTRACTOR MAY NEED TO CONSULT A STRUCTURAL ENGINEER FOR CORRECTIONS AS TO PROPER BRACING AND SHORING.
 9. ANY EXISTING EXTERIOR OR INTERIOR WORK DAMAGED OR DEFACED BY WORK UNDER THIS CONTRACT INCLUDING ANY DAMAGES CAUSED BY APPROVED PROTECTION SHALL BE RESTORED BY THE CONTRACTOR AT THEIR EXPENSE.
 10. WHERE WALLS, SHELVING, OR CEILING SYSTEMS ARE TO BE REMOVED, PATCH REMAINING SURFACES TO MATCH EXISTING WALLS UNLESS OTHERWISE NOTED.
 11. COORDINATE REMOVAL OF EXISTING MECHANICAL SYSTEMS AS REQUIRED.
 12. EVALUATE EXISTING MECHANICAL SYSTEMS WITH A SUBCONTRACTOR.
 13. RETAIN EXISTING FLOOR FINISHES UNLESS WHERE NOTED.

WALL LEGEND:

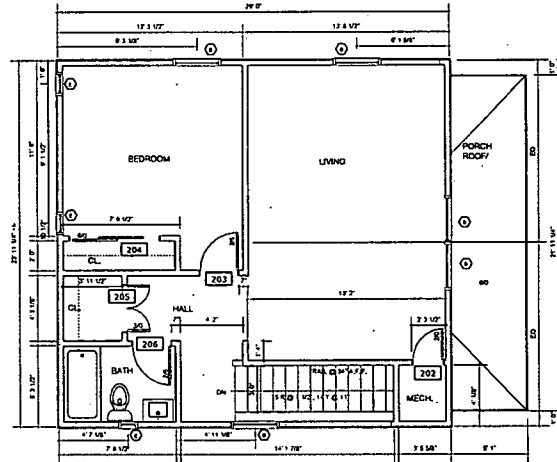


WALL SCHEDULE:

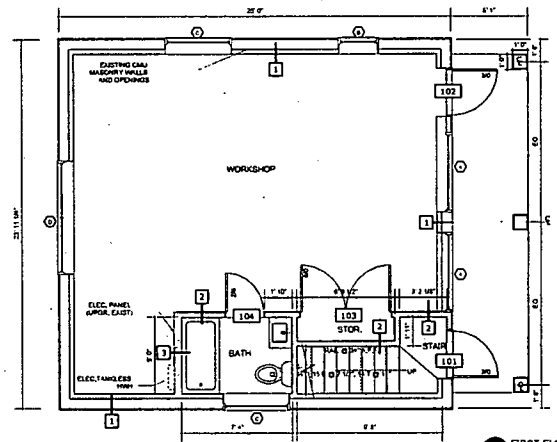
- Project Location
- 1 2 1/2" HD. 1/2" DIMS ONE SIDE OVER EXISTING CAU
 - 2 3 1/2" HD. STUDS, 1/2" DIMS BOTH SIDES (MOISTURE RESISTANT DIMS IN BATHROOMS AND AT 40°F ON WALL)
 - 3 4 1/2" HD. STUDS, 1/2" DIMS ONE SIDE, 1/2" MOISTURE RESISTANT DIMS ON BATHROOM SIDE
 - 4 1 1/2" HD. STUDS, 1/2" DIMS ONE SIDE, R-19 BATT INSULATION, 3/4" PLY SHEATHING OUTSIDE, FINISH AS SCHEDULED

PLAN NOTES:

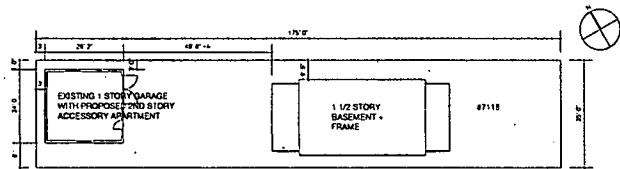
1. REMOVE CEILING PANELS IN MAIN SPACE ONLY - DEMO TO REMAIN. DETERMINE EXTENT OF EXISTING METAL CEILING AND CONDITION.
2. METAL PARTS SHOWN TO REMAIN AND REPAIR AS NECESSARY.
3. REMOVE CARPET IN STORAGE AND EXPOSE CONCRETE, SEAL CONCRETE.
4. REMOVE AND PATCH ALL EXISTING WALLS AND CEILING.
5. EVALUATE EXISTING MECHANICAL SYSTEM AND DETERMINE SPACE REQUIREMENTS HEREIN AND ALL APPLICABLE CODES.
6. EVALUATE EXISTING ELECTRICAL SYSTEM TO DETERMINE ALL APPLICABLE CODES.
7. NEW CASEWORK AND PARTITIONS TO BE PURCHASED AND INSTALLED BY CONTRACTOR.
8. EQUIPMENT TO BE PURCHASED BY OWNER/INSTALLED BY CONTRACTOR.
9. LIGHTING IN STORAGE SPACES TO REMAIN EXISTING. REDUCE THE SPACES AND LIGHTING AS REQUIRED. ONE LIGHTING IN FRONT OF HOUSE SPACE TO BE PART OF CONDUIT ALONG CEILING WITH CONDUIT PROTECT LIGHTING WITH VALUABLE LIGHTING AND DIM CUSTOM GRANDES 120.



