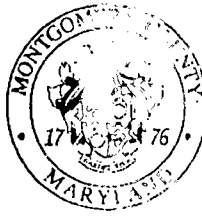


51 Elm Street Takoma Park 37/03-14AA
[Takoma Park H.D.]

2014 HAWP



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

William Kirwan
Chairman

Date: August 14, 2014

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Michael Kyne MK
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #679058: replace rear deck, change orientation of rear deck stairs, construct rear patio, construct rear trellis

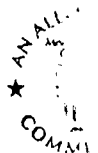
The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the July 23, 2014 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND SHALL REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Aleksandra Johnson
Address: 51 Elm Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. Prior to the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or mkyne@montgomeryplanning.org to schedule a follow-up site visit.



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	51 Elm Ave., Takoma Park	Meeting Date:	7/23/2014
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	7/16/2014
Applicant:	Aleksandra Johnson	Public Notice:	7/9/2014
		Tax Credit:	N/A
Review:	HAWP	Staff:	Michael Kyne
Case Number:	37/03-14AA		
PROPOSAL:	Replace rear deck, change orientation of rear deck stairs, construct rear patio, construct rear trellis		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with one condition** the HAWP application.

1. Baluster details for the proposed replacement deck must be submitted to staff. The HPC will delegate final review and approval of the proposed balusters to staff.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Bungalow
DATE: 1916

PROPOSAL

The applicant is proposing to remove the existing wooden deck and stairs at the rear elevation of the subject property and to build a new wooden framed deck in its place. The proposed replacement deck will have cedar or synthetic (Azek or equivalent free foam cellular PVC clad wooden) posts, railings and balusters and composite (Trex Transcend) decking and treads. The proposed new stairs will be reoriented perpendicular to the rear plane of the house. The applicant also proposes to construct a patio at the rear elevation using random rectangular flagstones set in stone dust. A stone seat wall, piers and steps are also proposed at the rear edge of the proposed patio. A trellis is proposed to be constructed on the patio adjacent to the rear plane of the house. The proposed trellis will be constructed from pressure treated pine with painted cedar or synthetic (Azek or equivalent free foam cellular PVC) cladding.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of structures in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these structures may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. However, they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Minor alterations to areas that do not directly front on a public right-of-way - such as vents, metal stovepipes, air conditioners, fences, skylights, etc. - should be allowed as a matter of course; alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Based on a review of the *Criteria for Approval, Standards and Guidelines*, and the information included in the applicant's submission, staff makes the following findings of fact:

- The subject property is a Contributing Resource.
- The *Guidelines* state that Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.
- All of the proposed work is confined to the rear elevation.
- The rear elevation of the subject property is partially visible from Westmoreland Avenue.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the Secretary of the Interior's Standards for Rehabilitation #2, 9 & 10, and Takoma Park Guidelines outlined above.

- Staff finds that the proposed deck replacement will have a negligible impact upon the structure and surrounding historic district.
- Staff finds that the proposed new trellis will be mostly obscured from the public right-of-way (from Westmoreland Avenue) by an existing fence, intervening structures and changing grade.
- Staff finds that the proposed new patio will be mostly obscured from the public right-of-way (from Westmoreland Avenue) by an existing fence, intervening structures and changing grade.
- Staff finds the proposed new deck, trellis and patio as being consistent with the *Guidelines*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with the condition specified on Circle 1** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the Takoma Park Historic District Guidelines identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: johnson.sasha@gmail.com Contact Person: Aleksandra Johnson
 Tax Account No.: 13-01065045 Daytime Phone No.: 202 285 3380
 Name of Property Owner: Aleksandra Johnson Daytime Phone No.: 202 285 3380
 Address: 51 Elm Ave Takoma Park, MD 20912
Street Number City Street Zip Code
 Contractor: _____ Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

PART TWO: LOCATION OF BUILDING OR PREMISES

House Number: 51 Street: Elm Avenue
 Town/City: Takoma Park Nearest Cross Street: Westmoreland
 Lot: 23 Block: 18 Subdivision: Pine Crest
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Reze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimator: \$ 70,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Aleksandra Johnson
 Signature of owner or authorized agent

6/25/2014
 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 679058 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is a small, covered deck with a one step staircase to the backyard. No historical significance or features can be discerned. The environmental setting is the existing backyard.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project will change the orientation of the stairs - still within the profile of the house - and rebuild the deck. We will add a patio which will complement the environment in the backyard.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

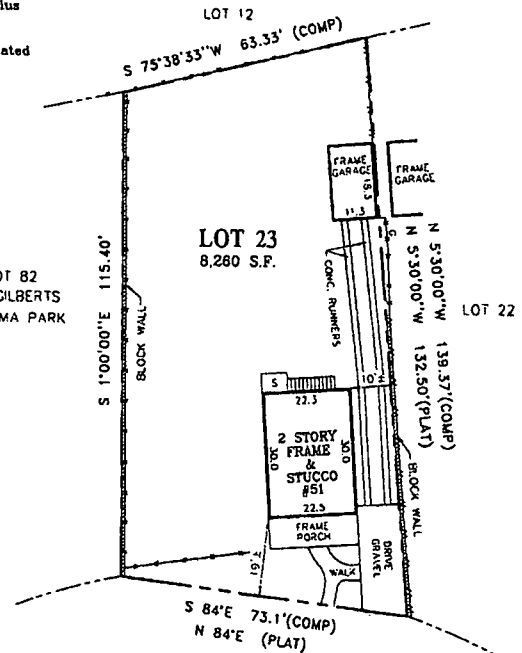
6

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

Notes:

1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 feet.
2. Fences, if shown, have been located by approximate methods.
3. No property corners confirmed.



LOCATION DRAWING
LOT 23, BLOCK 18
PINECREST
MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE		REFERENCES			SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100, Fax 301/948-1288	
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.		PLAT BK.	2			
 MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587 Expires: 04-02-2013		PLAT NO.	145			
LIBER		DATE OF LOCATIONS		SCALE: 1" = 30'		
FOLIO		WALL CHECK:		DRAWN BY: D.M.L.		
		HSE. LOC.: 08-29-11		JOB NO.: 11-03287		

1 PLAT
Scale: 1" = 30 ft

EDWARD COLAHAN
LANDSCAPE DESIGN

EDWARD COLAHAN
LANDSCAPE DESIGN, LLC
3276 VALLEY DR.
ALEXANDRIA, VA 22302

202.255.2585
ed@edwardcolahan.com

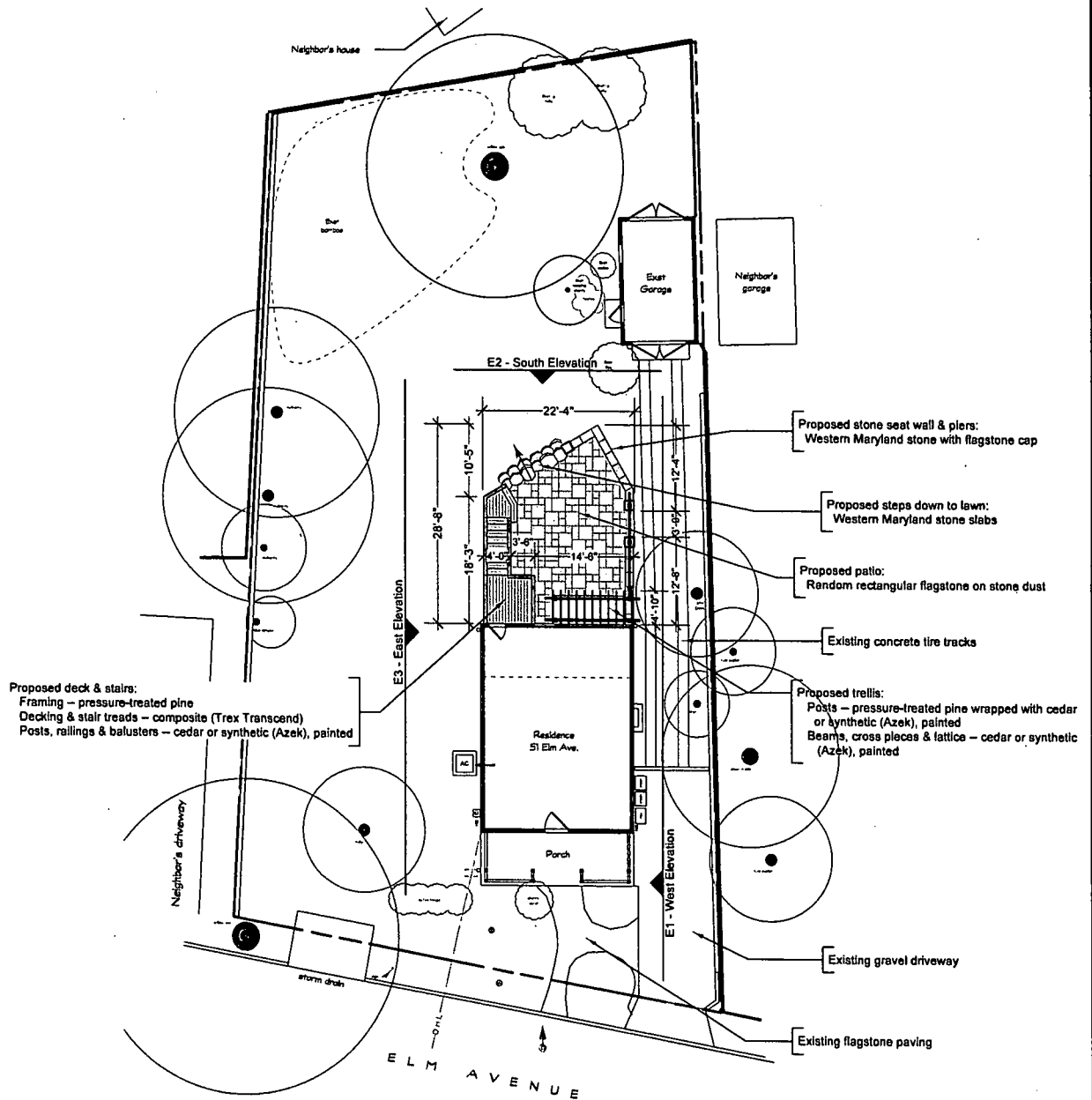
JOHNSON-MURRAY RESIDENCE
51 Elm Avenue
Takoma Park, MD 20912

