

#37:3 7201 Carroll Ave. (Prelim.)
Takoma Park VFD (Takoma Park HD)

HISTORIC PRESERVATION

Accession Number:

17-10

Contents:

Box Number:

14

Falkland Apartments

36/12-11A

8305 Falkland Lane

Takoma Park Historic District

37/03-10Z	City of Takoma Park
37/03-12V	500 Albany Avenue
37/03-10NN	511 Albany Avenue
37/03-13Y	512 Albany Avenue
37/03-13II	525 Albany Avenue
37/03-10II	525 Albany Avenue
37/03 Prelim 2007	531 Albany Avenue
37/03-13M	7300 Baltimore Avenue
37/03-10JJ	7311 Baltimore Avenue
37/03 Prelim	7311 Baltimore Avenue
37/03 2nd Prelim	7311 Baltimore Avenue
37/03-10JJ Revision	7311 Baltimore Avenue
37/03-13W	7314 Baltimore Avenue
37/03-13DD	7315 Baltimore Avenue
37/03 Prelim 2013	7315 Baltimore Avenue
37/03-10GG	7320 Baltimore Avenue
37/03-11NN	7408 Baltimore Avenue
37/03-10O	7423 Baltimore Avenue
37/03-10H	7420 Buffalo Avenue
37/03-11G	7417 Buffalo Avenue
37/03-11Z	7426 Buffalo Avenue
37/03-11CC	6950 Carroll Avenue
37/03 Prelim 2006	7001 Carroll Avenue
37/03 2nd Prelim 2006	7001 Carroll Avenue
37/03-13OO	7005 Carroll Avenue
37/03-12L	7006 Carroll Avenue
37/03-10OO	7071 Carroll Avenue
37/03-10AA	7071 Carroll Avenue
37/03-10HHH	7030 Carroll Avenue
37/03-11FF	7051 Carroll Avenue
37/03-11D	7105 Carroll Avenue
37/03-10VV	7114 Carroll Avenue
37/03-12KK	7130 Carroll Avenue
37/03-11VV	7131 Carroll Avenue
37/03-10BB	7136 Carroll Avenue
37/03-10I	7206 Carroll Avenue
37/03 Prelim 2004	7201 Carroll Avenue

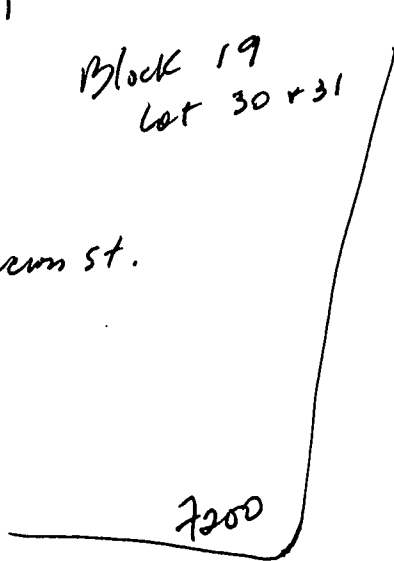
JN 41

25

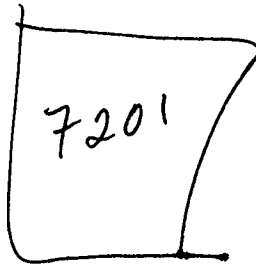
Block 19
lot 30 & 31

Block 3

Block 2 across st.



- Craftman 7142
2
- (NG) 7140
- (1) 7138
- (1) 7136



7201 Lucas Service

7135 (2)

7133 (2)

7131 (2)

Residents:

Ruth Redman
7200 Carroll Ave
TP. 20912

7142 Carroll Ave

7140 Carroll Ave

7138 Carroll Ave

7136 Carroll Ave

7211 Carroll Ave

7221 Carroll Ave

7135 Carroll Ave

7133 Carroll Ave

7131 Carroll Ave

~~209 Venitta~~

~~Venitag@taloma.gov.~~
Org

normal bed brush
surf covered 005F

51 pcc 9T

surf covered 541F

surf covered 041F

surf covered 281F

surf covered 031F

surf covered 115F

surf covered 145F

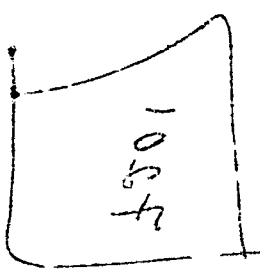
surf covered 281F

surf covered 331F

surf covered 131F

shower

surf covered 145F



f132 (5)

f133 (5)

f131 (5)

surf covered

pass

P1 surf
1450 700

1 p 4 T

-25

E surf

72 m 5 surf

surf

surf covered

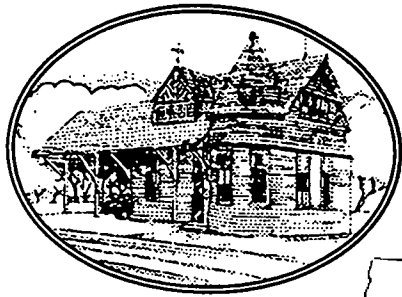
surf (20)

surf (1)

surf (1)

top of ...
pass

pass



Fall/Winter 1997

Historic Takoma

N • E • W • S • L • E • T • T • E • R

IN THIS ISSUE:

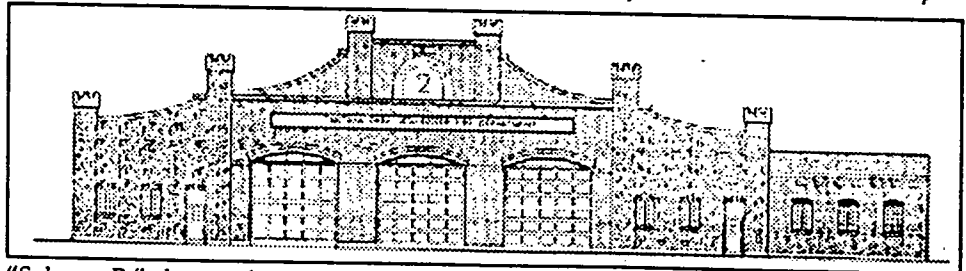
- 1
Historic Silver Spring Train Station in Peril
President's Message
- 2
What's New at the Archives
- 3
Around Town
A Look Back: Preservation in Takoma Park: 1985-1989
- 4
Museum Report
- 5
Resource File: Reproducing Historic Millwork
- 6
HTI News
Special Recognition
- 7
New and Renewed Members

HTI Supports Historic Design for Fire Station

Montgomery County plans a modernization of the Takoma Park fire station to ensure that the building meets County Fire and Rescue Commission standards, accommodates existing equipment, and meets the needs of fire station volunteers. HTI supports a fire station renovation that will be reminiscent of the 1928 facade of the original building. This original facade, lost in the reconstruction of the 1950s, made the building a unique landmark with its crenelated turrets and three arched, windowed bays. HTI also wants the existing stonework, which came from Sligo Creek, to be reincorporated into the design. Other features, such as the existing fireplace mantle, would be reinstalled in a day room that is accessible to the public.

In a recent resolution, the City stated its preference for an historic design by endorsing "Scheme B" of a feasibility study performed by Quinn Evans Architects. Quinn Evans evaluated two designs as part of its determination that a renovation/expansion of the fire house at the current site could meet County Class II standards. Scheme A is a plain, two-story box structure, while Scheme B is a one-story structure containing turrets, bays, and

►cont'd on p. 7



"Scheme B," shown above, is reminiscent of the original 1928 fire house design.

FIRE STATION

cont'd from p. 1

stonework derivative of the original design. The designs are merely concepts at this stage, and there is no guarantee that the County will follow the city resolution and adopt Scheme B. However, the emphasis

that has been placed on an historic design by HTI and the City will help keep this issue in the forefront as the County decides upon budgets and contractors. ♦

DEC. 1



DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

November 4, 1999

Douglas M. Duncan
County Executive

Albert J. Genetti, Jr., P.E.
Director

Ms. Robin Ziek, Planner
Historic Preservation Commission
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

RE: **TAKOMA PARK FIRE STATION #2, Replacement.**

Dear Ms Ziek:


I appreciate the opportunity to meet with you in regards to the above referenced project. In review of the project you mentioned that the existing Fire Station is in a historical district, therefor the Historical Preservation Commission will be involved in reviewing the proposed new station at the same location.

With this information in mind I request a ~~preliminary consultation~~ with the Historical Preservation Commission at the ~~December 1, 1999 meeting~~.

It is my understanding that the Takoma Park Fire Station Feasibility Study has been distributed to your office. The Study provides the general concept of the planned new Fire Station.

Please confirm the meeting date, time and location and if any additional information is needed. You can reach me at 240 777 6120.

Sincerely,



Perry Johnson
Capital Projects Manager

cc: Stephen Nash, MCDPWT/CPMS
Steve Lamphier, MCFRS
Bruce Allen, TPVFD
Jim Jarboe, TPVFD
Carol Stewart, Takoma Park City Council
Steve Hayes, MCDPWT/Leasing

Capital Projects Management Section

110 North Washington Street, 3rd Floor • Rockville, Maryland 20850-2299
240-777-6000 • TDD 240/777-6013 • FAX 240-777-6003

meeting / meeting

Stakeholders

This report was directed and influenced by the following interested parties:

City of Takoma Park

Daryl Braithwaite
Project Administrator

*Venita George
Economic Development
Liason*

Montgomery County Fire and Rescue Commission

Neil A. Shorb
Staff Director

Montgomery County Department of Public Works

Lawrence P. White, Jr., AIA
Architect

Takoma Park Volunteer Fire Department

Bob Jarboe
President

Takoma Park Community Development Corporation

Kent Richard Abraham
Client Project Manager

✓ HISTORIC TAKOMA - LORRAINE PEARSON, PRESIDENT

✓ PERRY JOHANSSON, PROJECT MANAGER, MONTGOMERY COUNTY
DEPT OF PUBLIC WORKS + TRANSPORTATION
110 N. WASHINGTON STREET, 3rd FL.
ROCKVILLE, MD. 20850

+ ADJ + CONF. PROP. OWNERS
7211 Carroll Ave. 7200 Carroll Ave.

Adj + Conf. Prop - Dunes

Ruth Redman

7200 Carroll Ave
Takoma Park 20912

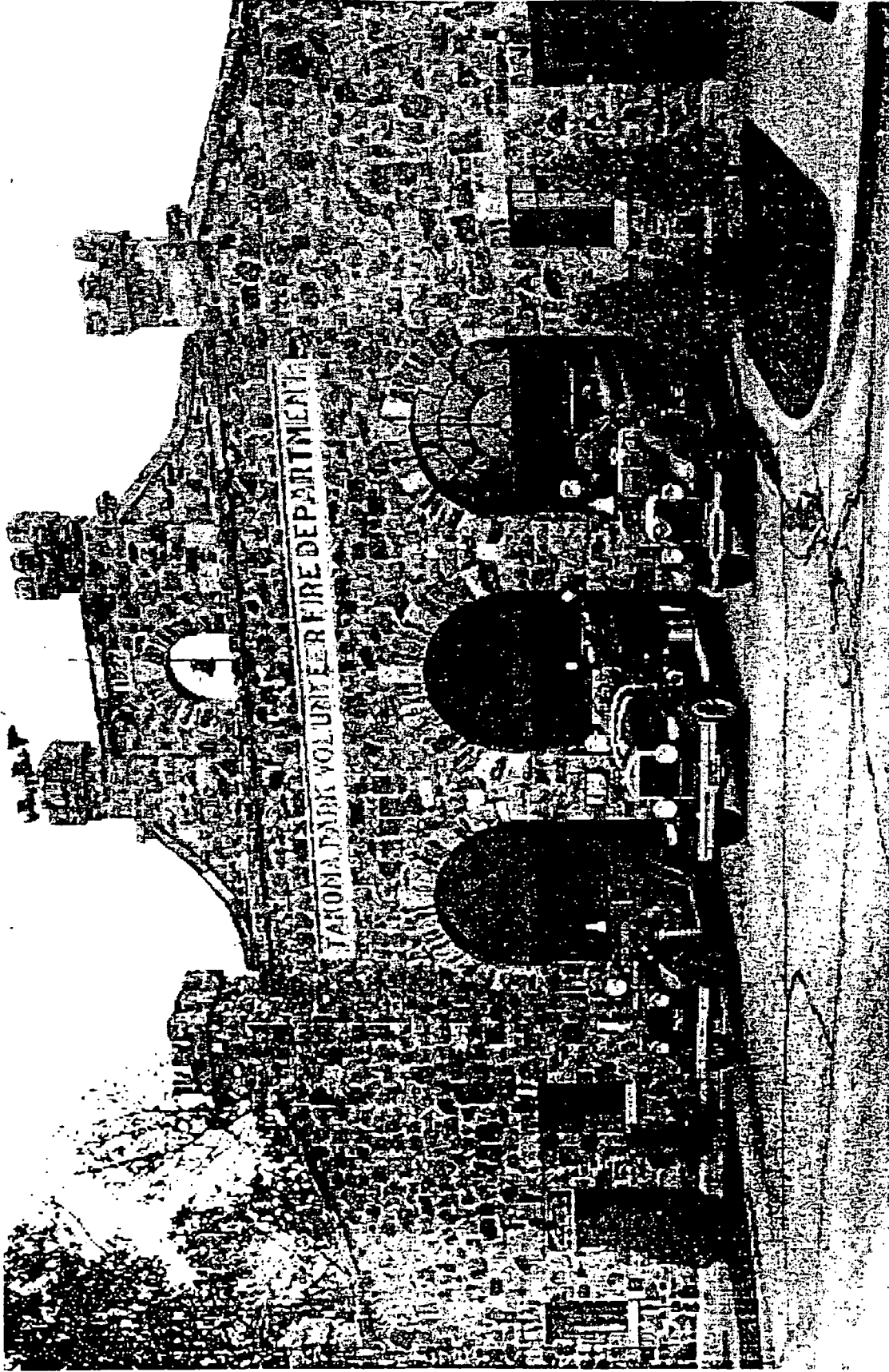
7142 } Carroll Ave
7140 }
7138 } T.P.
7136 }

7211 }
7221 } Carroll Ave
7135 } T.P.
7133 }
7131 }

Susan Robb
203 Manor Circle
Tak. PK 20912

John Urciolo
~~1~~ CA CEDS, Chair
City Hall
7500 Maple Ave
Tak. PK 20912

TAKOMA PARK FIRE STATION FEASIBILITY STUDY
Takoma Park, Maryland



Prepared By
QUINN EVANS / ARCHITECTS in association with HACKLEY AND ZAMBITO ARCHITECTS

Adj + Conf. Prop - Dunes

Ruth Redman

7000 Carroll Ave

Takoma Park 20912

7142

7140

7138

7136

Carroll Ave

T.P.

7211

7221

7135

7133

7131

Carroll Ave

T.P.

Susan Robb

203 Manor Circle

Tak. PK 20912

John Urciolo

~~4~~ CA CEDS, Chair

City Hall

7500 Maple Ave

Tak. PK 20912

28 July 1997
TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Stakeholders

This report was directed and influenced by the following interested parties:

City of Takoma Park

Daryl Braithwaite
Project Administrator

Venita George
Economic Development
Liason

Montgomery County Fire and Rescue Commission

Neil A. Shorb
Staff Director

Montgomery County Department of Public Works

Lawrence P. White, Jr., AIA
Architect

Takoma Park Volunteer Fire Department

Bob Jarboe
President

Takoma Park Community Development Corporation

Kent Richard Abraham
Client Project Manager

HISTORIC TAKOMA - LORRAINE PEARSAU, PRESIDENT

PERRY JOHNSON, PROJECT MANAGER, MONTGOMERY COUNTY
DEPT OF PUBLIC WORKS * TRANSPORTATION
110 N. WASHINGTON STREET, 3rd FL.
ROCKVILLE, MD. 20850

+ ADJ + CONF. PROP. OWNERS
7211 Carroll Ave. 7200 Carroll Ave

DEC. 1



DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION
November 4, 1999

Douglas M. Duncan
County Executive

Albert J. Genetti, Jr., P.E.
Director

Ms. Robin Ziek, Planner
Historic Preservation Commission
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

RE: **TAKOMA PARK FIRE STATION #2, Replacement.**

Dear Ms Ziek:

I appreciate the opportunity to meet with you in regards to the above referenced project. In review of the project you mentioned that the existing Fire Station is in a historical district, therefor the Historical Preservation Commission will be involved in reviewing the proposed new station at the same location.

With this information in mind I request preliminary consultation with the Historical Preservation Commission at the December 11, 1999 meeting.

It is my understanding that the Takoma Park Fire Station Feasibility Study has been distributed to your office. The Study provides the general concept of the planned new Fire Station.

Please confirm the meeting date, time and location and if any additional information is needed. You can reach me at 240 777 6120.

Sincerely,

Perry Johnsson
Capital Projects Manager

- cc: Stephen Nash, MCDPWT/CPMS
- Steve Lamphier, MCFRS
- Bruce Allen, TPVFD
- Jim Jarboe, TPVFD
- Carol Stewart, Takoma Park City Council
- Steve Hayes, MCDPWT/Leasing

Capital Projects Management Section

COST ESTIMATE

FEASIBILITY STUDY - 2 SCHEMES TAKOMA PARK FIRE STATION TAKOMA PARK, MARYLAND

Prepared For:

QUINN EVANS/ARCHITECTS

1214 28th Street, N.W.
Washington, D.C. 20007

202-298-6700
FAX 202-298-6666

July 23, 1997

Prepared By:

R.W. Brown & Associates
Construction Cost Consultants
311 West Maple Avenue, Suite E
Vienna, Virginia 22180

703-255-2580
FAX 703-255-4927

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 1
ARCHITECT: Quinn Evans/Architects	RWB Job # 97-20-B1	
EST BY: R.W. Brown & Associates		07/23/97

NOTES

1. UNIT PRICES INCLUDE ALL SUBCONTRACTOR'S OVERHEADS AND PROFITS.
2. UNIT PRICES, PROVIDED BY SUPPLIERS, SUBCONTRACTORS AND PAST EXPERIENCE, REFLECT STANDARD CONSTRUCTION METHODS AND MATERIALS. SALES TAX AND LABOR BURDEN ARE ADDED AT THE END OF EACH ESTIMATE ITEM. LABOR PRICES ARE BASED ON WAGE SCALE CONDITIONS FOR NORMAL HOURS AND DO NOT REFLECT OVERTIME.
3. TOTALS ARE TRUE EXTENSION OF QUANTITIES AND UNIT PRICES THAT ARE ROUNDED OFF.
4. THIS ESTIMATE IS BASED ON SCHEMATIC DESIGN DOCUMENTS DATED JULY 1997.
5. THE TOTAL COST IS BASED ON A COMPETITIVE PRICE FOR SPRING 1998.
6. EXCLUSIONS:
ARCHITECTURAL AND ENGINEERING FEES
FURNISHINGS & EQUIPMENT EXCEPT AS ITEMIZED IN THE ESTIMATE

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 2
ARCHITECT: Quinn Evans/Architects	RWB Job # 97-20-B1	
EST BY: R.W. Brown & Associates		07/23/97

COMPARISON OF SCHEMES

SCHEME A \$3,383,223

SCHEME B \$3,029,991

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 3
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

RECAPITULATION

ITEM		BUILDING	SITE	TOTAL	COST/SF BUILDING
DIV 1/GENERAL REQUIREMENTS	8.00%	172,399	18,778	191,177	9.46
DIV 2/SITE WORK		55,000	218,528	273,528	3.02
DIV 3/CONCRETE		279,479	--	279,479	15.33
DIV 4/MASONRY		377,495	--	377,495	20.70
DIV 5/METALS		326,623	--	326,623	17.91
DIV 6/WOOD & PLASTICS		19,040	--	19,040	1.04
DIV 7/THERMAL & MOISTURE PROTECTION		65,509	--	65,509	3.59
DIV 8/DOORS & WINDOWS		101,519	--	101,519	5.57
DIV 9/FINISHES		167,921	--	167,921	9.21
DIV 10/SPECIALTIES		46,918	--	46,918	2.57
DIV 11/EQUIPMENT		18,000	--	18,000	0.99
DIV 14/CONVEYING		60,000	--	60,000	3.29
DIV 15/PLUMBING		56,370	--	56,370	3.09
DIV 15/HVAC		316,514	--	316,514	17.36
DIV 15/FIRE PROTECTION		45,804	--	45,804	2.51
DIV 16/ELECTRICAL		218,796	16,200	234,996	12.00
SUBTOTAL		2,327,386	253,507	2,580,893	127.65
GENERAL CONTRACTOR'S OH&P	10.00%	232,739	25,351	258,089	12.76
SUBTOTAL		2,560,125	278,857	2,838,982	140.41
BOND @	1.50%	38,402	4,183	42,585	2.11
SUBTOTAL		2,598,526	283,040	2,881,567	142.52
CONTINGENCY @	10.00%	259,853	28,304	288,157	14.25
TOTAL CONSTRUCTION COST		2,858,379	311,344	3,169,723	156.77
PURCHASE OF FURNISHINGS				213,500	
TOTAL CONSTRUCTION & FURNISHINGS				3,383,223	

GROSS AREA: 18,233 SF

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 4
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: -R.W. Brown & Associates	Scheme A	07/23/97

DIV 2/SITE WORK - BUILDING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
BUILDING DEMOLITION					
INTERIOR AND EXTERIOR					
FIRE STATION DEMOLITION	1	LS	55,000	55,000	
TOTAL DIV 2/SITE WORK - BUILDING					55,000

DIV 2/SITE WORK - SITE DEVELOPMENT

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
SITE DEMOLITION					
REMOVE BITUMINOUS PAVING	1,150	SY	5.00	5,750	
REMOVE CURB AND GUTTER	310	LF	4.00	1,240	
REMOVE UTILITY PIPING	1	LS	5,000	5,000	
REMOVE STRUCTURES	1	LS	25,000	25,000	
					36,990
EARTHWORK AND GRADING					
CLEARING	1	LS	2,000.00	2,000	
EARTH CUT AND FILL/HAUL	1,400	CY	7.00	9,800	
GRADING	1,524	SY	2.20	3,353	
EROSION CONTROL	1	LS	5,000.00	5,000	
SEED/SOD	400	SY	0.80	320	
					20,473
PAVINGS & SURFACING					
BITUMINOUS PAVING	735	SY	21.00	15,435	
CONCRETE CURB AND GUTTER	368	LF	17.00	6,256	
CONCRETE PAVING	1,536	SF	7.20	11,059	
CONCRETE WALK	250	SF	4.50	1,125	
STEPS ON GRADE	35	LF	16.00	560	
STRIPING	480	LF	0.48	230	
					34,666
SITE IMPROVEMENTS					
CONCRETE RETAINING WALLS	1,200	SF	32.00	38,400	
LANDSCAPING	1	LS	20,000	20,000	
MISCELLANEOUS SITE IMPROVEMENTS	1	LS	15,000	15,000	
					73,400
STORM DRAINAGE					
STORM DRAINAGE	1	LS	35,000	35,000	
					35,000

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2			Page 5
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1	
EST BY: R.W. Brown & Associates	Scheme A		07/23/97

DIV 2/SITE WORK (CONTINUED)

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
WATER SERVICE					
WATER SERVICE	1	LS	4,000	4,000	4,000
SANITARY SEWER					
SANITARY SEWER	1	LS	14,000	14,000	14,000
TOTAL DIV 2/SITE WORK - SITE DEVELOPME					218,528

DIV 3/CONCRETE

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
POURED IN PLACE CONCRETE					
CONCRETE FOOTINGS	78	CY	180.00	14,040	
CONCRETE RETAINING WALL	1,440	SF	21.00	30,240	
CONCRETE SLAB ON GRADE	2,608	SF	6.25	16,300	
STRUCTURAL FLOOR - APPARATUS	5,394	SF	24.00	129,456	
STRUCTURAL FLOOR - STANDARD	3,814	SF	18.00	68,652	
METAL DECK FILL	4,892	SF	4.25	20,791	
TOTAL DIV 3/CONCRETE					279,479

DIV 4/MASONRY

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
UNIT MASONRY					
FACE BRICK	16,272	SF	12.50	203,400	
SPECIAL COURSING	362	LF	8.00	2,896	
6" CMU	1,928	SF	4.02	7,751	
8" CMU - BACKUP	14,344	SF	4.50	64,548	
8" CMU - PARTITION	8,100	SF	4.71	38,151	
LIMESTONE	816	SF	35.00	28,560	
FIELD STONE	255	SF	31.00	7,905	
LIMESTONE BASE	162	LF	40.00	6,480	
STONE COPING	482	LF	22.00	10,604	
SCAFFOLDING AND EQUIPMENT	18,000	SF	0.40	7,200	
TOTAL DIV 4/MASONRY					377,495

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 6
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 5/METALS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
STRUCTURAL METALS					
STEEL FRAMES.					
APPARATUS FLOOR LOADING	5,394	SF	9.00	48,546	
STANDARD FLOOR LOADING	8,706	SF	7.00	60,942	
STANDARD FLOOR LOAD W/DECK	8,706	SF	9.00	78,354	
ROOF STRUCTURE W/DECK	9,208	SF	7.60	69,981	
					257,823
MISCELLANEOUS METALS					
STEEL STAIRS W/ LANDING & RAILS	6	FL	9,800	58,800	
MISCELLANEOUS METALS	1	LS	10,000	10,000	
					68,800
TOTAL DIV 5/METALS					326,623

DIV 6/WOOD & PLASTICS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
FINISH CARPENTRY & MILLWORK					
INTERIOR TRIM	400	LF	4.50	1,800	
WATCH DESK	17	LF	200.00	3,400	
BASE CABINETS	48	LF	165.00	7,920	
WALL CABINETS	38	LF	130.00	4,940	
COUNTER TOPS	14	LF	70.00	980	
					19,040
TOTAL DIV 6/WOOD & PLASTICS					19,040

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 7
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 7/THERMAL & MOISTURE PROTECTION

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
INSULATION					
PERIMETER INSULATION	816	SF	0.34	277	
BATT INSULATION - R30	1,500	SF	0.56	840	
RIGID INSULATION - 1"	14,344	SF	0.46	6,598	
SOUND INSULATION - BATT	8,685	SF	0.47	4,082	
					11,798
ROOFING & SHEET METAL					
EPDM ROOFING	9,668	SF	2.25	21,754	
TAPERED ROOF INSULATION - 2"	9,668	SF	2.50	24,171	
EPDM FLASHING	2,417	SF	2.35	5,680	
PENETRATION FLASHING	16	EA	34.00	544	
					52,149
CAULKING					
CAULKING	1,420	LF	1.10	1,562	
					1,562
TOTAL DIV 7/THERMAL & MOISTURE PROTECTION					65,509

DIV 8/DOORS & WINDOWS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
DOORS					
HOLLOW METAL FRAMES - SINGLE	43	EA	115.00	4,945	
HOLLOW METAL DOORS	6	EA	205.00	1,230	
SOLID CORE WOOD DOORS	37	EA	172.00	6,364	
HARDWARE - PER LEAF	43	EA	250.00	10,750	
OVERHEAD DOORS	3	EA	5,000.00	15,000	
					38,289
WINDOWS					
WINDOW WALLS	212	SF	45.00	9,540	
WINDOWS	826	SF	65.00	53,690	
					63,230
TOTAL DIV 8/DOORS & WINDOWS					101,519

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 8
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 9/FINISHES

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
DRYWALL AND PLASTER					
METAL FURRING - 7/8"	13,680	SF	0.48	6,566	
METAL STUD FRAMING - 3-5/8"	16,672	SF	0.67	11,170	
BULKHEAD FRAMING	400	SF	1.54	616	
GYPSUM WALLBOARD - 5/8"	43,664	SF	0.76	33,185	
GYPSUM WALLBOARD - BULKHEAD	400	SF	0.74	296	
TAPE AND SPACKLE	44,064	SF	0.39	17,185	
EXTRA COST MOISTURE RESISTANT	2,260	SF	0.14	316	
DRYWALL CEILING - SUSPENDED	700	SF	2.08	1,456	
					70,791
ACOUSTIC CEILINGS					
2X2 ACOUSTIC CEILING	12,839	SF	1.80	23,110	
					23,110
CERAMIC TILE					
CERAMIC FLOOR TILE	686	SF	7.50	5,145	
CERAMIC WALL TILE	1,808	SF	7.10	12,837	
CERAMIC BASE	216	LF	6.20	1,339	
MARBLE THRESHOLDS	4	EA	24.00	96	
					19,417
RESILIENT FLOORS					
VINYL COMPOSITION TILE	3,528	SF	1.50	5,292	
CARPET	473	SY	22.00	10,406	
RUBBER TILE	460	SF	3.80	1,748	
VINYL BASE	3,116	LF	1.14	3,552	
					20,998
PAINTING & WALL COVERING					
PAINT DRYWALL/PLASTER	44,064	SF	0.39	17,185	
PAINT CMU/CONCRETE	17,950	SF	0.42	7,539	
PAINT DOORS AND FRAMES	43	EA	40.00	1,720	
PAINT MISCELLANEOUS METALS	1	LS	3,000.00	3,000	
PAINT MISCELLANEOUS TRIM	400	LF	1.25	500	
CONCRETE SEALER	6,102	SF	0.60	3,661	
					33,605
TOTAL DIV 9/FINISHES					167,921

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 9
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 10/SPECIALTIES

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
TOILET ACCESSORIES					
TOILET TISSUE DISPENSER	6	EA	49.00	294	
WASTE RECEPT/TOWEL DISPENSER	4	EA	385.00	1,540	
MIRRORS	125	SF	12.50	1,563	
SOAP DISPENSER	5	EA	43.00	215	
MISC TOILET ACCESSORIES	20	EA	35.00	700	
GRAB BARS	4	EA	73.00	292	
MOP STRIP	1	EA	70.00	70	
					4,674
TOILET PARTITIONS					
TOILET PARTITION - STD	3	EA	650.00	1,950	
TOILET PARTITION - HC	2	EA	672.00	1,344	
URINAL SCREENS	1	EA	325.00	325	
					3,619
MISCELLANEOUS SPECIALTIES					
LOCKERS - SHOWER ROOMS	55	EA	125.00	6,875	
LOCKERS - EQUIPMENT	55	EA	350.00	19,250	
EXTERIOR BUILDING GRAPHICS	1	LS	10,000	10,000	
INTERIOR GRAPHICS/SIGNAGE	1	LS	2,500	2,500	
					38,625
TOTAL DIV 10/SPECIALTIES					46,918

DIV 11/EQUIPMENT

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
KITCHEN EQUIP - RESIDENTIAL	1	LS	10,000	10,000	
MISCELLANEOUS BUILT INS	1	LS	8,000	8,000	
					18,000
TOTAL DIV 11/EQUIPMENT					18,000

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 10
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 14/CONVEYING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
ELEVATOR - 3 STOP HYDRAULIC	1	EA	60,000	60,000	
TOTAL DIV 14/CONVEYING					60,000

DIV 15/PLUMBING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
PER FIXTURE					
WATER CLOSET	6	EA	1,520.00	9,120	
LAVATORIES	5	EA	1,450.00	7,250	
SINKS	1	EA	1,425.00	1,425	
URINAL	2	EA	1,550.00	3,100	
SERVICE SINK	1	EA	1,600.00	1,600	
ELECTRIC WATER COOLER - HC	2	EA	2,100.00	4,200	
SHOWER DRAIN AND TRIM	6	EA	980.00	5,880	
LAUNDRY ROUGHING	1	EA	600.00	600	
FLOOR DRAIN	8	EA	300.00	2,400	
ROOF DRAIN	6	EA	300.00	1,800	
WATER HEATING GENERATION	1	EA	5,000.00	5,000	
HOSE BIBBS & MISC	1	LS	600.00	600	
					42,975
GENERAL					
PERMIT, TEST & WARRANTY	1	LS	4,000.00	4,000	
					4,000
SUBTOTAL					46,975
SUBCONTRACTOR'S OH & P@ 20%					9,395
TOTAL DIV 15/PLUMBING					56,370

- COST-ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 11
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 15/HVAC

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
HVAC					
BUILDING HEATING AND COOLING	18,233	SF	14.00	255,262	
VEHICULAR EXHAUST SYSTEM	1	LS	8,500	8,500	
SUBTOTAL					263,762
SUBCONTRACTOR'S OH & P@					52,752
TOTAL DIV 15/HVAC					316,514

DIV 15/FIRE PROTECTION

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
SPRINKLER SYSTEM					
WET SPRINKLER SYSTEM	18,233	SF	1.80	32,819	
DRY SPRINKLER SYSTEM	2,432	SF	2.20	5,350	
SUBTOTAL					38,170
SUBCONTRACTOR'S OH & P@					7,634
TOTAL DIV 15/FIRE PROTECTION					45,804

DIV 16/ELECTRICAL

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
ELECTRICAL					
COMPLETE BUILDING SYSTEM INCLUDING POWER, LIGHTS, FIRE ALARM, AND TELECOMMUNICATIONS	18,233	SF	10.00	182,330	
SUBTOTAL					182,330
SUBCONTRACTOR'S OH & P@					36,466
TOTAL DIV 16/ELECTRICAL					218,796

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 12
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 16/ELECTRICAL - SITE

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
LIGHTS					
FIXTURES - W/ 20' POLE & BASE	6	EA	1,850.00	11,100	
BURIED CABLE	500	LF	4.80	2,400	
					13,500
SUBTOTAL					13,500
SUBCONTRACTOR'S OH. & P@					20%
TOTAL					16,200

FURNISHINGS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
EXERCISE EQUIPMENT/STATION	5	EA	3,500.00	17,500	
WORK STATIONS	16	EA	5,000.00	80,000	
BUNKS/WARDROBES	20	EA	1,800.00	36,000	
MISC FURNISHINGS	16	EA	5,000.00	80,000	
					213,500
TOTAL FURNISHINGS					213,500

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 13
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

RECAPITULATION

ITEM		BUILDING	SITE	TOTAL	COST/SF BUILDING
DIV 1/GENERAL REQUIREMENTS	8.00%	150,681	19,191	169,873	9.02
DIV 2/SITE WORK		45,000	223,690	268,690	2.69
DIV 3/CONCRETE		279,874	--	279,874	16.75
DIV 4/MASONRY		275,921	--	275,921	16.52
DIV 5/METALS		286,480	--	286,480	17.15
DIV 6/WOOD & PLASTICS		17,470	--	17,470	1.05
DIV 7/THERMAL & MOISTURE PROTECTION		89,411	--	89,411	5.35
DIV 8/DOORS & WINDOWS		67,939	--	67,939	4.07
DIV 9/FINISHES		149,944	--	149,944	8.98
DIV 10/SPECIALTIES		46,220	--	46,220	2.77
DIV 11/EQUIPMENT		18,000	--	18,000	1.08
DIV 15/PLUMBING		59,574	--	59,574	3.57
DIV 15/HVAC		290,827	--	290,827	17.41
DIV 15/FIRE PROTECTION		56,409	--	56,409	3.38
DIV 16/ELECTRICAL		200,448	16,200	216,648	12.00
SUBTOTAL		2,034,198	259,081	2,293,279	121.78
GENERAL CONTRACTOR'S OH&P	10.00%	203,420	25,908	229,328	12.18
SUBTOTAL		2,237,618	284,989	2,522,607	133.96
BOND @	1.50%	33,564	4,275	37,839	2.01
SUBTOTAL		2,271,182	289,264	2,560,446	135.97
CONTINGENCY @	10.00%	227,118	28,926	256,045	13.60
TOTAL CONSTRUCTION COST		2,498,300	318,190	2,816,491	149.56
PURCHASE OF FURNISHINGS				213,500	
TOTAL CONSTRUCTION & FURNISHINGS				3,029,991	

GROSS AREA: 16,704 SF

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 14
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 2/SITE WORK - BUILDING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
BUILDING DEMOLITION					
INTERIOR AND EXTERIOR					
FIRE STATION DEMOLITION	1	LS	45,000	45,000	
TOTAL DIV 2/SITE WORK - BUILDING					45,000

DIV 2/SITE WORK - SITE DEVELOPMENT

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
SITE DEMOLITION					
REMOVE BITUMINOUS PAVING	1,200	SY	4.00	4,800	
REMOVE CURB AND GUTTER	340	LF	3.80	1,292	
REMOVE UTILITY PIPING	1	LS	5,000	5,000	
REMOVE STRUCTURES	1	LS	25,000	25,000	
					36,092
EARTHWORK AND GRADING					
CLEARING	1	LS	2,000.00	2,000	
EARTH CUT AND FILL/HAUL	1,150	CY	7.00	8,050	
GRADING	1,520	SY	2.20	3,344	
EROSION CONTROL	1	LS	5,000.00	5,000	
SEED/SOD	400	SY	0.80	320	
					18,714
PAVINGS & SURFACING					
BITUMINOUS PAVING	1,079	SY	21.00	22,659	
CONCRETE CURB AND GUTTER	448	LF	17.00	7,616	
CONCRETE PAVING	1,536	SF	7.20	11,059	
CONCRETE WALK	72	SF	4.50	324	
STEPS ON GRADE	36	LF	16.00	576	
STRIPING	520	LF	0.48	250	
					42,484
SITE IMPROVEMENTS					
CONCRETE RETAINING WALLS	1,200	SF	32.00	38,400	
LANDSCAPING	1	LS	20,000	20,000	
MISCELLANEOUS SITE IMPROVEMENTS	1	LS	15,000	15,000	
					73,400
STORM DRAINAGE					
STORM DRAINAGE	1	LS	35,000	35,000	
					35,000

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 15
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 2/SITE WORK (CONTINUED)

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
WATER SERVICE					
WATER SERVICE	1	LS	4,000	4,000	
					4,000
SANITARY SEWER					
SANITARY SEWER	1	LS	14,000	14,000	
					14,000
TOTAL DIV 2/SITE WORK - SITE DEVELOPMEN					223,690

DIV 3/CONCRETE

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
POURED IN PLACE CONCRETE					
CONCRETE FOOTINGS	79	CY	180.00	14,220	
CONCRETE RETAINING WALL	2,160	SF	21.00	45,360	
CONCRETE SLAB ON GRADE	2,428	SF	6.25	15,175	
STRUCTURAL FLOOR - APPARATUS	5,632	SF	24.00	135,168	
STRUCTURAL FLOOR - STANDARD	2,410	SF	18.00	43,380	
METAL DECK FILL	6,252	SF	4.25	26,571	
					279,874
TOTAL DIV 3/CONCRETE					279,874

DIV 4/MASONRY

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
UNIT MASONRY					
FACE BRICK	9,422	SF	12.50	117,775	
SPECIAL COURSING	340	LF	14.00	4,760	
6" CMU	1,048	SF	4.02	4,213	
8" CMU - BACKUP	8,374	SF	4.50	37,683	
8" CMU - PARTITION	9,008	SF	4.71	42,428	
FIELD STONE	1,200	SF	31.00	37,200	
LIMESTONE BASE	270	LF	40.00	10,800	
STONE COPING	484	LF	22.00	10,648	
BRICK ARCHES	54	LF	41.00	2,214	
SCAFFOLDING AND EQUIPMENT	20,500	SF	0.40	8,200	
					275,921
TOTAL DIV 4/MASONRY					275,921

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 16
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 5/METALS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
STRUCTURAL METALS					
STEEL FRAMES					
APPARATUS FLOOR LOADING	5,632	SF	9.00	50,688	
STANDARD FLOOR LOAD W/DECK	8,662	SF	9.00	77,958	
ROOF STRUCTURE W/DECK	14,294	SF	7.60	108,634	
					237,280
MISCELLANEOUS METALS					
STEEL STAIRS W/ LANDING & RAILS	4	FL	9,800	39,200	
MISCELLANEOUS METALS	1	LS	10,000	10,000	
					49,200
TOTAL DIV 5/METALS					286,480

DIV 6/WOOD & PLASTICS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
FINISH CARPENTRY & MILLWORK					
INTERIOR TRIM	360	LF	4.50	1,620	
WATCH DESK	24	LF	200.00	4,800	
BASE CABINETS	38	LF	165.00	6,270	
WALL CABINETS	26	LF	130.00	3,380	
COUNTER TOPS	20	LF	70.00	1,400	
					17,470
TOTAL DIV 6/WOOD & PLASTICS					17,470

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 17
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 7/THERMAL & MOISTURE PROTECTION

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
INSULATION					
PERIMETER INSULATION	724	SF	0.34	246	
BATT INSULATION - R30	1,280	SF	0.56	717	
RIGID INSULATION - 1"	9,574	SF	0.46	4,404	
SOUND INSULATION - BATT	5,750	SF	0.47	2,703	
					8,070
ROOFING & SHEET METAL					
EPDM-ROOFING	15,009	SF	2.25	33,770	
TAPERED ROOF INSULATION - 2"	15,009	SF	2.50	37,522	
EPDM FLASHING	3,752	SF	2.35	8,818	
PENETRATION FLASHING	14	EA	34.00	476	
					80,585
CAULKING					
CAULKING	688	LF	1.10	757	
					757
TOTAL DIV 7/THERMAL & MOISTURE PROTECTION					89,411

DIV 8/DOORS & WINDOWS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
DOORS					
HOLLOW METAL FRAMES - SINGLE	43	EA	115.00	4,945	
HOLLOW METAL FRAMES - DOUBLE	1	EA	138.00	138	
HOLLOW METAL DOORS	12	EA	205.00	2,460	
SOLID CORE WOOD DOORS	33	EA	172.00	5,676	
HARDWARE - PER LEAF	45	EA	250.00	11,250	
OVERHEAD DOORS	3	EA	5,000.00	15,000	
					39,469
WINDOWS					
WINDOWS	438	SF	65.00	28,470	
					28,470
TOTAL DIV 8/DOORS & WINDOWS					67,939

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 18
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 9/FINISHES

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
DRYWALL AND PLASTER					
METAL FURRING - 7/8"	12,768	SF	0.48	6,129	
METAL STUD FRAMING - 3-5/8"	13,540	SF	0.67	9,072	
BULKHEAD FRAMING	360	SF	1.54	554	
GYPSUM WALLBOARD - 5/8"	39,296	SF	0.76	29,865	
GYPSUM WALLBOARD - BULKHEAD	360	SF	0.74	266	
TAPE AND SPACKLE	39,656	SF	0.39	15,466	
EXTRA COST MOISTURE RESISTANT	868	SF	0.14	122	
DRYWALL CEILING - SUSPENDED	820	SF	2.08	1,706	
					63,179
ACOUSTIC CEILINGS					
2X2 ACOUSTIC CEILING	9,040	SF	1.80	16,272	
					16,272
CERAMIC TILE					
CERAMIC FLOOR TILE	723	SF	7.50	5,423	
CERAMIC WALL TILE	1,712	SF	7.10	12,155	
CERAMIC BASE	228	LF	6.20	1,414	
MARBLE THRESHOLDS	8	EA	24.00	192	
					19,183
RESILIENT FLOORS					
VINYL COMPOSITION TILE	3,227	SF	1.50	4,841	
CARPET	467	SY	22.00	10,274	
RUBBER TILE	360	SF	3.80	1,368	
VINYL BASE	3,162	LF	1.14	3,605	
					20,087
PAINTING & WALL COVERING					
PAINTE DRYWALL/PLASTER	39,656	SF	0.39	15,466	
PAINTE CMU/CONCRETE	16,214	SF	0.42	6,810	
PAINTE DOORS AND FRAMES	45	EA	40.00	1,800	
PAINTE MISCELLANEOUS METALS	1	LS	3,000.00	3,000	
PAINTE MISCELLANEOUS TRIM	360	LF	1.25	450	
CONCRETE SEALER	6,160	SF	0.60	3,696	
					31,222
TOTAL DIV 9/FINISHES					149,944

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 19
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 10/SPECIALTIES

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
TOILET ACCESSORIES					
TOILET TISSUE DISPENSER	7	EA	49.00	343	
WASTE RECEPT/TOWEL DISPENSER	6	EA	385.00	2,310	
MIRRORS	0	SF	12.50	3	
SOAP DISPENSER	6	EA	43.00	258	
MISC TOILET ACCESSORIES	20	EA	35.00	700	
GRAB BARS	4	EA	73.00	292	
MOP STRIP	1	EA	70.00	70	
					3,976
TOILET PARTITIONS					
TOILET PARTITION - STD	3	EA	650.00	1,950	
TOILET PARTITION - HC	2	EA	672.00	1,344	
URINAL SCREENS	1	EA	325.00	325	
					3,619
MISCELLANEOUS SPECIALTIES					
LOCKERS - SHOWER ROOMS	55	EA	125.00	6,875	
LOCKERS - EQUIPMENT	55	EA	350.00	19,250	
EXTERIOR BUILDING GRAPHICS	1	LS	10,000	10,000	
INTERIOR GRAPHICS/SIGNAGE	1	LS	2,500	2,500	
					38,625
TOTAL DIV 10/SPECIALTIES					46,220

DIV 11/EQUIPMENT

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
KITCHEN EQUIP - RESIDENTIAL	1	LS	10,000	10,000	
MISCELLANEOUS BUILT INS	1	LS	8,000	8,000	
					18,000
TOTAL DIV 11/EQUIPMENT					18,000

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 20
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 15/PLUMBING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
PER FIXTURE					
WATER CLOSET	7	EA	1,520.00	10,640	
LAVATORIES	6	EA	1,450.00	8,700	
SINKS	1	EA	1,425.00	1,425	
URINAL	2	EA	1,550.00	3,100	
SERVICE SINK	1	EA	1,600.00	1,600	
ELECTRIC WATER COOLER - HC	2	EA	2,100.00	4,200	
SHOWER DRAIN AND TRIM	6	EA	980.00	5,880	
LAUNDRY ROUGHING	1	EA	600.00	600	
FLOOR DRAIN	8	EA	300.00	2,400	
ROOF DRAIN	5	EA	300.00	1,500	
WATER HEATING GENERATION	1	EA	5,000.00	5,000	
HOSE BIBBS & MISC	1	LS	600.00	600	
					45,645
GENERAL					
PERMIT, TEST & WARRANTY	1	LS	4,000.00	4,000	
					4,000
SUBTOTAL					49,645
SUBCONTRACTOR'S OH & P@ 20%					9,929
TOTAL DIV 15/PLUMBING					59,574

DIV 15/HVAC

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
HVAC					
BUILDING HEATING AND COOLING	16,704	SF	14.00	233,856	
VEHICULAR EXHAUST SYSTEM	1	LS	8,500	8,500	
SUBTOTAL					242,356
SUBCONTRACTOR'S OH & P@ 20%					48,471
TOTAL DIV 15/HVAC					290,827

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 21
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 15/FIRE PROTECTION

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
SPRINKLER SYSTEM					
WET SPRINKLER SYSTEM	16,704	SF	1.80	30,067	
DRY SPRINKLER SYSTEM	7,700	SF	2.20	16,940	
SUBTOTAL					47,007
SUBCONTRACTOR'S OH & P@					20% 9,401
TOTAL DIV 15/FIRE PROTECTION					56,409

DIV 16/ELECTRICAL

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
ELECTRICAL					
COMPLETE BUILDING SYSTEM INCLUDING POWER, LIGHTS, FIRE ALARM, AND TELECOMMUNICATIONS	16,704	SF	10.00	167,040	
SUBTOTAL					167,040
SUBCONTRACTOR'S OH & P@					20% 33,408
TOTAL DIV 16/ELECTRICAL					200,448

DIV 16/ELECTRICAL - SITE

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
LIGHTS					
FIXTURES - W/ 20' POLE & BASE	6	EA	1,850.00	11,100	
BURIED CABLE	500	LF	4.80	2,400	
					13,500
SUBTOTAL					13,500
SUBCONTRACTOR'S OH & P@					20% 2,700
TOTAL					16,200

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 22
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

FURNISHINGS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
EXCERCISE EQUIPMENT/STATION	5	EA	3,500.00	17,500	
WORK STATIONS	16	EA	5,000.00	80,000	
BUNKS/WARDROBES	20	EA	1,800.00	36,000	
MISC FURNISHINGS	16	EA	5,000.00	80,000	
					213,500
TOTAL FURNISHINGS					213,500

PROGRAM OF REQUIREMENTS

PROTOTYPE FIRE STATIONS CLASS I, II, III, IV



**DEPARTMENT OF PUBLIC WORKS AND
TRANSPORTATION
DIVISION OF FACILITIES AND SERVICES
CAPITAL PROJECTS MANAGEMENT SECTION**

FIRE AND RESCUE COMMISSION

JUNE 1997

MONTGOMERY COUNTY
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
FIRE AND RESCUE SERVICE COMMISSION

PROGRAM OF REQUIREMENTS
PROTOTYPE FIRE STATIONS

GENERAL

The Master Plan for Fire, Rescue and Emergency medical services was finalized 1993 by the Master Plan Task Force of the Montgomery County, Fire and Rescue Commission in response to the mandate of Montgomery County Code. The Plan was adopted October 1994.

The goal of the Master Plan Task Force was to provide a strategic plan that offers a plan of action for the continued delivery of fire, rescue, and emergency medical services.

In developing this plan of action, one item that was addressed under Plan Highlights was the need for developing four basic fire and rescue station Program of Requirements (POR) for use in the development of four basic fire station designs for the construction of all future fire and rescue facilities.

Modifications and or changes to (POR) will occur only after review and approval by Department of Fire and Rescue, Fire and Rescue Commission and Department of Public Works and Transportation.

The benefits of this action are described as follows:

1. Due to standardization, the design and construction costs associated with providing new fire and rescue stations will be reduced.
2. It will provide a basic "generic" Program of Requirements for future fire and rescue stations, avoiding repeated necessity of professional services to develop custom-made programs.

Selection of a particular fire and rescue station design package (POR) will depend upon three main factors:

1. Types of public safety services to be delivered from the facility.

2. The size and types of emergency vehicles and size of personnel complements to be assigned to the facility (including reserve app).
3. Any unique local requirement, such as community room, or county facility requirement, such as co-use with another county agency.

The four types of fire and rescue station Program of Requirements (POR) will address a range of gross square footage for each class of station. The range for the four classes are as follows (Appendix A).

CLASS I	CLASS II	CLASS III	CLASS IV
Range			
19,550 - 20,135 sq ft	15,150 - 15,740 sq ft	13,130 - 13,690 sq ft	9,520 - 10,050 sq ft

For designated areas, percentage of total sq. ft. (range) for each class is shown below:

Apparatus Bays	-	29 - 35%
Dorm and Support Space	-	13 - 15%
Living	-	8 - 10%
Administrative	-	6 - 8%
Public	-	2 - 3%
General	-	4 - 7%
Maintenance	-	5 - 7%
Community Room	-	10%
Circulation	-	25%

Besides the POR for each type station, the following documents will have to included as integral parts of the approved final design:

- A. Energy Program of Requirements according to executive regulation 68-91AM.
- B. Design guidelines and standards issued by Capital Projects Management Section,, Division of Facilities and Services.
- C. NFPA Requirements and Standards

Using these generic station PORs, design documents can be prepared/modified to address specific site conditions, such as topography, site requirements by Montgomery County, MNCPPC and State of Maryland and utility easements.

CLASS I, II, III, IV - FIRE AND RESCUE STATION - (SPACE REQUIREMENTS - APPENDIX A)

GENERAL

1. Station to be fully equipped with an automatic fire detection, alarm and suppression system according to latest approved Montgomery County code.
2. The facility shall be fully air-conditioned, except apparatus room.
3. Communication systems:
 - A. Public address/paging system;
 - B. AM/FM radio system;
 - C. Remote-controlled apparatus doors;
 - D. Emergency alert override system, internal and external; and
 - E. Telephone system.

All communication equipment/systems and installation shall be according to Department of Fire and Rescue's specifications.

4. All rooms shall be clearly identified by signs.
5. All exterior windows shall be operable and provided with blinds.
6. Meet federal, state and local ADA code requirements.
7. Training area to the extent required by DFRS and Fire and Rescue Commission will include the following:
 - A. Administration space
 - B. Educational room(s)
 - C. Storage for supplies, equipment, etc.
 - D. Furniture and Equipment

EXTERIOR/SITE

1. Parking shall be provided for each class of station according to staffing criteria, local code, ADA requirements and visitor requirements.
2. All driveways and apron surfaces to be transversed by fire/rescue apparatus and shall be designed to withstand excess weight of +32,000 lbs per axle.

3. Exterior lighting for illumination of parking, driveways, aprons, flag poles and building exterior.
4. An emergency generator shall be provided of maximum size to maintain the basic station operations, such as interior emergency lighting, apparatus doors, emergency communication systems, fire alarm systems, fuel pump system, general heating equipment/boiler/pumps/air handling units during a power outage with a reserve factor of 20% and shall be equipped with an exerciser and change over. Independent fuel source, preferably diesel with a storage tank capacity adequate for each specific class of station. The tank shall be non-corrosive with dispensing equipment for both gasoline and diesel fuel.
5. A suitable enclosure for dumpster/trash container, size to be determined for each specific class.
6. Aluminum flag pole(s), illuminated.
7. Storage facility for yard maintenance equipment.
8. Exterior signage on building. Location, size, style and material to be approved by local fire department.
9. Waste oil disposal tank, location, size and material to be approved by Department of Fire and Rescue.
10. Diesel and gasoline fuel storage tanks should be provided if station is designated as a fueling site.
11. Training area to the extent required by DFRS and Fire and Rescue Commission will include the following:
 - A. Concrete surface (pad)
 - B. Storage facility
 - C. All necessary utilities

FIRE AND RESCUE STATION

SPACE REQUIREMENTS

APPENDIX A

	CLASS I	CLASS II	CLASS III	CLASS IV
GROSS SQUARE FEET	RANGE 19,550 - 20,135	RANGE 15,150 - 15,740	RANGE 13,130 - 13,690	RANGE 9,520 - 10,050
SERVICES PROVIDED	ENGINE/AERIAL LADDER TRUCK AMBULANCE MEDICAL UNIT SPECIALTY UNIT	ENGINE/AERIAL LADDER TRUCK AMBULANCE MEDICAL UNIT SPECIALTY UNIT	ENGINE/AERIAL LADDER TRUCK AMBULANCE MEDICAL UNIT SPECIALTY UNIT	ENGINE/AERIAL LADDER TRUCK AMBULANCE MEDICAL UNIT
PERSONNEL	20	20	15	10
APPARATUS SPACE	4 BAYS - 6,240 SQ. FT. (80'D X 78'W)	3 BAYS - 4,720 SQ. FT. (80'D X 59'W)	3 BAYS - 4,720 SQ. FT. (80'D X 59'W)	2 BAYS - 3,120 SQ. FT. (80'D X 39'W)
<u>DORM AND SUPPORT SPACE</u> (DORM, 70 - 70 SQ FT PER BED) (T/SH. 6 SH. 4 - 5 T. 5 LAV. 2 U) (LOCK. R. 10 - 12 SQ FT PER LOCK R. 55 LOC's) LINEN	1,400 - 1,500 SQ FT 500 - 560 SQ FT 550 - 660 SQ FT <u>30</u> T 2,480 - 2,750 SQ FT	1,400 - 1,500 SQ FT 500 - 560 SQ FT 550 - 660 SQ FT <u>30</u> T 2,480 - 2,750 SQ FT	1,050 - 1,125 SQ FT 375 - 435 SQ FT 410 - 520 SQ FT <u>30</u> T 1,865 - 2,110 SQ FT	700 - 750 SQ FT 250 - 310 SQ FT 250 - 360 SQ FT <u>30</u> T 1,230 - 1,230 SQ FT
<u>LIVING AREA</u> DINING LOUNGE KITCHEN VENDING EXERCISE	1,650 - 1,800 SQ FT	1,650 - 1,800 SQ FT	1,240 - 1,390 SQ FT	830 - 980 SQ FT
<u>ADMINISTRATIVE AREA</u> OFFICES CONFERENCE STORAGE	1,270 SQ FT (7 OFFICES)	1,270 SQ FT (7 OFFICES)	1,030 SQ FT (5 OFFICES)	790 SQ FT (3 OFFICES)
<u>PUBLIC AREAS</u> CONTROL DESK RECEPTION TOILET	300 - 350 SQ FT	300 - 350 SQ FT	300 - 350 SQ FT	300 - 350 SQ FT
<u>GENERAL</u> STORAGE JANITOR UTILITY MECHANICAL	700 SQ FT	700 SQ FT	700 SQ FT	700 SQ FT

**PROGRAM OF REQUIREMENTS
FOR
PROTOTYPE FIRE STATION**

JUNE 1996

Approved: _____

**Bruce Romer
Chief Administrative Officer**

Date

Approved: _____

**Robert K. Kendal, Director
Office of Management and Budget**

Date

Approved: _____

**Fred C. Edwards, Chief
Division of Facilities and Services
Department of Public Works and Transportation**

Date

Approved: _____

**George Giebel, Chairman
Fire and Rescue Commission**

Date



Laiderman Associates, Inc.

Engineers
Planners
Surveyors

**TAKOMA PARK FIRE STATION
FEASIBILITY STUDY**

1390 Piccard Drive
Rockville, MD 20850
(301) 948-2750 • Fax: (301) 948-9067



TAKOMA PARK FIRE STATION

FEASIBILITY STUDY - OUTLINE

- I. SITE LOCATION
- II. LIMIT OF EXISTING SITE
- III. SITE AND ADJACENT ZONING
- IV. SITE TOPOGRAPHY AND PHYSICAL FEATURES
- V. EXISTING UTILITIES
- VI. HISTORIC DESIGNATION
- VII. DEVELOPMENT PROCESS

Prepared by LOIEDERMAN ASSOCIATES, INC

June 1997



I. SITE LOCATION


The site is located within the City of Takoma Park, Maryland, at 7201 Carroll Avenue. It is situated south of the intersection where Philadelphia Avenue terminates at Carroll Avenue. The property consists of Lot 30 and 31, Block 19 as shown on a record plat of subdivision entitled "B.F. Gilbert's Addition to Takoma Park" as recorded in the land records of Montgomery County, Maryland, in Plat Book A on Plat 2 and dated 1886. A location map and the record plat are included in this report.

II. LIMIT OF EXISTING SITE

Based on the best available records obtained from the Maryland-National Capital Park & Planning Commission (M-NCP&PC), it appears that the site encompasses both lots 30 and 31, or portions thereof, with the building located on lot 31 and the parking for the existing fire station located on lot 30. The limits of the existing structure, paved parking areas and sidewalks are shown on the M-NCP&PC topographic map included in this report. Additional information, such as street lights, traffic lights, fences and other site features may be obtained from the site photographs which are included in this report.

III. SITE AND ADJACENT ZONING

The existing zoning for lots 29 and 30 is R-20, Multiple-Family - Medium Density Residential. The minimum lot area in the R-20 zone is 2,000 square feet per dwelling. The



existing zoning on lot 31 is R-60, Residential - One-Family with a minimum lot area of 6,000 square feet per dwelling. Lot 32 is zoned C-2, General Commercial.

Building setbacks in the R-20 zone are:

- For buildings not over 30 feet in height:
 - From street (whichever is greater):
 - From street line: 30 feet
 - From center line: 65 feet
 - From adjoining lot:
 - One side: 10 feet
 - Sum of both sides: 30 feet
 - Rear 30 feet
- For buildings over 30 feet in height, all of the setbacks noted above must be increased for each foot of height over 30 feet by an additional 3 feet.

Setbacks for main building in the R-60 zone are:

- From street: 25 feet
- From adjoining lot:
 - Side:
 - One side: 8 feet
 - Sum of both sides: 18 feet
 - Rear: 20 feet

Setbacks for all buildings in the C-2 zone are:

- Front: 10 feet
- Side and Rear:
 - If the lot adjoins a residential zone, the setback shall be not less than required in the adjoining zone.
 - In all other cases no setback is required.
 - No yard shall be less than 3 feet in width.

A fire station (publicly supported) is a permitted use in all of the above zones. The development standards including building height, green area and yard requirements, coverage limitations and other standards vary by zone.



Copies of Certified Zoning Maps and the applicable Divisions of the Montgomery County Zoning Ordinance, including off-street parking and loading, are included as part of this report.

IV. SITE TOPOGRAPHY AND PHYSICAL FEATURES

This site is the current location for the Takoma Park Fire Department. The station is a two-story building with the front of the upper level approximately at grade with Carroll Avenue.

There is an existing building that abuts the property to the east.

The existing paved parking lot is located to the west of the building and the grade falls to the southern end of the property to expose the basement floor of the facility. Access to the fire house and the parking lot is from existing curb cuts on Carroll Avenue.

The rear portion of the property is currently unused. The potential for development of this area may be limited due to the steep slopes and the density of the mature trees. Further investigation and completion of a Natural Resources Inventory/Forest Stand Delineation (NRI/FSD) is necessary in order to determine the existence of any environmental buffers on the site.

A M-NCP&PC topographic map has been updated to include some of the existing features noted during the site visit. The site photographs also show existing site conditions.



V. EXISTING UTILITIES

The existing fire station is currently served by the major utilities including water, sewer, electric and telephone. Overhead electric and telephone is located along the north side of Carroll Avenue. An existing 8" water line is located in Carroll Avenue and a 2" water connection is run to the building. An existing 8" sewer is located in Carroll Avenue near lot 32 and an existing 8" sewer runs along the common lot line of lots 30 and 31 at the rear of the site, south toward Poplar Avenue. Based on the best available records from Washington Suburban Sanitary Commission (WSSC), it appears that the upper level of the building is served by an existing 6" sewer connection in Carroll Avenue. The records of WSSC do not indicate that there is sewer service to the lower level of the building. If sewer is not currently serving the basement floor, a field survey of the existing sewer line at the rear of the site would be necessary to determine if the existing sewer line could be utilized to serve the lower level of the building.

Portions of the WSSC 200' sheets and connection applications have been included as part of this report.

Adequacy of the existing utility services including electric, water and sewer to serve increased development will need to be closely coordinated with the utility companies. We are currently investigating the availability of gas service to the site and have transmitted engineering inquiries to the major utility companies in this area. We anticipate responses to our request for information over the next several weeks.



VI. HISTORIC DESIGNATION

The property is located within the boundary of the Takoma Park Historic District. The existing fire station is identified as a Contributing Historic Resource and major previous alterations have been recognized. Applicable portions of the "Approved and Adopted Amendment to the Master Plan for Historic Preservation: Takoma Park Historic District and Carroll Manor/Douglas House" are included as part of this report.

VII. DEVELOPMENT PROCESS

Development of this site will be approved by the City of Takoma Park as well as all of the Montgomery County permitting agencies through mandatory referral approval processes.

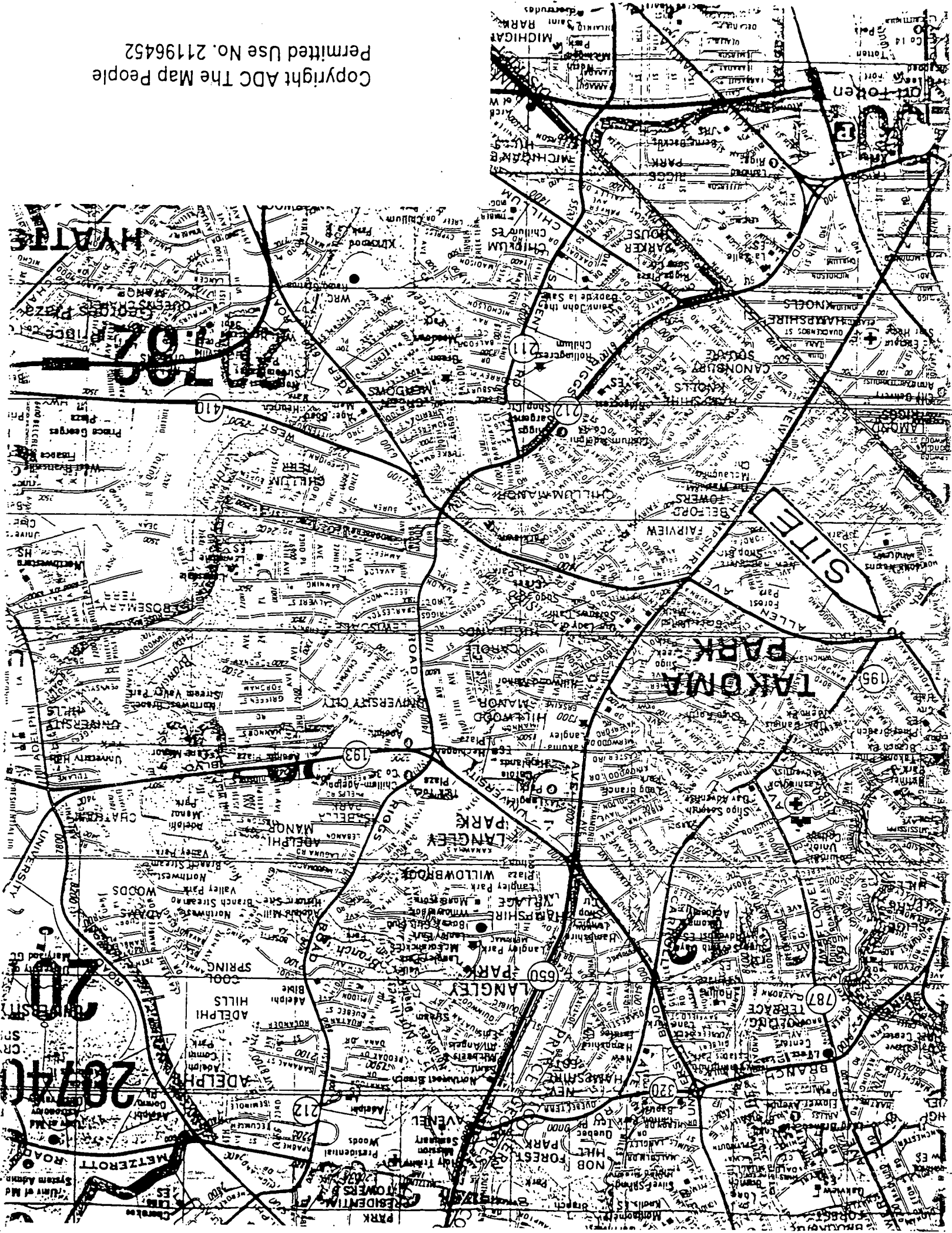
Permitting agencies and their applicable development codes, site related construction standards and regulations may vary specific to the site development or renovations proposed.

The review and permitting agencies may include (but may not be limited to):

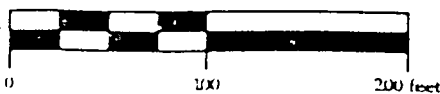
- The City of Takoma Park
 - Planning Department
 - Public Works Department
- The Maryland-National Capital Park & Planning Commission (M-NCP&PC)
 - Development Review Division
 - Environmental Planning Division
 - Transportation Planning Division
 - Historic Preservation Division
 - Community Planning Division
- Montgomery County Department of Permitting Services (MCDPS)
 - Subdivision Development Division
 - Division of Water Resources Management
- Montgomery County Department of Public Works & Transportation (MCDPW&T)



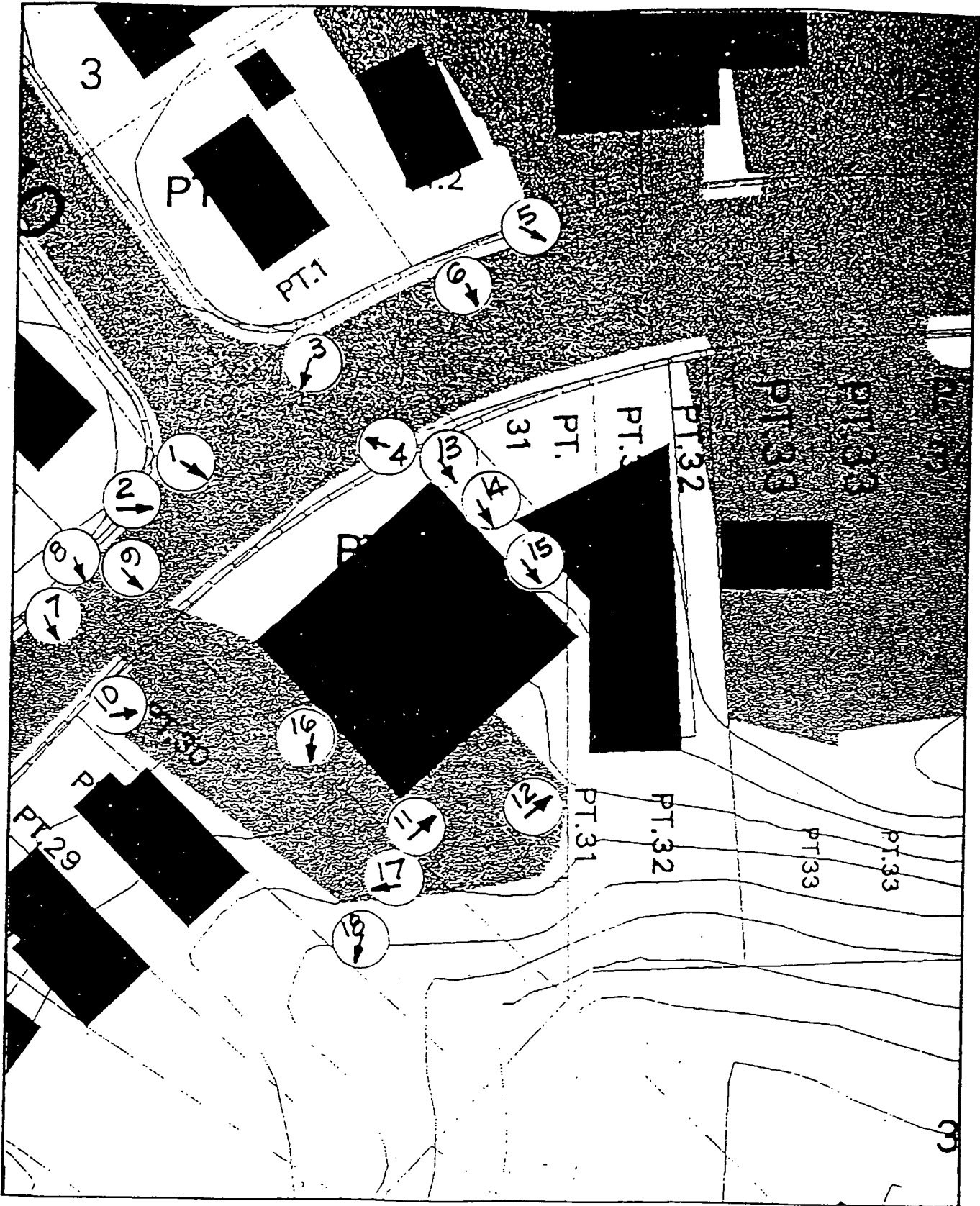
- **Washington Suburban Sanitary Commission (WSSC)**
- **Montgomery County Department of Environmental Protection - Division of Water and Wastewater Management (MCDEP-DWWM)**
- **Maryland State Highway Administration (MSHA)**
- **Applicable utility companies may include:**
 - **Pepco**
 - **Allegheny Power**
 - **Bell Atlantic of Maryland, Inc**
 - **MCI**
 - **Metropolitan Fiber Systems**
 - **Washington Gas Co.**
 - **Baltimore Gas & Electric Co.**
 - **Transcontinental Gas Pipe Line**
 - **Montgomery Cable TV**
 - **Maryland Cable**



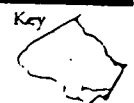
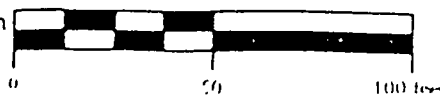
TAKOMA PARK FIRE STATION



TAKOMA PARK FIRE STATION



Maryland-National Capital Park and Planning Commission
 Montgomery County Park and Planning Department



**APPENDIX
STRUCTURAL EVALUATION**

**FEASIBILITY STUDY – 2 SCHEMES
TAKOMA PARK FIRE STATION
TAKOMA PARK, MARYLAND**

Prepared For:

QUINN EVANS/ARCHITECTS

1214 28th Street, N.W.
Washington, DC 20007

202-298-6700
FAX 202-298-6666

July 24, 1997

Prepared By:

Shemro Engineering Associates

4823 Fairmont Avenue
Suite A
Bethesda, Maryland 20814

301-718-8113
FAX 301-718-2243

SHEMRO
ENGINEERING
ASSOCIATES

Takoma Park Fire Station No. 2
SEA Job No. 50 004.00

I. Access Existing Structural Conditions:

The existing structural system for the Takoma Park Fire Station consists of exterior masonry bearing walls with an interior structural steel frame. The main floor of the apparatus room is a cast-in-place concrete slab with concrete encased steel beams. The office spaces adjacent to the apparatus room are light wood frame construction using 2 x 12's at 16" o.c. The roof is constructed using lightweight concrete plank or roof panels supported by steel beams and columns.

The exterior masonry bearing walls are constructed with stone masonry in a random pattern. The stone is in good condition showing no signs of delamination, spalling or weathering, however, the mortar joints have been poorly repointed creating cavities for water to collect and intrude into the masonry. The walls are in desperate need of proper repointing.

The northwest corner of the building shows signs of movement possibly caused by settlement or water intrusion into the masonry. On both the north and west walls of this corner, the wall is cracked vertically indicating the corner is most likely moving in the northwesterly direction. The actual cause of this movement is outside the scope of this study, however, the cause and repair of this movement should be investigated.

The roof structure does not show any signs of distress or overstressing.

The exterior brick masonry tower on the south side of the building used for hose drying in the past is showing signs of settlement. This tower was not original to the building and most likely is founded on improper foundations. The tower is rotating away from the main building with a gap of approximately 1/2" at the bottom and 1" at the top.

The main apparatus room floor is a concrete slab supported by concrete encased steel beams. The concrete slab is covered with a waterproof traffic bearing membrane making it impossible for us to survey its condition from above. Our survey consisted of removing the concrete cover from several steel beams to determine their size and their condition. We also visually observed the soffit of the slab to ascertain its condition. We were unable to determine the thickness of the slab or the reinforcing steel within the slab. The selective demolition outlined in our letter dated May 20, 1997 was not properly completed. SSK-3 of this memo indicated slots to be chipped in the soffit of the slab to reveal the slabs reinforcing and these slots were not completed. Therefore, we were unable to determine the reinforcing in the concrete slab and unable to perform an analysis of the slab to determine its capacity. For our analysis of the steel beams, we assumed a slab thickness of 6" for dead load on the beams.

Our analysis revealed an allowable live load of 215 pounds per square foot (psf) for one of the secondary girders framing in the east-west direction. We did not assume composite construction, which is typical of concrete encased steel beams, because we visually observed horizontal cracks between the beam encasement and the soffit of the slab. This live load is less than the required AASHTO HS-20 loading that would be used to design a new garage for truck storage (the maximum anticipated axle load must also be

taken into account). At this point, the apparatus room floor may be overstressed depending on its current loading.

In general, the concrete slab of the apparatus room is in poor condition. The north half of the slab is indicating signs of distress including delamination, spalling, and cracking. Several areas have been reinforced with steel beams under the slab attached to adjacent steel beams and the north half above the basketball court has been covered with drywall to prevent concrete spalls from falling to the floor. We were unable to visually observe this area due to the drywall ceiling.

The concrete slab of the apparatus room requires additional study to determine its capacity and its overall condition. This study should include verifying the reinforcing steel and the slab thickness as well as taking concrete core samples for analysis and testing. These tests should include compressive strength, chloride-ion content, depth of carbonation, etc.

During our field study, we observed one steel beam that is showing significant distress. Due to water intrusion through the slab above, the water has caused the beam to rust and delaminate spalling the existing concrete cover. The steel beam, now exposed to the air, will deteriorate even faster. This deterioration has been slowed down due to the application of the waterproof membrane above eliminating water intrusion. The deterioration of this steel beam has reduced its capacity, therefore, we are recommending that the beam be shored below. The shoring should be done regardless of the outcome of this feasibility study.

II. Structural Narrative for New Schemes:

For renovation of the Takoma Park Fire Station we have proposed two schemes. Scheme A consists of a two story with basement option while Scheme B consists of a one story with basement option. Both options include land acquisition to the west.

IIA. Demolition:

Scheme A includes the demolition of the existing roof structure, the south wall of the building including the hose drying tower, the concrete apparatus room floor and steel beams excluding the main girders running north-south, and the wood framed floors to the east and west of the apparatus room.

Scheme B includes the demolition of the existing roof structure, the south and west walls of the building including the hose drying tower, the concrete apparatus room floor and steel beams excluding the main girders running north-south, and the wood framed floors to the east and west of the apparatus room.