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

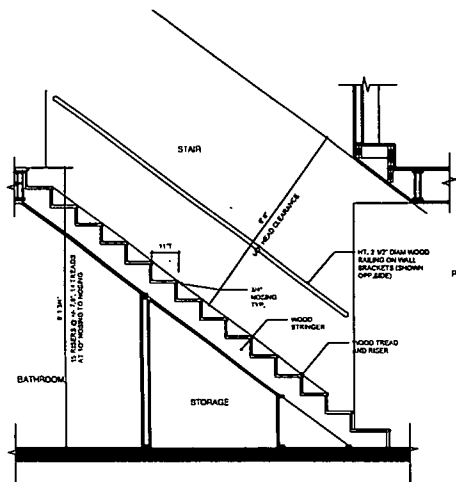


1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

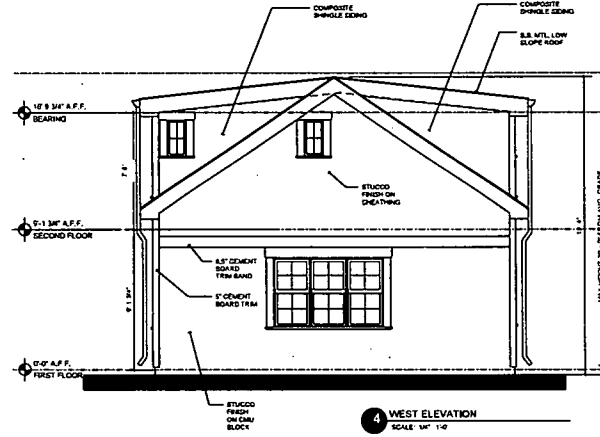


3 SITE PLAN
SCALE: 1" = 30'

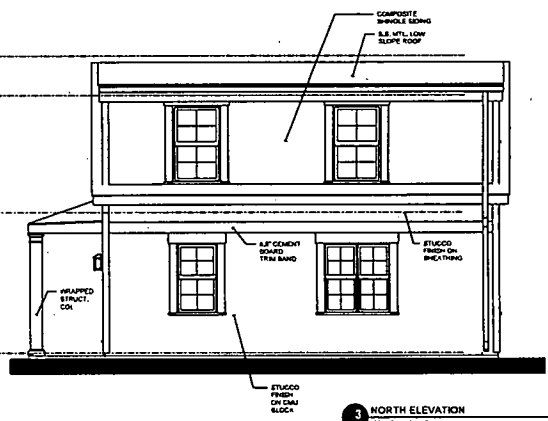
| DOOR MARKS | DESCRIPTION | DOOR SIZE | | | | MATERIAL | FINISH | GLAZING | H. WALL | REMARKS |
|------------|--------------|-----------|-------|-------|------|---------------|--------|---------------|---------|---------|
| | | TYPE | HT | WT | THK. | | | | | |
| 100 | ENTRY DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 101 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 102 | STORAGE DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 103 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 104 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 105 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 106 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 107 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 108 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 109 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 110 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
| 111 | BATH DOOR | P | 2'-2" | 6'-8" | 1/2" | ALUMINUM CLAD | W/TF | NO LOW E GLAZ | 0-23 | REMOVED |
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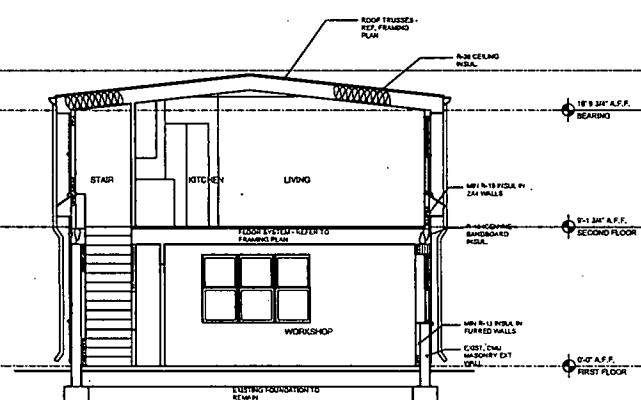
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SCALE: 1/4" = 1'-0"



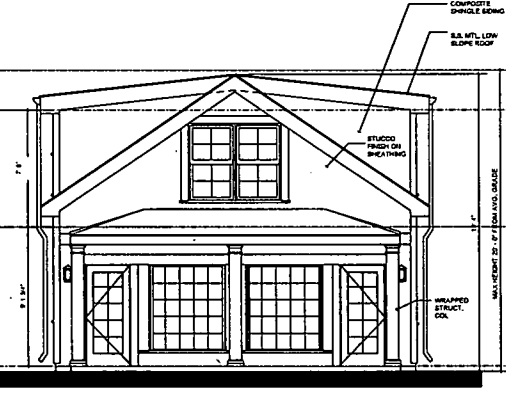
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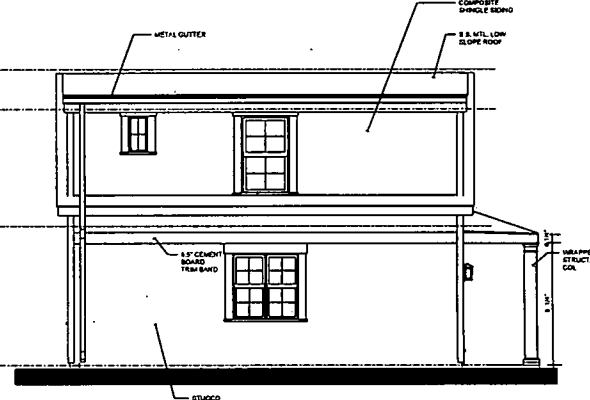
5 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SECTION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE #28620, EXPIRATION DATE: 3/22/2012"

moment
STRUCTURAL
ENGINEERING
GROUP, LLC
DC • VIRGINIA • MD
3112 FABR AVENUE - FAIRFAX, VA 22030
Phone: 703.282.0728 • Email: info@momentgroup.com
Website: www.momentgroup.com

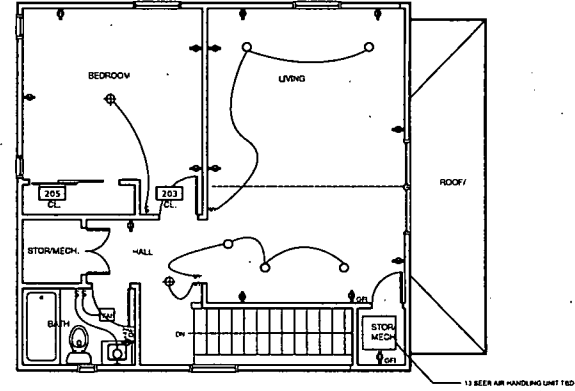
22-034 Plotted at 1/4"=1'-0" - 11x17 Rotted at 1/8" = 1'-0"
GARAGE RENOVATION/ADDITION
ELEVATIONS / SECTION

| | |
|-----------|----|
| DATE | BY |
| 1/15/2011 | SK |
| 2/15 | SK |
| 2/23/11 | SK |

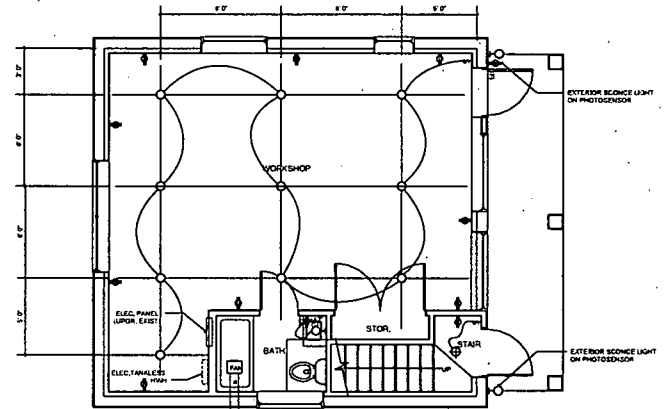
10-100
SHEET NO
A02

11

| LEGEND | | | |
|--------|-------------------|---|----------------------------|
| ⬆ | NEW DUPLEX OUTLET | ⬆ | NEW TRACK FIXT |
| ⬆ | NEW 240V OUTLET | ⬆ | EXIST 2x4 TROFFER FIXT |
| ⬆ | NEW GFI OUTLET | ⬆ | NEW RECESSED FIXT |
| ⬆ | EXISTING OUTLET | ⬆ | NEW CEILING PENDANT FIXT |
| ⬆ | | ⬆ | NEW WALL FIXT |
| ⬆ | | ⬆ | EXISTING WALL SWITCH |
| ⬆ | | ⬆ | NEW 3-WAY SWITCH |
| ⬆ | | ⬆ | NEW DIMMER SWITCH |
| ⬆ | | ⬆ | NEW CEILING EXHAUST |
| ⬆ | | ⬆ | EMERGENCY LIGHT FIXT |
| ⬆ | | ⬆ | EXIT SIGN (ILL. AND H-WAY) |
| ⬆ | | ⬆ | SMOKE DETECTOR |