PLAT

7

Scale: As noted
Date: June 23, 2014

P1



1 SITE PLAN WITH PROPOSED ELEMENTS
 Scale: 1/16" = 1'-0"

E
 EDWARD COLAHAN
 LANDSCAPE DESIGN

EDWARD COLAHAN
 LANDSCAPE DESIGN, LLC
 3276 VALLEY DR.
 ALEXANDRIA, VA 22302

202.255.2585
 ed@edwardcolahan.com

JOHNSON-MURRAY RESIDENCE
51 Elm Avenue
Takoma Park, MD 20912

SITE PLAN

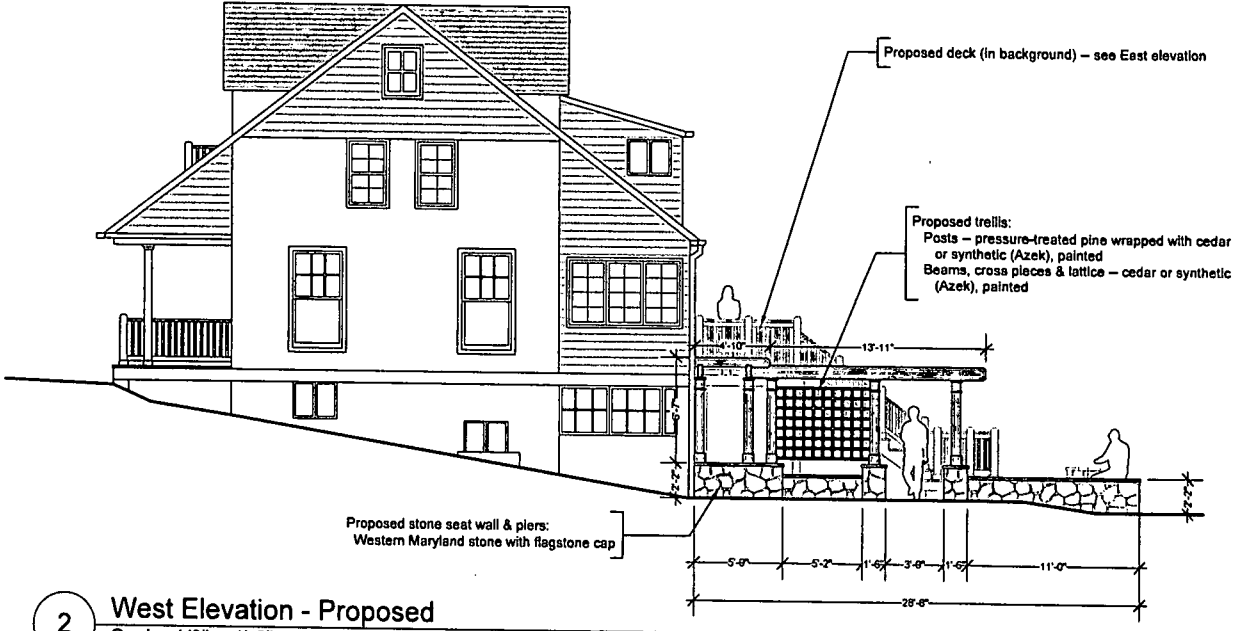
8

Scale: As noted
 Date: June 23, 2014

P2



1 West Elevation - Existing
Scale: 1/8" = 1'-0"



2 West Elevation - Proposed
Scale: 1/8" = 1'-0"

E
EDWARD COLAHAN
LANDSCAPE DESIGN

EDWARD COLAHAN
LANDSCAPE DESIGN, LLC
3276 VALLEY DR.
ALEXANDRIA, VA 22302

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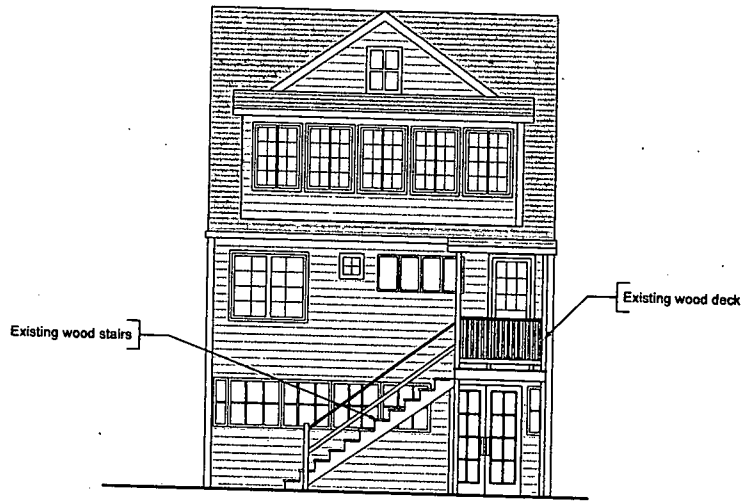
JOHNSON-MURRAY RESIDENCE
51 Elm Avenue
Takoma Park, MD 20912

West Elevations

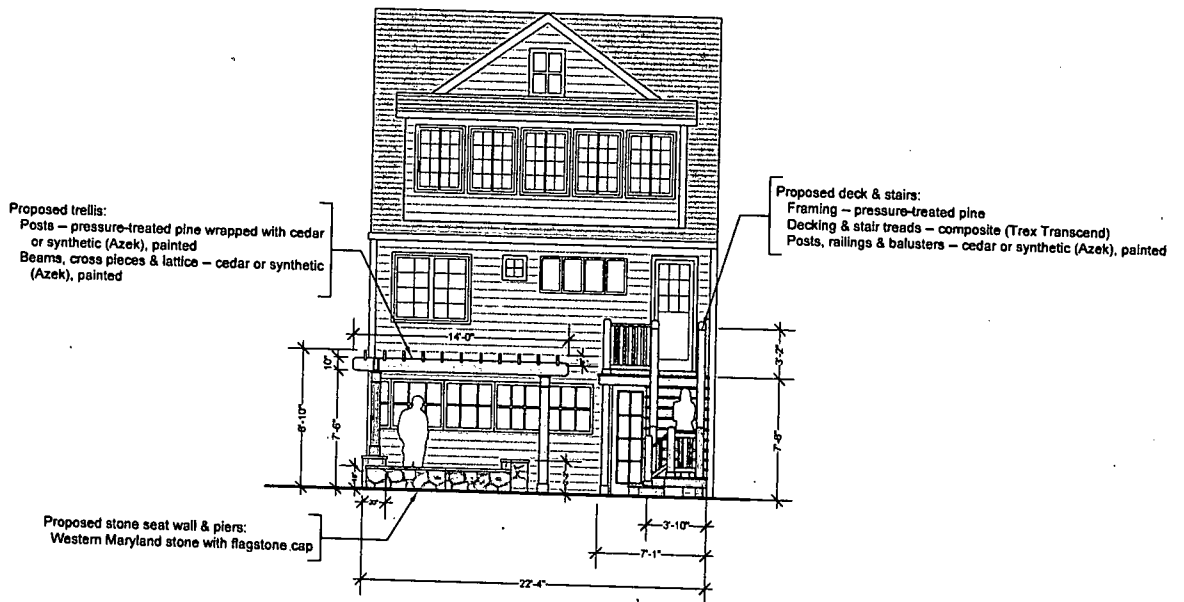
E1

9

Scale: As noted
Date: June 23, 2014



1 South Elevation - Existing
Scale: 1/8" = 1'-0"



2 South Elevation - Proposed
Scale: 1/8" = 1'-0"



DWARD COLAHAN
ANDSCAPE DESIGN, LLC
1276 VALLEY DR.
ALEXANDRIA, VA 22302

02.255.2585
d@edwardcolahan.com

JOHNSON-MURRAY RESIDENCE
51 Elm Avenue
Takoma Park, MD 20912

South Elevations

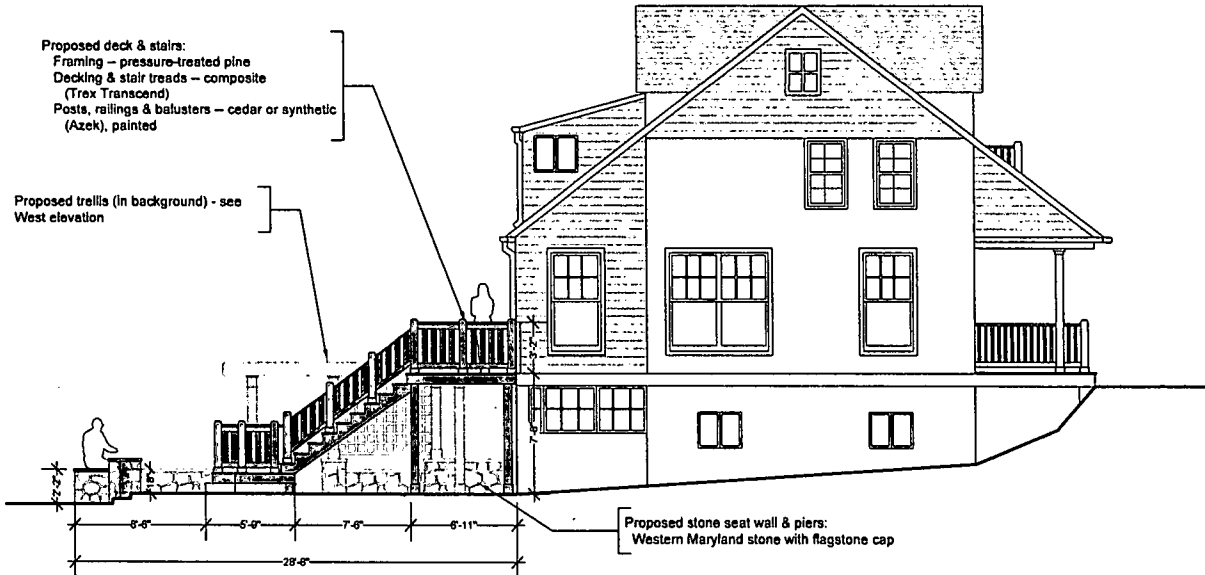
E2

10

Scale: As noted
Date: June 23, 2014



1 East Elevation - Existing
Scale: 1/8" = 1'-0"



2 East Elevation - Proposed
Scale: 1/8" = 1'-0"



EDWARD COLAHAN
LANDSCAPE DESIGN, LLC
3276 VALLEY DR.
ALEXANDRIA, VA 22302
202.255.2585
ed@edwardcolahan.com

JOHNSON-MURRAY RESIDENCE
51 Elm Avenue
Takoma Park, MD 20912

East Elevations

E3



Scale: As noted
Date: June 23, 2014

Existing Property Condition Photographs (duplicate as needed)



Detail: Front of 51 Elm Ave - No changes

Applicant: Alexandra Johnson

Page: 1



Back of house - deck taken from western angle - direction of Westmoreland Ave.