IIB. Apparatus Room Floor:

In both schemes, the existing concrete apparatus room floor is being removed for several reasons. The condition of the existing floor is poor, requiring significant work to repair the deteriorated areas. In addition, the floor will be waterproofed and a concrete protection slab placed over the waterproofing. This additional thickness would raise the floor too high compared to the existing concrete apron of the drive and the adjacent offices and workrooms. The new structural slab of the apparatus room will be placed lower, incorporating trench drains and slopes, allowing for the additional thickness of the protection slab to accommodate the existing concrete apron and the step into the

workrooms and offices. The new slab of the apparatus room will consist of a six inch reinforced concrete slab over steel beams with a three to four inch sloping protection slab over a waterproof membrane. A traffic bearing membrane will also be applied to the protection slab for additional protection. The new slab will be designed for its dead load and the appropriate AASHTO live loading.

The existing 30 inch girders running north-south will remain with the remainder of the existing steel and wood framing of the first floor removed. A new column will be added at the midspan of each girder to increase its capacity. The addition of the continuous trench drains interrupts the existing steel framing requiring major modifications to the steel structure. The steel structure is being removed to accommodate the new trench drains more economically.

II.C. Workroom and Office Floors:

All of the new floors, regardless of the scheme, will consist of 2 1/2" concrete slabs on formdeck supported by open web steel joists and structural steel beams. Columns will be wide flange shapes supported by spread footings or possibly drilled piers at the south end of the building due to the steep slope. An alternative to bar joist construction, which does not lend itself well to rated floor construction, would be lightweight concrete fill on composite metal deck supported by composite steel beams. By spraying the steel beams, a 2 hour rating is easily achievable.

II.D. Roof Construction:

In both schemes, the new roof will consist of 1 1/2" roof deck supported by bar joists and structural steel beams. The roof over the apparatus room will be higher than the existing roof to accommodate the vehicles and be constructed with long-span bar joists spanning 60 feet east to west. The front area will be framed with shallower bar joists spanning north to south allowing for greater headroom to accommodate an overhead sectional door without increasing the overall roof height. The south end of these shallower bar joists will be supported on a truss girder.

II.E. Stair Framing:

The new stairs will be framed with steel channel stringers and concrete filled steel pans and landings. The stairs will be constructed in a rated enclosure.

SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814

301 718 8113 FAX 301 718 2243

PROJECT TAKOMA PARK FIRE STATION No. 2

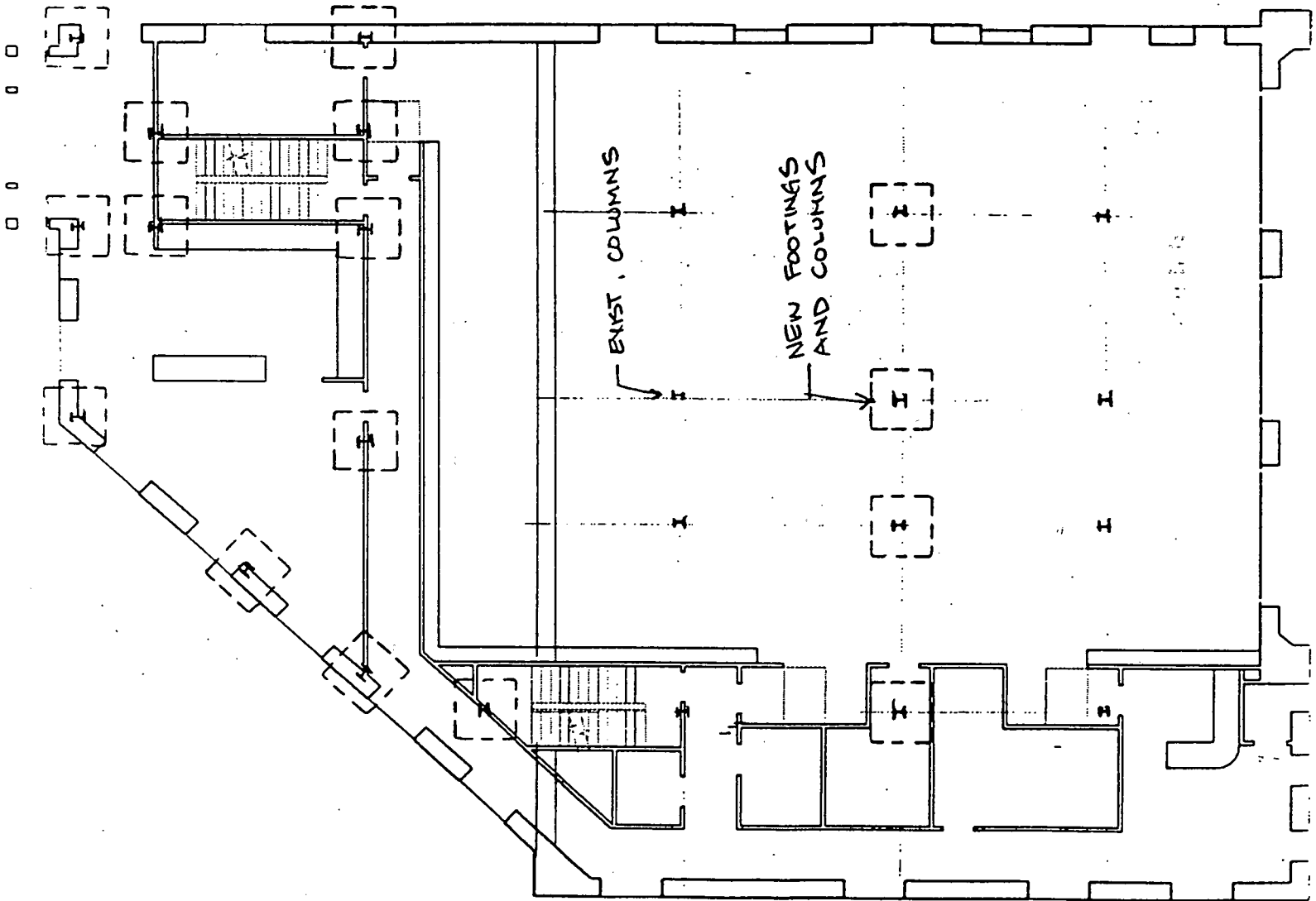
BY SC DATE 7.3.97

CHECKED DATE

FOUNDATION PLAN

SHEET S-A-1

NORTH
→



SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814

301 718 8113 FAX 301 718 2243

PROJECT TAYLOR PARK FIRE STATION NO. 2

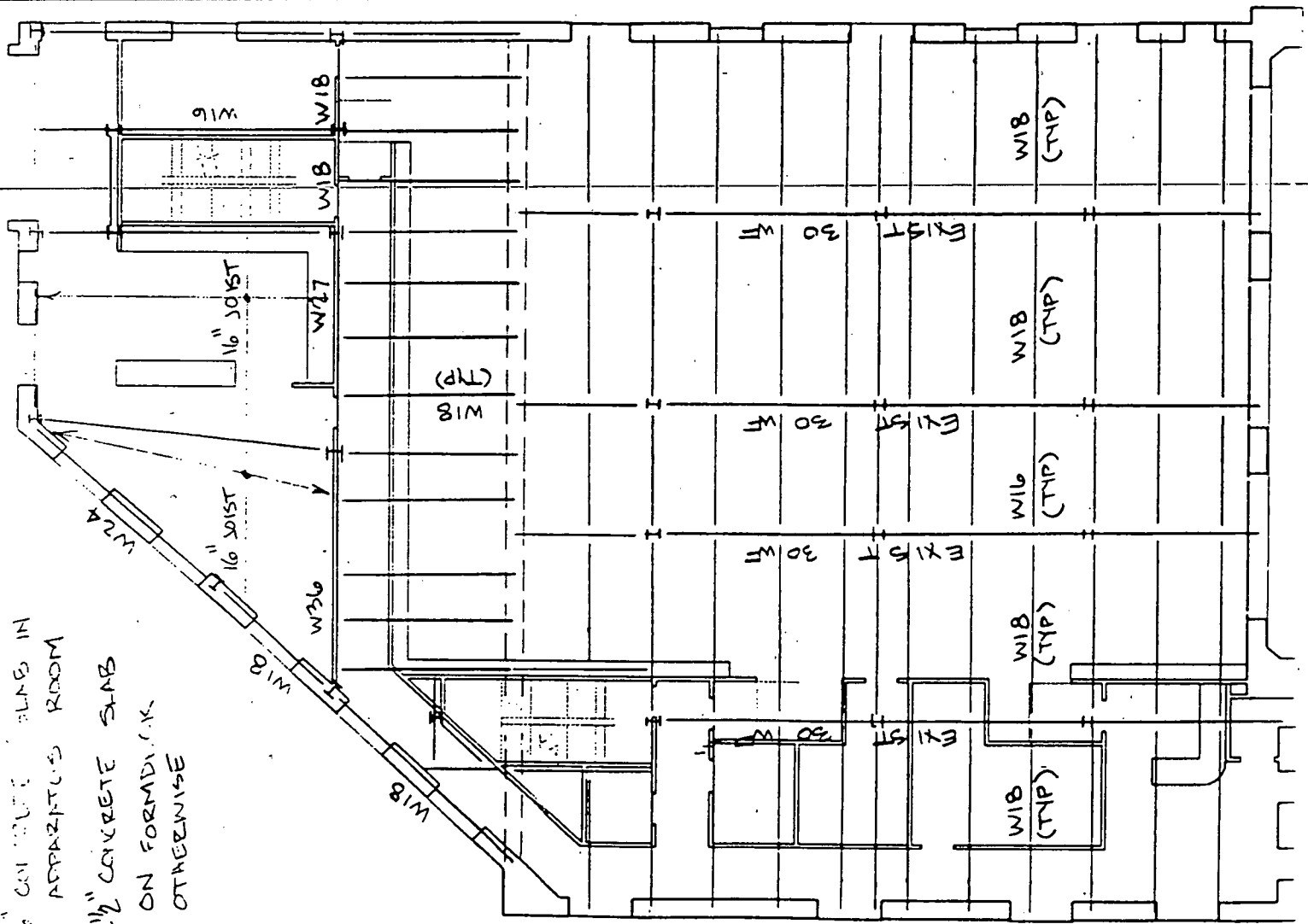
BY SC DATE 7.3.97

CHECKED DATE

FIRST FLOOR FRAMING

SHEET S-A-2

NORTH
→



SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814

301 718 8113 FAX 301 718 2243

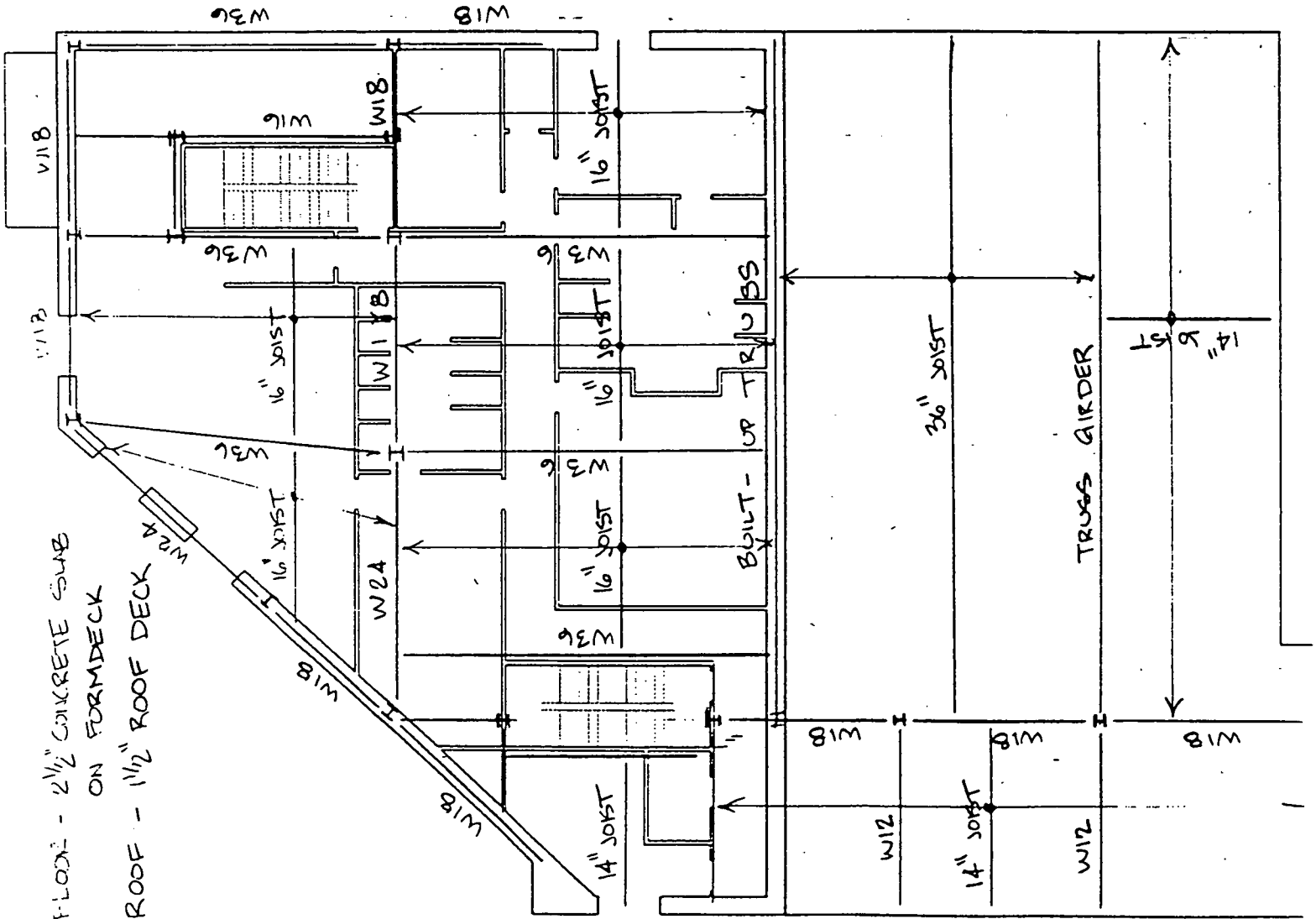
PROJECT TAKOMA PARK FIRESTATION NO. 2

BY SC DATE 7.3.97
SECOND FLOOR FRAMING
ROOF FRAMING

CHECKED _____ DATE _____

SHEET S-A-3

NORTH
→



SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814

301 718 8113 FAX 301 718 2243

PROJECT: TAKOMA PARK FIRESTATION - NO. 2

BY SC

DATE 7.3.97

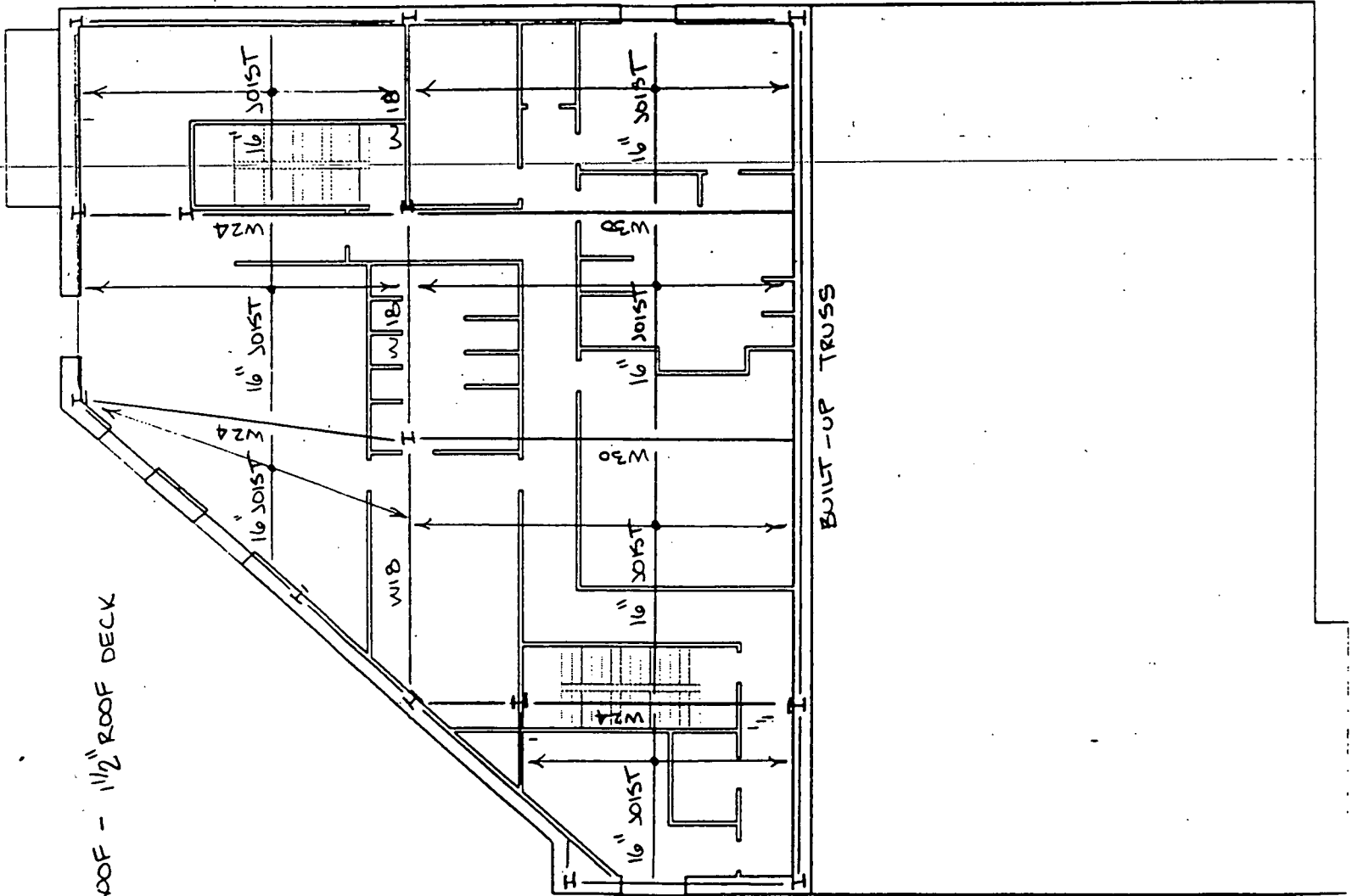
CHECKED

DATE

ROOF FRAMING PLAN

SHEET S-A-4

NORTH
→



SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814
301 718 8113 FAX 301 718 2243

PROJECT TAKOMA PARK FIRESTATION NO. 2

BY SC

DATE 7.3.97

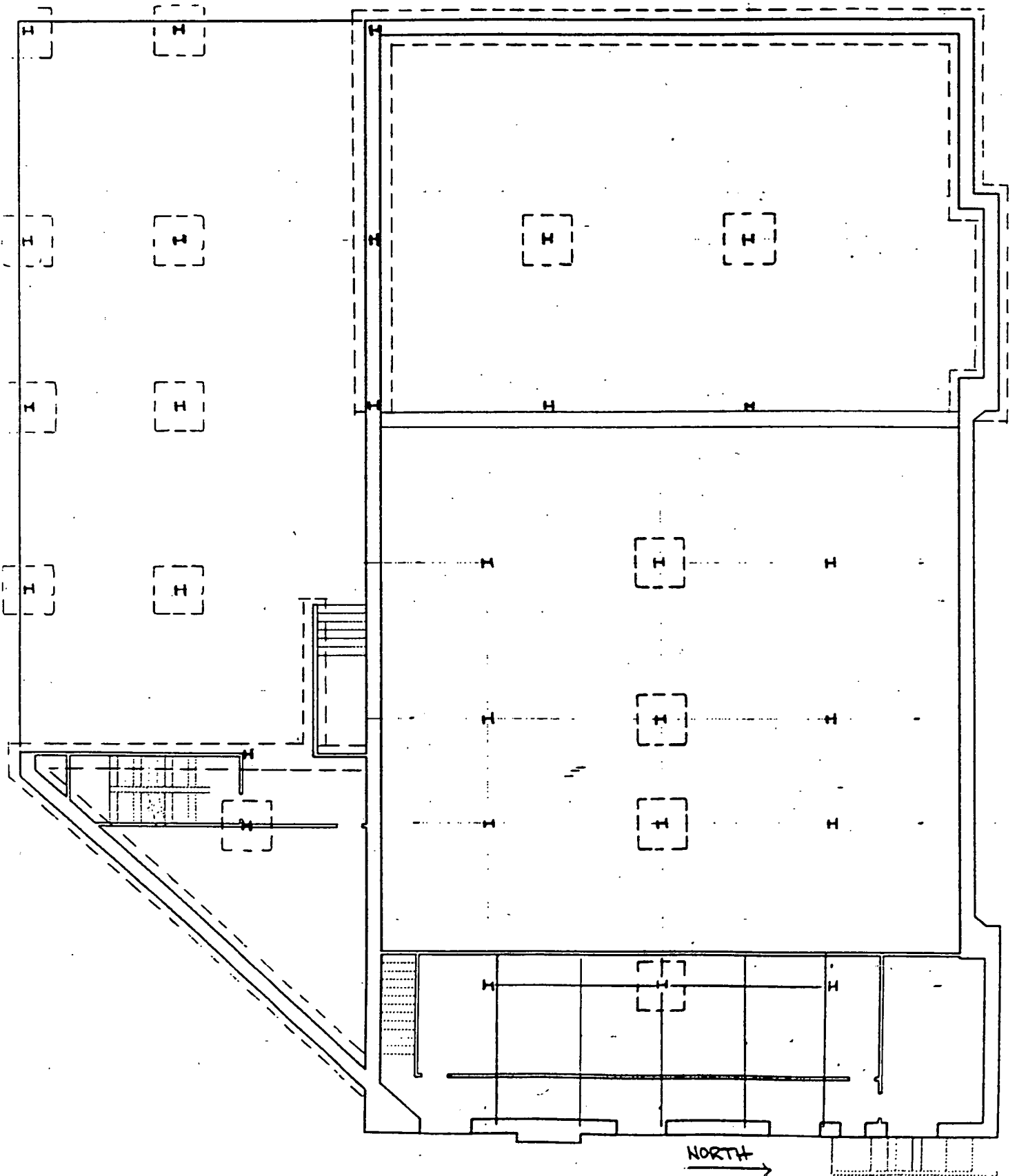
CHECKED

DATE

FOUNDATION PLAN

SHEET

S-B-1



SHEMRO

ENGINEERING
ASSOCIATES

4623 Fairmont Avenue, Suite A
Bethesda, MD 20814

301 718 8113 FAX 301 718 2243

PROJECT TAKOMA PARK FIRE STATION NO. 2

BY SC

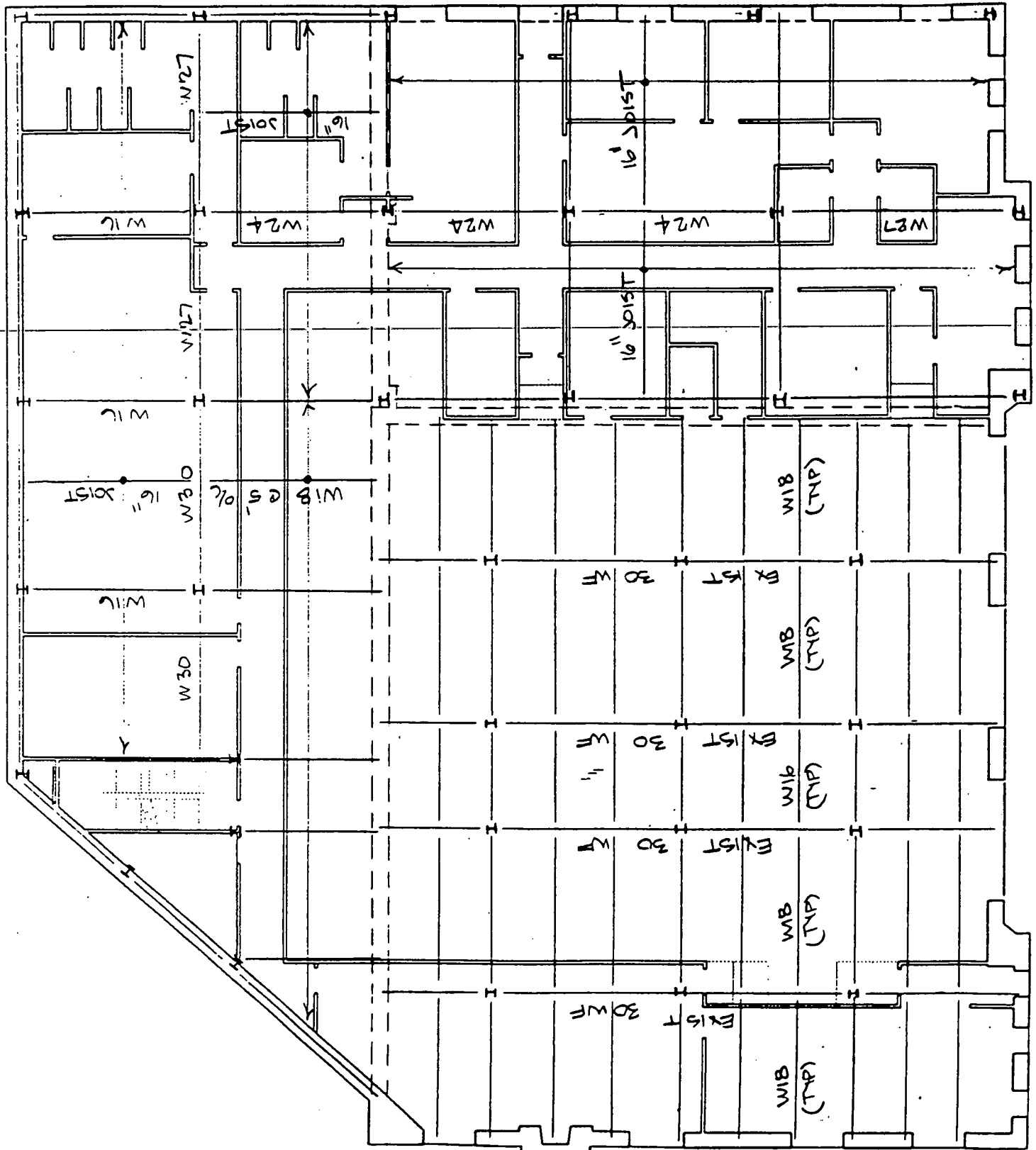
DATE 7.3.97

CHECKED

DATE

FIRST FLOOR FRAMING

SHEET S-B-2



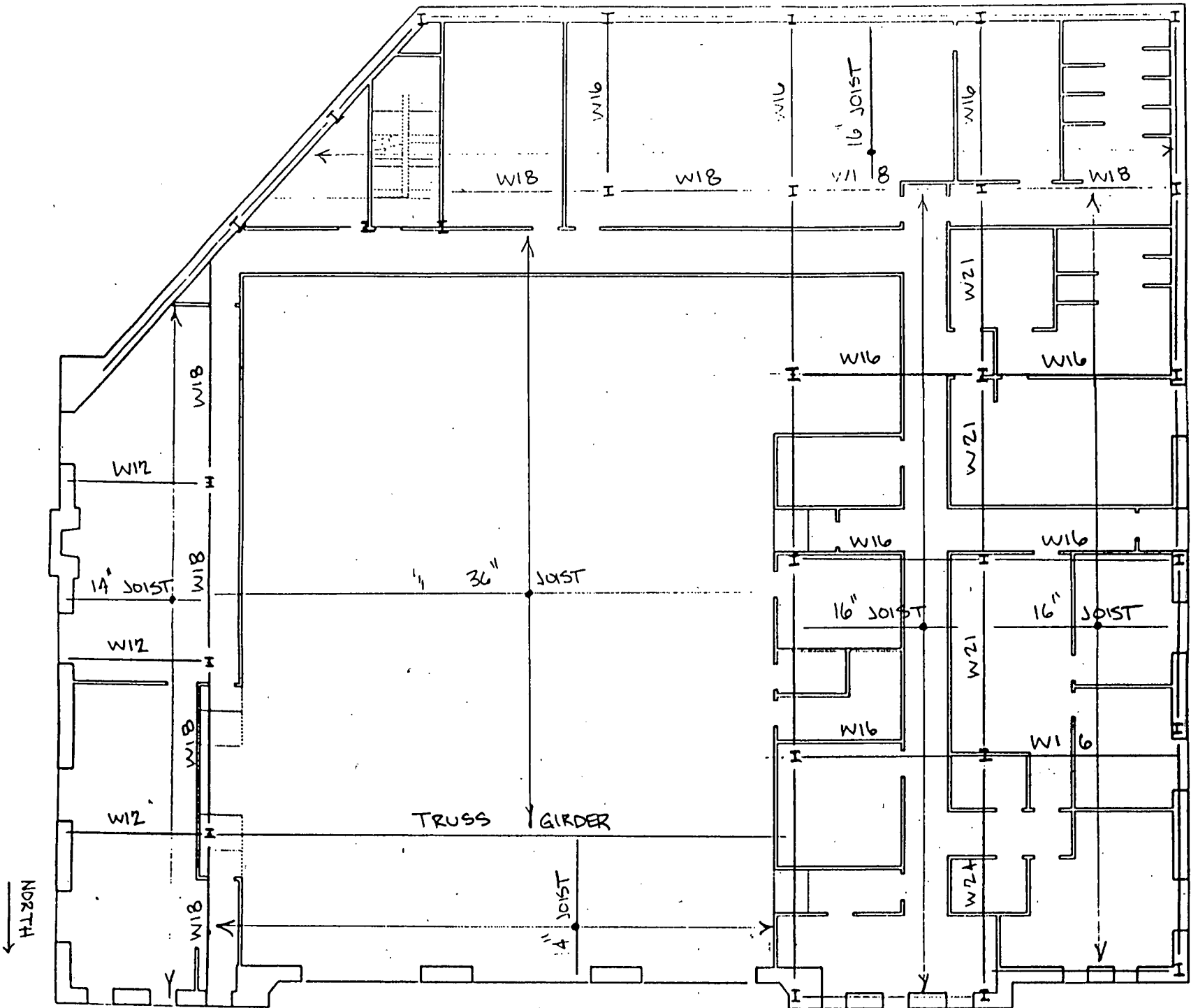
NORTH →

SHEMRO
ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814
301 718 8113 FAX: 301 718 2243

PROJECT TAKOMA PARK FIRE STATION NO. 2

BY **SC** DATE 7.3.97 CHECKED _____ DATE _____
ROOF FRAMING SHEET **S-B-3**





Laiderman Associates, Inc.

Engineers
Planners
Surveyors

**TAKOMA PARK FIRE STATION
FEASIBILITY STUDY**

1390 Piccard Drive
Rockville, MD 20850
(301) 948-2750 • Fax: (301) 948-9067



TAKOMA PARK FIRE STATION

FEASIBILITY STUDY - OUTLINE

- I. SITE LOCATION
- II. LIMIT OF EXISTING SITE
- III. SITE AND ADJACENT ZONING
- IV. SITE TOPOGRAPHY AND PHYSICAL FEATURES
- V. EXISTING UTILITIES
- VI. HISTORIC DESIGNATION
- VII. DEVELOPMENT PROCESS

Prepared by LOIEDERMAN ASSOCIATES, INC

June 1997



I. SITE LOCATION


The site is located within the City of Takoma Park, Maryland, at 7201 Carroll Avenue. It is situated south of the intersection where Philadelphia Avenue terminates at Carroll Avenue. The property consists of Lot 30 and 31, Block 19 as shown on a record plat of subdivision entitled "B.F. Gilbert's Addition to Takoma Park" as recorded in the land records of Montgomery County, Maryland, in Plat Book A on Plat 2 and dated 1886. A location map and the record plat are included in this report.

II. LIMIT OF EXISTING SITE

Based on the best available records obtained from the Maryland-National Capital Park & Planning Commission (M-NCP&PC), it appears that the site encompasses both lots 30 and 31, or portions thereof, with the building located on lot 31 and the parking for the existing fire station located on lot 30. The limits of the existing structure, paved parking areas and sidewalks are shown on the M-NCP&PC topographic map included in this report. Additional information, such as street lights, traffic lights, fences and other site features may be obtained from the site photographs which are included in this report.

III. SITE AND ADJACENT ZONING

The existing zoning for lots 29 and 30 is R-20, Multiple-Family - Medium Density Residential. The minimum lot area in the R-20 zone is 2,000 square feet per dwelling. The



existing zoning on lot 31 is R-60, Residential - One-Family with a minimum lot area of 6,000 square feet per dwelling. Lot 32 is zoned C-2, General Commercial.

Building setbacks in the R-20 zone are:

- For buildings not over 30 feet in height:
 - From street (whichever is greater):
 - From street line: 30 feet
 - From center line: 65 feet
 - From adjoining lot:
 - One side: 10 feet
 - Sum of both sides: 30 feet
 - Rear 30 feet
- For buildings over 30 feet in height, all of the setbacks noted above must be increased for each foot of height over 30 feet by an additional 3 feet.


Setbacks for main building in the R-60 zone are:

- From street: 25 feet
- From adjoining lot:
 - Side:
 - One side: 8 feet
 - Sum of both sides: 18 feet
 - Rear: 20 feet

Setbacks for all buildings in the C-2 zone are:

- Front: 10 feet
- Side and Rear:
 - If the lot adjoins a residential zone, the setback shall be not less than required in the adjoining zone.
 - In all other cases no setback is required.
 - No yard shall be less than 3 feet in width.

A fire station (publicly supported) is a permitted use in all of the above zones. The development standards including building height, green area and yard requirements, coverage limitations and other standards vary by zone.



Copies of Certified Zoning Maps and the applicable Divisions of the Montgomery County Zoning Ordinance, including off-street parking and loading, are included as part of this report.

IV. SITE TOPOGRAPHY AND PHYSICAL FEATURES

This site is the current location for the Takoma Park Fire Department. The station is a two-story building with the front of the upper level approximately at grade with Carroll Avenue. There is an existing building that abuts the property to the east.

The existing paved parking lot is located to the west of the building and the grade falls to the southern end of the property to expose the basement floor of the facility. Access to the fire house and the parking lot is from existing curb cuts on Carroll Avenue.

The rear portion of the property is currently unused. The potential for development of this area may be limited due to the steep slopes and the density of the mature trees. Further investigation and completion of a Natural Resources Inventory/Forest Stand Delineation (NRI/FSD) is necessary in order to determine the existence of any environmental buffers on the site.

A M-NCP&PC topographic map has been updated to include some of the existing features noted during the site visit. The site photographs also show existing site conditions.



V. EXISTING UTILITIES

The existing fire station is currently served by the major utilities including water, sewer, electric and telephone. Overhead electric and telephone is located along the north side of Carroll Avenue. An existing 8" water line is located in Carroll Avenue and a 2" water connection is run to the building. An existing 8" sewer is located in Carroll Avenue near lot 32 and an existing 8" sewer runs along the common lot line of lots 30 and 31 at the rear of the site, south toward Poplar Avenue. Based on the best available records from Washington Suburban Sanitary Commission (WSSC), it appears that the upper level of the building is served by an existing 6" sewer connection in Carroll Avenue. The records of WSSC do not indicate that there is sewer service to the lower level of the building. If sewer is not currently serving the basement floor, a field survey of the existing sewer line at the rear of the site would be necessary to determine if the existing sewer line could be utilized to serve the lower level of the building.

Portions of the WSSC 200' sheets and connection applications have been included as part of this report.

Adequacy of the existing utility services including electric, water and sewer to serve increased development will need to be closely coordinated with the utility companies. We are currently investigating the availability of gas service to the site and have transmitted engineering inquiries to the major utility companies in this area. We anticipate responses to our request for information over the next several weeks.



VI. HISTORIC DESIGNATION

The property is located within the boundary of the Takoma Park Historic District. The existing fire station is identified as a Contributing Historic Resource and major previous alterations have been recognized. Applicable portions of the "Approved and Adopted Amendment to the Master Plan for Historic Preservation: Takoma Park Historic District and Carroll Manor/Douglas House" are included as part of this report.

VII. DEVELOPMENT PROCESS

Development of this site will be approved by the City of Takoma Park as well as all of the Montgomery County permitting agencies through mandatory referral approval processes.

Permitting agencies and their applicable development codes, site related construction standards and regulations may vary specific to the site development or renovations proposed.

The review and permitting agencies may include (but may not be limited to):

- The City of Takoma Park
 - Planning Department
 - Public Works Department
- The Maryland-National Capital Park & Planning Commission (M-NCP&PC)
 - Development Review Division
 - Environmental Planning Division
 - Transportation Planning Division
 - Historic Preservation Division
 - Community Planning Division
- Montgomery County Department of Permitting Services (MCDPS)
 - Subdivision Development Division
 - Division of Water Resources Management
- Montgomery County Department of Public Works & Transportation (MCDPW&T)



- Washington Suburban Sanitary Commission (WSSC)
- Montgomery County Department of Environmental Protection - Division of Water and Wastewater Management (MCDEP-DWWM)
- Maryland State Highway Administration (MSHA)
- Applicable utility companies may include:
 - Pepco
 - Allegheny Power
 - Bell Atlantic of Maryland, Inc
 - MCI
 - Metropolitan Fiber Systems
 - Washington Gas Co.
 - Baltimore Gas & Electric Co.
 - Transcontinental Gas Pipe Line
 - Montgomery Cable TV
 - Maryland Cable



Consulting Engineers
Mechanical, Electrical, Plumbing

Offices in:
Washington, DC
Columbia, MD

JUL 21 1997

QUINN EVANS / ARCHITECTS

9881 Broken Land Parkway
Suite 307
Columbia, MD 21046
Baltimore: 410-381-7100
Washington: 301-621-3024
fax: 410-381-7110

July 17, 1997

TAKOMA PARK FIRE STATION

Mechanical Electrical and Plumbing Conditions

Mechanical Systems Evaluation:

Main HVAC Systems

The building heating is served by two air-conditioning units. These units are less than 4 years old and are in good condition. They could possibly be reused in the renovation if the zoning and capacities are acceptable. The Air Handling Units are Carrier #58MXA100-20 and Carrier #58MXA120. Condensers are Carrier #38TRA060310. Each system provides 5 tons of cooling capacity. The units appear to be maintained professionally. However, there are no duct smoke detectors for these units which is a code violation. New duct smoke detectors should be installed to shut down the units when a smoke condition exists.

The apparatus bays are heated with gas-fired infra-red heaters. These units are in poor condition and should be replaced. The flues for these units are also in poor condition.

The exhaust system in the apparatus bays is in poor condition and should be overhauled to restore full functionality.

The exhaust fan in the locker room should be replaced.

The female toilet room exhaust fan should be replaced.

The kitchen area has a grease hood over the cooking appliances. This hood has no fire protective extinguishing system. Consequently, the hood is not interlocked with the electric and gas supply to the appliances. This is in violation of building codes and should be upgraded immediately.

The clothes dryer vent is in poor condition and should be replaced.

Plumbing Systems Evaluation:

The fixtures and facilities in the existing toilet rooms are in good shape. However, new plumbing code requires low flow flush to minimize the use of water. New flush valves with 1.6 gallon per flush should be installed.

The service sink in the laundry area is in poor condition and should be replaced.

The ice machine needs a drain connection. The water supply to the ice machine should have a vacuum breaker in order to comply with WSSC requirements.

Plumbing fixtures in the basement need new brass.

There is a new 80 gallon Bradford White water heater in place that is in good condition. This unit should be reused in the new renovations.

The electric water cooler by the men's room is broken and should be repaired.

Electrical Systems Evaluation:

Power Distribution

The building is served with 208Y/120 Volt, 3 phase, 4 wire electrical power. The main service switch is rated at 400 amperes. The main switch feeds a wire trough that serves normal power loads and emergency power loads. Emergency power is generated by a 50 KVA diesel generator set. Normal power and emergency power are fed into an automatic transfer switch rated at 200 amps.

Most of the electrical equipment is old and in poor condition. Any renovations should take advantage of upgrading the electrical power distribution system entirely.

Lighting

The existing lighting throughout the building is primarily fluorescent fixtures. These fixtures are old and in poor condition with many cracked and missing lenses. The fixtures are not the energy saving type and use more energy than is necessary by today's standards. The ballasts may have PCB's which is hazardous. Professional tests should be conducted to determine the extent, if any, of these materials.

The lighting throughout the facility should be upgraded.

Fire Alarm System

The existing fire alarm is a new Notifier system which appears to be in good condition. It also appears to be in compliance with current ADA requirements and should be reused in the new renovation if possible.

Some individual devices should be checked for proper operation and repaired as necessary. In particular, the device outside the locker room should be checked.

The new hood protection system, when installed should be tied into the fire alarm system.

Mechanical, Electrical, And Plumbing New Work:

Scheme A:

Main HVAC: Provide 3 new systems all with individual zone dampers. These systems will be gas furnaces/air handlers with separate electric DX condensers. The two existing systems could be reused for two zones.

Scheme B:

Main HVAC: Provide 4 new systems all with individual zone dampers. These systems will be gas furnaces/air handlers with separate electric DX condensers. The two existing systems could be reused for two zones.

Both schemes A & B:

1. Apparatus Bay: Provide new gas fired infrared heaters, and dedicated engine exhaust system serving up to 6 engines.
2. Toilet exhaust: Provide new exhaust system in all toilets and locker rooms.
3. Kitchen ventilation: Provide new hood system with fire suppression system.
4. Kitchen equipment: Provide all new appliances.
5. Plumbing piping and fixtures: Provide all new piping and fixtures.
6. Sprinkler system: Provide new sprinkler system.
7. Electrical power distribution: Provide new power distribution equipment with upgraded service.
8. Lighting: Provide all new energy savings lighting fixtures.
9. Fire alarm system: Reuse existing control panel and annunciators with additional new annunciators and detectors.

**Takoma Community
Development Corporation**

KENT RICHARD ABRAHAM
TREASURER AND MEMBER OF THE BOARD

7401 CARROLL AVENUE
TAKOMA PARK, MARYLAND 20912 -5727

(301) 270-6981

FAX (301) 270-1978
CELL/PAGER (301) 996-6981
INTERNET: ABRAHAM@LASER.NET

The City Council of Takoma Park
7500 Maple Avenue
Takoma Park, Maryland 20912

July 20, 1997

Re: Fire Station Feasibility Study

Dear Council Members:

I have been working with the City's consultants to develop the Feasibility Study for the Fire Station Redevelopment, as Project Manager for the Takoma Community Development Corporation. Unfortunately, a prior commitment prevents me from joining in the presentation of the final study to the Council, but I wanted to write in support of both the process and the results.


The charge for the Project Team was to examine the possible fit of a modern fire station on the current site, and Neil Shorb of Montgomery County Fire and Rescue Commission held our team strictly to the new standards of the county. We were also charged with developing reasonable and feasible alternatives for redevelopment, and Larry White of Montgomery County Department of Public Works held the Project Team tightly to that standard as well. The Takoma Park Volunteer Fire Department worked hard with the Team to ensure that we were seeing things clearly, and community groups like Historic Takoma and others added their valuable input.

The result, I believe, is a pair of real alternative solutions to redeveloping the fire station on its current site, and both are capable of achieving functioning and modern facilities. It is clear, we believe, that the existing facility CAN be maintained in its present position in Takoma Park, where it is a major landmark in our community.

It is TCDC's fervent hope that the momentum we've built in this study can push development of the new fire station along the lines of the alternatives we've identified as soon as possible.

We've enjoyed participating in the process, and we believe that the Project Team has done an exemplary job of planning for our community.

Very truly yours,

A handwritten signature in black ink, appearing to read "Kent Richard Abraham". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Kent Richard Abraham AIA



June 30, 1997

Historic Takoma

Mr. Kent Abraham
Takoma Community Development Corporation
7401 Carroll Avenue
Takoma Park, MD 20912

Dear Kent:

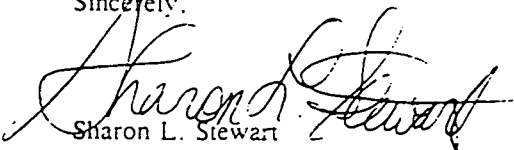
Thank you for meeting with Historic Takoma on June 18th and explaining the current status of the Takoma Park Fire Station Project. We realize that the focus of this phase of the study is on the feasibility of renovation and expansion on the existing site, and it is not on the actual design of the building. As one of the stakeholders involved in this project, however, we would like to take this opportunity to present our views on both structural and design issues that should be considered as budgetary decisions are made:

- The historic fabric of the remaining structure is minimal because of the extensive renovation that occurred in the 50's. The location itself is historic, and for this reason it is important that the fire station remains where it is currently located.
- Much of the original stonework has been destroyed, and it is therefore of utmost importance to salvage the remaining stones and incorporate them into the facade design.
- An ABA configuration is extremely important and in keeping with the original design of the structure.
- The facade design should be derivative of the original building even if it cannot be an actual restoration, and it should include such features as crenelated towers.
- The original fireplace should remain in a prominent location in the day room where it can be seen and appreciated by the community.

Historic Takoma supports the plan to acquire the adjacent property to both widen the station and provide a parking area for the firefighters. The widening of the building appears to be critical to both accommodate existing equipment and provide a safe working environment for our firefighters.

In closing, we would like to stress that a design that is derivative of the original fire station will give back to the community a lost landmark in some measure. The original landmark symbolized the dedication of the volunteer firefighters who built it. The fire station was once a focal point for community activities, and it continues to provide an important impression of our historic area because of its strategic location. We look forward to working with you and other stakeholders in this most important project.

Sincerely,


Sharon L. Stewart
President

*Historic Takoma, Inc., P.O. Box 5781, Takoma Park, Maryland 20913
Incorporating Takoma Park Historical Society*

1120 HT

Please FAX to

TED KOWALAK

At (301) 270-8794

JKW

Introduced by: Councilmember Rubin

RESOLUTION #1997- 51

**In Support of Renovating/Expanding the Takoma Park Fire Station At The Current Site
To Meet Montgomery County Class II Standards**

WHEREAS, the City of Takoma Park contracted with the firm of Quinn Evans Architects to complete a feasibility study to evaluate renovating and/or expanding the Takoma Park Fire Station to meet County Fire and Rescue Commission standards and the needs of the fire station volunteers; and

WHEREAS, on Monday, July 28th, Quinn Evans presented their final report to the Council and produced detailed proposals for two renovation/expansion schemes; and

WHEREAS, the Quinn Evans report indicated that the station can be renovated at the existing site to meet the County and volunteer requirements for a Class II station and the construction costs for such a project would fall below the Montgomery County Department of Facilities and Services construction cost estimates for Class II stations of 4 million dollars; and

WHEREAS, in the preparation of the report, Quinn Evans worked closely with five project stakeholders representing Montgomery County Fire and Rescue Commission, the County Department of Facilities and Services, Takoma Park Volunteer Fire Department, City Public Works and Planning staff and the Takoma Community Development Corporation; and

WHEREAS, all stakeholders approved of the findings of the feasibility study and favored the renovation scheme B which detailed a one story fire station, recalling the 1928 facade of the original fire station. This option would require the purchase of two adjacent residential lots; and

WHEREAS, the City Council has received letters of support for scheme B from Historic Takoma, Inc. and the Takoma Community Development Corporation; and

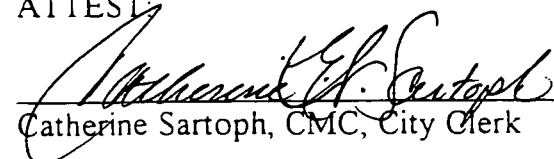
WHEREAS, a Public Hearing on the feasibility study was held on September 22, 1997 to allow for additional public comment on the study.

NOW THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF TAKOMA PARK, MARYLAND THAT the City Council accepts the findings of the feasibility study completed by Quinn Evans Architects which confirms that a state of the art fire station can be cost effectively created by renovation and expansion of the existing fire station; and

BE IT FURTHER RESOLVED THAT the City Council prefers the renovation/expansion option detailed in scheme B of the feasibility study.

ADOPTED this 22nd day of September, 1997.

ATTEST


Catherine Sartoph, CMC, City Clerk

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7201 Carroll Avenue Meeting Date: 12/1/99
Applicant: Montgomery County Report Date: 11/24/99
(Perry Johnsson, Agent)
Resource: Takoma Park Historic District Public Notice: 11/17/99
Review: PRELIMINARY CONSULTATION Tax Credit: No
Case Number: N/A Staff: Robin Ziek

PROPOSAL: Alter/demolish existing fire station
Demolish one or more adjacent buildings

RECOMMEND:

11/17/99

TO THE COMMISSION:

The City of Takoma Park sponsored a feasibility study in 1997 to evaluate the potential for modernization of the existing Fire Station at the existing location. As this is a lengthy report, we are sending it to you now, with the first noticing of the upcoming Agenda.

Main issues are:

- 1) Alteration or Demolition of existing Fire Station
- 2) Acquisition of one or two adjacent residences (to the right) for demolition and use of those lots for the expansion of the Fire Station and for parking.
- 3) Consideration of acquisition and demolition of adjacent commercial structure (to the left) for expansion of the Fire Station.
- 4) Design of new Fire Station.

PLEASE GO SEE THE SITE.

Thanks - Robin

37-3 TAKOMA PC FIRE STATION

INSERT EMULSION SIDE DOWN

STYLE NO. 2x2-20B

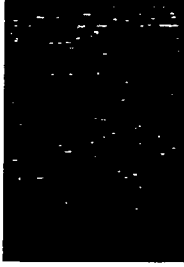
FILE NO.:

11-29-99



TAKOMA PARK

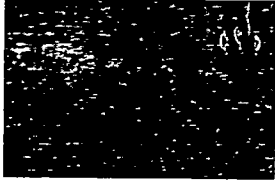
11-29-99



TAKOMA PARK

TAKOMA PARK

11-29-99



11-29-99



TAKOMA PARK

11-29-99



TAKOMA PARK

11-29-99



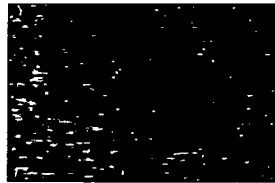
TAKOMA PARK

11-29-99



TAKOMA PARK

11-29-99



TAKOMA PARK

11-29-99



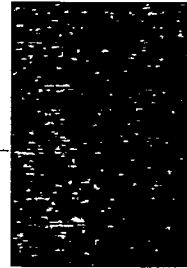
TAKOMA PARK

11-29-99



TAKOMA PARK

11-29-99



TAKOMA PARK

11-29-99



11-29-99



11-29-99



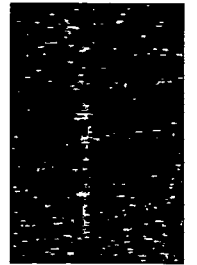
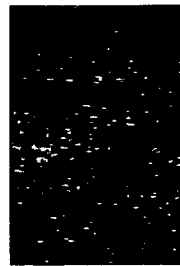
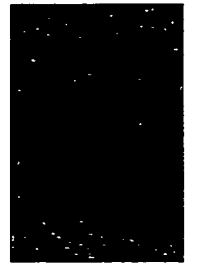
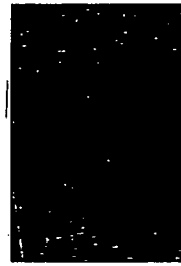
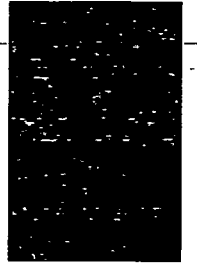
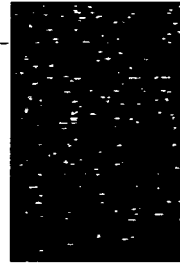
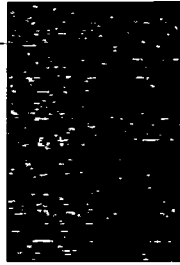
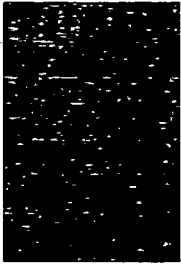
DATE

2100000000



TITLE

Made in U.S.A.



R. Michael Hackley, AIA
Architect/Principal

Architecture
Space Planning
and Interior Design Solutions

Michael Hackley Architects

4315 Fifteenth Street NW
Washington, DC 20011
202.882.9800 fax 202.882.9801

Bignell

Watkins

Hasser

A R C H I T E C T S P A

Gregory S. Gilbert

Senior Associate

2661 RIVA ROAD, SUITE 1030 • ANNAPOLIS, MARYLAND 21401

Annapp. 410-224-2727 • Balto. 410-841-6595

DC Metro 301-261-8228 • Fax 410-224-4443



PERRY JOHNSON
Capital Projects Manager



Dept. of Public Works and Transportation
Capital Projects Management Section
110 N. Washington Street, 3rd Floor
Rockville, Maryland 20850
~~(301) 217-6120~~ FAX (301) 217-6003

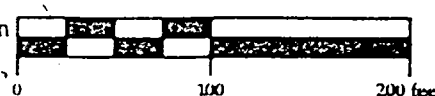


240.777.6120



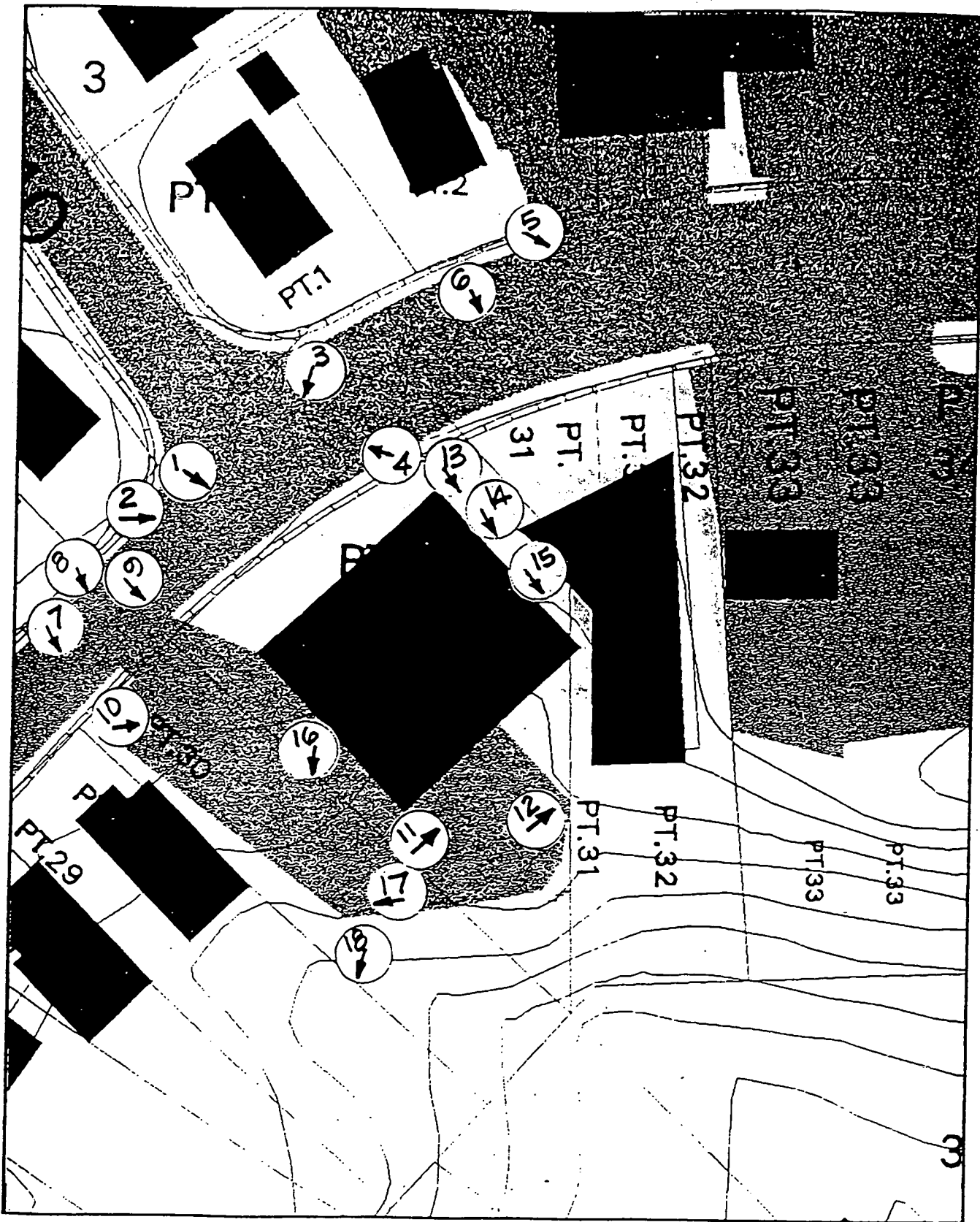
TAKOMA PARK FIRE STATION





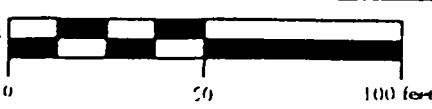


 Maryland-National Capital Park and Planning Commission
 Montgomery County Park and Planning Department

TAKOMA PARK FIRE STATION



 Maryland-National Capital Park and Planning Commission
 Montgomery County Park and Planning Department

SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814
301 718 8113 FAX 301 718 2243

PROJECT TAKOMA PARK FIRE STATION NO. 2

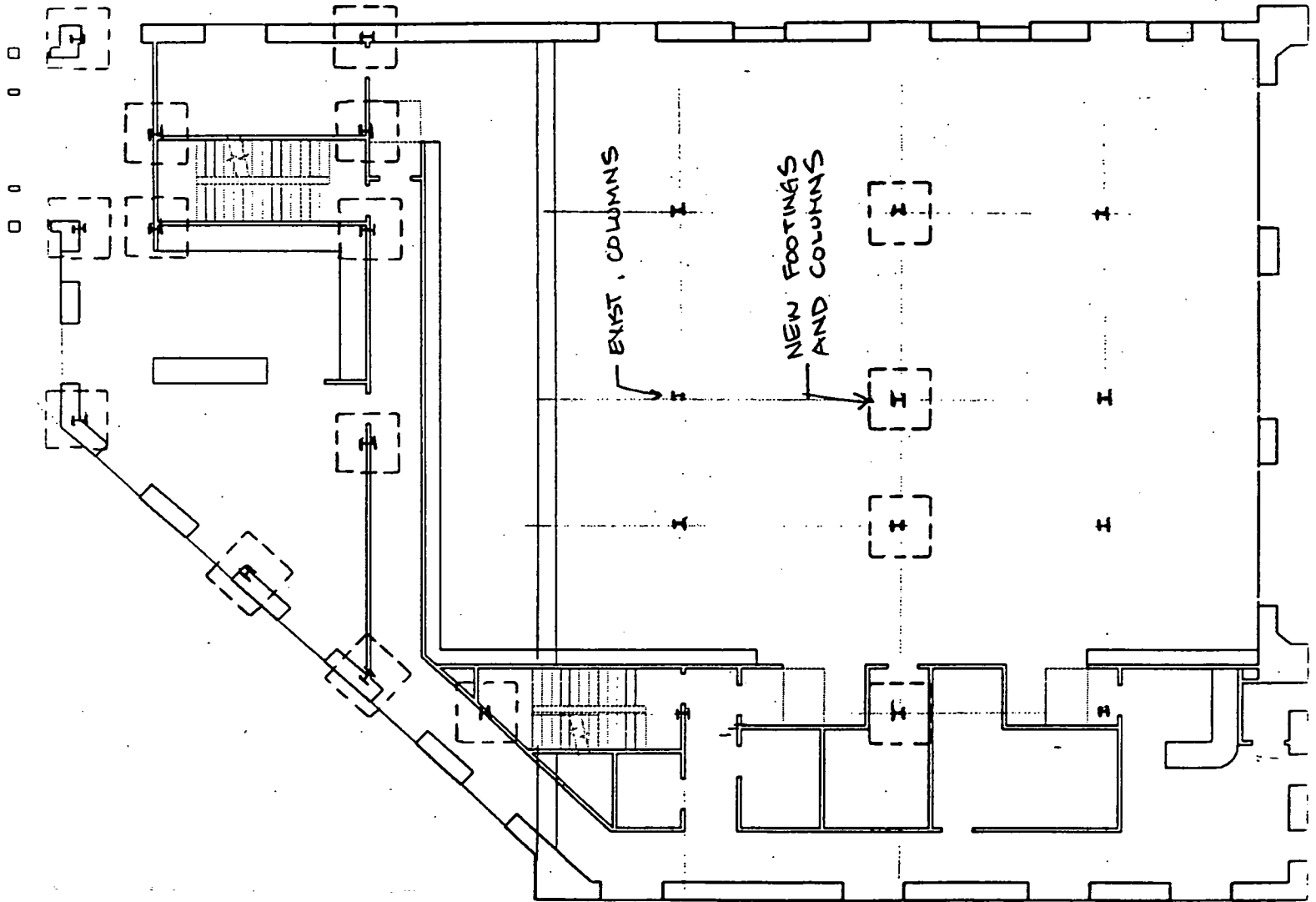
BY *SL* DATE *7.3.97*

CHECKED _____ DATE _____

FOUNDATION PLAN

SHEET *S-A-1*

NORTH
→



SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814

301 718 8113 FAX 301 718 2243

PROJECT TAYLOR PARK FIRE STATION NO. 2

BY SC

DATE 7.3.97

CHECKED

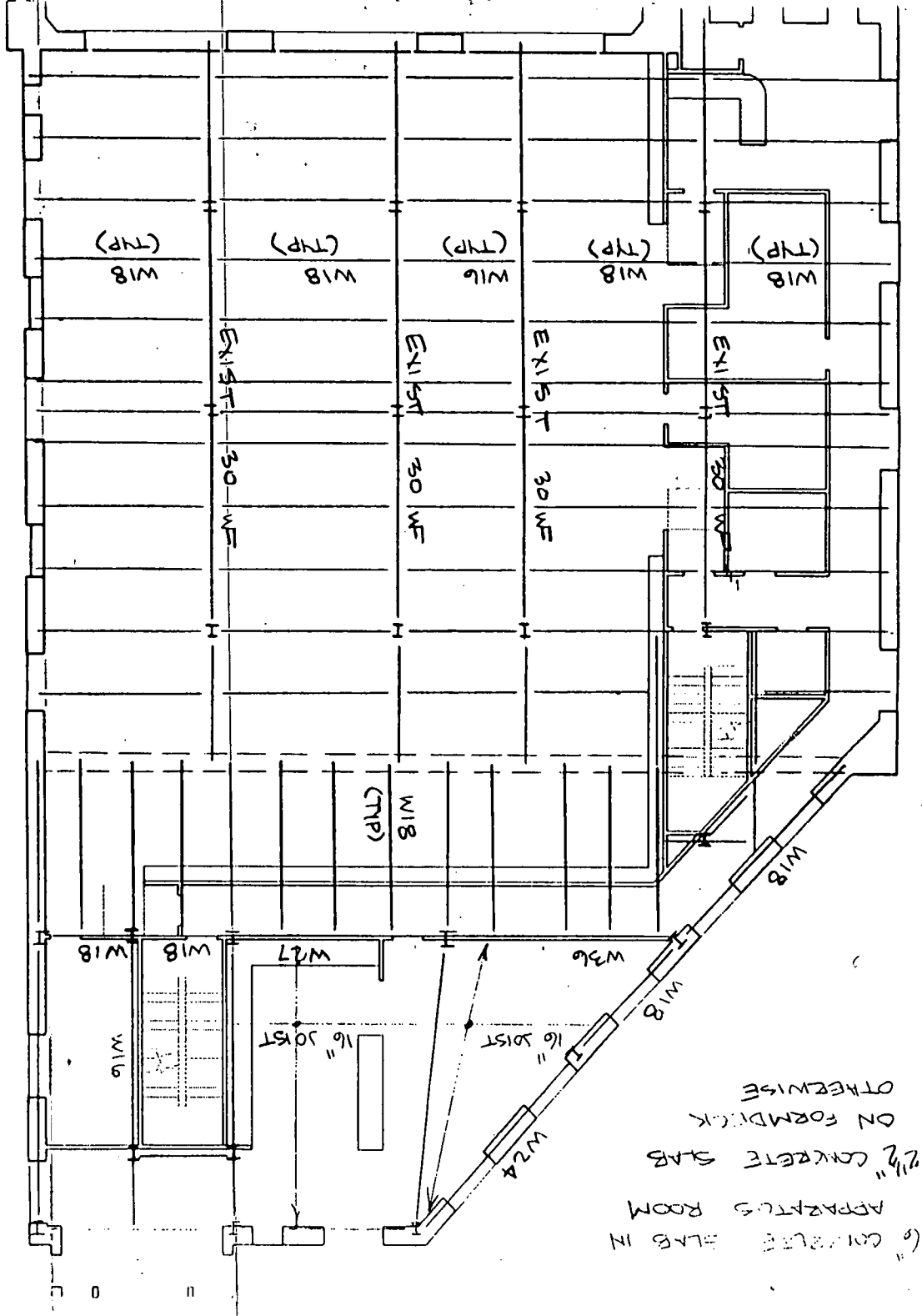
DATE

FIRST FLOOR FRAMING

SHEET

S-A-2

NORTH
↑



SHEMRO

ENGINEERING
ASSOCIATES

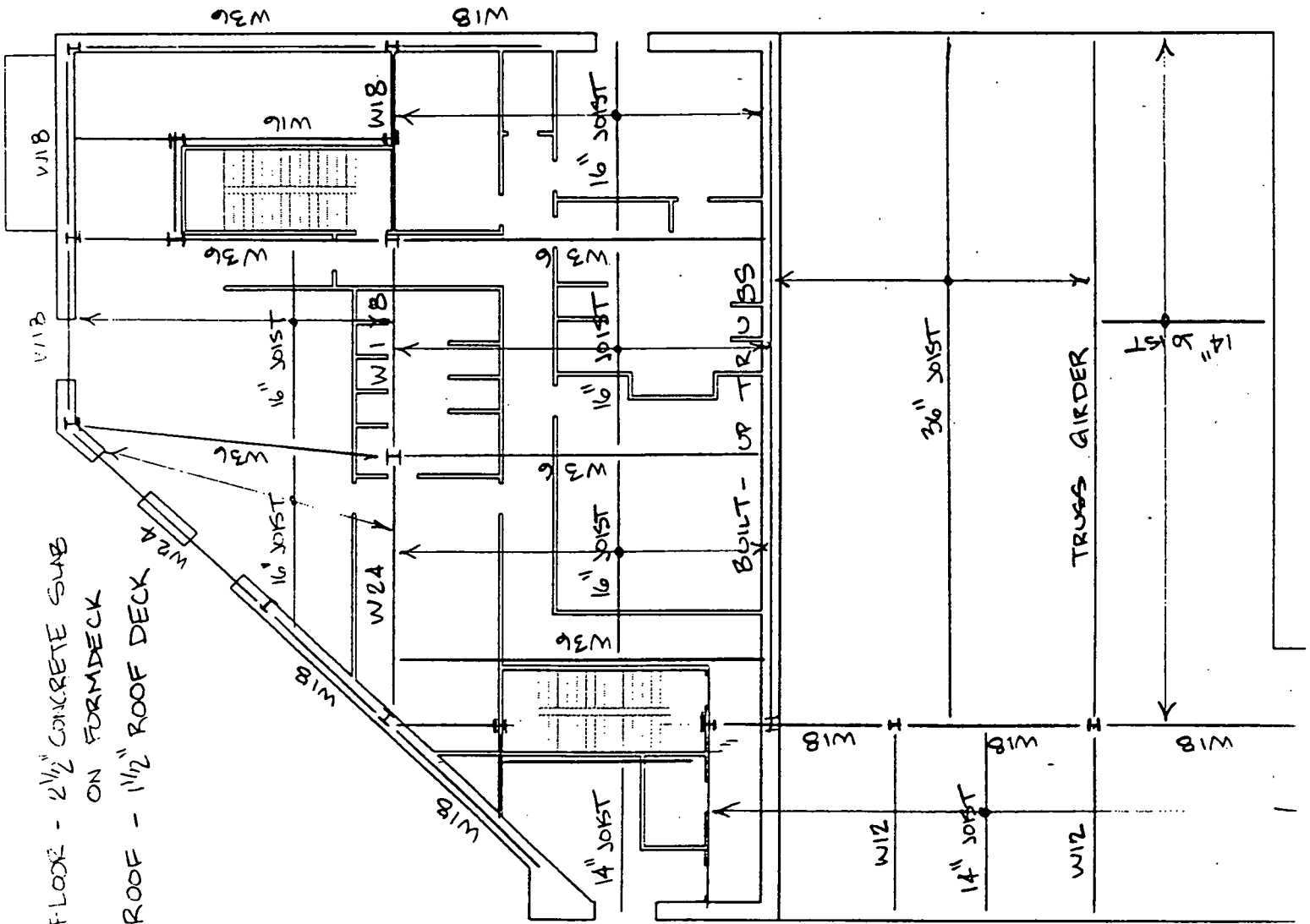
4823 Fairmont Avenue, Suite A
Bethesda, MD 20814
301 718 8113 FAX 301 718 2243

PROJECT TAKOMA PARK FIRESTATION NO.2

BY *SC* DATE 7.3.97
SECOND FLOOR FRAMING
ROOF FRAMING

CHECKED _____ DATE _____
SHEET S-A-3

NORTH
→



SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814

301 718 8113 FAX 301 718 2243

PROJECT TAKOMA PARK FIRESTATION NO.2

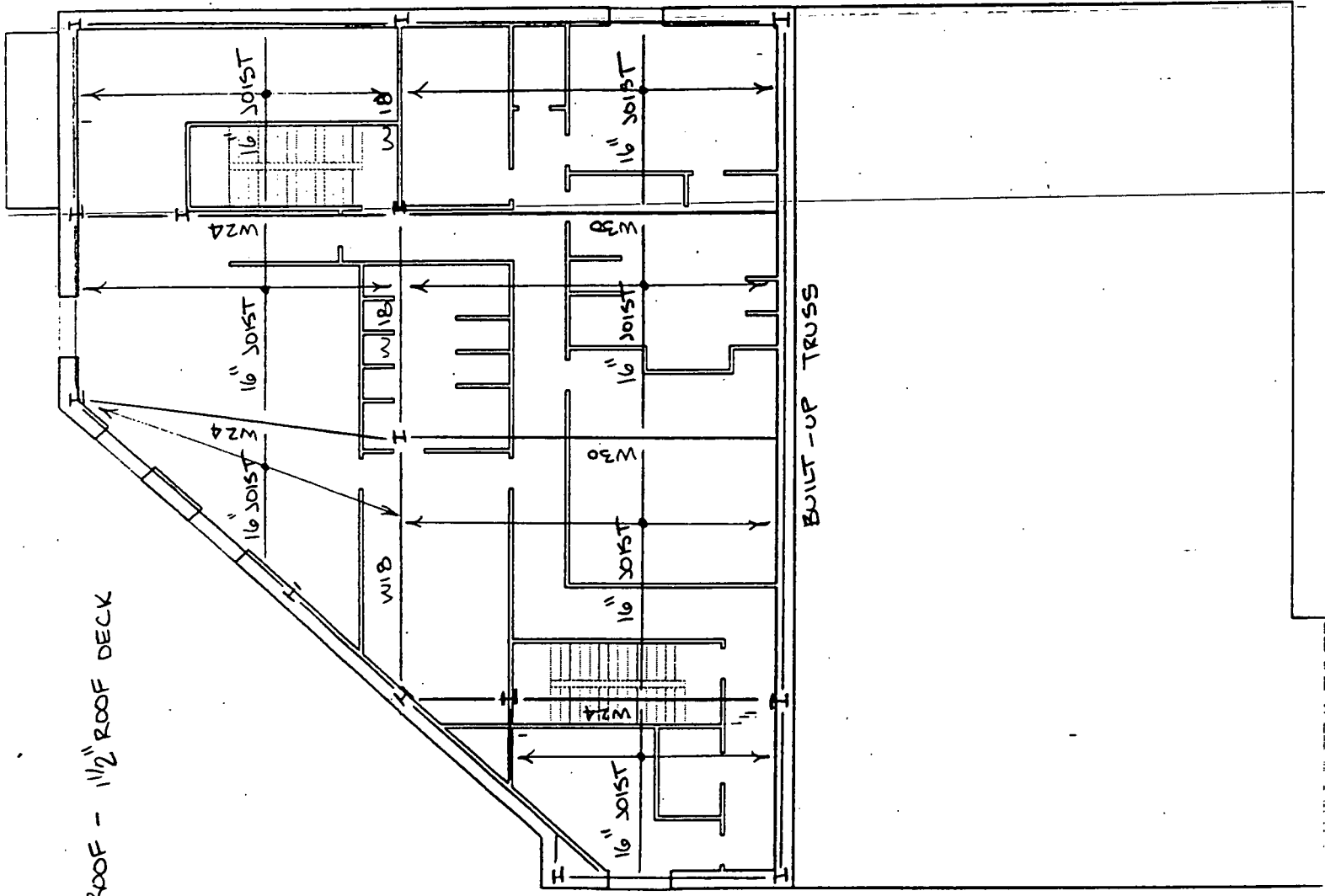
BY SL DATE 7.3.97

CHECKED DATE

ROOF FRAMING PLAN

SHEET S-A-4

NORTH
→



ROOF - 1 1/2" ROOF DECK

BUILT-UP TRUSS

SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814

301 718 8113 FAX 301 718 2243

PROJECT **TALOMA PARK FIRESTATION NO. 2**

BY **SC**

DATE **7.3.97**

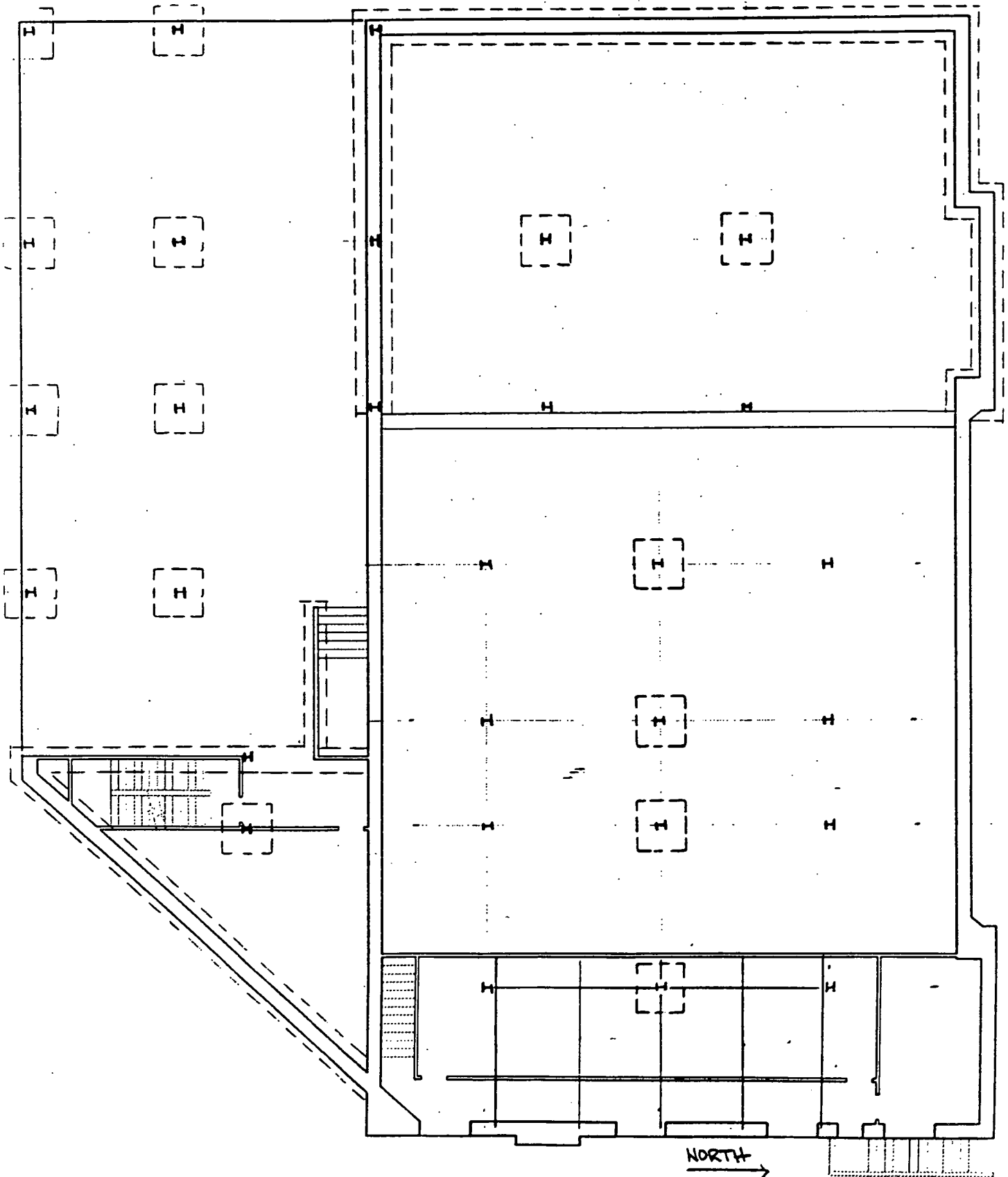
CHECKED

DATE

FOUNDATION PLAN

SHEET

S-B-1



SHEMRO

ENGINEERING
ASSOCIATES

4823 Fairmont Avenue, Suite A
Bethesda, MD 20814

301 718 8113 FAX 301 718 2243

PROJECT TAKOMA PARK FIRE STATION NO. 2

BY SC

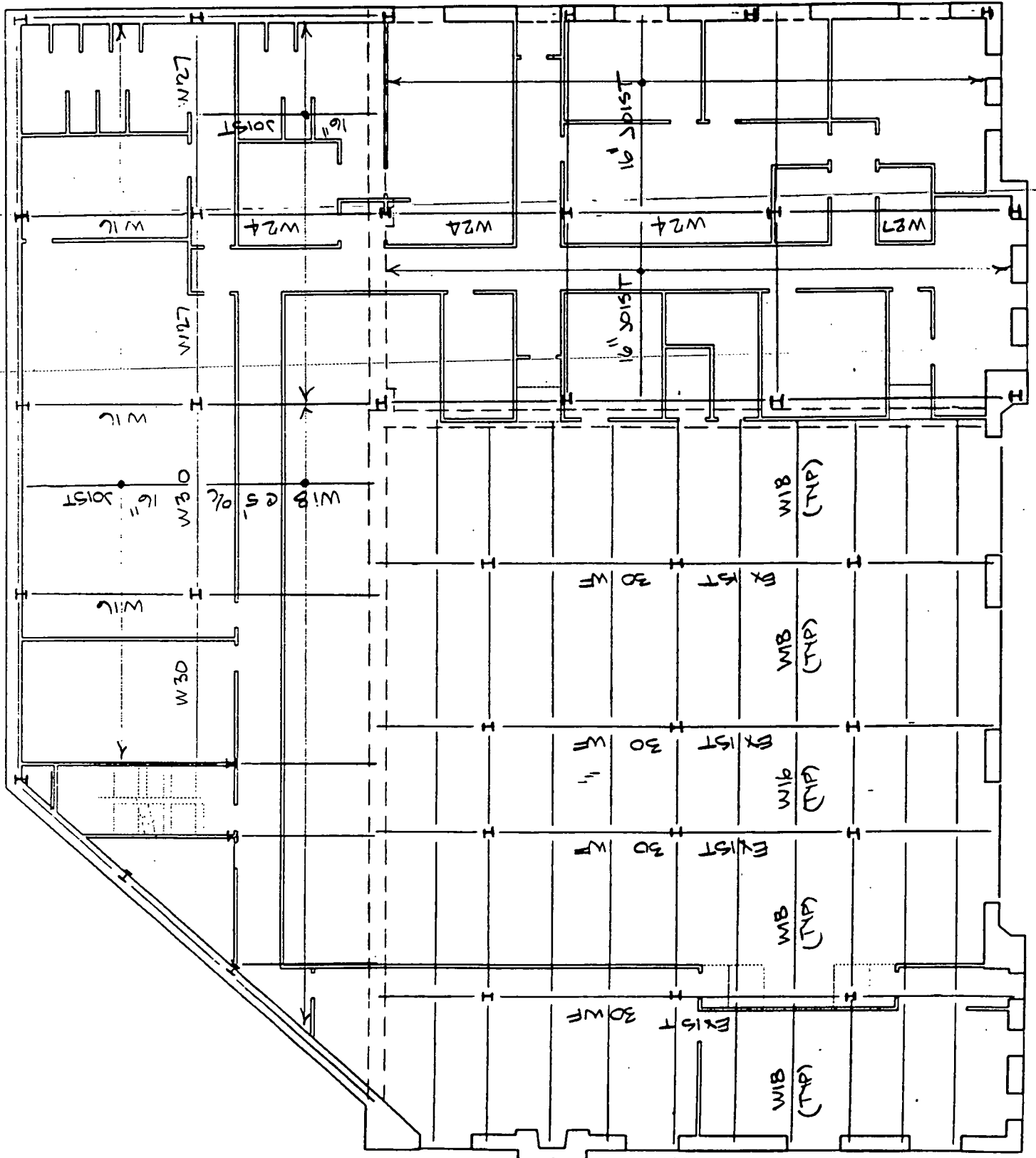
DATE 7.3.97

CHECKED

DATE

FIRST FLOOR FRAMING

SHEET S-B-2



NORTH →



Lolederman Associates, Inc.