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES:

1. POWER AND COMMUNICATION PLANS REPRESENT LOCATIONS OR OUTLET PLACEMENT ONLY. ALL INFORMATION RELATIVE TO CIRCUITING, NUMBER OF OUTLETS PER CIRCUIT, ETC. SHALL BE PROVIDED BY THE ELECTRICAL ENGINEER OR CONTRACTOR. REFERENCE DRAWINGS FOR SPECIFIC REQUIREMENTS.
2. ALL OUTLETS SHALL BE CENTERED EITHER ON THE WALL OR COLUMN FACE BETWEEN THE CORNER AND THE DOOR FRAME OF THE WALL ON WHICH THEY ARE SHOWN, UNLESS OTHERWISE NOTED.
3. ONSIDE ADJACENT OUTLETS TOGETHER, WHEN TWO OUTLET COVER PLATES ARE INSTALLED NEXT TO EACH OTHER, MAXIMUM DISTANCE ALLOWED IS 6" UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHOWN ARE TO CENTERLINE OF OUTLET OR GROUP OF OUTLETS FROM FINISHED FACE OF PARTITIONS, UNLESS OTHERWISE NOTED.
5. ALL OUTLET COVER PLATES SHALL BE STANDARD UNLESS OTHERWISE AND SHALL BE MOUNTED STRAIGHT AND ALIGNED, BURNED COLOR SELECTIONS TO MATCH EXIST FOR APPROVAL.
6. DATA/CABLE CORDING TO BE PROVIDED BY CONTRACTOR, COORDINATE ALL REQUIREMENTS/SPECIFICATIONS WITH CLIENT AND ARCHITECT.
7. ALL OUTLETS OCCURRING ABOVE CEILING SHALL BE MOUNTED HORIZONTALLY UNLESS OTHERWISE NOTED.
8. ALL WIRING/CABLEING FOR FIRE ALARM SYSTEM SHALL BE INSTALLED IN CONDUIT AS REQUIRED BY LOCAL CODE.
9. PROVIDE TYPE/NOTIFY CIRCUIT DIRECTORY FOR NEW PANELS, IDENTIFYING CIRCUITS AND SPACES TO OWNERS AND PROPERTY MANAGER.
10. CONTRACTOR TO VERIFY POWER REQUIREMENTS FOR CLIENT SUPPLIED EQUIPMENT, SIZE AND LOCATE POWER OUTLETS ACCORDINGLY.
11. THE CONTRACTOR IS RESPONSIBLE FOR PERMANENT CONNECTION OF ALL UTILITIES.

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE #Z8620. EXPIRATION DATE: 3/27/2012"

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Phone: 410-328-0758 | Fax: 410-328-0759
Website: www.momenteng.com

22-04 Picked at 1/4"=1'-0" - 11x17 Picked at 1/8" = 1'-0"
GARAGE RENOVATION/ADDITION
MECH / ELEC PLAN / NOTES

DATE: 1/10/2012
BY: [Signature]
CHK: [Signature]

10-100

SHEET NO.
ME01

12

Existing Property Condition Photographs (duplicate as needed)



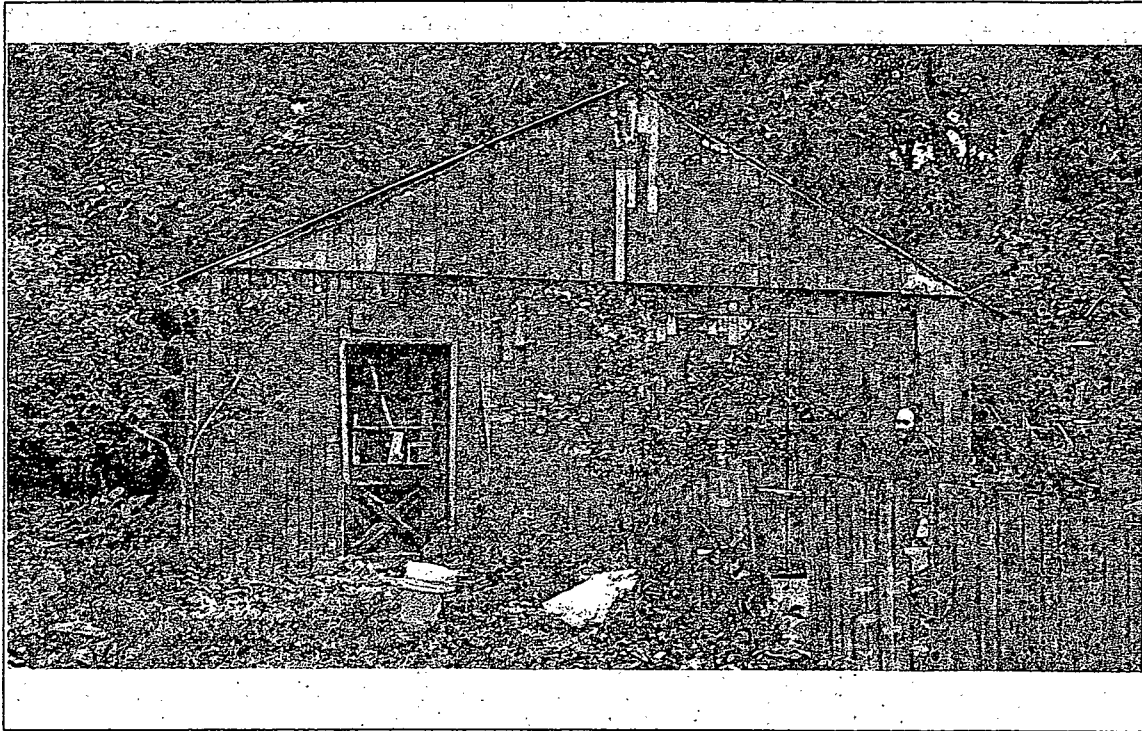
Detail: Street View of Subject Property and driveway - Garage in the background