Detail: Back of house, back yard, deck and stairs to be taken down / replaced

Applicant: Alexandra Johnson

Page: 2

(13)



Detail: Side view of deck from the EAST



Side view of stairs looking up taken from with side

Applicant: Alexandra Johns

Page: 3

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Aleksandra Johnson 51 Elm Avenue Takoma Park, MD 20912	
Adjacent and confronting Property Owners mailing addresses	
John / Susan Lipschutz 55 Elm Avenue Takoma Park, MD 20912	Eric / Kate Bauer 49 Elm Avenue Takoma Park, MD 20912
Kristen Stobenau 65 Walnut Ave Takoma Park, MD 20912	Eric Henry Sacks / Jessica Steinberg 6810 Westmoreland Ave Takoma Park, MD 20912
Eric Peter Giampaoli 6811 Westmoreland Ave Takoma Park, MD 20912	Jamie Williams / Kerri Carlin 6812 Westmoreland Ave Takoma Park, MD 20912



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: johnson.sasha@gmail.com Contact Person: Alexandra Johnson
 Tax Account No.: 13-01065045 Daytime Phone No.: 202 285 3380
 Name of Property Owner: Alexandra Johnson Daytime Phone No.: 202 285 3380
 Address: 51 Elm Ave Takoma Park, MD 20912
Street Number City State Zip Code
 Contractor: _____ Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 51 Street: Elm Avenue
 Town/City: Takoma Park Nearest Cross Street: Westmoreland
 Lot: 23 Block: 18 Subdivision: Pine Crest
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 70,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/ easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alexandra Johnson Signature of owner or authorized agent 6/25/2014 Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: 679058 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is a small, covered deck with a one story staircase to the back yard. No historical significance or features can be discerned. The environmental setting is the existing backyard.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project will change the orientation of the stairs - still within the profile of the house - and rebuild the deck. We will add a patio which will complement the environment in the backyard.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

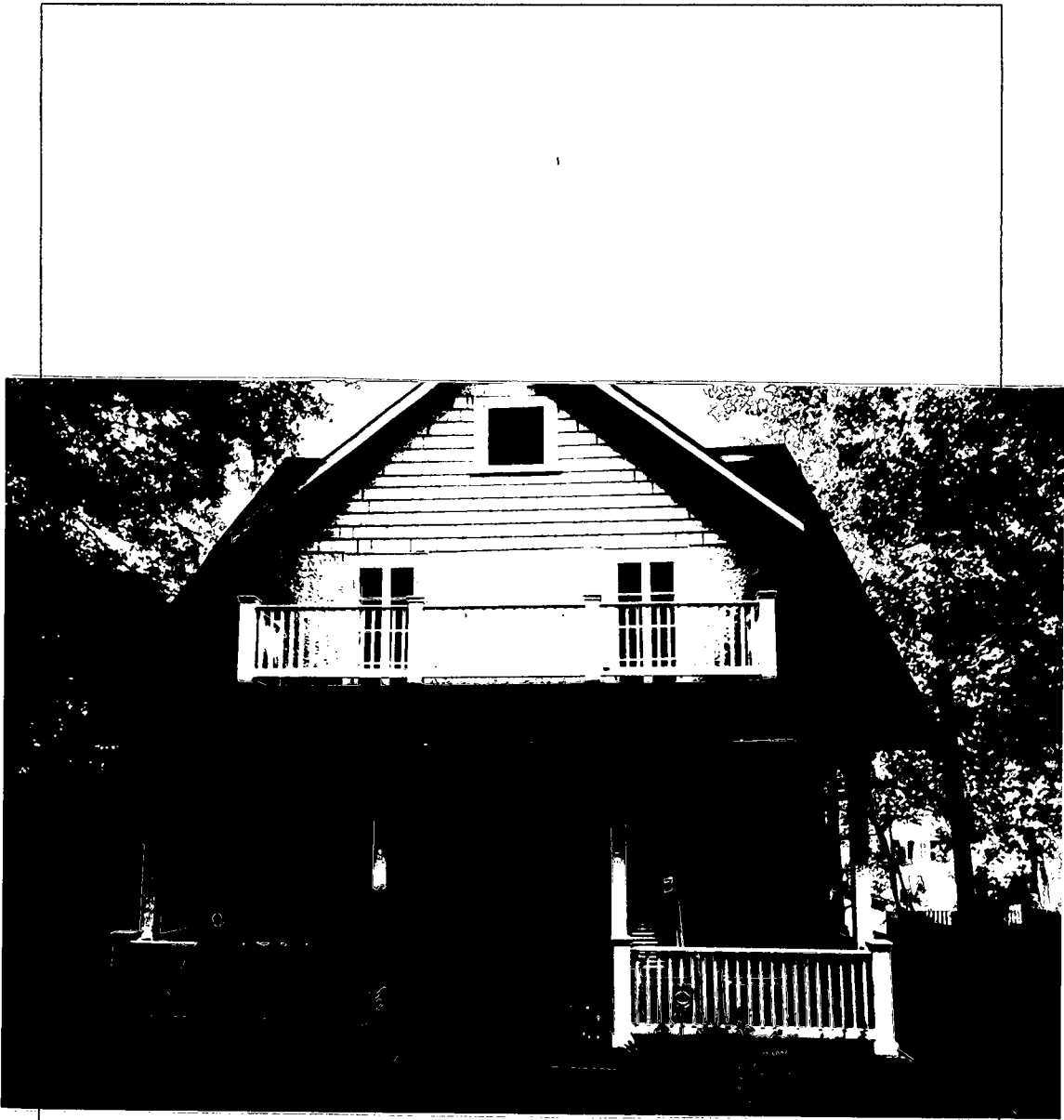
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address Aleksandra Johnson 51 Elm Avenue Takoma Park, MD 20912</p>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>John / Susan Lipschutz 55 Elm Avenue Takoma Park, MD 20912</p>	<p>Eric / Kate Bauer 49 Elm Avenue Takoma Park, MD 20912</p>
<p>Kristen Stobenau 65 Walnut Ave Takoma Park, MD 20912</p>	<p>6016 Henry Sacks / Jessica Steinberg 6810 Westmoreland Ave Takoma Park, MD 20912</p>
<p>6011 Peter Giampaoli 6011 Westmoreland Ave Takoma Park, MD 20912</p>	<p>Jamie Williams / Kerri Carlin 6812 Westmoreland Ave Takoma Park, MD 20912</p>

Existing Property Condition Photographs (duplicate as needed)



Detail: Front of 51 Elm Ave - No changes

Applicant: Alexandra Johnson

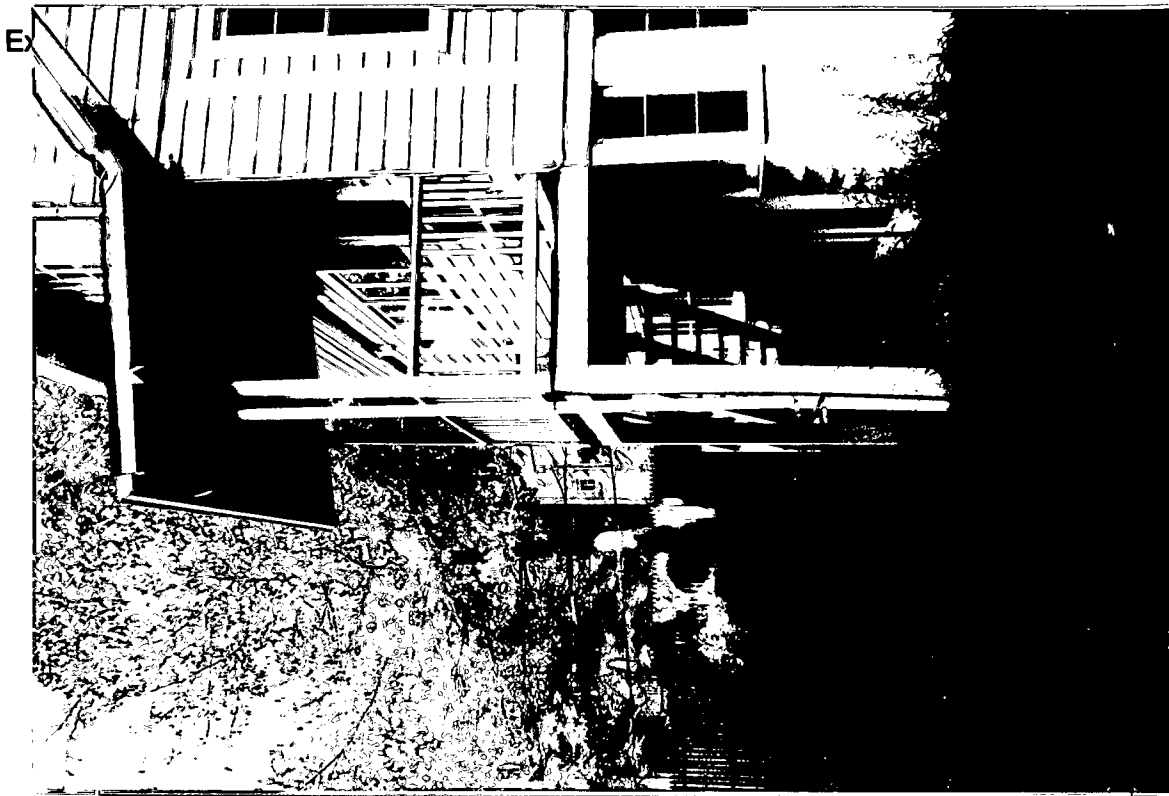


Back of house - deck taken from western angle - direction of Westmoreland Ave.



Detail: BACK of house, back yard, deck and stairs to be taken down / Replaced

Applicant: Alexsandra Johnson



Detail: Side view of deck from the EAST



Side view of stairs looking up taken from ^{with} side

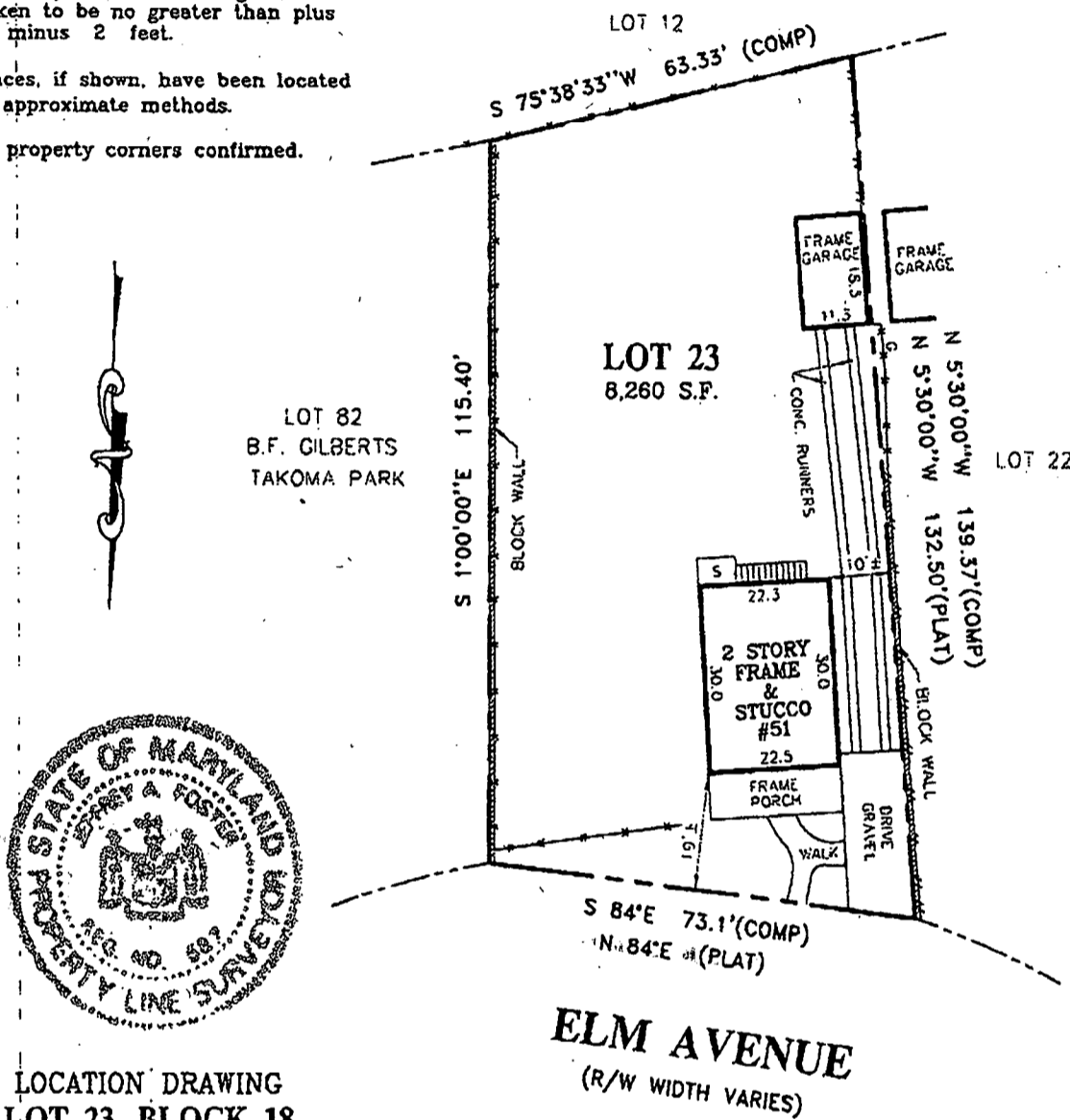
Applicant: Aleksandra Johns

CONSUMER INFORMATION NOTES:


1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
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4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

Notes:

1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 feet.
2. Fences, if shown, have been located by approximate methods.
3. No property corners confirmed.



LOCATION DRAWING
 LOT 23, BLOCK 18
 PINECREST
 MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE		REFERENCES	 SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100, Fax 301/948-1286
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION. <i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587 Expires: 04-02-2013		PLAT BK. 2 PLAT NO. 145	
LIBER	DATE OF LOCATIONS	SCALE: 1" = 30'	DRAWN BY: D.M.L. JOB NO.: 11-03267
FOLIO	WALL CHECK:		
	HSE. LOC.: 08-29-11		

1 PLAT
 Scale: 1" = 30 ft

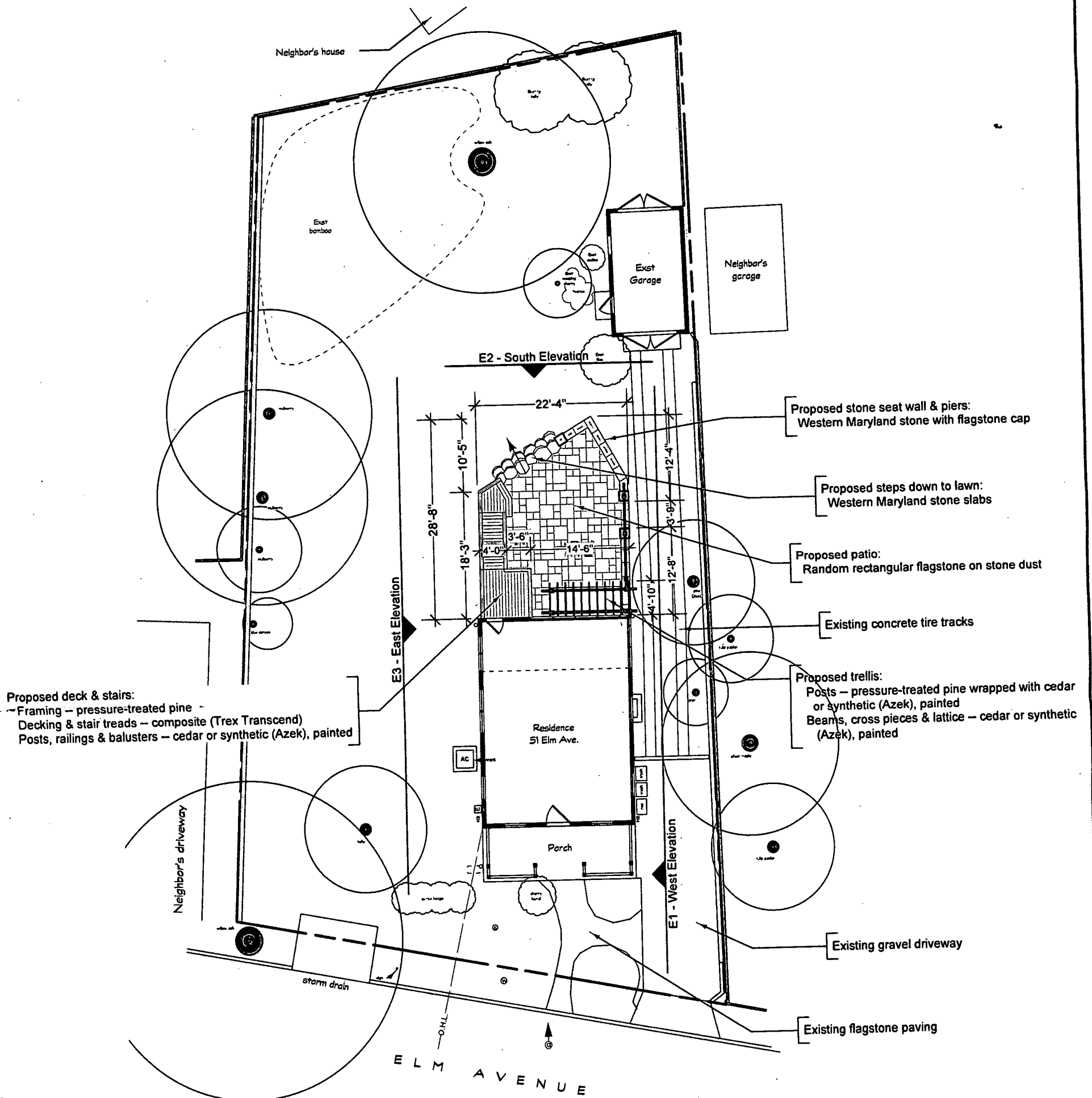
E
 EDWARD COLAHAN
 LANDSCAPE DESIGN
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 LANDSCAPE DESIGN, LLC
 3276 VALLEY DR.
 ALEXANDRIA, VA 22302
 202.255.2585
 ed@edwardcolahan.com

JOHNSON-MURRAY RESIDENCE
 51 Elm Avenue
 Takoma Park, MD 20912

PLAT

Scale: As noted
 Date: June 23, 2014

P1



1 SITE PLAN WITH PROPOSED ELEMENTS
Scale: 1/16" = 1'-0"



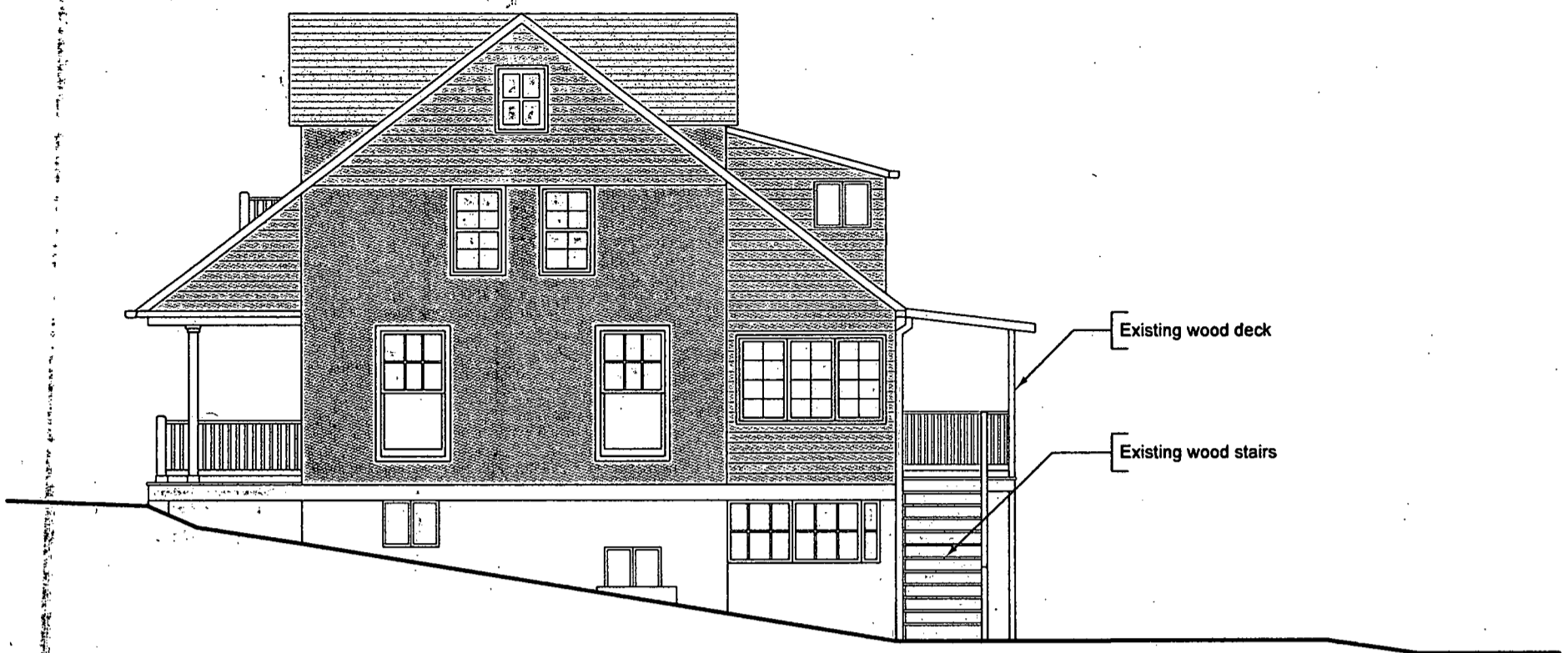
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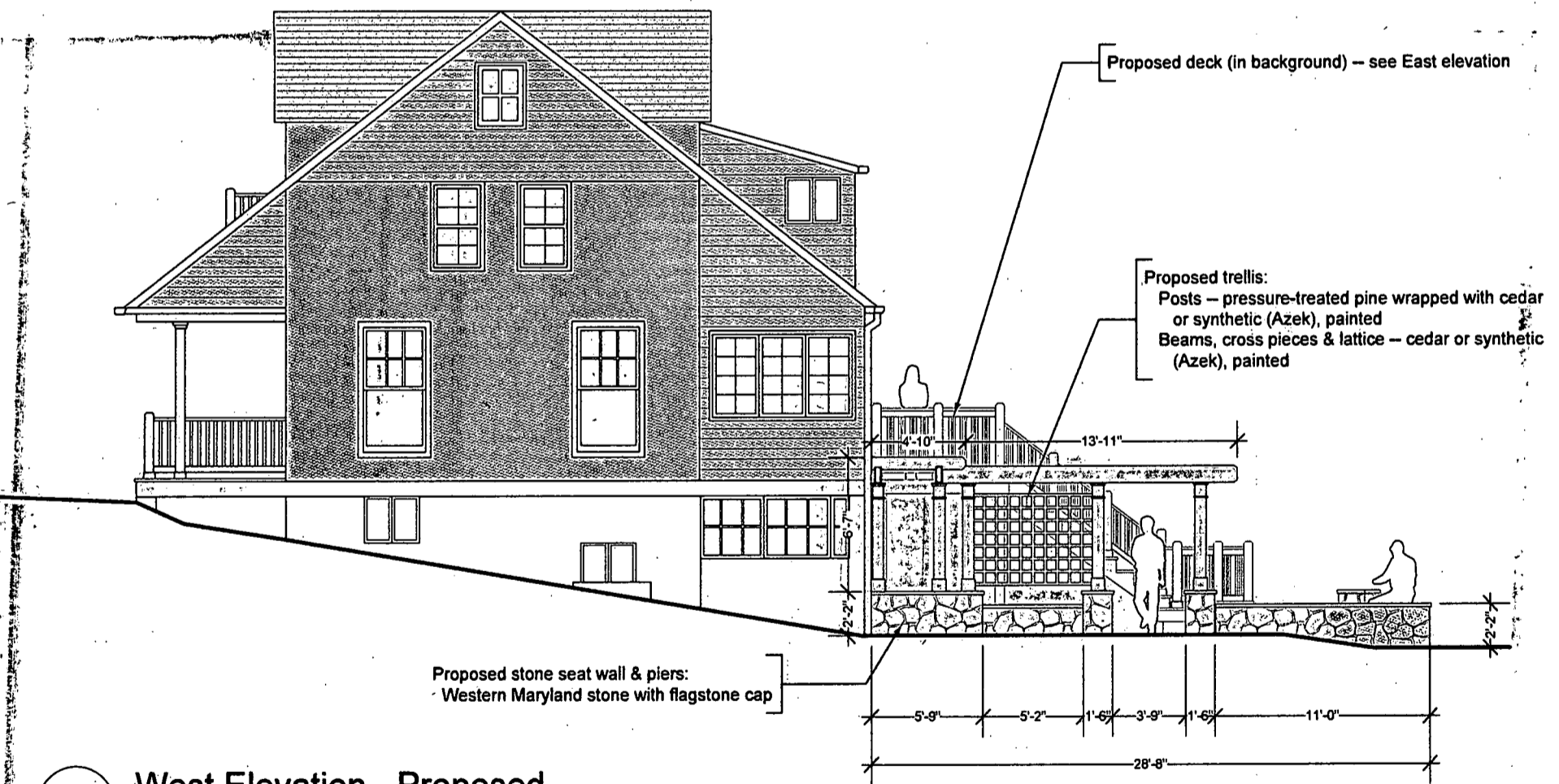
SITE PLAN