Engineers
Planners
Surveyors

**TAKOMA PARK FIRE STATION
FEASIBILITY STUDY**

1390 Piccard Drive
Rockville, MD 20850
(301) 948-2750 • Fax: (301) 948-9067



TAKOMA PARK FIRE STATION

FEASIBILITY STUDY - OUTLINE

- I. SITE LOCATION
- II. LIMIT OF EXISTING SITE
- III. SITE AND ADJACENT ZONING
- IV. SITE TOPOGRAPHY AND PHYSICAL FEATURES
- V. EXISTING UTILITIES
- VI. HISTORIC DESIGNATION
- VII. DEVELOPMENT PROCESS

Prepared by LOIEDERMAN ASSOCIATES, INC

June 1997



Consulting Engineers
Mechanical, Electrical, Plumbing

Offices in:
Washington, DC
Columbia, MD

JUL 21 1997

QUINN EVANS / ARCHITECTS

9881 Broken Land Parkway
Suite 307
Columbia, MD 21046

Baltimore: 410-381-7100
Washington: 301-621-3024
fax: 410-381-7110

July 17, 1997

TAKOMA PARK FIRE STATION

Mechanical Electrical and Plumbing Conditions

Mechanical Systems Evaluation:

Main HVAC Systems

The building heating is served by two air-conditioning units. These units are less than 4 years old and are in good condition. They could possibly be reused in the renovation if the zoning and capacities are acceptable. The Air Handling Units are Carrier #58MXA100-20 and Carrier #58MXA120. Condensers are Carrier #38TRA060310. Each system provides 5 tons of cooling capacity. The units appear to be maintained professionally. However, there are no duct smoke detectors for these units which is a code violation. New duct smoke detectors should be installed to shut down the units when a smoke condition exists.

The apparatus bays are heated with gas-fired infra-red heaters. These units are in poor condition and should be replaced. The flues for these units are also in poor condition.

The exhaust system in the apparatus bays is in poor condition and should be overhauled to restore full functionality.

The exhaust fan in the locker room should be replaced.

The female toilet room exhaust fan should be replaced.

The kitchen area has a grease hood over the cooking appliances. This hood has no fire protective extinguishing system. Consequently, the hood is not interlocked with the electric and gas supply to the appliances. This is in violation of building codes and should be upgraded immediately.

The clothes dryer vent is in poor condition and should be replaced.

Plumbing Systems Evaluation:

The fixtures and facilities in the existing toilet rooms are in good shape. However, new plumbing code requires low flow flush to minimize the use of water. New flush valves with 1.6 gallon per flush should be installed.

The service sink in the laundry area is in poor condition and should be replaced.

The ice machine needs a drain connection. The water supply to the ice machine should have a vacuum breaker in order to comply with WSSC requirements.

Plumbing fixtures in the basement need new brass.

There is a new 80 gallon Bradford White water heater in place that is in good condition. This unit should be reused in the new renovations.

The electric water cooler by the men's room is broken and should be repaired.

Electrical Systems Evaluation:

Power Distribution

The building is served with 208Y/120 Volt, 3 phase, 4 wire electrical power. The main service switch is rated at 400 amperes. The main switch feeds a wire trough that serves normal power loads and emergency power loads. Emergency power is generated by a 50 KVA diesel generator set. Normal power and emergency power are fed into an automatic transfer switch rated at 200 amps.

Most of the electrical equipment is old and in poor condition. Any renovations should take advantage of upgrading the electrical power distribution system entirely.

Lighting

The existing lighting throughout the building is primarily fluorescent fixtures. These fixtures are old and in poor condition with many cracked and missing lenses. The fixtures are not the energy saving type and use more energy than is necessary by today's standards. The ballasts may have PCB's which is hazardous. Professional tests should be conducted to determine the extent, if any, of these materials.

The lighting throughout the facility should be upgraded.

Fire Alarm System

The existing fire alarm is a new Notifier system which appears to be in good condition. It also appears to be in compliance with current ADA requirements and should be reused in the new renovation if possible.

Some individual devices should be checked for proper operation and repaired as necessary. In particular, the device outside the locker room should be checked.

The new hood protection system, when installed should be tied into the fire alarm system.

Mechanical, Electrical, And Plumbing New Work:

Scheme A:

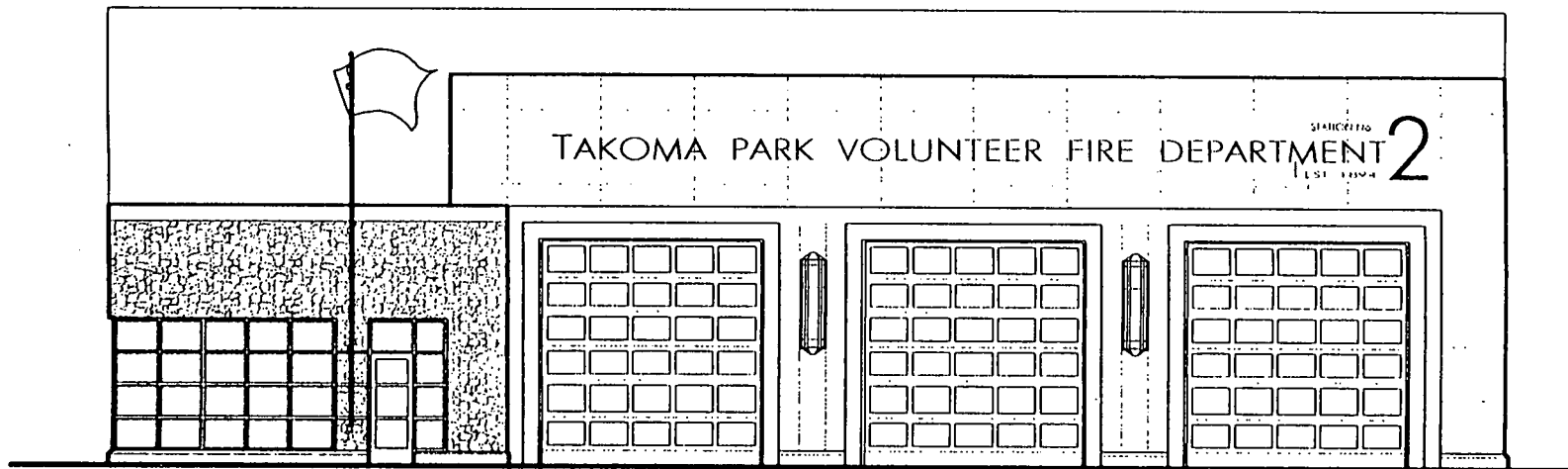
Main HVAC: Provide 3 new systems all with individual zone dampers. These systems will be gas furnaces/air handlers with separate electric DX condensers. The two existing systems could be reused for two zones.

Scheme B:

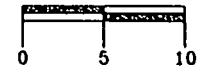
Main HVAC: Provide 4 new systems all with individual zone dampers. These systems will be gas furnaces/air handlers with separate electric DX condensers. The two existing systems could be reused for two zones.

Both schemes A & B:

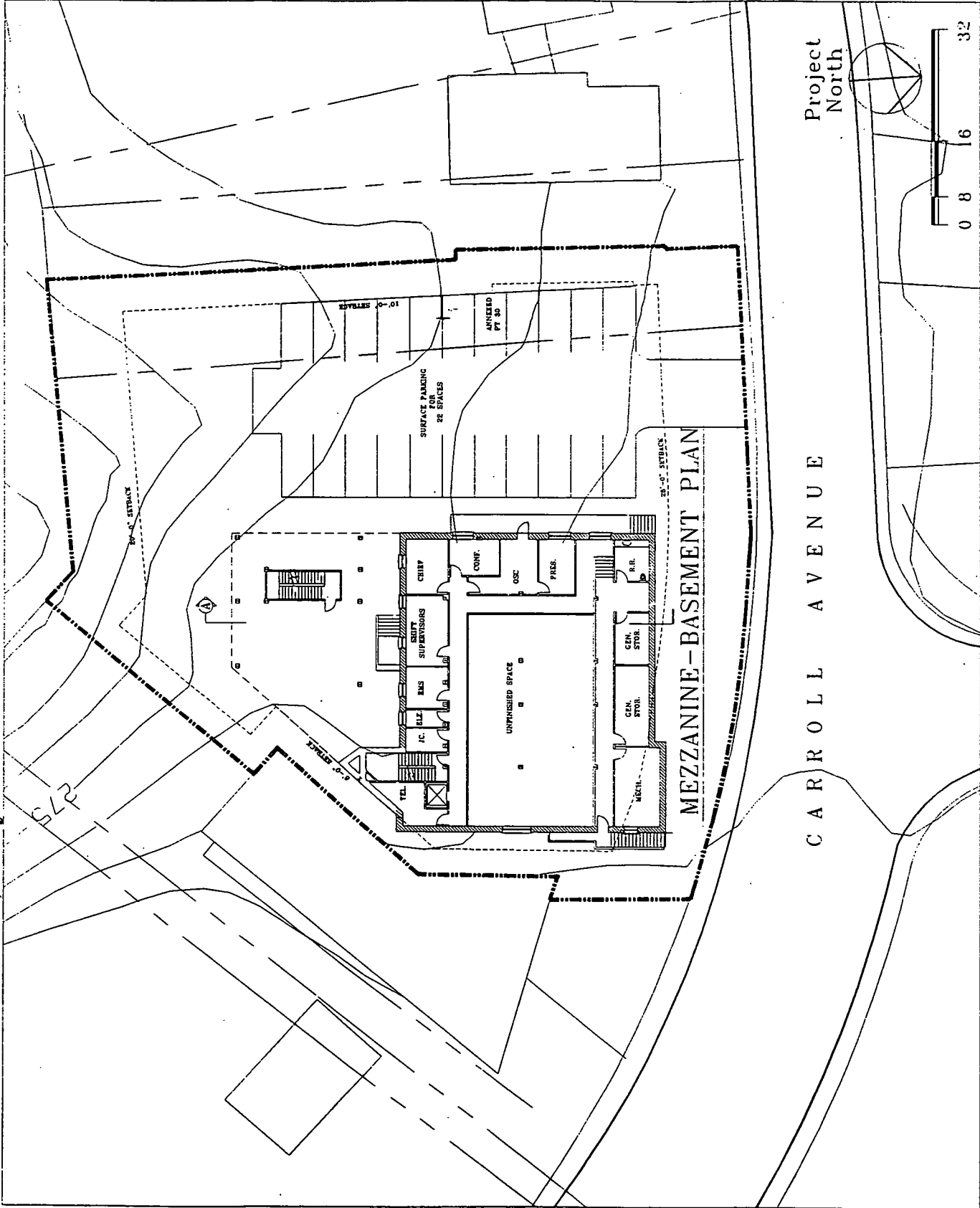
1. Apparatus Bay: Provide new gas fired infrared heaters, and dedicated engine exhaust system serving up to 6 engines.
2. Toilet exhaust: Provide new exhaust system in all toilets and locker rooms.
3. Kitchen ventilation: Provide new hood system with fire suppression system.
4. Kitchen equipment: Provide all new appliances.
5. Plumbing piping and fixtures: Provide all new piping and fixtures.
6. Sprinkler system: Provide new sprinkler system.
7. Electrical power distribution: Provide new power distribution equipment with upgraded service.
8. Lighting: Provide all new energy savings lighting fixtures.
9. Fire alarm system: Reuse existing control panel and annunciators with additional new annunciators and detectors.



ENTRY ELEVATION — SCHEME 'A'



TAKOMA PARK FIRE STATION FEASIBILITY STUDY
Takoma Park, Maryland



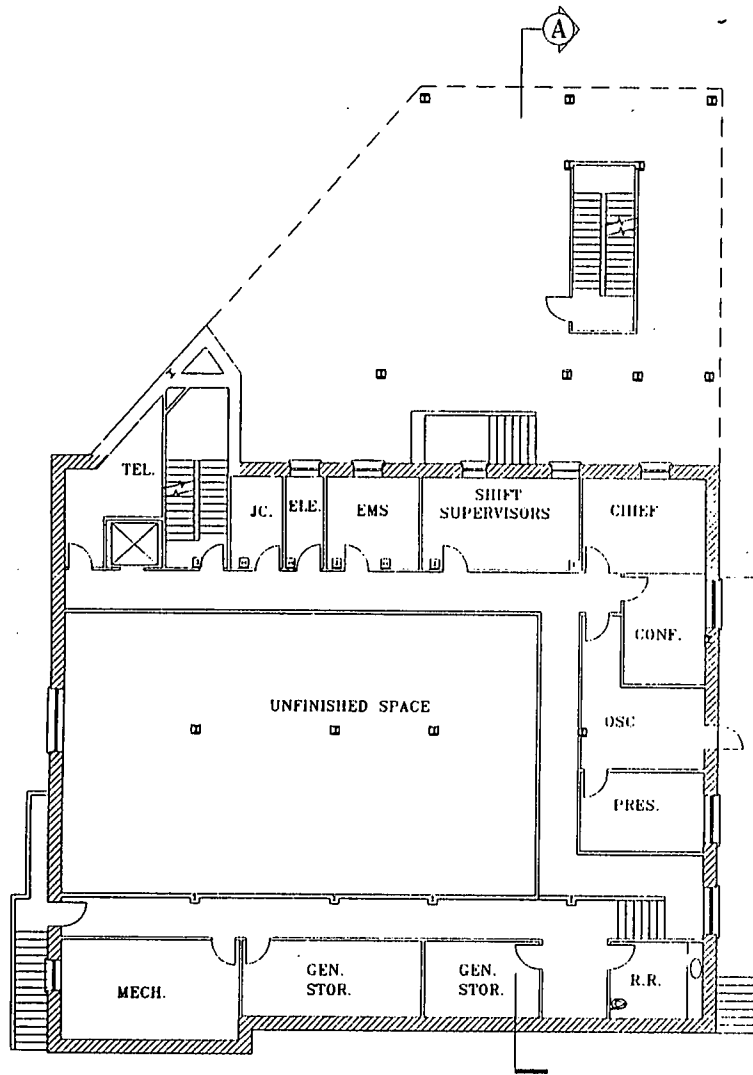
SCHEME A:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBATO ARCHITECTS


TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland

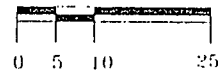


AREA CALCULATIONS

ADMINISTRATION	1150 SQ. FT.
MAINTENANCE	510 SQ. FT.
GENERAL	385 SQ. FT.
<hr/>	
TOTAL (COMPONENTS)	2045 SQ. FT.
<hr/>	
CIRCULATION	1642 SQ. FT.
<hr/>	
TOTAL (BSMNT./MEZZ.)	3687 SQ. FT.

 EXISTING STRUCTURE TO REMAIN

MEZZANINE-BASEMENT FLOOR PLAN



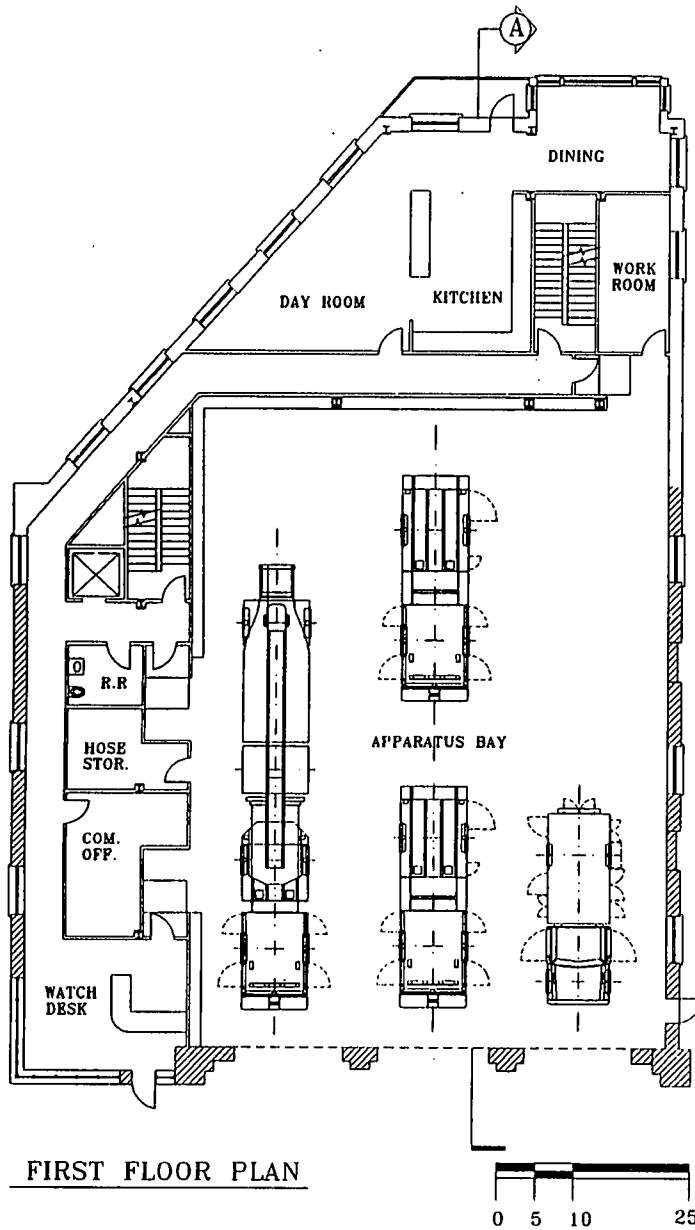
SCHEME A:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland



AREA CALCULATIONS

APPARATUS SPACE	4861 SQ. FT.
LIVING AREA	1210 SQ. FT.
PUBLIC AREA	376 SQ. FT.
ADMINISTRATION	218 SQ. FT.
GENERAL	152 SQ. FT.
MAINTENANCE	317 SQ. FT.
<hr/>	
TOTAL (COMPONENTS)	7134 SQ. FT.
<hr/>	
CIRCULATION	1512 SQ. FT.
<hr/>	
TOTAL (FIRST FL.)	8646 SQ. FT.

 EXISTING STRUCTURE TO REMAIN

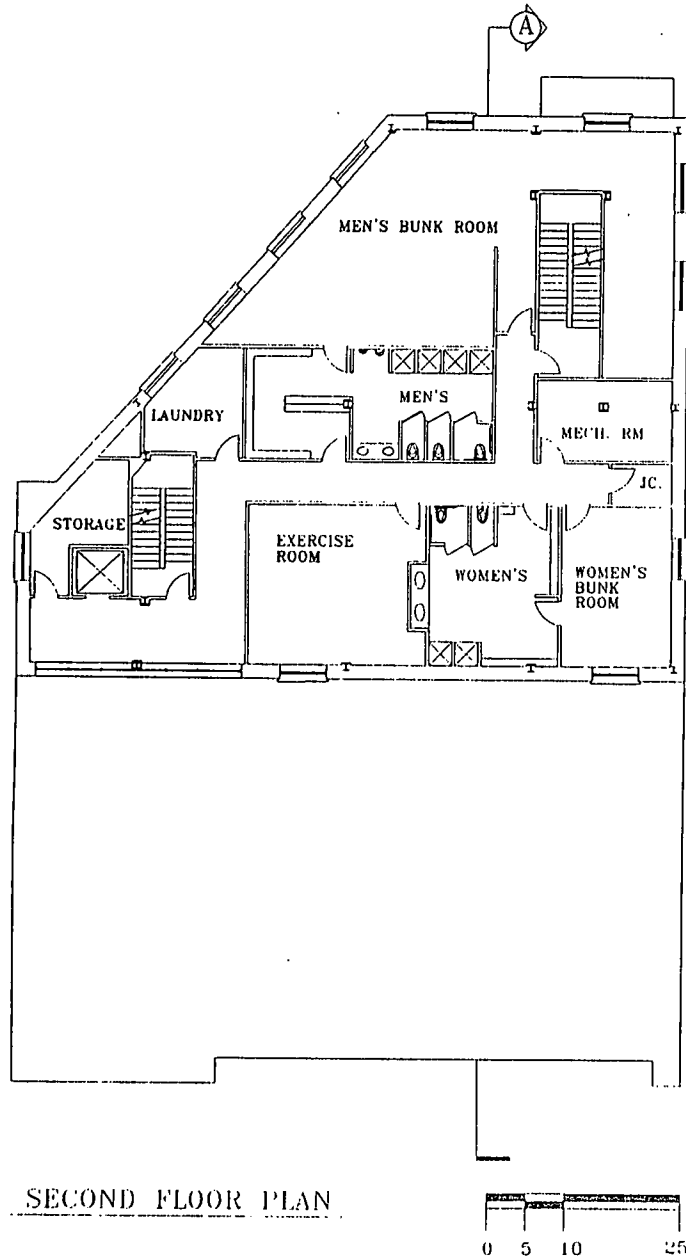
SCHEME A:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland



AREA CALCULATIONS

BUNKROOM	2485 SQ. FT.
LIVING AREA	440 SQ. FT.
GENERAL	167 SQ. FT.
MAINTENANCE	203 SQ. FT.
<hr/>	
TOTAL (COMPONENTS)	3295 SQ. FT.
CIRCULATION	1157 SQ. FT.
<hr/>	
TOTAL (SECOND FL.)	4452 SQ. FT.

 EXISTING STRUCTURE
TO REMAIN

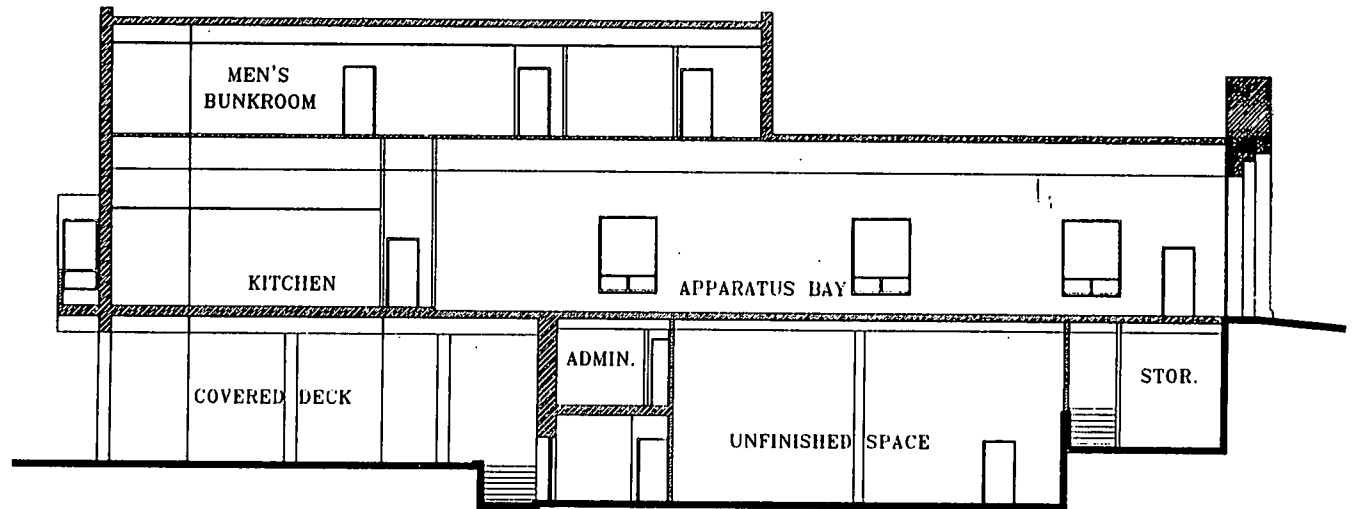
SCHEME A:

Class II Station with Land Acquisition

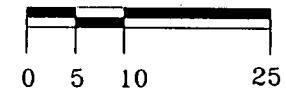
QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland



SECTION A



SCHEME A:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Scheme B Concept Design (One Story Scheme)

Scheme B results in a fire station with the primary function at one level. General Storage and MEP spaces are located at the Basement level; all other functions are provided at the First Floor Level.

Construction of Scheme B requires complete demolition of the existing building interior except for the main structural members supporting the apparatus slab. Except for the east wall including the grand fire place, and a portion of the front facade adjacent to the commercial warehouse, the existing building envelope is demolished down to grade, and serves as footing component in the new building. The new building sets directly above the existing with expansion provided at the rear and at the west side.

The new facade is designed to recall the character of the original 1928 facade shown on the cover of this report. An A - B - A - c configuration is proposed; the "A" elements are built of field stone in a form derived directly from historic photographs, the "B" portion of the facade is to be built of brick with limestone trim in a form which is derived from the historic photograph, but is modified to accommodate the larger size of the apparatus bay doors. While substantially new, this station preserves the original fire place, a portion of the original facade, and introduces a new design which respects the memory of the original building.

Drawings

Attached are Elevations, Plans, and Section Drawings which describe Scheme B.

APPENDIX

- COST ESTIMATE - SCHEMES A & B
Prepared by: R.W. Brown & Associates
- PROGRAM OF REQUIREMENTS - PROTOTYPE FIRESTATIONS CLASS I, II, III, IV
Prepared by: Montgomery County Department of Public Works and Transportation
Division of Facilities and Services, Capital Projects Management Section and the
Montgomery County Fire and Rescue Commission
- TAKOMA PARK FIRE STATION FEASIBILITY STUDY (Site Issues)
Prepared by: Loiederman Associates, Inc.
- TAKOMA PARK FIRE STATION STRUCTURAL EVALUATION
Prepared by: Shemro Engineering Associates
- TAKOMA PARK FIRE STATION MEP SYSTEMS EVALUATION
Prepared by: Allen And Shariff Corporation
- LETTER OF SUPPORT - 30 June 1997
Prepared by: Historic Takoma

COST ESTIMATE

FEASIBILITY STUDY - 2 SCHEMES TAKOMA PARK FIRE STATION TAKOMA PARK, MARYLAND

Prepared For:

QUINN EVANS/ARCHITECTS

1214 28th Street, N.W.
Washington, D.C. 20007

202-298-6700
FAX 202-298-6666

July 23, 1997

Prepared By:

R.W. Brown & Associates
Construction Cost Consultants
311 West Maple Avenue, Suite E
Vienna, Virginia 22180

703-255-2580
FAX 703-255-4927

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 1
ARCHITECT: Quinn Evans/Architects	RWB Job # 97-20-B1	
EST BY: R.W. Brown & Associates		07/23/97

NOTES

1. UNIT PRICES INCLUDE ALL SUBCONTRACTOR'S OVERHEADS AND PROFITS.
2. UNIT PRICES, PROVIDED BY SUPPLIERS, SUBCONTRACTORS AND PAST EXPERIENCE, REFLECT STANDARD CONSTRUCTION METHODS AND MATERIALS. SALES TAX AND LABOR BURDEN ARE ADDED AT THE END OF EACH ESTIMATE ITEM. LABOR PRICES ARE BASED ON WAGE SCALE CONDITIONS FOR NORMAL HOURS AND DO NOT REFLECT OVERTIME.
3. TOTALS ARE TRUE EXTENSION OF QUANTITIES AND UNIT PRICES THAT ARE ROUNDED OFF.
4. THIS ESTIMATE IS BASED ON SCHEMATIC DESIGN DOCUMENTS DATED JULY 1997.
5. THE TOTAL COST IS BASED ON A COMPETITIVE PRICE FOR SPRING 1998.
6. EXCLUSIONS:
ARCHITECTURAL AND ENGINEERING FEES
FURNISHINGS & EQUIPMENT EXCEPT AS ITEMIZED IN THE ESTIMATE

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 3
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

RECAPITULATION

ITEM		BUILDING	SITE	TOTAL	COST/SF BUILDING
DIV 1/GENERAL REQUIREMENTS	8.00%	172,399	18,778	191,177	9.46
DIV 2/SITE WORK		55,000	218,528	273,528	3.02
DIV 3/CONCRETE		279,479	--	279,479	15.33
DIV 4/MASONRY		377,495	--	377,495	20.70
DIV 5/METALS		326,623	--	326,623	17.91
DIV 6/WOOD & PLASTICS		19,040	--	19,040	1.04
DIV 7/THERMAL & MOISTURE PROTECTION		65,509	--	65,509	3.59
DIV 8/DOORS & WINDOWS		101,519	--	101,519	5.57
DIV 9/FINISHES		167,921	--	167,921	9.21
DIV 10/SPECIALTIES		46,918	--	46,918	2.57
DIV 11/EQUIPMENT		18,000	--	18,000	0.99
DIV 14/CONVEYING		60,000	--	60,000	3.29
DIV 15/PLUMBING		56,370	--	56,370	3.09
DIV 15/HVAC		316,514	--	316,514	17.36
DIV 15/FIRE PROTECTION		45,804	--	45,804	2.51
DIV 16/ELECTRICAL		218,796	16,200	234,996	12.00
SUBTOTAL		2,327,386	253,507	2,580,893	127.65
GENERAL CONTRACTOR'S OH&P	10.00%	232,739	25,351	258,089	12.76
SUBTOTAL		2,560,125	278,857	2,838,982	140.41
BOND @	1.50%	38,402	4,183	42,585	2.11
SUBTOTAL		2,598,526	283,040	2,881,567	142.52
CONTINGENCY @	10.00%	259,853	28,304	288,157	14.25
TOTAL CONSTRUCTION COST		2,858,379	311,344	3,169,723	156.77
PURCHASE OF FURNISHINGS				213,500	
TOTAL CONSTRUCTION & FURNISHINGS				3,383,223	

GROSS AREA: 18,233 SF

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 4
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 2/SITE WORK - BUILDING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
BUILDING DEMOLITION					
INTERIOR AND EXTERIOR					
FIRE STATION DEMOLITION	1	LS	55,000	55,000	
TOTAL DIV 2/SITE WORK - BUILDING					55,000

DIV 2/SITE WORK - SITE DEVELOPMENT

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
SITE DEMOLITION					
REMOVE BITUMINOUS PAVING	1,150	SY	5.00	5,750	
REMOVE CURB AND GUTTER	310	LF	4.00	1,240	
REMOVE UTILITY PIPING	1	LS	5,000	5,000	
REMOVE STRUCTURES	1	LS	25,000	25,000	
					36,990
EARTHWORK AND GRADING					
CLEARING	1	LS	2,000.00	2,000	
EARTH CUT AND FILL/HAUL	1,400	CY	7.00	9,800	
GRADING	1,524	SY	2.20	3,353	
EROSION CONTROL	1	LS	5,000.00	5,000	
SEED/SOD	400	SY	0.80	320	
					20,473
PAVINGS & SURFACING					
BITUMINOUS PAVING	735	SY	21.00	15,435	
CONCRETE CURB AND GUTTER	368	LF	17.00	6,256	
CONCRETE PAVING	1,536	SF	7.20	11,059	
CONCRETE WALK	250	SF	4.50	1,125	
STEPS ON GRADE	35	LF	16.00	560	
STRIPING	480	LF	0.48	230	
					34,666
SITE IMPROVEMENTS					
CONCRETE RETAINING WALLS	1,200	SF	32.00	38,400	
LANDSCAPING	1	LS	20,000	20,000	
MISCELLANEOUS SITE IMPROVEMENTS	1	LS	15,000	15,000	
					73,400
STORM DRAINAGE					
STORM DRAINAGE	1	LS	35,000	35,000	
					35,000

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 5
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 2/SITE WORK (CONTINUED)

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
WATER SERVICE					
WATER SERVICE	1	LS	4,000	4,000	
					4,000
SANITARY SEWER					
SANITARY SEWER	1	LS	14,000	14,000	
					14,000
TOTAL DIV 2/SITE WORK - SITE DEVELOPMEN					218,528

DIV 3/CONCRETE

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
POURED IN PLACE CONCRETE					
CONCRETE FOOTINGS	78	CY	180.00	14,040	
CONCRETE RETAINING WALL	1,440	SF	21.00	30,240	
CONCRETE SLAB ON GRADE	2,608	SF	6.25	16,300	
STRUCTURAL FLOOR - APPARATUS	5,394	SF	24.00	129,456	
STRUCTURAL FLOOR - STANDARD	3,814	SF	18.00	68,652	
METAL DECK FILL	4,892	SF	4.25	20,791	
TOTAL DIV 3/CONCRETE					279,479

DIV 4/MASONRY

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
UNIT MASONRY					
FACE BRICK	16,272	SF	12.50	203,400	
SPECIAL COURSING	362	LF	8.00	2,896	
6" CMU	1,928	SF	4.02	7,751	
8" CMU - BACKUP	14,344	SF	4.50	64,548	
8" CMU - PARTITION	8,100	SF	4.71	38,151	
LIMESTONE	816	SF	35.00	28,560	
FIELD STONE	255	SF	31.00	7,905	
LIMESTONE BASE	162	LF	40.00	6,480	
STONE COPING	482	LF	22.00	10,604	
SCAFFOLDING AND EQUIPMENT	18,000	SF	0.40	7,200	
TOTAL DIV 4/MASONRY					377,495

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 6
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 5/METALS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
STRUCTURAL METALS					
STEEL FRAMES					
APPARATUS FLOOR LOADING	5,394	SF	9.00	48,546	
STANDARD FLOOR LOADING	8,706	SF	7.00	60,942	
STANDARD FLOOR LOAD W/DECK	8,706	SF	9.00	78,354	
ROOF STRUCTURE W/DECK	9,208	SF	7.60	69,981	
					257,823
MISCELLANEOUS METALS					
STEEL STAIRS W/ LANDING & RAILS	6	FL	9,800	58,800	
MISCELLANEOUS METALS	1	LS	10,000	10,000	
					68,800
TOTAL DIV 5/METALS					326,623

DIV 6/WOOD & PLASTICS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
FINISH CARPENTRY & MILLWORK					
INTERIOR TRIM	400	LF	4.50	1,800	
WATCH DESK	17	LF	200.00	3,400	
BASE CABINETS	48	LF	165.00	7,920	
WALL CABINETS	38	LF	130.00	4,940	
COUNTER TOPS	14	LF	70.00	980	
					19,040
TOTAL DIV 6/WOOD & PLASTICS					19,040

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 7
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 7/THERMAL & MOISTURE PROTECTION

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
INSULATION					
PERIMETER INSULATION	816	SF	0.34	277	
BATT INSULATION - R30	1,500	SF	0.56	840	
RIGID INSULATION - 1"	14,344	SF	0.46	6,598	
SOUND INSULATION - BATT	8,685	SF	0.47	4,082	
					11,798
ROOFING & SHEET METAL					
EPDM ROOFING	9,668	SF	2.25	21,754	
TAPERED ROOF INSULATION - 2"	9,668	SF	2.50	24,171	
EPDM FLASHING	2,417	SF	2.35	5,680	
PENETRATION FLASHING	16	EA	34.00	544	
					52,149
CAULKING					
CAULKING	1,420	LF	1.10	1,562	
					1,562
TOTAL DIV 7/THERMAL & MOISTURE PROTECTION					65,509

DIV 8/DOORS & WINDOWS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
DOORS					
HOLLOW METAL FRAMES - SINGLE	43	EA	115.00	4,945	
HOLLOW METAL DOORS	6	EA	205.00	1,230	
SOLID CORE WOOD DOORS	37	EA	172.00	6,364	
HARDWARE - PER LEAF	43	EA	250.00	10,750	
OVERHEAD DOORS	3	EA	5,000.00	15,000	
					38,289
WINDOWS					
WINDOW WALLS	212	SF	45.00	9,540	
WINDOWS	826	SF	65.00	53,690	
					63,230
TOTAL DIV 8/DOORS & WINDOWS					101,519

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 8
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 9/FINISHES

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
DRYWALL AND PLASTER					
METAL FURRING - 7/8"	13,680	SF	0.48	6,566	
METAL STUD FRAMING - 3-5/8"	16,672	SF	0.67	11,170	
BULKHEAD FRAMING	400	SF	1.54	616	
GYPSUM WALLBOARD - 5/8"	43,664	SF	0.76	33,185	
GYPSUM WALLBOARD - BULKHEAD	400	SF	0.74	296	
TAPE AND SPACKLE	44,064	SF	0.39	17,185	
EXTRA COST MOISTURE RESISTANT	2,260	SF	0.14	316	
DRYWALL CEILING - SUSPENDED	700	SF	2.08	1,456	
					70,791
ACOUSTIC CEILINGS					
2X2 ACOUSTIC CEILING	12,839	SF	1.80	23,110	
					23,110
CERAMIC TILE					
CERAMIC FLOOR TILE	686	SF	7.50	5,145	
CERAMIC WALL TILE	1,808	SF	7.10	12,837	
CERAMIC BASE	216	LF	6.20	1,339	
MARBLE THRESHOLDS	4	EA	24.00	96	
					19,417
RESILIENT FLOORS					
VINYL COMPOSITION TILE	3,528	SF	1.50	5,292	
CARPET	473	SY	22.00	10,406	
RUBBER TILE	460	SF	3.80	1,748	
VINYL BASE	3,116	LF	1.14	3,552	
					20,998
PAINTING & WALL COVERING					
PAINT DRYWALL/PLASTER	44,064	SF	0.39	17,185	
PAINT CMU/CONCRETE	17,950	SF	0.42	7,539	
PAINT DOORS AND FRAMES	43	EA	40.00	1,720	
PAINT MISCELLANEOUS METALS	1	LS	3,000.00	3,000	
PAINT MISCELLANEOUS TRIM	400	LF	1.25	500	
CONCRETE SEALER	6,102	SF	0.60	3,661	
					33,605
TOTAL DIV 9/FINISHES					167,921

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 9
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 10/SPECIALTIES

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
TOILET ACCESSORIES					
TOILET TISSUE DISPENSER	6	EA	49.00	294	
WASTE RECEPT/TOWEL DISPENSER	4	EA	385.00	1,540	
MIRRORS	125	SF	12.50	1,563	
SOAP DISPENSER	5	EA	43.00	215	
MISC TOILET ACCESSORIES	20	EA	35.00	700	
GRAB BARS	4	EA	73.00	292	
MOP STRIP	1	EA	70.00	70	
					4,674
TOILET PARTITIONS					
TOILET PARTITION - STD	3	EA	650.00	1,950	
TOILET PARTITION - HC	2	EA	672.00	1,344	
URINAL SCREENS	1	EA	325.00	325	
					3,619
MISCELLANEOUS SPECIALTIES					
LOCKERS - SHOWER ROOMS	55	EA	125.00	6,875	
LOCKERS - EQUIPMENT	55	EA	350.00	19,250	
EXTERIOR BUILDING GRAPHICS	1	LS	10,000	10,000	
INTERIOR GRAPHICS/SIGNAGE	1	LS	2,500	2,500	
					38,625
TOTAL DIV 10/SPECIALTIES					46,918

DIV 11/EQUIPMENT

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
KITCHEN EQUIP - RESIDENTIAL	1	LS	10,000	10,000	
MISCELLANEOUS BUILT INS	1	LS	8,000	8,000	
					18,000
TOTAL DIV 11/EQUIPMENT					18,000

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 10
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 14/CONVEYING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
ELEVATOR - 3 STOP HYDRAULIC	1	EA	60,000	60,000	
TOTAL DIV 14/CONVEYING					60,000

DIV 15/PLUMBING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
PER FIXTURE					
WATER CLOSET	6	EA	1,520.00	9,120	
LAVATORIES	5	EA	1,450.00	7,250	
SINKS	1	EA	1,425.00	1,425	
URINAL	2	EA	1,550.00	3,100	
SERVICE SINK	1	EA	1,600.00	1,600	
ELECTRIC WATER COOLER - HC	2	EA	2,100.00	4,200	
SHOWER DRAIN AND TRIM	6	EA	980.00	5,880	
LAUNDRY ROUGHING	1	EA	600.00	600	
FLOOR DRAIN	8	EA	300.00	2,400	
ROOF DRAIN	6	EA	300.00	1,800	
WATER HEATING GENERATION	1	EA	5,000.00	5,000	
HOSE BIBBS & MISC	1	LS	600.00	600	
					42,975
GENERAL					
PERMIT, TEST & WARRANTY	1	LS	4,000.00	4,000	
					4,000
SUBTOTAL					46,975
SUBCONTRACTOR'S OH & P@		20%			9,395
TOTAL DIV 15/PLUMBING					56,370

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 11
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 15/HVAC

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
HVAC					
BUILDING HEATING AND COOLING	18,233	SF	14.00	255,262	
VEHICULAR EXHAUST SYSTEM	1	LS	8,500	8,500	
SUBTOTAL					263,762
SUBCONTRACTOR'S OH & P@					52,752
TOTAL DIV 15/HVAC					316,514

DIV 15/FIRE PROTECTION

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
SPRINKLER SYSTEM					
WET SPRINKLER SYSTEM	18,233	SF	1.80	32,819	
DRY SPRINKLER SYSTEM	2,432	SF	2.20	5,350	
SUBTOTAL					38,170
SUBCONTRACTOR'S OH & P@					7,634
TOTAL DIV 15/FIRE PROTECTION					45,804

DIV 16/ELECTRICAL

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
ELECTRICAL					
COMPLETE BUILDING SYSTEM INCLUDING POWER, LIGHTS, FIRE ALARM, AND TELECOMMUNICATIONS	18,233	SF	10.00	182,330	
SUBTOTAL					182,330
SUBCONTRACTOR'S OH & P@					36,466
TOTAL DIV 16/ELECTRICAL					218,796

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 12
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme A	07/23/97

DIV 16/ELECTRICAL - SITE

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
LIGHTS					
FIXTURES - W/ 20' POLE & BASE	6	EA	1,850.00	11,100	
BURIED CABLE	500	LF	4.80	2,400	
					13,500
SUBTOTAL					13,500
SUBCONTRACTOR'S OH & P@		20%			2,700
TOTAL					16,200

FURNISHINGS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
EXERCISE EQUIPMENT/STATION	5	EA	3,500.00	17,500	
WORK STATIONS	16	EA	5,000.00	80,000	
BUNKS/WARDROBES	20	EA	1,800.00	36,000	
MISC FURNISHINGS	16	EA	5,000.00	80,000	
					213,500
TOTAL FURNISHINGS					213,500

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 13
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

RECAPITULATION

ITEM		BUILDING	SITE	TOTAL	COST/SF BUILDING
DIV 1/GENERAL REQUIREMENTS	8.00%	150,681	19,191	169,873	9.02
DIV 2/SITE WORK		45,000	223,690	268,690	2.69
DIV 3/CONCRETE		279,874	--	279,874	16.75
DIV 4/MASONRY		275,921	--	275,921	16.52
DIV 5/METALS		286,480	--	286,480	17.15
DIV 6/WOOD & PLASTICS		17,470	--	17,470	1.05
DIV 7/THERMAL & MOISTURE PROTECTION		89,411	--	89,411	5.35
DIV 8/DOORS & WINDOWS		67,939	--	67,939	4.07
DIV 9/FINISHES		149,944	--	149,944	8.98
DIV 10/SPECIALTIES		46,220	--	46,220	2.77
DIV 11/EQUIPMENT		18,000	--	18,000	1.08
DIV 15/PLUMBING		59,574	--	59,574	3.57
DIV 15/HVAC		290,827	--	290,827	17.41
DIV 15/FIRE PROTECTION		56,409	--	56,409	3.38
DIV 16/ELECTRICAL		200,448	16,200	216,648	12.00
SUBTOTAL		2,034,198	259,081	2,293,279	121.78
GENERAL CONTRACTOR'S OH&P	10.00%	203,420	25,908	229,328	12.18
SUBTOTAL		2,237,618	284,989	2,522,607	133.96
BOND @	1.50%	33,564	4,275	37,839	2.01
SUBTOTAL		2,271,182	289,264	2,560,446	135.97
CONTINGENCY @	10.00%	227,118	28,926	256,045	13.60
TOTAL CONSTRUCTION COST		2,498,300	318,190	2,816,491	149.56
PURCHASE OF FURNISHINGS				213,500	
TOTAL CONSTRUCTION & FURNISHINGS				3,029,991	

GROSS AREA: 16,704 SF

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 14
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 2/SITE WORK - BUILDING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
BUILDING DEMOLITION					
INTERIOR AND EXTERIOR					
FIRE STATION DEMOLITION	1	LS	45,000	45,000	
TOTAL DIV 2/SITE WORK - BUILDING					45,000

DIV 2/SITE WORK - SITE DEVELOPMENT

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
SITE DEMOLITION					
REMOVE BITUMINOUS PAVING	1,200	SY	4.00	4,800	
REMOVE CURB AND GUTTER	340	LF	3.80	1,292	
REMOVE UTILITY PIPING	1	LS	5,000	5,000	
REMOVE STRUCTURES	1	LS	25,000	25,000	
					36,092
EARTHWORK AND GRADING					
CLEARING	1	LS	2,000.00	2,000	
EARTH CUT AND FILL/HAUL	1,150	CY	7.00	8,050	
GRADING	1,520	SY	2.20	3,344	
EROSION CONTROL	1	LS	5,000.00	5,000	
SEED/SOD	400	SY	0.80	320	
					18,714
PAVINGS & SURFACING					
BITUMINOUS PAVING	1,079	SY	21.00	22,659	
CONCRETE CURB AND GUTTER	448	LF	17.00	7,616	
CONCRETE PAVING	1,536	SF	7.20	11,059	
CONCRETE WALK	72	SF	4.50	324	
STEPS ON GRADE	36	LF	16.00	576	
STRIPING	520	LF	0.48	250	
					42,484
SITE IMPROVEMENTS					
CONCRETE RETAINING WALLS	1,200	SF	32.00	38,400	
LANDSCAPING	1	LS	20,000	20,000	
MISCELLANEOUS SITE IMPROVEMENTS	1	LS	15,000	15,000	
					73,400
STORM DRAINAGE					
STORM DRAINAGE	1	LS	35,000	35,000	
					35,000

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 15
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 2/SITE WORK (CONTINUED)

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
WATER SERVICE					
WATER SERVICE	1	LS	4,000	4,000	4,000
SANITARY SEWER					
SANITARY SEWER	1	LS	14,000	14,000	14,000
TOTAL DIV 2/SITE WORK - SITE DEVELOPMEN					223,690

DIV 3/CONCRETE

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
POURED IN PLACE CONCRETE					
CONCRETE FOOTINGS	79	CY	180.00	14,220	
CONCRETE RETAINING WALL	2,160	SF	21.00	45,360	
CONCRETE SLAB ON GRADE	2,428	SF	6.25	15,175	
STRUCTURAL FLOOR - APPARATUS	5,632	SF	24.00	135,168	
STRUCTURAL FLOOR - STANDARD	2,410	SF	18.00	43,380	
METAL DECK FILL	6,252	SF	4.25	26,571	
TOTAL DIV 3/CONCRETE					279,874

DIV 4/MASONRY

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
UNIT MASONRY					
FACE BRICK	9,422	SF	12.50	117,775	
SPECIAL COURSING	340	LF	14.00	4,760	
6" CMU	1,048	SF	4.02	4,213	
8" CMU - BACKUP	8,374	SF	4.50	37,683	
8" CMU - PARTITION	9,008	SF	4.71	42,428	
FIELD STONE	1,200	SF	31.00	37,200	
LIMESTONE BASE	270	LF	40.00	10,800	
STONE COPING	484	LF	22.00	10,648	
BRICK ARCHES	54	LF	41.00	2,214	
SCAFFOLDING AND EQUIPMENT	20,500	SF	0.40	8,200	
TOTAL DIV 4/MASONRY					275,921

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 16
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 5/METALS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
STRUCTURAL METALS					
STEEL FRAMES					
APPARATUS FLOOR LOADING	5,632	SF	9.00	50,688	
STANDARD FLOOR LOAD W/DECK	8,662	SF	9.00	77,958	
ROOF STRUCTURE W/DECK	14,294	SF	7.60	108,634	
					237,280
MISCELLANEOUS METALS					
STEEL STAIRS W/ LANDING & RAILS	4	FL	9,800	39,200	
MISCELLANEOUS METALS	1	LS	10,000	10,000	
					49,200
TOTAL DIV 5/METALS					286,480

DIV 6/WOOD & PLASTICS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
FINISH CARPENTRY & MILLWORK					
INTERIOR TRIM	360	LF	4.50	1,620	
WATCH DESK	24	LF	200.00	4,800	
BASE CABINETS	38	LF	165.00	6,270	
WALL CABINETS	26	LF	130.00	3,380	
COUNTER TOPS	20	LF	70.00	1,400	
					17,470
TOTAL DIV 6/WOOD & PLASTICS					17,470

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 17
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 7/THERMAL & MOISTURE PROTECTION

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
INSULATION					
PERIMETER INSULATION	724	SF	0.34	246	
BATT INSULATION - R30	1,280	SF	0.56	717	
RIGID INSULATION - 1"	9,574	SF	0.46	4,404	
SOUND INSULATION - BATT	5,750	SF	0.47	2,703	8,070
ROOFING & SHEET METAL					
EPDM ROOFING	15,009	SF	2.25	33,770	
TAPERED ROOF INSULATION - 2"	15,009	SF	2.50	37,522	
EPDM FLASHING	3,752	SF	2.35	8,818	
PENETRATION FLASHING	14	EA	34.00	476	80,585
CAULKING					
CAULKING	688	LF	1.10	757	757
TOTAL DIV 7/THERMAL & MOISTURE PROTECTION					89,411

DIV 8/DOORS & WINDOWS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
DOORS					
HOLLOW METAL FRAMES - SINGLE	43	EA	115.00	4,945	
HOLLOW METAL FRAMES - DOUBLE	1	EA	138.00	138	
HOLLOW METAL DOORS	12	EA	205.00	2,460	
SOLID CORE WOOD DOORS	33	EA	172.00	5,676	
HARDWARE - PER LEAF	45	EA	250.00	11,250	
OVERHEAD DOORS	3	EA	5,000.00	15,000	39,469
WINDOWS					
WINDOWS	438	SF	65.00	28,470	28,470
TOTAL DIV 8/DOORS & WINDOWS					67,939

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 18
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 9/FINISHES

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
DRYWALL AND PLASTER					
METAL FURRING - 7/8"	12,768	SF	0.48	6,129	
METAL STUD FRAMING - 3-5/8"	13,540	SF	0.67	9,072	
BULKHEAD FRAMING	360	SF	1.54	554	
GYPSON WALLBOARD - 5/8"	39,296	SF	0.76	29,865	
GYPSON WALLBOARD - BULKHEAD	360	SF	0.74	266	
TAPE AND SPACKLE	39,656	SF	0.39	15,466	
EXTRA COST MOISTURE RESISTANT	868	SF	0.14	122	
DRYWALL CEILING - SUSPENDED	820	SF	2.08	1,706	
					63,179
ACOUSTIC CEILINGS					
2X2 ACOUSTIC CEILING	9,040	SF	1.80	16,272	
					16,272
CERAMIC TILE					
CERAMIC FLOOR TILE	723	SF	7.50	5,423	
CERAMIC WALL TILE	1,712	SF	7.10	12,155	
CERAMIC BASE	228	LF	6.20	1,414	
MARBLE THRESHOLDS	8	EA	24.00	192	
					19,183
RESILIENT FLOORS					
VINYL COMPOSITION TILE	3,227	SF	1.50	4,841	
CARPET	467	SY	22.00	10,274	
RUBBER TILE	360	SF	3.80	1,368	
VINYL BASE	3,162	LF	1.14	3,605	
					20,087
PAINTING & WALL COVERING					
PAINT DRYWALL/PLASTER	39,656	SF	0.39	15,466	
PAINT CMU/CONCRETE	16,214	SF	0.42	6,810	
PAINT DOORS AND FRAMES	45	EA	40.00	1,800	
PAINT MISCELLANEOUS METALS	1	LS	3,000.00	3,000	
PAINT MISCELLANEOUS TRIM	360	LF	1.25	450	
CONCRETE SEALER	6,160	SF	0.60	3,696	
					31,222
TOTAL DIV 9/FINISHES					149,944

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 19
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 10/SPECIALTIES

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
TOILET ACCESSORIES					
TOILET TISSUE DISPENSER	7	EA	49.00	343	
WASTE RECEPT/TOWEL DISPENSER	6	EA	385.00	2,310	
MIRRORS	0	SF	12.50	3	
SOAP DISPENSER	6	EA	43.00	258	
MISC TOILET ACCESSORIES	20	EA	35.00	700	
GRAB BARS	4	EA	73.00	292	
MOP STRIP	1	EA	70.00	70	
					3,976
TOILET PARTITIONS					
TOILET PARTITION - STD	3	EA	650.00	1,950	
TOILET PARTITION - HC	2	EA	672.00	1,344	
URINAL SCREENS	1	EA	325.00	325	
					3,619
MISCELLANEOUS SPECIALTIES					
LOCKERS - SHOWER ROOMS	55	EA	125.00	6,875	
LOCKERS - EQUIPMENT	55	EA	350.00	19,250	
EXTERIOR BUILDING GRAPHICS	1	LS	10,000	10,000	
INTERIOR GRAPHICS/SIGNAGE	1	LS	2,500	2,500	
					38,625
TOTAL DIV 10/SPECIALTIES					46,220

DIV 11/EQUIPMENT

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
KITCHEN EQUIP - RESIDENTIAL	1	LS	10,000	10,000	
MISCELLANEOUS BUILT INS	1	LS	8,000	8,000	
					18,000
TOTAL DIV 11/EQUIPMENT					18,000

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 20
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 15/PLUMBING

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
PER FIXTURE					
WATER CLOSET	7	EA	1,520.00	10,640	
LAVATORIES	6	EA	1,450.00	8,700	
SINKS	1	EA	1,425.00	1,425	
URINAL	2	EA	1,550.00	3,100	
SERVICE SINK	1	EA	1,600.00	1,600	
ELECTRIC WATER COOLER - HC	2	EA	2,100.00	4,200	
SHOWER DRAIN AND TRIM	6	EA	980.00	5,880	
LAUNDRY ROUGHING	1	EA	600.00	600	
FLOOR DRAIN	8	EA	300.00	2,400	
ROOF DRAIN	5	EA	300.00	1,500	
WATER HEATING GENERATION	1	EA	5,000.00	5,000	
HOSE BIBBS & MISC	1	LS	600.00	600	
					45,645
GENERAL					
PERMIT, TEST & WARRANTY	1	LS	4,000.00	4,000	
					4,000
SUBTOTAL					49,645
SUBCONTRACTOR'S OH & P@ 20%					9,929
TOTAL DIV 15/PLUMBING					59,574

DIV 15/HVAC

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
HVAC					
BUILDING HEATING AND COOLING	16,704	SF	14.00	233,856	
VEHICULAR EXHAUST SYSTEM	1	LS	8,500	8,500	
SUBTOTAL					242,356
SUBCONTRACTOR'S OH & P@ 20%					48,471
TOTAL DIV 15/HVAC					290,827

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 21
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

DIV 15/FIRE PROTECTION

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
SPRINKLER SYSTEM					
WET SPRINKLER SYSTEM	16,704	SF	1.80	30,067	
DRY SPRINKLER SYSTEM	7,700	SF	2.20	16,940	
SUBTOTAL					47,007
SUBCONTRACTOR'S OH & P@					20% 9,401
TOTAL DIV 15/FIRE PROTECTION					56,409

DIV 16/ELECTRICAL

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
ELECTRICAL					
COMPLETE BUILDING SYSTEM INCLUDING POWER, LIGHTS, FIRE ALARM, AND TELECOMMUNICATIONS					
	16,704	SF	10.00	167,040	
SUBTOTAL					167,040
SUBCONTRACTOR'S OH & P@					20% 33,408
TOTAL DIV 16/ELECTRICAL					200,448

DIV 16/ELECTRICAL - SITE

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
LIGHTS					
FIXTURES - W/ 20' POLE & BASE	6	EA	1,850.00	11,100	
BURIED CABLE	500	LF	4.80	2,400	
					13,500
SUBTOTAL					13,500
SUBCONTRACTOR'S OH & P@					20% 2,700
TOTAL					16,200

COST ESTIMATE

PROJECT: Takoma Park Volunteer Fire Department - Station #2		Page 22
ARCHITECT: Quinn Evans/Architects		RWB Job # 97-20-B1
EST BY: R.W. Brown & Associates	Scheme B	07/23/97

FURNISHINGS

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	GROUP TOTAL
EXCERCISE EQUIPMENT/STATION	5	EA	3,500.00	17,500	
WORK STATIONS	16	EA	5,000.00	80,000	
BUNKS/WARDROBES	20	EA	1,800.00	36,000	
MISC FURNISHINGS	16	EA	5,000.00	80,000	
					213,500
TOTAL FURNISHINGS					213,500

PROGRAM OF REQUIREMENTS

PROTOTYPE FIRE STATIONS CLASS I, II, III, IV



**DEPARTMENT OF PUBLIC WORKS AND
TRANSPORTATION
DIVISION OF FACILITIES AND SERVICES
CAPITAL PROJECTS MANAGEMENT SECTION**

FIRE AND RESCUE COMMISSION

JUNE 1997

**MONTGOMERY COUNTY
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
FIRE AND RESCUE SERVICE COMMISSION**

**PROGRAM OF REQUIREMENTS
PROTOTYPE FIRE STATIONS**

GENERAL

The Master Plan for Fire, Rescue and Emergency medical services was finalized 1993 by the Master Plan Task Force of the Montgomery County, Fire and Rescue Commission in response to the mandate of Montgomery County Code. The Plan was adopted October 1994.

The goal of the Master Plan Task Force was to provide a strategic plan that offers a plan of action for the continued delivery of fire, rescue, and emergency medical services.

In developing this plan of action, one item that was addressed under Plan Highlights was the need for developing four basic fire and rescue station Program of Requirements (POR) for use in the development of four basic fire station designs for the construction of all future fire and rescue facilities.

Modifications and or changes to (POR) will occur only after review and approval by Department of Fire and Rescue, Fire and Rescue Commission and Department of Public Works and Transportation.

The benefits of this action are described as follows:

1. Due to standardization, the design and construction costs associated with providing new fire and rescue stations will be reduced.
2. It will provide a basic "generic" Program of Requirements for future fire and rescue stations, avoiding repeated necessity of professional services to develop custom-made programs.

Selection of a particular fire and rescue station design package (POR) will depend upon three main factors:

1. Types of public safety services to be delivered from the facility.

2. The size and types of emergency vehicles and size of personnel complements to be assigned to the facility (including reserve app).
3. Any unique local requirement, such as community room, or county facility requirement, such as co-use with another county agency.

The four types of fire and rescue station Program of Requirements (POR) will address a range of gross square footage for each class of station. The range for the four classes are as follows (Appendix A).

CLASS I	CLASS II	CLASS III	CLASS IV
Range			
19,550 - 20,135 sq ft	15,150 - 15,740 sq ft	13,130 - 13,690 sq ft	9,520 - 10,050 sq ft

For designated areas, percentage of total sq. ft. (range) for each class is shown below:

Apparatus Bays	-	29 - 35%
Dorm and Support Space	-	13 - 15%
Living	-	8 - 10%
Administrative	-	6 - 8%
Public	-	2 - 3%
General	-	4 - 7%
Maintenance	-	5 - 7%
Community Room	-	10%
Circulation	-	25%

Besides the POR for each type station, the following documents will have to included as integral parts of the approved final design:

- A. Energy Program of Requirements according to executive regulation 68-91AM.
- B. Design guidelines and standards issued by Capital Projects Management Section,, Division of Facilities and Services.
- C. NFPA Requirements and Standards

Using these generic station PORs, design documents can be prepared/modified to address specific site conditions, such as topography, site requirements by Montgomery County, MNCPPC and State of Maryland and utility easements.

CLASS I, II, III, IV - FIRE AND RESCUE STATION - (SPACE REQUIREMENTS - APPENDIX A)

GENERAL

1. Station to be fully equipped with an automatic fire detection, alarm and suppression system according to latest approved Montgomery County code.
2. The facility shall be fully air-conditioned, except apparatus room.
3. Communication systems:
 - A. Public address/paging system;
 - B. AM/FM radio system;
 - C. Remote-controlled apparatus doors;
 - D. Emergency alert override system, internal and external; and
 - E. Telephone system.

All communication equipment/systems and installation shall be according to Department of Fire and Rescue's specifications.

4. All rooms shall be clearly identified by signs.
5. All exterior windows shall be operable and provided with blinds.
6. Meet federal, state and local ADA code requirements.
7. Training area to the extent required by DFRS and Fire and Rescue Commission will include the following:
 - A. Administration space
 - B. Educational room(s)
 - C. Storage for supplies, equipment, etc.
 - D. Furniture and Equipment

EXTERIOR/SITE

1. Parking shall be provided for each class of station according to staffing criteria, local code, ADA requirements and visitor requirements.
2. All driveways and apron surfaces to be transversed by fire/rescue apparatus and shall be designed to withstand excess weight of +32,000 lbs per axle.

3. Exterior lighting for illumination of parking, driveways, aprons, flag poles and building exterior.
4. An emergency generator shall be provided of maximum size to maintain the basic station operations, such as interior emergency lighting, apparatus doors, emergency communication systems, fire alarm systems, fuel pump system, general heating equipment/boiler/pumps/air handling units during a power outage with a reserve factor of 20% and shall be equipped with an exerciser and change over. Independent fuel source, preferably diesel with a storage tank capacity adequate for each specific class of station. The tank shall be non-corrosive with dispensing equipment for both gasoline and diesel fuel.
5. A suitable enclosure for dumpster/trash container, size to be determined for each specific class.
6. Aluminum flag pole(s), illuminated.
7. Storage facility for yard maintenance equipment.
8. Exterior signage on building. Location, size, style and material to be approved by local fire department.
9. Waste oil disposal tank, location, size and material to be approved by Department of Fire and Rescue.
10. Diesel and gasoline fuel storage tanks should be provided if station is designated as a fueling site.
11. Training area to the extent required by DFRS and Fire and Rescue Commission will include the following:
 - A. Concrete surface (pad)
 - B. Storage facility
 - C. All necessary utilities

FIRE AND RESCUE STATION

SPACE REQUIREMENTS

APPENDIX A

	CLASS I	CLASS II	CLASS III	CLASS IV
GROSS SQUARE FEET	RANGE 19,550 - 20,135	RANGE 15,150 - 15,740	RANGE 13,130 - 13,690	RANGE 9,520 - 10,050
SERVICES PROVIDED	ENGINE/AERIAL LADDER TRUCK AMBULANCE MEDICAL UNIT SPECIALTY UNIT	ENGINE/AERIAL LADDER TRUCK AMBULANCE MEDICAL UNIT SPECIALTY UNIT	ENGINE/AERIAL LADDER TRUCK AMBULANCE MEDICAL UNIT SPECIALTY UNIT	ENGINE/AERIAL LADDER TRUCK AMBULANCE MEDICAL UNIT
PERSONNEL	20	20	15	10
APPARATUS SPACE	4 BAYS - 6,240 SQ. FT. (80'D X 78'W)	3 BAYS - 4,720 SQ. FT. (80'D X 59'W)	3 BAYS - 4,720 SQ. FT. (80'D X 59'W)	2 BAYS - 3,120 SQ. FT. (80'D X 39'W)
DORM AND SUPPORT SPACE (DORM, 70 - 70 SQ FT PER BED) (T/SH. 6 SH. 4 - 5 T. 5 LAV. 2 U) (LOCK. R.. 10 - 12 SQ FT PER LOCK R. 55 LOC's) LINEN	1,400 - 1,500 SQ FT 500 - 560 SQ FT 550 - 660 SQ FT <u>30</u> T 2,480 - 2,750 SQ FT	1,400 - 1,500 SQ FT 500 - 560 SQ FT 550 - 660 SQ FT <u>30</u> T 2,480 - 2,750 SQ FT	1,050 - 1,125 SQ FT 375 - 435 SQ FT 410 - 520 SQ FT <u>30</u> T 1,865 - 2,110 SQ FT	700 - 750 SQ FT 250 - 310 SQ FT 250 - 360 SQ FT <u>30</u> T 1,230 - 1,230 SQ FT
LIVING AREA DINING LOUNGE KITCHEN VENDING EXERCISE	1,650 - 1,800 SQ FT	1,650 - 1,800 SQ FT	1,240 - 1,390 SQ FT	830 - 980 SQ FT
ADMINISTRATIVE AREA OFFICES CONFERENCE STORAGE	1,270 SQ FT (7 OFFICES)	1,270 SQ FT (7 OFFICES)	1,030 SQ FT (5 OFFICES)	790 SQ FT (3 OFFICES)
PUBLIC AREAS CONTROL DESK RECEPTION TOILET	300 - 350 SQ FT	300 - 350 SQ FT	300 - 350 SQ FT	300 - 350 SQ FT
GENERAL STORAGE JANITOR UTILITY MECHANICAL	700 SQ FT	700 SQ FT	700 SQ FT	700 SQ FT

**PROGRAM OF REQUIREMENTS
FOR
PROTOTYPE FIRE STATION**

JUNE 1996

Approved:

Bruce Romer
Chief Administrative Officer

Date

Approved:

Robert K. Kendal, Director
Office of Management and Budget

Date

Approved:

Fred C. Edwards, Chief
Division of Facilities and Services
Department of Public Works and Transportation

Date

Approved:

George Giebel, Chairman
Fire and Rescue Commission

Date



Laiderman Associates, Inc.

Engineers
Planners
Surveyors

**TAKOMA PARK FIRE STATION
FEASIBILITY STUDY**

1390 Piccard Drive
Rockville, MD 20850
(301) 948-2750 • Fax: (301) 948-9067



TAKOMA PARK FIRE STATION

FEASIBILITY STUDY - OUTLINE

- I. SITE LOCATION
- II. LIMIT OF EXISTING SITE
- III. SITE AND ADJACENT ZONING
- IV. SITE TOPOGRAPHY AND PHYSICAL FEATURES
- V. EXISTING UTILITIES
- VI. HISTORIC DESIGNATION
- VII. DEVELOPMENT PROCESS

Prepared by LOIEDERMAN ASSOCIATES, INC

June 1997



I. SITE LOCATION


The site is located within the City of Takoma Park, Maryland, at 7201 Carroll Avenue. It is situated south of the intersection where Philadelphia Avenue terminates at Carroll Avenue. The property consists of Lot 30 and 31, Block 19 as shown on a record plat of subdivision entitled "B.F. Gilbert's Addition to Takoma Park" as recorded in the land records of Montgomery County, Maryland, in Plat Book A on Plat 2 and dated 1886. A location map and the record plat are included in this report.

II. LIMIT OF EXISTING SITE

Based on the best available records obtained from the Maryland-National Capital Park & Planning Commission (M-NCP&PC), it appears that the site encompasses both lots 30 and 31, or portions thereof, with the building located on lot 31 and the parking for the existing fire station located on lot 30. The limits of the existing structure, paved parking areas and sidewalks are shown on the M-NCP&PC topographic map included in this report. Additional information, such as street lights, traffic lights, fences and other site features may be obtained from the site photographs which are included in this report.

III. SITE AND ADJACENT ZONING

The existing zoning for lots 29 and 30 is R-20, Multiple-Family - Medium Density Residential. The minimum lot area in the R-20 zone is 2,000 square feet per dwelling. The



existing zoning on lot 31 is R-60, Residential - One-Family with a minimum lot area of 6,000 square feet per dwelling. Lot 32 is zoned C-2, General Commercial.

Building setbacks in the R-20 zone are:

- For buildings not over 30 feet in height:
 - From street (whichever is greater):
 - From street line: 30 feet
 - From center line: 65 feet
 - From adjoining lot:
 - One side: 10 feet
 - Sum of both sides: 30 feet
 - Rear: 30 feet
- For buildings over 30 feet in height, all of the setbacks noted above must be increased for each foot of height over 30 feet by an additional 3 feet.


Setbacks for main building in the R-60 zone are:

- From street: 25 feet
- From adjoining lot:
 - Side:
 - One side: 8 feet
 - Sum of both sides: 18 feet
 - Rear: 20 feet

Setbacks for all buildings in the C-2 zone are:

- Front: 10 feet
- Side and Rear:
 - If the lot adjoins a residential zone, the setback shall be not less than required in the adjoining zone.
 - In all other cases no setback is required.
 - No yard shall be less than 3 feet in width.

A fire station (publicly supported) is a permitted use in all of the above zones. The development standards including building height, green area and yard requirements, coverage limitations and other standards vary by zone.



Copies of Certified Zoning Maps and the applicable Divisions of the Montgomery County Zoning Ordinance, including off-street parking and loading, are included as part of this report.

IV. SITE TOPOGRAPHY AND PHYSICAL FEATURES

This site is the current location for the Takoma Park Fire Department. The station is a two-story building with the front of the upper level approximately at grade with Carroll Avenue.

There is an existing building that abuts the property to the east.

The existing paved parking lot is located to the west of the building and the grade falls to the southern end of the property to expose the basement floor of the facility. Access to the fire house and the parking lot is from existing curb cuts on Carroll Avenue.

The rear portion of the property is currently unused. The potential for development of this area may be limited due to the steep slopes and the density of the mature trees. Further investigation and completion of a Natural Resources Inventory/Forest Stand Delineation (NRI/FSD) is necessary in order to determine the existence of any environmental buffers on the site.

A M-NCP&PC topographic map has been updated to include some of the existing features noted during the site visit. The site photographs also show existing site conditions.



V. EXISTING UTILITIES

The existing fire station is currently served by the major utilities including water, sewer, electric and telephone. Overhead electric and telephone is located along the north side of Carroll Avenue. An existing 8" water line is located in Carroll Avenue and a 2" water connection is run to the building. An existing 8" sewer is located in Carroll Avenue near lot 32 and an existing 8" sewer runs along the common lot line of lots 30 and 31 at the rear of the site, south toward Poplar Avenue. Based on the best available records from Washington Suburban Sanitary Commission (WSSC), it appears that the upper level of the building is served by an existing 6" sewer connection in Carroll Avenue. The records of WSSC do not indicate that there is sewer service to the lower level of the building. If sewer is not currently serving the basement floor, a field survey of the existing sewer line at the rear of the site would be necessary to determine if the existing sewer line could be utilized to serve the lower level of the building.

Portions of the WSSC 200' sheets and connection applications have been included as part of this report.

Adequacy of the existing utility services including electric, water and sewer to serve increased development will need to be closely coordinated with the utility companies. We are currently investigating the availability of gas service to the site and have transmitted engineering inquiries to the major utility companies in this area. We anticipate responses to our request for information over the next several weeks.



VI. HISTORIC DESIGNATION

The property is located within the boundary of the Takoma Park Historic District. The existing fire station is identified as a Contributing Historic Resource and major previous alterations have been recognized. Applicable portions of the "Approved and Adopted Amendment to the Master Plan for Historic Preservation: Takoma Park Historic District and Carroll Manor/Douglas House" are included as part of this report.

VII. DEVELOPMENT PROCESS

Development of this site will be approved by the City of Takoma Park as well as all of the Montgomery County permitting agencies through mandatory referral approval processes.