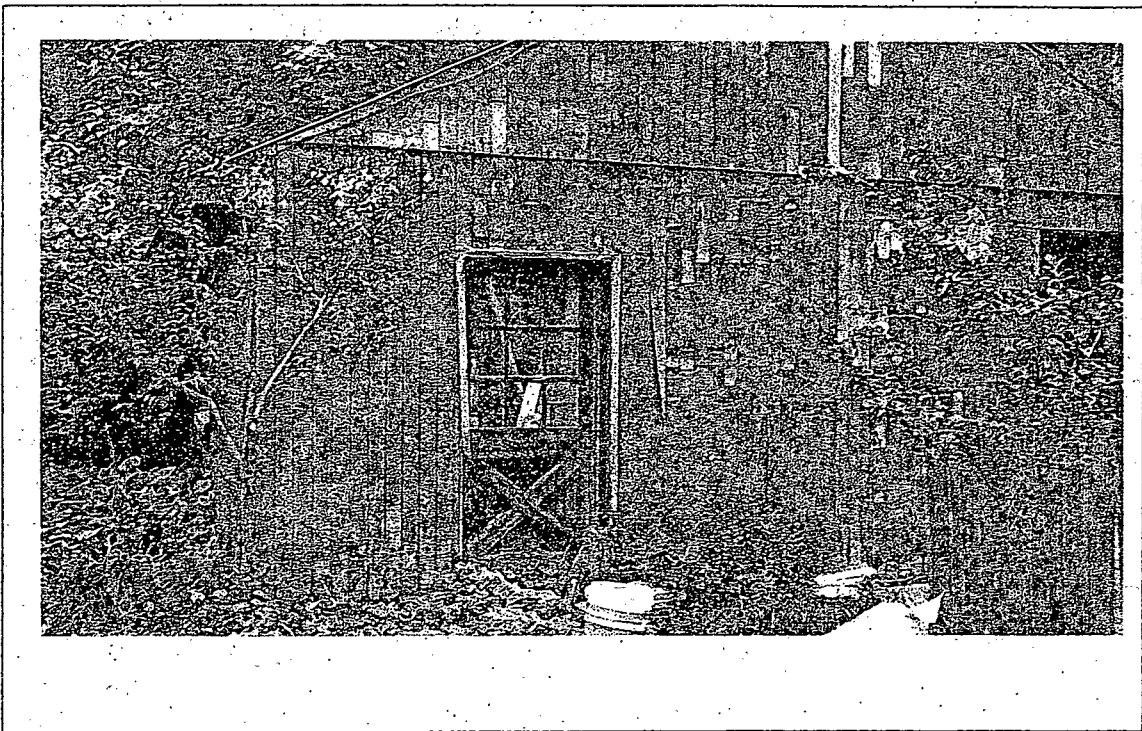
Detail: Street View of Subject Property Front of House

Applicant: Joanna Veltri
7118 Maple Avenue
Takoma Park, MD 20912

Existing Property Condition Photographs (duplicate as needed)