P2

Scale: As noted
Date: June 23, 2014



1 West Elevation - Existing
Scale: 1/8" = 1'-0"



2 West Elevation - Proposed
Scale: 1/8" = 1'-0"

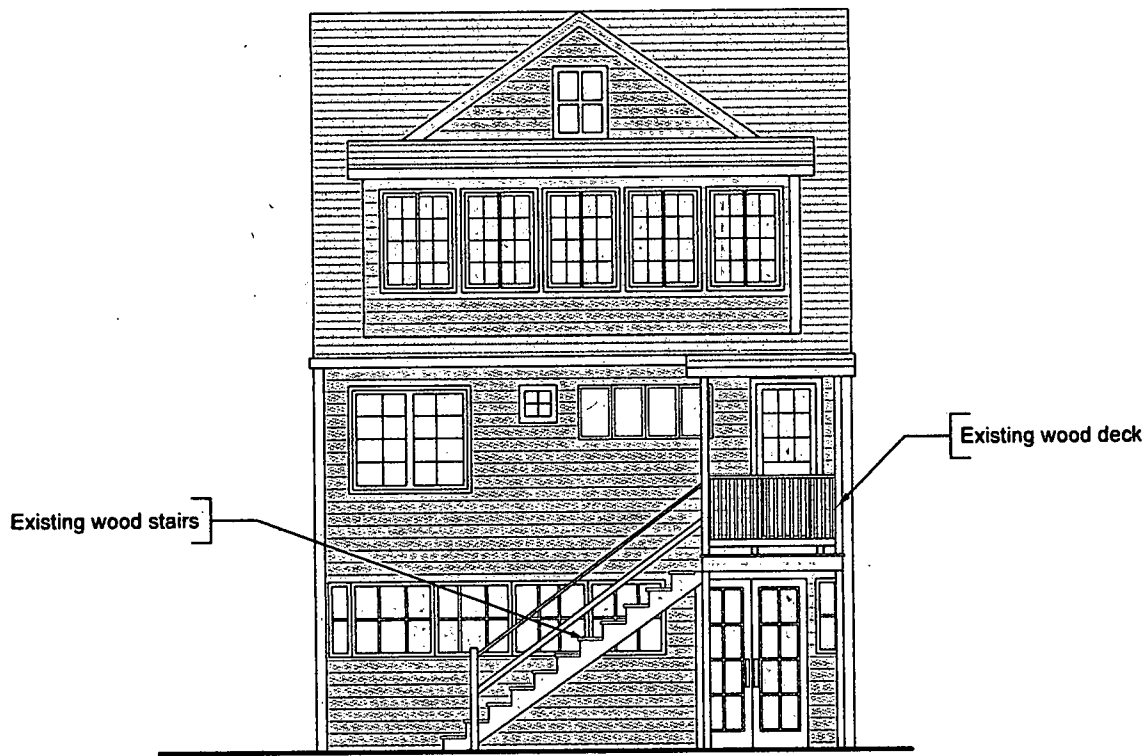
JOHNSON-MURRAY RESIDENCE
51 Elm Avenue
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E1

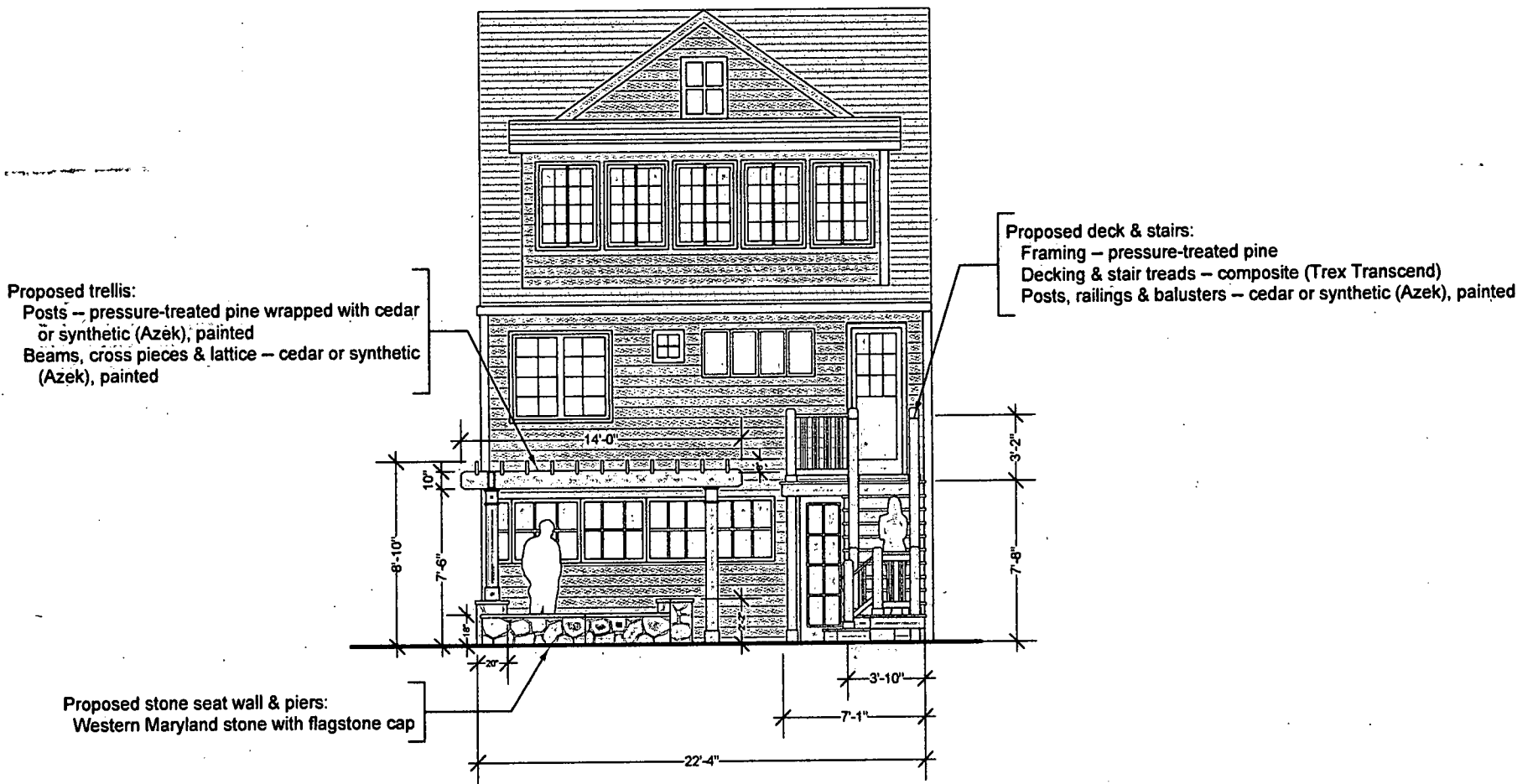
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West Elevations