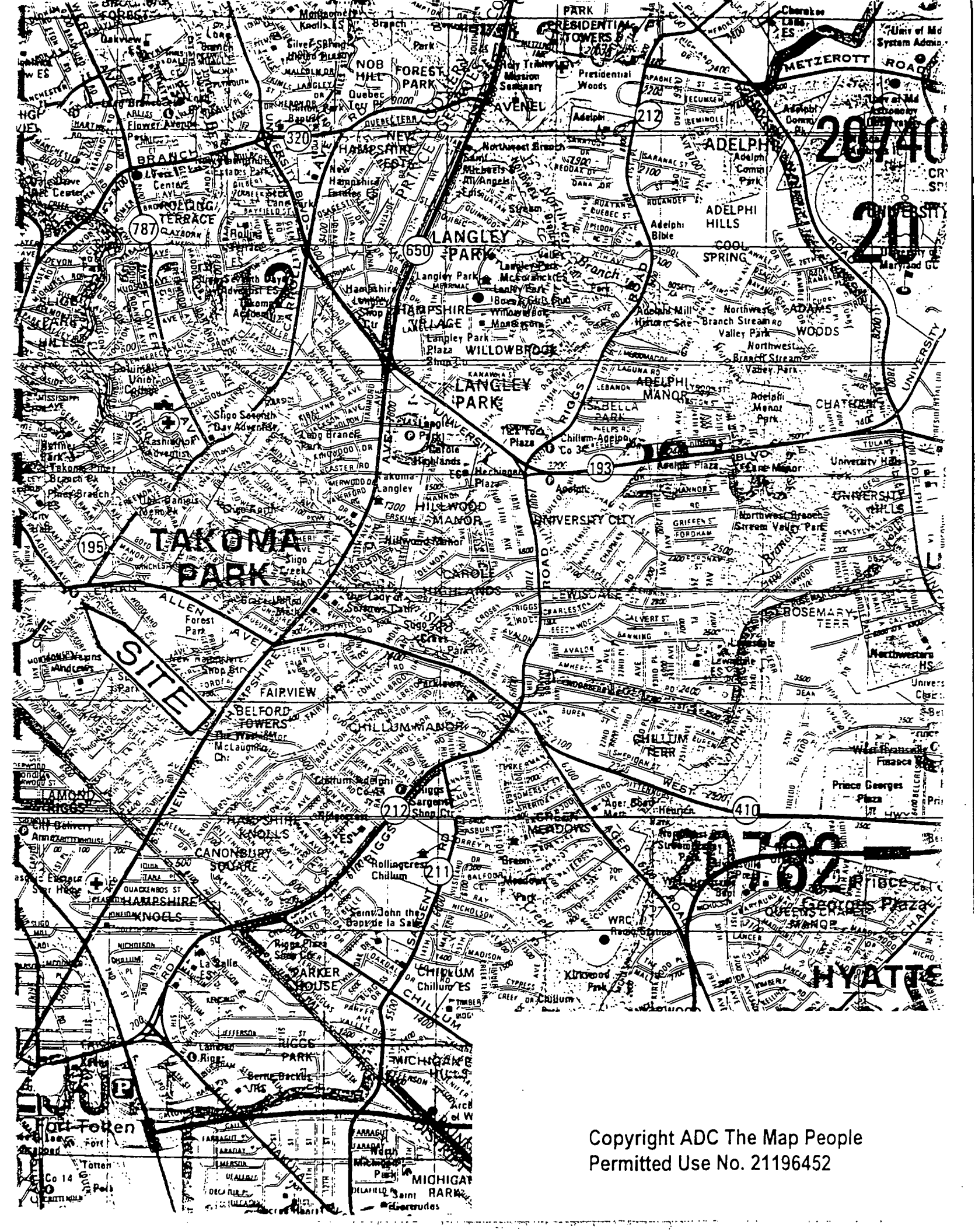
Permitting agencies and their applicable development codes, site related construction standards and regulations may vary specific to the site development or renovations proposed.

The review and permitting agencies may include (but may not be limited to):

- The City of Takoma Park
 - Planning Department
 - Public Works Department
- The Maryland-National Capital Park & Planning Commission (M-NCP&PC)
 - Development Review Division
 - Environmental Planning Division
 - Transportation Planning Division
 - Historic Preservation Division
 - Community Planning Division
- Montgomery County Department of Permitting Services (MCDPS)
 - Subdivision Development Division
 - Division of Water Resources Management
- Montgomery County Department of Public Works & Transportation (MCDPW&T)



- Washington Suburban Sanitary Commission (WSSC)
- Montgomery County Department of Environmental Protection - Division of Water and Wastewater Management (MCDEP-DWWM)
- Maryland State Highway Administration (MSHA)
- Applicable utility companies may include:
 - Pepco
 - Allegheny Power
 - Bell Atlantic of Maryland, Inc
 - MCI
 - Metropolitan Fiber Systems
 - Washington Gas Co.
 - Baltimore Gas & Electric Co.
 - Transcontinental Gas Pipe Line
 - Montgomery Cable TV
 - Maryland Cable



20740

20

TAKOMA PARK

SITE

102

Copyright ADC The Map People
Permitted Use No. 21196452

Scheme A Concept Design (Three Story Scheme)

Scheme A results in a fire station with function at three levels. Administration Offices and General Storage and MEP spaces are located at the Basement level. Apparatus, Living Area, and Public Areas are located at the First Floor Level. Dorm/Bunk Rooms and Support Spaces are located at the Second Floor Level.

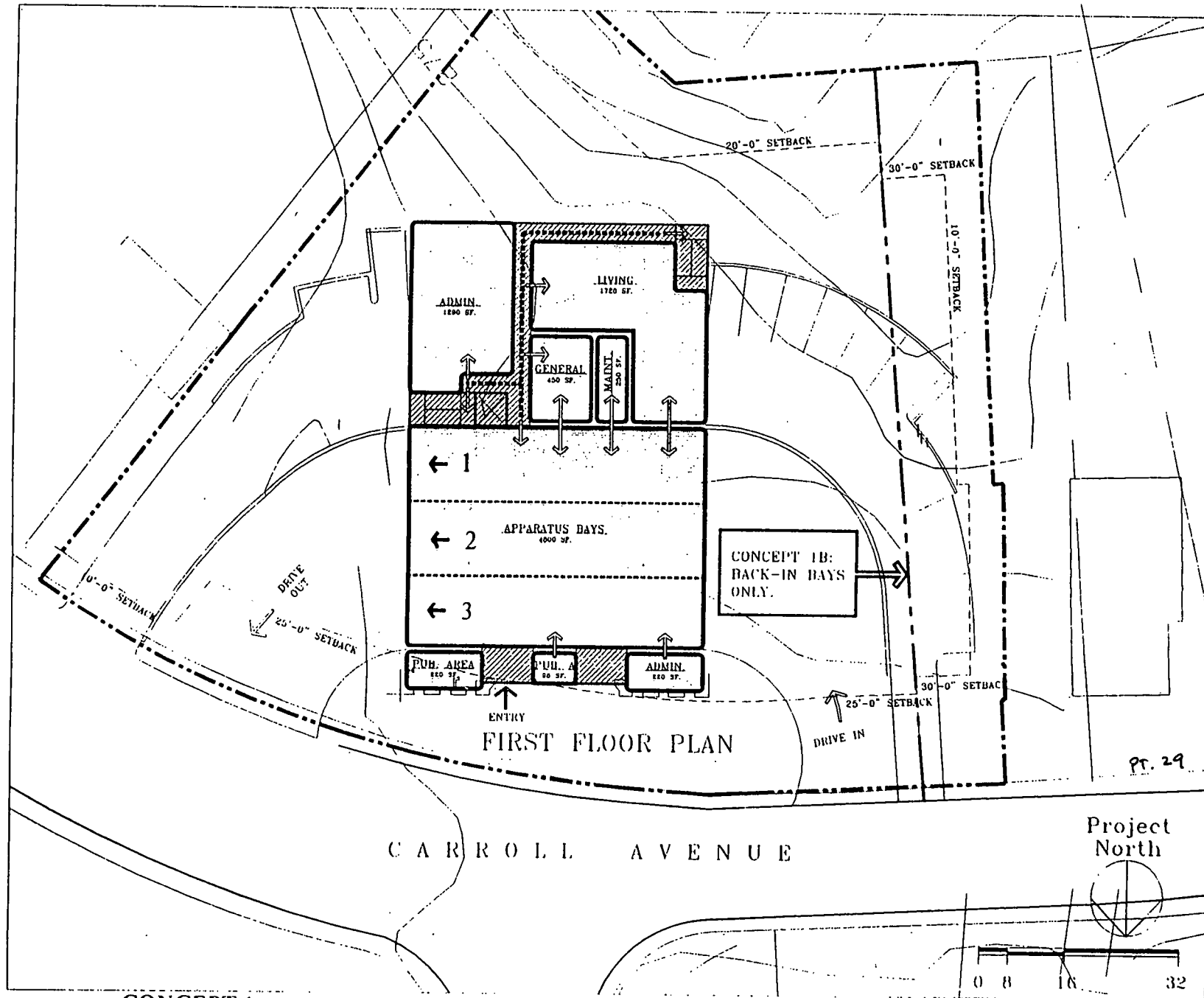
Construction of Scheme A requires complete demolition of the existing building interior except for the main structural members supporting the apparatus slab. The front and side stone walls are retained; the rear stone and brick facade is demolished. At the rear, the existing building is extended at the rear, and a second story is added.

A new Art Deco style facade designed to continue and enhance the current Station style is proposed. While completely new, the apparatus door portion of the would be built of limestone in a style similar to that at the existing doors. The one story stone portion at the East is modified to harmonize with the overall Art Deco Style.

Drawings

Attached are Elevations, Plans, and Section Drawings which describe Scheme A.

Takoma Park, Maryland

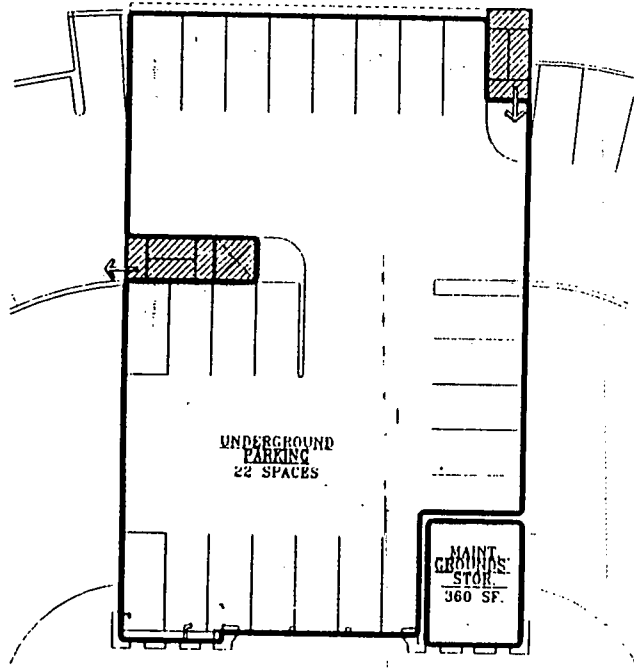


CONCEPT 1:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS



Takoma Park, Maryland

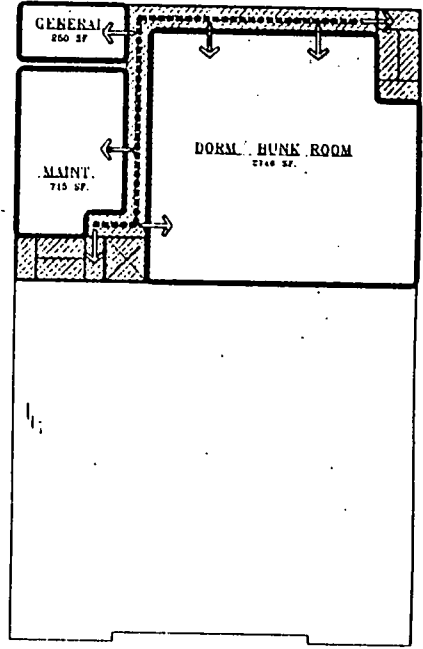


MEZZANINE/BASEMENT PLAN

CONCEPT DATA

FIRST FLOOR:	10,215 SF.
SECOND FLOOR:	1,581 SF.
MEZZ./BASEMENT:	360 SF.
TOTAL:	15,200 SF.
PARKING:	30-35 SPACES

- KEY
-  New construction beyond Existing Building Footprint
 -  Circulation

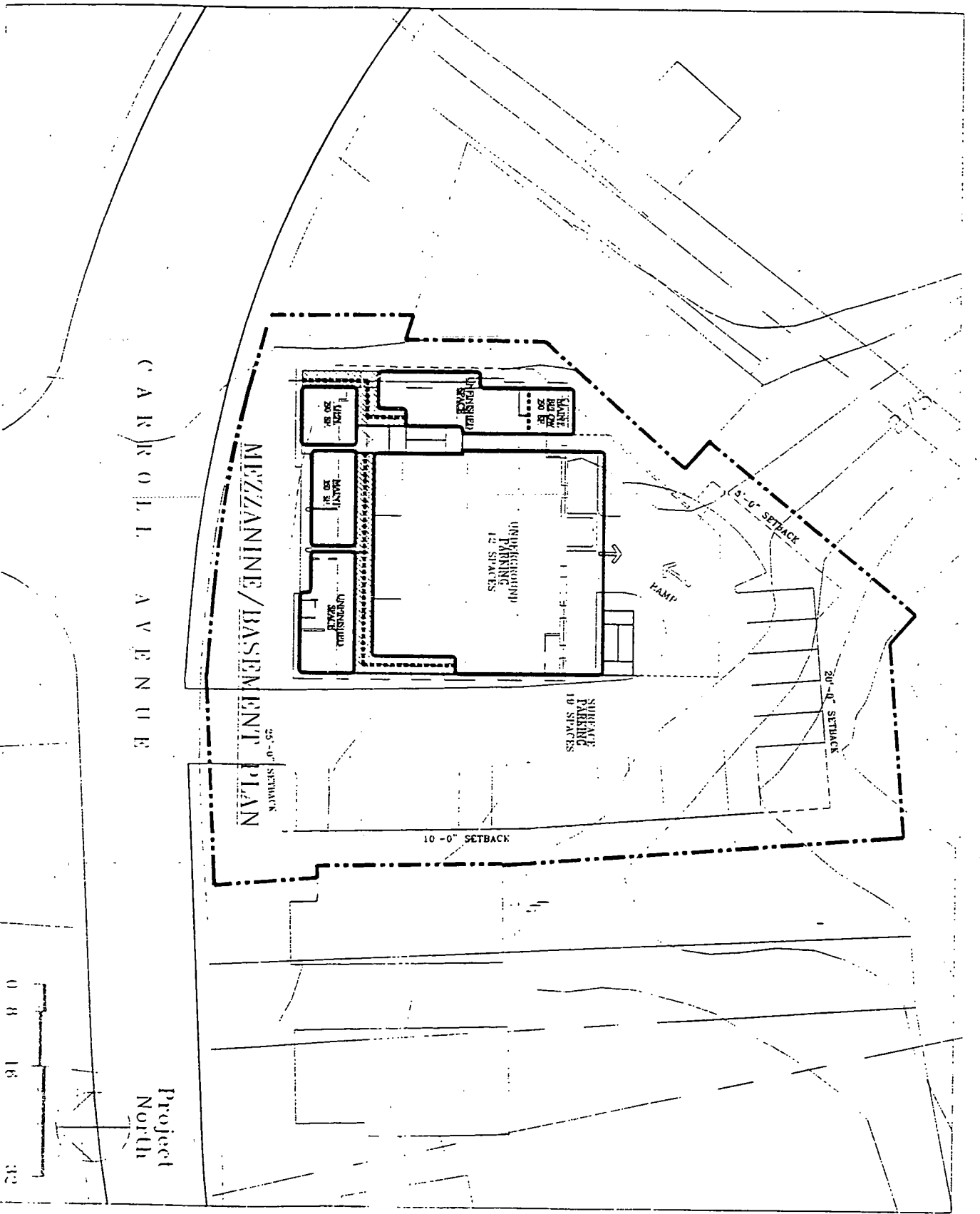


SECOND FLOOR PLAN

CONCEPT 1:
 Class II Station with Land Acquisition
 QUINN EVANS/ARCHITECTS and HACKETT + FURTADO ARCHITECTS

CONCEPT 2: Class II Station without land acquisition

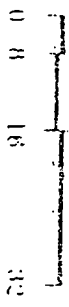
Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • 3 near full apparatus bays • ADMIN proximate to APPARATUS 	<ul style="list-style-type: none"> • back-in configuration • limited apron • LIVING on 2nd Floor • DORM on 2nd Floor
Historic Preservation	<ul style="list-style-type: none"> • preserves part of existing front facade • preserves existing west facade • preserves part of existing east facade • preserves existing fireplace in ADMIN 	<ul style="list-style-type: none"> • adds new apparatus door in front facade • requires new second story • requires east addition
Construct - ability	<ul style="list-style-type: none"> • retains some of the existing structure 	<ul style="list-style-type: none"> • complete rebuild of west section to accommodate equipment loads
Site Issues	<ul style="list-style-type: none"> • no land acquisition, • limited site work • 30 to 35 parking spaces 	<ul style="list-style-type: none"> • requires rezoning or zoning variance • requires extensive parking deck @ rear



CONCEPT 2:

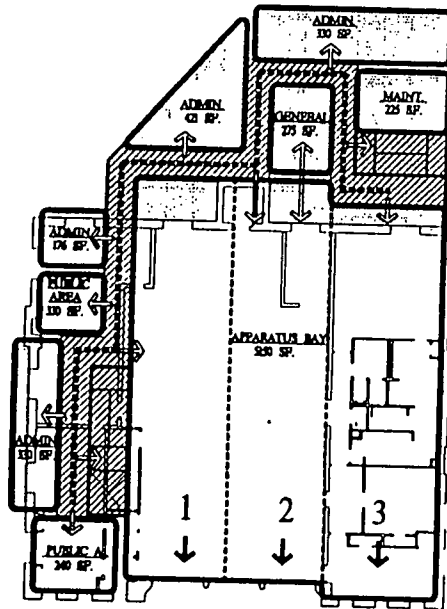
Class II Station without Land Acquisition

QUINN EVANS/ARCHITECTS and HACKETT PARRISH ARCHITECTS



Project North

Takoma Park, Maryland





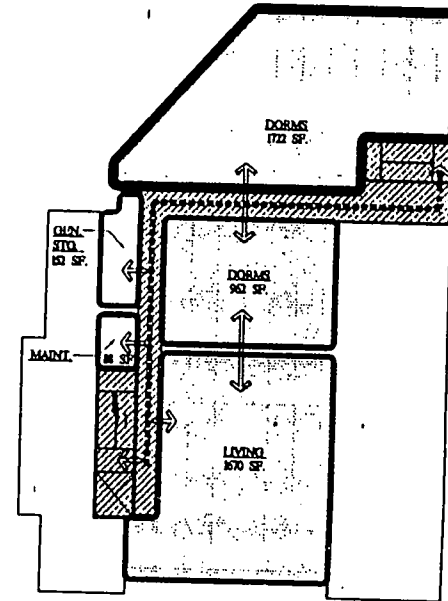
FIRST FLOOR PLAN

CONCEPT DATA

FIRST FLOOR:	8,400 SF.
SECOND FLOOR:	5,690 SF.
MEZZ./BASEMENT:	1,690 SF.
TOTAL:	15,860 SF.
PARKING:	30-35 SPACES

KEY

	New construction beyond Existing Building Footprint
	Circulation



SECOND FLOOR PLAN

CONCEPT 2:

Class II Station without Land Acquisition

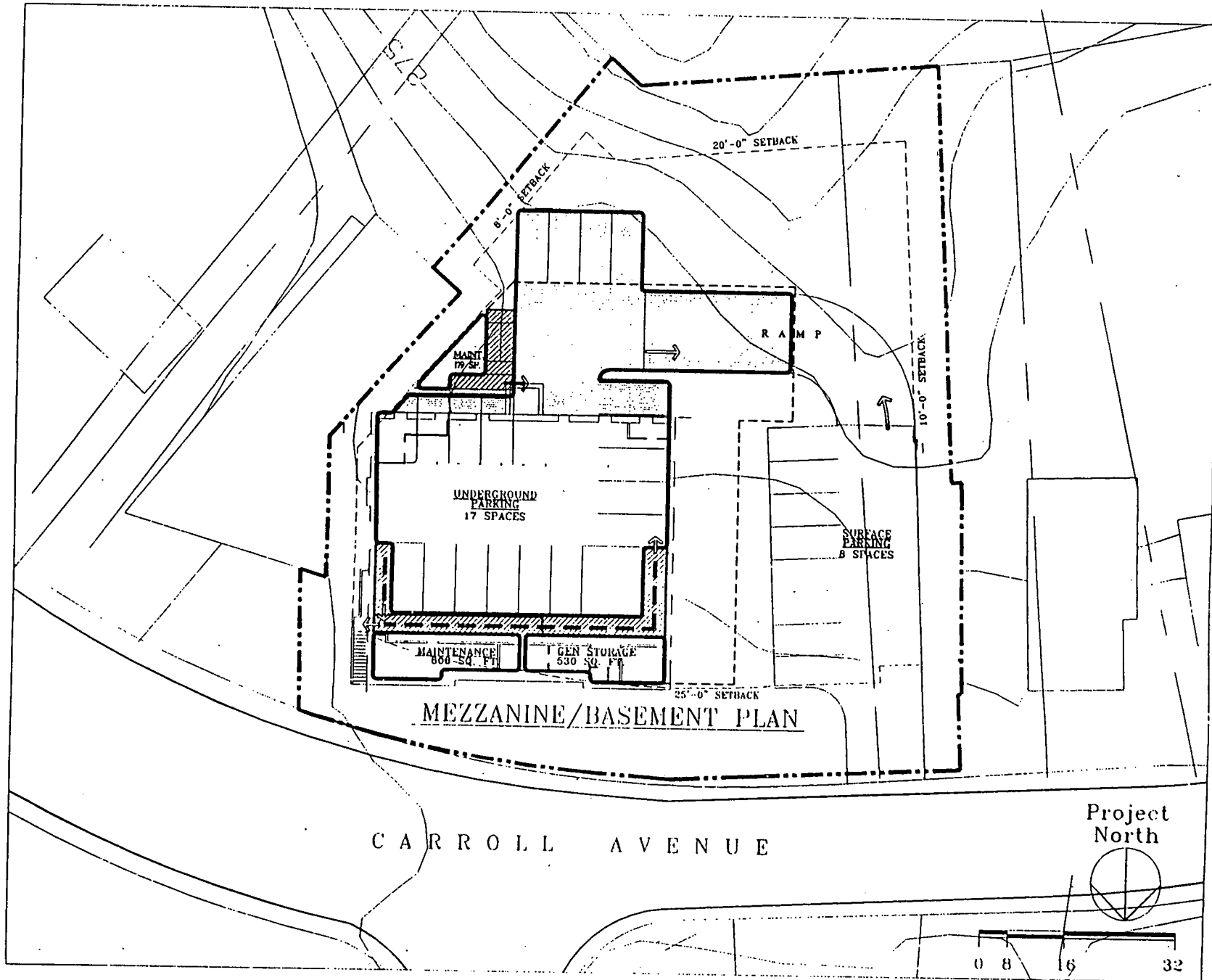
QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

CONCEPT 3: Class III Station with land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • three near full apparatus bays • one level station • LIVING proximate to APPARATUS • ADMIN proximate to APPARATUS • DORM proximate to APPARATUS 	<ul style="list-style-type: none"> • limited apron • back-in configuration
Historic Preservation	<ul style="list-style-type: none"> • preserves existing facade • preserves existing east facade • preserves existing fire place in living area 	<ul style="list-style-type: none"> • EMS BAY addition set in front of west facade
Construct - ability	<ul style="list-style-type: none"> • existing structure may be substantially retained • new EMS support structure may be independent of existing bldg 	
Site Issues		<ul style="list-style-type: none"> • requires purchase of lot 30

Takoma Park, Maryland

PRELIMINARY LAYOUT STUDY

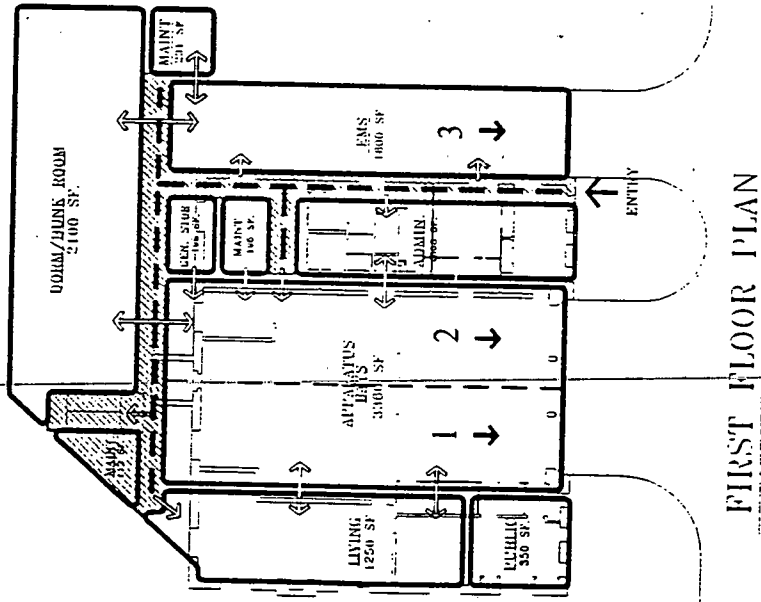


CONCEPT 3:

Class III Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland



CONCEPT DATA
 FIRST FLOOR: 11,392 SF.
 MEZZ./BASEMENT: 1,759 SF.
 TOTAL: 13,151 SF.
 PARKING: 20-25 SPACES

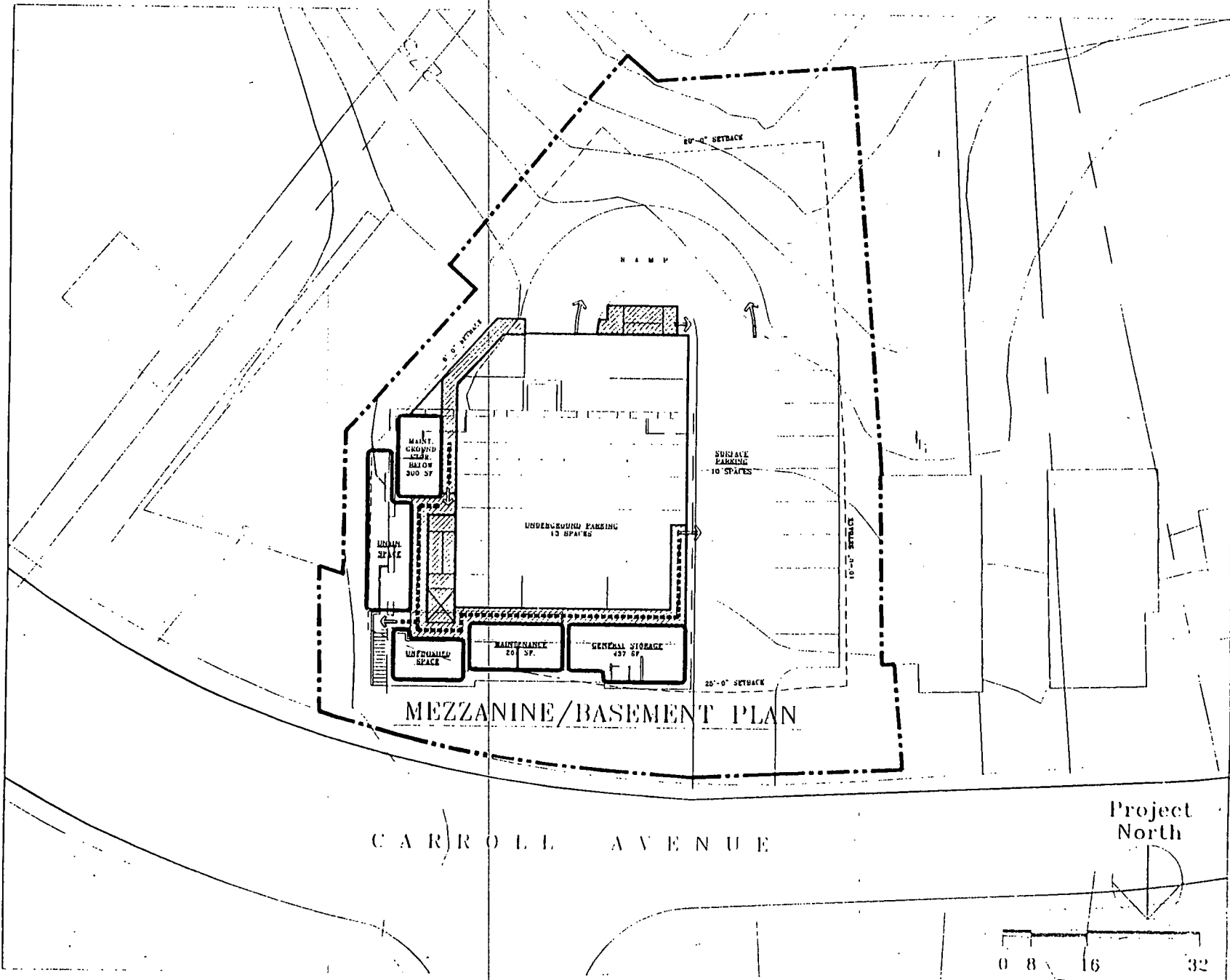
KEY
 [Solid Line] New construction beyond Existing Building Footprint
 [Hatched Area] Circulation

CONCEPT 3:
 Class III Station with Land Acquisition
 QUINN EVANS/ARCHITECTS and HACKETT + MILDENBERG ARCHITECTS

CONCEPT 4: Class III Station without land acquisition

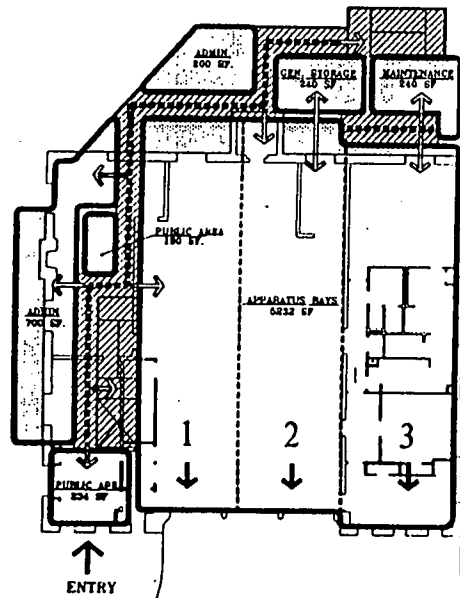
Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • three near full apparatus bays • one level station • ADMIN proximate to APPARATUS 	<ul style="list-style-type: none"> • limited apron • back-in configuration • Apparatus bays are not contiguous • LIVING on 2nd Floor • DORM on 2nd Floor
Historic Preservation	<ul style="list-style-type: none"> • preserves part of existing front facade • preserves existing west facade • preserves part of existing east facade • preserves existing fireplace in ADMIN 	<ul style="list-style-type: none"> • adds new apparatus door in front facade • requires new second story • requires east addition
Construct - ability	<ul style="list-style-type: none"> • retains much of existing structure 	<ul style="list-style-type: none"> • complete rebuild of west section to accommodate equipment loads
Site Issues	<ul style="list-style-type: none"> • no land acquisition 	

Takoma Park, Maryland



CONCEPT 4:
Class III Station without Land Acquisition
QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBHO ARCHITECTS

Takoma Park, Maryland





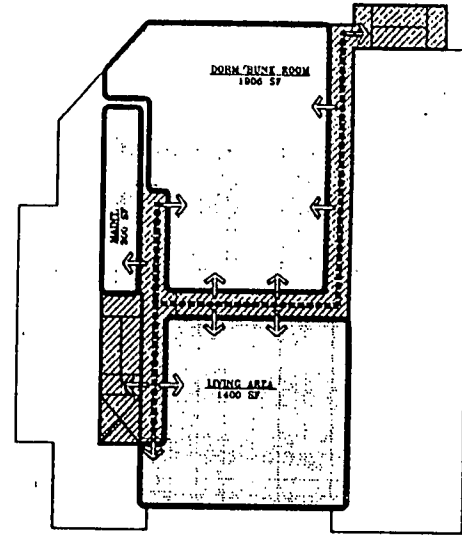
FIRST FLOOR PLAN

CONCEPT DATA

FIRST FLOOR:	7,550 SF.
SECOND FLOOR:	4,700 SF.
MEZZ./BASEMENT:	1,600 SF.
TOTAL:	13,850 SF.
PARKING:	20-25 SPACES

KEY

-  New construction beyond Existing Building Footprint
-  Circulation



SECOND FLOOR PLAN

CONCEPT 4:

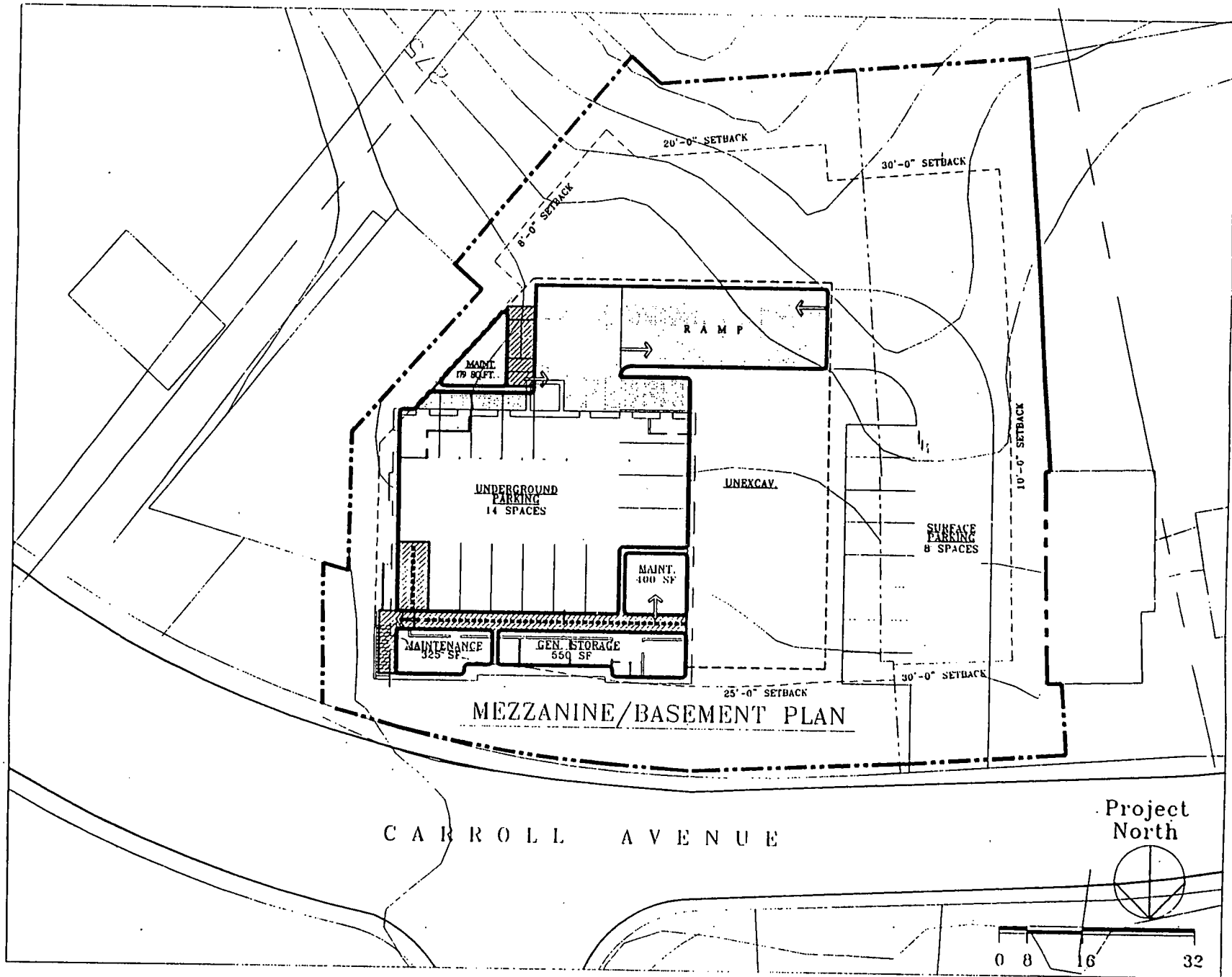
Class III Station without Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

CONCEPT 5: Class II/Class III (hybrid) Station with land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • three near full apparatus bays • one level station • LIVING proximate to APPARATUS • ADMIN proximate to APPARATUS • DORM proximate to APPARATUS 	<ul style="list-style-type: none"> • limited apron • back-in configuration
Historic Preservation	<ul style="list-style-type: none"> • preserves part of existing front facade • preserves existing east facade • preserves existing fireplace in LIVING 	<ul style="list-style-type: none"> • adds new apparatus door in front facade • requires west addition • large "un-excavated" construction area
Construct - ability	<ul style="list-style-type: none"> • retains much of existing structure 	<ul style="list-style-type: none"> • complete rebuild of west section to accommodate equipment loads
Site Issues	<ul style="list-style-type: none"> • 20 to 25 parking spaces 	<ul style="list-style-type: none"> • requires purchase of lot 30

Takoma Park, Maryland

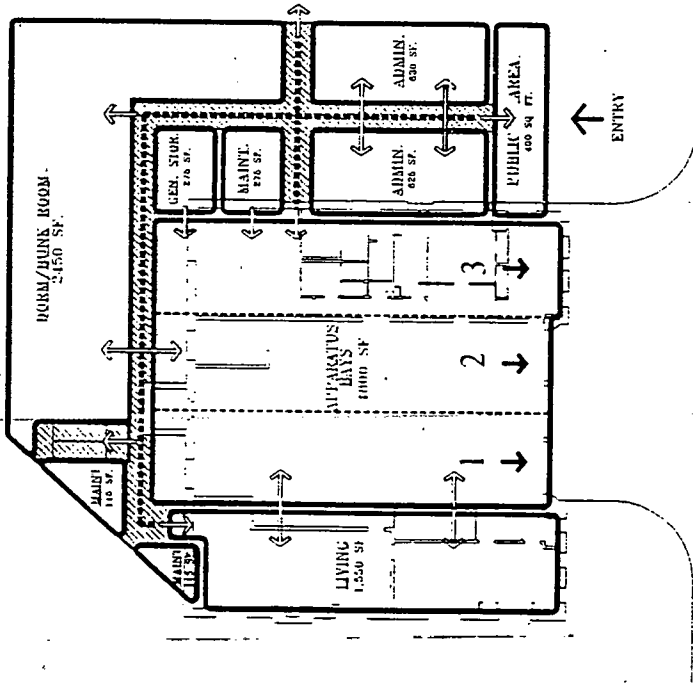


CONCEPT 5:

Class II/Class III Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland



CONCEPT DATA

FIRST FLOOR:	12,100 SF.
MEZZ./BASEMENT:	2,160 SF.
TOTAL:	14,560 SF.
PARKING:	20-25 SPACES

KEY

- New construction beyond Existing Building Footprint
- Circulation

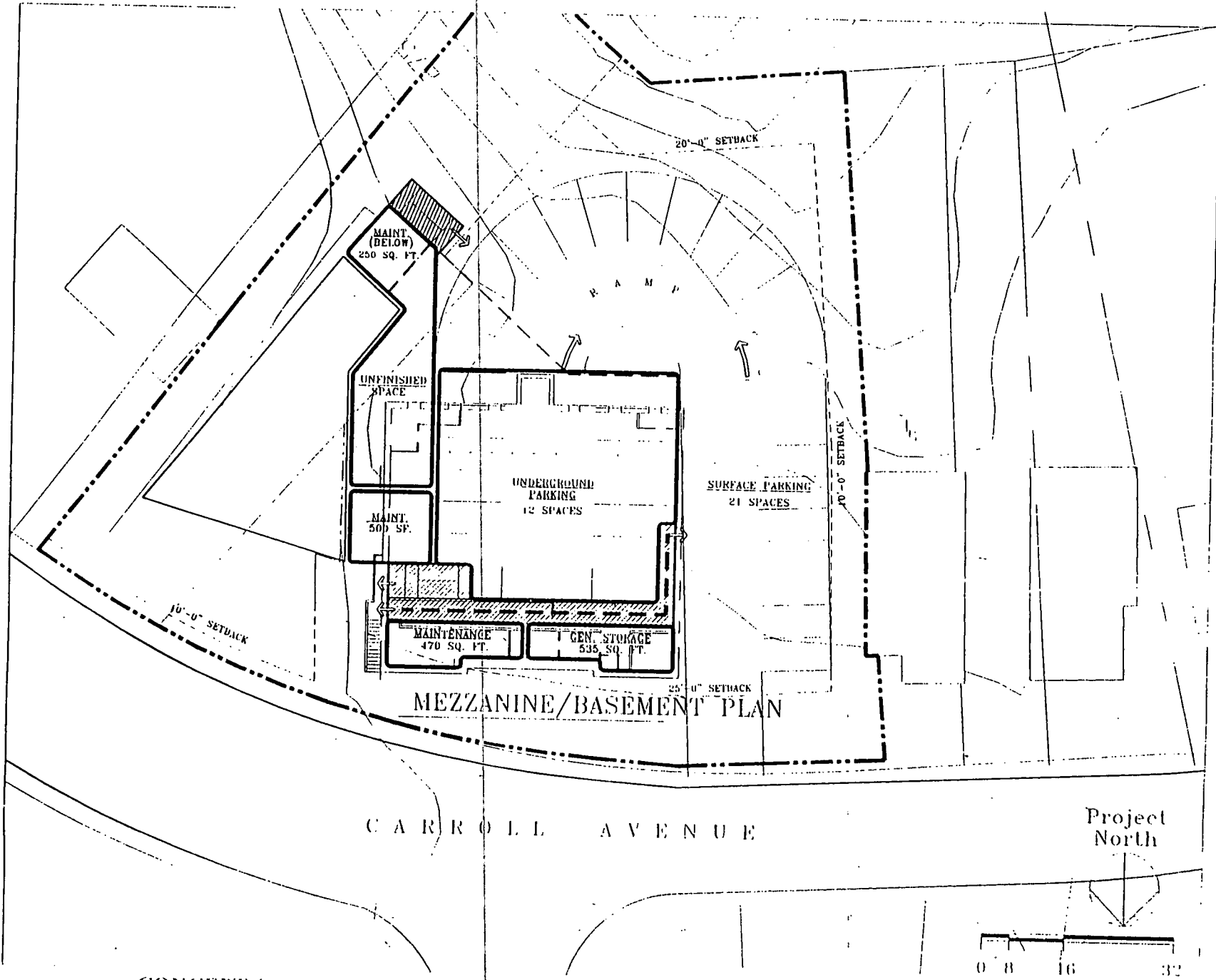
FIRST FLOOR PLAN

CONCEPT 5:
 Class II/Class III Station with Land Acquisition
 QUINN EVANS/ARCHITECTS and HACKLEY/ALPH /AMBILIO ARCHITECTS

CONCEPT 6: Class II/Class III (hybrid) Station without land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • three near full apparatus bays • one level station • LIVING proximate to APPARATUS • ADMIN proximate to APPARATUS • DORM proximate to APPARATUS • potential use of lot 32 apron space 	<ul style="list-style-type: none"> • back-in configuration • apparatus bays are not contiguous
Historic Preservation	<ul style="list-style-type: none"> • retains existing front facade • retains existing west facade • retains front part of existing east facade • retains historic fireplace in Dorm 	
Construct - ability	<ul style="list-style-type: none"> • makes use of existing Lot 32 Bldg 	<ul style="list-style-type: none"> • requires analysis of Lot 32 Building
Site Issues		<ul style="list-style-type: none"> • requires purchase of Lot 32 • extensive ramp construction

Takoma Park, Maryland

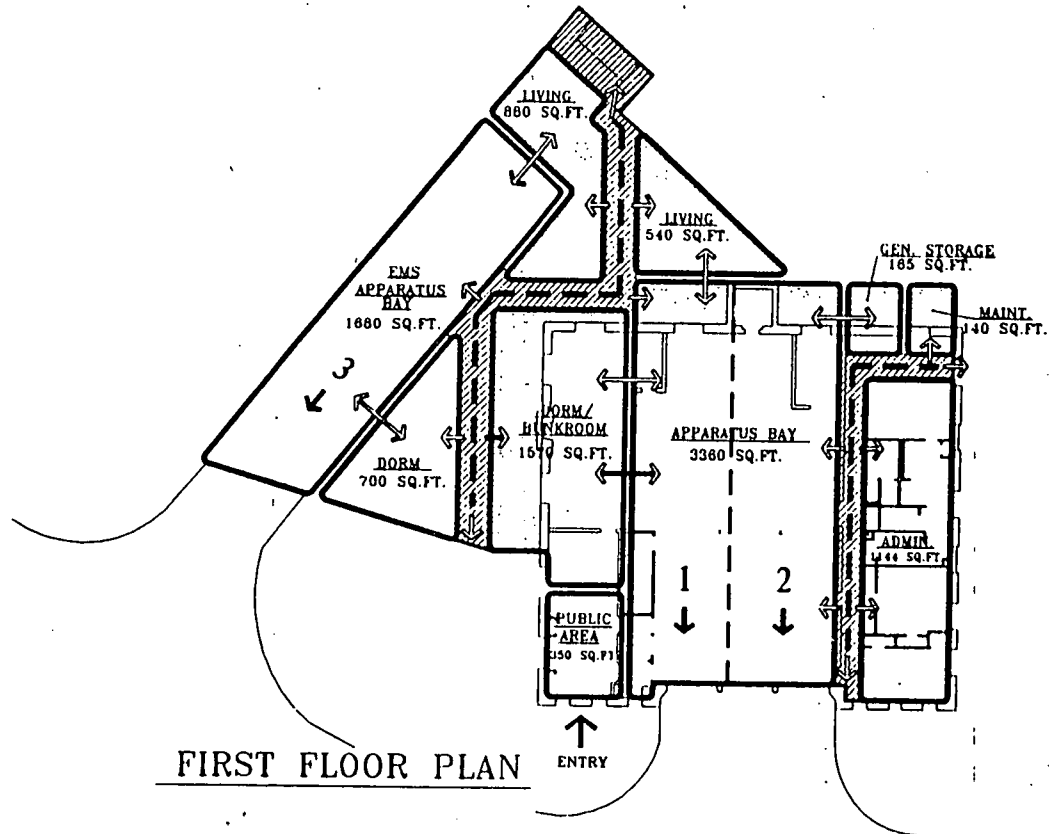


CONCEPT 6:

Class II/Class III Station without Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland



CONCEPT DATA

FIRST FLOOR:	11,570 SF.
MEZZ./BASEMENT:	2570 SF.
TOTAL:	14,140 SF.
PARKING:	30-35 SPACES

KEY

- New construction beyond Existing Building Footprint
- Circulation

CONCEPT 6:

Class II/Class III Station without Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Schemes A & B

Selection of Schemes for Further Study

During meetings with the Stakeholders, it was agreed that the Consultant Team should revise and develop **Concept 2** with the following modifications:

- land acquisition must include Lot 30
- A large portion of the Admin function should be moved to the basement - along the West Wall
- The Living function should be relocated to the first level, in the wing where it currently exists, and around to the rear.
- The Dorm and Exercise functions should be maintained on the Second Floor.
- Parking below, in the existing building should be eliminated because of the expense involved.

and **Concept 5** with the following modifications:

- The Facade should be developed in an A, B, "AA" configuration
- Land acquisition should include two lots - 29 and 30
- All parking should be surface
- The existing basement should be left as "unfinished"

Scheme A Concept Design (Three Story Scheme)

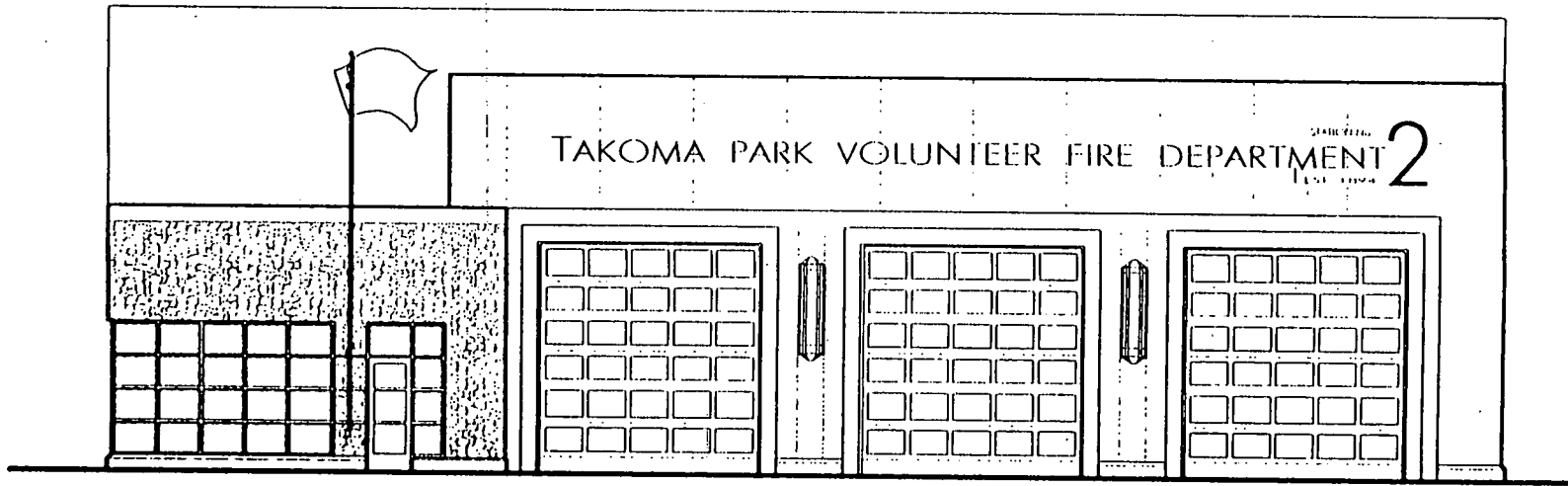
Scheme A results in a fire station with function at three levels. Administration Offices and General Storage and MEP spaces are located at the Basement level. Apparatus, Living Area, and Public Areas are located at the First Floor Level. Dorm/Bunk Rooms and Support Spaces are located at the Second Floor Level.

Construction of Scheme A requires complete demolition of the existing building interior except for the main structural members supporting the apparatus slab. The front and side stone walls are retained; the rear stone and brick facade is demolished. At the rear, the existing building is extended at the rear, and a second story is added.

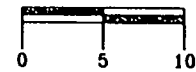
A new Art Deco style facade designed to continue and enhance the current Station style is proposed. While completely new, the apparatus door portion of the would be built of limestone in a style similar to that at the existing doors. The one story stone portion at the East is modified to harmonize with the overall Art Deco Style.

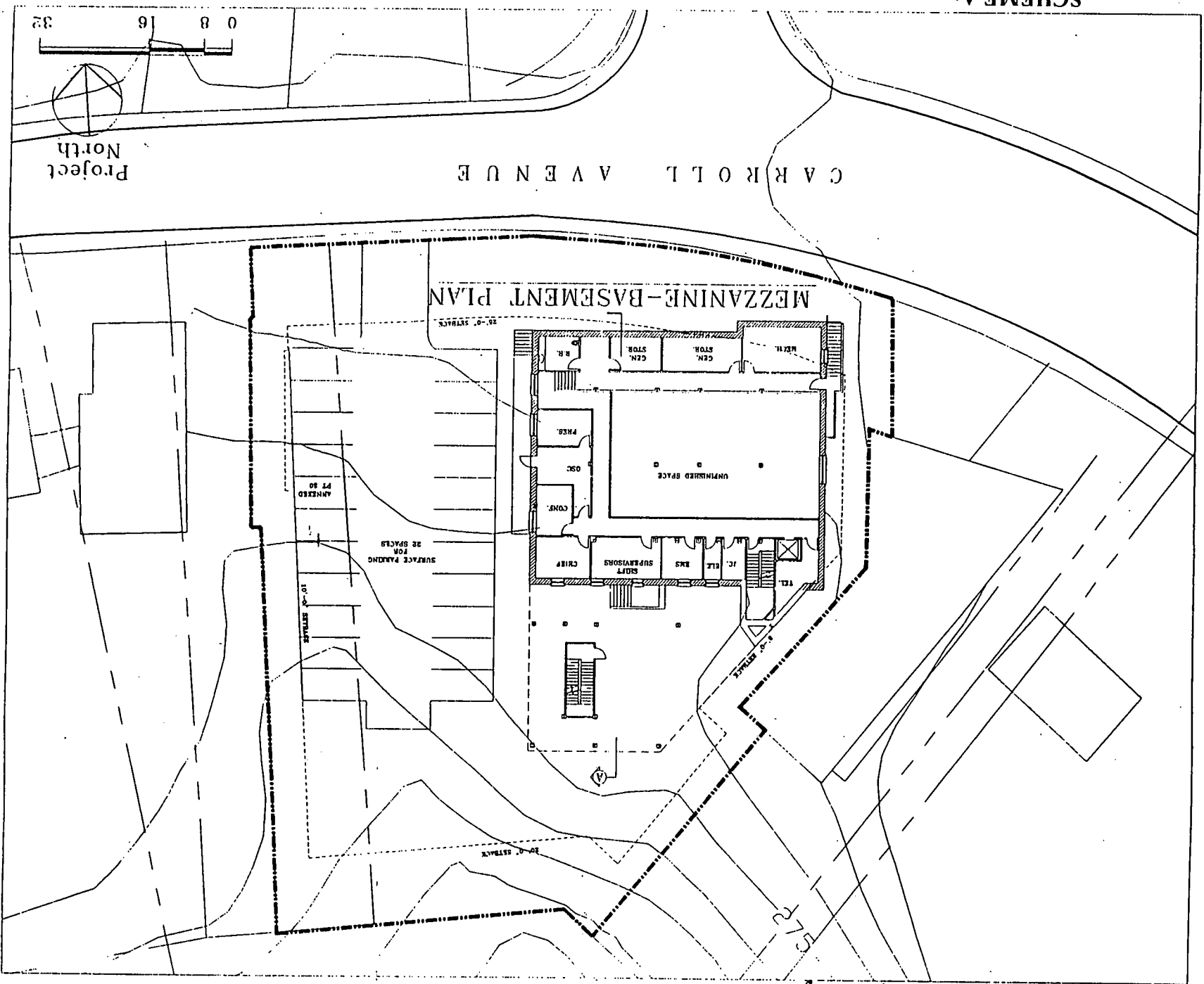
Drawings

Attached are Elevations, Plans, and Section Drawings which describe Scheme A.



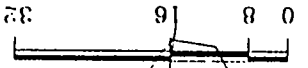
ENTRY ELEVATION — SCHEME 'A'





CARROLL AVENUE

Project North



MEZZANINE-BASEMENT PLAN

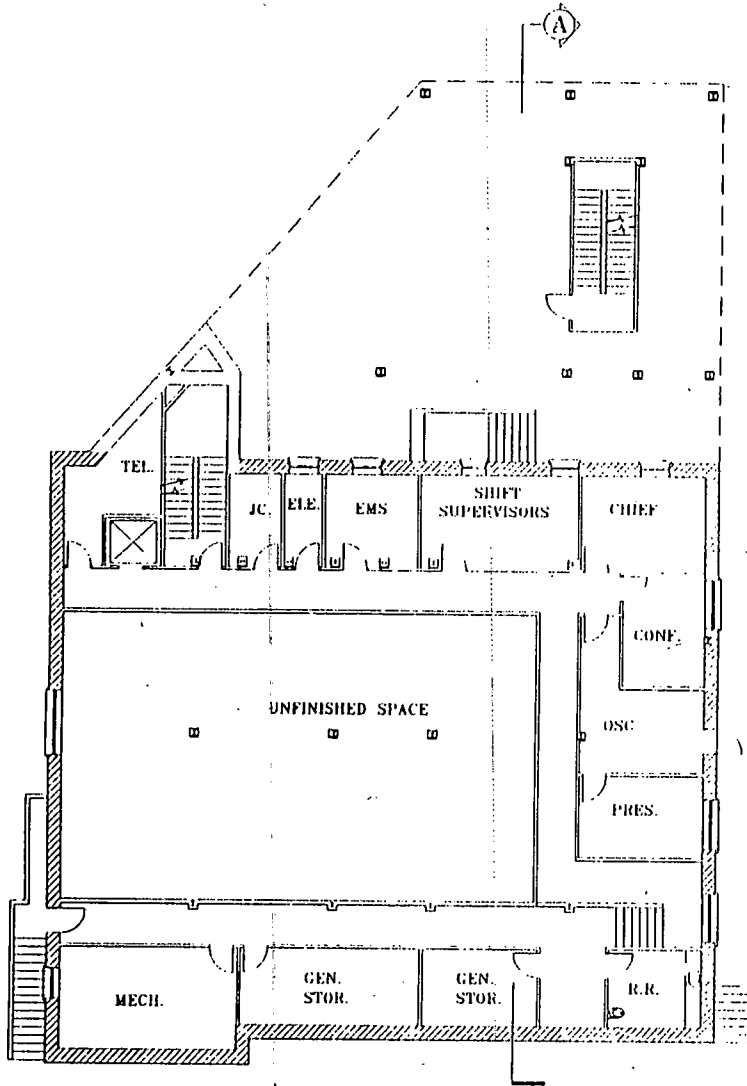
Takoma Park, Maryland

SCHEME A:

Class II Station with Land Acquisition


QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland



AREA CALCULATIONS

ADMINISTRATION	1150 SQ. FT.
MAINTENANCE	510 SQ. FT.
GENERAL	385 SQ. FT.
<hr/>	
TOTAL (COMPONENTS)	2045 SQ. FT.
<hr/>	
CIRCULATION	1642 SQ. FT.
<hr/>	
TOTAL (BSMNT./MEZZ.)	3687 SQ. FT.

 EXISTING STRUCTURE TO REMAIN

MEZZANINE-BASEMENT FLOOR PLAN

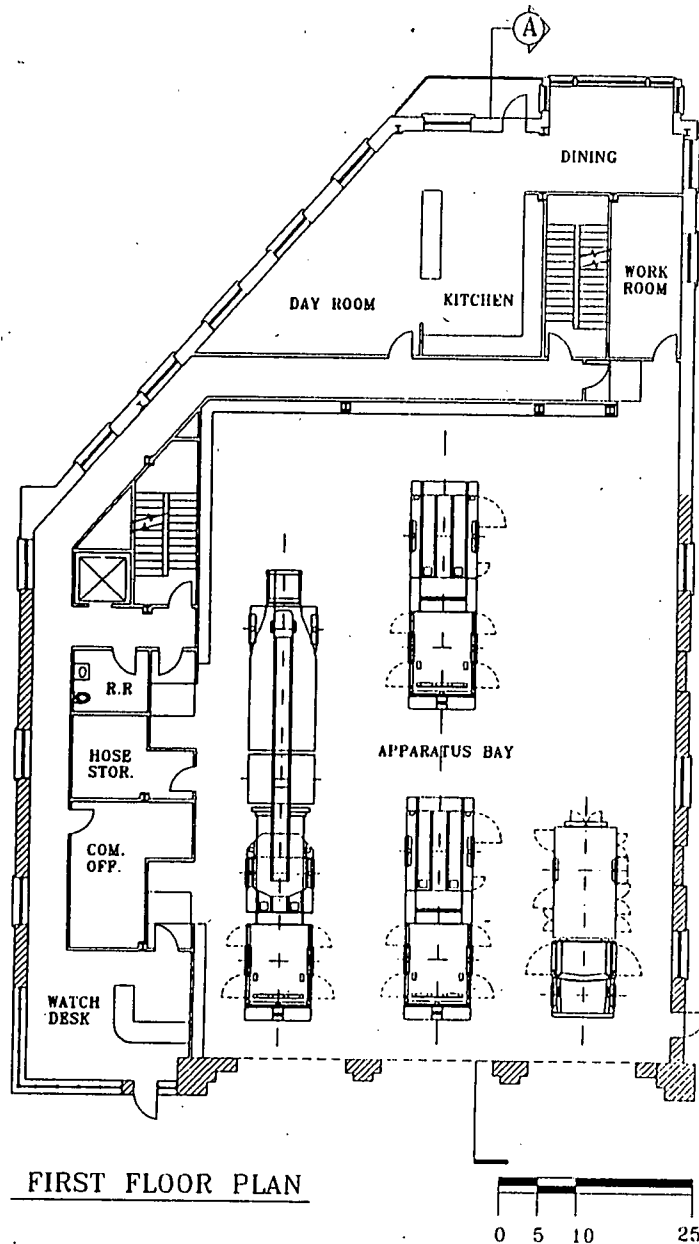


SCHEME A:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland



AREA CALCULATIONS

APPARATUS SPACE	4861 SQ. FT.
LIVING AREA	1210 SQ. FT.
PUBLIC AREA	376 SQ. FT.
ADMINISTRATION	218 SQ. FT.
GENERAL	152 SQ. FT.
MAINTENANCE	317 SQ. FT.
<hr/>	
TOTAL (COMPONENTS)	7134 SQ. FT.
<hr/>	
CIRCULATION	1512 SQ. FT.
<hr/>	
TOTAL (FIRST FL.)	8646 SQ. FT.

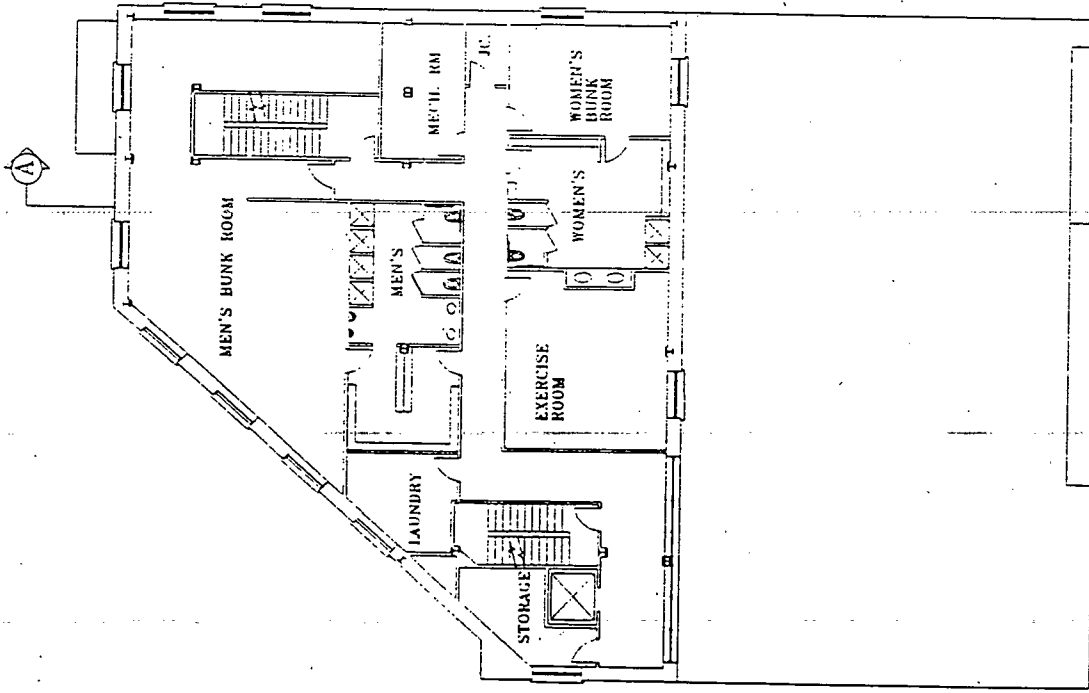
 EXISTING STRUCTURE
TO REMAIN

SCHEME A:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland

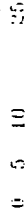


AREA CALCULATIONS

BUNKROOM	2485 SQ. FT.
LIVING AREA	440 SQ. FT.
GENERAL	167 SQ. FT.
MAINTENANCE	203 SQ. FT.
<hr/>	
TOTAL (COMPONENTS)	3295 SQ. FT.
CIRCULATION	1157 SQ. FT.
<hr/>	
TOTAL (SECOND FL.)	4452 SQ. FT.

EXISTING STRUCTURE
TO REMAIN

SECOND FLOOR PLAN

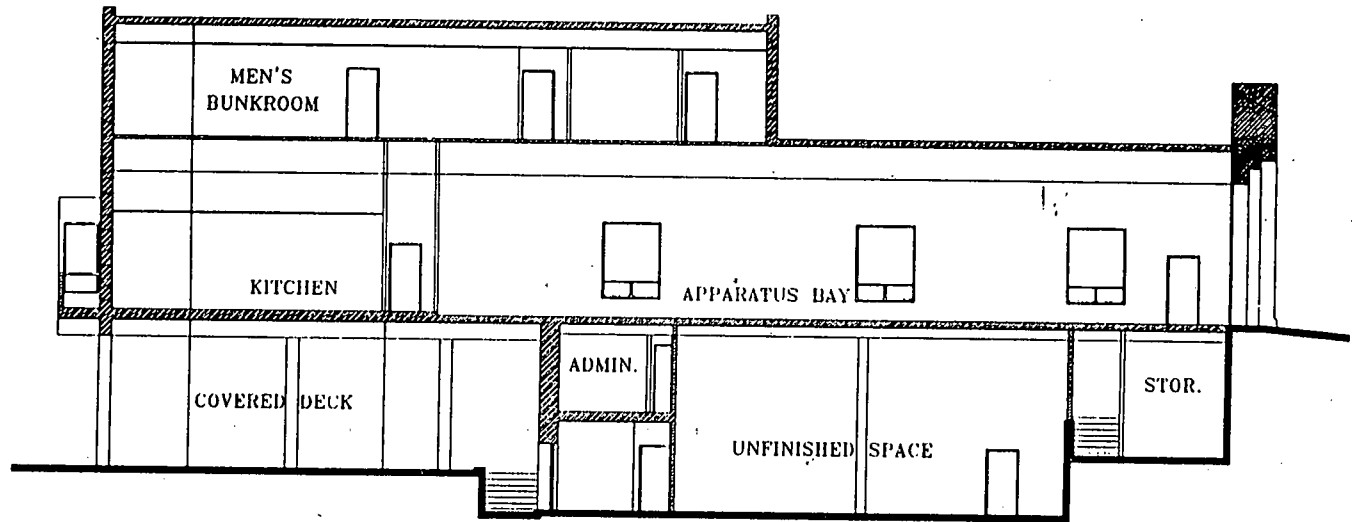


SCHEME A:

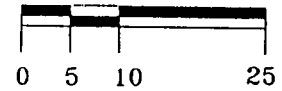
Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and JACKIE EY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland



SECTION A



SCHEME A:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Scheme B Concept Design (One Story Scheme)

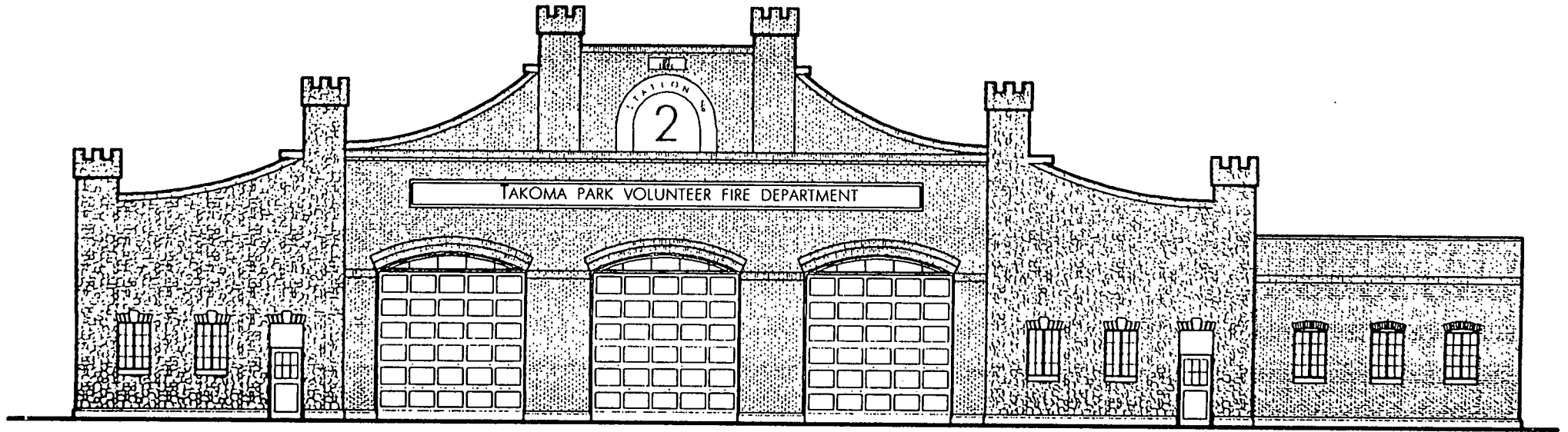
Scheme B results in a fire station with the primary function at one level. General Storage and MEP spaces are located at the Basement level; all other functions are provided at the First Floor Level.

Construction of Scheme B requires complete demolition of the existing building interior except for the main structural members supporting the apparatus slab. Except for the east wall including the grand fire place, and a portion of the front facade adjacent to the commercial warehouse, the existing building envelope is demolished down to grade, and serves as footing component in the new building. The new building sets directly above the existing with expansion provided at the rear and at the west side.

The new facade is designed to recall the character of the original 1928 facade shown on the cover of this report. An A - B - A - c configuration is proposed; the "A" elements are built of field stone in a form derived directly from historic photographs, the "B" portion of the facade is to be built of brick with limestone trim in a form which is derived from the historic photograph, but is modified to accommodate the larger size of the apparatus bay doors. While substantially new, this station preserves the original fire place, a portion of the original facade, and introduces a new design which respects the memory of the original building.

Drawings

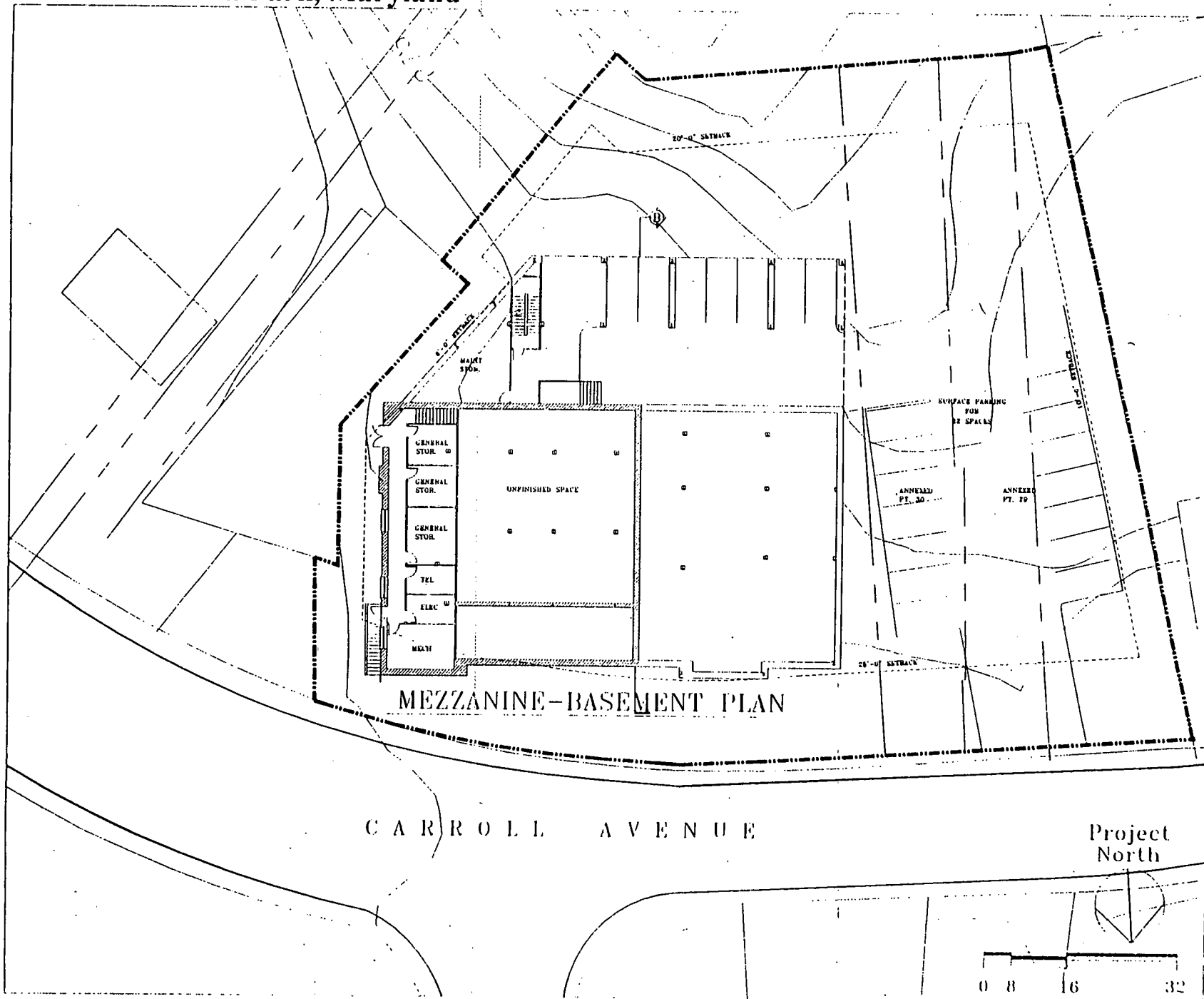
Attached are Elevations, Plans, and Section Drawings which describe Scheme B.



ENTRY ELEVATION — SCHEME 'B'



Takoma Park, Maryland



MEZZANINE-BASEMENT PLAN

CARROLL AVENUE

Project North

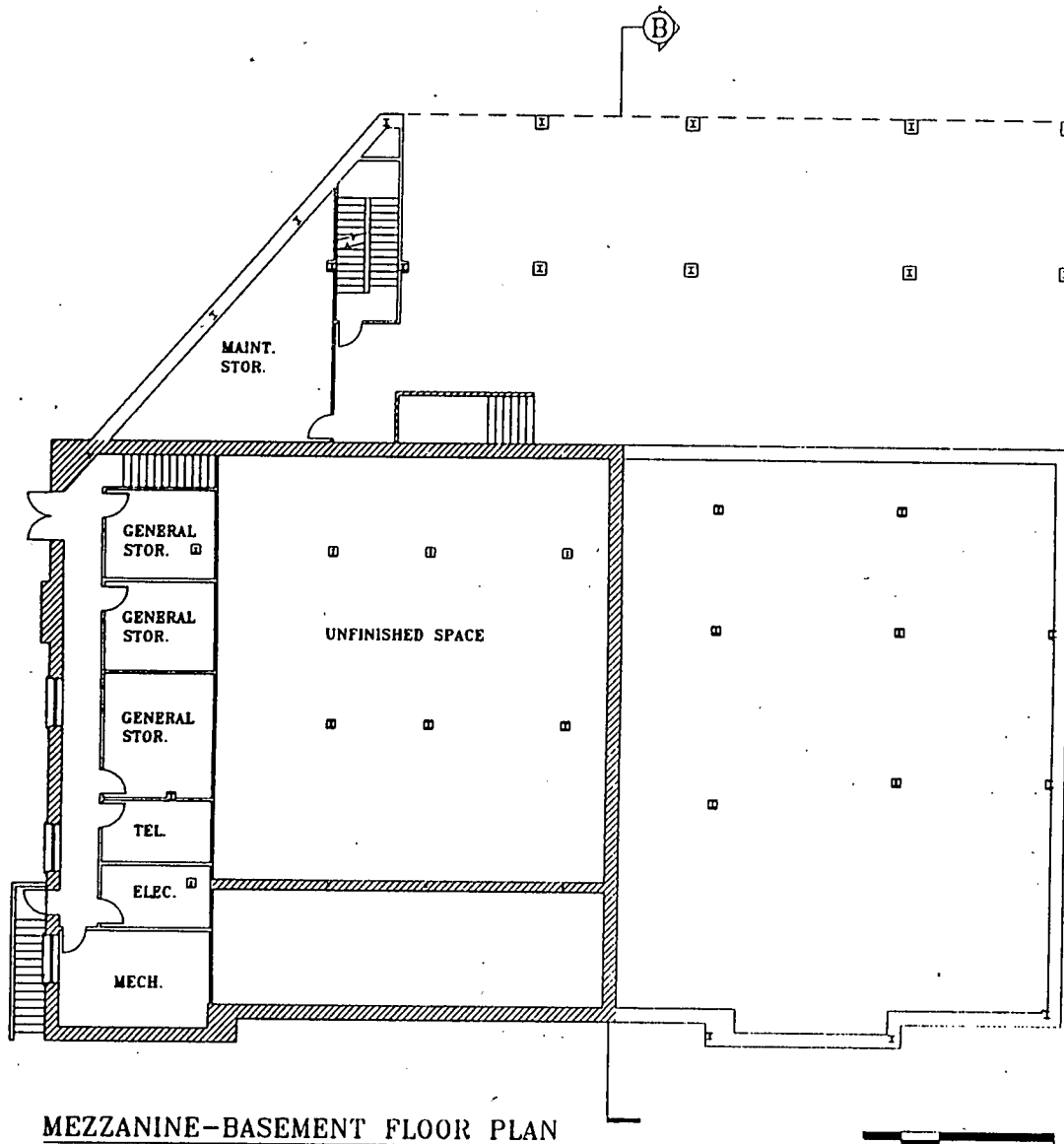
0 8 16 32

SCHEME B:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland

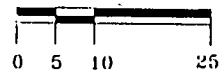


AREA CALCULATIONS

GENERAL	585 SQ. FT.
MAINTENANCE	910 SQ. FT.
TOTAL (COMPONENTS)	1495 SQ. FT.
CIRCULATION	495 SQ. FT.
TOTAL (MEZZ./BSMNT.)	1990 SQ. FT.