Detail: Existing Garage



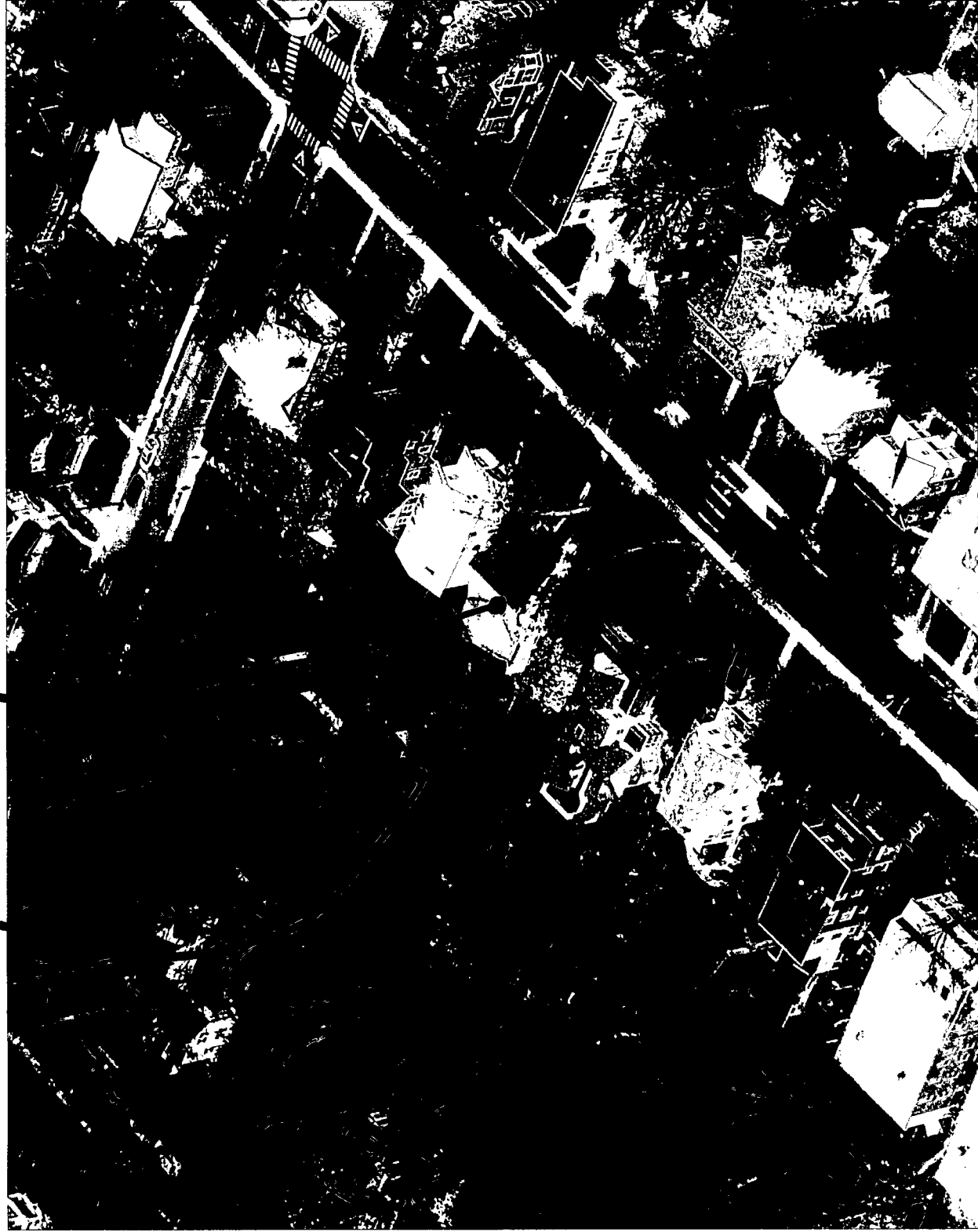
Detail: Existing Garage

Applicant: Joanna Veltri
7118 Maple Avenue
Takoma Park, MD 20912



7118 MAPLE AVE.

GARAGE

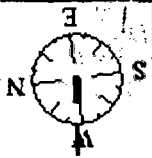
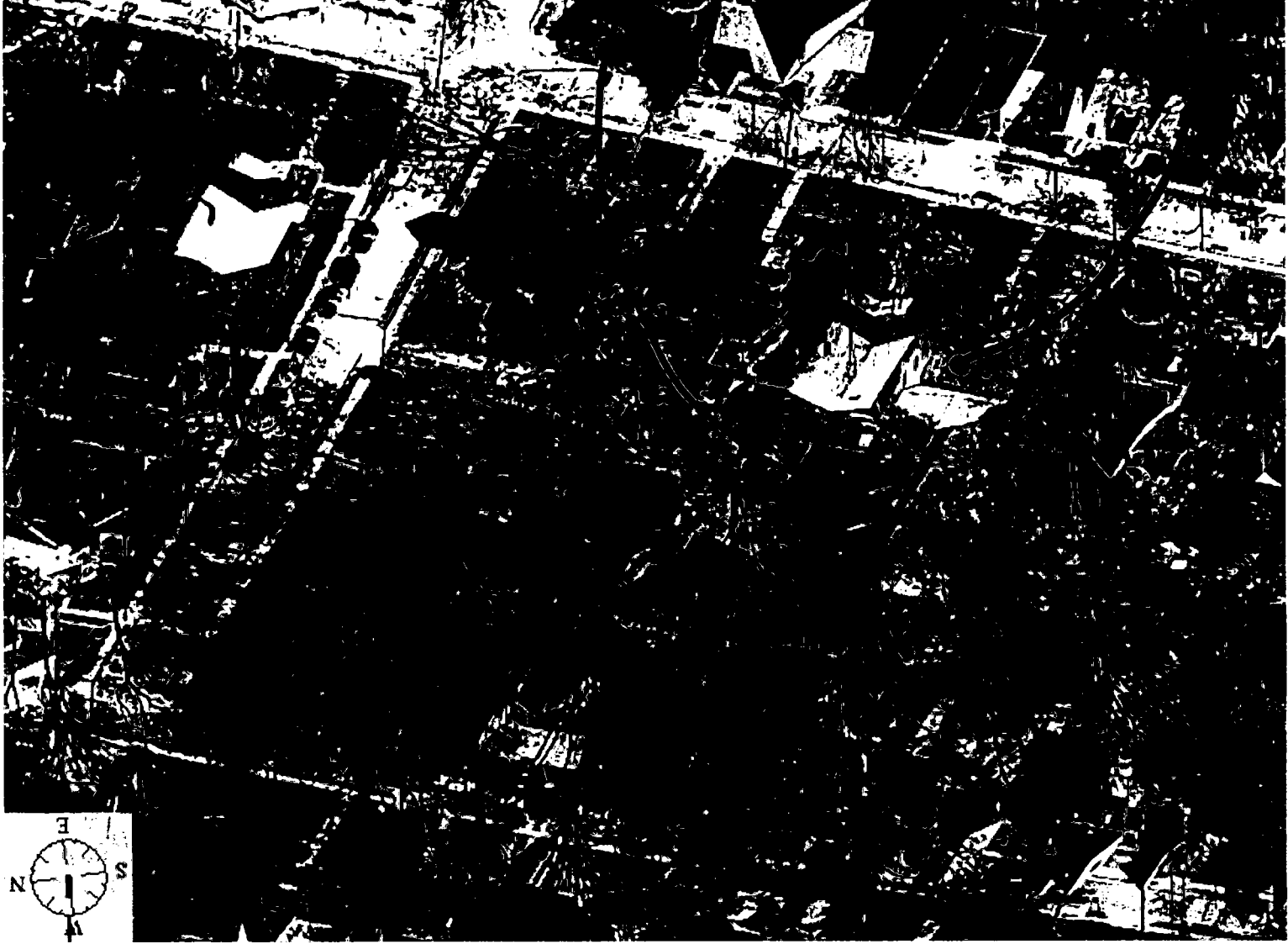


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7

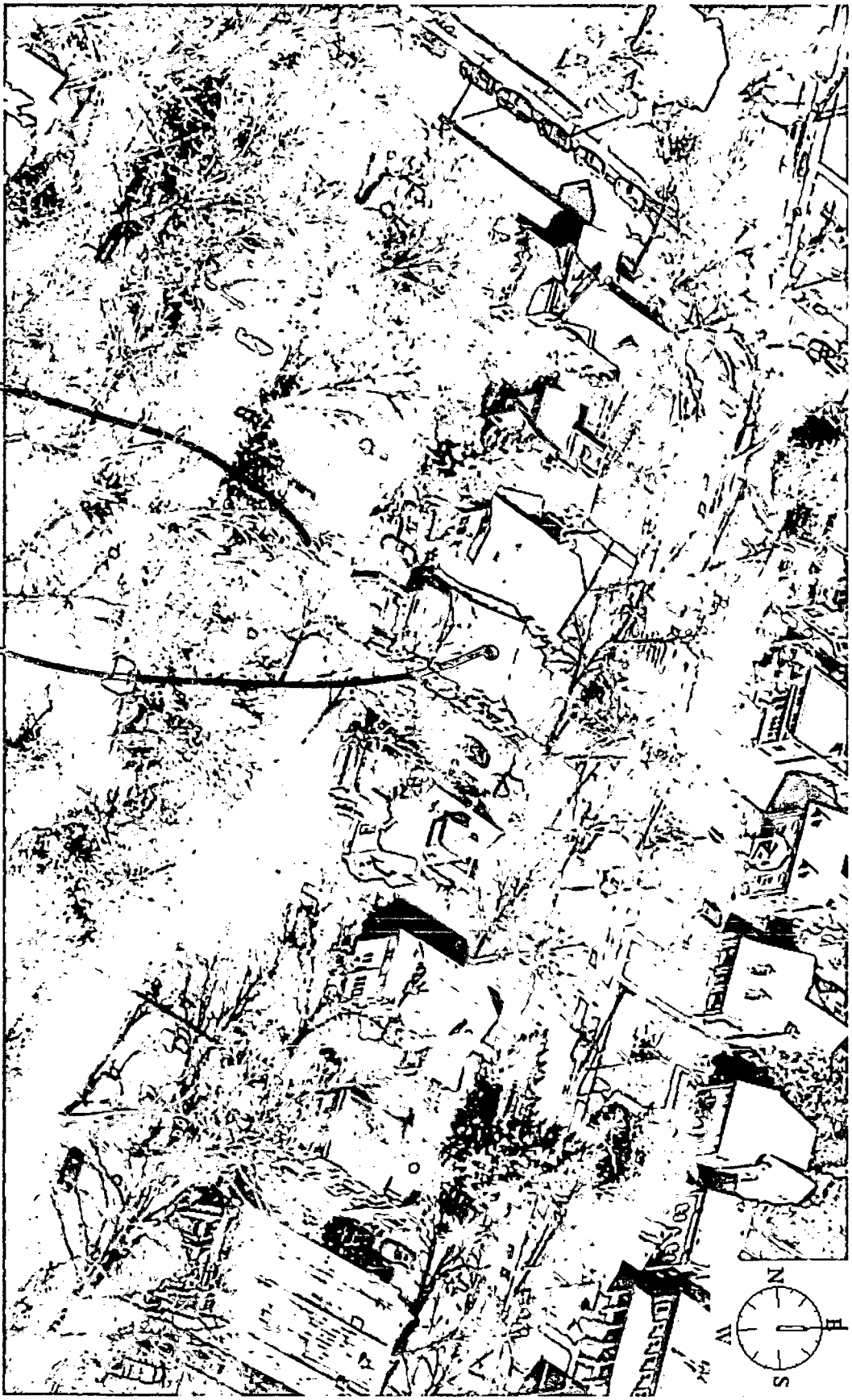
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CARAC 6