Scale: As noted
Date: June 23, 2014



1 South Elevation - Existing
Scale: 1/8" = 1'-0"



2 South Elevation - Proposed
Scale: 1/8" = 1'-0"



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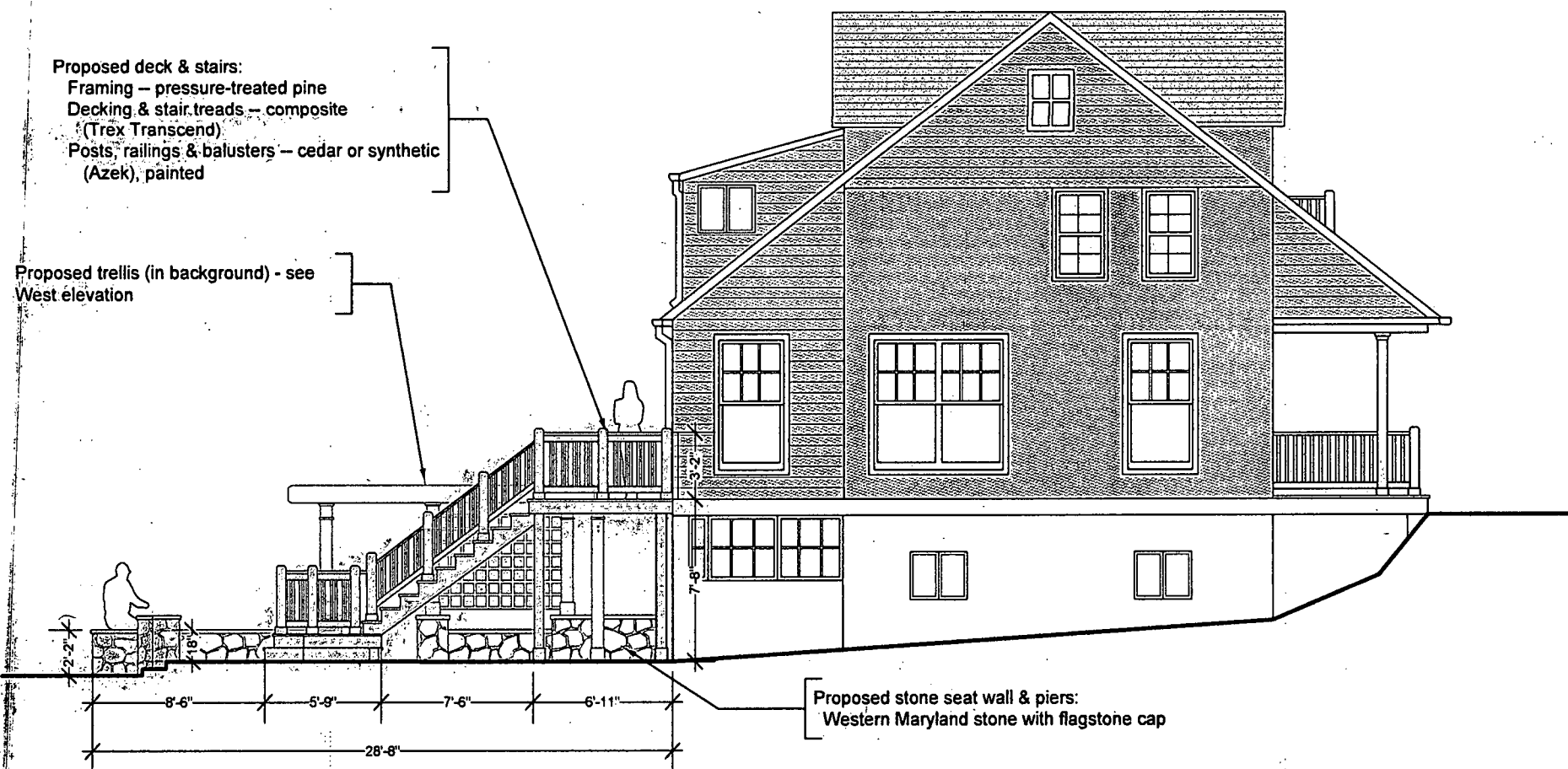
E2

South Elevations

Scale: As noted
Date: June 23, 2014



1 East Elevation - Existing
Scale: 1/8" = 1'-0"



2 East Elevation - Proposed
Scale: 1/8" = 1'-0"

JOHNSON-MURRAY RESIDENCE
51 Elm Avenue
Takoma Park, MD 20912

E3

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East Elevations

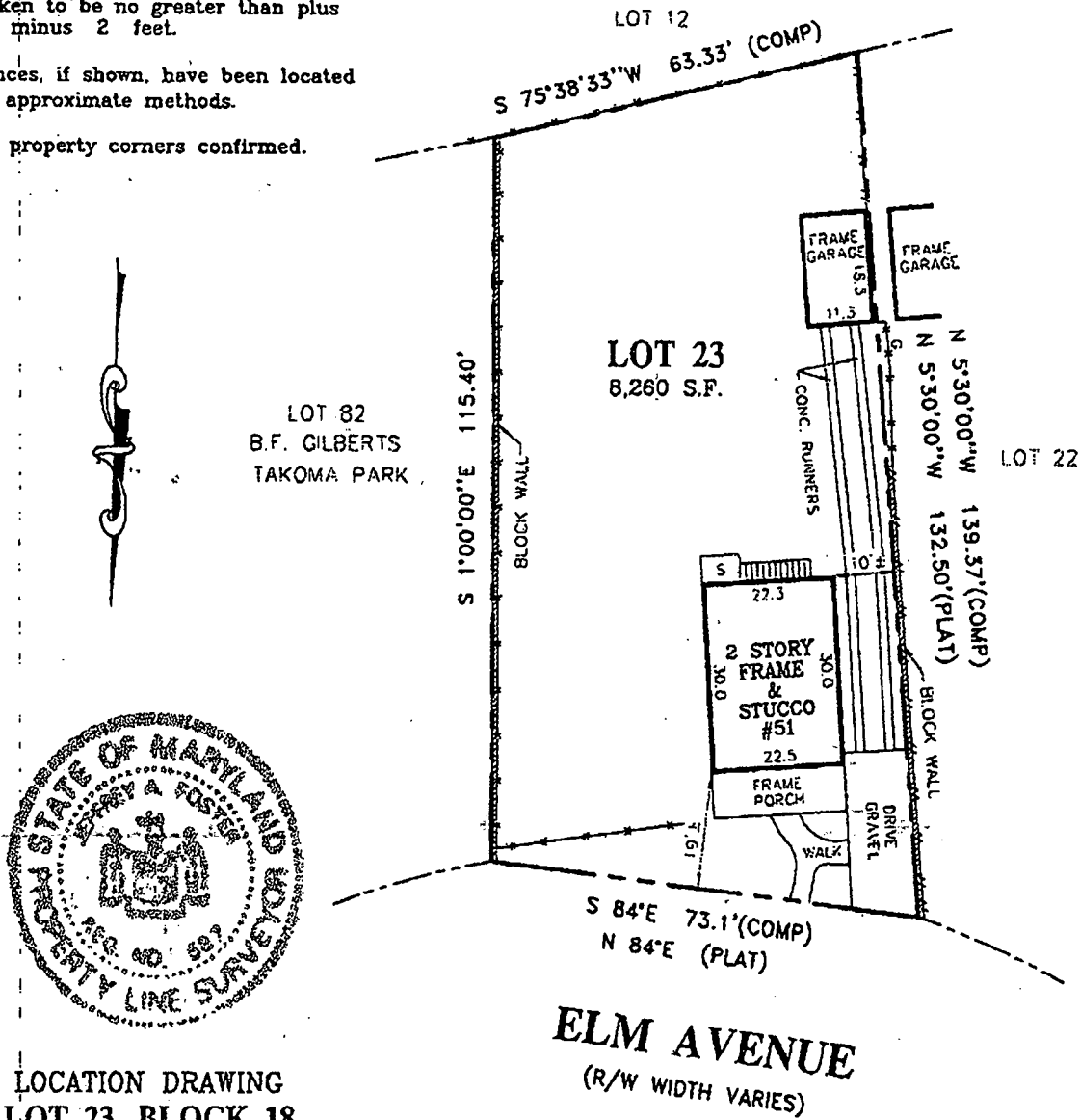
Scale: As noted
Date: June 23, 2014

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1 PLAT
 Scale: 1" = 30 ft



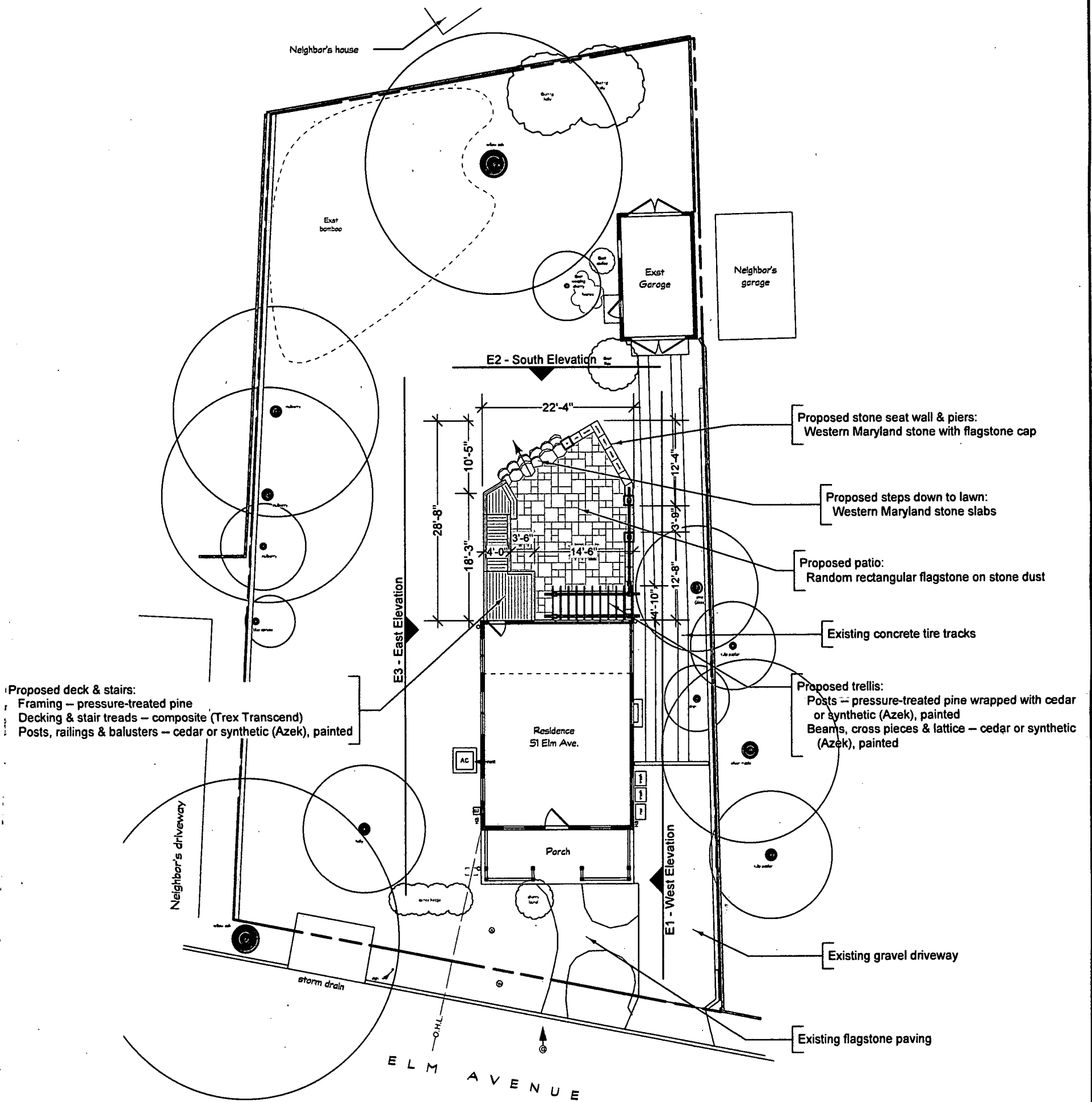
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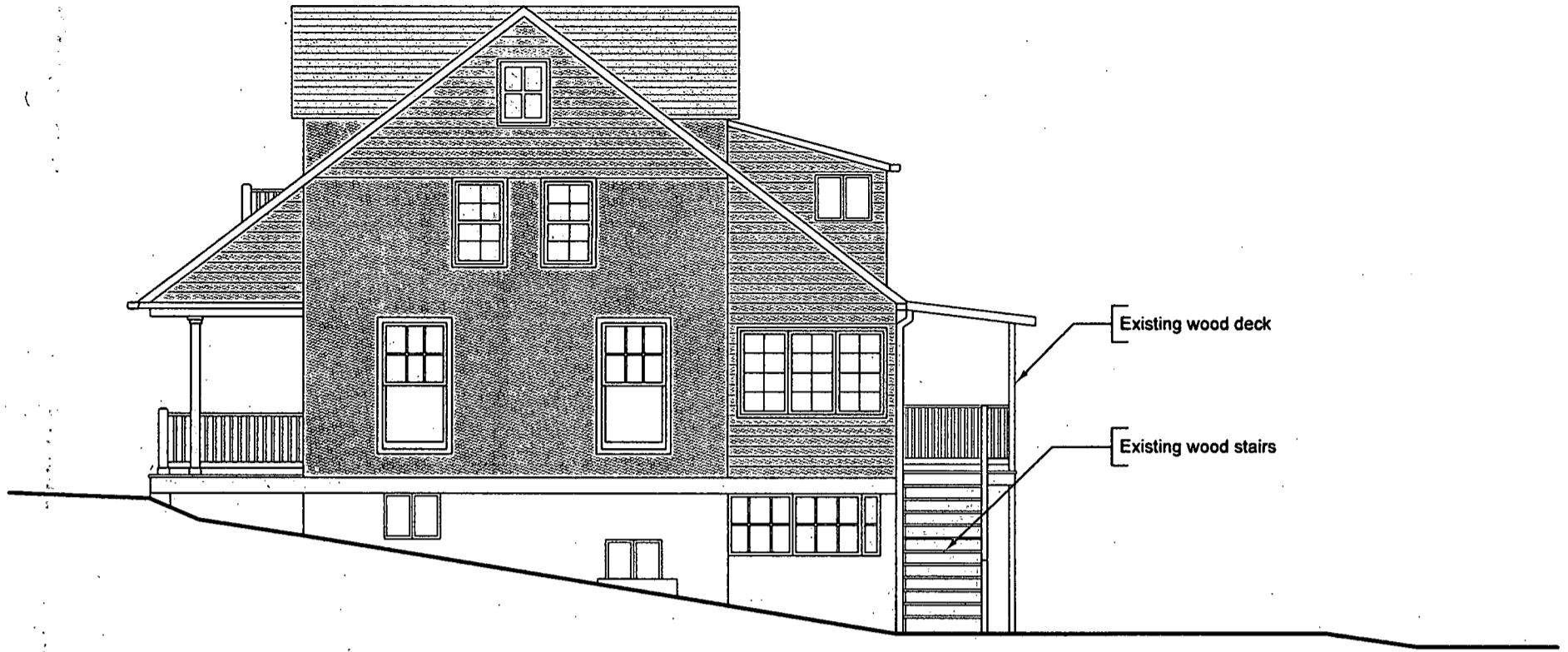
PLAT