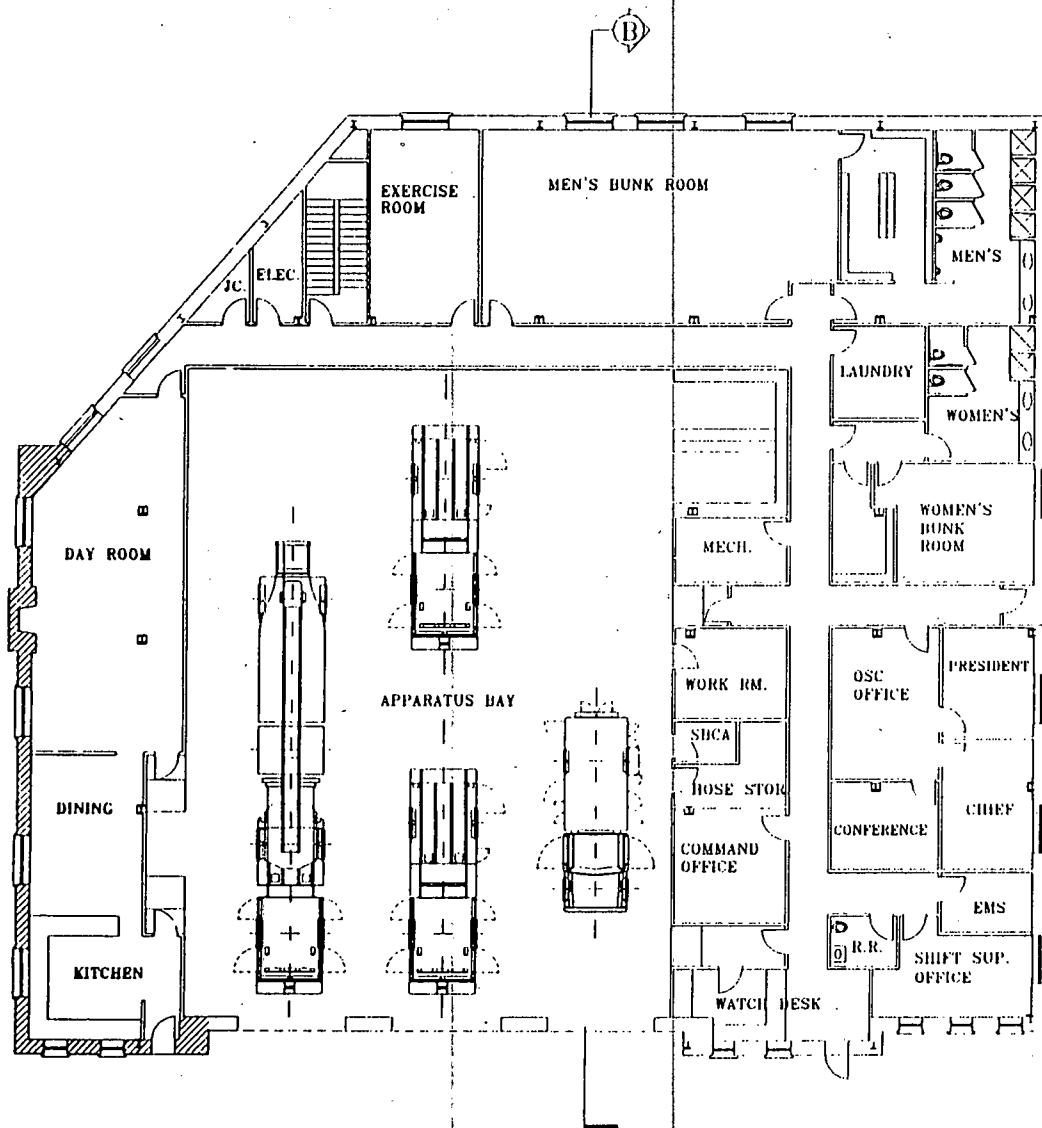
 EXISTING STRUCTURE TO REMAIN

MEZZANINE-BASEMENT FLOOR PLAN



SCHEME B:
Class II Station with Land Acquisition
 QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland



FIRST FLOOR PLAN

AREA CALCULATIONS

APPARATUS SPACE	5044 SQ. FT.
BUNKROOMS	2485 SQ. FT.
LIVING AREA	1710 SQ. FT.
PUBLIC AREA	270 SQ. FT.
ADMINISTRATION	1255 SQ. FT.
GENERAL	480 SQ. FT.
MAINTENANCE	485 SQ. FT.
TOTAL (COMPONENTS)	11,729 SQ. FT.
CIRCULATION	1773 SQ. FT.
TOTAL (FIRST FL.)	13,502 SQ. FT.

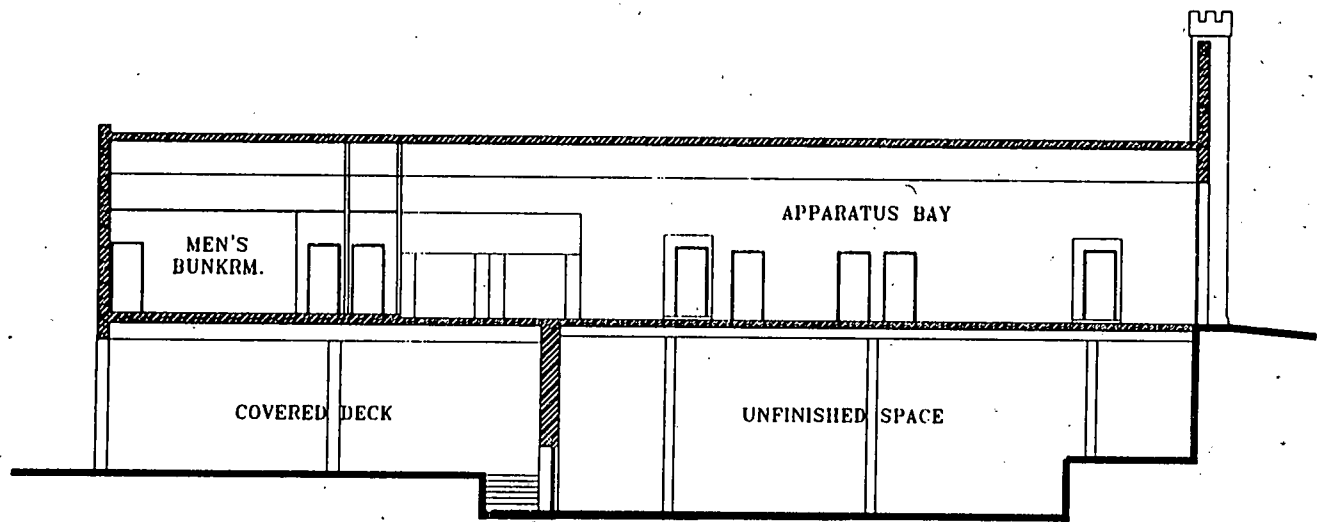
EXISTING STRUCTURE
TO REMAIN

SCHEME B:

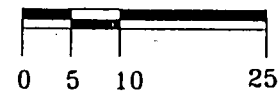
Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Takoma Park, Maryland



SECTION B



SCHEME B:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

24 July, 1997

TAKOMA FIRE STATION FEASIBILITY STUDY

APPENDIX

- COST ESTIMATE - SCHEMES A & B
Prepared by: R.W. Brown & Associates

- PROGRAM OF REQUIREMENTS - PROTOTYPE FIRESTATIONS CLASS I, II, III, IV
Prepared by: Montgomery County Department of Public Works and Transportation
Division of Facilities and Services, Capital Projects Management Section and the
Montgomery County Fire and Rescue Commission

- TAKOMA PARK FIRE STATION FEASIBILITY STUDY (Site Issues)
Prepared by: Loiederman Associates, Inc.

- TAKOMA PARK FIRE STATION STRUCTURAL EVALUATION
Prepared by: Shemro Engineering Associates

- TAKOMA PARK FIRE STATION MEP SYSTEMS EVALUATION
Prepared by: Allen And Shariff Corporation

- LETTER OF SUPPORT - 30 June 1997
Prepared by: Historic Takoma

Space Requirements Chart Page 4:

AREA / SPACE	EXISTING SF	FOR REQUIREMENTS	SCHEMES	
		CLASS II	A	B
6. TELEPHONE COMM. ROOM			134 SF	110 SF
SUMMARY (max)		12,590 SF	12,474 SF	13,224 SF
1. CIRCULATION		@25% = 3,148 SF	@34% = 4,311 SF	@17% = 2,268 SF
TOTALS (max.)		15,738 SF	16,785 SF	15,492 SF

Preliminary Concepts - Graphic Plans and Comparison

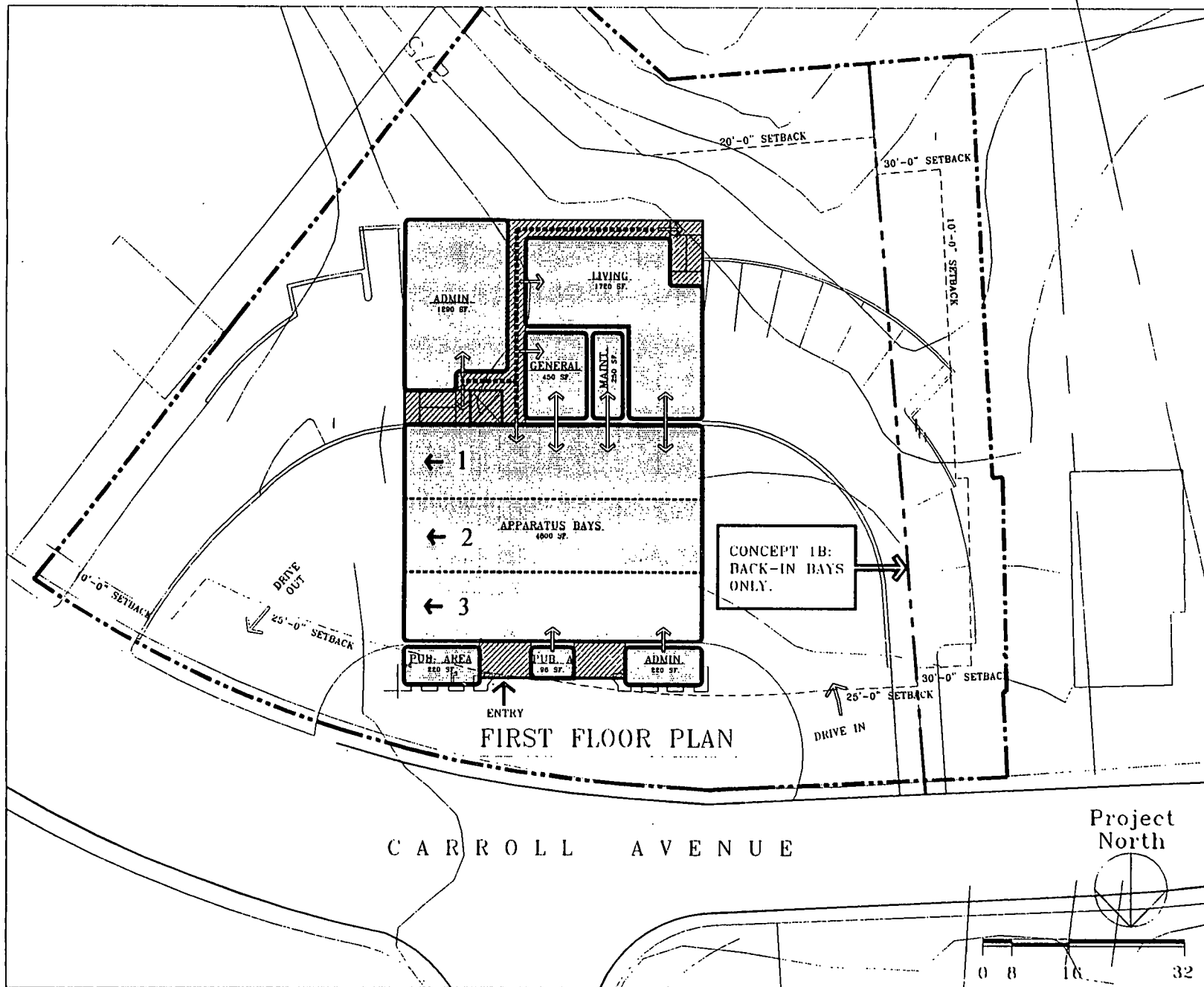
On the following pages are comparison charts and plan diagrams for the six Program Concepts requested by the City of Takoma Park and the County. This comparison charts were first developed by the Consultant Team, and then reviewed with the Stakeholders at a joint review meeting held on 10 June 1997.

CONCEPTS I & IA: Class II Station with land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • 3 full apparatus bays • drive through configuration • ADMIN proximate to APPARATUS • LIVING proximate to APPARATUS 	<ul style="list-style-type: none"> • DORM on 2nd Floor
Historic Preservation	<ul style="list-style-type: none"> • preserves existing front facade • enables accurate replication of 1928 facade 	<ul style="list-style-type: none"> • demolition of three facades
Construct - ability	<ul style="list-style-type: none"> • a "new" building 	<ul style="list-style-type: none"> • requires extensive demolition • a "new" building • extensive elevated construction
Site Issues	<ul style="list-style-type: none"> • 30 to 35 parking spaces • 20 to 25 parking spaces if lot 30 is not purchased 	<ul style="list-style-type: none"> • extensive land acquisition including purchase of both Commercial lot 32 and Residential lot 30 • extensive site work (raised ramps) • rezoning or variance will be required

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland



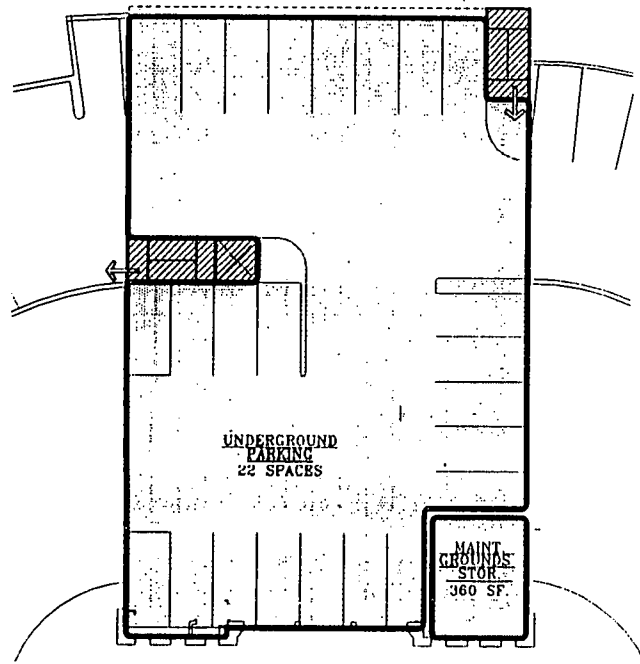
CONCEPT 1:

Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland





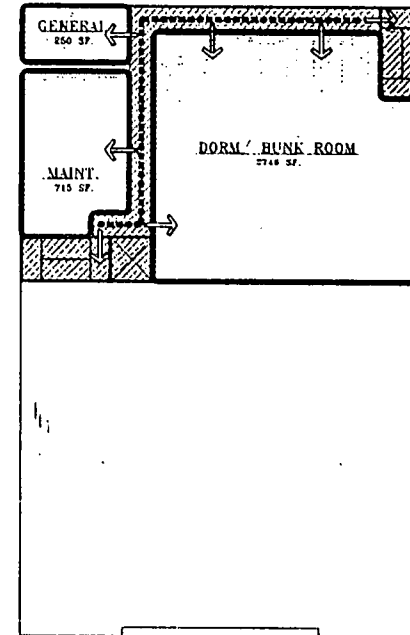
MEZZANINE/BASEMENT PLAN

CONCEPT DATA

FIRST FLOOR:	10,215 SF.
SECOND FLOOR:	4,581 SF.
MEZZ./BASEMENT:	360 SF.
TOTAL:	15,200 SF.
PARKING:	30-35 SPACES

KEY

	New construction beyond Existing Building Footprint
	Circulation



SECOND FLOOR PLAN

CONCEPT 1:

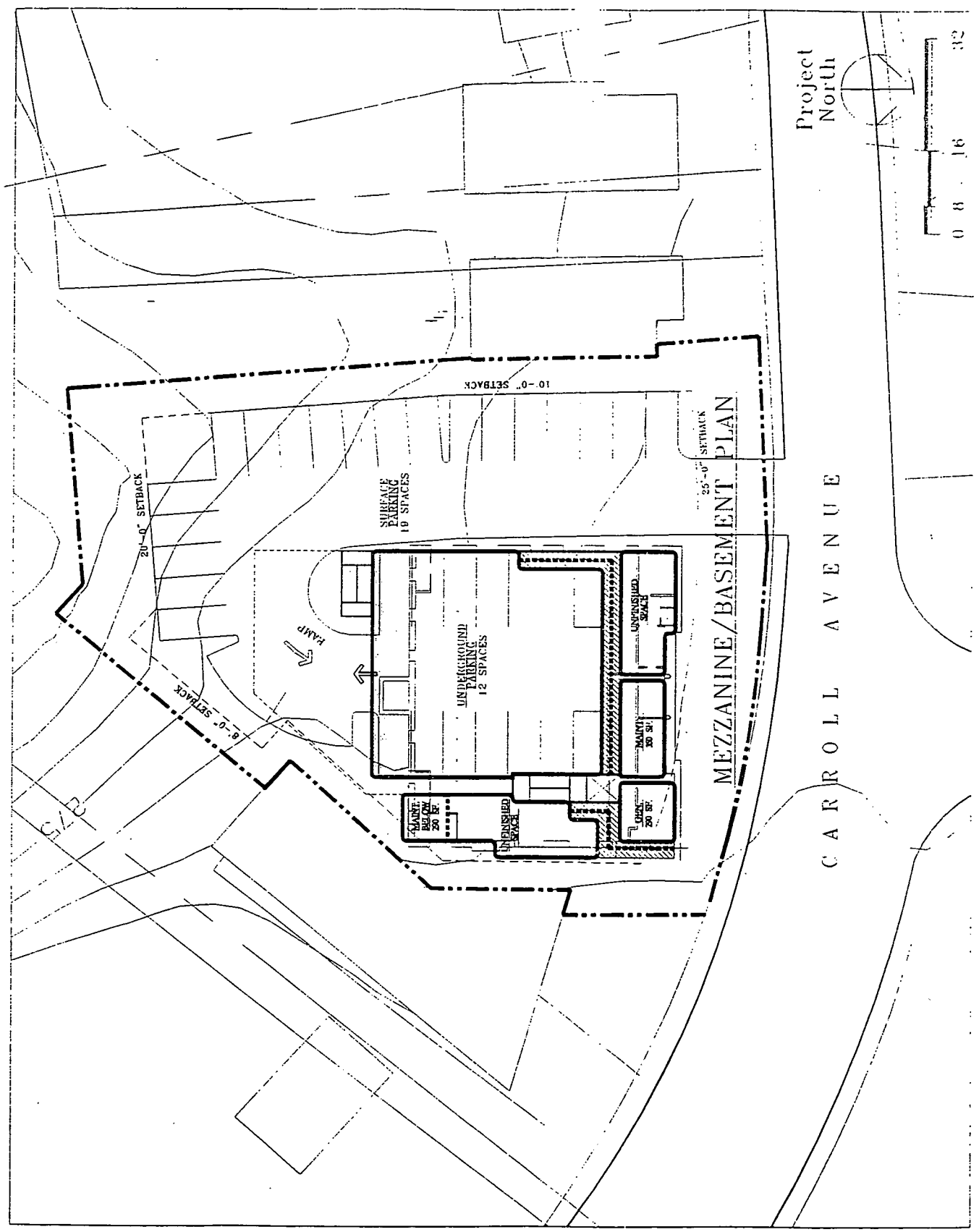
Class II Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

CONCEPT 2: Class II Station without land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • 3 near full apparatus bays • ADMIN proximate to APPARATUS 	<ul style="list-style-type: none"> • back-in configuration • limited apron • LIVING on 2nd Floor • DORM on 2nd Floor
Historic Preservation	<ul style="list-style-type: none"> • preserves part of existing front facade • preserves existing west facade • preserves part of existing east facade • preserves existing fireplace in ADMIN 	<ul style="list-style-type: none"> • adds new apparatus door in front facade • requires new second story • requires east addition
Construct - ability	<ul style="list-style-type: none"> • retains some of the existing structure 	<ul style="list-style-type: none"> • complete rebuild of west section to accommodate equipment loads
Site Issues	<ul style="list-style-type: none"> • no land acquisition • limited site work • 30 to 35 parking spaces 	<ul style="list-style-type: none"> • requires rezoning or zoning variance • requires extensive parking deck @ rear

TAKOMA PARK FIRE STATION FEASIBILITY STUDY
Takoma Park, Maryland



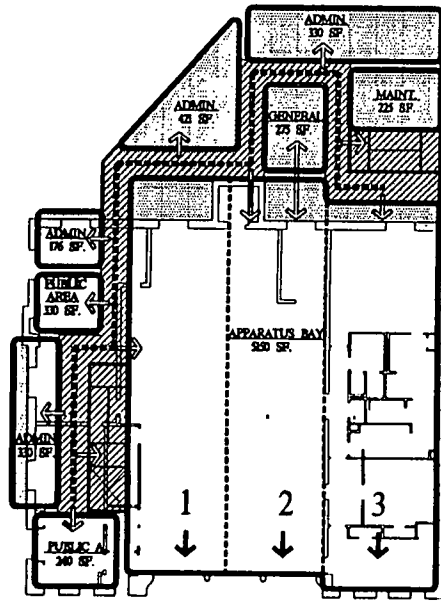
CONCEPT 2:

Class II Station without Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland



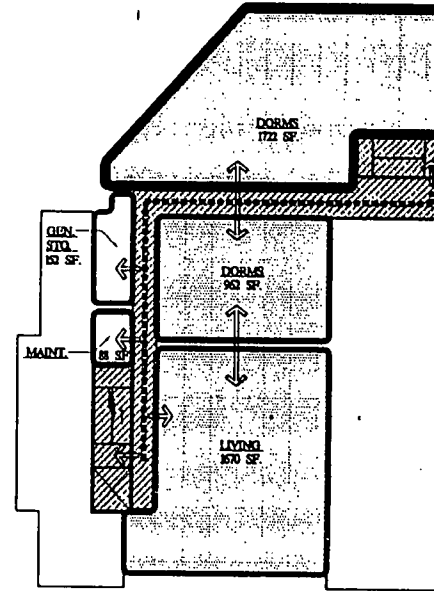
FIRST FLOOR PLAN

CONCEPT DATA

FIRST FLOOR:	8,480 SF.
SECOND FLOOR:	5,690 SF.
MEZZ./BASEMENT:	1,690 SF.
TOTAL:	15,860 SF.
PARKING:	30-35 SPACES

KEY

	New construction beyond Existing Building Footprint
	Circulation



SECOND FLOOR PLAN

CONCEPT 2:

Class II Station without Land Acquisition

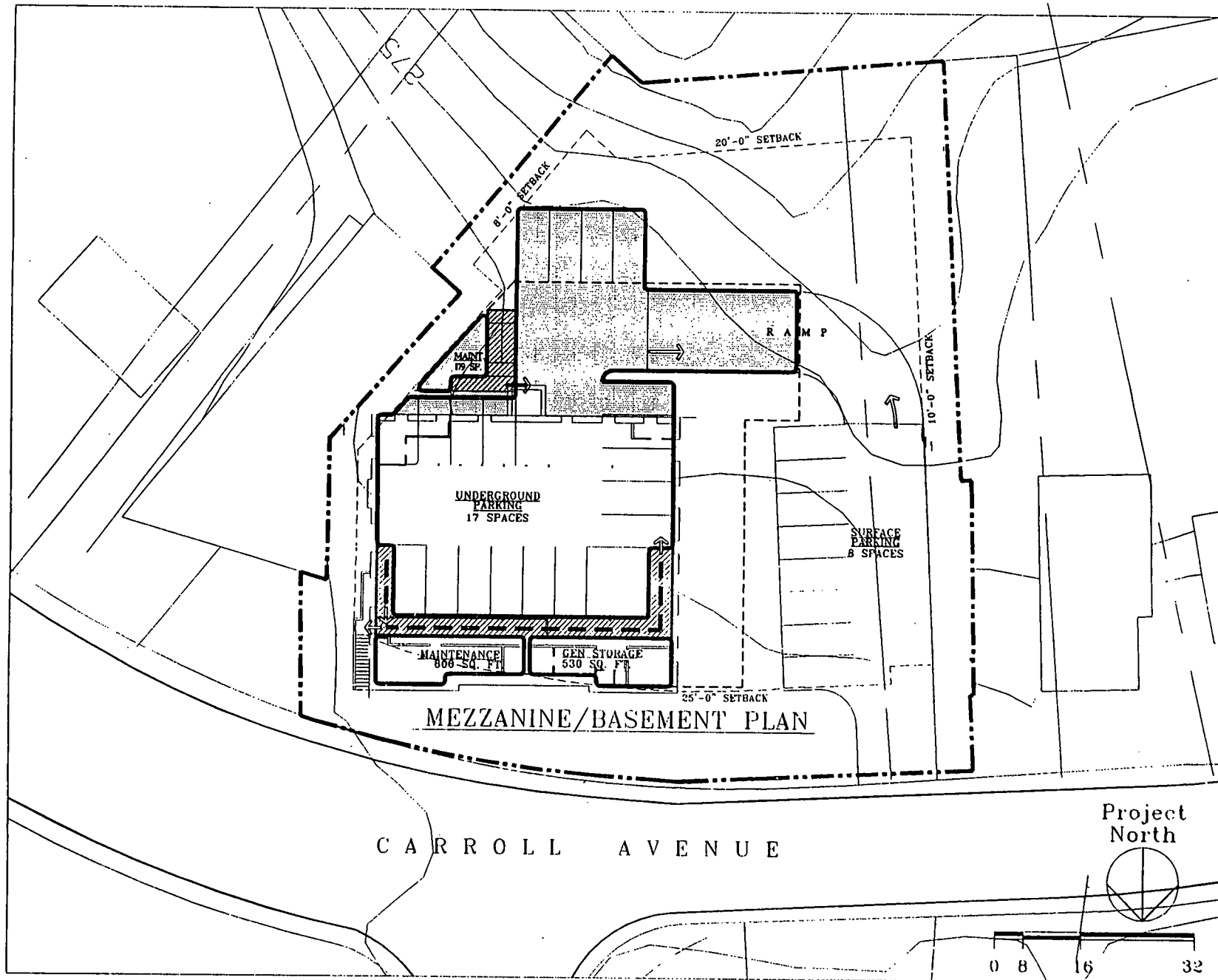
QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

CONCEPT 3: Class III Station with land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • three near full apparatus bays • one level station • LIVING proximate to APPARATUS • ADMIN proximate to APPARATUS • DORM proximate to APPARATUS 	<ul style="list-style-type: none"> • limited apron • back-in configuration
Historic Preservation	<ul style="list-style-type: none"> • preserves existing facade • preserves existing east facade • preserves existing fire place in living area 	<ul style="list-style-type: none"> • EMS BAY addition set in front of west facade
Construct - ability	<ul style="list-style-type: none"> • existing structure may be substantially retained • new EMS support structure may be independent of existing bldg 	
Site Issues		<ul style="list-style-type: none"> • requires purchase of lot 30

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland



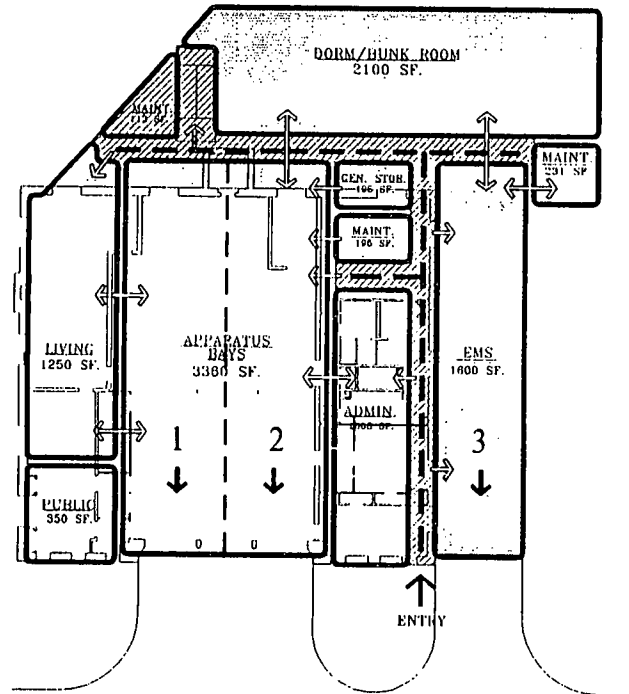
CONCEPT 3:

Class III Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland





FIRST FLOOR PLAN

CONCEPT DATA

FIRST FLOOR:	11,392 SF.
MEZZ./BASEMENT:	1759 SF.
TOTAL:	13,151 SF.
PARKING:	20-25 SPACES

KEY

-  New construction beyond Existing Building Footprint
-  Circulation

CONCEPT 3:

Class III Station with Land Acquisition

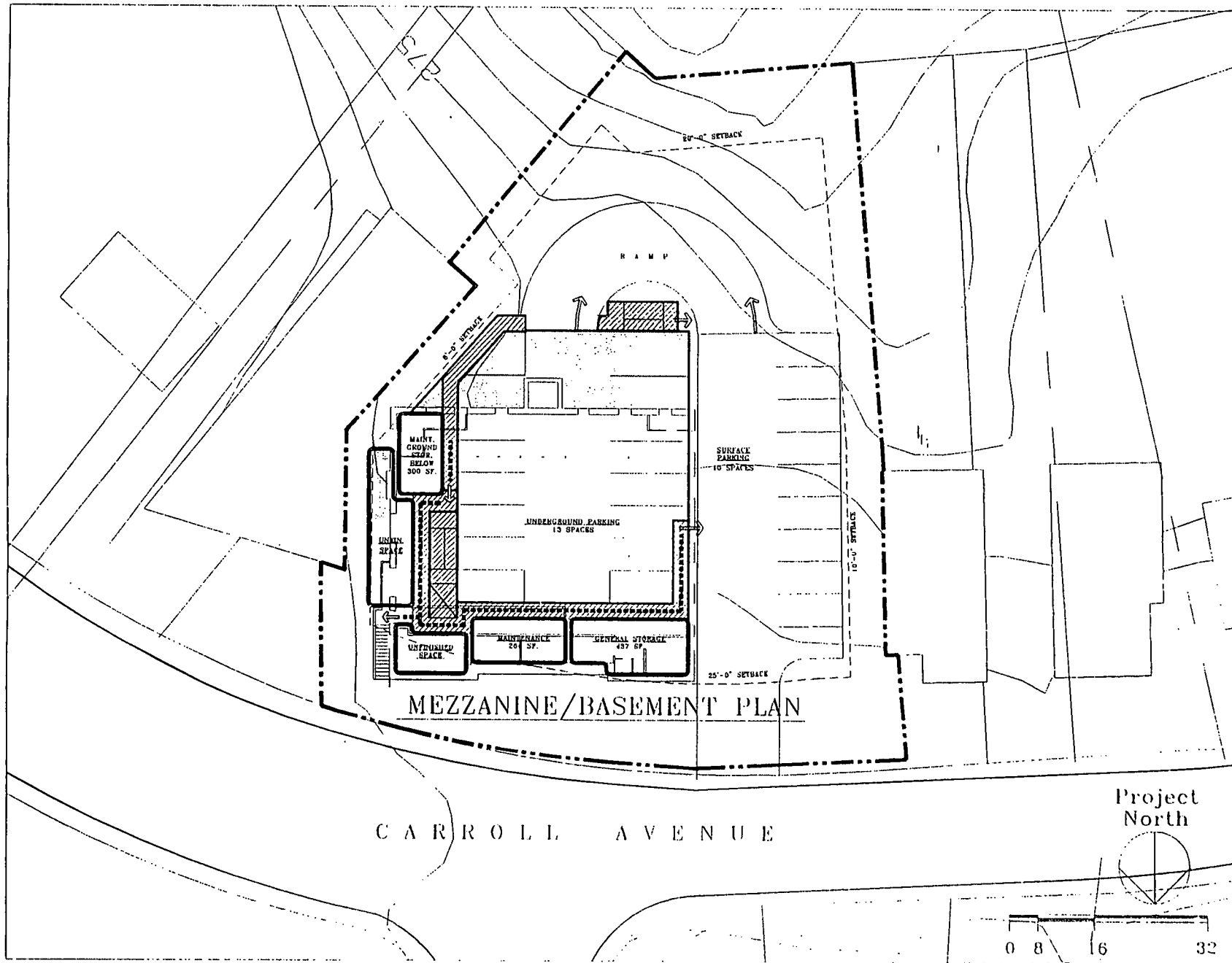
QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

CONCEPT 4: Class III Station without land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • three near full apparatus bays • one level station • ADMIN proximate to APPARATUS 	<ul style="list-style-type: none"> • limited apron • back-in configuration • Apparatus bays are not contiguous • LIVING on 2nd Floor • DORM on 2nd Floor
Historic Preservation	<ul style="list-style-type: none"> • preserves part of existing front facade • preserves existing west facade • preserves part of existing east facade • preserves existing fireplace in ADMIN 	<ul style="list-style-type: none"> • adds new apparatus door in front facade • requires new second story • requires east addition
Construct - ability	<ul style="list-style-type: none"> • retains much of existing structure 	<ul style="list-style-type: none"> • complete rebuild of west section to accommodate equipment loads
Site Issues	<ul style="list-style-type: none"> • no land acquisition 	

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland



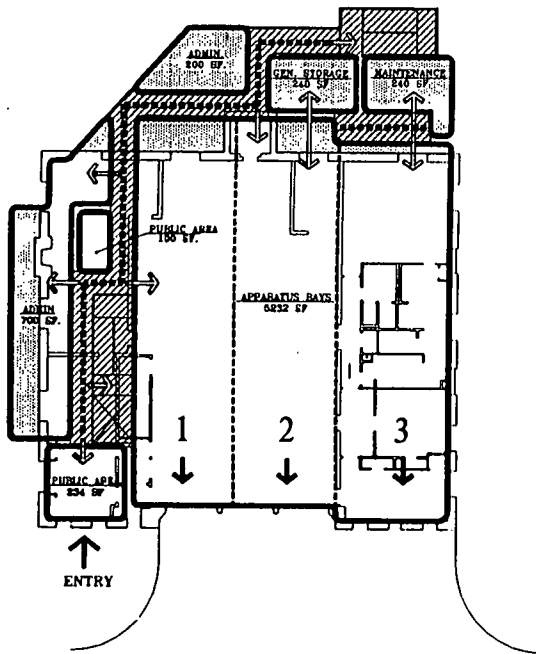
CONCEPT 4:

Class III Station without Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland





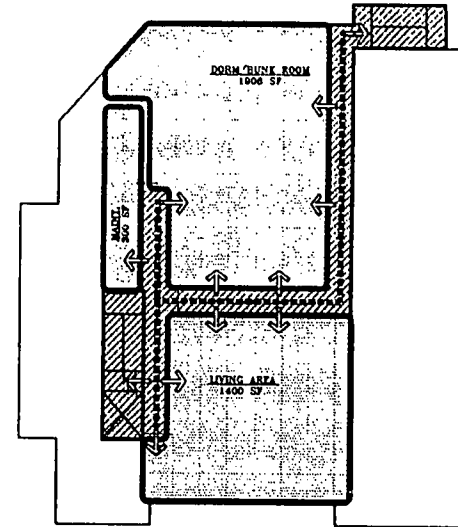
FIRST FLOOR PLAN

CONCEPT DATA

FIRST FLOOR:	7,550 SF.
SECOND FLOOR:	4,700 SF.
MEZZ./BASEMENT:	1,800 SF.
TOTAL:	13,050 SF.
PARKING:	20-25 SPACES

KEY

	New construction beyond Existing Building Footprint
	Circulation



SECOND FLOOR PLAN

CONCEPT 4:

Class III Station without Land Acquisition

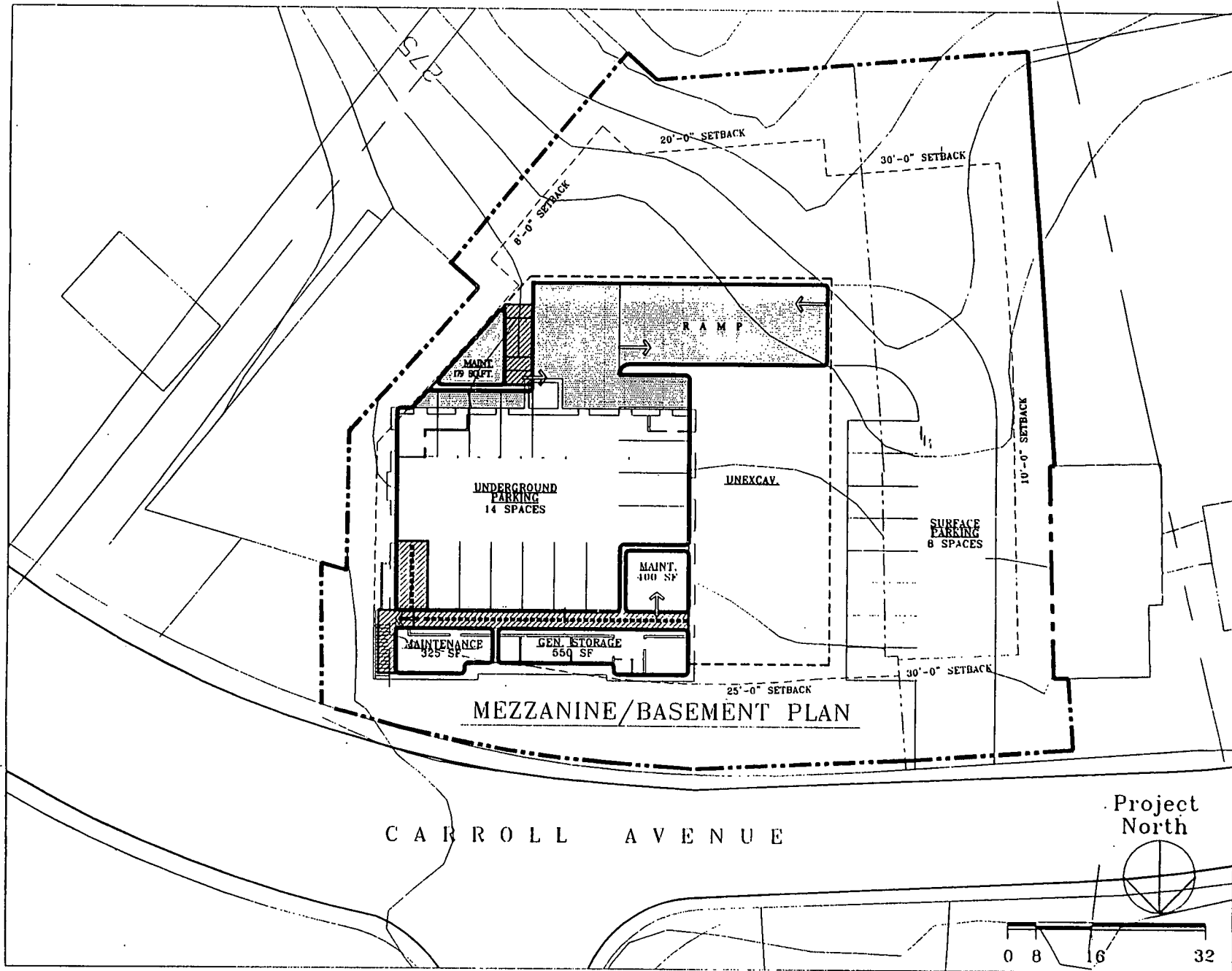
QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

CONCEPT 5: Class II/Class III (hybrid) Station with land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • three near full apparatus bays • one level station • LIVING proximate to APPARATUS • ADMIN proximate to APPARATUS • DORM proximate to APPARATUS 	<ul style="list-style-type: none"> • limited apron • back-in configuration
Historic Preservation	<ul style="list-style-type: none"> • preserves part of existing front facade • preserves existing east facade • preserves existing fireplace in LIVING 	<ul style="list-style-type: none"> • adds new apparatus door in front facade • requires west addition • large "un-excavated" construction area
Construct - ability	<ul style="list-style-type: none"> • retains much of existing structure 	<ul style="list-style-type: none"> • complete rebuild of west section to accommodate equipment loads
Site Issues	<ul style="list-style-type: none"> • 20 to 25 parking spaces 	<ul style="list-style-type: none"> • requires purchase of lot 30

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland



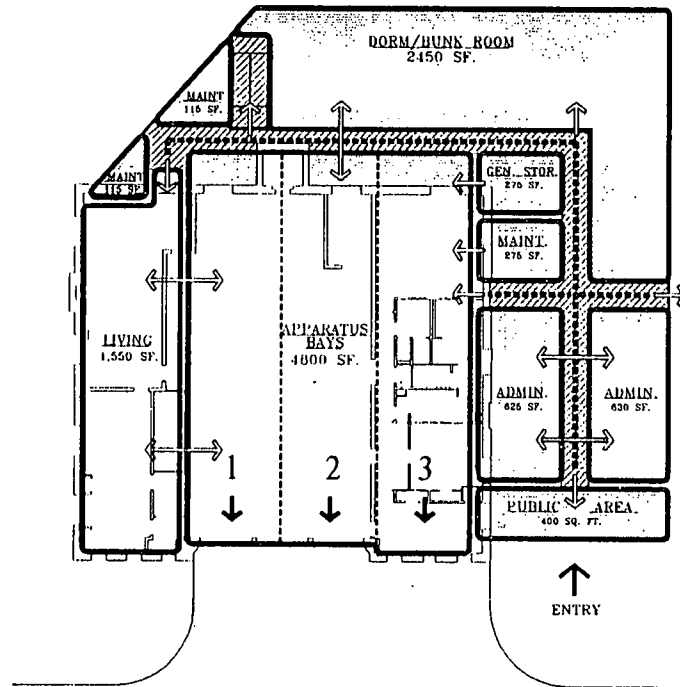
CONCEPT 5:

Class II/Class III Station with Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland





FIRST FLOOR PLAN

CONCEPT DATA

FIRST FLOOR:	12,400 SF.
MEZZ./BASEMENT:	2,160 SF.
TOTAL:	14,560 SF.
PARKING:	20-25 SPACES

KEY

-  New construction beyond Existing Building Footprint
-  Circulation

CONCEPT 5:

Class II/Class III Station with Land Acquisition

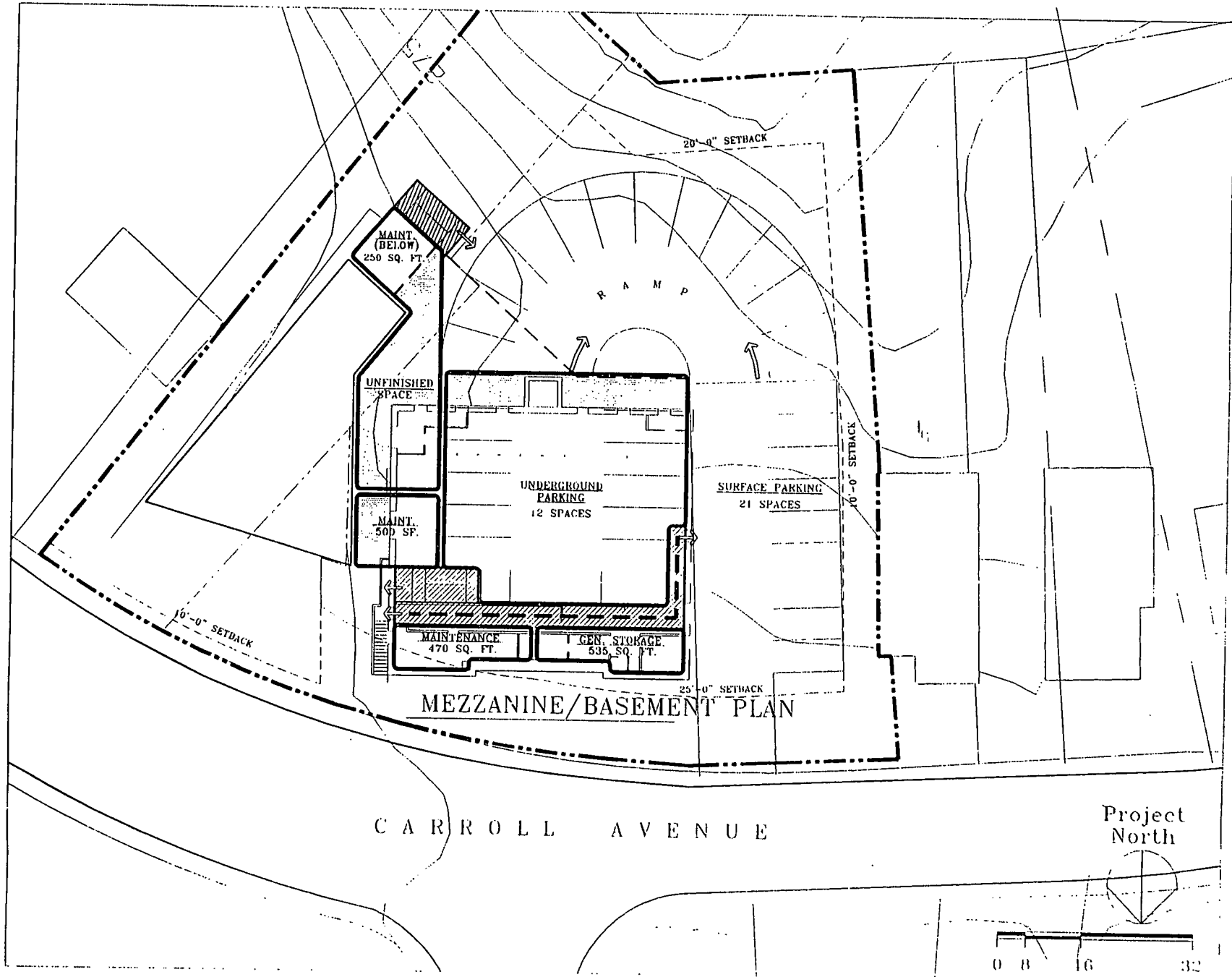
QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

CONCEPT 6: Class II/Class III (hybrid) Station without land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • three near full apparatus bays • one level station • LIVING proximate to APPARATUS • ADMIN proximate to APPARATUS • DORM proximate to APPARATUS • potential use of lot 32 apron space 	<ul style="list-style-type: none"> • back-in configuration • apparatus bays are not contiguous
Historic Preservation	<ul style="list-style-type: none"> • retains existing front facade • retains existing west facade • retains front part of existing east facade • retains historic fireplace in Dorm 	
Construct - ability	<ul style="list-style-type: none"> • makes use of existing Lot 32 Bldg 	<ul style="list-style-type: none"> • requires analysis of Lot 32 Building
Site Issues		<ul style="list-style-type: none"> • requires purchase of Lot 32 • extensive ramp construction

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Takoma Park, Maryland



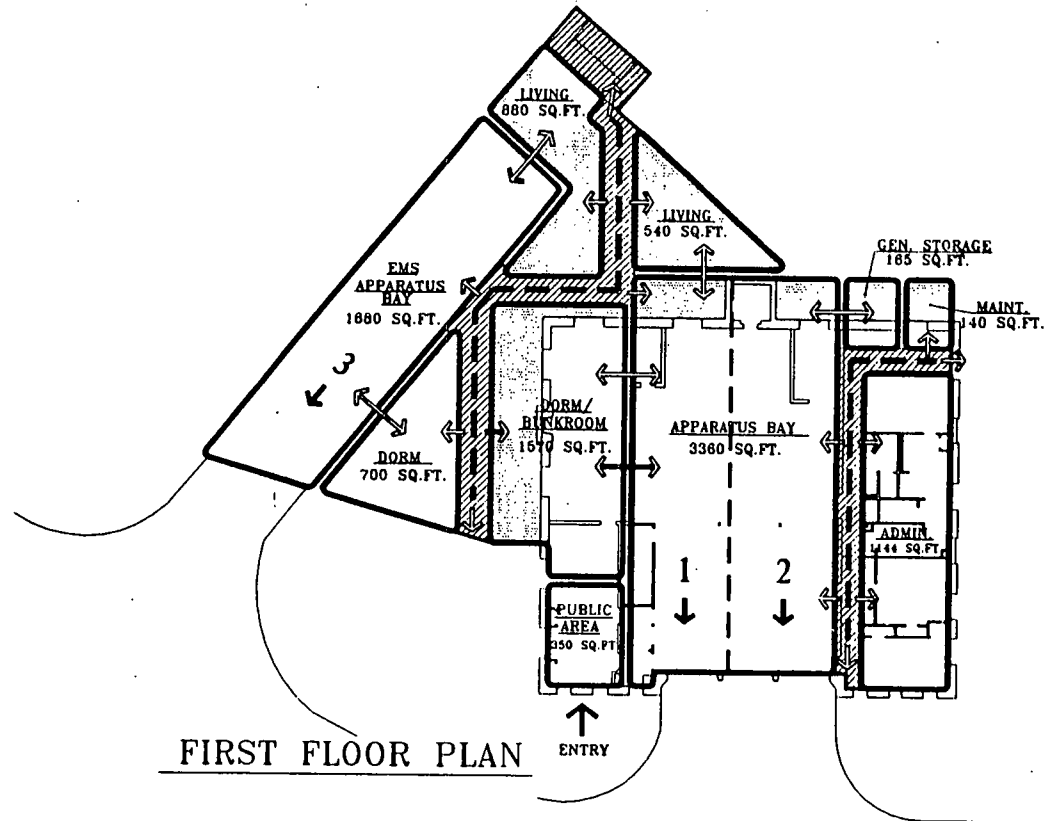
CONCEPT 6:

Class II/Class III Station without Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

TAKOMA PARK FIRE STATION FEASIBILITY STUDY



Takoma Park, Maryland



CONCEPT DATA

FIRST FLOOR:	11,570 SF.
MEZZ./BASEMENT:	2570 SF.
TOTAL:	14,140 SF.
PARKING:	30-35 SPACES

KEY

-  New construction beyond Existing Building Footprint
-  Circulation

CONCEPT 6:

Class II/Class III Station without Land Acquisition

QUINN EVANS/ARCHITECTS and HACKLEY AND ZAMBITO ARCHITECTS

Schemes A & B

Selection of Schemes for Further Study

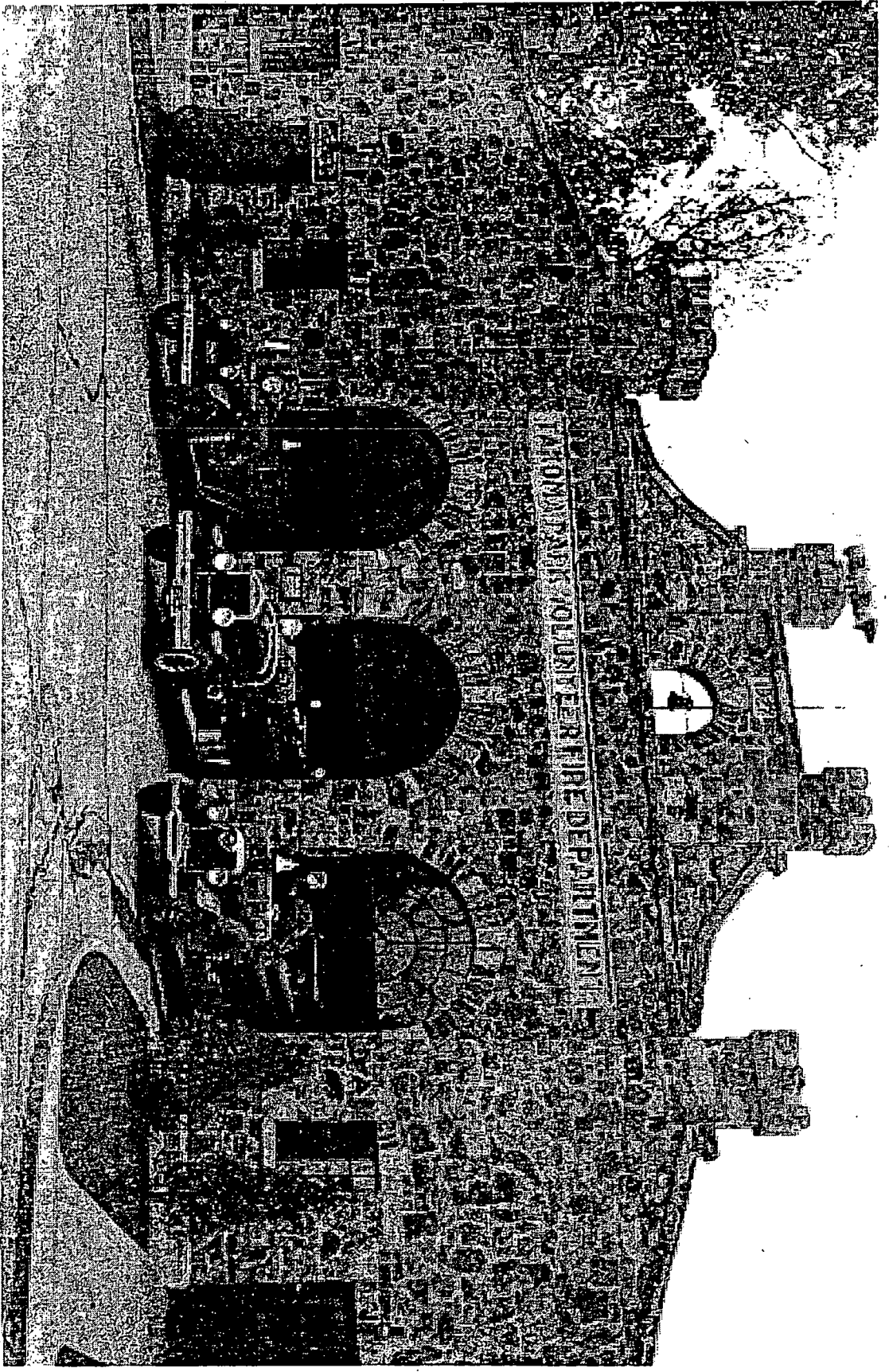
During meetings with the Stakeholders, it was agreed that the Consultant Team should revise and develop **Concept 2** with the following modifications:

- land acquisition must include Lot 30
- A large portion of the Admin function should be moved to the basement - along the West Wall
- The Living function should be relocated to the first level, in the wing where it currently exists, and around to the rear.
- The Dorm and Exercise functions should be maintained on the Second Floor.
- Parking below, in the existing building should be eliminated because of the expense involved.

and **Concept 5** with the following modifications:

- The Facade should be developed in an A, B , "AA" configuration
- Land acquisition should include two lots - 29 and 30
- All parking should be surface
- The existing basement should be left as "unfinished"

TAKOMA PARK FIRE STATION FEASIBILITY STUDY
Takoma Park, Maryland



Prepared By
QUINN EVANS / ARCHITECTS in association with HACKLEY AND ZAMBITO ARCHITECTS

28 July 1997

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Stakeholders

This report was directed and influenced by the following interested parties:

City of Takoma Park

Daryl Braithwaite
Project Administrator

Montgomery County Fire and Rescue Commission

Neil A. Shorb
Staff Director

Montgomery County Department of Public Works

Lawrence P. White, Jr., AIA
Architect

Takoma Park Volunteer Fire Department

Bob Jarboe
President

Takoma Park Community Development Corporation

Kent Richard Abraham
Client Project Manager

28 July 1997
TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Consultant Team:

This report was prepared by QUINN EVANS / ARCHITECTS in association with HACKLEY AND ZAMBITO ARCHITECTS with input from the following professionals:

QUINN EVANS / ARCHITECTS
Architecture & Historic Preservation

Michael L. Quinn, AIA
Principal In Charge

Jeffrey C. Luker, AIA
Project Manager

HACKLEY AND ZAMBITO ARCHITECTS
Architecture & Fire Station Design Planning

R. Michael Hackley, AIA
Fire Station Architect

Richard Zambito
Fire Station Architect

LOIDERMAN ASSOICATES
Site and Civil Engineering

Dan Pino
Site Engineer

SHEMRO ENGINEERING ASSOICIATES
Structural Engineering

Jim Shemro
Structural Engineer

ALLEN AND SHARIFF CORPORATION
MEP Systems Engineering

Bill Allen
Mechanical Engineer

R. W. BROWN AND ASSOCIATES
Cost Estimating

Bob Brown
Cost Estimator

Contents

1. Executive Summary	page 7
• Purpose of the Study	
• Stakeholders	
• Findings	
• Recommendations	
2. Base Drawings	page 11
• Site	
• Building	
3. Pertinent Codes and Standards	page 19
• Historic Classifications and Standards	
• Building Codes	
• Development Review	
4. Assess Existing Conditions	page 21
• Site	
• Fire and Rescue Service Capability	
• Architecture	
• Structural Capacity	
• Facility Systems (Elect, Plumbing, HVAC)	
5. Facility Program	page 25
• Component Descriptions	
• Space Requirements Chart	

6. Preliminary Concepts - Comparison and Graphic Plans page 32
- Class II Station with land acquisition
 - Class II Station without land acquisition
 - Class III Station with land acquisition
 - Class III Station without land acquisition
 - Class II/Class III (hybrid) Station with land acquisition
 - Class II/Class III (hybrid) Station without land acquisition
7. Schemes A and B page 50
- Selection of Schemes for Further Study
 - Scheme A Concept Design (Program Concept 2 Revised)
 - Description
 - Drawings
 - Scheme B Concept Design (Program Concept 5 Revised)
 - Description
 - Drawings

28 July 1997

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Appendix

- **COST ESTIMATE - SCHEMES A & B**
Prepared by: R.W. Brown & Associates

- **PROGRAM OF REQUIREMENTS - PROTOTYPE FIRESTATIONS CLASS I, II, III, IV**
Prepared by: Montgomery County Department of Public Works and Transportation
Division of Facilities and Services, Capital Projects Management Section and the
Montgomery County Fire and Rescue Commission

- **TAKOMA PARK FIRE STATION FEASIBILITY STUDY (Site Issues)**
Prepared by: Loiederman Associates, Inc.

- **TAKOMA PARK FIRE STATION STRUCTURAL EVALUATION**
Prepared by: Shemro Engineering Associates

- **TAKOMA PARK FIRE STATION MEP SYSTEMS EVALUATION**
Prepared by: Allen & Shariff Corporation

Executive Summary

Purpose of the Study

The City of Takoma Park has requested professional services to assess the feasibility of renovating the existing Takoma Park Volunteer Fire Department Station at 7201 Carroll Avenue. The purpose of the Study is to determine if the existing facility can be renovated and or expanded to accommodate the long term fire and rescue service needs of the Takoma Park vicinity.

Stakeholders

The Takoma Park Volunteer Fire Department Station - Montgomery County Station Number 2, serves an area encompassing 2.5 square miles centered about the City of Takoma Park. In Calendar Year 1996 there were 2,746 incidents within the Station Number 2 Response Area. In July 1997, Montgomery County annexed a section of Prince Georges County located within the City's boundaries; however, the area served by Station Number 2 did not change. Prior to the annexation, Station Number 2 served the area under a bi-county agreement. Current plans envision that the Station will continue to serve this designated Area. The area is built-out and densely populated. For the near and long term a stable call load is predicted. Located at the top of a hill, and at one of the City's major intersections, Station Number 2 is well located to serve its mission; this is evidenced by the Station's successful service record. The City of Takoma Park recognizes the Fire Station in its current location to be both an important civic asset, and a significant architectural focus.

The Station is housed within a stone masonry building located at the intersection of Carroll and Philadelphia in the heart of Takoma Park. While the front facade was substantially altered in the 1950's, a significant portion of the original 1928 field stone facades remain. The building is identified on Montgomery's County's Master Plan for Historic Preservation as a Contributing Resource set within the Takoma Park Historic District. This is the middle of three levels of significance recognized by the County. As such, all work which impacts the exterior facade must be approved by the County Historic Preservation Commission.

A private, not for profit corporation, the Takoma Park Volunteer Fire Department (TPVFD), owns the station, and manages the operation. The TPVFD is funded primarily with tax funds received from Montgomery County and operates the facility in accordance with the requirements of the County Fire and Rescue Commission (MCFRC).

Occupants in the station include both Volunteer and County employed career firefighters. The County currently provides six full time staff who are readily available to respond to calls. These career firefighters are supplemented

28 July 1997

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

by volunteers drawn from the TPVFD membership. Currently the TPVFD has approximately 125 members, and 25 to 30 of these members are qualified to ride in support with the career fire fighters.

Process

This Study was conducted in two phases: background research and program concepts analysis followed by detailed development of two schematic design options.

Background research involved evaluation of site development issues, analysis of the building structure and evaluation of the mechanical/electrical/plumbing systems. Site boundaries and topographic information was gathered from County records; selected demolition of the concrete was completed to enable inspection and measurement of the existing structural steel, and a visual inspection of the existing MEP systems were made to assess the existing conditions.

Program analysis involved interviews with each of the Stakeholders followed by development of six Concept Programs to facilitate evaluation of a range of development alternatives. During meetings with the Stakeholders, it was agreed that the Consultant Team should revise and develop two of the Concepts: Concept 2 - a three story redevelopment scheme requiring purchase of one adjacent residential property, and Concept 5 - one story redevelopment scheme requiring purchase of two adjacent residential properties.

Findings

The Zoning Classification at and adjacent to the existing Fire Station site steps up from R20 on the adjacent residential lots to the west, to C2 on the adjacent lots to the East. The existing fire station property is zoned R60. The Fire Station function is allowed in all three of these classifications. The area of the existing site is small making it difficult to meet modern requirements for apparatus support, and facility parking. The property slopes steeply away from the street, resulting in designs which require significant structure to support heavy above ground apparatus loads.

The existing structure has aged and deteriorated. Calculations developed as part of this study estimate that the live load capacity of the existing structure is approximately 215 pounds per square foot. The Structural Engineers recommend that a new or renovated structure should have a capacity in excess of 250 pounds per square foot. While review of the actual apparatus loads indicates that the existing structure size is capable of supporting the current loads, our analysis has located one deteriorated structural beam in the western most apparatus bay. We recommend that the rescue vehicle in this bay be removed from the area until supplemental shoring is installed.

28 July 1997

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

breathing air refill system, emergency medical system (EMS) supplies, gear storage, lockers, quartermaster storage, and general storage.

- There needs to be a workroom for the repair and maintenance of small equipment, storage of small tools, and other items.
- There is a need for more hose storage.
- EMS supply storage near the ambulance is desirable.

3. Administrative Areas

- There is inadequate space for the operational staff to function. There is a need for more file space, desk area and circulation.
- There is inadequate space for emergency staff to function. There is need for more file space, desk area, and circulation.
- There is inadequate space for the volunteer company staff to operate. There is need for more file space, desk area, circulation, and conference capability.

4. Sleeping

- The bunk room area is too small. Male and female staff share a single bunk area. A larger room with low partitions resulting in separate accommodations for male and female staff is preferred. The existing shower and locker areas are too small, and a segregated shower/locker/toilet facilities are preferred.

5. Kitchen/Dining/Dayroom Facilities

- The space for these functions in the existing facility are barely adequate for the required needs. The equipment, and finishes are worn and should be replaced. The Kitchen Hood installation does not meet current code requirements and should be modified.

6. Internal Staff Circulation

- There is a poor relationship between the living, sleeping, administrative areas, and the apparatus bays. Ideally staff members should not have to walk through the apparatus area as they move from the sleeping area to the kitchen and dining areas where they are exposed to diesel fumes, and temperature changes.
- Circulation through administrative, living, sleeping, etc. should be separate from the apparatus bay.

28 July 1997

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Structural Capacity

The existing structure has aged and deteriorated. Calculations developed as part of this study estimate that the live load capacity of the existing structure is approximately 215 pounds per square foot. The Structural Engineers recommend that a new or renovated structure should have a capacity in excess of 250 pounds per square foot. While review of the actual apparatus loads indicates that the existing structure size is capable of supporting the current loads, our analysis has located one deteriorated structural beam in the western most apparatus bay. We recommend that the rescue vehicle in this bay be removed from the area until supplemental shoring is installed. Shemro Engineering Associates is currently working the Takoma Volunteer Fire Department to develop temporary repairs in the area.

For more complete information see the following report included in the Appendix:

TAKOMA PARK FIRE STATION STRUCTURAL EVALUATION

Prepared by: Shemro Engineering Associates

Facility Systems (Mechanical, Electrical, Plumbing and Life Safety)

Currently serving the building are two Gas Furnace Air Handlers with separate electric Condensers. The two units are less than 4 years old, in good condition and professionally maintained; these units provide approximately 5 Tons of cooling capacity each. These systems may be sold for salvage value, or reused in the building renovation design.

The electrical equipment is old and in poor condition. Complete system upgrades are recommended. Plans for interim repairs and upgrades have been completed, and the Takoma Park Volunteer Fire Department is currently in the process of completing the needed work.

Currently serving the building is a new 80 gallon water heater in good condition. This system should be reused in the building renovation. The Fire Alarm system is a new Notifier system in good condition. The main system should be salvaged and reused in the building renovation.

All remaining systems are nearing the end of their life, and should be completely demolished and replaced with new systems. For more complete information see the following report included in the Appendix:

TAKOMA PARK FIRE STATION MEP SYSTEMS EVALUATION

Prepared by: Allen & Shariff Corporation

Facility Program

Component Descriptions

APPARATUS BAYS:

The area is programmed for a three contiguous bay column free space. Each bay will provide a 20' x 80' clear and level space for the storage of the department's apparatus equipment. The width of these spaces will allow the firefighters maneuverability to open the side doors and provide minor maintenance to the apparatus. Additionally, adequate circulation between the apparatus will provide the firefighters with unencumbered access to the emergency equipment. The fourteen foot clear height dimension will provide appropriate clearance for the existing apparatus and allow for the storage of a future tiller truck. The level and sealed concrete slab with trench drains will facilitate washing the apparatus indoors. In addition, the apparatus bays will be equipped with a vehicle exhaust ventilation system dedicated duct exhaust for each vehicle.

DORM/BUNK ROOMS¹ AND SUPPORT SPACES:

The Men's and Women's Bunk Rooms will be located proximate to access corridors and/or stairs that exit into the Apparatus Bays. This linkage will enhance response time and readiness. Each Bunk Room will have direct access to respective locker, bathing and toilet facilities. Bunk Rooms are designed to be flexible and accommodate low wall partitions for privacy and noise reduction.

LIVING AREA:

The Day Room, Kitchen and Dining Room will be arranged contiguously, as to evoke a residential, home-like setting. This juxtaposition will encourage interaction amongst members and employees, while utilizing some barriers, such as low walls and counters to define spatial boundaries. Exposure to natural light will be maximized in these areas. Locating these uses adjacent to and on the same level as the Apparatus Bays will induce readiness, and facilitate easy access to gear and equipment.

PUBLIC AREAS:

These areas include Reception, Watch Desk and Public Rest Rooms. The Watch Desk is strategically located near the main entry and adjacent to the Apparatus Bays with good site lines to monitor public entry, street activities and

28 July 1997

TAKOMA PARK FIRE STATION FEASIBILITY STUDY

operations in the Apparatus Bays. A unisex rest room will be located within a secure distance from the Watch Desk. The Reception Area will provide a waiting area with seating for two to three guests or visitors seeking information.

ADMINISTRATION OFFICES:

These offices will contain work spaces for the Volunteer President, Chief and the Station's Administrative Staff. Each office will have proximate access to a Conference Room, the Administrative Staff Office, and general office equipment and files. The volunteer component will be arranged as a suite to maintain a level of security and have direct access to parking for the officers vehicles. The career offices will be located near by and operate independently from the volunteers. To maintain efficient supervision of the career staff, the Command Office will be contiguous to the Apparatus Bays and the Watch Desk.

GENERAL STORAGE:

Storage provisions will be located throughout the facility to best serve specific needs. Gear storage will be provided adjacent to the Apparatus Bays and readily accessible to the firefighters in their path of travel. SCBA/Cascade will be self-contained and stored adjacent to the Apparatus Bays and the Work Room area. Additional storage area for hoses and hose drying will be on the same level and proximate to the Apparatus Bays.

MAINTENANCE:

A Work Room will be located adjacent to the Apparatus Bays at the same finished floor elevation for minor maintenance and repair of equipment. Other ancillary Mechanical, Electrical and Telephone Rooms will be distributed throughout the facility. A Grounds Storage Room for ground maintenance equipment will be located at grade and at the rear of the building, accessible from the parking area

PARKING

The Program of Requirements states: "Parking shall be provided for each class of station according to staffing criteria, local code, ADA requirements, and visitor requirements." The four program criteria relating to parking described above were evaluated and it was agreed by the Stakeholders that 22 to 25 spaces should be provided. The back-up for this number is described by the chart on the following page:

28 July 1997
TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Parking Requirements:

Staffing Criteria - Career Fire Fighters (max 7 full time career staff per shift, and 7 spaces to account for required shift overlap)	12-14 spaces
Staffing Criteria - Volunteers	5 spaces
Non-Essential Duty Vehicles	3-4 spaces
Local Code (sufficiently accounted for in other numbers)	
ADA	1 spaces
Visitor	1 spaces
TOTAL	22 to 25 spaces

Parking



28 July 1997
TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Space Requirements Chart Page 1:

AREA / SPACE	EXISTING		REQUIREMENTS	SCHEMES	
				A	B
PERSONNEL	135 Volunteer 18-24 Career		CLASS II 20	20	20
APPARATUS SPACE	2,571 SF		4,720 SF	4,861 SF	5,044 SF
1. NUMBER OF BAYS	2		3	3	3
1. SIZE OF BAY DOORS				14' X 14'	14' X 14'
2. HEIGHT OF BAYS				14'-0"	14'-0"
DORM/BUNK ROOMS			2,480-2,750 SF	2,485 SF	2,485 SF
1. NO OF BUNKS	14		20 (@ 70 SF per bed)	20	20
■ Live-ins					
■ Students					
■ Vol. Sleep-ins					
■ Car. Sleep-ins					
2. LOCKERS			55 @ 10-12 SF/Locker 550-660 SF	1,535 SF 55	1,345 SF 55
3. TOILET/SHOWER	M 130 Sf	F 85 Sf	550-560 SF	350 SF 450 SF	325 SF 675 SF
■ Sinks	?	1	5		
■ Toilets	2	1	4-5		
■ Urinals	1		2		
■ Showers	1	1	6		
4. LINEN STORAGE	14 SF		30 SF		
5. LAUNDRY	10 SF			150 SF	140 SF
Domestic					
■ Units					
■ Sinks					

28 July 1997
TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Space Requirements Chart Page 2:

AREA / SPACE	EXISTING		REQUIREMENTS	SCHEMES	
				A	B
LIVING AREA	1,823 SF		CLASS II 1,650-1,800SF	1,650 SF	1,710 SF
1. DAYROOM	708.6 SF			460 SF	790 SF
2. DINING ROOM				220 SF	330 SF
3. KITCHEN				430 SF	255 SF
■ Prep Area					
■ Individual Storage	455.9 SF				
■ Equipment					
4. VENDING					
5. EXERCISE:				440 SF	335 SF
■ Workout	333 SF				
■ Storage	326 SF				
6. SMALL LOUNGE					
7. OUTDOOR DECK				100 SF	
PUBLIC AREAS			300-350 SF	376 SF	270 SF
1. WATCH DESK	57 SF			120 SF	115 SF
2. RECEPTION				180 SF	100 SF
3. PUBLIC REST RM				76 SF	55 SF
1.	M 90 Sf	F 124 Sf			
4. OTHER					
ADMIN. OFFICES	565 SF		1,270 SF	1,368 SF	1,255 SF
1. OFFICES			7	7	7
■ CAREER					
□ Command Office	?			220 SF	200 SF
□ Shift Super.				180 SF	210 SF
□ EMS				110 SF	90 SF

28 July 1997
 TAKOMA PARK FIRE STATION FEASIBILITY STUDY

Space Requirements Chart Page 3:

AREA / SPACE	EXISTING SF	REQUIREMENTS	SCHEMES	
		CLASS II	A	B
<ul style="list-style-type: none"> ■ VOLUNTEER <ul style="list-style-type: none"> □ Chief □ President □ OSC □ Restroom 	197 SF 233 SF		140 SF 160 SF 290 SF 115 SF	190 SF 155 SF 260 SF N/A
2. CONFERENCE	180 SF		153 SF	150 SF
3. WORKROOM/ COPY/MAIL				
4. FILE STORAGE	36 SF			
GENERAL		700 SF	704 SF	1,065 SF
1. STORAGE				
<ul style="list-style-type: none"> ■ EMS ■ Bulk ■ Long term ■ Gear Storage ■ Quartermaster ■ SCBA/Cascade ■ Apparatus Equipment Stor. ■ Flammable Liquid Storage 	90 SF 225 SF		140 SF 152 SF 192 SF 220 SF	160 SF 160 SF 265 SF 220 SF 40 SF 220 SF
MAINTENANCE	752 SF	1,000 SF	1,030 SF	1,395 SF
1. APPARATUS WORKROOM			182 SF	160 SF
2. HOSE STORAGE	64 SF		134 SF	110 SF
3. GROUNDS STORAGE			80 SF	465 SF
4. MECH. RM.			250 SF	350 SF
5. ELEC. RM.			250 SF	200 SF

Space Requirements Chart Page 4:

AREA / SPACE	EXISTING SF	REQUIREMENTS	SCHEMES	
			A	B
6. TELEPHONE COMM. ROOM		CLASS II	134 SF	110 SF
SUMMARY (max)		12,590 SF	12,474 SF	13,224 SF
1. CIRCULATION		@25% = 3,148 SF	@34% = 4,311 SF	@17% = 2,268 SF
TOTALS (max.)		15,738 SF	16,785 SF	15,492 SF

*Why the
 Δ between
 34% &
 17% ?*

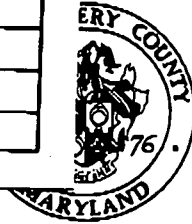
Preliminary Concepts - Graphic Plans and Comparison

On the following pages are comparison charts and plan diagrams for the six Program Concepts requested by the City of Takoma Park and the County. This comparison charts were first developed by the Consultant Team, and then reviewed with the Stakeholders at a joint review meeting held on 10 June 1997.

CONCEPTS 1 & 1A: Class II Station with land acquisition

Criteria	Pro	Con
Fire Station Function	<ul style="list-style-type: none"> • 3 full apparatus bays • drive through configuration • ADMIN proximate to APPARATUS • LIVING proximate to APPARATUS 	<ul style="list-style-type: none"> • DORM on 2nd Floor
Historic Preservation	<ul style="list-style-type: none"> • preserves existing front facade • enables accurate replication of 1928 facade 	<ul style="list-style-type: none"> • demolition of three facades
Construct - ability	<ul style="list-style-type: none"> • a "new" building 	<ul style="list-style-type: none"> • requires extensive demolition • a "new" building • extensive elevated construction
Site Issues	<ul style="list-style-type: none"> • 30 to 35 parking spaces • 20 to 25 parking spaces if lot 30 is not purchased 	<ul style="list-style-type: none"> • extensive land acquisition including purchase of both Commercial lot 32 and Residential lot 30 • extensive site work (raised ramps) • rezoning or variance will be required

Post-it® Fax Note	7671	Date	# of pages ▶ 7
To R. Zink		From	
Co./Dept.		Co.	
Phone #		Phone #	
Fax # 301 563 3412		Fax #	

**MONTGOMERY COUNTY FIRE AND RESCUE SERVICE****MEMORANDUM**

January 4, 2001

TO: Takoma Park Workgroup Members**FROM: Steve Lamphier, Program Specialist
Fleet and Facilities Section
Corporate Development Services
Office of the Fire Administrator****SUBJECT: Takoma Park Fire/Rescue Station Replacement**

Attached please find copies of documents sent to the City of Takoma Park and the Historic Preservation Commission. I wanted everyone to have them before Monday.