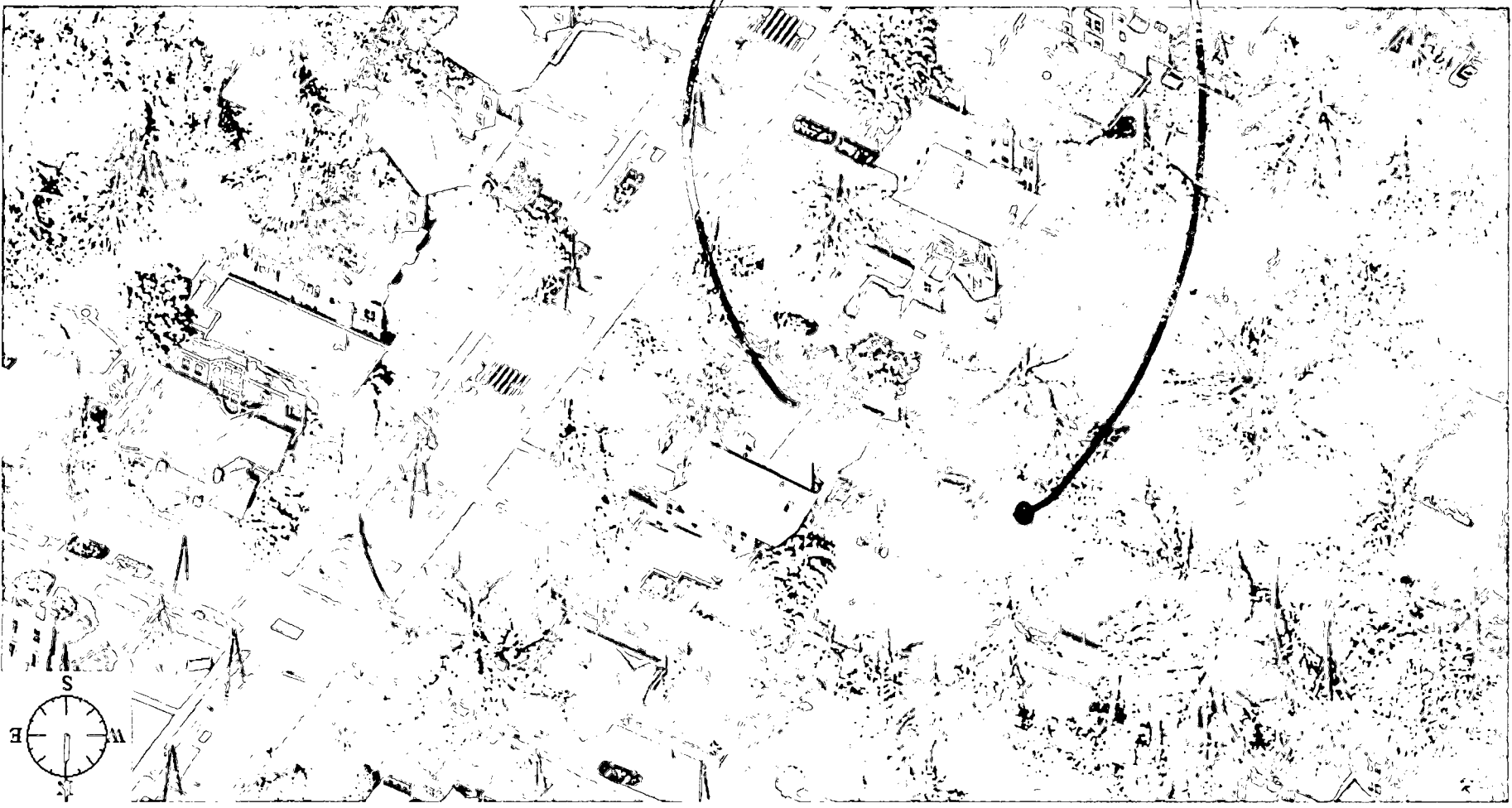
GARAGE

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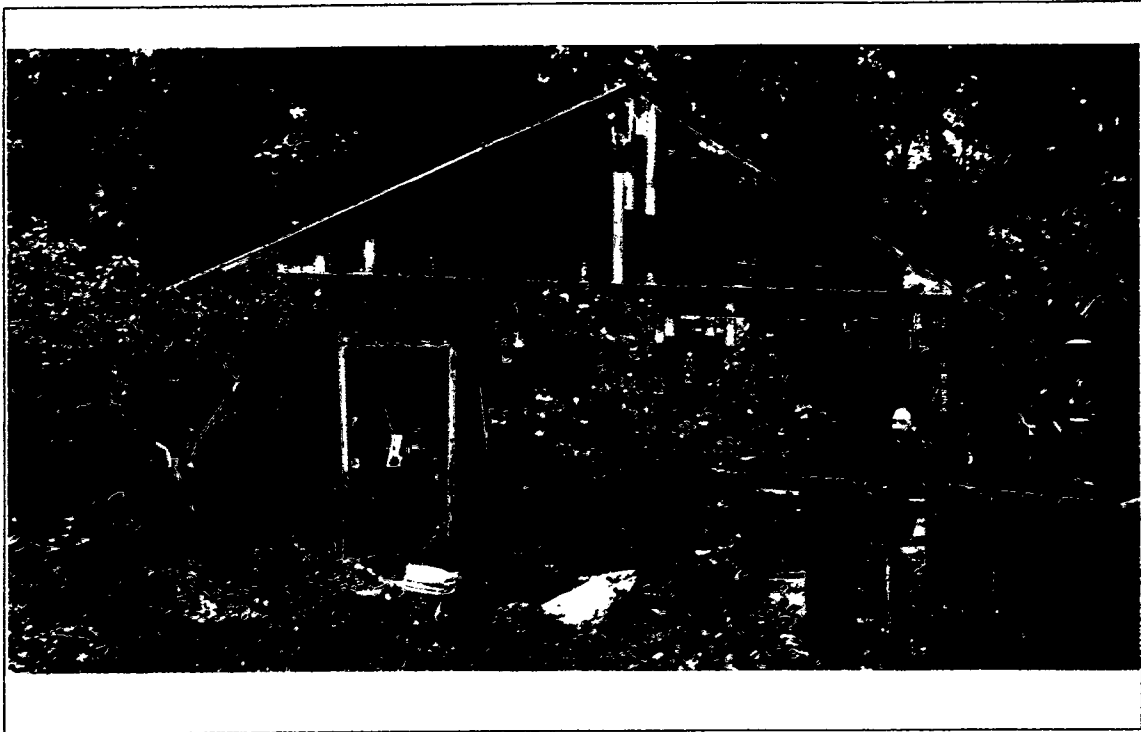