Scale: As noted
 Date: June 23, 2014

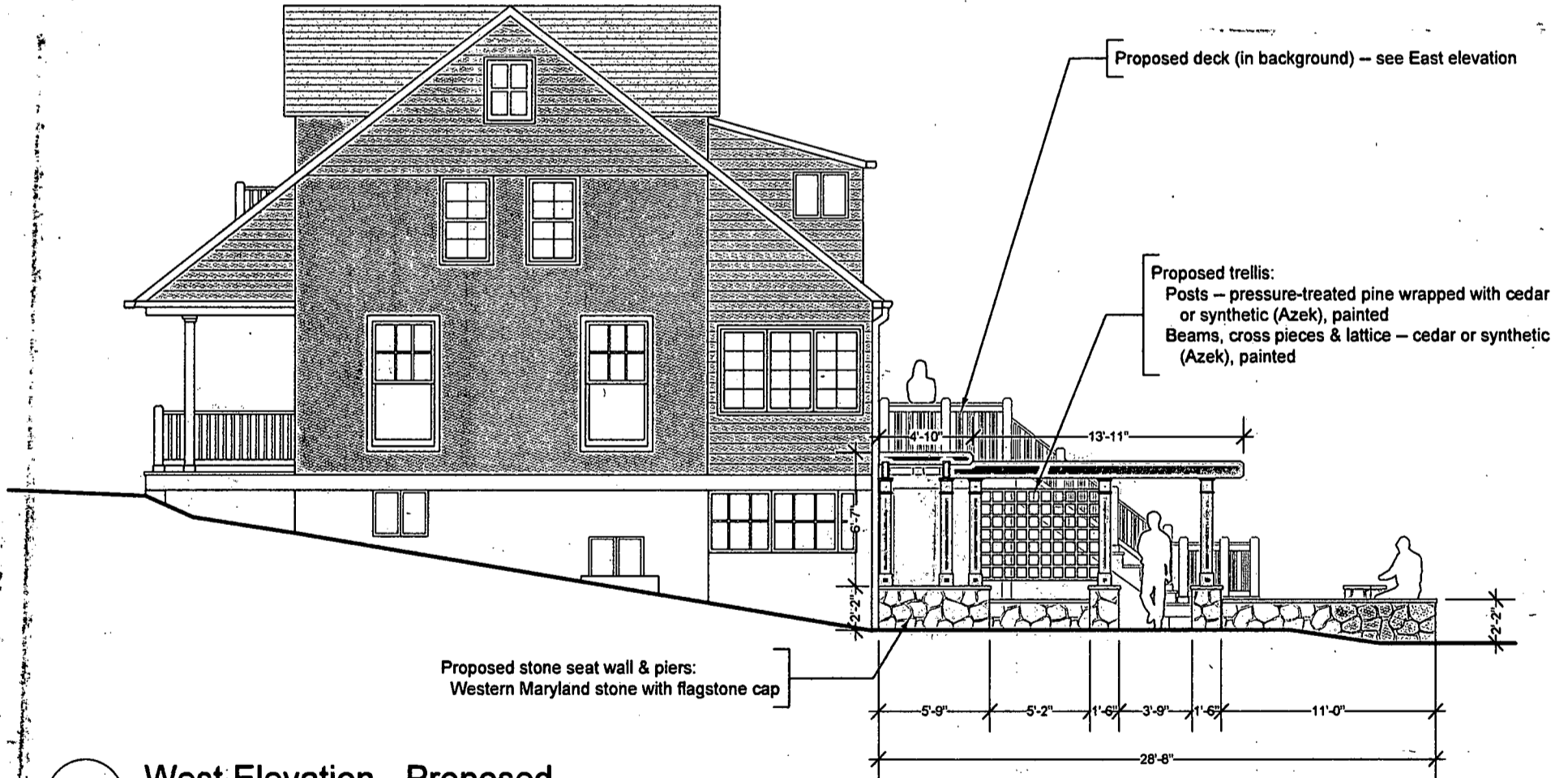
P1



1 SITE PLAN WITH PROPOSED ELEMENTS
Scale: 1/16" = 1'-0"



1 West Elevation - Existing
Scale: 1/8" = 1'-0"



2 West Elevation - Proposed
Scale: 1/8" = 1'-0"



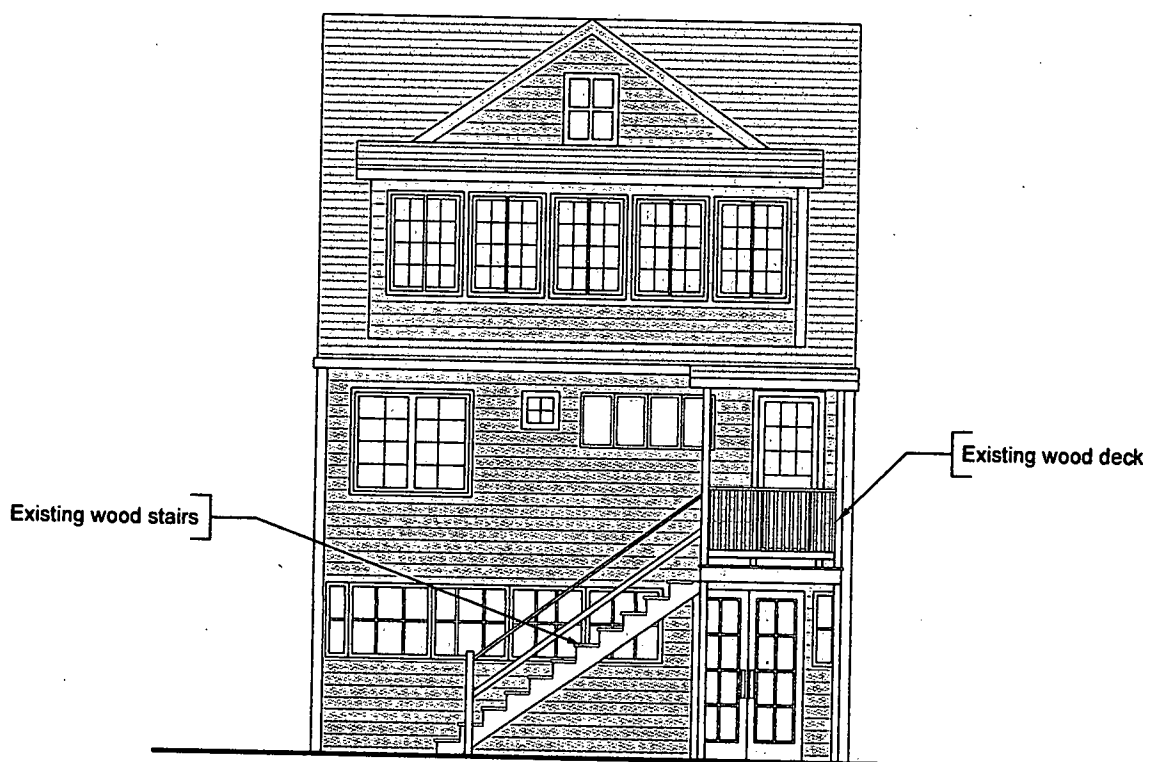
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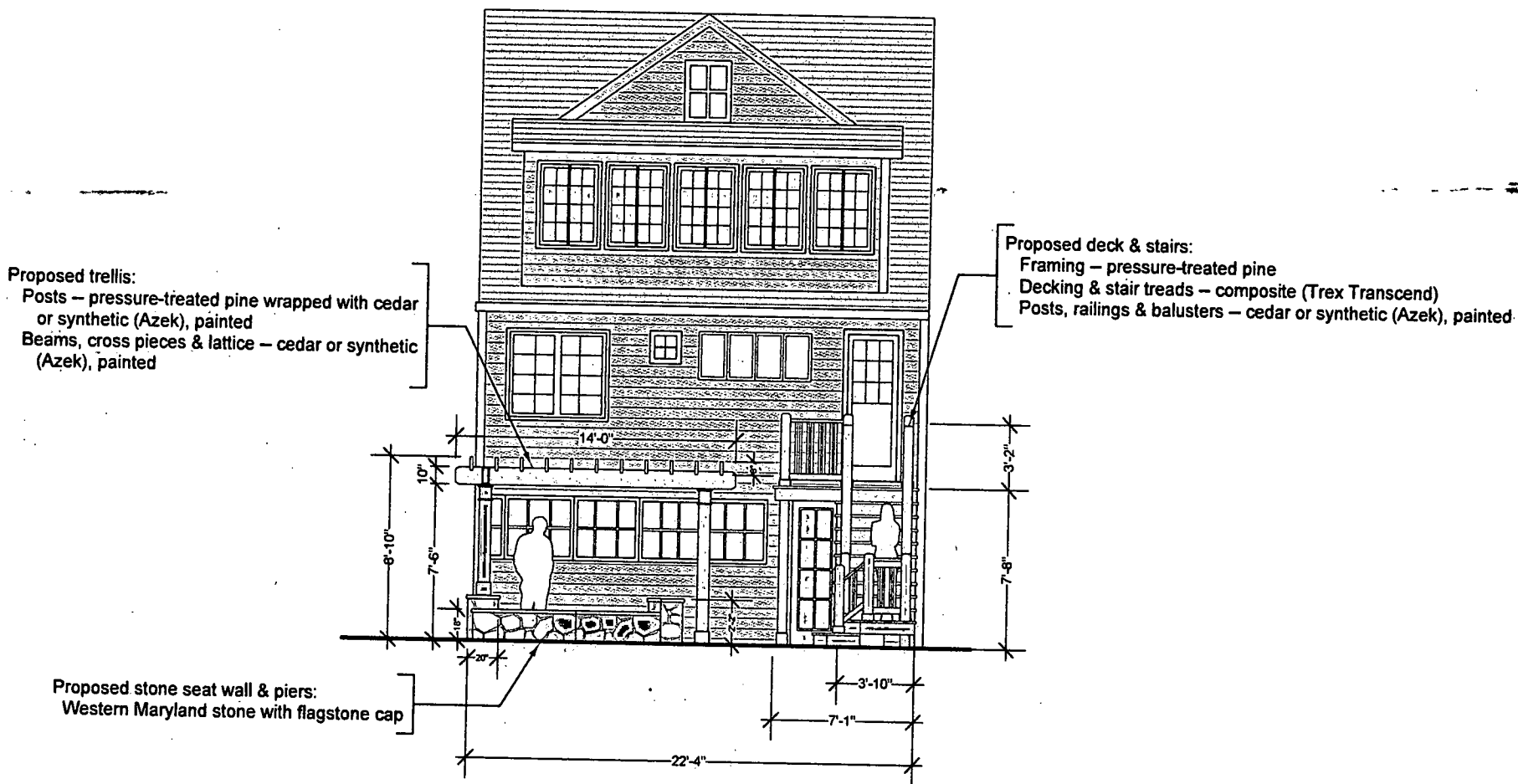
West Elevations