I did not have an opportunity to prepare notes from yesterday's meeting.

See you on Monday, January 8 at the Takoma Park City Council.

If you have any questions, please contact me at 240-777-2494. Thank you.

attachments

cc: G. Aoyagi
R. Strock
D. Dwyer
R. Riffe

**MONTGOMERY COUNTY FIRE AND RESCUE SERVICE**

Douglas M. Duncan
County Executive

January 3, 2001

Gordon A. Aoyagi
Fire Administrator

Mayor Porter and
City Council
City of Takoma Park, Maryland
Takoma Park, Maryland 20912

Dear Mayor Porter and City Council:

On behalf of the Montgomery County, Maryland Fire and Rescue Service, I am requesting that the City of Takoma Park reaffirm their support of the construction of a new fire/rescue station on the site of the existing station. In addition, I am requesting that the City support the acquisition of the appropriate additional land required to expand the site. As you are aware, the new station, in order to meet the features and needs found within the agreed upon program of requirements, will require the acquisition of this additional land adjacent to the existing property.

While there is land on both sides of the existing station, the acquisition of the residential properties are advantageous to this project, as the acquisition, site preparation, and construction costs are significantly less than those same costs estimated for the acquisition of the commercial property. In addition, there are potential environmental clean-up costs for the commercial property as well as a potential project delay of up to two years in actually acquiring the commercial property. The County is currently negotiating with the owners of the residential properties for their acquisition.

In the interest of public safety, it is imperative that the design and construction of a replacement fire/rescue station in Takoma Park begin immediately. The existing station requires extensive repairs in the short-term in order to continue operating safely.

The County will continue to work with you to design a both workable and aesthetically pleasing fire/rescue station in your City.

A project update is attached. It is my understanding that Mr. Steve Lamphier of my staff will be attending your next council meeting on January 8, 2001 to answer any questions that you may have.

If you have any questions of me, please do not hesitate to contact me at 240-777-2400. Thank you for your consideration.

Sincerely,

Gordon A. Aoyagi
Fire Administrator

cc: D. Dwyer
R. Riffe
S. Lamphier
Takoma Park Fire/Rescue Station Workgroup Members

Office of the Fire Administrator

101 Monroe Street, 12th Floor • Rockville, Maryland 20850-2589
240/777-2400, TDD 240/777-0725, FAX 240/777-2443

**TAKOMA PARK FIRE/RESCUE STATION #2 REPLACEMENT
UPDATE TO THE TAKOMA PARK CITY COUNCIL
JANUARY 8, 2001**

Page 1 of 2

TEMPORARY SITE:

Negotiations for the temporary site located on the grounds of Columbia Union College continue. Dr. Randal Wisbey is the new president of Columbia Union College. He has asked for several enhancements in the lease. Project staff will be meeting with him on January 17, 2001 to discuss those enhancements.

TEMPORARY QUARTERS DESIGN:

There is a temporary quarters located at the Burke VFD in Fairfax County, Virginia that may become available to us. Fairfax County has issued an IFB for the purchase of the structure. The acquisition of this structure is being explored, but due to the bid submission timeline, it may not be possible to respond. The use of this structure would be advantageous since it has already been designed and the design is generally agreeable to the County and the TPVFD from an operational point of view. The TPVFD, whose personnel have previously seen the structure, did express the need for additional office space over and above that offered by the structure. A review of any zoning issues for such a structure must also occur.

DESIGN CONSIDERATIONS:

The architect has proposed two designs for the fire station. One involves the acquisition of the commercial property to the east of the existing station the other involves the acquisition of the two residential properties to the west of the existing station. Both designs meet the needs and features of the agreed upon program of requirements. The acquisition of the commercial property, however, presents a number of significant issues that will both increase the cost of the project as well as significantly delay the project. A summary of estimated costs is shown below:

	"COMMERCIAL" SCHEME	"RESIDENTIAL" SCHEME
Land Acquisition	\$450,000	\$320,000
Site Preparation	978,049	547,819
Design & Construction	3,096,844	3,025,737
Relocation Benefits	100,000	50,000
Other	258,000	236,700
TOTAL	\$4,862,893	\$4,180,256

The land acquisition costs are based on appraisals dated October 2000 prepared by a certified general real property appraiser. Copies of these appraisals are available upon request. The architect has prepared the site preparation and construction cost estimates. The cost of relocation

**TAKOMA PARK FIRE/RESCUE STATION #2 REPLACEMENT
UPDATE TO THE TAKOMA PARK CITY COUNCIL
JANUARY 8, 2001**

Page 2 of 2

benefits was determined by the County's Department of Public Works and Transportation based upon previous experience.

It is noted that the owner of the commercial property is very pleased with the location of her business and is not willing to sell at this time. Should the commercial property need to be acquired, it could add up to two years to the project timeline. Additionally, there are unknown environmental issues with the commercial property. The County is negotiating with the residential property owners for the acquisition of those properties.

The Takoma Park VFD reports that the existing station needs major repair work within the next two years, including a roof, engine room floor repairs and/or replacement, and repairs to windows and walls that leak during periods of heavy rain.



MONTGOMERY COUNTY FIRE AND RESCUE SERVICE

Douglas M. Duncan
County Executive

January 3, 2001

Gordon A. Aoyagi
Fire Administrator

George Kousoulis, Chairman
Montgomery County Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910

RE: Takoma Park Fire/Rescue Station Replacement

Dear Mr. Kousoulis:

On behalf of the Montgomery County, Maryland Fire and Rescue Service, I am requesting that the Historic Preservation Commission (HPC) review and approve the preliminary concept for a new fire/rescue station in Takoma Park. This request includes the issuance of demolition permits for the houses located on the two residential properties adjacent to the existing station.

The new station will be constructed on the site of the existing station, however, additional land is required in order to meet the features and needs found within the agreed upon program of requirements. The County has brought this issue to the HPC previously, the last time being in December 1999. At that time, the HPC requested that further consideration be given to acquiring the commercial property adjacent to the station rather than the two residential properties that were recommended by the feasibility study in 1997. A good faith effort has been made to re-analyze the feasibility of acquiring adjacent properties on either side of the existing site.

The acquisition of the residential properties, even though such properties are located within a historic district, continues to be significantly advantageous to this project. Acquisition, site preparation, and construction costs for the commercial properties are estimated to be at least \$703,000 more than those same costs as estimated for the residential properties. Most importantly, however, the acquisition of the commercial property will create a potential project delay of up to two years, as the owner of that property has advised the County that she is not interested in moving. The County is currently negotiating with the owners of the residential properties for their acquisition.

In the interest of public safety, it is imperative that the design and construction of a replacement fire/rescue station in Takoma Park begin immediately. The existing station requires extensive and expensive repairs in order to continue operating safely. These repairs include a new roof, electrical system upgrades, and potentially a new apparatus floor. In addition, the existing apparatus bays are too small to safely accommodate today's larger fire apparatus and EMS units.

Office of the Fire Administrator

101 Monroe Street, 12th Floor • Rockville, Maryland 20850-2589
240/777-2400. TDD 240/777-0775. FAX 240/777-2442

George Kousoulis, Chairman
Montgomery County Historic Preservation Commission
RE: Takoma Park Fire/Rescue Station Replacement
January 3, 2001
Page 2

The County has also located a potential site for a temporary quarters while the new station is being constructed. The site is on the grounds of the Columbia Union College (CUC). The CUC has made this site available to the County for a limited period of time as it also has future expansion plans. Should this site become unavailable due to delays in the construction of a replacement fire station, temporary fire protection will have to be housed at a yet to be located site that will be outside of the city limits.

Please note that the County will work with the HPC to design a both workable and aesthetically pleasing fire/rescue station on the site. Any suggestions into that design are welcome from the HPC.

A summary of project issues and a set of design schemes are attached. It is my understanding that members of the Takoma Park Fire/Rescue Station Workgroup will be attending your meeting on January 24, 2001 to answer any questions that you may have.

If you have any questions of me, please do not hesitate to contact me at 240-777-2400. Thank you for your consideration.

Sincerely,



Gordon A. Aoyagi
Fire Administrator

attachments

cc: D. Dwyer
R. Riffe
S. Lamphier
Takoma Park Fire/Rescue Station Workgroup Members

**TAKOMA PARK FIRE/RESCUE STATION #2 REPLACEMENT
PROJECT ISSUES – HISTORIC PRESERVATION COMMISSION
JANUARY 24, 2001**

Page 1 of 1

The architect has proposed two designs for the fire station. One involves the acquisition of the commercial property to the east of the existing station the other involves the acquisition of the two residential properties to the west of the existing station. Both designs meet the needs and features of the agreed upon program of requirements. The acquisition of the commercial property, however, presents a number of significant issues that will both increase the cost of the project as well as significantly delay the project. A summary of estimated costs is shown below:

	“COMMERCIAL” SCHEME	“RESIDENTIAL” SCHEME
Land Acquisition	\$450,000	\$320,000
Site Preparation	978,049	547,819
Design & Construction	3,096,844	3,025,737
Relocation Benefits	100,000	50,000
Other	258,000	236,700
TOTAL	\$4,882,893	\$4,180,256

The land acquisition costs are based on appraisals dated October 2000 prepared by a certified general real property appraiser. Copies of these appraisals are available upon request. The architect has prepared the site preparation and construction cost estimates. The cost of relocation benefits was determined by the County's Department of Public Works and Transportation based upon previous experience.


It is noted that the owner of the commercial property is very pleased with the location of her business and is not willing to sell at this time. Should the commercial property need to be acquired, it could add up to two years to the project timeline. The County is negotiating with the owners of the residential properties for acquisition.

The Takoma Park VFD reports that the existing station needs major repair work within the next two years, including a roof, engine room floor repairs and/or replacement, and repairs to windows and walls that leak during periods of heavy rain.

Sent Perry Johnson copy of T.P. Amendment.

1. Demolition —
↳ site development

2. New Construction


Nov 17

Steve Landfair, Fire + Rescue

land use Perspective

1. Economic viability of City Lot - would this be affected?
2. Community didn't want commercial expansion to No. 5th...
The Master Plan now holds the Commercial edge ^{west}.
3. There are contrasting Resources ...
4. This is an opportunity for improved streetscape along Carroll...
5. Wants to enhance commercial use + viability of entire area... check any proposal against this...

NOTE: Expansion to east brings up no issues from planning perspective.

→ Q: Ask Perry Johnson is city responsible for land acquisition?

Q: How do you choose the architect? Can we help with the list?

2. How is the land use perspective?

1. Financial Viability of City Lot - Would this be affordable?

2. Community Objectives + what community objectives apply to the lot?

3. In what ways does the community object?

4. There are existing planning documents...

5. This is an opportunity for improvement. What are the goals?

6. Wants to address community use - viability of

7. active use... that are financial

8. against that...

9. Preparation to cost break up to 122 units

10. from financial perspective

11. The City of Denver is not responsible for land

12. organization?

13. How do you share the workload? Can we help with the lot?



MONTGOMERY COUNTY FIRE AND RESCUE SERVICE

Douglas M. Duncan
County Executive

Gordon A. Aoyagi
Fire Administrator

MEMORANDUM

December 22, 2000

TO: Distribution

FROM: Stephen C. Lamphier, Program Specialist
Fleet and Facilities Section
Corporate Development Services
Montgomery County Fire and Rescue Service

SUBJECT: Takoma Park Fire Station #2 Update

- 1) There will be a meeting of the work group on Wednesday, January 3, 2001 @ 10:00 AM, 12th floor conference room of the Executive Office Building in Rockville. The purpose of the meeting will be to finalize the information being presented to the Takoma Park City Council and the Historic Preservation Commission.
- 2) Please remember to mark the dates of January 8th and January 24th on your calendars (evenings) for the referenced meetings.
- 3) Scheme "III" has been received from Michael Hackley. It is being given a review from the aspect of fire/rescue operations. This scheme will be available for all to review at the January 3rd meeting. -
- 4) There are still several action items that I thought could be resolved by today. Please review the action item list. It is imperative that the project timelines showing best and worse case scenarios and cost estimates be completed by January 3rd. This information will be needed as part of the submission to the Historic Preservation Commission on January 3rd.
- 5) There are a number of DRAFT documents attached. Please fill in the blanks, and review and comment prior to the January 3rd meeting. Comments can be e-mailed to me at lamphs@co.mo.md.us or faxed to me at 240-777-2402.

If you have any questions, please contact me at 240-777-2494. Thank you.

Post-It® Fax Note	7671	Date	# of pages 7
To	Robin Ziek	From	Steve Lamphier
Co./Dept.		Co.	
Phone #		Phone #	
Fax #	301 573-3412	Fax #	

Office of the Fire

101 Monroe Street, 12th Floor
240/777-2400, TDD 240/777-2402

Send copy ~~to~~
to DM
Dunning
ASAP
=

11/3/04

~~IT~~
partly new
KCI technician
(Gary Miller)

Takoma Park Fire Station #2 Update
December 22, 2000
Page 2

attachments:

Draft letter from G. Aoyagi, Fire Administrator, to the Mayor and City Council of Takoma Park.

Draft project update to the Mayor and City Council of Takoma Park.

Draft letter from G. Aoyagi, Fire Administrator, to the Historic Preservation Commission.

Draft project issues to the Historic Preservation Commission.

distribution:

P. Johnsson, MCDPWT/DFS/CPMS
C. Stewart, City of Takoma Park
R. Finn, City of Takoma Park
D. Braithwaite, City of Takoma Park
B. Allen, TPVFD
J. Jarboe, TPVFD
M. Donahue, MCFRS/DFRS
R. Ziek, MNCPPC/HPC
S. Hayes, MCDPWT/DFS/Leasing Management
M. Cassidy, MCDPWT/DES/PAS
B. Hunt, MCOMB
G. Gilbert, Bignell, Watkins and Hasser
M. Hackley, Michael Hackley Architects

cc: G. Aoyagi
D. Dwyer
R. Riffe

DRAFT

12/22/00

January 3, 2001

Mayor _____ and
City Council
City of Takoma Park, Maryland
Address
Takoma Park, Maryland 209XX

Dear Mayor _____ and City Council:

On behalf of the Montgomery County, Maryland Fire and Rescue Service, I am requesting that the City of Takoma Park reaffirm their support of the construction of a new fire/rescue station on the site of the existing station. As you are aware, the new station, in order to meet the features and needs found within the agreed upon program of requirements, will also require the acquisition of additional land adjacent to the existing property.

While there is land on both sides of the existing station, the acquisition of the residential properties are advantageous to this project, as the acquisition, site preparation, and construction costs are significantly less than those same costs estimated for the acquisition of the commercial property. In addition, there are potential environmental clean-up costs for the commercial property as well as a potential project delay of up to two years in actually acquiring the commercial property.

The County will continue to work with you to design a both workable and aesthetically pleasing fire/rescue station in your City.

A project update is attached. It is my understanding that Mr. Steve Lamphier of my staff will be attending your meeting on January 8, 2001 to answer any questions that you may have.

If you have any questions of me, please do not hesitate to contact me at 240-777-2400. Thank you for your consideration.

Sincerely,

Gordon A. Aoyagi
Fire Administrator

cc: D. Dwyer
R. Riffe
S. Lamphier
Takoma Park Fire/Rescue Station Workgroup Members

DRAFT

TAKOMA PARK FIRE/RESCUE STATION #2 REPLACEMENT UPDATE TO THE TAKOMA PARK CITY COUNCIL

JANUARY 8, 2001

Page 1 of 2

DRAFT
12/22/00

TEMPORARY SITE:

Negotiations for the temporary site located on the grounds of Columbia Union College continue. Dr. ? is the new president of Columbia Union College. He has asked for several enhancements in the lease. Project staff will be meeting with him in the first part of January to discuss those enhancements.

TEMPORARY QUARTERS DESIGN:

There is a temporary quarters located at the Burke VFD in Fairfax County, Virginia that may become available to us. The architect will be meeting with Fairfax County officials regarding the design and selling price of the structure. The structure itself is expected to be available in February or March 2001. The use of this structure would be advantageous since it has already been designed and the design is generally agreeable to the County and the TPVFD from an operational point of view. The TPVFD, whose personnel have previously seen the structure, did express the need for additional office space over and above that offered by the structure. A review of any zoning issues for such a structure must also occur.

DESIGN CONSIDERATIONS:

The architect has proposed two designs for the fire station. One involves the acquisition of the commercial property to the east of the existing station the other involves the acquisition of the two residential properties to the west of the existing station. Both designs meet the needs and features of the agreed upon program of requirements. The acquisition of the commercial property, however, presents a number of significant issues that will both increase the cost of the project as well as significantly delay the project. A summary of estimated costs is shown below:

	"COMMERCIAL" SCHEME	"RESIDENTIAL" SCHEME
Land Acquisition	\$450,000	\$320,000
Site Preparation	ARCHITECT	ARCHITECT
Construction	ARCHITECT	\$3,517,001
Relocation Benefits	\$100,000	None?
Others		
TOTAL		

The land acquisition costs are based on appraisals dated October 2000 prepared by a certified general real property appraiser. Copies of these appraisals are available upon request. The architect has prepared the site preparation and construction cost estimates. The cost of relocation benefits was determined by the County's Department of Public Works and Transportation based upon previous experience.

DRAFT

**TAKOMA PARK FIRE/RESCUE STATION #2 REPLACEMENT
UPDATE TO THE TAKOMA PARK CITY COUNCIL
JANUARY 8, 2001**

Page 2 of 2

DRAFT

It is noted that the owner of the commercial property is very pleased with the location of her business and is not willing to sell at this time. Should the commercial property need to be acquired, it could add up to two years to the project timeline. Additionally, there are unknown environmental issues with the commercial property.

The Takoma Park VFD reports that the existing station needs major repair work within the next two years, including a roof, engine room floor repairs and/or replacement, and repairs to windows and walls that leak during periods of heavy rain.

DRAFT

DRAFT
12/22/00

January 3, 2001

_____, Chairman
Montgomery County Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910

Dear _____:

On behalf of the Montgomery County, Maryland Fire and Rescue Service, I am requesting that the Historic Preservation Commission (HPC) review and approve the preliminary design a new fire/rescue station in Takoma Park. The new station will be constructed on the site of the existing station, however, additional land is required in order to meet the features and needs found within the agreed upon program of requirements.

While there is land on both sides of the existing station, the acquisition of the residential that are located in a historic district, are advantageous to this project. Acquisition, site preparation, and construction costs are significantly less than those same costs estimated for the acquisition of the commercial property. In addition, there are potential environmental clean-up costs for the commercial property. Most importantly, however, the acquisition of the commercial property will create a potential project delay of up to two years, as the owner of that property is not interested in moving.

Please note that the County will work with you to design a both workable and aesthetically pleasing fire/rescue station on the site. Any suggestions as to that design are welcome from the HPC.

A summary of project issues is attached. It is my understanding that members of the Takoma Park Fire/Rescue Station Workgroup will be attending your meeting on January 24, 2001 to answer any questions that you may have.

If you have any questions of me, please do not hesitate to contact me at 240-777-2400. Thank you for your consideration.

Sincerely,

Gordon A. Aoyagi
Fire Administrator

cc: D. Dwyer
R. Riffe
S. Lamphier
Takoma Park Fire/Rescue Station Workgroup Members

DRAFT

TAKOMA PARK FIRE/RESCUE STATION #2 REPLACEMENT PROJECT ISSUES – HISTORIC PRESERVATION COMMISSION JANUARY 24, 2001

Page 1 of 1

DRAFT

The architect has proposed two designs for the fire station. One involves the acquisition of the commercial property to the east of the existing station the other involves the acquisition of the two residential properties to the west of the existing station. Both designs meet the needs and features of the agreed upon program of requirements. The acquisition of the commercial property, however, presents a number of significant issues that will both increase the cost of the project as well as significantly delay the project. A summary of estimated costs is shown below:

	"COMMERCIAL" SCHEME	"RESIDENTIAL" SCHEME
Land Acquisition	\$450,000	\$320,000
Site Preparation	ARCHITECT	ARCHITECT
Construction	ARCHITECT	\$3,517,001
Relocation Benefits	\$100,000	None?
Others		
TOTAL		

The land acquisition costs are based on appraisals dated October 2000 prepared by a certified general real property appraiser. Copies of these appraisals are available upon request. The architect has prepared the site preparation and construction cost estimates. The cost of relocation benefits was determined by the County's Department of Public Works and Transportation based upon previous experience.

It is noted that the owner of the commercial property is very pleased with the location of her business and is not willing to sell at this time. Should the commercial property need to be acquired, it could add up to two years to the project timeline. Additionally, there are unknown environmental issues with the commercial property.

The Takoma Park VFD reports that the existing station needs major repair work within the next two years, including a roof, engine room floor repairs and/or replacement, and repairs to windows and walls that leak during periods of heavy rain.

DRAFT
12/22/00

SCHEMATIC DESIGN REVIEW PACKAGE

**Takoma Park Fire Station No. 2
Montgomery County, Maryland**

Submitted by:



and

**MICHAEL HACKLEY
ARCHITECTS**

November 21, 2000

PURPOSE

The design team of Bignell Watkins Hasser Architects and Michael Hackley Architects prepared two schematic design options for the Takoma Park Fire Station No. 2.

Each scheme razes the existing fire station and reuses the land on which it exists. Scheme 1 examines using the commercial property located to the west of the site, while Scheme 2 examines using the residential property located to the east of the site.

OVERVIEW OF SCHEMES

The schemes prepared for these fire station options both function as a single-story building, but each have structured parking and some support services located underneath the building.

The design-to budget for this project is \$3,700,000 for the building and site related work. The costs shown in this report are construction costs only and do not included land purchases or design costs.

SCHEME 1 - COMMERCIAL PROPERTY - \$4,224,243

This design is a drive-through bay solution which reuses the existing facade as a side elevation of the apparatus bay. The firefighting vehicles do not enter or exit at the enter intersection, but require two new curb cuts on either side of the intersection. All of the parking is located beneath the building. To gain access to this parking area, a steep drive aisle with large retaining walls is required. An elevator will be required due to the fact that all the parking is below the building.

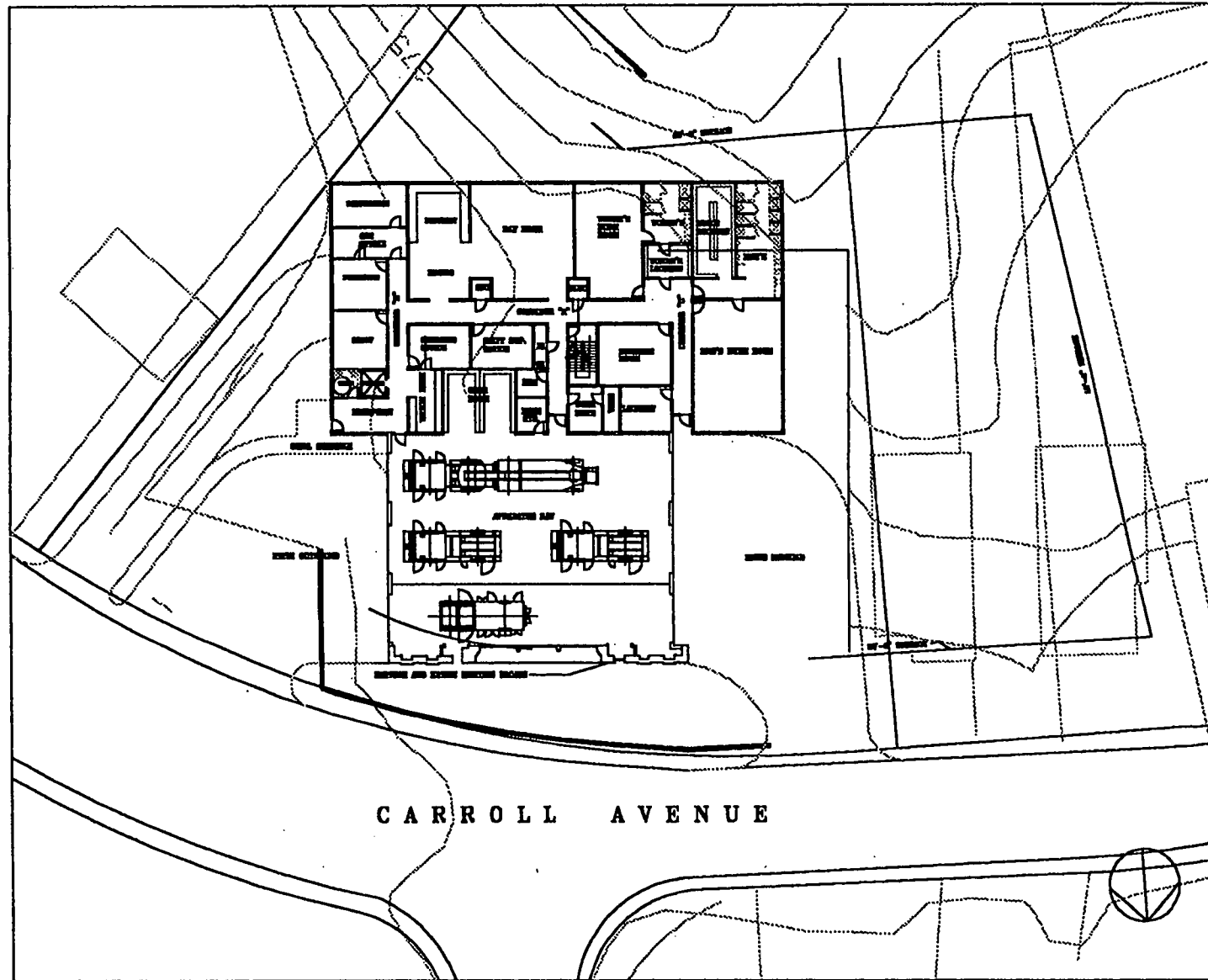
SCHEME 2 - RESIDENTIAL PROPERTY - \$3,517,001

This design is a back-in bay solution which uses the existing intersection as its entry and exit point. Portions of the existing building are scheduled to remain in the non-vehicular areas. An elevator is not required due to the on-grade parking adjacent to the building.

Saving the second resident may be possible by the reduction of required parking. This reduction will need to be approved by both Planning & Zoning and the Fire Department.

SCHEME I- TAKOMA PARK - FIRST FLOOR

MONTGOMERY COUNTY MARYLAND

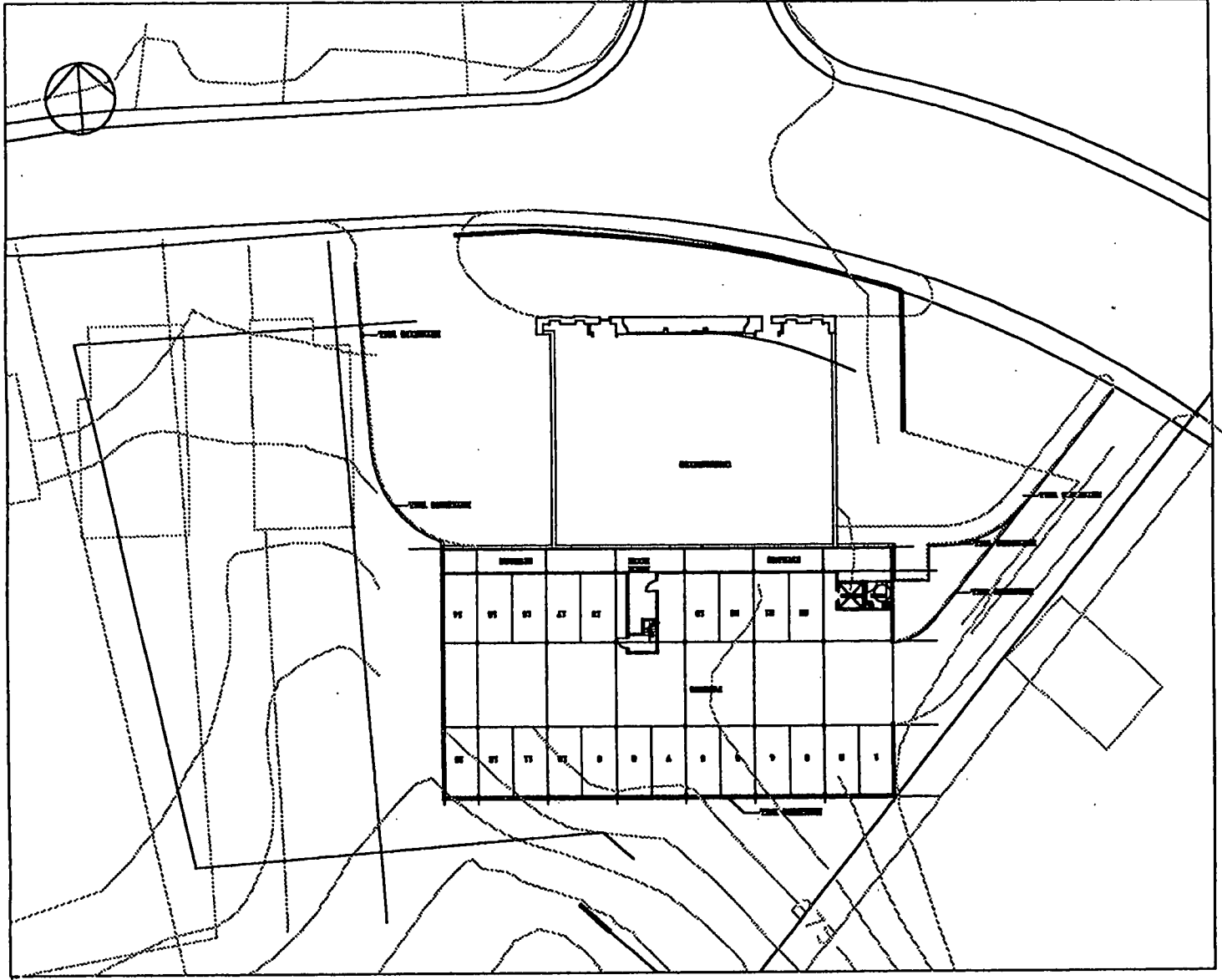


Michael Hackley, Architects, Chartered
Washington, DC

ARCHITECTS P.A.
Annapolis, Md.

MONTGOMERY COUNTY MARYLAND

SCHEME I - TAKOMA PARK - LOWER LEVEL

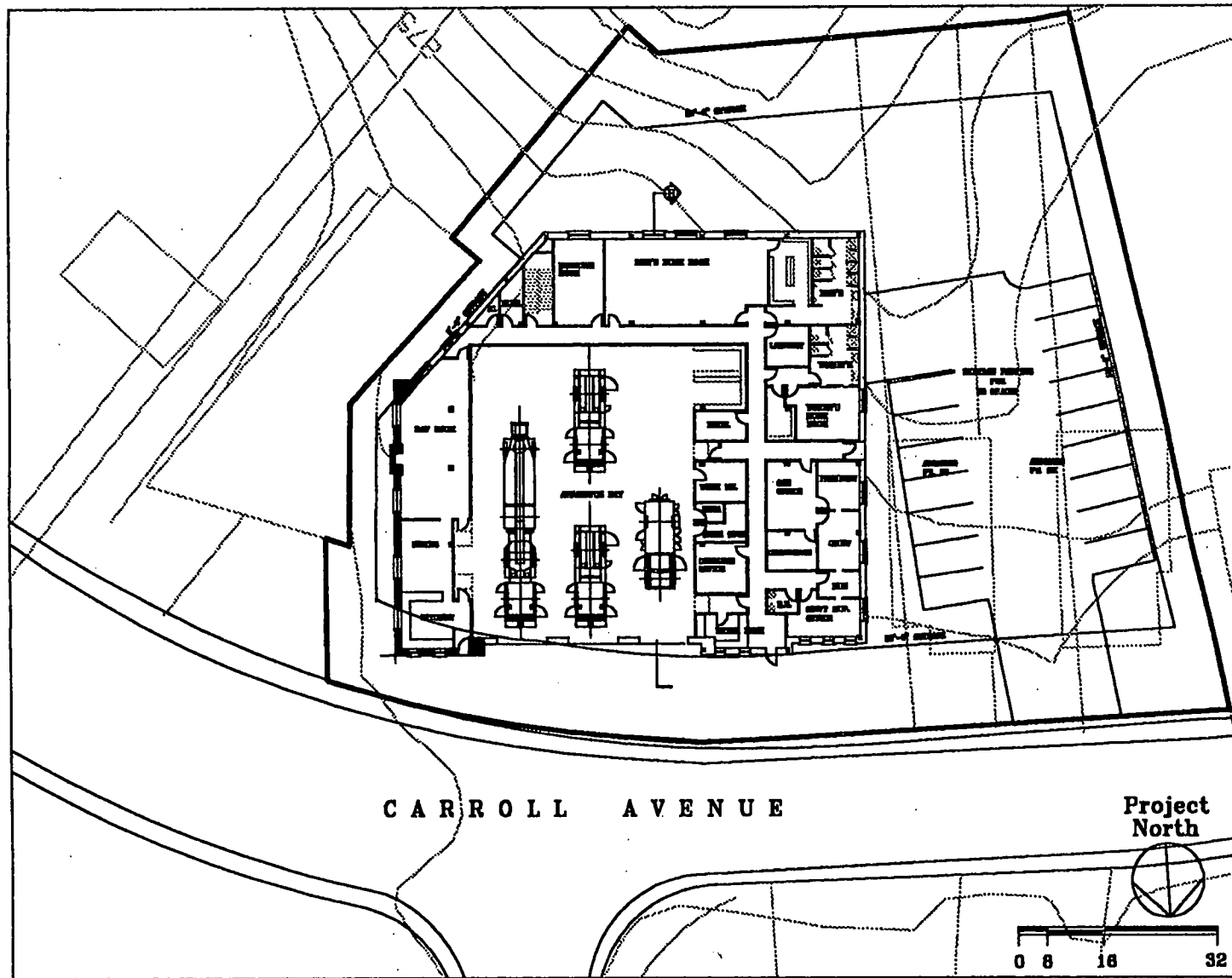


Michael Hackley, Architects, Chartered
Washington, DC

ARCHITECTS P.A.
Annapolis, Md.

SCHEME II- TAKOMA PARK - FIRST FLOOR PLAN

MONTGOMERY COUNTY MARYLAND

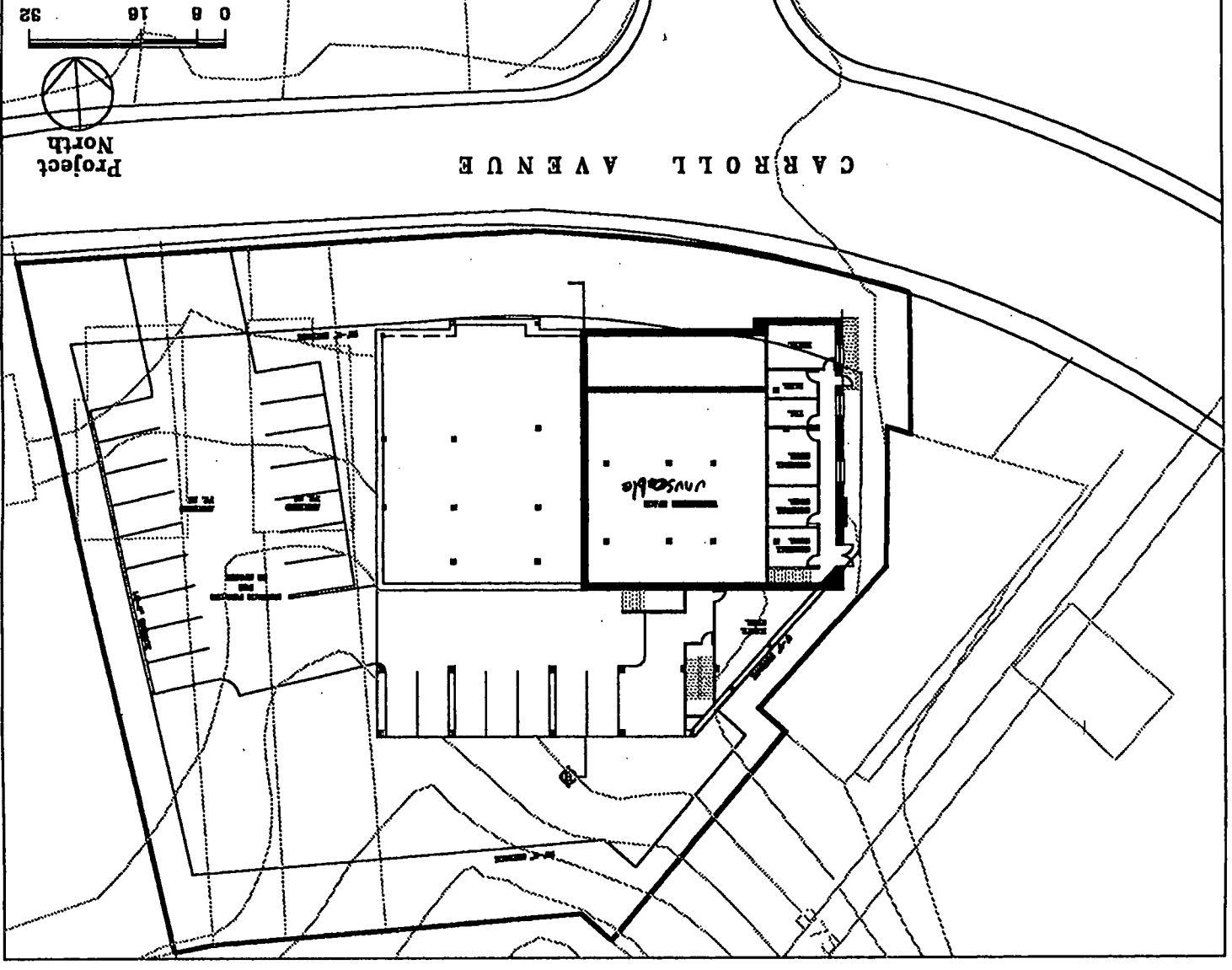


Michael Hackley, Architects, Chartered
Washington, DC

ARCHITECTS P.A.
Annapolis, Md.

MONTGOMERY COUNTY MARYLAND

SCHEME II - TAKOMA PARK - LOWER LEVEL



Project
North

CARROLL AVENUE

Michael Hackley, Architects, Chartered
Washington, DC

ARCHITECTS P.A.
Annapolis, Md.



MONTGOMERY COUNTY FIRE AND RESCUE SERVICE

Douglas M. Duncan
County Executive

Gordon A. Aoyagi
Fire Administrator

MEMORANDUM

October 18, 2000

TO: Distribution

FROM: Stephen C. Lamphier, Program Specialist
Fleet and Facilities Section
Corporate Development Services
Office of the Fire Administrator
Montgomery County Fire and Rescue Service

SUBJECT: Takoma Park Fire Station #2 Replacement

The referenced project is moving along. Since our last meeting held on June 8, 2000, the following activities have taken place:

- The property appraisals are in process and should be near completion.
- The lease with Columbia Union College for the temporary site is nearing completion.
- The architectural and engineering firm, Bignell, Watkins, and Hasser, is under contract and is working to prepare cost estimates for a fire station that meets the program of requirements. Bignell will be preparing cost estimates for the two schemes as recommended by the feasibility study as well as a cost estimate for constructing the fire station using the commercial property. It is intended that Bignell will be preparing a draft presentation for the Historic Preservation Commission.

I have reviewed the list of action items that were to have occurred after the last meeting. Outstanding issues include:

- A statement for the record endorsed by the City of Takoma Park of where it stands on the issue of replacement.
- A "state" of the existing facility to be prepared by the Takoma Park Volunteer Fire Department.

Office of the Fire Administrator

Distribution

Takoma Park Fire Station #2 Replacement

October 18, 2000

Page 2

Because of the progress that is being made, **I have scheduled a meeting for Tuesday, November 21, 2000, 10 AM, at the City of Takoma Park municipal building located at 7500 Maple Avenue.** It is intended that all items will be completed before that date and each responsible party will be prepared to discuss the items. It is my goal to still be able to present to the Historic Preservation Commission at its December 2000 meeting.

Please me, at the earliest possible date, of whether or not you plan to attend the meeting. In the mean time, if you have any questions, please contact me at 240-777-2494.

Thank you very much.

distribution:

P. Johnsson, MCDPWT/DFS/CPMS
C. Stewart, City of Takoma Park
R. Finn, City of Takoma Park
D. Braithwaite, City of Takoma Park
B. Allen, TPVFD
J. Jarboe, TPVFD
R. Ziek, MNCPPC/HPC
S. Hayes, MCDPWT/DFS/Leasing Management
M. Cassidy, MCDPWT/DES/PAS
B. Hunt, MCOMB

cc: G. Aoyagi
D. Dwyer
R. Riffe

City of Takoma Park, Maryland

OFFICE OF THE DIRECTOR
PUBLIC WORKS DEPARTMENT
TEL: (301) 585-8333



MUNICIPAL BUILDING
7500 MAPLE AVENUE
TAKOMA PARK, MD 20912

Robin,

It was good to talk to you
the other day.

Here's a copy of the Quinn Evans
Report. Give me a call once you've
gone through it so we can touch base
again.

Thanks,
Daryl

Enrollment form mailed to you

ORGANIZACION INTERNACIONAL
DE LA LUCHA POR LA VIDA
INTERNATIONAL STRUGGLE FOR HUMANITY



RETOURNEZ A LA POSTE
L'ENVELOPPE S'IL VOUS
PLAÎT. (NO RETURN TO
POST OFFICE)

www.kponline.org

Answer sheet for Kaiser Permanente Cancer Screen

7131-6
7133-6
7135-6
PAC # 2

2010
0116
0100

Kaiser Permanente
A HEALTH CARE TEAM AT YOUR FINGERTIPS (FOR MEMBERS ONLY)

Handwritten notes in the top left margin, including "7131-6" and "7133-6".

Handwritten notes in the middle left margin, including "7131-6" and "7133-6".

Handwritten notes in the bottom left margin, including "7131-6" and "7133-6".

Handwritten notes in the bottom right margin, including "7131-6" and "7133-6".

Perry Johnson, ... Tokame Park
Five Station

240-777-6120

Program has been approved.

REP is going out.

Handwritten text: $\text{Handwritten T, normal pref}$

Handwritten text: $\text{Handwritten 2 pref}$

Handwritten text: $0512 - 444 - 045$

Handwritten text: $\text{Handwritten word and - normal pref}$

Handwritten text: $\text{Handwritten 3 9 7 9}$

I have suggestions for children's activities _____

Historic Preservation Committee

I'd like to share my knowledge of historic preservation.

I'd like to be involved with the historic preservation committee.

Membership

I have ideas for member activities.

I have ideas for increasing membership.

Museum

I would be willing to lead walking tours.

I would be willing to help design a tour.

I would be interested in helping develop exhibits.

I would like to help arrange the archival material.

I am interested in helping landscape the Thomas-Siegler gardens.

Newsletter

I would like to write for the newsletter.

I would like to help with editing and production.

I would like to see more of the following covered in the newsletter:

I can't take on a committee assignment, but I can:

Assemble newsletters Help out at Events Coordinate mailings

Put flyers on community bulletin boards Help design a web page

In the future I may be willing to serve on the Historic Takoma Board as:

President Vice Pres.

Secretary Treasurer

Board Member

TELL US MORE!

I decided to join Historic Takoma because:

This is what works for me as an HTI member:

These are areas where HTI could improve:

Name: _____ Address: _____

Phone: () _____ - _____ () _____ - _____ email address _____

Return to: Historic Takoma, Inc., PO Box 5781, Takoma Park, MD, 20913 Thanks!

MEMBERSHIP SURVEY

The Board realizes that not everyone likes the same type of events, nor can everyone attend a planning meeting. For this reason we ask you to take a few minutes to complete this survey on ways HTI can serve you and provide activities that you can learn from, participate in and enjoy. Your responses will give us a better idea as to what direction Historic Takoma should take and what type of events to plan in the future. Please take this opportunity to answer these questions and provide any additional comments. Thank you!

ACTIVITIES

I would like to see HTI sponsor more of the following:
(please rate on a scale of 0 – no interest, 3 – max interest)

Speakers How-to programs Hands-on activities

Children's Activities

I have children interested in history. Ages: _____

Historic Preservation Activities

I'd like to know more about preserving historic dwellings.

Walking Tours

I would be interested in taking walking tours.

When would you prefer to see events held:

Weekday evenings Weekend afternoons Weekend evenings

Saturday Saturday

Sunday Sunday

Events are usually free. Would you be willing to pay a charge to attend?

yes no

If yes, how much would you pay?

\$2 \$5 more

MUSEUM

Have you been to the Thomas-Siegler Carriage House Museum?

yes no

How would you like to see the Thomas-Siegler property used?

Historical exhibits Building and grounds interpretation

Visitor Center Activity and Education center

Combination

What types of exhibits would you like to see:

Founding of Takoma Park Takoma Park Architecture

Transportation in Takoma Takoma Park Politics

Religious History Other _____

MEMBERSHIP PARTICIPATION

I would be interested in joining a committee:

Events

I would like to help plan events.

I would like to help develop activities for children.

Thomas-Siegler Museum Has a Busy Second Season!

by Gemma Flamberg

The Thomas-Siegler Carriage House Museum had an extremely exciting and productive second season. It began with the installation of the museum's first exhibit: "Takoma at the Turn of the Century."

Displayed on the upper level of the museum, the exhibit includes oversize reproductions of photographs depicting early life in Takoma Park. Included among these are images of B.F. Gilbert, founder of Takoma Park, and the "Roller Coaster Gang," several young boys enjoying an afternoon of rollicking fun and games in a makeshift "roller coaster" wagon. Interpretive labels provide a glimpse of life in early Takoma Park.

The exhibit was funded in part with grants from the Montgomery County Historic Preservation Commission and the Takoma Foundation. Seeing these images with the sun coming through the windows of the late nineteenth-century Carriage House and in sight of the original Siegler residence (the first completed house in Takoma Park), visitors to the museum can experience a momentary trip back in time.

Strawberry Festival

To celebrate the opening of its first exhibit at the museum, HTI hosted a Strawberry Festival on June 1. Approximately 100 visitors enjoyed fresh strawberries sold by the Takoma-Silver Spring Co-op, strawberry shortcake, bagels with strawberry cream cheese, and strawberry-banana juice donated by Mark's Kitchen. Savory donated gourmet water and paper goods, and dinner for two to the winner of the Strawberry Festival Raffle.

Visitors were able to sample historical as well as gastronomic fare as they toured the museum. In addition to the photo exhibit, HTI's acclaimed slide show was shown continuously throughout the day, and visitors examined the numerous artifacts that were recovered from the Siegler residence. As always, members of the HTI Board of Directors and Museum Committee were on hand to answer questions about HTI and the Museum.

School Tours

Before the school year ended, several enthusiastic classes of fourth-graders from Piney Branch Elementary School

took a tour of the museum. The visit provided an opportunity to enhance the standard local history curriculum. Several students were excited to see images of neighborhood homes featured in the slide show and the photographic exhibit. Many students enjoyed looking through the collection of artifacts recovered from the Siegler residence, while others preferred a closer examination of the spider webs (date unknown). Based on the success of the tour, the Museum Committee is exploring ways to introduce other local school children to the museum.

Adventist Heritage Days

On August 23 and 24, the museum was a stop on the Seventh Day Adventist Heritage Days Bus Tour and Open House. Approximately 70 Heritage Day participants and some 30 other community members toured the museum over the course of the weekend. Participants particularly enjoyed slides of the Seventh Day Adventist Washington Sanitarium featured in the HTI slide show.

Community Open House

Our season ended with a Community Open House Celebration on September 21, the most successful museum event to date. The open house offered visitors an opportunity to explore the museum, purchase baked goods donated by members of the HTI Board and Museum Committee, and listen to The Aldersons, a local country music band. Once again, Mark's Kitchen donated freshly squeezed juice to refresh visitors. The band generously donated its time and delighted visitors with its unique blend of country and folk music. Caroline Alderson is a member of HTI's Advisory Council and was instrumental in efforts to restore the Carriage House. Approximately 150 people visited the museum during the celebration, including a member of the Historic Preservation Commission and mayoral candidate Kathy Porter.

Halloween Howl!

Set back from the road by a winding path and a haven for spiders, the old Carriage House provides the perfect Halloween atmosphere. In what is quickly becoming an annual tradition, the museum was open on Halloween night to welcome (and spook) trick-or-treaters.

Museum Committee Plans

The extremely energetic Museum Committee plans to spend the Winter months working on long-term planning for the museum. The City Council recently approved a Memorandum of Understanding that lays out the respective roles and responsibilities of the City, as owner, and HTI, as administrator, of the property. With the MOU now signed, HTI can move forward with long-range planning.

The Museum Committee is currently researching funding sources, working on a collection-management policy, and determining which artifacts to accept into the museum's collection. HTI recently received a grant from the Small Museum Association to hire a consultant to provide input on what the scope of the museum's collection should be in light of the environmental conditions of the Carriage House.

In planning for the future, the Museum Committee is interested in your ideas. We want to offer the most interesting exhibits and programming to the community. With that in mind, the Committee hopes that HTI members will complete the enclosed survey. With your help, the museum can become both an excellent source of local information and a place where the community can enjoy events that reflect the unique and rich history of the City.

The Museum Committee includes Dorothy Barnes, Gemma Flamberg (Chair), Joel Solomon, Ted Kowaluk, Melissa Martens, and Anita Weber. To join the Museum Committee, contact Gemma Flamberg at (301) 270-5335. ❖



Dorothy Barnes, Sharon Stewart, and Kathy Brooks, all members of the HTI board, get ready for visitors to the Carriage House for the June Strawberry Festival.

Resource File:

Reproducing Historic Millwork

The architecture typically found on historic homes in Takoma Park and elsewhere makes extensive use of turned columns, decorative posts, and other elaborate millwork.

As time and termites take their toll, this millwork is often the worse for wear. Fortunately, there are many sources where homeowners can find authentic replacements—either off-the-shelf or turned exactly to the homeowner's specifications.

Locally, several lumber shops can provide historic millwork or do custom turnings. **Gallier & Huguely Associates, Inc.** (5925 Blair Rd., NW, Washington, DC 20011, (202) 723-1000) is just a short distance from Takoma Park. It can reproduce small millwork items, such as porch ballisters, and can provide you with access to extensive millwork catalogs. Other excellent sources for reproduction millwork include **Smoot Lumber Co.** (6295 Edsall Rd., Alexandria, VA, (703) 823-2100) and **Washington Woodworking, Inc.** (2010 Beaver Rd., Landover, MD, (301) 341-2500).

Mail order choices abound. Many offer off-the-shelf historic reproductions as well as custom work. Many have brochures and/or catalogs available.

A.F. Schwerd (3215 McClure Ave., Pittsburgh, PA 15212, (412) 766-6322). Manufactures wood columns in classic styles or made-to-order.

A & M Victorian Decorations (2411 Chico Avenue, So. El Monte, CA 91733, (818) 575-0693). Manufactures custom/stock architectural elements in gypsum or concrete, including columns, planters, and molding.

American Custom Millwork (3904 Newton Rd., Albany, GA 31707, (912) 888-3303). Provides architectural wood moldings and custom millwork. An excellent source for cornices, chair rails, and baseboards.

Anthony Wood Products (PO Box 1081, Hillsboro, TX 76645, (817) 582-7225). Offers a complete line of Victorian interior and exterior gingerbread millwork. Custom work also is available.

Cumberland Woodcraft (10 Stover Drive, Carlisle, PA 17013, (717) 243-0063). Manufactures Victorian millwork, including hand-carvings, brackets, turnings, and special treatments.

Custom and Historic Millwork (5310 Tennyson St., Denver, CO 80212, (303) 480-1617). Specializes in custom work; also provides interior and exterior trim, including mantles, handrails, and doors.

Custom Woodturnings (4000 Telephone Rd., Houston, TX, (713) 641-6254). Provides porch and newel posts, post tops, railings, balusters, stair parts, and gable ornaments.

Gingerbread Man Woodworks (PO Box 59, Noel, MO, (417) 775-2553). Offers a vast selection of Victorian gingerbread millwork.

J.S. Keller & Associates (PO Box 270359, St. Louis, MO, (314) 843-1199). U.S. agents for Oakleaf Reproductions Limited of England. Offers a line of molded reproduction oak paneling, moldings, and embellishments.

Kentucky Millwork (PO Box 33276, Louisville, KY 40232, (502) 451-6024). Has a full line of architectural millwork and casework, including moldings, mantles, windows, doors, stairs, handrails, and cabinets.

Ornamental Moldings (3804 Comanche Rd., Archdale, NC 27263, (910) 431-9120). Offers solid hardwood moldings and accessories. The Victorian style collection includes cornice, chair rail, and baseboard molding available in different hardwoods.

Raymond Enkeboll Designs (16506 Avalon Blvd., Carson, CA 90746, (310) 532-1400). Provides architectural elements carved in solid wood, including moldings, capitals, and inlays.

The Porch Factory (PO Box 231, White House, TN 37188, (615) 672-0998). Features country and Victorian gingerbread trim for both interior and exterior uses.

Changes in Leadership and Bylaws

by Jack Carson

The past several months have seen significant changes in both the board and bylaws of HTI, including the resignation of HTI's President, Sharon Stewart, the election of several new board members, and the adoption of a new set of bylaws.

Sharon Stewart Resigns

HTI President Sharon Stewart resigned on July 10, citing personal circumstances that prevented her from performing effectively the duties of the office. Vice President Ted Kowaluk agreed to fill Sharon's term in office, which expires in December. HTI board member Lorraine Pearsall assumed the office of Vice President. Sharon agreed to remain as a board member of HTI.

Sharon assumed the presidency of HTI in December 1995, at a time when the organization had become relatively dormant. Over the next year and a half, she skillfully rebuilt the organization and provided strong leadership and guidance to an inexperienced board. At the time Sharon turned over the reins, HTI was once again a vibrant organization with a clear understanding of its mission and agenda for accomplishing its goals. We all owe Sharon a huge debt of gratitude. Thanks, Sharon, for a job well done!

New Bylaws Adopted

Historic Takoma's bylaws have been revised for the first time since HTI was incorporated in 1979. The new bylaws are constructed to reflect better the actual operations of the organization, and to incorporate updated language recommended by the American Bar Association for non-profit corporations. Significant changes were made to existing Articles and Sections of the bylaws, and many new elements have been added. One of the changes provides for an expansion of the Board of Directors to 13 members (see below). The new bylaws were adopted unanimously by the Board of Directors on September 17. Any HTI member wishing to obtain a copy of the bylaws may call HTI at (301)270-1700 ext. 662, or write to HTI.

HTI Participates in United Way/CFC Campaigns

Historic Takoma has been accepted into the 1997 United Way/Combined Federal Campaigns for 1997, which run through the end of the calendar year. Our agency code is 8361. If you contribute to either the United Way or Combined Federal Campaign, PLEASE designate HTI to receive your contribution. Every pledge to HTI is important! The amount of money that we receive from the pool of undesignated contributions is directly proportional to the amount we receive from designated contributions.

Board Approves Budget for 1997

Following considerable discussion, in July the HTI Board of Directors approved a budget of \$12,300 for fiscal year 1997 (Jan. 1 - Dec. 31). The major projected source of income is memberships (\$4,500), and the major projected expense category is the Thomas-Siegler Carriage House Museum (\$2,700). HTI members interested in obtaining a copy of the complete budget may call HTI at (301) 270-1700 ext. 662, or may write to HTI.

New Board Members Welcomed

Over the spring and summer HTI inducted the following six new board members: Dorothy Barnes; Gemma Flamborg; Anita Weber; Pat Fox; Joel Solomon; and Lorraine Pearsall. The inductees were selected to fill three existing board vacancies, and to increase the board size as permitted by the new bylaws adopted by the board. Since joining the board, each person has taken on one or more important roles. Dorothy is HTI's historian (having lived in the city for 75 years, she's experienced much of the city's history), Gemma is HTI's Museum Curator, Anita is HTI's archivist, Pat is the chair of HTI's Membership & Newsletter committee, Joel is a key member of the Museum committee, and Lorraine is HTI Vice

President and chair of the Historic Preservation committee. Welcome aboard, newcomers!

Please Renew Your Membership Promptly

HTI has switched to a personalized membership renewal system. Instead of all memberships expiring once a year in December, as was the case under the previous system, memberships now expire 12 months following renewal or initial application. Each expiring membership will receive a notice to renew prior to the expiration of the membership. Please respond to your renewal notice in a timely manner. It costs HTI significant resources, both in precious volunteer time and scarce dollars, to prepare follow-up mailings to lapsed members. Thank you!

★SPECIAL RECOGNITION★

- ★Lorraine Pearsall & Paul Chrostowski
- ★J. Evans Walter
- ★Jean Boyer Porter
- ★Jeff Trunzo and Herman Goodyear
- ★Larry Rubin
- ★Joel Solomon & Janet Fleischman
- ★Paul O'Brien
- ★Mark Choe, Mark's Kitchen
- ★Richard Gross, Takoma Park Newsletter
- ★Isaiah Poole, Takoma Park Gazette
- ★Eric Bond & Nancy O'Donnell, The Takoma Voice
- ★Beverly Habada & Wayne Hobbs, City of Takoma Park
- ★Sharon Waldvogel, Shampoo
- ★Linda Pompa, Savory

Historic Takoma welcomes Lorraine Pearsall and Paul Chrostowski, J. Evans Walter, Jean Boyer Porter, and Jeff Trunzo and Herman Goodyear into the B. F. Gilbert Club! By contributing \$250 they became members of Historic Takoma's exclusive Benjamin Franklin Gilbert Club, and had their names displayed on the club plaque in the museum. We thank them for their

AROUND TOWN:

Silver Spring Train Station to be Moved

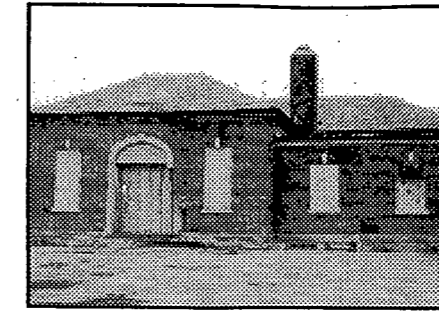
by Lorraine Pearsall

CSX has withdrawn its permit application for demolition of the old B&O Train Station located at the intersection of Georgia and Sligo Avenues. The railroad company is working with the Silver Spring Redevelopment Office to find a possible new location for the structure.

The building represents one of the last high-ceilinged stations built by the B&O, and is the only 20th century B&O station in Montgomery County. Still intact, it has rich architectural detail including limestone window sills, six-over-six double-hung windows, fluted pilasters, glazed block interior walls, twin doorways with fanlights, and Flemish-bond brickwork. The station was visited by Winston Churchill, Franklin D. Roosevelt, and Harry Truman.

Mr. Duncan has voiced support to preserve the station but believes that CSX should be allowed to move it to a suitable site if one can be found. Some possible locations that have been mentioned include the proposed Silver Spring Transit Center and a location

along Fenton Street in the vicinity of Montgomery College. If no site can be found, it is possible that the old station will remain in its current location.



Silver Spring Train Station.

Save Our Seminary

Save our Seminary (SOS) at Forest Glen is a volunteer organization dedicated to the preservation and future use of the Seminary Historic District, which is part of the Forest Glen Annex of the Walter Reed Army Medical Center. The organization was formed in 1988 in response to the Army's plans to tear down the historic structures. SOS teamed in 1994 with the National Trust for Historic Preservation in a law suit against the Army to prevent "demolition by neglect."

SOS needs volunteers to help with its periodic cleanup efforts and its other activities. For more information, call Bonnie Rosenthal at (301) 495-9070, or

visit SOS on the web at www.operant.com/Seminary/SOS.html.

Acorn Park

The Silver Spring Rotary Club has an effort under way to restore the spring that gave the city its name. The original site of the spring is at Acorn Park (East-West Highway between Georgia Avenue and Colesville Road—just next to Caldor's). The park was acquired by the Maryland National Capital Park and Planning Commission in 1942. It was restored and dedicated in 1955 as an ever-flowing tribute to "the men and women responsible for the greatness of Silver Spring and its bright future through civic and community service." The Rotary Club is raising funds to restore the spring as a symbol of the revitalization and bright future of the Silver Spring community. For more information, contact Rotarian Jim Mulrooney at (301) 587-3850.

Friends of the Silver Theater

Friends of the Silver Theater (FOST) co-sponsored the Silver Theater Arts Day on October 25. The theater is an original art deco structure located at Colesville Road between Georgia Avenue and Fenton Street. FOST is a volunteer organization dedicated to the restoration of the Silver *cont'd on p. 7*

A Look Back: HISTORIC PRESERVATION IN TAKOMA PARK PART 3: 1985-1989

by Jack Carson

In 1985, the carriage house of the city's first home, the Thomas Siegler house, was threatened with demolition. The property, located at Cedar and Tulip Avenues, was built in 1884. Saving the property, which became known as the Thomas Siegler Carriage House and Garden, became the focus of efforts of Historic Takoma, Inc., and neighborhood residents, who organized themselves as the "Friends of the Thomas-Siegler Historic Property." Through

careful negotiations, the property was purchased by the Trust for Public Land and resold to the City of Takoma Park in 1985.

Although the property was now in public hands, its ultimate use had not been determined. Proposed uses of the property ranged from the clearance of the historic gardens and the creation of a recreational totlot, to the careful preservation of both the historic carriage house and the garden. Then-Mayor Sam Abbott favored the tot-hot approach, which was not favored by historic preservationists or HTI.

Realizing that the fate of the property would be determined at least in part by pub-

lic opinion, in 1985 Historic Takoma prepared City Council questionnaires and published the results. Mayor Sam Abbott's opposition to the sensitive preservation of the Thomas-Siegler Carriage House and Garden was a significant issue in the campaign. Although Mayor Abbott had been enormously popular for many years, his opponent, Steve Del Giudice, who favored preservation of the property, narrowly won the election. Mr. Del Giudice was an ardent supporter of historic preservation throughout his term in office.

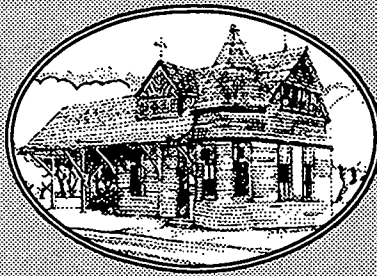
Because of Historic Takoma's leadership in historic preservation, the Takoma Park Historical Society, which was

concerned with the preservation of individual and family histories of residents of the city, merged with Historic Takoma in 1986.

In 1988, efforts began to formalize Montgomery County's recognition of the National Register District in Takoma Park and expand the County's protections of historic properties beyond the federally recognized area. An Historic Preservation Task Force, chaired by Carl Iddings, was formed to advise in the process and Historic Takoma organized a petition drive in 1989 in support of the effort.

This is the third of five articles documenting the historic preservation movement in the City.

HISTORIC TAKOMA NEWSLETTER



Historic Takoma, Inc.
PO Box 5781
Takoma, Park, MD 20913
(301)270-1700, ext. 662

Officers

Theodore W. Kowaluk, *President*
Lorraine Pearsall, *Vice President*
Kathy Brooks, *Secretary*
Jack Carson, *Treasurer*

Board of Directors

Dorothy Barnes
Rev. Trevor Delafield
Laura DiCurcio
Gemma Flamberg
Patricia Fox
Melissa Martens
Joel Solomon
Sharon Stewart
Anita Weber

Legal Counsel

Richard S. O'Connor

Historic Takoma Newsletter is a publication of Historic Takoma, Inc. It is published quarterly for members and friends of the organization.

Letters to the editor are encouraged. Volunteers are welcome. Please contact HTI if you want to become more involved in the preservation of your community.

HTI is a membership-based nonprofit organization founded in 1979 to promote historic preservation, citizen involvement, and community development in Takoma Park.

Membership is open to the public. Contributions are tax-deductible.

Federal ID No.: 52-114960

WHAT'S NEW AT THE ARCHIVES

Takoma Park's Archives: A Treasure Trove

by Anita Weber

During the Spring, Anita Weber, a professional archivist and Board member of HTI, surveyed the historical material in Historic Takoma's possession and prepared a condition report. She found a treasure trove: photographs of Takoma Park residents and structures, Takoma Park newspapers and clippings dating to the turn of the century, maps and textual material including correspondence, broadsides, and club activity books.

There are also records from a number of early Takoma organizations including the Washington City mission, the Takoma Park Citizen's Association, the Takoma Club, the Takoma Chorus, the Takoma Park, MD library, and the Horticulture Club.

Sadly, much of the material is in disarray. It is in great need of re-housing in acid-free boxes and folders, and arrangement and description so that the documents can be used by the community. Efforts are under way to locate an appropriate home for the material and secure funding to manage the records according to professional archival standards. The records currently are housed in City Hall.

HTI Applies for Grant

To help preserve this material, in September HTI submitted a grant pro-

posal to the Montgomery County Historic Preservation Commission for its Historic Preservation Grants program. The purpose of the grant is to arrange, describe, and re-house in archivally-sound storage containers the approximately 40 linear feet of historical records documenting the community's activities. If successful, the grant will allow HTI to hire an intern to work on the bulk of the material. Award announcements will be made later in the year.

Archives Week Exhibit

October 12-17 marked Archives Week in the Maryland area. For the first time, Historic Takoma joined in the celebration. Sponsored by the Mid-Atlantic Regional Archives Conference (MARAC), the event is intended to raise community awareness of its archival heritage.

Dorothy Barnes and Anita Weber developed "Takoma Park: A Place for Families" to fit MARAC's theme, "Celebrate the Places that Preserve Family Memories Forever." Using photographs and documents from the HTI collection, the exhibit displayed some of the ways families have been at home in Takoma Park.

Sharon Waldvogel, proprietor of Shampoo on Carroll Avenue, generously provided space in her store window for this exhibit, which ran from October 9-25. ♦



Historic Takoma helped to celebrate Independence Day with this exhibit in the Shampoo window.

support! Any person or organization contributing \$250 or more in membership dues enjoys lifetime membership in Historic Takoma and induction into the B. F. Gilbert Club.

Historic Takoma thanks Larry Rubin, Joel Solomon and Janet Fleischman, and Paul O'Brien for their generous donations of \$100, thus qualifying them to be HTI Benefactors. We very much appreciate their support.

We thank Mark Choe of Mark's Kitchen for his donations of liquid refreshments to Historic Takoma's events. Without his support our events would not have achieved the financial success that they did.

We thank Richard Gross of the Takoma Park Newsletter for printing announcements of HTI events and for donating newspaper space for HTI's United Way Campaign solicitation. We know that our campaign will benefit significantly from this advertisement.

We thank Isaiah Poole of the Takoma Park Gazette and Eric Bond and Nancy O'Donnell of the Takoma Voice for publicizing HTI events. We also thank Eric for permitting HTI to post notices of events and other items on the Voice Internet Listserv.

We thank Beverly Habada and Wayne Hobbs for their continued support on many fronts, including the storage of HTI's archives in the basement of City Hall, use of a City phone extension, and the inclusion of HTI's United Way solicitation on the City cable channel bulletin board.

Finally, we thank Sharon Waldvogel of Shampoo and Linda Pompa of Savory for their donations of space for HTI exhibits. We also thank Linda for her generous donations to HTI events. Their generosity has allowed HTI to both entertain and educate the community concerning its heritage. Thanks, everyone!

WELCOME NEW AND RENEWED MEMBERS!

Thomas W. & Gloria Kay Anderson
Dorothy L. Barnes
Susan Borke
Kathy Brooks
Linda Carlson & Larry Himelfarb
Mark Choe, Mark's Kitchen
Chuck and Dave's

Nancy Currier
Karl Debus & Tanner Wray
Trevor & Bernadine Delafield
James C. Douglas
Marc Elrich
Gemma Flamberg
Karen & Mark Freudenberger
Paul Glickman
Herman Goodyear & Jeff Trunzo
Amy Polk Gribbon
Thomas W. Harrison
Dean & Jo Hoge
Jordan Honeyman, Landscape
Architecture
Fern S. Ingersoll
Ann Juneau
Paul Long
Jeff & Ann Kay
David Lanar
Anna B. Larson
Robert A. Lazun
Steven L. Mackler, the Landscape
Group, Ltd.
Paul & Rita Marth
Torrie Mattes

Edward T. & Geraldine M. McMahon
Bruce Moyer & JoAnn Bowman
Nation's Bank NA, Branch Manager
Loretta Newman
Paul O'Brien
Lorraine Pearsall & Paul Chrostowski
Kate Perry
Frances Phipps: The Phipps Group
Jean Boyer Porter
Columbia Union College President's
Office
Melvin & Delores Raft
Larry Rubin
Anita L. Schull
Susan P. Schreiber
Mary & Ranjit Singh
Joel Solomon & Janet Fleischman
Kurt & Faith Stern
Sharon Stewart
Takoma Park Vision Center
J. Evans Walter
Anita Weber
Nancy & Dave Weiman
Janefta Yanez

AROUND TOWN

cont'd from p. 3

Theater and to bringing it back to life as a performing arts center. For more information on how you can help, call FOST at (310) 230-5501.

History Consortium

HTI has joined the Montgomery County History Consortium (MCHC). This is an association of local organizations archivally involved in all aspects of Montgomery County history. Its common goal is to promote the County's cultural heritage and to document the fast-moving changes that are occurring.

Illegal Addition Removed

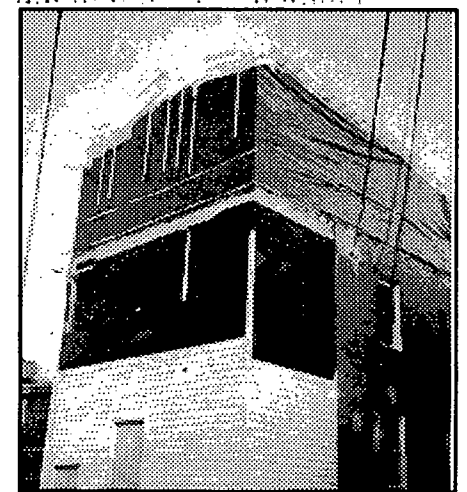
HTI complained to the county about the illegal third-story addition being added to the building at 7316-18 Carroll Avenue. A recent trip by the site shows that the addition is being torn down.

FIRE STATION

cont'd from p. 1

stonework derivative of the original design. The designs are merely concepts at this stage, and there is no guarantee that the County will follow the city resolution and adopt Scheme B. However, the emphasis

We believe that our action was in part responsible for this good result to what could have been an awful eyesore on a prominent property. ♦



This illegal third story addition is being torn down.

that has been placed on an historic design by HTI and the City will help keep this issue in the forefront as the County decides upon budgets and contractors. ♦

From Historic Takoma's Archives

Unification was the theme in the Takoma Park election of 1950. Forty-seven years later, the dream of these candidates came true as Montgomery County assumed control of the parts of the City that were in Prince Georges County.

HOME RULE SAMPLE BALLOT

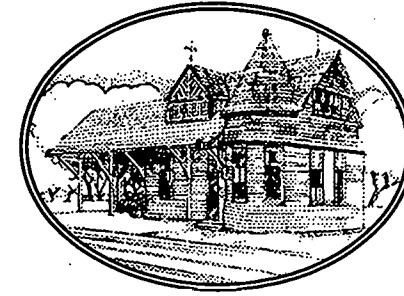
CITY OF TAKOMA PARK ELECTION FIREHOUSE, MARCH 28, 1950

OFFICES	MAYOR	Councilmen 6th and 7th Precincts	Councilmen 8th and 9th Precincts	Councilmen 10th and 11th Precincts	Councilmen 12th Precinct
	ROBERT BEVILLE	WILLIAM P. FISCHER	CHARLES H. KLINCK	NILES	DAVID ECCLESTON
	JOHN H. SIDELL	WILLIAM McCLENNON	JAMES PARKWILL		LAWRENCE GOSTERBOUS
		H. PERRING	C. WOODS		

ELECT HOME RULE CANDIDATES BY PULLING DOWN LEVERS INDICATED IN RED

"IT IS GOOD BUSINESS TO ELECT GOOD MEN TO RUN YOUR CITY GOVERNMENT ON A BUSINESS BASIS."

Published by Authority of
JOHN C. POST
E. SHOOKLE PETTY
HEBER H. VOTAW



Historic Takoma

2 positions for a large project 20 people
Fall/Winter 1997

NEW S L E T T E R

N · E · W · S · L · E · T · T · E · R

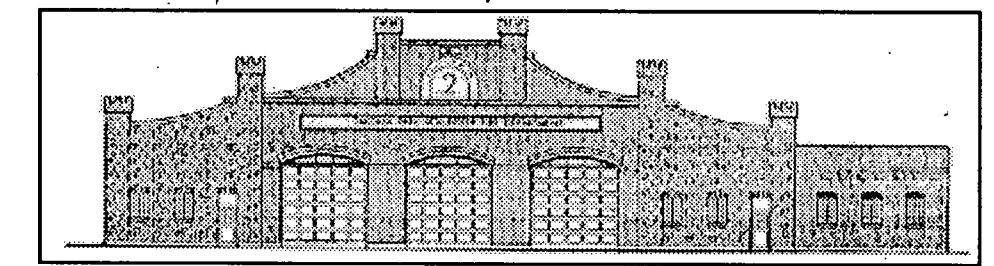
Capital Improvements · Cost Estimate · HP rationale · City of Takoma Park · Darryl Cori Thunick · Ben Halouala · Carroll

- ### IN THIS ISSUE:
1. Historic Silver Spring Train Station in Peril
 2. President's Message
 3. What's New at the Archives
 4. Around Town
 5. A Look Back: Preservation in Takoma Park: 1985-1989
 6. Museum Report
 7. Resource File: Reproducing Historic Millwork
 8. HTI News
 9. Special Recognition
 10. New and Renewed Members

HTI Supports Historic Design for Fire Station

Montgomery County plans a modernization of the Takoma Park fire station to ensure that the building meets County Fire and Rescue Commission standards, accommodates existing equipment, and meets the needs of fire station volunteers. HTI supports a fire station renovation that will be reminiscent of the 1928 facade of the original building. This original facade, lost in the reconstruction of the 1950s, made the building a unique landmark with its crenelated turrets and three arched, windowed bays. HTI also wants the existing stonework, which came from Sligo Creek, to be reincorporated into the design. Other features, such as the existing fireplace mantle, would be reinstalled in a day room that is accessible to the public.

In a recent resolution, the City stated its preference for an historic design by endorsing "Scheme B" of a feasibility study performed by Quinn Evans Architects. Quinn Evans evaluated two designs as part of its determination that a renovation/expansion of the fire house at the current site could meet County Class II standards. Scheme A is a plain, two-story box structure, while Scheme B is a one-story structure containing turrets, bays, and



"Scheme B," shown above, is reminiscent of the original 1928 fire house design.

President's Message: Historic Takoma Needs to Hear from You!

In the past two years, Historic Takoma, Inc., has greatly stepped up its activities and expanded its membership base. Volunteers have been working hard to preserve Takoma Park's archives, to develop programs for the Thomas- Siegler Carriage House, and to make Historic Takoma's presence felt on important issues concerning historic preservation in Takoma Park, Takoma, DC, and surrounding neighborhoods.

provide to the community? Would you like to see a program of lectures? School outreach? Walking tours? Photo exhibits? Let us know! Please fill out the enclosed survey and return it to Historic Takoma, Inc., P.O. Box 5781, Takoma Park, MD 20913.

We are beginning to plan for the upcoming year, and want to make sure that we reflect the interests of our membership. What activities would you like to see the organization undertake? What preservation issues do you consider the most pressing in our community? What services do you think the organization should

As part of the organization's revival, we also are trying to make the newsletter better and more relevant to our members. This issue contains several new features that we hope you will enjoy. We include a roundup of preservation issues and problems (see Around Town on p. 3), a column on resources for old house owners (see Resource File on p. 5), and a column on Takoma Park history (see A Look Back on p. 3). Let us have your feedback on the newsletter and on any topics you'd like to see included in future issues.