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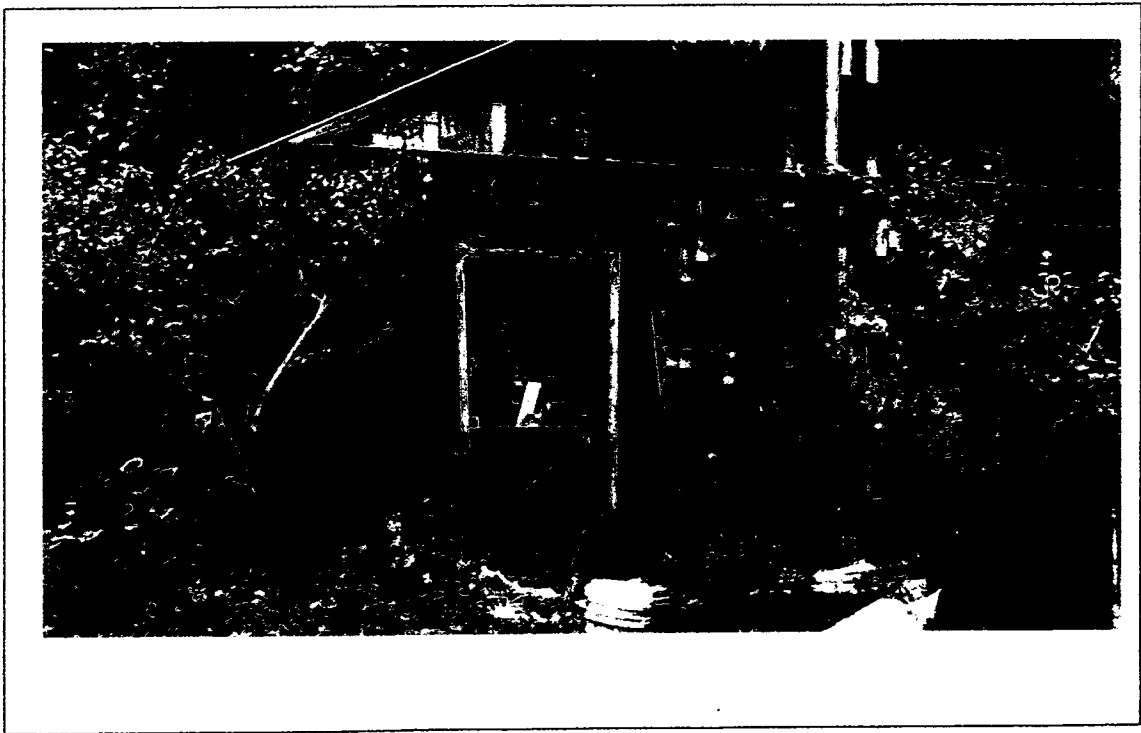
Garage



Existing Property Condition Photographs (duplicate as needed)



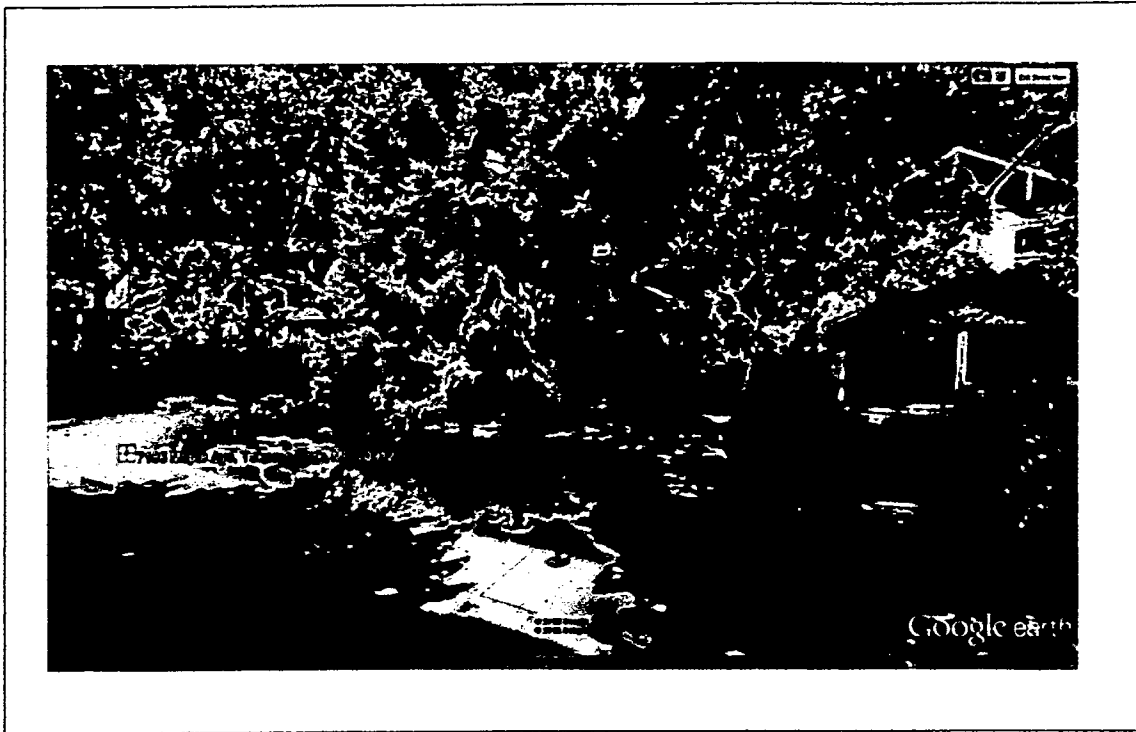
Detail: Existing Garage



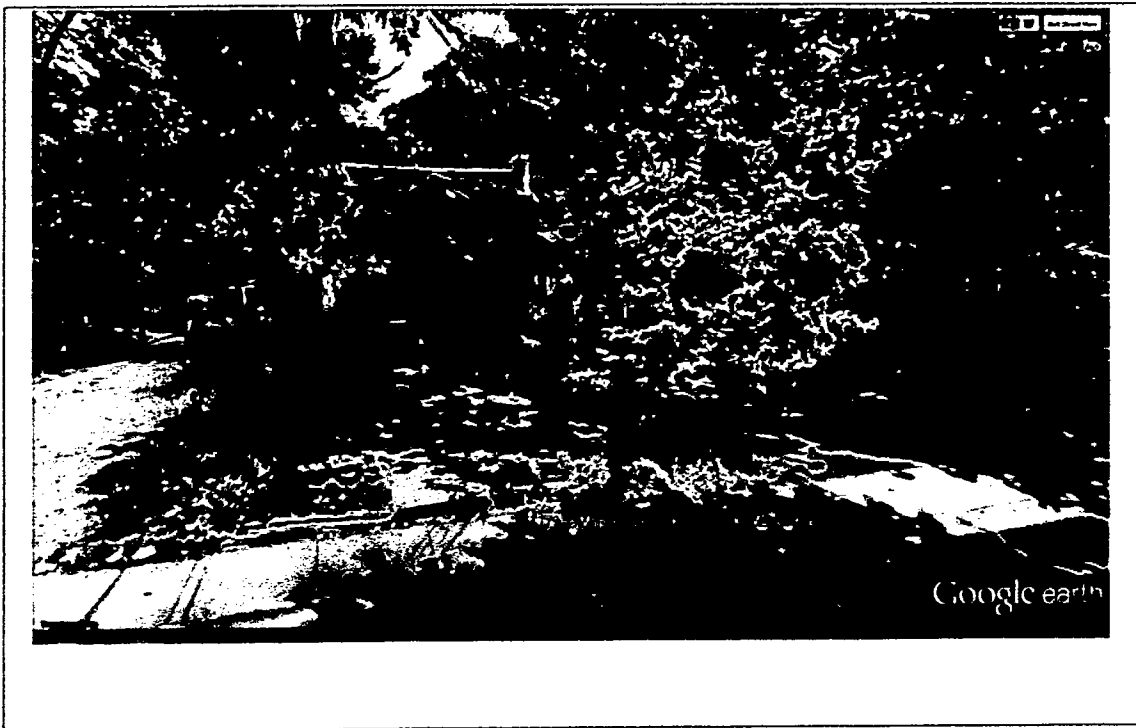
Detail: Existing Garage

Applicant: Joanna Veltri
7118 Maple Avenue
Takoma Park, MD 20912

Existing Property Condition Photographs (duplicate as needed)