E1

Scale: As noted
Date: June 23, 2014



1 South Elevation - Existing
Scale: 1/8" = 1'-0"



2 South Elevation - Proposed
Scale: 1/8" = 1'-0"

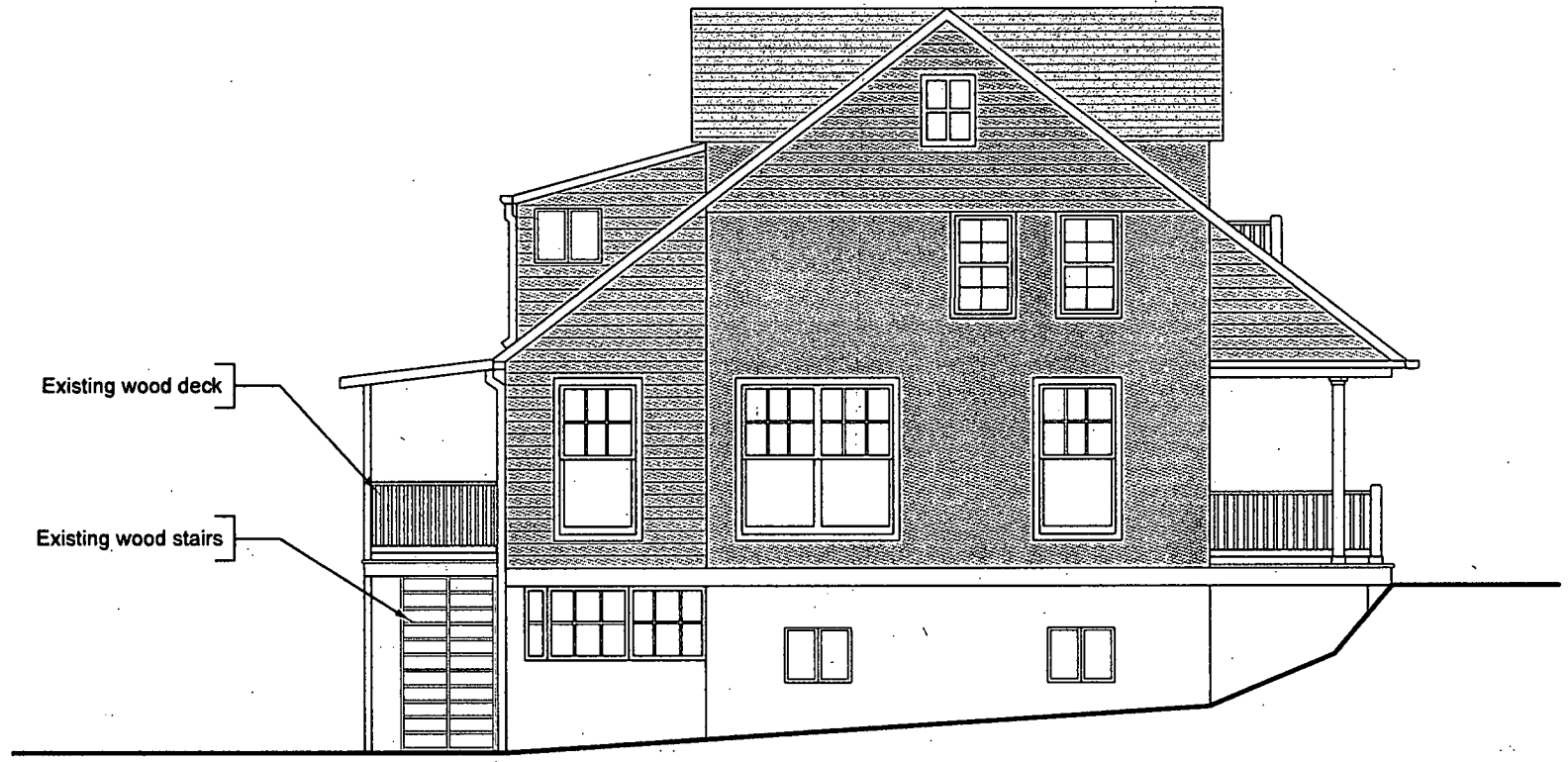
JOHNSON-MURRAY RESIDENCE
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E2

South Elevations

Scale: As noted
Date: June 23, 2014

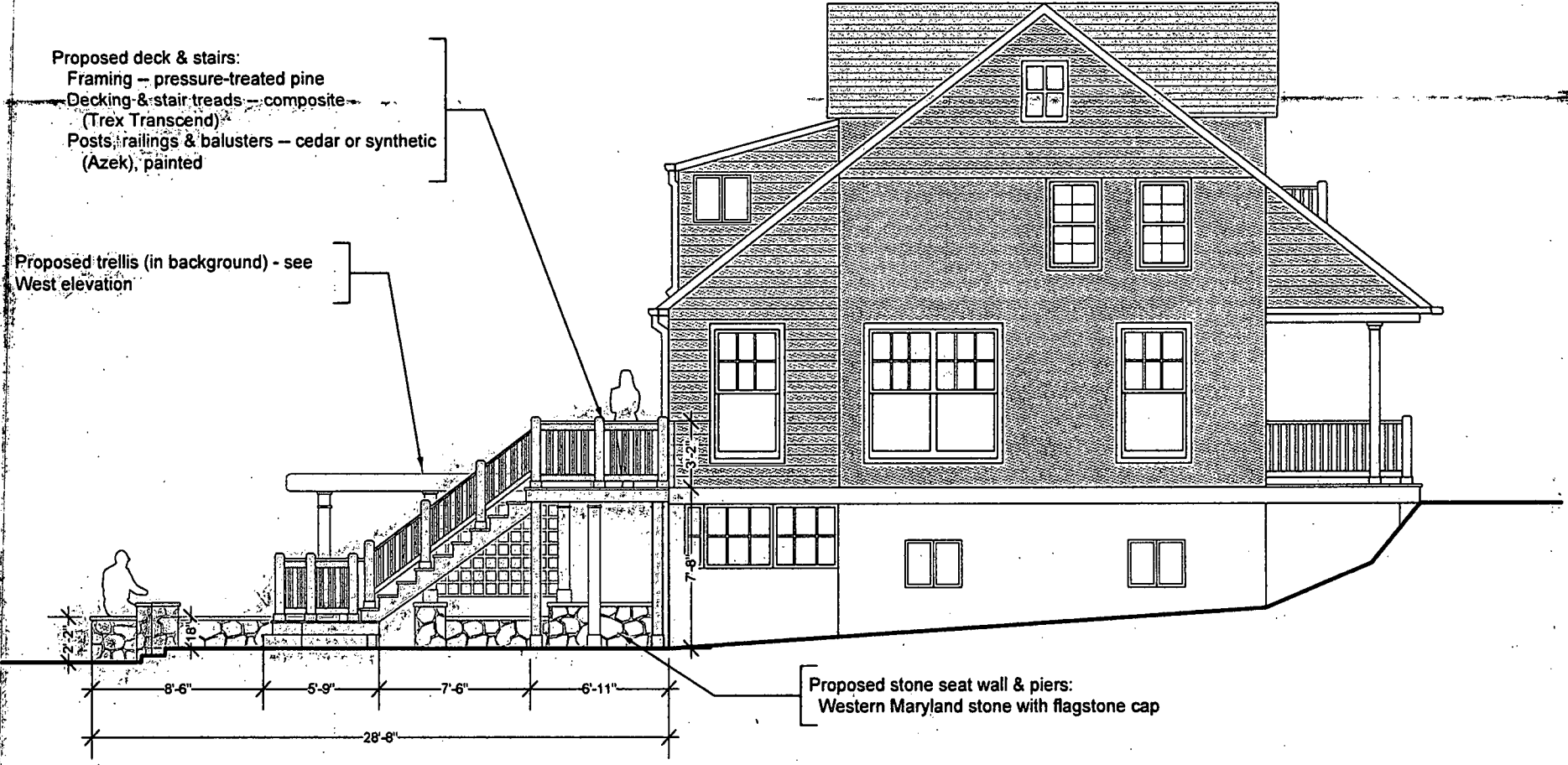
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1

East Elevation - Existing

Scale: 1/8" = 1'-0"



2

East Elevation - Proposed

Scale: 1/8" = 1'-0"

JOHNSON-MURRAY RESIDENCE
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Takoma Park, MD 20912

E3

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East Elevations

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