Published by Historic Takoma, Inc., PO Box 5781, Takoma Park, MD 20913

20910-3760 82

Silver Spring, Maryland 20910-3760
878 Georgia Avenue
c/o Historic Pres. Comm.
Gwen Wright



Historic Takoma, Inc.
PO Box 5781
Takoma Park, MD 20913

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25

----- X	:	
HISTORIC AREA WORK PERMITS -	:	HPC Case No. 37/3-99FF
29 PHILADELPHIA AVENUE	:	
----- X	:	
HISTORIC AREA WORK PERMITS -	:	HPC Case No. 37/3-99GG
7216 SPRUCE AVENUE	:	
----- X	:	
HISTORIC AREA WORK PERMITS -	:	HPC Case No. 35/13-99BB
6100 CONNECTICUT AVENUE	:	
CHEVY CHASE CLUB, INC.	:	
----- X	:	
HISTORIC AREA WORK PERMITS -	:	HPC Case No. 35/13-99AA
14 NEWLANDS	:	
----- X	:	
PRELIMINARY CONSULTATIONS -	:	Case #37/3
7201 CARROLL AVENUE	:	
----- X	:	
PRELIMINARY CONSULTATIONS -	:	
ONE NEWLANDS STREET	:	
----- X	:	

A meeting in the above-entitled matter was held on
December 1, 1999, commencing at 7:35 p.m., in the MRO
Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
20910, before:

ORIGINAL

Deposition Services, Inc.

CHAIRMAN

George Kousoulas

BOARD MEMBERS

Steven L. Spurlock

Lynne B. Watkins

Steven Breslin

Susan Velasquez

Marilyn DeReggi

Douglas A. Harbit

ALSO PRESENT:

Perry Kephart

Robin Ziek

APPEARANCES

STATEMENT OF:

PAGE

Mark Brodsky	13
Henri Tirtanadi	14
Robert L. Jones	16
Carol Stewart	33
Kent Abraham	34
Daryl Braithwaite	38
Bruce Williams	44
Lorraine Pearsall	45
Marcie Stickle	47
John Urciolo	48
Perry Johnson	50
Steve Lamphrier	65
Marcus Montgomery	73
Ned Sims	81
Megan Ruff	84
Curt Schreffler	88

1 green, yellow, and red -- is this to indicate whether we got
2 approval?

3 MR. KOUSOULAS: No --

4 MR. JONES: A little bit of Historic Preservation
5 Commission humor; sorry.

6 MR. KOUSOULAS: -- we'll keep it a secret until
7 next time.

8 MR. JONES: All right.

9 MR. BRODSKY: It's to tell you when to leave.

10 MR. KOUSOULAS: Okay, thank you.

11 MR. BRODSKY: Thank you.

12 MR. JONES: Thank you all very much.

13 MR. KOUSOULAS: Okay, this is a preliminary
14 consultation, A. Can we have a staff report?

15 MS. ZIEK: I'd just like to distribute some -- a
16 handout and there's some speaker forms.

17 The next project is a preliminary consultation in
18 the Takoma Park Historic District. The County is proposing
19 to modernize the existing fire station. This is a project
20 that has been ongoing for several years now in a study phase
21 and the Commission is being brought into the process now at
22 the point where the County is starting to get more serious
23 about it.

24 The feasibility study, which was prepared in '97,
25 was distributed to the Commission and I think that the whole

RECORDED - 1990-03-19-099

1 point of the feasibility study was to evaluate whether or not
2 a modern station could be -- or, a modern fire station could
3 function at this particular location.

4 I have slides to show you. The site of the fire
5 station is right in the middle of the historic district.
6 Takoma Park is a very dense -- it's one of our very dense
7 historic districts. The streets are, you know, more narrow
8 than not, as an older suburb, and I think that the County had
9 to be convinced to some degree that a fire station -- a
10 modernized fire station would work here, and that's why that
11 feasibility study was undertaken. The City was a partner in
12 that.

13 They did have a number of people identified as
14 "stakeholders." They did -- the Commission was not
15 identified as one of the stakeholders, but the Commission and
16 the Historic Area Work Permit process was noted many times --
17 or, several times in the feasibility study. So, this is a
18 continuation of that process. As a preliminary, they are
19 coming to you now for more specific direction and guidance
20 about a specific building; how to go forward with a design
21 for a specific building in this location.

22 And perhaps the Commission --, you know, there are
23 several ways to go. The Commission may, in this procedure,
24 want to discuss certainly the whole feasibility study. There
25 were several alternatives that were evaluated, and then there

1 were two schemes out of those number of scenarios that were
2 actually looked at in further depth -- in greater depth to,
3 again, test the potential for having a modernized fire
4 station.

5 And I basically described those two concepts -- I
6 focused more on that in my staff report. The Commission may
7 decide that any of the other concepts are also of interest to
8 you, and that's part of what you might decide tonight. You
9 may also want to discuss the specifics about those two
10 concepts which I present a little bit more on three -- Circle
11 3 of the staff report. And what I tried to describe in the
12 staff report were what I felt were the biggest issues, and,
13 of course, the community is here tonight to represent also
14 their concerns to you. The County, of course, is here to
15 represent where they are in the process and what they hope to
16 accomplish.

17 The specifics about the proposal include the
18 potential for demolition. One, demolition of the existing
19 fire station, although that's not a given. Again, that was a
20 potential in the different scenarios. So I want to show you
21 slides showing you what's there. I hope that there's an
22 opportunity for some or all of you to go out to the site and
23 get a good sense of the ground.

24 But in addition to either alterations -- well,
25 certainly alterations to the existing fire station and/or

1 demolition at the existing fire station, there's also the
2 potential for demolition of other resources in the district;
3 namely, two residential structures that are immediately to
4 the west or towards the downtown -- towards the Metro along
5 Carroll Avenue there are two small bungalows and I can show
6 you slides of those. And also there are commercial
7 structures immediately adjacent to the fire station on the
8 other side and I can show you some slides of that.

9 Topographically, one thing to note is that Carroll
10 ~~Avenue is a high point through the district and the property~~
11 falls back rather quickly from Carroll Avenue along that
12 whole arc within the Takoma Junction area. So there is quite
13 a change in grade, which of course allows for lower basement
14 structures that are still above ground. There's a lot of
15 potential for development there.

16 So, perhaps if I show the slides first and let
17 everybody else speak. This is the Takoma Park Volunteer Fire
18 Department, established 1894. The new building -- revised
19 building done in the 50's is a revision of a 1928 stone
20 structure. The center bay of the original 1928 structure was
21 removed in the 50's for the modernization at that time. The
22 bays were at that point -- as the fire trucks keep getting
23 bigger, they door openings are consistently too small and
24 that's been an issue -- that was an issue in the 50's and
25 that's an issue now.

1 But the stone -- all the stone that you see is
2 original. The windows at the ground -- the first -- let's
3 call this the first -- the ground -- let's see, the first
4 floor level -- where the fire trucks enter; those windows
5 have all been replaced. Windows at the basement level you'll
6 see are still the original metal windows.

7 This is a view looking down the fire -- the west
8 side of the fire station looking down the parking lot and the
9 parking -- down to the parking lot and the residential area
10 is to the right.

11 This is a view down at the back of the building.
12 And this is -- it's rather wide at the back so this is sort
13 of shot in two sections and then the block building to the
14 right is actually the back of the commercial structure that's
15 immediately adjacent to the fire station. And this is just a
16 view from their backyard. You can see, again, how the
17 topography drops and, again, the property drops significantly
18 off to the right of this slide. There's a whole residential
19 neighborhood right below this. We're adjacent to backyards
20 that face another residential street.

21 This is just a view back on Carroll Avenue looking
22 at the fire station to the right, showing the adjacency of
23 the commercial structure to the left. It's an automobile
24 repair shop -- automotive shop. It's sort of a distance view
25 standing across the street. And just -- it's a non-

1 contributing structure in the historic district. It sits
2 back from Carroll enough for certainly parking. You can see
3 the fire station behind the truck.

4 And then on the -- again, on the left side of this
5 non-contributing structure, there is another automotive
6 business which, again, is set even further back on its lot.
7 And this is a little bit better view. The whole front is
8 used for the cars.

9 And then continuing eastward or toward New
10 ~~Hampshire Avenue on Carroll Avenue, this is an open lot~~
11 that's currently owned by the City and which they hope or
12 intend and have been looking at various alternatives for
13 commercial development at this lot -- at this location. And
14 then the brick building beyond is now the location of the
15 Takoma Park Food Co-Op -- Takoma Park/Silver Spring Food Co-
16 Op.

17 This is just another view showing the -- sort of
18 the streetscape of the Junction. At this point I'm stepping
19 in the -- looking in the other direction now, looking west
20 along Carroll Avenue. I'm in the heart of the Junction at
21 the property that is the Co-Op looking back towards the gas
22 station and towards the intersection of East-West Highway and
23 Carroll Avenue.

24 Sort of jumping a little bit around but now we're
25 looking east at this point with the fire station to my back

1 here, looking at -- just to give you a sense of the
2 commercial development at the Junction and the adjacency of
3 residential structures.

4 The commercial area is right in the middle of a
5 residential area. As you know, most of the historic district
6 is residential. There are two little nodes that are
7 commercial.

8 This is the East-West Highway and the fire station
9 is immediately to the left off screen out of view here. And
10 this is the house that's immediately across from the parking
11 lot. It's a non-contributing structure, but most of the
12 other structures are contributing structures. More
13 residential.

14 Now these are the residences that are immediately
15 adjacent to the parking lot -- existing parking lot, which
16 are being proposed for acquisition and demolition. In one
17 scenario only this pink house -- it's a small one-story
18 bungalow. It's in rather good condition. The original
19 columns have been replaced. Side view, it's very close to
20 the parking area. This is the back with a -- you know,
21 little back porch -- two-story porch.

22 This is the second structure. In one scenario only
23 the pink house is purchased. In another scenario both lots
24 would be purchased and these buildings would be demolished.
25 And essentially the proposal would be that the building for

1 the -- the fire station would be expanded over towards some
2 part of the pink -- the lot that the pink house is on and
3 parking would -- you know, essentially that parking -- that
4 open parking lot area would be moved over onto this lot.

5 And this is the other bungalow. It's in rather
6 dismal condition. They're both contributing resources in the
7 historic district. This is the back.

8 And then this is the next structure in this line of
9 residences that just march down Carroll Avenue. There's no
10 proposal to have an impact on this structure per se. This is
11 -- but this would be the first residence then in the district
12 depending upon the scenario that will go forward.

13 Just some details of the fire station. It's --
14 with the brick surrounds and the stone building, the original
15 windows; metal with a steel plate. I tried to show there's
16 some deflection in most of the steel plates over the -- over
17 these openings. This is the side door.

18 Just another view of the side elevation. And just
19 a detail to show that I think if you look back here, I think
20 that most of this is what the original 1928 structure was.
21 And following this line of this parapet with the way the
22 stones come out, only at the very front portion here you can
23 see that part of the stone was removed, and that was probably
24 all part of when the original parapet and bell -- sort of a
25 tower -- was removed. But, other than that, it seems like

1 the stone portions are the 1928 original structure.

2 I wanted to note that the -- you know there are all
3 these decisions -- these different levels of decisions to be
4 made and just to note that the Takoma Park guidelines do
5 provide guidance for new construction in commercial areas and
6 the idea is that the new construction -- basically what would
7 be said in the Secretary of the Interior Standards, new
8 construction being compatible in terms of scale, massing, and
9 material. And that there is flexibility for, you know, new
10 design -- good design.

11 And as I said, I would be happy to answer any
12 questions. This is a preliminary consultation. They do have
13 a lot of hard questions to ask you and there are a lot of
14 people here who want to speak.

15 MR. KOUSOULAS: Thank you for that report. Any
16 questions of staff? Okay, we have plenty of speakers in the
17 audience. I'd like to call you up two or three at a time.
18 Kent Abraham, Daryl Braithwaite, and Carol Stewart.

19 MS. STEWART: Good evening. My name is Carol
20 Stewart. I'm a member of the Takoma Park City Council and I
21 also sit on the board of the Takoma Park Volunteer Fire
22 Department.

23 I think you have in your hands a resolution that
24 the City passed in 1997 -- September 1997 after the
25 feasibility study, which Kent and Daryl will be able to talk

1 to you about. Many people participated in this and as you
2 know Takoma Park includes its citizens to a very strong
3 degree in their discussions about what is going to happen --
4 what is to happen in Takoma Park.

5 And after all of the discussion and the feasibility
6 study, the resolution states the Council's approval of Scheme
7 B of the study. So, with that, there are a few things in the
8 report that I'm not sure I agree with.

9 I really think that given the study and all, we're
10 very excited about having the fire station and the location
11 where it is now -- it is a landmark in our city and it's been
12 there for so long and we really are excited about having a
13 new fire station with modern facilities that's adequate in
14 the same place. So at this point I'll turn it over to Kent
15 or Daryl; whoever wants to go first.

16 MR. ABRAHAM: My name is Kent Abraham. I'm an
17 architect in Takoma Park -- professor of architecture at
18 Catholic University. I'm on the board of directors of the
19 Takoma Community Development Corporation and I was contracted
20 by the City to essentially act as client for this study, so
21 I'm not here as an architect; I'm here as a client, I guess.

22 But there's a certain amount of background that I
23 think is important in this study and one item is that as
24 Robin pointed out, Takoma Park is a pretty fully developed
25 community. There's not a whole lot of open land in our town;

1 in fact, I think there's none. When the fire station -- when
2 the fire folks began exploring the possibility of expanding
3 the station because the current station is woefully
4 inadequate and is one of the most heavily used facilities in
5 the County, the first attempt was to find a place to put a
6 new station and there is no place in Takoma Park to put such
7 a station without some significant dismantling of existing
8 structures.

9 So the City Council funded this study. This is a
10 City study; not County study. And the intention of the study
11 was to find a way to keep the fire station where it has been
12 since the 1920's rather than to lose the fire station to a
13 neighboring property in Silver Spring which would have been
14 very unfortunate, considering how busy the current station
15 is.

16 Now the study, as Robin pointed out, included a
17 whole lot of various kinds of stakeholders and it was -- and
18 as Carol mentioned, we tried to get everybody represented in
19 one way or another. And it was a very thoroughly pursued
20 document, I think.

21 What you see, of course, is a feasibility study;
22 not an architectural design. But we looked at as many ways
23 as we could find to redevelop the fire station in essentially
24 the same location as it currently is. And the results were
25 run through as many community development organi -- community

1 organizations as we could find, including Historic Takoma,
2 Inc. and various others. And we think we've concluded with
3 the best possibility for retaining the fire station in Takoma
4 Park with this study.

5 The fire station, as it currently exists, is a very
6 inadequate structure and is in structurally dangerous
7 condition. In fact, during the course of our study, we found
8 a very dangerous condition and immediately had to add some
9 steel in the basement where water from washing the fire
10 trucks was causing the steel to, essentially, melt away right
11 under the fire station bay.

12 The current three bays in the station are about the
13 same width as two bays would be under the current County
14 requirements. So redesigning this facility was going to
15 require a considerable widening of the facility just in order
16 to deal with the truck bays.

17 In addition, we were trying in this study to
18 maintain -- because it was a feasibility study, we were
19 trying to maintain the current Montgomery County standards
20 for new fire stations as best we could, and that also
21 required considerable expansion of the square footage of the
22 facility.

23 So we were forced into looking at a facility that
24 would expand either to the left or the right, and I think
25 that Robin's report addresses that concern about the

1 possibility of looking toward the neighboring automotive
2 facility, which is actually the Healey Surgeons, or looking
3 in the other direction toward the two rather dilapidated
4 houses.

5 And I do want to add to Robin's report that among
6 other considerations, of course, for a facility like this is
7 money. The current facil -- the commercial facility to the
8 left of the Takoma Fire Station is a very healthy, thriving
9 ongoing commercial facility and the owner of that property
10 wanted a great deal of money to purchase him out. The
11 residences, obviously, are much less expensive. In addition,
12 there is some serious structural damage to the automotive
13 facility that would have to be dealt with and we are also
14 concerned about environmental problems from a facility that
15 has essentially been used for automotive purposes for all
16 these years.

17 So that has sort of generated the design as you
18 currently see it. Appearance issues, I think, are intended
19 at this point to be feasibility and not design, but we were
20 looking for a mechanism -- a design mechanism that might in
21 some way recall the historic nature of the fire station that
22 was brutalized in the 1950's for the current appearance. And
23 so the scheme that I think most people favor recalls in some
24 way the original appearance of the fire station with some
25 crenellations and towers. The intention was not to make it

1 historically replicative or pictorial or Disneyland-ish, but
2 rather to sort of recall our heritage from the past.

3 MS. BRAITHWAITE: My name is Daryl Braithwaite.
4 I'm with City staff that helped facilitate the coordination
5 of that City-funded study. There's really nothing I can add
6 that Kent hasn't already said, and I think he's said it quite
7 well, particularly putting in context the fact that the
8 City's exploration into this followed an effort by the Fire
9 and Rescue Commission to look at fire station services in
10 Silver Spring and Takoma Park. They had coordinated a joint
11 effort between our two jurisdictions for the sole purpose of
12 evaluating sites.

13 When it became apparent in that process that a fire
14 station in Takoma Park was really located currently where it
15 was going to have to stay; there wasn't acceptable sites in
16 other parts of the City for a variety of reasons including
17 the service call area location. It's really an ideal
18 location in terms of getting to the part of the County that
19 originally was Prince George's and is now Montgomery. So the
20 location is really a key factor in this study.

21 And I think the other point that Kent made was that
22 we did have various people around the table, both from County
23 as well as the volunteers in the community as well as
24 historic people -- with historic preservation concerns were
25 participants in that feasibility study which also entailed

1 public hearings, vast public comment, distribution of the
2 feasibility study before it was finalized and a lot of input
3 on behalf of residents and concerned parties around the City.

4 And, again, I think Kent's point is well made about
5 the real world scenario of taking a look at either side of
6 that building and determining which is most feasibility to
7 expand a facility that desperately needs to be renovated,
8 replaced and made much larger; not only for the vehicle
9 needs, but also for the staffing needs that the current fire
10 station is in needs or, and there's fireman here today who
11 can speak to that issue.

12 MR. KOUSOULAS: Thank you. Any questions of these
13 speakers?

14 MR. ABRAHAM: There is one other comment that I
15 neglected to make that was on my list of things to speak to,
16 and that is, Robin mentioned that the property falls away
17 extensively in the back and there is the possibility of some
18 under -- underbay space. In fact, the basketball court where
19 Steve Francis learned how to play basketball is under the
20 current facility. Of course, Montgomery County standards --
21 and I think national standards in fire stations strongly
22 discourage the use of the occupancy of space under a truck
23 bay. And if you see how large these trucks are getting to be
24 and how heavy they are, I think it's a pretty reasonable
25 standard, so we did not look to the scheme that used the

1 lower floor for any kind of serious occupation. I think it's
2 really seriously dangerous to do that. One of the schemes
3 looks at two-story scheme where the residences and some
4 offices would be on the upper level, but none of the schemes
5 at anything in the basement.

6 MR. HARBIT: I have one question. I heard you --
7 ~~I'm from Takoma Park and I'm very much in favor of a~~
8 functioning fire station in my community, but I heard you say
9 that the reason that you were thinking about developing the
10 ~~fire station more on the residential side than on the~~
11 commercial side was that you thought the commercial would be
12 more expensive to acquire. But at the same time it would
13 have more environmental hazards, which actually would
14 diminish its value, rather than enhance its value in terms of
15 its cost of acquisition. So I'm really wondering if there --
16 we're faced with a realistic trade-off here. I mean, the
17 commercial property, if it's going to be purchased and it has
18 environmental problems, those environmental -- the mitigation
19 of those problems would actually reduce its cost in terms of
20 acquisition.

21 So, I'm wondering if you've done a good analysis of
22 the acquisition cost of one side versus the other, or if you
23 just kind of assumed that the residential acquisition would
24 be cheaper?

25 MR. ABRAHAM: There was a considerable examination

1 of that in the early parts of the study. We haven't made
2 direct approaches to any of the property holders so obviously
3 we can't speak specifically to that, but we have had personal
4 conversations with the owner of the commercial property who
5 has indicated he has no particular interest in selling and he
6 would have to be bought out and he's indicated a price to us
7 which would be kind of stunning. My understanding is that at
8 least one of those two residential properties is already
9 owned by a family of one of the fire station people, so the
10 indication is that that would be somewhat easier to acquire.

11 And the study was done on that basis, although we
12 did lay out some schemes that looked at expanding into the
13 commercial property, and there are a number of reasons why
14 that's less advantageous; among them that puts the fire
15 station bay in a very poor -- it puts the drive-out in a very
16 poor location relative to the street patterns. And the fire
17 station people were not particular interested in moving the
18 fire station to the left, because where it currently stands,
19 as the doors open, the trucks are facing directly down
20 Philadelphia Avenue with an easy turn in either direction on
21 Carroll Avenue. If you move the station over to the left,
22 all the turning radius and the back-ins and so on gets much
23 more difficult. So the desire was to keep the station
24 roughly where it is, and that sort of drove everything else.

25 MR. HARBIT: I understand the location of -- the

1 need to have the bays right up Philadelphia, but isn't there
2 a significant addition on one side versus the other for
3 additional facilities in the design for -- I can't remember
4 exactly what it was, but as I recall it's not a totally
5 symmetrical building. It's a central bay, the brick facade
6 and then an extension and you're basically taking that
7 extension onto the residential side instead of to the
8 commercial side.

9 MR. ABRAHAM: I think the scheme that you're
10 looking at already has the extension on the commercial side -
11 - or, at least it has some on each side. I'm sorry, I don't
12 have the scheme in front of me and I -- it's been some time
13 since we went through 30 or 40 different alternatives, but --
14 and we have looked at both those possibilities, but this
15 seemed more feasible in the study to expand the way it's
16 shown.

17 MR. SPURLOCK: One quick question. The -- you made
18 the comment that these are feasibility studies, not design
19 proposals. Is that correct?

20 MR. ABRAHAM: Right.

21 MR. SPURLOCK: And the staff has made some comments
22 concerning the replicative design and perhaps it should be
23 more of our time. Is that something that will be considered
24 in the final design plan, or do you plan to pretty much draw
25 what you've shown us here in this feasibility study?

1 MR. ABRAHAM: No, I think that this is definitely a
2 feasibility study, and not an architectural design. But this
3 is really intended to prove the feasible status of the fire
4 station here and although the design was prepared in
5 consultation with Montgomery County Department of Fire and
6 Rescue, it was not done -- we did not go through their entire
7 review process for this thing, so if -- when this fire
8 station goes ahead, there will be undoubtedly considerable
9 more design work involved, and I would expect there'd be some
10 modifications. You know, at this point we don't know what
11 that is.

12 MS. BRAITHWAITE: The City undertook the
13 feasibility study for some obvious political as well as fact-
14 finding reasons. The process from here on is in the hands of
15 the County and the Fire/Rescue Commission to move forward
16 with the development of the building.

17 MR. ABRAHAM: So except for our review -- our
18 abilities to review the process and help -- guide it, it's
19 kind of out of hands.

20 MS. STEWART: I would just like to add, the City
21 has, as you know, very few businesses so it would be not to
22 the City's best advantage to lose two very successful
23 businesses by building to the left -- is it the left when
24 you're looking at it? So, that's another consideration that
25 we've thought about.

1 MR. KOUSOULAS: Okay, thank you very much. Bruce
2 Williams, Lorraine Pearsall, Jack Carson, and Trevor
3 Delafield.

4 MR. WILLIAMS: I'm Bruce Williams. I'm also on the
5 Takoma Park City Council. I just want to reiterate that in
6 the whole process of looking at this and thinking about going
7 left or going right, commercial, residential, you know we
8 hate to lose anything. And I think in the end we kind of
9 felt that it was going to be tough to lose that commercial
10 ~~one particularly when we didn't know what we were going to be~~
11 doing beyond that with our lot. We still haven't figured out
12 what we're going to do with that. And it's a tough fight to
13 go either way, to lose something. And we ended up coming
14 down on the side of the commercial, to keep that.

15 One thing that occurred to me as there was a
16 question from Mr. Harbit, and I'm not sure on this, but my
17 recollection is in talking about mitigation of environmental
18 problems -- like I say, I could be wrong. My recollection is
19 that private entities have to deal with that, governmental
20 entities do not have to deal with that. So, it could be that
21 if the -- if it ended up that the fire station moved in that
22 direction, as far as the cost that would reduce the value of
23 acquiring that, it might be that the County -- Fire and
24 Rescue and the County would not have to pay to clean that up.
25 So it might not reduce that cost.

1 MR. HARBIT: Might not.

2 MR. WILLIAMS: That's my -- I'm not sure about
3 that, but I remember that there was that distinction between
4 public and private in terms of environmental clean-up. So,
5 it's -- that's just a question.

6 MS. PEARSALL: My name is Lorraine Pearsall. I'm
7 president of Historic Takoma and I have with me two of our
8 board members; Jack Carson and Trevor Delafield, also of
9 Historic Takoma.

10 I'd like to say that when this whole project came
11 up, certainly it's something that we looked at with a lot of
12 seriousness and when I look at the pictures of our fire
13 station, I'm very, very sad because we really lost in the
14 1950's a tremendously wonderful and unusual resource. And
15 because of that, as we thought about the whole issue of
16 remodeling and basically rebuilding this structure, we
17 realized that it was very important to keep the fire station
18 because its importance to the historic district is really at
19 this point what its value is.

20 And so we do strongly support keeping the fire
21 station where it is. We think that's absolutely critical.
22 We'd like to see as much of the stone -- the original stone
23 kept in the design as possible. We'd like to see the mantel
24 inside the building also saved. The design of the building
25 is also very, very importance to us and this is really --

1 what you see in the feasibility study is a concept plan. It
2 is not really a design and I want you to realize that. That
3 really these designs that you've seen have not necessarily
4 any grounding in reality and so, we are very interested in
5 knowing what the County is thinking of doing with the design
6 of this building and we feel very strongly that it needs to
7 be historically appropriate; it needs to be very attractive
8 because we've lost an important resource and this is an
9 important gateway to our commercial district. And so we'd
10 ~~really like to see sufficient funding be sent --- perhaps more~~
11 ~~than the norm -- to make this -- to give us back the resource~~
12 ~~that we lost. So I want to stress that.~~

13 We'd like to be part of the process and we
14 haven't -- well, we've certainly -- I guess this is the
15 beginning of the process and we'd like to work more directly
16 with the County in coming up with this design and we'd like
17 to see more than one design brought forward.

18 We haven't taken a position on going yet to the
19 east or the west and that is a very difficult decision that
20 needs to be made with a lot of wisdom and balance. You know,
21 the -- it's not a comfortable thing to take down contributing
22 historic resources in Takoma Park. We've had more than our
23 share of historic resources taken away from us and so people
24 get very emotional about it, and I hear about that, and I
25 understand where people are coming from. On the other hand,

1 Historic Takoma is also part of the City's economic
2 development -- economic strategies committee and we feel very
3 strongly that we need a good main street; that our main
4 street needs revitalization. And so we're in favor of
5 businesses in the Junction, and the Junction is in a lot of
6 trouble. It needs help. So, it's a very delicate balance
7 that we need to strike here and we're not prepared to take a
8 position to the east or the west at this time, but we want
9 more information and we want to know how much space really is
10 needed to put in this parking, and do we really need to take
11 down both of those structures, can we maybe save the
12 contributing resources if we put a parking garage
13 underground; is it possible to do that; are there some clever
14 ways we could come up with that might save those contributing
15 resources and also not take away an economic resource. I'd
16 like to see more discussion about that, or more thought put
17 into that before we make a final decision and more questions
18 asked on this point.

19 I guess that's it. Do you guys have anything to
20 add?

21 MR. KOUSOULAS: Thank you. Okay, finally Marcie
22 Stickle and John Urciolo.

23 MS. STICKLE: I'm Marcie Stickle and I'm
24 essentially in accordance with what Historic Takoma's just
25 stated. I think it's a really good opportunity to replicate

1 historically what we can go back to the way the fire station
2 was and use the elements that are there replicated on a
3 larger scale; restore the arches and use the stones and use
4 all the elements that are there. That's an opportunity that
5 we should take advantage of.

6 And in order -- I would say that to consider using
7 the parking lot that exists between the Takoma Park/Silver
8 Spring Food Co-Op as a resource for parking, and I like the
9 idea of parking underground because the land does slope
10 ~~beneath the fire station and it would be perfect to have~~
11 parking beneath there and then use the existing parking lot
12 and avoid using any contributing resources, whether
13 residential or economic. I think that's really important
14 here. Let's keep what we have and essentially I'm in
15 agreement with Historic Takoma's position.

16 MR. URCILOLO: My name is John Urciolo. I'm a
17 commercial property owner in Takoma Park and also the
18 chairman of the Citizen's Economic Development Committee for
19 the City of Takoma Park. As a property owner in terms of the
20 commercial -- taking -- going one way or the other -- as a
21 personal property owner, we really don't need to lose any
22 more commercial properties in Takoma. We need every one we
23 have to try to keep the economic viability of the City. So I
24 would probably be in favor personally of going in the
25 residential direction, rather than the commercial direction.

1 However, from the Citizen's Advisory Committee, we
2 are also very concerned about the commercial properties in
3 the City and if you will recall in the Master Plan when we
4 were up here a few weeks ago or a month ago, one of the
5 proposals was to combine or join Old Town and the Takoma
6 Junction and that is the existing part of Carroll Avenue.
7 And I think the Committee has -- one of the things we have is
8 that the sidewalk is narrow and we want to widen that
9 sidewalk and make it so that people can walk and there is a
10 main street really effect between the two commercial property
11 districts. So that with the fire station coming into the
12 residential area, it actually does kind of open that -- if
13 you drive down Carroll -- if you do all take this ride and
14 come down -- if you're coming down Carroll from Old Town, you
15 will see where if that's opened up, it will give that whole
16 area a whole different feel and we're very concerned about
17 the Junction. We have a City lot that needs to be developed.
18 We can't seem to get that going right now. We have a lot of
19 issues and this would -- actually if you just envision it
20 when you drive down, it would make a difference.

21 If you go to the other way, you're actually pushing
22 it further down and you're tightening it up a little bit more
23 and I don't think it's going to come out as nice as if you
24 come the other way. I mean, it's something to consider when
25 you're looking at the property.

1 Anyway, and that's about -- that's it.

2 MR. KOUSOULAS: Thank you. Would anyone else like
3 to speak on this matter? Okay, who on the Commission would
4 like to --

5 MS. ZIEK: Well, there's the applicant.

6 MR. KOUSOULAS: Oh, typically the applicants fill
7 out a form. I'm sorry. If the applicant would like to --

8 MS. ZIEK: Did you -- you filled out a form?

9 MR. JOHNSON: No, I didn't do that.

10 ~~MS. ZIEK: Okay. Well, come up and speak and we'll~~
11 do the form later. Introduce yourself.

12 MR. JOHNSON: I'm Perry Johnson, the project
13 manager for Montgomery County and I think you're -- my name
14 is on the list or whatever you want to call it.

15 I just want to add that -- haven't been set. I was
16 not part of the original feasibility study, but if the two
17 things that come to mind when you look at the schemes -- by
18 the way I'm also an architect, so -- look at this. The
19 scheme -- the two schemes that were developed, A and B; B, if
20 the -- the main thing in a fire station if you -- is the
21 operation. With Scheme B you will keep all the relevant
22 operations on the same floor which as far as the daily
23 operation or in emergency, that is preferable as far as the
24 scheme on one floor. So that point needs to be sort of
25 considered as you talk about going east or west, which would

1 move you to acquire the two residential properties.

2 The second thing that was talked about here, if --
3 there was talk about parking lower level. If you do that,
4 the -- first of all, the cost of this -- the development of
5 this fire station is going to go up because that is not
6 included in the preliminary cost estimate for this station so
7 it -- and also, if you do that, considering the contours, I
8 think that's going to really impede the movement as far as --
9 if you look at the station today, it's very, very narrow on
10 the right side. So that -- as far as, again, the feasibility
11 of this station would be impeded if you do that.

12 So the scheme that comes to mind that as far as the
13 operation of the station is B that would be the most
14 appropriate to my mind. But that -- I just want to add those
15 words and since this is a feasibility, I realize you have to
16 keep an eye on that there was a lot of effort going into this
17 study to develop the scheme that we're talking about. I
18 don't think it's appropriate to say that this is not set in
19 stone, because the feasibility will be the guide for the
20 design of the station, so you have to keep that in mind.

21 Okay? I just wanted to --

22 MR. KOUSOULAS: Thank you. Any questions?

23 MS. VELASQUEZ: I do. What I'm hearing, and I
24 think you're the -- since you're the applicant, what I'm
25 hearing is if nothing happens to this station, it just will

1 go into disuse and there will be no fire station in Takoma
2 Park, is that correct? I was there. It's pretty
3 dilapidated.

4 MR. JOHNSON: Let me --

5 MS. VELASQUEZ: It's one of these schemes or
6 nothing, is basically it?

7 MR. JOHNSON: I would say as far as the -- yes, at
8 this point, yes definitely. From the point of view of the
9 County, that's what I'm saying.

10 MS. VELASQUEZ: I agree that the station really
11 needs to be completely redone. I was in it on Sunday and
12 it's just pretty scary and if that driver on the back of the
13 hook and ladder truck was one inch taller, he wouldn't be
14 able to get through that door, I'll tell you that.

15 At this stage, does it come back to us for design
16 guidelines at some point or --

17 MS. ZIEK: Well --

18 MS. VELASQUEZ: -- what happens next?

19 MS. ZIEK: -- this is a first preliminary
20 consultation. There are numerous open questions right now
21 that everybody's hoping will -- we can perhaps sort of pin
22 down. We've had projects that have come back for other
23 preliminary consultations. There's no reason why you
24 couldn't see it at other points through the design. I think
25 it's clear that people are saying that they don't have a

1 design now, so, you know, maybe it is appropriate that a
2 project of this scale and scope come back to you again when
3 they actually have a building that they want you to consider.
4 That's certainly possible. It's really up to you. But at
5 this point, everything is at the concept stage.

6 MS. VELASQUEZ: So what you're looking for is
7 guidelines on what we would -- what you think we would --
8 where we would agree to go with which direction we would be
9 willing to consider if other properties had to be acquired?

10 MR. JOHNSON: That's my understanding.

11 MS. VELASQUEZ: What materials, perhaps, to start
12 looking at?

13 MR. JOHNSON: Well, let me share this. I will be
14 the project manager through the design and construction.
15 What we usually do in -- throughout a schematic, there are
16 different stages of design for any building. So what we do,
17 we always include as many parties as possible for review so
18 it's not as if we're going to, you know, this is it. But
19 what I'm saying as far as the scheme, this has really been
20 thought through as far as the operation of the station.
21 That's what is so essential, which you have to keep in mind.

22 MS. ZIEK: In other words, what you've done is a
23 programmatic study at this point and you're satisfied that
24 you have that program established, you've got an
25 understanding of programmatic adjacencies that you'd like to

1 see happen, so that's actually a spatial concept right there,
2 and basically you know there's the concept of the demolition
3 involved. So there's the demolition of some contributing
4 resources that they're asking your consideration. Demolition
5 is the hardest decision, of course, that -- one of the
6 hardest decision the Commission would face, and the reasons
7 for demolition; there are some in our ordinance that allow
8 consideration for demolition based on the community benefits.
9 That's probably the guiding principle in this case.

10 MR. KOUSOULAS: --I think the other thing the rest of
11 the Commissioners that aren't architects should keep in mind
12 is that every phase that you've heard about adds more and
13 more resolution and definition to this building as it
14 proceeds and you really can't move ahead to the next one
15 until you pin down some things in prior phases. It can't
16 proceed in parallel -- in several tracks. They need to have
17 some direction at this point.

18 MR. HARBIT: I -- for me it kind of breaks down to
19 the three things. It's, should there be a new fire station?
20 What would the design of the new fire station be? And what
21 would be the impact on the historic resources of that new
22 station? And at this point, it's a preliminary consultation
23 so we're not really telling you yes or no to a specific plan.
24 I think the best we can do is give you our individual
25 opinions about what we individually would prefer to see,

1 because we're not going to take a vote on this or that
2 because we don't really have anything to vote on tonight.

3 So, I'll tell you my individual perspective. My
4 individual perspective is that the fire station does need to
5 be repaired -- rebuilt. It's a critical element in the
6 preservation of a very large historic district, and that's
7 why the Takoma Park Historic District needs a good fire
8 station; to keep all those historic buildings standing.
9 That's an important consideration.

10 When it comes to the design and I know we're not
11 looking at a design here, but of the two designs that were
12 conceptualized, I personally favor Scheme B, which is what
13 the City Council had proposed, which would be reminiscent of
14 the original station.

15 Then the third question is, what's the impact on
16 the historic resources? And my biggest concern is that I
17 will need to be convinced that economically the fire station
18 is not feasible without taking historic resources. So I
19 would encourage the applicant to do a careful evaluation of
20 the cost of the entire project including acquisition, and
21 even though the commercial property owner to the left may
22 think his property is extremely valuable, I would encourage
23 you to take a look at the cost of mitigating the potential
24 environmental hazards that are there, because it is an
25 automobile shop and I do believe that would reduce the value

1 of the property -- the cost of mitigating that. And I guess
2 on balance, if I had the choice of cleaning up a potential
3 environment hazard and saving historic structures versus
4 leaving an environmental hazard and demolishing historic
5 structures, I'd do with the first. Clean up the problem and
6 keep the historic structures. But that's just me.

7 ~~MS. DeREGGI: The problem here, of course, in~~
8 ~~demolishing and reconstructing as closely as possible to the~~
9 ~~historic structure, as they can be very misleading. And if~~
10 ~~we follow the guidelines of the Department of Interior,~~
11 because of the requirements of the modern fire engines and
12 the width of the arches and doors, the building would not be
13 and could not be, I don't believe, faithful to the original
14 structure. And yet I understand the community's wish to have
15 that marvelous building reconstructed.

16 I don't know how to answer that. I think the most
17 important thing is that this is a fire station that is
18 serving a community and a real need. One has to look at the
19 serviceability and the safety of the people that are using
20 it. Any consideration that could be given to underground
21 parking, I think, should be thoroughly explored and
22 certainly, from my personal viewpoint, and not being a member
23 of the community, living right next to it, but from a visual
24 and historical perspective of that district, I would
25 certainly favor demolishing a non-contributing structure than

1 a contributing one for the charm of the village, for the
2 historic nature of the village.

3 Again, I would urge you to approach, discuss in
4 detail, look at all possibility of moving toward the empty
5 lot of the City. I see that empty lot as another -- as a
6 great opportunity to really beautify that section and to make
7 it revitalized at the same time. In other words, if you
8 could incorporate the business to the left of the fire
9 station and then continue the movement toward the open site
10 that the City owns in that planning effort, I think that you
11 could do some really very beautiful things there.

12 I'd like to hear other Commissioners comments on
13 this problem of reconstruction when you cannot follow
14 proportionally the design of the original. I'd just like to
15 hear other people's comments on that.

16 MR. BRESLIN: Okay, well I'll comment on that. I
17 think one of the charming things about Takoma Park is the
18 historic district doesn't try to be -- there's no one
19 prevalent style or historic time frame that is -- there's no
20 one particular style or time frame that is predominant in the
21 district. And when you go through there you see Victorian
22 houses and you see Craftsman and you see bungalows and you
23 see Colonials and you see Art Deco. You see all kinds of
24 things. And I would think this would be a tremendous
25 opportunity to have whatever new construction contribute its

1 time.

2 I, personally think recreating something that was
3 built, you know 60 or 80 years ago would be a mistake and I
4 think something of its time would be a tremendous asset and
5 just continue the time line that is so charming in Takoma
6 Park.

7 Something else about the streetscape is I think one
8 thing we would look for is the streetscape is broken up into
9 relatively small masses. It's all residential scale, and I
10 think --

11 MALE VOICE: Speak up a little bit. They can't
12 hear you in the back.

13 MR. BRESLIN: The streetscape is all residential
14 scale and the firehouse is one of the largest buildings on
15 the street. And I think you'd want to take great care of
16 making it a lot larger and I think there should be made an
17 attempt to keep a small scale; either breaking it up visually
18 or breaking it up physically. And as you go down the road,
19 taking the contributing resources and then putting in a
20 parking lot, I think you want to watch out and take care that
21 you're not absorbing too much of the streetscape.

22 MR. SPURLOCK: I don't know how many of you were in
23 the audience for the prior preliminary consultation but we
24 were discussing a house in Chevy Chase that had -- it was of
25 a modest scale and properly detailed and really sort of

1 appropriately detailed to its scale, and I think when I look
2 at this historic photograph, it's a beautifully scaled little
3 building, but it is a small modest-sized building. And then
4 when I look at this sort of enlargement of it, it looks out
5 of proportion and not properly to scale. I do think -- and
6 as Commissioner Breslin said -- that a building of lower in
7 scale, which is Scheme B, is a more appropriate direction to
8 take, and I certainly would be supportive of that as opposed
9 to a two-story structure.

10 And I do also feel that one can do a -- more of a -
11 - well, more of a design that's more of our time, perhaps
12 incorporating some of the historic materials as finishes and
13 that sort of thing but not necessarily do a reproduction or
14 an attempt at reproduction of the 1920's fire station. And I
15 do agree with Commissioner Breslin that it might be a big
16 mistake to do that. Takoma Park has a rich heritage and I
17 think it's appropriate to continue that and to, you know,
18 further that into the next -- into the next century.

19 In terms of the resources, I mean I think -- you
20 know, our purview is not always, you know -- obviously we
21 would have to approve demolishing historic resources, but you
22 know economics is not always our jurisdiction and I think
23 that might help you make an argument one way or the other,
24 but certainly that's not the final determining factor; at
25 least in my mind about how we would -- at least, how I would

1 proceed, or how I would vote on that issue.

2 MS. VELASQUEZ: I'm pretty much in agreement with
3 everything I'm hearing and especially, I think with
4 Commissioner Spurlock. I don't think it's fair to a
5 community to try to pretend something is old when it's not.
6 A hundred years from now whatever fire station is built is
7 going to be antique and it will be part of a historic
8 district all its own, no doubt.

9 I think that I would like to especially agree that
10 ~~new construction should be of its own time; go ahead admit~~
11 its new, don't put a log cabin there, use as much of the old
12 material I think as if possible. I think you can use that
13 and still not -- and it doesn't have to be glass and chrome,
14 I mean, you know, to make it new. But instead of trying to
15 pretend it's the old fire station which was lost 40 years
16 ago, then just go ahead and admit that it's gone. Do
17 something sympathetic to the neighborhood.

18 I visited the site and my own perspective is I
19 would rather see the expansion go east, rather than west,
20 simply because, although that is apparently a valuable
21 commercial structure to the City as far as its economic base,
22 to me it's far less important visually and to the looks of
23 the neighborhood than the houses, which are on the west side.
24 So I'd rather see the expansion go to the east where the
25 commercial building is.

1 And also there seems to be more flat land there,
2 unless it's just built up with that building on it. But it
3 just seems to me, just the sense of it -- you can keep the
4 bays right here at Philadelphia Avenue and build the rest of
5 the living quarters somewhat off to the east, would make me
6 happier.

7 MS. WATKINS: I agree with what's been said by the
8 other Commissioners. I think an important thing to do is
9 thoroughly explore the parking options and really see what
10 they are, and that may lead us to a stronger opinion about
11 which buildings should be demolished and which should be
12 kept. And I agree that you're not going to be able to
13 recapture the past glory of the fire station and I think we
14 just have to look to the present to interpret it.

15 MR. KOUSOULAS: I'd like to address a couple
16 things. One, the idea of going in the direction of the two
17 houses and demolishing them. Typically, when we grant a
18 permit -- a work permit, most of our criteria has to do with
19 like it won't substantially alter the historic resource. And
20 you'd get a hard time proposing that and also demolishing the
21 resource at the same time. It's a pretty big semantic twist
22 to make that argument. But we do have one thing in our
23 ordinance where we balance the public interest in something
24 else with the public interest in the preservation. And if,
25 on balance, the public interest and the welfare is better

1 served by the demolition, we can also grant a permit in that
2 regard. And I think in the case of having a fire station
3 that works well, that functions well, and a neighborhood that
4 is maybe better served by a commercial enterprise that
5 persists as opposed to two houses that do have historic merit
6 but end up being demolished, I think on balance that the case
7 could be made for moving in the direction of the houses and
8 that this Commission could find for demolishing those houses
9 without ripping our ordinance apart. I mean, it provides for
10 something like this. So I think you need --- like you heard
11 from our first Commissioner speaking, you need to be able to
12 make that case rather strongly to see whether it's justified.

13 The other thing is the historic rendition in this
14 Scheme B, which I think is generally the way the building
15 lays out. It's a good scheme, but I think the scale of the
16 sketch is very hard to appreciate what this thing will look
17 like, and it won't look anything like what that original fire
18 station looked like. I mean if I'm -- talking about we're
19 moving the 1950's bays over -- in there and reproducing the
20 original ones as they appear in the old photo. I mean,
21 that's a lot like adding the tower to the Memorial Hall in
22 Harvard that had burned down. I mean, we go back and you
23 reproduce it; that's fine, but we're not talking about doing
24 that here. We're really recreating something fresh and I
25 would definitely avoid the appearance that is depicted in

1 this sketch here. It's an exciting opportunity. I mean,
2 there's a lot of stone there. There's a lot of
3 reconstruction that would be happening. Something really
4 interesting could be done with this fire station and I don't
5 think it will have anything to do with the little turrets and
6 crenellations and things that are going on in this sketch.

7 Do you have the direction you need, do you think?
8 I mean, we're basically just --

9 MR. JOHNSON: Well, I assume this is, like I said,
10 a consultation we're talking about and I will sort of go by
11 what I've heard and work from there. Like I said, this is --

12 MS. ZIEK: Well, one of the things that I just
13 heard was that the Commissioners feel they need more
14 information before they actually agree to the demolition as
15 proposed in Scheme B, and I've heard several Commissioners
16 say they'd like you to actually present more figures that --
17 in actuality, you may find that you can afford to expand --
18 they want you to undergo a study of dollar cost that they are
19 hoping you may find that you can expand to the east.

20 Is that something that you feel that you can
21 undertake, and then come back to the Commission with that
22 information?

23 MR. JOHNSON: Well, I just see that's what we need
24 to do, because what I've heard -- I mean, there are different
25 opinions that we're talking about, but in general -- sure, I

1 mean, in order to take the next step, that's what we need to
2 do and I just feel that that's what we'll do. And sort of
3 try to work within what we're talking about.

4 I -- again, this is a feasibility study and I'm
5 saying the cost that the County put in what we call a CIP --
6 capital improvement project -- program relates to this scheme
7 that we're talking about. The cost that we're talking about
8 as far as the land is not in the CIP, so I think that
9 factor -- we need to sort of keep that in mind what we're
10 talking about as far as the County. If it's -- again,
11 hypothetically, if it gets to be too much, Council might
12 reconsider some of these things that we're talking about.

13 So, I'm just sharing that with you. I don't know
14 right now. Like I said, I was not part of this study from
15 the beginning so I need to sort of step back. This is, to
16 me, good information that I need to work with and go from
17 there. So I'm just -- I need to leave it right there. I
18 don't think I can go any -- any other questions that you --

19 MR. KOUSOULAS: Well, one thing -- Commissioners
20 that didn't address this. One way to look at it, which has
21 nothing to do with the value of acquiring one site versus the
22 other is whether you feel that the stability of the
23 commercial aspect of Takoma Park and the commercial stretch
24 along here is of sufficient importance that you could make
25 that decision based just on that alone; that to lose two

1 houses is worth it to maintain something else here going on
2 in Takoma Park.

3 MS. VELASQUEZ: I can make that decision because I
4 do believe that we have to balance the economic good of all
5 the citizenry against just the aesthetic needs of a few. And
6 maybe these aesthetics are not nearly as important as the
7 economics to the City of Takoma Park. I don't have any
8 problem making that decision. I just want to see a better
9 plan just showing me is there a way that maybe we don't have
10 to take don't anything? Maybe there's not. But I wouldn't
11 have any -- I would do it with trepidation, but I still think
12 that if the only way we can get a good working firehouse in
13 Takoma Park is to demolish one small house next to it, I
14 would have to go along with that.

15 MR. JOHNSON: In general, as far as size for the
16 current station and the parking that is necessary and as far
17 as the staffing, to my understanding this is what you need.
18 And I just -- this is --

19 MR. LAMPHRIER: I'm Steve Lamphrier. I'm from
20 Montgomery County Fire/Rescue Service. Like Perry's the
21 project manager from Public Works and Transportation and
22 Fire/Rescue supports his department in projects like this and
23 we've -- two years ago and this is also before my time, so
24 I'm kind of learning about some of these things as we're
25 going here. I guess about two or three years ago the people

1 form the Takoma Park Volunteer Fire Department, the
2 Department of Fire/Rescue Services, the people from
3 Management and Budget, Department of Public Works and
4 Transportation did go through and determine what the
5 requirements for the firehouse would be operationally, and
6 that's what this feasibility study was based upon; square
7 footage for locker rooms, square footage for offices, the
8 number of staff that would be there, the apparatus we run out
9 of that station. So that's all been determined and if you
10 remember -- I don't know, it's probably been four or five
11 years now, at least, there was some talk about consolidating
12 the station in Silver Spring at Georgia Avenue and Silver
13 Spring Avenue with the Takoma Park station and that's
14 beyond -- we've gone beyond that now. The County's decided
15 it's in the best interest to keep both stations. And now
16 we're also building a new station in Silver Spring also.

17 But since -- since we've moved beyond that, we've
18 decided we need two stations, we need to do something with
19 the Takoma Park station. And we don't want to move too far
20 without getting input from everybody that needs to give us
21 input.

22 MR. KOUSOULAS: Well, yeah I think the feasibility
23 study that's happened -- we shouldn't be in the position of
24 asking them to do more here. I mean, the study makes the
25 case for how much program they need and what needs -- where

1 it needs to fit. That's already happened. What seems to be
2 missing is the economic analysis of the land acquisition if
3 that's important to anyone, that would be a bit of
4 information we could use, but just to ask for the applicant
5 to come up with more justification for why they have to go
6 expand in either direction, I think we're beyond that. We
7 have everything in front of us.

8 Do you want to add anything?

9 MS. DeREGGI: Well, I'm just surprised to hear you
10 say that because we haven't had the questions which we asked
11 to the speakers tonight concerning the commercial property --
12 there was -- it was a very informal discussion apparently and
13 nothing substantial so that I, for one, would want to have
14 some more definite figures.

15 MS. BRAITHWAITE: Can I speak to that for a minute?
16 And, again, I apologize; it's been two years since this study
17 was done, so my memory is getting refreshed as we go along
18 and I didn't do what I needed to do prior to this meeting.

19 But, I'm very glad, Mr. Chairman, that you made
20 that point, and I think that if you were to read the
21 feasibility study that the City paid for and produced, you
22 would find that every question that you have answered --
23 asked has been answered in detail. And, in fact, the issue
24 of going towards the commercial property versus the
25 residential was looked at amongst more than practically a

1 dozen options that were initially investigated by the
2 architectural firm that was hired to evaluation this.

3 And part of the issue that they were working with
4 was a very specific set of program design requirements that
5 the County fire station -- Fire/Rescue Service laid out as
6 absolutely essential for a modern station. So they worked
7 within that guideline and tried to figure out what was the
8 best way they could wedge it in in this location. And after
9 several, several months of study and lots of evaluation of
10 the site, they determined that these were the only two ways
11 to put it in.

12 I heard reference tonight to underground parking,
13 back lot parking. Again, the feasibility study speaks to
14 that. In addition to a pretty significant slope as the lot
15 is going down, there's also a large sort of infill that
16 happened towards the back of that lot, so any kind of
17 underground work or further work underneath the foundation
18 was absolutely discouraged by the engineering firm that took
19 a look at these sites and the location of the property.
20 There is just soil instability in the back of the lot and we
21 need to stay away from the back of the lot in terms of
22 building and program establishment.

23 Also, when you take a look at that commercial lot,
24 we're talking about them as if you could go this way or that
25 way. The commercial wedge is very, very narrow as opposed to

1 the much wider wedges for those two residential lots on the
2 other side, so we're kind of comparing apples and oranges in
3 terms of directions you can go. That commercial wedge, as
4 you can see in one of Robin's slides, is an extremely narrow
5 lot, paralleled by another extremely narrow lot which doesn't
6 nearly give you the frontage as you would have on the other
7 side of the building.

8 The other thing that's been referred to this
9 evening is the parking lot -- or, the City-owned lot as if
10 it's a City-owned lot that's intended to stay vacant. It's
11 very much not intended to stay vacant. It's intended to be
12 an economic development site where buildings will sprout up
13 if we can find the right mix of commercial interests to make
14 that happen. There isn't room to go in that direction. In
15 fact, to go in that direction is to further bury the option
16 of the City to be able to develop that economic site. The
17 smaller we make it, the less likely we can get anything to be
18 built in there of any kind of economic nature, so we need to
19 not get any closer to that vacant lot. We really need to
20 pull back and let the businesses that are there exist and, in
21 fact, figure out a way to encourage a commercial owner to
22 come in and find that site attractive and to get any closer
23 to it, eliminates -- you're just getting less and less of an
24 availability for that to happen.

25 So there are some real issues in terms of space.

1 There's real issues in terms of structural integrity and the
2 lot size itself. And, again, the architects have fully
3 evaluated all these options, looked at the economic factors,
4 looked at the environmental factors, all that's within the
5 feasibility study that they produced for the City and if you
6 want us to go back and further reference that, we'd be happy
7 to work with the County and pull out those specific
8 references in the feasibility study itself, but it's all in
9 there. There was no way that the architect could have
10 produced a report that didn't ask all these very basic and
11 very obvious questions that would have had to have been
12 answered for the City to move forward in looking at where to
13 put this thing.

14 And it really is -- the motor on this thing is
15 being driven by the very real establishment of standards that
16 the County has for fire stations and we're all quite pleased
17 that the architect could find any way to fit in the limited
18 space that we have in Takoma Park -- that they were able to
19 figure out a way to make it work.

20 I think that's -- the only other point I wanted to
21 make and I think it's -- it just needs to be said again that
22 in terms of the scale of the building and the footprint of
23 the building, it's driven by County standards. It's also
24 driven by the service provided by that station. We can't
25 chose to make two bays instead of three. There's a service

1 load serviced out of that building that needs the bays, needs
2 the equipment that it has and we don't have an option to
3 reduce without impacting the stations around us, and we
4 provide service for areas outside the City of Takoma Park, so
5 the whole fire and rescue system is based on that
6 serviceability that Takoma Park station can give. So there -
7 - we don't have any flexibility in terms of removing
8 equipment or making it fit a little more neat and tidy into
9 the lot we currently have. We have to provide the level of
10 service and the level of vehicles that we have.

11 MR. KOUSOULAS: Thank you. Other comments? Okay,
12 thank you for coming in.

13 MR. LAMPHRIER: Thank you.

14 MS. ZIEK: Mr. Chairman, do you want me to get that
15 group and --

16 MR. KOUSOULAS: Yeah, we'll take a five-minute
17 break to let them get in.

18 (Whereupon, a brief recess was taken.)

19 MR. KOUSOULAS: Okay, we're going to get started
20 again. We'll move onto Commission items right now. We need
21 to confirm the Board of Managers for the Village of Chevy
22 Chase.

23 MR. SPURLOCK: Mr. Chairman, I move that we confirm
24 all the members on the slate that was given to us by the
25 letter from Chevy Chase Village dated November 29th.

Mr. Pehr Johnsson
Division of Facilities and Services
Montgomery County Department of Public Works
and Transportation
110 N. Washington Street
Rockville, MD 20850

SUBJECT: Takoma Park Fire Station Mandatory Referral and
Preliminary Plan of Subdivision

Dear Mr. Johnsson:

I recently discussed with you County plans to build a new fire station in Takoma Park. The new permanent Takoma Park Fire Station will require a Mandatory Referral to the Montgomery County Planning Board, and a Historic Area Work Permit by the Montgomery County Historic Preservation Commission. Application for a Minor Subdivision to consolidate lots is recommended prior to building permit application.

The temporary Takoma Park Fire Station location will also require a Mandatory Referral to the Montgomery County Planning Board, as well as a Preliminary Plan of Subdivision.

The Mandatory Referral process is designed to assist applicants with effective site development, assure conformance with Master Plan objectives, and ensure compatibility with adjacent and nearby properties. Mandatory Referral applications for both projects should be submitted to Glenn Kreger, Team Leader of the Silver Spring/Takoma Park Community-Based Planning Team. (Glenn has already sent you a draft of the "Uniform Standards for Mandatory Referral Review." The standards should be finalized in late February.) Staff will be assigned to work with you on each project. There is a 60-day review period that begins when we receive all application materials. Coordination prior to filing of materials can result in a shorter review period. Following are the steps that you will need to follow.

Permanent New Fire Station on Carroll Avenue

1. **The Historic Preservation Commission (HPC) will provide an opinion on site issues at their consultation on January 24.** I recognize that there are issues associated with expansion to properties on either the east or west side of the building. During the previous HPC consultation on December 1, 1999, they expressed concerns with loss of the two houses and requested more information on acquisition costs.

2. The applicant should then submit a site selection and project design for Mandatory Referral to the Montgomery County Park and Planning Department. The County should submit a recommended site to the Planning Board as a Mandatory Referral, which addresses the HPC recommended site. If the project design is sufficiently detailed, at approximately a 35% design level, then both site selection and project design can be addressed as part of the same Mandatory Referral submittal.

The Mandatory Referral addresses the relation of the property to Master Plan recommendations and guidelines, including compatibility with adjacent properties and linkages to surrounding areas. The December 2000 Takoma Park Master Plan addresses commercial revitalization, historic preservation, and streetscaping in this area.

The County will not need to apply for a preliminary plan of subdivision, since the property will be owned and the project will be funded by Montgomery County. However, we recommend that the County apply for a Minor Subdivision to consolidate the lots before the County applies for building permits.

3. **The County should then submit a final project design for HPC approval, including final site location approval.** The applicant should make revisions based on the Planning Board recommendations and submit a final design to the HPC for regulatory approval. The HPC would consider how the project contributes to the historic character of the Takoma Park Historic District.

Temporary Fire Station on Greenwood Avenue, at Columbia Union College

I understand that the County may wish to place a temporary station on property in East Silver Spring that is owned by Columbia Union College.

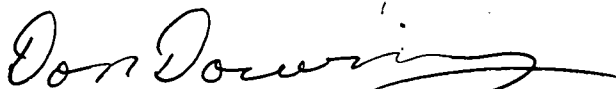
1. **The temporary Takoma Park Fire Station location will require a Mandatory Referral to the Montgomery County Planning Board** to address both the site selection and the project design. Construction on the proposed site will also require approval of a Preliminary Plan of Subdivision by the Montgomery County Planning Board.

The Mandatory Referral addresses the relation of the property to Master Plan recommendations and guidelines, as well as compatibility with adjacent properties. The Master Plan addresses campus improvements, compatibility, campus parking, and sidewalk improvements in the area.

2. **The County must apply for a preliminary plan of subdivision**, since the property is privately owned and is not a recorded lot. The Planning Board has regulatory authority to address site access, stormwater management, and building placement when a subdivision is applied for. The review period can require 4 to 6 months from submission of application to the recordation of lots. Following recordation, building permits can be issued.

Please contact Don Downing at 301-495-4555 for details concerning the Mandatory Referral process. Contact Malcolm Shaneman at 301-495-4595 for details concerning the Subdivision process.

Sincerely,



Don Downing, Planner Coordinator
Silver Spring/Takoma Park Team
Community-Based Planning Division

DD:ha: a:\downing1\mrfire2.doc

cc: Glenn Kréger
Marsha Kadesch
Malcolm Shaneman
Jorge Valladares
Robin Ziek
Suzanne Ludlow

MAY AS WELL TAKE ME TO THE
COURT IF THAT'S WHAT YOU
DO MEAN. THAT'S OTHER RESOURCES
OR THE HOUSE (MAY) ARE COUNTS
ON THE PROCCION OF THE
RESOURCES TO LIVE. THERE'S
QUALITY NECESSARILY AFFECTED
IF ASKED TO ADVANCE.

APPLICATIONS: TWISSO: IN THE
DISPARITIES: IN THE OTHER
PROBLEMS WITH THE OTHER
PROBLEM: TWO: MAY: IS WORK,
PROBLEM: DISORDER: ISY: SURVIVORS

APPLICATION: PROPERTY: SAME
AND THE OTHER PROPERTIES: SPECIALISTS
FOR PROPERTY ACQUISITION: SPECIALISTS
POLITICALLY: TWISSO: UPON: RESOURCES
THE HOUSE,

BILLING: FORWARDED: TO: PLAN: ASSEMBLY
IS: PARAMOUNT: ON: HEALTH: OF: APPLICATIONS,

HELMUT JOHN FRICK
7135 CARROLL AVE.
TAKOMA PARK, MD 20912



MONTGOMERY COUNTY HISTORIC PRESERVATION
COMMISSION

8787 GEORGIA AVENUE
SILVER SPRING, MD 20910

20910+3716



 **PRINTED ON RECYCLED PAPER IN KEEPING
WITH OUR COMMITMENT TO THE ENVIRONMENT**

**HISTORIC PRESERVATION COMMISSION
SPEAKER'S FORM**

If you wish to speak on an agenda item, please fill out this form and give it to a Historic Preservation staff person sitting at the left end of the table in the front of the auditorium prior to consideration of that item. The Historic Preservation Commission welcomes public testimony on most agenda items.

Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc). This provides a complete record and assists with future notification on this case. **This meeting is being recorded. For audio identification, please state your name and affiliation for the record the first time you speak on any item.**

DATE: 1/24/01

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: Mont Co Fire/Rescue
Takoma Park

NAME: Steve Lamphre

COMPLETE MAILING ADDRESS: MCERS, 101 Monroe Street, 12th Floor
Rockville, MD 20850

REPRESENTING (INDIVIDUAL/ORGANIZATION): Mont Co Fire/Rescue

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
- Comment by affected property owners on Master Plan designation.....3 minutes
- Comment by adjacent owners/interested parties.....3 minutes
- Comment by citizens association/interested groups.....5 minutes
- Comment by elected officials/government representatives.....7 minutes

(2)

Doug - Go with West - "R"

HST take + others need to stay active
as they move into design of bldg.
NOT aluminum + glass!

Sue - Go west "R"
both houses

Steve - Go west "R"
again "Reconstruction"

Steve Go west "R"
Careful for landscape / streetscape -
too much driveway -
Need more comming on parking design +
layout to reduce parking "gap" ~~to~~
What about 7-8 spots in town-owned lots

Marilyn - off-site? Demonstrate
Go west - "R"

Lynn - Recuses herself

Steve - agrees - Go west "R" - Do the best design
you can for this building -

Fitzgerald & Matan
REALTY, INC.**REALTORS • DEVELOPERS**
COMMERCIAL • INDUSTRIAL

1/17/01


Historic Preservation Commission
Perry Kapsch
8787 Georgia Avenue
Silver Spring, Maryland 20910

RE: Historic Area Work Permit
Rear Deck "Access" @ 3906 Prospect Street Kensington, Maryland

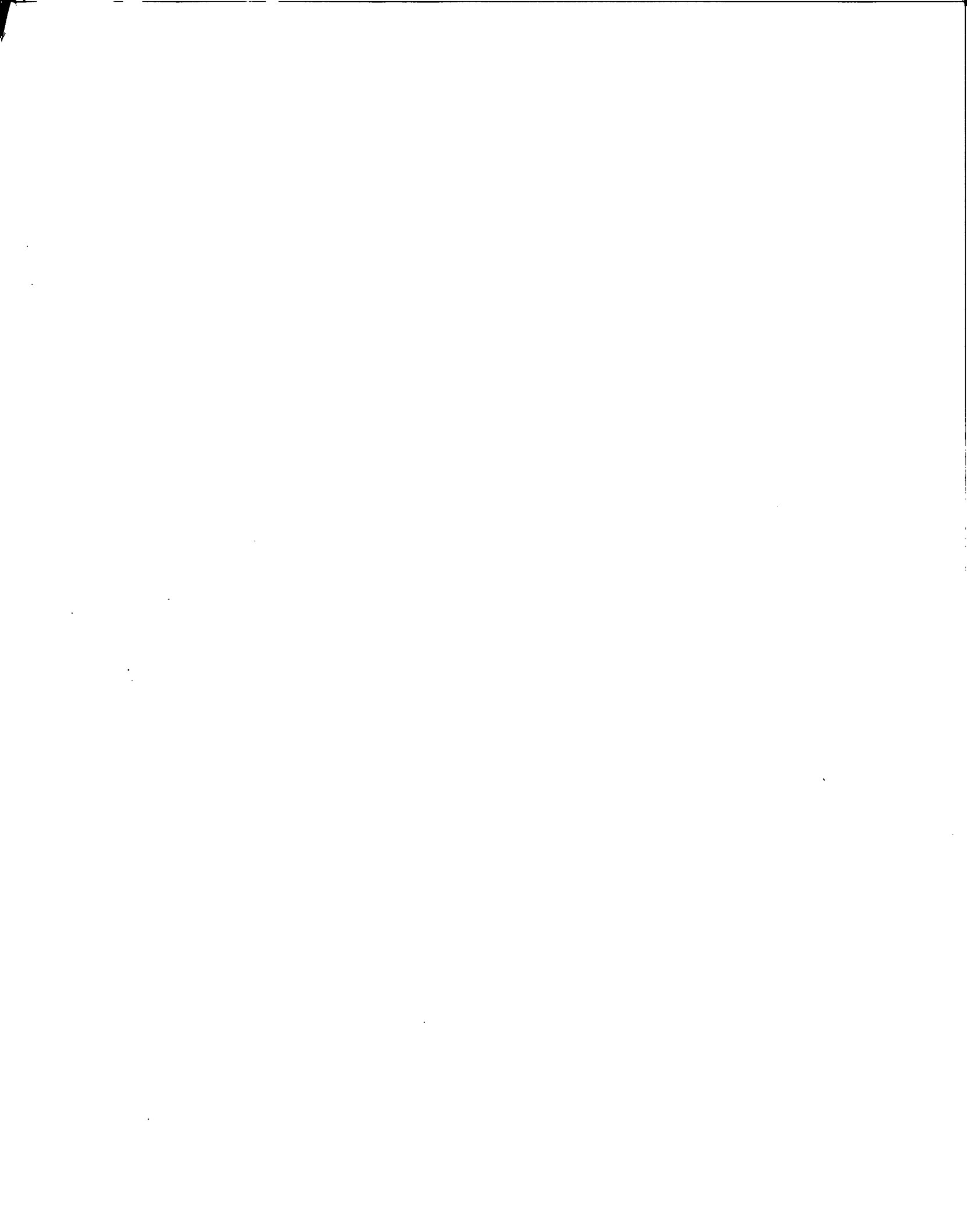
Dear Perry,

Per our phone conversation, In order to access the deck my plan is to replace the existing double windows on the rear of my house with multi-pane, solid wood French doors. I will be using doors from my parents house that are custom made French doors that I would guess were built in the 1950's. The quality of craftsmanship and appearance are superior to anything I have seen on the market today. I think they will go great with the existing features of the house. Thank you for time, and please do not hesitate to call me if you have any additional questions.

Sincerely,



Joseph P. Matan



Fitzgerald & Matan
REALTY, INC.**REALTORS • DEVELOPERS**
COMMERCIAL • INDUSTRIAL

1/17/01


Historic Preservation Commission
Perry Kapsch
8787 Georgia Avenue
Silver Spring, Maryland 20910

RE: Historic Area Work Permit
Rear Deck "Access" @ 3906 Prospect Street Kensington, Maryland

Dear Perry,

Per our phone conversation, In order to access the deck my plan is to replace the existing double windows on the rear of my house with multi-pane, solid wood French doors. I will be using doors from my parents house that are custom made French doors that I would guess were built in the 1950's. The quality of craftsmanship and appearance are superior to anything I have seen on the market today. I think they will go great with the existing features of the house. Thank you for time, and please do not hesitate to call me if you have any additional questions.

Sincerely,


Joseph P. Matan

①
Steve Landfar talks - Everyone here: Mayor Catherine Porter.
Council people (Bruce, Annun)
Hist. Tallman - Lorraine
Dorsey -

2-story stations? - Issues for Fire & Rescue - 1-story is safer for the
Fire people - Stairs and time of safety -

Quads with 30' height in this community -

Use of Rear of property - wooded reserve - mature woodlands -
also only, house only, ^{parking} would go right to edge of property line.

Kathy Porter - City Council has been working for 3-4 years!
Council supports expansion to west -

Tink Claybourne - "Client" for original study -

Wayne Goldstein - Don't tear down for parking -

Roy Patmanlee - What are we doing to the people
involved?

Go East...

Chief of T.P. F.D. } - Parking always has been a problem.

Jim Garboe

(1960) 7137 has already been
taken down to provide
parking -

Lorraine Pearsall - Hist. Tak - endorses the
expansion to the west -

Michael Hackley -

Fitzgerald & Matan
REALTY, INC.**REALTORS • DEVELOPERS**
COMMERCIAL • INDUSTRIAL

1/17/01

Historic Preservation Commission
Perry Kapsch
8787 Georgia Avenue
Silver Spring, Maryland 20910

RE: Historic Area Work Permit
Rear Deck "Access" @ 3906 Prospect Street Kensington, Maryland

Dear Perry,

Per our phone conversation, In order to access the deck my plan is to replace the existing double windows on the rear of my house with multi-pane, solid wood French doors. I will be using doors from my parents house that are custom made French doors that I would guess were built in the 1950's. The quality of craftsmanship and appearance are superior to anything I have seen on the market today. I think they will go great with the existing features of the house. Thank you for time, and please do not hesitate to call me if you have any additional questions.

Sincerely,



Joseph P. Matan

Recyclable



MOTOPHOTO®

PLEASE...

- Do not cut negatives
- Handle by edges only

Moto Photo® is the world's leading franchisor of one hour photo processing labs.

For franchise information and customer service call 1-800-733-6686

TK franchise photos

On 35mm designate number closest to middle of negative. If unsure use both numbers (i.e. 26-26A)

FRAME/ INDEX PRINT #	NUMBER OF PRINTS ORDERED									
	Wallet	3 1/2x5	4x6	4x7	Pano	ENLARGEMENTS				
						5x7	8x10	8X12	11x14	
0 0A										
1 1A										
2 2A										
3 3A										
4 4A										
5 5A										
6 6A										
7 7A										
8 8A										
9 9A										
10 10A										
11 11A										
12 12A										
13 13A										
14 14A										
15 15A										
16 16A										
17 17A										
18 18A										
19 19A										
20 20A										
21 21A										
22 22A										
23 23A										
24 24A										
25 25A										
26 26A										
27 27A										
28 28A										
29 29A										
30 30A										
31 31A										
32 32A										
33 33A										
34 34A										
35 35A										
36 36A										
37 37A										
38 38A										
39 39A										
40 40A										

Handle negatives by edges to avoid finger prints

DO NOT CUT OR REMOVE NEGATIVES FROM SLEEVE

Order # _____

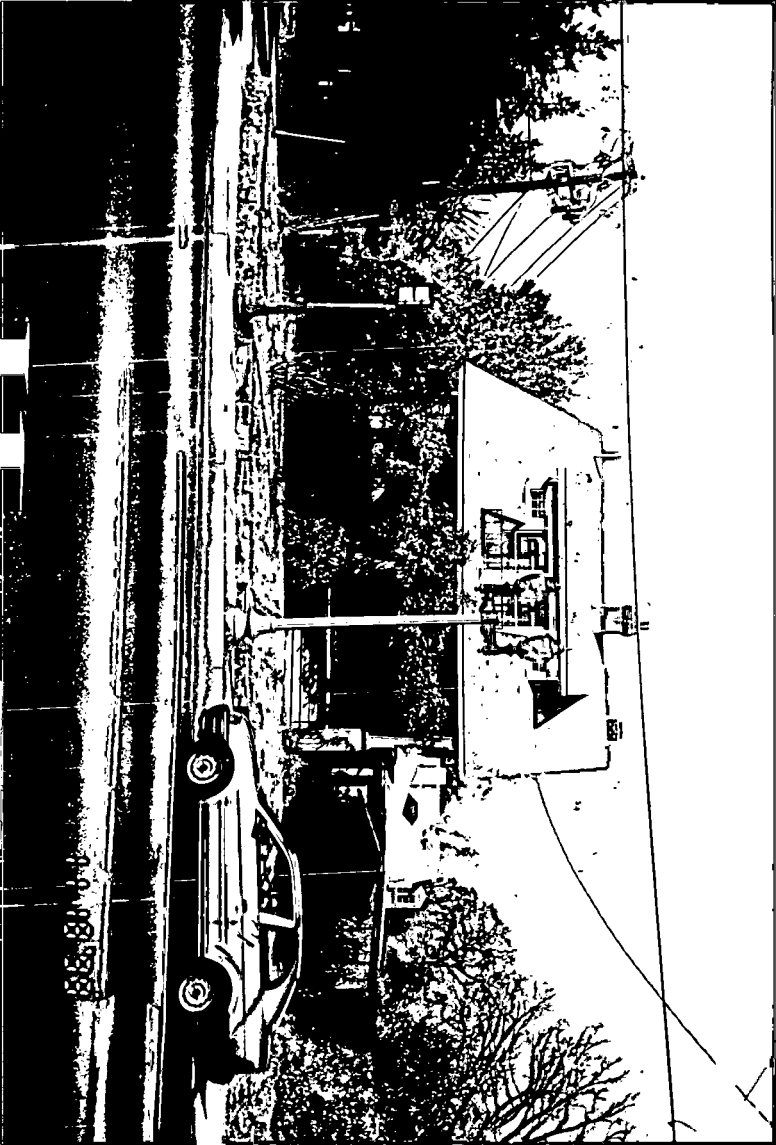
Name: _____

Address: _____

Phone: _____ Date: _____



<No. 2> 004 22-01 NNNNN+02AU 5028



<No. 21>023 22+00 NNNNN-07AU 5028

ACROSS STREET IN
SIDE



<No. 8A>009 22+00 NNNNN+00AL 5027

Next Door Bldg & Storage SHED



11 18 98

BEHIND BLOG Looking INTO PLOT

<No. 9A>010 22-01 NNNNN+15AU 2027

FAMILY DEPT.
MEMBER
PATRONS ONLY



Directly Behind Blog Pilot

<No. 1011> 011 22-01 NNNNN+09RU 5027



<No. 109>013 22-01 NNNNN+04RU 5027

M. H. @ Low End of P. 101



Directly Behind Bldg. 2101

<NO. 111> 012 22-01 NNNNN+06RU 5027



<No. 7A>008 22-01 NNNNN+01A-5027

F.S. CORNER IN REAR W/ Bldg
W/T DOOR



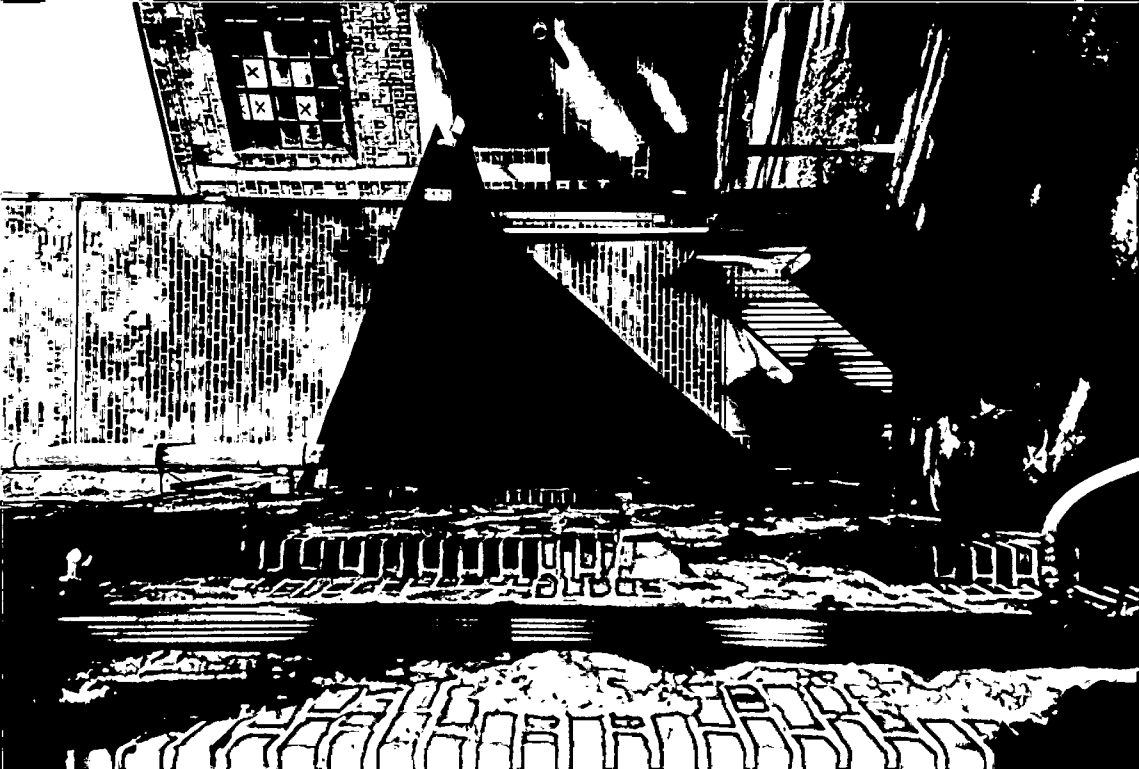
REAR of F.S.