Detail: Street View of Subject Property and driveway - Garage in the background



Detail: Street View of Subject Property Front of House

**BOARD OF APPEALS
for
MONTGOMERY COUNTY**

**Stella B. Werner Council Office Building
100 Maryland Avenue
(240) 777-6600
Rockville, Maryland 20850**

<http://www.montgomerycountymd.gov/content/council/boa/board.asp>

Case No. A-6381

PETITION OF JOANNA VELTRI
(Hearing held June 6, 2012)

OPINION OF THE BOARD
(Effective date of Opinion, July 27, 2012)

This proceeding is a petition pursuant to Section 59-A-4.11(b) of the Zoning Ordinance (Chap. 59, Mont. Co. Code 1994, as amended) for variances from Sections 59-C-1.326(3)(B)(5), 59-C-1.326(3)(C)(5), 59-C-1.326(B)(4)(5) and 59-C-1.326(3)(C)(4). The existing accessory structure/detached garage requires a variance of three (3) feet as it is within three (3) feet of the rear lot line and a variance of four (4) feet as it is within three (3) feet of the side lot line. The petitioner proposes the construction of a second-story addition that requires a variance of nine (9) feet as it is within three (3) feet of the rear lot line and a variance of nine (9) feet as it exceeds the maximum fifteen (15) foot height by 3.07 feet.

The required rear lot line setback is six (6) feet and the required side lot setback is seven (7) feet for the existing accessory structure/detached garage. The required rear lot line setback is twelve (12) feet and the required side lot line setback is twelve (12) feet for the second-story addition.

Stephen Strasser, the petitioner's agent, appeared at the public hearing.

The subject property is Part of Lot 30, Block 4, located at 7118 Maple Avenue, Takoma Park, Maryland, 20912, in the R-60 Zone, (Tax Account No. 01062920).

Decision of the Board: Requested variances granted.

EVIDENCE PRESENTED TO THE BOARD

1. The proposed renovation of the existing 23.11% x 26 foot accessory structure/detached garage and the petitioner proposes the construction of a 23.11% x 26 foot second-story addition.
2. Mr. Strasser testified that the subject property is 35 feet in width and that this characteristic of the lot creates an 11-foot wide strip of buildable area. He testified that because of the width of the lot, both the existing house and the detached garage are non-conforming structures. He testified that due to the narrowness and shallowness of the lot, any new construction on the property would require a variance. He testified that the proposed renovation of the existing one-story

detached garage and the construction of a second-story addition would not increase the structure's existing footprint. See Exhibit Nos. 4(a)-(b) [site plans], 7 [zoning vicinity map] and 10 [photos].

3. Mr. Strasser testified that the existing detached garage is currently sited in the required side and rear yard setbacks. The petitioner testified that she believed the house was built in 1922 and that the detached garage was built in the 1940s or 1950s. The petitioner testified that there are lots in her immediate neighborhood that are similar in width, but that those lots have three times the depth of her property.

FINDINGS OF THE BOARD

Based on the petitioner's binding testimony and the evidence of record, the Board finds that the variances can be granted. The requested variances comply with the applicable standards and requirements set forth in Section 59-G-3.1 as follows:

- (a) By reason of exceptional narrowness, shallowness, shape, topographical conditions, or other extraordinary situations or conditions peculiar to a specific parcel of property, the strict application of these regulations would result in peculiar or unusual practical difficulties to, or exceptional or undue hardship upon, the owner of such property.*

The Board finds that the subject property is a narrow and shallow lot that is 35 feet in width. The Board finds that the lot's width results in a buildable strip of area that is 11 feet wide. The Board finds that the subject property is similar in width to other lots in the immediate area, but that the other neighboring lots have at least twice the depth of the subject property. The Board finds that the accessory structure/detached garage has existed for over 50 years and that its proposed renovation and the construction of a second-story addition will not increase the structure's existing footprint. The Board finds that these are exceptional conditions peculiar to the subject property and that the strict application of the zoning regulations will result in practical difficulties to and an undue hardship upon the property owner.

- (b) Such variance is the minimum reasonably necessary to overcome the aforesaid exceptional conditions.*

The Board finds that the requested variances for the renovation of the existing accessory structure/detached garage and the construction of a second-story addition are the minimum reasonably necessary.

(c) *Such variance can be granted without substantial impairment to the intent, purpose and integrity of the general plan or any duly adopted and approved area master plan affecting the subject property.*

The Board finds that the proposed construction will continue the residential use of the property and that the variances will not impair the intent, purpose, or integrity of the general plan or approved area master plan.

(d) *Such variance will not be detrimental to the use and enjoyment of adjoining or neighboring properties.*

The Board finds that the renovation of the existing accessory structure/detached garage and the proposed construction of a second-story addition will not be detrimental to the use and enjoyment of the adjoining and neighboring properties.

Accordingly, the requested variances of three (3) feet from the required six (6) foot rear lot line setback and of four (4) feet from the required seven (7) foot side lot line setback for the renovation of the existing accessory structure/detached garage; and the requested variances of three (3) feet from the required twelve (12) foot rear lot line setback and of nine (9) feet from the required twelve (12) foot side lot line setback for the construction of a second-story addition are granted subject to the following conditions:

1. The petitioner shall be bound by all of her testimony and exhibits of record, and the testimony of her witness, to the extent that such evidence and representations are identified in the Board's Opinion granting the variance.
2. Construction must be completed according to plans entered in the record as Exhibit Nos. 4(a)-(b) and 5(a) through 5(f).

The Board adopted the following Resolution:

BE IT RESOLVED by the Board of Appeals for Montgomery County, Maryland, that the Opinion stated above be adopted as the Resolution required by law as its decision on the above entitled petition.

On a motion by David K. Perdue, seconded by Catherine G. Titus, Chair, with Carolyn J. Shawaker, in agreement, and with Walter S. Booth and Stanley B. Boyd, in opposition, the Board adopted the foregoing Resolution.



Catherine G. Titus
Chair, Montgomery County Board of Appeals

I do hereby certify that the foregoing Opinion was officially entered in the Opinion Book of the County Board of Appeals this 27th day of July, 2012.



Katherine Freeman
Executive Director

NOTE:

See Section 59-A-4.53 of the Zoning Ordinance regarding the twelve (12) month period within which the variance granted by the Board must be exercised.

The Board shall cause a copy of this Opinion to be recorded among the Land Records of Montgomery County.

Any request for rehearing or reconsideration must be filed within fifteen (15) days after the date of the Opinion is mailed and entered in the Opinion Book (see Section 59-A-4.63 of the County Code). Please see the Board's Rules of Procedure for specific instructions for requesting reconsideration.

Any decision by the County Board of Appeals may, within thirty (30) days after the decision is rendered, be appealed by any person aggrieved by the decision of the Board and a party to the proceeding before it, to the Circuit Court for Montgomery County in accordance with the Maryland Rules of Procedure.