<No. 6A>007 22-01 NNNNN+02AU 5027



REAR of F.S - Showing Storage Blogs

<NO. 5A> 006 22-01 NNNNNN+05RU 5027



REAR OF 5

<No. 4A>005 22+00 NNNNN+01AULV5027

.....



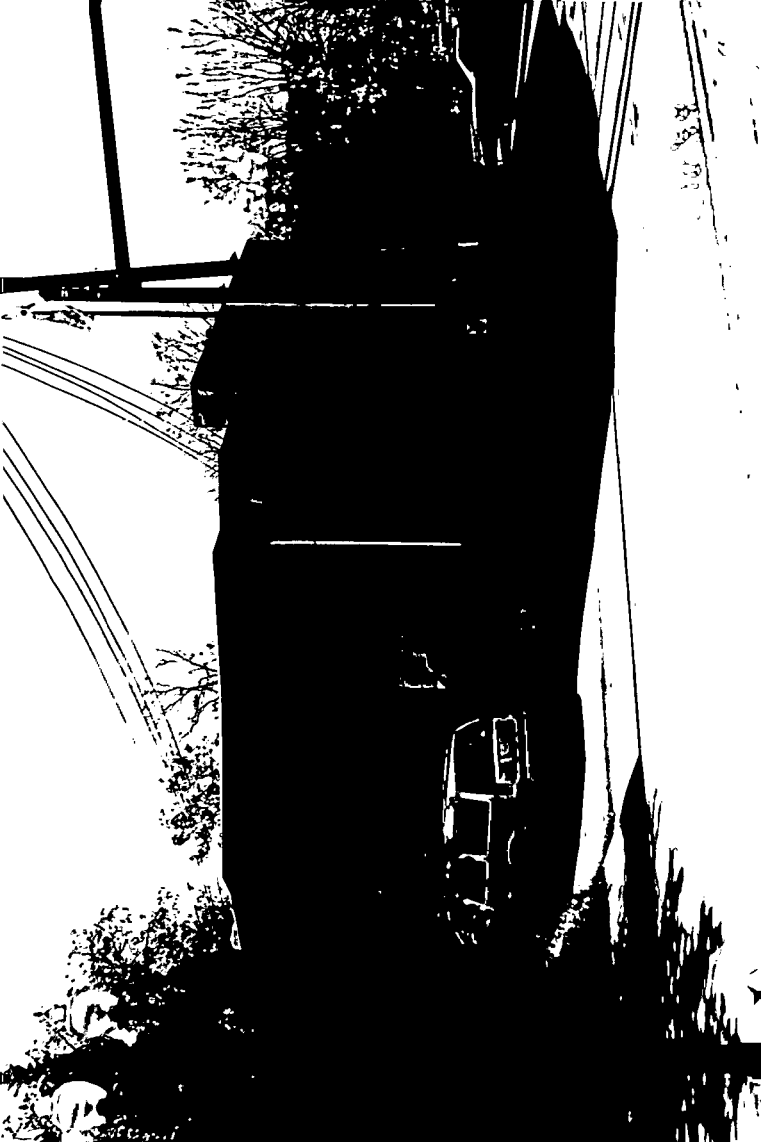
Looking To REAR of Bldg FROM FRONT
SIDE

<No. 3A>004 22-03 NNNNN+43A+1027



<No.14>016 22-01 NNNNN-17AU 5028

CAR Repair Shop





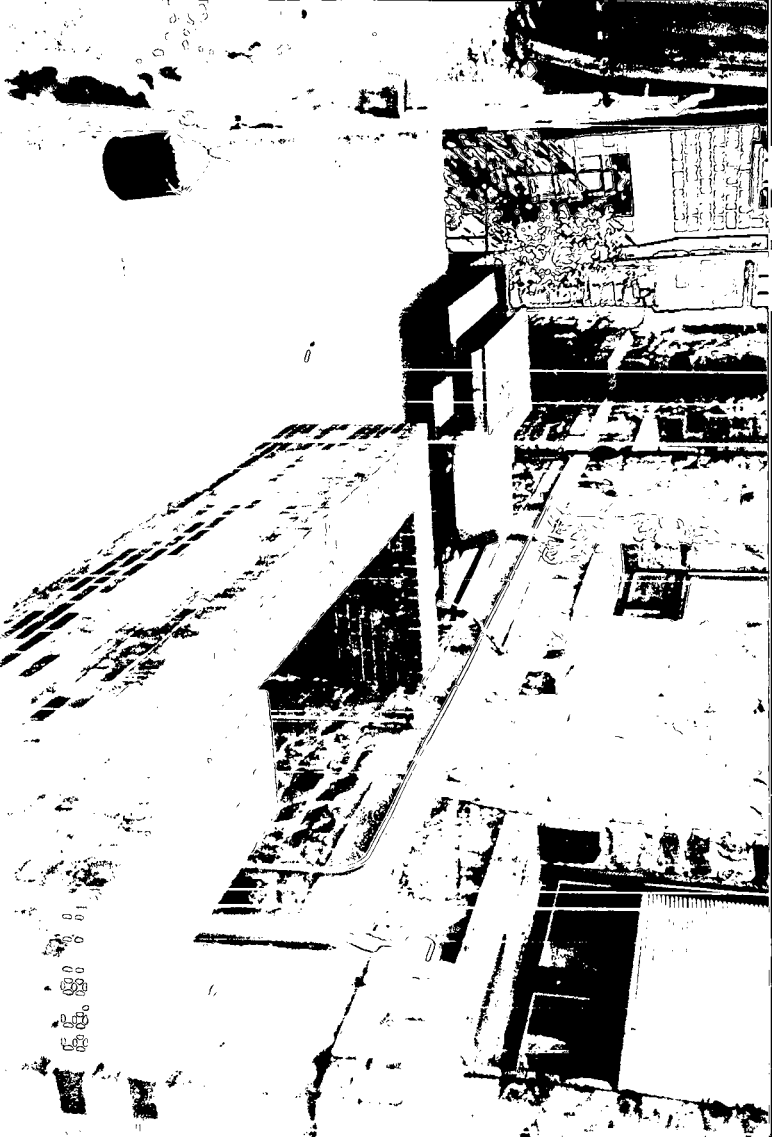
<No. 1A>0012 22-01 NNNNN-05AU 5027

SIDE WRT TO AUTO REPAIR SHOP



CAR REPAIR SHOP UPPER SIDE OF FS

<17>019 22-01 NNNNN-06RU 5028



LEFT SIDE of Bldg (Looking @ IT)

18020 22+01 NNNNN-07AU 5028



R SIDE of Bldg (Looking out Towards Light)

Doc. 19X021 22-01 NNNNN-01HJ*5028

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7201 Carroll Avenue Meeting Date: 12/1/99
 Applicant: Montgomery County Report Date: 11/24/99
 (Perry Johnsson, Agent)
 Resource: Takoma Park Historic District Public Notice: 11/17/99
 Review: PRELIMINARY CONSULTATION Tax Credit: No
 Case Number: N/A Staff: Robin Ziek

PROPOSAL: Alter/demolish existing fire station
 Demolish one or more adjacent buildings

RECOMMEND:

11/17/99

TO THE COMMISSION:

The City of Takoma Park sponsored a feasibility study in 1997 to evaluate the potential for modernization of the existing Fire Station at the existing location. As this is a lengthy report, we are sending it to you now, with the first noticing of the upcoming Agenda.

Main issues are:

- 1) Alteration or Demolition of existing Fire Station
- 2) Acquisition of one or two adjacent residences (to the right) for demolition and use of those lots for the expansion of the Fire Station and for parking.
- 3) Consideration of acquisition and demolition of adjacent commercial structure (to the left) for expansion of the Fire Station.
- 4) Design of new Fire Station.

PLEASE GO SEE THE SITE.

Thanks - Robin

**HISTORIC PRESERVATION COMMISSION
SPEAKER'S FORM**

If you wish to speak on an agenda item, please fill out this form and give it to a Historic Preservation staff person sitting at the left end of the table in the front of the auditorium prior to consideration of that item. The Historic Preservation Commission welcomes public testimony on most agenda items.

Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc). This provides a complete record and assists with future notification on this case. This meeting is being recorded. For audio identification, please state your name and affiliation for the record the first time you speak on any item.

DATE: 24 Jan 2001

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: Takoma Park
Fire Station

NAME: ~~Kent Abraham~~ KENT ABRAMAM

COMPLETE MAILING ADDRESS: PO Box 11346
Takoma Park, MD

REPRESENTING (INDIVIDUAL/ORGANIZATION): TCDC

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
- Comment by affected property owners on Master Plan designation.....3 minutes
- Comment by adjacent owners/interested parties.....3 minutes
- Comment by citizens association/interested groups.....5 minutes
- Comment by elected officials/government representatives.....7 minutes

**HISTORIC PRESERVATION COMMISSION
SPEAKER'S FORM**

If you wish to speak on an agenda item, please fill out this form and give it to a Historic Preservation staff person sitting at the left end of the table in the front of the auditorium prior to consideration of that item. The Historic Preservation Commission welcomes public testimony on most agenda items.

Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc). This provides a complete record and assists with future notification on this case. **This meeting is being recorded. For audio identification, please state your name and affiliation for the record the first time you speak on any item.**

DATE: 1/24/01

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: _____

Mont. Co Fire & Rescue Takoma Park station

NAME: Kathy Porter

COMPLETE MAILING ADDRESS: 7500 Maple Avenue

Takoma Park, MD 20912

REPRESENTING (INDIVIDUAL/ORGANIZATION): City of Takoma

Park

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
- Comment by affected property owners on Master Plan designation.....3 minutes
- Comment by adjacent owners/interested parties.....3 minutes
- Comment by citizens association/interested groups.....5 minutes
- Comment by elected officials/government representatives.....7 minutes

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25

----- X	:	
HISTORIC AREA WORK PERMITS -	:	HPC Case No. 37/3-99FF
29 PHILADELPHIA AVENUE	:	
----- X	:	
HISTORIC AREA WORK PERMITS -	:	HPC Case No. 37/3-99GG
7216 SPRUCE AVENUE	:	
----- X	:	
HISTORIC AREA WORK PERMITS -	:	HPC Case No. 35/13-99BB
6100 CONNECTICUT AVENUE	:	
CHEVY CHASE CLUB, INC.	:	
----- X	:	
HISTORIC AREA WORK PERMITS -	:	HPC Case No. 35/13-99AA
14 NEWLANDS	:	
----- X	:	
PRELIMINARY CONSULTATIONS -	:	Case #37/3
7201 CARROLL AVENUE	:	
----- X	:	
PRELIMINARY CONSULTATIONS -	:	
ONE NEWLANDS STREET	:	
----- X	:	

A meeting in the above-entitled matter was held on
December 1, 1999, commencing at 7:35 p.m., in the MRO
Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
20910, before:

ORIGINAL

Deposition Services, Inc.

CHAIRMAN

George Kousoulas

BOARD MEMBERS

Steven L. Spurlock

Lynne B. Watkins

Steven Breslin

Susan Velasquez

Marilyn DeReggi

Douglas A. Harbit

ALSO PRESENT:

Perry Kephart

Robin Ziek

APPEARANCES

STATEMENT OF:

PAGE

Mark Brodsky	13
Henri Tirtanadi	14
Robert L. Jones	16
Carol Stewart	33
Kent Abraham	34
Daryl Braithwaite	38
Bruce Williams	44
Lorraine Pearsall	45
Marcie Stickle	47
John Urciolo	48
Perry Johnson	50
Steve Lamphrier	65
Marcus Montgomery	73
Ned Sims	81
Megan Ruff	84
Curt Schreffler	88

1 green, yellow, and red -- is this to indicate whether we got
2 approval?

3 MR. KOUSOULAS: No --

4 MR. JONES: A little bit of Historic Preservation
5 Commission humor; sorry.

6 MR. KOUSOULAS: -- we'll keep it a secret until
7 next time.

8 MR. JONES: All right.

9 MR. BRODSKY: It's to tell you when to leave.

10 MR. KOUSOULAS: Okay, thank you.

11 MR. BRODSKY: Thank you.

12 MR. JONES: Thank you all very much.

13 MR. KOUSOULAS: Okay, this is a preliminary
14 consultation, A. Can we have a staff report?

15 MS. ZIEK: I'd just like to distribute some -- a
16 handout and there's some speaker forms.

17 The next project is a preliminary consultation in
18 the Takoma Park Historic District. The County is proposing
19 to modernize the existing fire station. This is a project
20 that has been ongoing for several years now in a study phase
21 and the Commission is being brought into the process now at
22 the point where the County is starting to get more serious
23 about it.

24 The feasibility study, which was prepared in '97,
25 was distributed to the Commission and I think that the whole

1 point of the feasibility study was to evaluate whether or not
2 a modern station could be -- or, a modern fire station could
3 function at this particular location.

4 I have slides to show you. The site of the fire
5 station is right in the middle of the historic district.
6 Takoma Park is a very dense -- it's one of our very dense
7 historic districts. The streets are, you know, more narrow
8 than not, as an older suburb, and I think that the County had
9 to be convinced to some degree that a fire station -- a
10 modernized fire station would work here, and that's why that
11 feasibility study was undertaken. The City was a partner in
12 that.

13 They did have a number of people identified as
14 "stakeholders." They did -- the Commission was not
15 identified as one of the stakeholders, but the Commission and
16 the Historic Area Work Permit process was noted many times --
17 or, several times in the feasibility study. So, this is a
18 continuation of that process. As a preliminary, they are
19 coming to you now for more specific direction and guidance
20 about a specific building; how to go forward with a design
21 for a specific building in this location.

22 And perhaps the Commission --, you know, there are
23 several ways to go. The Commission may, in this procedure,
24 want to discuss certainly the whole feasibility study. There
25 were several alternatives that were evaluated, and then there

1 were two schemes out of those number of scenarios that were
2 actually looked at in further depth -- in greater depth to,
3 again, test the potential for having a modernized fire
4 station.

5 And I basically described those two concepts -- I
6 focused more on that in my staff report. The Commission may
7 decide that any of the other concepts are also of interest to
8 you, and that's part of what you might decide tonight. You
9 may also want to discuss the specifics about those two
10 concepts which I present a little bit more on three -- Circle
11 3 of the staff report. And what I tried to describe in the
12 staff report were what I felt were the biggest issues, and,
13 of course, the community is here tonight to represent also
14 their concerns to you. The County, of course, is here to
15 represent where they are in the process and what they hope to
16 accomplish.

17 The specifics about the proposal include the
18 potential for demolition. One, demolition of the existing
19 fire station, although that's not a given. Again, that was a
20 potential in the different scenarios. So I want to show you
21 slides showing you what's there. I hope that there's an
22 opportunity for some or all of you to go out to the site and
23 get a good sense of the ground.

24 But in addition to either alterations -- well,
25 certainly alterations to the existing fire station and/or

1 demolition at the existing fire station, there's also the
2 potential for demolition of other resources in the district;
3 namely, two residential structures that are immediately to
4 the west or towards the downtown -- towards the Metro along
5 Carroll Avenue there are two small bungalows and I can show
6 you slides of those. And also there are commercial
7 structures immediately adjacent to the fire station on the
8 other side and I can show you some slides of that.

9 Topographically, one thing to note is that Carroll
10 Avenue is a high point through the district and the property
11 falls back rather quickly from Carroll Avenue along that
12 whole arc within the Takoma Junction area. So there is quite
13 a change in grade, which of course allows for lower basement
14 structures that are still above ground. There's a lot of
15 potential for development there.

16 So, perhaps if I show the slides first and let
17 everybody else speak. This is the Takoma Park Volunteer Fire
18 Department, established 1894. The new building -- revised
19 building done in the 50's is a revision of a 1928 stone
20 structure. The center bay of the original 1928 structure was
21 removed in the 50's for the modernization at that time. The
22 bays were at that point -- as the fire trucks keep getting
23 bigger, they door openings are consistently too small and
24 that's been an issue -- that was an issue in the 50's and
25 that's an issue now.

1 But the stone -- all the stone that you see is
2 original. The windows at the ground -- the first -- let's
3 call this the first -- the ground -- let's see, the first
4 floor level -- where the fire trucks enter; those windows
5 have all been replaced. Windows at the basement level you'll
6 see are still the original metal windows.

7 This is a view looking down the fire -- the west
8 side of the fire station looking down the parking lot and the
9 parking -- down to the parking lot and the residential area
10 is to the right.

11 This is a view down at the back of the building.
12 And this is -- it's rather wide at the back so this is sort
13 of shot in two sections and then the block building to the
14 right is actually the back of the commercial structure that's
15 immediately adjacent to the fire station. And this is just a
16 view from their backyard. You can see, again, how the
17 topography drops and, again, the property drops significantly
18 off to the right of this slide. There's a whole residential
19 neighborhood right below this. We're adjacent to backyards
20 that face another residential street.

21 This is just a view back on Carroll Avenue looking
22 at the fire station to the right, showing the adjacency of
23 the commercial structure to the left. It's an automobile
24 repair shop -- automotive shop. It's sort of a distance view
25 standing across the street. And just -- it's a non-

1 contributing structure in the historic district. It sits
2 back from Carroll enough for certainly parking. You can see
3 the fire station behind the truck.

4 And then on the -- again, on the left side of this
5 non-contributing structure, there is another automotive
6 business which, again, is set even further back on its lot.
7 And this is a little bit better view. The whole front is
8 used for the cars.

9 And then continuing eastward or toward New
10 Hampshire Avenue on Carroll Avenue, this is an open lot
11 that's currently owned by the City and which they hope or
12 intend and have been looking at various alternatives for
13 commercial development at this lot -- at this location. And
14 then the brick building beyond is now the location of the
15 Takoma Park Food Co-Op -- Takoma Park/Silver Spring Food Co-
16 Op.

17 This is just another view showing the -- sort of
18 the streetscape of the Junction. At this point I'm stepping
19 in the -- looking in the other direction now, looking west
20 along Carroll Avenue. I'm in the heart of the Junction at
21 the property that is the Co-Op looking back towards the gas
22 station and towards the intersection of East-West Highway and
23 Carroll Avenue.

24 Sort of jumping a little bit around but now we're
25 looking east at this point with the fire station to my back

1 here, looking at -- just to give you a sense of the
2 commercial development at the Junction and the adjacency of
3 residential structures.

4 The commercial area is right in the middle of a
5 residential area. As you know, most of the historic district
6 is residential. There are two little nodes that are
7 commercial.

8 This is the East-West Highway and the fire station
9 is immediately to the left off screen out of view here. And
10 this is the house that's immediately across from the parking
11 lot. It's a non-contributing structure, but most of the
12 other structures are contributing structures. More
13 residential.

14 Now these are the residences that are immediately
15 adjacent to the parking lot -- existing parking lot, which
16 are being proposed for acquisition and demolition. In one
17 scenario only this pink house -- it's a small one-story
18 bungalow. It's in rather good condition. The original
19 columns have been replaced. Side view, it's very close to
20 the parking area. This is the back with a -- you know,
21 little back porch -- two-story porch.

22 This is the second structure. In one scenario only
23 the pink house is purchased. In another scenario both lots
24 would be purchased and these buildings would be demolished.
25 And essentially the proposal would be that the building for

1 the -- the fire station would be expanded over towards some
2 part of the pink -- the lot that the pink house is on and
3 parking would -- you know, essentially that parking -- that
4 open parking lot area would be moved over onto this lot.

5 And this is the other bungalow. It's in rather
6 dismal condition. They're both contributing resources in the
7 historic district. This is the back.

8 And then this is the next structure in this line of
9 residences that just march down Carroll Avenue. There's no
10 proposal to have an impact on this structure per se. This is
11 -- but this would be the first residence then in the district
12 depending upon the scenario that will go forward.

13 Just some details of the fire station. It's --
14 with the brick surrounds and the stone building, the original
15 windows; metal with a steel plate. I tried to show there's
16 some deflection in most of the steel plates over the -- over
17 these openings. This is the side door.

18 Just another view of the side elevation. And just
19 a detail to show that I think if you look back here, I think
20 that most of this is what the original 1928 structure was.
21 And following this line of this parapet with the way the
22 stones come out, only at the very front portion here you can
23 see that part of the stone was removed, and that was probably
24 all part of when the original parapet and bell -- sort of a
25 tower -- was removed. But, other than that, it seems like

1 the stone portions are the 1928 original structure.

2 I wanted to note that the -- you know there are all
3 these decisions -- these different levels of decisions to be
4 made and just to note that the Takoma Park guidelines do
5 provide guidance for new construction in commercial areas and
6 the idea is that the new construction -- basically what would
7 be said in the Secretary of the Interior Standards, new
8 construction being compatible in terms of scale, massing, and
9 material. And that there is flexibility for, you know, new
10 design -- good design.

11 And as I said, I would be happy to answer any
12 questions. This is a preliminary consultation. They do have
13 a lot of hard questions to ask you and there are a lot of
14 people here who want to speak.

15 MR. KOUSOULAS: Thank you for that report. Any
16 questions of staff? Okay, we have plenty of speakers in the
17 audience. I'd like to call you up two or three at a time.
18 Kent Abraham, Daryl Braithwaite, and Carol Stewart.

19 MS. STEWART: Good evening. My name is Carol
20 Stewart. I'm a member of the Takoma Park City Council and I
21 also sit on the board of the Takoma Park Volunteer Fire
22 Department.

23 I think you have in your hands a resolution that
24 the City passed in 1997 -- September 1997 after the
25 feasibility study, which Kent and Daryl will be able to talk

1 to you about. Many people participated in this and as you
2 know Takoma Park includes its citizens to a very strong
3 degree in their discussions about what is going to happen --
4 what is to happen in Takoma Park.

5 And after all of the discussion and the feasibility
6 study, the resolution states the Council's approval of Scheme
7 B of the study. So, with that, there are a few things in the
8 report that I'm not sure I agree with.

9 I really think that given the study and all, we're
10 very excited about having the fire station and the location
11 where it is now -- it is a landmark in our city and it's been
12 there for so long and we really are excited about having a
13 new fire station with modern facilities that's adequate in
14 the same place. So at this point I'll turn it over to Kent
15 or Daryl; whoever wants to go first.

16 MR. ABRAHAM: My name is Kent Abraham. I'm an
17 architect in Takoma Park -- professor of architecture at
18 Catholic University. I'm on the board of directors of the
19 Takoma Community Development Corporation and I was contracted
20 by the City to essentially act as client for this study, so
21 I'm not here as an architect; I'm here as a client, I guess.

22 But there's a certain amount of background that I
23 think is important in this study and one item is that as
24 Robin pointed out, Takoma Park is a pretty fully developed
25 community. There's not a whole lot of open land in our town;

1 in fact, I think there's none. When the fire station -- when
2 the fire folks began exploring the possibility of expanding
3 the station because the current station is woefully
4 inadequate and is one of the most heavily used facilities in
5 the County, the first attempt was to find a place to put a
6 new station and there is no place in Takoma Park to put such
7 a station without some significant dismantling of existing
8 structures.

9 So the City Council funded this study. This is a
10 City study; not County study. And the intention of the study
11 was to find a way to keep the fire station where it has been
12 since the 1920's rather than to lose the fire station to a
13 neighboring property in Silver Spring which would have been
14 very unfortunate, considering how busy the current station
15 is.

16 Now the study, as Robin pointed out, included a
17 whole lot of various kinds of stakeholders and it was -- and
18 as Carol mentioned, we tried to get everybody represented in
19 one way or another. And it was a very thoroughly pursued
20 document, I think.

21 What you see, of course, is a feasibility study;
22 not an architectural design. But we looked at as many ways
23 as we could find to redevelop the fire station in essentially
24 the same location as it currently is. And the results were
25 run through as many community development organi -- community

1 organizations as we could find, including Historic Takoma,
2 Inc. and various others. And we think we've concluded with
3 the best possibility for retaining the fire station in Takoma
4 Park with this study.

5 The fire station, as it currently exists, is a very
6 inadequate structure and is in structurally dangerous
7 condition. In fact, during the course of our study, we found
8 a very dangerous condition and immediately had to add some
9 steel in the basement where water from washing the fire
10 trucks was causing the steel to, essentially, melt away right
11 under the fire station bay.

12 The current three bays in the station are about the
13 same width as two bays would be under the current County
14 requirements. So redesigning this facility was going to
15 require a considerable widening of the facility just in order
16 to deal with the truck bays.

17 In addition, we were trying in this study to
18 maintain -- because it was a feasibility study, we were
19 trying to maintain the current Montgomery County standards
20 for new fire stations as best we could, and that also
21 required considerable expansion of the square footage of the
22 facility.

23 So we were forced into looking at a facility that
24 would expand either to the left or the right, and I think
25 that Robin's report addresses that concern about the

1 possibility of looking toward the neighboring automotive
2 facility, which is actually the Healey Surgeons, or looking
3 in the other direction toward the two rather dilapidated
4 houses.

5 And I do want to add to Robin's report that among
6 other considerations, of course, for a facility like this is
7 money. The current facil -- the commercial facility to the
8 left of the Takoma Fire Station is a very healthy, thriving
9 ongoing commercial facility and the owner of that property
10 wanted a great deal of money to purchase him out. The
11 residences, obviously, are much less expensive. In addition,
12 there is some serious structural damage to the automotive
13 facility that would have to be dealt with and we are also
14 concerned about environmental problems from a facility that
15 has essentially been used for automotive purposes for all
16 these years.

17 So that has sort of generated the design as you
18 currently see it. Appearance issues, I think, are intended
19 at this point to be feasibility and not design, but we were
20 looking for a mechanism -- a design mechanism that might in
21 some way recall the historic nature of the fire station that
22 was brutalized in the 1950's for the current appearance. And
23 so the scheme that I think most people favor recalls in some
24 way the original appearance of the fire station with some
25 crenellations and towers. The intention was not to make it

1 historically replicative or pictorial or Disneyland-ish, but
2 rather to sort of recall our heritage from the past.

3 MS. BRAITHWAITE: My name is Daryl Braithwaite.
4 I'm with City staff that helped facilitate the coordination
5 of that City-funded study. There's really nothing I can add
6 that Kent hasn't already said, and I think he's said it quite
7 well, particularly putting in context the fact that the
8 City's exploration into this followed an effort by the Fire
9 and Rescue Commission to look at fire station services in
10 Silver Spring and Takoma Park. They had coordinated a joint
11 effort between our two jurisdictions for the sole purpose of
12 evaluating sites.

13 When it became apparent in that process that a fire
14 station in Takoma Park was really located currently where it
15 was going to have to stay; there wasn't acceptable sites in
16 other parts of the City for a variety of reasons including
17 the service call area location. It's really an ideal
18 location in terms of getting to the part of the County that
19 originally was Prince George's and is now Montgomery. So the
20 location is really a key factor in this study.

21 And I think the other point that Kent made was that
22 we did have various people around the table, both from County
23 as well as the volunteers in the community as well as
24 historic people -- with historic preservation concerns were
25 participants in that feasibility study which also entailed

1 public hearings, vast public comment, distribution of the
2 feasibility study before it was finalized and a lot of input
3 on behalf of residents and concerned parties around the City.

4 And, again, I think Kent's point is well made about
5 the real world scenario of taking a look at either side of
6 that building and determining which is most feasibility to
7 expand a facility that desperately needs to be renovated,
8 replaced and made much larger; not only for the vehicle
9 needs, but also for the staffing needs that the current fire
10 station is in needs or, and there's fireman here today who
11 can speak to that issue.

12 MR. KOUSOULAS: Thank you. Any questions of these
13 speakers?

14 MR. ABRAHAM: There is one other comment that I
15 neglected to make that was on my list of things to speak to,
16 and that is, Robin mentioned that the property falls away
17 extensively in the back and there is the possibility of some
18 under -- underbay space. In fact, the basketball court where
19 Steve Francis learned how to play basketball is under the
20 current facility. Of course, Montgomery County standards --
21 and I think national standards in fire stations strongly
22 discourage the use of the occupancy of space under a truck
23 bay. And if you see how large these trucks are getting to be
24 and how heavy they are, I think it's a pretty reasonable
25 standard, so we did not look to the scheme that used the

1 lower floor for any kind of serious occupation. I think it's
2 really seriously dangerous to do that. One of the schemes
3 looks at two-story scheme where the residences and some
4 offices would be on the upper level, but none of the schemes
5 at anything in the basement.

6 MR. HARBIT: I have one question. I heard you --
7 I'm from Takoma Park and I'm very much in favor of a
8 functioning fire station in my community, but I heard you say
9 that the reason that you were thinking about developing the
10 fire station more on the residential side than on the
11 commercial side was that you thought the commercial would be
12 more expensive to acquire. But at the same time it would
13 have more environmental hazards, which actually would
14 diminish its value, rather than enhance its value in terms of
15 its cost of acquisition. So I'm really wondering if there --
16 we're faced with a realistic trade-off here. I mean, the
17 commercial property, if it's going to be purchased and it has
18 environmental problems, those environmental -- the mitigation
19 of those problems would actually reduce its cost in terms of
20 acquisition.

21 So, I'm wondering if you've done a good analysis of
22 the acquisition cost of one side versus the other, or if you
23 just kind of assumed that the residential acquisition would
24 be cheaper?

25 MR. ABRAHAM: There was a considerable examination

1 of that in the early parts of the study. We haven't made
2 direct approaches to any of the property holders so obviously
3 we can't speak specifically to that, but we have had personal
4 conversations with the owner of the commercial property who
5 has indicated he has no particular interest in selling and he
6 would have to be bought out and he's indicated a price to us
7 which would be kind of stunning. My understanding is that at
8 least one of those two residential properties is already
9 owned by a family of one of the fire station people, so the
10 indication is that that would be somewhat easier to acquire.

11 And the study was done on that basis, although we
12 did lay out some schemes that looked at expanding into the
13 commercial property, and there are a number of reasons why
14 that's less advantageous; among them that puts the fire
15 station bay in a very poor -- it puts the drive-out in a very
16 poor location relative to the street patterns. And the fire
17 station people were not particular interested in moving the
18 fire station to the left, because where it currently stands,
19 as the doors open, the trucks are facing directly down
20 Philadelphia Avenue with an easy turn in either direction on
21 Carroll Avenue. If you move the station over to the left,
22 all the turning radius and the back-ins and so on gets much
23 more difficult. So the desire was to keep the station
24 roughly where it is, and that sort of drove everything else.

25 MR. HARBIT: I understand the location of -- the

1 need to have the bays right up Philadelphia, but isn't there
2 a significant addition on one side versus the other for
3 additional facilities in the design for -- I can't remember
4 exactly what it was, but as I recall it's not a totally
5 symmetrical building. It's a central bay, the brick facade
6 and then an extension and you're basically taking that
7 extension onto the residential side instead of to the
8 commercial side.

9 MR. ABRAHAM: I think the scheme that you're
10 looking at already has the extension on the commercial side -
11 - or, at least it has some on each side. I'm sorry, I don't
12 have the scheme in front of me and I -- it's been some time
13 since we went through 30 or 40 different alternatives, but --
14 and we have looked at both those possibilities, but this
15 seemed more feasible in the study to expand the way it's
16 shown.

17 MR. SPURLOCK: One quick question. The -- you made
18 the comment that these are feasibility studies, not design
19 proposals. Is that correct?

20 MR. ABRAHAM: Right.

21 MR. SPURLOCK: And the staff has made some comments
22 concerning the replicative design and perhaps it should be
23 more of our time. Is that something that will be considered
24 in the final design plan, or do you plan to pretty much draw
25 what you've shown us here in this feasibility study?

1 MR. ABRAHAM: No, I think that this is definitely a
2 feasibility study, and not an architectural design. But this
3 is really intended to prove the feasible status of the fire
4 station here and although the design was prepared in
5 consultation with Montgomery County Department of Fire and
6 Rescue, it was not done -- we did not go through their entire
7 review process for this thing, so if -- when this fire
8 station goes ahead, there will be undoubtedly considerable
9 more design work involved, and I would expect there'd be some
10 modifications. You know, at this point we don't know what
11 that is.

12 MS. BRAITHWAITE: The City undertook the
13 feasibility study for some obvious political as well as fact-
14 finding reasons. The process from here on is in the hands of
15 the County and the Fire/Rescue Commission to move forward
16 with the development of the building.

17 MR. ABRAHAM: So except for our review -- our
18 abilities to review the process and help -- guide it, it's
19 kind of out of hands.

20 MS. STEWART: I would just like to add, the City
21 has, as you know, very few businesses so it would be not to
22 the City's best advantage to lose two very successful
23 businesses by building to the left -- is it the left when
24 you're looking at it? So, that's another consideration that
25 we've thought about.

1 MR. KOUSOULAS: Okay, thank you very much. Bruce
2 Williams, Lorraine Pearsall, Jack Carson, and Trevor
3 Delafield.

4 MR. WILLIAMS: I'm Bruce Williams. I'm also on the
5 Takoma Park City Council. I just want to reiterate that in
6 the whole process of looking at this and thinking about going
7 left or going right, commercial, residential, you know we
8 hate to lose anything. And I think in the end we kind of
9 felt that it was going to be tough to lose that commercial
10 one particularly when we didn't know what we were going to be
11 doing beyond that with our lot. We still haven't figured out
12 what we're going to do with that. And it's a tough fight to
13 go either way, to lose something. And we ended up coming
14 down on the side of the commercial, to keep that.

15 One thing that occurred to me as there was a
16 question from Mr. Harbit, and I'm not sure on this, but my
17 recollection is in talking about mitigation of environmental
18 problems -- like I say, I could be wrong. My recollection is
19 that private entities have to deal with that, governmental
20 entities do not have to deal with that. So, it could be that
21 if the -- if it ended up that the fire station moved in that
22 direction, as far as the cost that would reduce the value of
23 acquiring that, it might be that the County -- Fire and
24 Rescue and the County would not have to pay to clean that up.
25 So it might not reduce that cost.

1 MR. HARBIT: Might not.

2 MR. WILLIAMS: That's my -- I'm not sure about
3 that, but I remember that there was that distinction between
4 public and private in terms of environmental clean-up. So,
5 it's -- that's just a question.

6 MS. PEARSALL: My name is Lorraine Pearsall. I'm
7 president of Historic Takoma and I have with me two of our
8 board members; Jack Carson and Trevor Delafield, also of
9 Historic Takoma.

10 I'd like to say that when this whole project came
11 up, certainly it's something that we looked at with a lot of
12 seriousness and when I look at the pictures of our fire
13 station, I'm very, very sad because we really lost in the
14 1950's a tremendously wonderful and unusual resource. And
15 because of that, as we thought about the whole issue of
16 remodeling and basically rebuilding this structure, we
17 realized that it was very important to keep the fire station
18 because its importance to the historic district is really at
19 this point what its value is.

20 And so we do strongly support keeping the fire
21 station where it is. We think that's absolutely critical.
22 We'd like to see as much of the stone -- the original stone
23 kept in the design as possible. We'd like to see the mantel
24 inside the building also saved. The design of the building
25 is also very, very importance to us and this is really --

1 what you see in the feasibility study is a concept plan. It
2 is not really a design and I want you to realize that. That
3 really these designs that you've seen have not necessarily
4 any grounding in reality and so, we are very interested in
5 knowing what the County is thinking of doing with the design
6 of this building and we feel very strongly that it needs to
7 be historically appropriate; it needs to be very attractive
8 because we've lost an important resource and this is an
9 important gateway to our commercial district. And so we'd
10 really like to see sufficient funding be sent -- perhaps more
11 than the norm -- to make this -- to give us back the resource
12 that we lost. So I want to stress that.

13 We'd like to be part of the process and we
14 haven't -- well, we've certainly -- I guess this is the
15 beginning of the process and we'd like to work more directly
16 with the County in coming up with this design and we'd like
17 to see more than one design brought forward.

18 We haven't taken a position on going yet to the
19 east or the west and that is a very difficult decision that
20 needs to be made with a lot of wisdom and balance. You know,
21 the -- it's not a comfortable thing to take down contributing
22 historic resources in Takoma Park. We've had more than our
23 share of historic resources taken away from us and so people
24 get very emotional about it, and I hear about that, and I
25 understand where people are coming from. On the other hand,

1 Historic Takoma is also part of the City's economic
2 development -- economic strategies committee and we feel very
3 strongly that we need a good main street; that our main
4 street needs revitalization. And so we're in favor of
5 businesses in the Junction, and the Junction is in a lot of
6 trouble. It needs help. So, it's a very delicate balance
7 that we need to strike here and we're not prepared to take a
8 position to the east or the west at this time, but we want
9 more information and we want to know how much space really is
10 needed to put in this parking, and do we really need to take
11 down both of those structures, can we maybe save the
12 contributing resources if we put a parking garage
13 underground; is it possible to do that; are there some clever
14 ways we could come up with that might save those contributing
15 resources and also not take away an economic resource. I'd
16 like to see more discussion about that, or more thought put
17 into that before we make a final decision and more questions
18 asked on this point.

19 I guess that's it. Do you guys have anything to
20 add?

21 MR. KOUSOULAS: Thank you. Okay, finally Marcie
22 Stickle and John Urciolo.

23 MS. STICKLE: I'm Marcie Stickle and I'm
24 essentially in accordance with what Historic Takoma's just
25 stated. I think it's a really good opportunity to replicate

1 historically what we can go back to the way the fire station
2 was and use the elements that are there replicated on a
3 larger scale; restore the arches and use the stones and use
4 all the elements that are there. That's an opportunity that
5 we should take advantage of.

6 And in order -- I would say that to consider using
7 the parking lot that exists between the Takoma Park/Silver
8 Spring Food Co-Op as a resource for parking, and I like the
9 idea of parking underground because the land does slope
10 beneath the fire station and it would be perfect to have
11 parking beneath there and then use the existing parking lot
12 and avoid using any contributing resources, whether
13 residential or economic. I think that's really important
14 here. Let's keep what we have and essentially I'm in
15 agreement with Historic Takoma's position.

16 MR. URCIOLO: My name is John Urciolo. I'm a
17 commercial property owner in Takoma Park and also the
18 chairman of the Citizen's Economic Development Committee for
19 the City of Takoma Park. As a property owner in terms of the
20 commercial -- taking -- going one way or the other -- as a
21 personal property owner, we really don't need to lose any
22 more commercial properties in Takoma. We need every one we
23 have to try to keep the economic viability of the City. So I
24 would probably be in favor personally of going in the
25 residential direction, rather than the commercial direction.

1 However, from the Citizen's Advisory Committee, we
2 are also very concerned about the commercial properties in
3 the City and if you will recall in the Master Plan when we
4 were up here a few weeks ago or a month ago, one of the
5 proposals was to combine or join Old Town and the Takoma
6 Junction and that is the existing part of Carroll Avenue.
7 And I think the Committee has -- one of the things we have is
8 that the sidewalk is narrow and we want to widen that
9 sidewalk and make it so that people can walk and there is a
10 main street really effect between the two commercial property
11 districts. So that with the fire station coming into the
12 residential area, it actually does kind of open that -- if
13 you drive down Carroll -- if you do all take this ride and
14 come down -- if you're coming down Carroll from Old Town, you
15 will see where if that's opened up, it will give that whole
16 area a whole different feel and we're very concerned about
17 the Junction. We have a City lot that needs to be developed.
18 We can't seem to get that going right now. We have a lot of
19 issues and this would -- actually if you just envision it
20 when you drive down, it would make a difference.

21 If you go to the other way, you're actually pushing
22 it further down and you're tightening it up a little bit more
23 and I don't think it's going to come out as nice as if you
24 come the other way. I mean, it's something to consider when
25 you're looking at the property.

1 Anyway, and that's about -- that's it.

2 MR. KOUSOULAS: Thank you. Would anyone else like
3 to speak on this matter? Okay, who on the Commission would
4 like to --

5 MS. ZIEK: Well, there's the applicant.

6 MR. KOUSOULAS: Oh, typically the applicants fill
7 out a form. I'm sorry. If the applicant would like to --

8 MS. ZIEK: Did you -- you filled out a form?

9 MR. JOHNSON: No, I didn't do that.

10 MS. ZIEK: Okay. Well, come up and speak and we'll
11 do the form later. Introduce yourself.

12 MR. JOHNSON: I'm Perry Johnson, the project
13 manager for Montgomery County and I think you're -- my name
14 is on the list or whatever you want to call it.

15 I just want to add that -- haven't been set. I was
16 not part of the original feasibility study, but if the two
17 things that come to mind when you look at the schemes -- by
18 the way I'm also an architect, so -- look at this. The
19 scheme -- the two schemes that were developed, A and B; B, if
20 the -- the main thing in a fire station if you -- is the
21 operation. With Scheme B you will keep all the relevant
22 operations on the same floor which as far as the daily
23 operation or in emergency, that is preferable as far as the
24 scheme on one floor. So that point needs to be sort of
25 considered as you talk about going east or west, which would

1 move you to acquire the two residential properties.

2 The second thing that was talked about here, if --
3 there was talk about parking lower level. If you do that,
4 the -- first of all, the cost of this -- the development of
5 this fire station is going to go up because that is not
6 included in the preliminary cost estimate for this station so
7 it -- and also, if you do that, considering the contours, I
8 think that's going to really impede the movement as far as --
9 if you look at the station today, it's very, very narrow on
10 the right side. So that -- as far as, again, the feasibility
11 of this station would be impeded if you do that.

12 So the scheme that comes to mind that as far as the
13 operation of the station is B that would be the most
14 appropriate to my mind. But that -- I just want to add those
15 words and since this is a feasibility, I realize you have to
16 keep an eye on that there was a lot of effort going into this
17 study to develop the scheme that we're talking about. I
18 don't think it's appropriate to say that this is not set in
19 stone, because the feasibility will be the guide for the
20 design of the station, so you have to keep that in mind.

21 Okay? I just wanted to --

22 MR. KOUSOULAS: Thank you. Any questions?

23 MS. VELASQUEZ: I do. What I'm hearing, and I
24 think you're the -- since you're the applicant, what I'm
25 hearing is if nothing happens to this station, it just will

1 go into disuse and there will be no fire station in Takoma
2 Park, is that correct? I was there. It's pretty
3 dilapidated.

4 MR. JOHNSON: Let me --

5 MS. VELASQUEZ: It's one of these schemes or
6 nothing, is basically it?

7 MR. JOHNSON: I would say as far as the -- yes, at
8 this point, yes definitely. From the point of view of the
9 County, that's what I'm saying.

10 MS. VELASQUEZ: I agree that the station really
11 needs to be completely redone. I was in it on Sunday and
12 it's just pretty scary and if that driver on the back of the
13 hook and ladder truck was one inch taller, he wouldn't be
14 able to get through that door, I'll tell you that.

15 At this stage, does it come back to us for design
16 guidelines at some point or --

17 MS. ZIEK: Well --

18 MS. VELASQUEZ: -- what happens next?

19 MS. ZIEK: -- this is a first preliminary
20 consultation. There are numerous open questions right now
21 that everybody's hoping will -- we can perhaps sort of pin
22 down. We've had projects that have come back for other
23 preliminary consultations. There's no reason why you
24 couldn't see it at other points through the design. I think
25 it's clear that people are saying that they don't have a

1 design now, so, you know, maybe it is appropriate that a
2 project of this scale and scope come back to you again when
3 they actually have a building that they want you to consider.
4 That's certainly possible. It's really up to you. But at
5 this point, everything is at the concept stage.

6 MS. VELASQUEZ: So what you're looking for is
7 guidelines on what we would -- what you think we would --
8 where we would agree to go with which direction we would be
9 willing to consider if other properties had to be acquired?

10 MR. JOHNSON: That's my understanding.

11 MS. VELASQUEZ: What materials, perhaps, to start
12 looking at?

13 MR. JOHNSON: Well, let me share this. I will be
14 the project manager through the design and construction.
15 What we usually do in -- throughout a schematic, there are
16 different stages of design for any building. So what we do,
17 we always include as many parties as possible for review so
18 it's not as if we're going to, you know, this is it. But
19 what I'm saying as far as the scheme, this has really been
20 thought through as far as the operation of the station.
21 That's what is so essential, which you have to keep in mind.

22 MS. ZIEK: In other words, what you've done is a
23 programmatic study at this point and you're satisfied that
24 you have that program established, you've got an
25 understanding of programmatic adjacencies that you'd like to

1 see happen, so that's actually a spatial concept right there,
2 and basically you know there's the concept of the demolition
3 involved. So there's the demolition of some contributing
4 resources that they're asking your consideration. Demolition
5 is the hardest decision, of course, that -- one of the
6 hardest decision the Commission would face, and the reasons
7 for demolition; there are some in our ordinance that allow
8 consideration for demolition based on the community benefits.
9 That's probably the guiding principle in this case.

10 MR. KOUSOULAS: I think the other thing the rest of
11 the Commissioners that aren't architects should keep in mind
12 is that every phase that you've heard about adds more and
13 more resolution and definition to this building as it
14 proceeds and you really can't move ahead to the next one
15 until you pin down some things in prior phases. It can't
16 proceed in parallel -- in several tracks. They need to have
17 some direction at this point.

18 MR. HARBIT: I -- for me it kind of breaks down to
19 the three things. It's, should there be a new fire station?
20 What would the design of the new fire station be? And what
21 would be the impact on the historic resources of that new
22 station? And at this point, it's a preliminary consultation
23 so we're not really telling you yes or no to a specific plan.
24 I think the best we can do is give you our individual
25 opinions about what we individually would prefer to see,

1 because we're not going to take a vote on this or that
2 because we don't really have anything to vote on tonight.

3 So, I'll tell you my individual perspective. My
4 individual perspective is that the fire station does need to
5 be repaired -- rebuilt. It's a critical element in the
6 preservation of a very large historic district, and that's
7 why the Takoma Park Historic District needs a good fire
8 station; to keep all those historic buildings standing.
9 That's an important consideration.

10 When it comes to the design and I know we're not
11 looking at a design here, but of the two designs that were
12 conceptualized, I personally favor Scheme B, which is what
13 the City Council had proposed, which would be reminiscent of
14 the original station.

15 Then the third question is, what's the impact on
16 the historic resources? And my biggest concern is that I
17 will need to be convinced that economically the fire station
18 is not feasible without taking historic resources. So I
19 would encourage the applicant to do a careful evaluation of
20 the cost of the entire project including acquisition, and
21 even though the commercial property owner to the left may
22 think his property is extremely valuable, I would encourage
23 you to take a look at the cost of mitigating the potential
24 environmental hazards that are there, because it is an
25 automobile shop and I do believe that would reduce the value

1 of the property -- the cost of mitigating that. And I guess
2 on balance, if I had the choice of cleaning up a potential
3 environment hazard and saving historic structures versus
4 leaving an environmental hazard and demolishing historic
5 structures, I'd do with the first. Clean up the problem and
6 keep the historic structures. But that's just me.

7 MS. DeREGGI: The problem here, of course, in
8 demolishing and reconstructing as closely as possible to the
9 historic structure, as they can be very misleading. And if
10 we follow the guidelines of the Department of Interior,
11 because of the requirements of the modern fire engines and
12 the width of the arches and doors, the building would not be
13 and could not be, I don't believe, faithful to the original
14 structure. And yet I understand the community's wish to have
15 that marvelous building reconstructed.

16 I don't know how to answer that. I think the most
17 important thing is that this is a fire station that is
18 serving a community and a real need. One has to look at the
19 serviceability and the safety of the people that are using
20 it. Any consideration that could be given to underground
21 parking, I think, should be thoroughly explored and
22 certainly, from my personal viewpoint, and not being a member
23 of the community, living right next to it, but form a visual
24 and historical perspective of that district, I would
25 certainly favor demolishing a non-contributing structure than

1 a contributing one for the charm of the village, for the
2 historic nature of the village.

3 Again, I would urge you to approach, discuss in
4 detail, look at all possibility of moving toward the empty
5 lot of the City. I see that empty lot as another -- as a
6 great opportunity to really beautify that section and to make
7 it revitalized at the same time. In other words, if you
8 could incorporate the business to the left of the fire
9 station and then continue the movement toward the open site
10 that the City owns in that planning effort, I think that you
11 could do some really very beautiful things there.

12 I'd like to hear other Commissioners comments on
13 this problem of reconstruction when you cannot follow
14 proportionally the design of the original. I'd just like to
15 hear other people's comments on that.

16 MR. BRESLIN: Okay, well I'll comment on that. I
17 think one of the charming things about Takoma Park is the
18 historic district doesn't try to be -- there's no one
19 prevalent style or historic time frame that is -- there's no
20 one particular style or time frame that is predominant in the
21 district. And when you go through there you see Victorian
22 houses and you see Craftsman and you see bungalows and you
23 see Colonials and you see Art Deco. You see all kinds of
24 things. And I would think this would be a tremendous
25 opportunity to have whatever new construction contribute its

1 time.

2 I, personally think recreating something that was
3 built, you know 60 or 80 years ago would be a mistake and I
4 think something of its time would be a tremendous asset and
5 just continue the time line that is so charming in Takoma
6 Park.

7 Something else about the streetscape is I think one
8 thing we would look for is the streetscape is broken up into
9 relatively small masses. It's all residential scale, and I
10 think --

11 MALE VOICE: Speak up a little bit. They can't
12 hear you in the back.

13 MR. BRESLIN: The streetscape is all residential
14 scale and the firehouse is one of the largest buildings on
15 the street. And I think you'd want to take great care of
16 making it a lot larger and I think there should be made an
17 attempt to keep a small scale; either breaking it up visually
18 or breaking it up physically. And as you go down the road,
19 taking the contributing resources and then putting in a
20 parking lot, I think you want to watch out and take care that
21 you're not absorbing too much of the streetscape.

22 MR. SPURLOCK: I don't know how many of you were in
23 the audience for the prior preliminary consultation but we
24 were discussing a house in Chevy Chase that had -- it was of
25 a modest scale and properly detailed and really sort of

1 appropriately detailed to its scale, and I think when I look
2 at this historic photograph, it's a beautifully scaled little
3 building, but it is a small modest-sized building. And then
4 when I look at this sort of enlargement of it, it looks out
5 of proportion and not properly to scale. I do think -- and
6 as Commissioner Breslin said -- that a building of lower in
7 scale, which is Scheme B, is a more appropriate direction to
8 take, and I certainly would be supportive of that as opposed
9 to a two-story structure.

10 And I do also feel that one can do a -- more of a --
11 - well, more of a design that's more of our time, perhaps
12 incorporating some of the historic materials as finishes and
13 that sort of thing but not necessarily do a reproduction or
14 an attempt at reproduction of the 1920's fire station. And I
15 do agree with Commissioner Breslin that it might be a big
16 mistake to do that. Takoma Park has a rich heritage and I
17 think it's appropriate to continue that and to, you know,
18 further that into the next -- into the next century.

19 In terms of the resources, I mean I think -- you
20 know, our purview is not always, you know -- obviously we
21 would have to approve demolishing historic resources, but you
22 know economics is not always our jurisdiction and I think
23 that might help you make an argument one way or the other,
24 but certainly that's not the final determining factor; at
25 least in my mind about how we would -- at least, how I would

1 proceed, or how I would vote on that issue.

2 MS. VELASQUEZ: I'm pretty much in agreement with
3 everything I'm hearing and especially, I think with
4 Commissioner Spurlock. I don't think it's fair to a
5 community to try to pretend something is old when it's not.
6 A hundred years from now whatever fire station is built is
7 going to be antique and it will be part of a historic
8 district all its own, no doubt.

9 I think that I would like to especially agree that
10 new construction should be of its own time; go ahead admit
11 its new, don't put a log cabin there, use as much of the old
12 material I think as if possible. I think you can use that
13 and still not -- and it doesn't have to be glass and chrome,
14 I mean, you know, to make it new. But instead of trying to
15 pretend it's the old fire station which was lost 40 years
16 ago, then just go ahead and admit that it's gone. Do
17 something sympathetic to the neighborhood.

18 I visited the site and my own perspective is I
19 would rather see the expansion go east, rather than west,
20 simply because, although that is apparently a valuable
21 commercial structure to the City as far as its economic base,
22 to me it's far less important visually and to the looks of
23 the neighborhood than the houses, which are on the west side.
24 So I'd rather see the expansion go to the east where the
25 commercial building is.

1 And also there seems to be more flat land there,
2 unless it's just built up with that building on it. But it
3 just seems to me, just the sense of it -- you can keep the
4 bays right here at Philadelphia Avenue and build the rest of
5 the living quarters somewhat off to the east, would make me
6 happier.

7 MS. WATKINS: I agree with what's been said by the
8 other Commissioners. I think an important thing to do is
9 thoroughly explore the parking options and really see what
10 they are, and that may lead us to a stronger opinion about
11 which buildings should be demolished and which should be
12 kept. And I agree that you're not going to be able to
13 recapture the past glory of the fire station and I think we
14 just have to look to the present to interpret it.

15 MR. KOUSOULAS: I'd like to address a couple
16 things. One, the idea of going in the direction of the two
17 houses and demolishing them. Typically, when we grant a
18 permit -- a work permit, most of our criteria has to do with
19 like it won't substantially alter the historic resource. And
20 you'd get a hard time proposing that and also demolishing the
21 resource at the same time. It's a pretty big semantic twist
22 to make that argument. But we do have one thing in our
23 ordinance where we balance the public interest in something
24 else with the public interest in the preservation. And if,
25 on balance, the public interest and the welfare is better

1 served by the demolition, we can also grant a permit in that
2 regard. And I think in the case of having a fire station
3 that works well, that functions well, and a neighborhood that
4 is maybe better served by a commercial enterprise that
5 persists as opposed to two houses that do have historic merit
6 but end up being demolished, I think on balance that the case
7 could be made for moving in the direction of the houses and
8 that this Commission could find for demolishing those houses
9 without ripping our ordinance apart. I mean, it provides for
10 something like this. So I think you need -- like you heard
11 from our first Commissioner speaking, you need to be able to
12 make that case rather strongly to see whether it's justified.

13 The other thing is the historic rendition in this
14 Scheme B, which I think is generally the way the building
15 lays out. It's a good scheme, but I think the scale of the
16 sketch is very hard to appreciate what this thing will look
17 like, and it won't look anything like what that original fire
18 station looked like. I mean if I'm -- talking about we're
19 moving the 1950's bays over -- in there and reproducing the
20 original ones as they appear in the old photo. I mean,
21 that's a lot like adding the tower to the Memorial Hall in
22 Harvard that had burned down. I mean, we go back and you
23 reproduce it; that's fine, but we're not talking about doing
24 that here. We're really recreating something fresh and I
25 would definitely avoid the appearance that is depicted in

1 this sketch here. It's an exciting opportunity. I mean,
2 there's a lot of stone there. There's a lot of
3 reconstruction that would be happening. Something really
4 interesting could be done with this fire station and I don't
5 think it will have anything to do with the little turrets and
6 crenellations and things that are going on in this sketch.

7 Do you have the direction you need, do you think?
8 I mean, we're basically just --

9 MR. JOHNSON: Well, I assume this is, like I said,
10 a consultation we're talking about and I will sort of go by
11 what I've heard and work from there. Like I said, this is --

12 MS. ZIEK: Well, one of the things that I just
13 heard was that the Commissioners feel they need more
14 information before they actually agree to the demolition as
15 proposed in Scheme B, and I've heard several Commissioners
16 say they'd like you to actually present more figures that --
17 in actuality, you may find that you can afford to expand --
18 they want you to undergo a study of dollar cost that they are
19 hoping you may find that you can expand to the east.

20 Is that something that you feel that you can
21 undertake, and then come back to the Commission with that
22 information?

23 MR. JOHNSON: Well, I just see that's what we need
24 to do, because what I've heard -- I mean, there are different
25 opinions that we're talking about, but in general -- sure, I

1 mean, in order to take the next step, that's what we need to
2 do and I just feel that that's what we'll do. And sort of
3 try to work within what we're talking about.

4 I -- again, this is a feasibility study and I'm
5 saying the cost that the County put in what we call a CIP --
6 capital improvement project -- program relates to this scheme
7 that we're talking about. The cost that we're talking about
8 as far as the land is not in the CIP, so I think that
9 factor -- we need to sort of keep that in mind what we're
10 talking about as far as the County. If it's -- again,
11 hypothetically, if it gets to be too much, Council might
12 reconsider some of these things that we're talking about.

13 So, I'm just sharing that with you. I don't know
14 right now. Like I said, I was not part of this study from
15 the beginning so I need to sort of step back. This is, to
16 me, good information that I need to work with and go from
17 there. So I'm just -- I need to leave it right there. I
18 don't think I can go any -- any other questions that you --

19 MR. KOUSOULAS: Well, one thing -- Commissioners
20 that didn't address this. One way to look at it, which has
21 nothing to do with the value of acquiring one site versus the
22 other is whether you feel that the stability of the
23 commercial aspect of Takoma Park and the commercial stretch
24 along here is of sufficient importance that you could make
25 that decision based just on that alone; that to lose two

1 houses is worth it to maintain something else here going on
2 in Takoma Park.

3 MS. VELASQUEZ: I can make that decision because I
4 do believe that we have to balance the economic good of all
5 the citizenry against just the aesthetic needs of a few. And
6 maybe these aesthetics are not nearly as important as the
7 economics to the City of Takoma Park. I don't have any
8 problem making that decision. I just want to see a better
9 plan just showing me is there a way that maybe we don't have
10 to take don't anything? Maybe there's not. But I wouldn't
11 have any -- I would do it with trepidation, but I still think
12 that if the only way we can get a good working firehouse in
13 Takoma Park is to demolish one small house next to it, I
14 would have to go along with that.

15 MR. JOHNSON: In general, as far as size for the
16 current station and the parking that is necessary and as far
17 as the staffing, to my understanding this is what you need.
18 And I just -- this is --

19 MR. LAMPHRIER: I'm Steve Lamphrier. I'm from
20 Montgomery County Fire/Rescue Service. Like Perry's the
21 project manager from Public Works and Transportation and
22 Fire/Rescue supports his department in projects like this and
23 we've -- two years ago and this is also before my time, so
24 I'm kind of learning about some of these things as we're
25 going here. I guess about two or three years ago the people

1 form the Takoma Park Volunteer Fire Department, the
2 Department of Fire/Rescue Services, the people from
3 Management and Budget, Department of Public Works and
4 ~~Transportation did go through and determine what the~~
5 requirements for the firehouse would be operationally, and
6 that's what this feasibility study was based upon; square
7 footage for locker rooms, square footage for offices, the
8 number of staff that would be there, the apparatus we run out
9 of that station. So that's all been determined and if you
10 remember -- I don't know, it's probably been four or five
11 years now, at least, there was some talk about consolidating
12 the station in Silver Spring at Georgia Avenue and Silver
13 Spring Avenue with the Takoma Park station and that's
14 beyond -- we've gone beyond that now. The County's decided
15 it's in the best interest to keep both stations. And now
16 we're also building a new station in Silver Spring also.

17 But since -- since we've moved beyond that, we've
18 decided we need two stations, we need to do something with
19 the Takoma Park station. And we don't want to move too far
20 without getting input from everybody that needs to give us
21 input.

22 MR. KOUSOULAS: Well, yeah I think the feasibility
23 study that's happened -- we shouldn't be in the position of
24 asking them to do more here. I mean, the study makes the
25 case for how much program they need and what needs -- where

1 it needs to fit. That's already happened. What seems to be
2 missing is the economic analysis of the land acquisition if
3 that's important to anyone, that would be a bit of
4 information we could use, but just to ask for the applicant
5 to come up with more justification for why they have to go
6 expand in either direction, I think we're beyond that. We
7 have everything in front of us.

8 Do you want to add anything?

9 MS. DeREGGI: Well, I'm just surprised to hear you
10 say that because we haven't had the questions which we asked
11 to the speakers tonight concerning the commercial property --
12 there was -- it was a very informal discussion apparently and
13 nothing substantial so that I, for one, would want to have
14 some more definite figures.

15 MS. BRAITHWAITE: Can I speak to that for a minute?
16 And, again, I apologize; it's been two years since this study
17 was done, so my memory is getting refreshed as we go along
18 and I didn't do what I needed to do prior to this meeting.

19 But, I'm very glad, Mr. Chairman, that you made
20 that point, and I think that if you were to read the
21 feasibility study that the City paid for and produced, you
22 would find that every question that you have answered --
23 asked has been answered in detail. And, in fact, the issue
24 of going towards the commercial property versus the
25 residential was looked at amongst more than practically a

1 dozen options that were initially investigated by the
2 architectural firm that was hired to evaluation this.

3 And part of the issue that they were working with
4 was a very specific set of program design requirements that
5 the County fire station -- Fire/Rescue Service laid out as
6 absolutely essential for a modern station. So they worked
7 within that guideline and tried to figure out what was the
8 best way they could wedge it in in this location. And after
9 several, several months of study and lots of evaluation of
10 the site, they determined that these were the only two ways
11 to put it in.

12 I heard reference tonight to underground parking,
13 back lot parking. Again, the feasibility study speaks to
14 that. In addition to a pretty significant slope as the lot
15 is going down, there's also a large sort of infill that
16 happened towards the back of that lot, so any kind of
17 underground work or further work underneath the foundation
18 was absolutely discouraged by the engineering firm that took
19 a look at these sites and the location of the property.
20 There is just soil instability in the back of the lot and we
21 need to stay away from the back of the lot in terms of
22 building and program establishment.

23 Also, when you take a look at that commercial lot,
24 we're talking about them as if you could go this way or that
25 way. The commercial wedge is very, very narrow as opposed to

1 the much wider wedges for those two residential lots on the
2 other side, so we're kind of comparing apples and oranges in
3 terms of directions you can go. That commercial wedge, as
4 you can see in one of Robin's slides, is an extremely narrow
5 lot, paralleled by another extremely narrow lot which doesn't
6 nearly give you the frontage as you would have on the other
7 side of the building.

8 The other thing that's been referred to this
9 evening is the parking lot -- or, the City-owned lot as if
10 it's a City-owned lot that's intended to stay vacant. It's
11 very much not intended to stay vacant. It's intended to be
12 an economic development site where buildings will sprout up
13 if we can find the right mix of commercial interests to make
14 that happen. There isn't room to go in that direction. In
15 fact, to go in that direction is to further bury the option
16 of the City to be able to develop that economic site. The
17 smaller we make it, the less likely we can get anything to be
18 built in there of any kind of economic nature, so we need to
19 not get any closer to that vacant lot. We really need to
20 pull back and let the businesses that are there exist and, in
21 fact, figure out a way to encourage a commercial owner to
22 come in and find that site attractive and to get any closer
23 to it, eliminates -- you're just getting less and less of an
24 availability for that to happen.

25 So there are some real issues in terms of space.

1 There's real issues in terms of structural integrity and the
2 lot size itself. And, again, the architects have fully
3 evaluated all these options, looked at the economic factors,
4 looked at the environmental factors, all that's within the
5 feasibility study that they produced for the City and if you
6 want us to go back and further reference that, we'd be happy
7 to work with the County and pull out those specific
8 references in the feasibility study itself, but it's all in
9 there. There was no way that the architect could have
10 produced a report that didn't ask all these very basic and
11 very obvious questions that would have had to have been
12 answered for the City to move forward in looking at where to
13 put this thing.

14 And it really is -- the motor on this thing is
15 being driven by the very real establishment of standards that
16 the County has for fire stations and we're all quite pleased
17 that the architect could find any way to fit in the limited
18 space that we have in Takoma Park -- that they were able to
19 figure out a way to make it work.

20 I think that's -- the only other point I wanted to
21 make and I think it's -- it just needs to be said again that
22 in terms of the scale of the building and the footprint of
23 the building, it's driven by County standards. It's also
24 driven by the service provided by that station. We can't
25 chose to make two bays instead of three. There's a service

1 load serviced out of that building that needs the bays, needs
2 the equipment that it has and we don't have an option to
3 reduce without impacting the stations around us, and we
4 provide service for areas outside the City of Takoma Park, so
5 the whole fire and rescue system is based on that
6 serviceability that Takoma Park station can give. So there -
7 - we don't have any flexibility in terms of removing
8 equipment or making it fit a little more neat and tidy into
9 the lot we currently have. We have to provide the level of
10 service and the level of vehicles that we have.

11 MR. KOUSOULAS: Thank you. Other comments? Okay,
12 thank you for coming in.

13 MR. LAMPRIER: Thank you.

14 MS. ZIEK: Mr. Chairman, do you want me to get that
15 group and --

16 MR. KOUSOULAS: Yeah, we'll take a five-minute
17 break to let them get in.

18 (Whereupon, a brief recess was taken.)


19 MR. KOUSOULAS: Okay, we're going to get started
20 again. We'll move onto Commission items right now. We need
21 to confirm the Board of Managers for the Village of Chevy
22 Chase.

23 MR. SPURLOCK: Mr. Chairman, I move that we confirm
24 all the members on the slate that was given to us by the
25 letter from Chevy Chase Village dated November 29th.

June 16, 2004

MEMORANDUM

TO: Montgomery County Historic Preservation Commission

FROM: Gwen Wright, Historic Preservation Supervisor 

SUBJECT: Briefing by County and City of Takoma Park Staff on the Takoma Park Fire Station Project on Carroll Avenue in the Takoma Park Historic District

BACKGROUND INFORMATION:

The existing Takoma Park Fire Station dates from 1928; however, the building was extensively altered in the 1950's. It is identified as a Contributing Resource in the Takoma Park Historic District.

In 1997, a detailed feasibility study was prepared which looked at variety of options for modernizing the fire station and increasing its ability to serve the Takoma Park area. The HPC was briefed on this feasibility study in December of 1999 and the transcript from that meeting is attached. A major issue of discussion during this 1999 meeting was the need to acquire more land for the project. Options for land acquisition involved either acquiring (and demolishing) a commercial building that is to the left of the existing fire station or acquiring (and demolishing) two houses that are to the right of the existing fire station. In 1999, the HPC recommended that acquisition efforts be focused on the commercial property.

In January 2001, the issue of the Takoma Park Fire Station again was discussed by the HPC. The transcript from this meeting is attached as well. The Commission supported the expansion option that took the residential properties to the right of the existing station and seemed open to approving demolition of both bungalows; however, they encouraged the applicant to consider opportunities to save at least one of the bungalows.

There was also a great deal of discussion about the design of the new station. The Commission felt that the design of the new station was very important. They encouraged the applicants to develop a design which recalled the historic appearance of the original 1928 fire station, but which was not replicative. Implicit in this discussion, but not clearly stated by any of the parties, is the understanding that the plan is to demolish most of the existing station (altered in the 1950s) and build a new station. This is not just an expansion or renovation; it's essentially a demolition and new construction project.

At the January 2001 meeting, there was also a great deal of testimony from Takoma Park officials and citizens in support of the project. They highlighted the amount of community discussion that had taken place to achieve some consensus.

CURRENT PROPOSAL:

This project is beginning to move forward again and the applicants are back to provide the HPC with information about this long and complex effort. Given that most of the current Commissioners were not at the previous meetings where this case was discussed, it is particularly important to understand the whole history of the project prior to any regulatory reviews.

The current proposal does involve significant demolition of the existing fire station (except for the wall of the station containing the original fireplace) and demolition of one bungalow to the right of the station. The second bungalow that had been considered for demolition will be retained and renovated. City of Takoma Park staff came to the HPC a couple of months ago and got a Historic Area Work Permit approval for this renovation.

The proposal also addresses a number of the HPC's other previous comments in terms of creating a design which recalls the original station but is not replicative and in terms of maintaining the streetscape along Carroll Avenue.

A letter from the applicant, a proposed site plan, and proposed elevations are attached.

STAFF RECOMMENDATION:

A great deal of progress has been made in addressing concerns raised by the HPC. The applicants will continue to work with historic preservation staff as they move forward for a Historic Area Work Permit and a Mandatory Referral before the Planning Board.

**MONTGOMERY COUNTY FIRE AND RESCUE SERVICE**

Douglas M. Duncan
County Executive

June 1, 2004

Gordon A. Aoyagi
Fire Administrator

Julia O'Malley, Chairperson
Montgomery County Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910

RE: Takoma Park Fire/Rescue Station Replacement

Dear Ms. O'Malley:

The Montgomery County, Maryland Fire and Rescue Service (MCFRS), via this letter, is pleased to provide the Historic Preservation Commission (HPC) with an update on the referenced project. Since the last time the MCFRS appeared before the HPC, there have been some changes within the HPC, including commissioners and staff. This being the case, this letter will first provide a brief summary of this project's past appearances before the HPC.

The MCFRS first appeared before the HPC in December 1999. At that time, the site plan for the fire station replacement included the demolition of two contributing resources to the historic district in which the station is located; the two properties being 7133 and 7135 Carroll Avenue (as a point of reference, both of these properties are located adjacent to the existing station). The site plan had been based upon the recommendations of a feasibility study conducted in 1997. Based upon the information provided, the HPC requested that the MCFRS reconsider acquiring the commercial property located on the opposite side of the existing station rather than acquiring and demolishing the two referenced contributing resources.

The MCFRS again appeared before the HPC in January 2001. At that time, the MCFRS had reevaluated the acquisition of the said commercial property and use that property in lieu of the two residential properties for the fire station expansion. At this meeting, the MCFRS stated that both the estimated increase in project cost via the expansion upon the commercial property and the fact that the commercial property also had an unwilling seller would further delay the project.



Office of the Fire Administrator

101 Monroe Street, 12th Floor • Rockville, Maryland 20850-2589
240/777-2400, TTY 240/777-0725, FAX 240/777-2443

TOTAL P.03

Julia O'Malley, Chairperson
Montgomery County Historic Preservation Commission
Takoma Park Fire/Rescue Station Replacement
June 1, 2004
Page 2

During its discussion, the HPC at its January 2001 meeting (and it is believed that this is being summarized correctly) provided the following guidance for the project:

- The HPC reluctantly agreed to utilize the residential contributing resources, while requesting that every effort be made to expand parking towards the back of the fire station rather than demolishing the contributing resource located at 7133 Carroll Avenue..
- The HPC noted that the fire station itself lost its historic value when it was remodeled in the 1950s. As such the HPC agreed that the fire station should be reconstructed utilizing a design that serves the needs of the fire department and that demolition of the existing facility is not a concern of the HPC.

Since MCFRS' last appearance before the HPC, the MCFRS has worked with various individuals and organizations within the Takoma Park community, via numerous meetings, to resolve many issues related to this project, including:

- A site plan that avoids the demolition of 7133 Carroll Avenue, and in fact, renovates the residence.
- A fire station design that avoids the demolition of the wall of the fire station containing the original fire place.
- A site plan and a fire station design, utilizing many traditional architectural features, that has the "buy in" of the community, in general, while meeting the needs of the fire department.

As you are aware, the City of Takoma Park and the County jointly appeared before the HPC on March 10, 2004, to discuss the renovation of 7133 Carroll Avenue. The HPC approved the renovation plans at that meeting.

The MCFRS looks forward to attending your meeting on Wednesday, June 23, 2004 to present this briefing. The following briefing outline is presented for your approval:

- Brief overview of the project as described above.
- Presentation of the revised site plan by the project architect/engineer.
- Presentation of the fire station elevation by the project architect/engineer with emphasis on the station's prominent features.

Julia O'Malley, Chairperson
Montgomery County Historic Preservation Commission
Takoma Park Fire/Rescue Station Replacement
June 1, 2004
Page 3

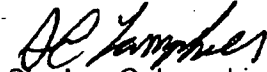
- Answer any questions presented by the HPC and discuss any guidance being provided to MCFRS by the HPC.

The MCFRS would like to recognize the Takoma Park community, the County's Department of Public Works and Transportation, the Park and Planning Commission, and the project's architects and engineers for moving this project forward.

A site plan and the station's front elevation are attached for inclusion in the HPC's staff report.

If you have any questions, please contact me at 240-777-2494. Thank you for your consideration.

Sincerely,

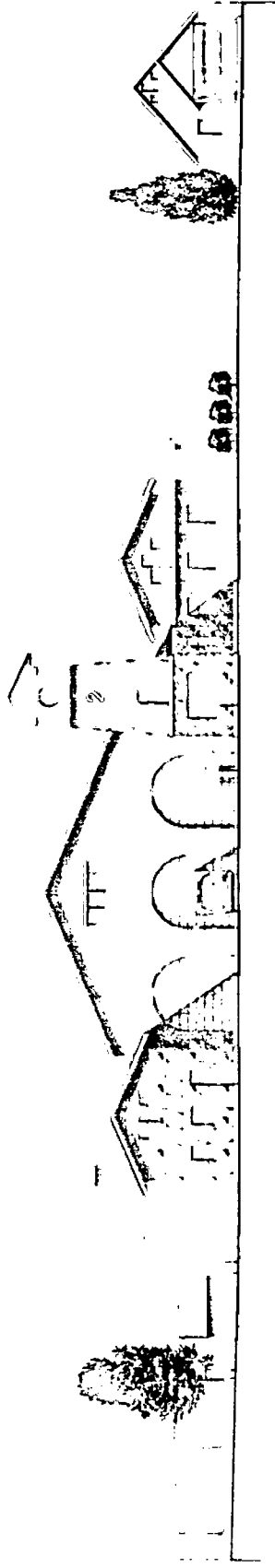


Stephen C. Lamphier
Fleet/Facilities Manager

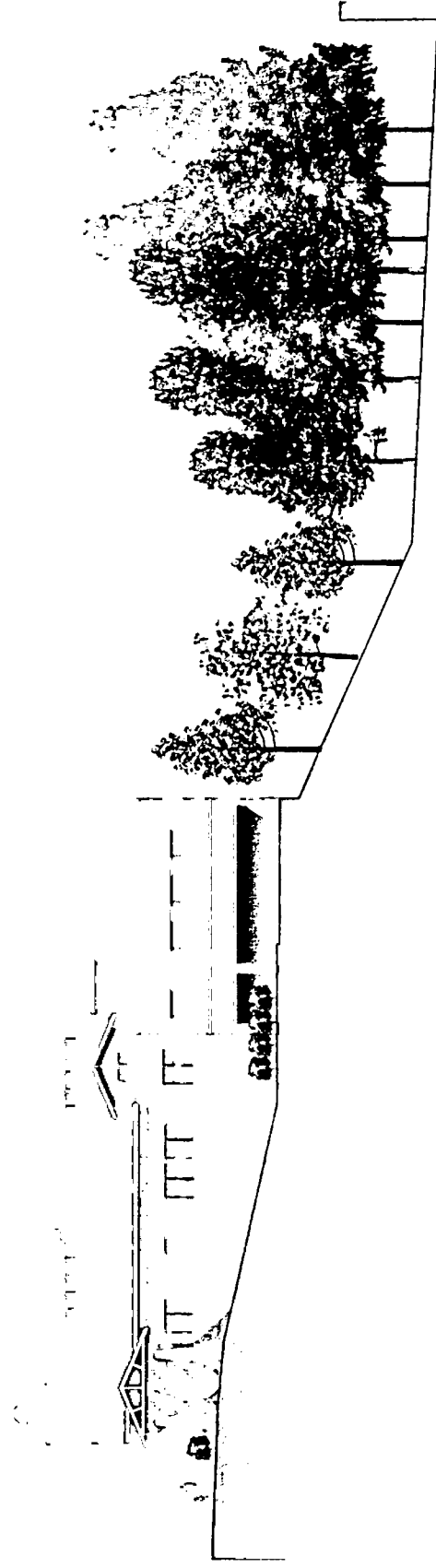
- cc:
- G. Aoyagi, MCFRS
 - R. Riffe, MCFRS
 - H. Razavi, DPWT/DCD/Design
 - K. Porter, City of Takoma Park
 - J. Austin-Lane, City of Takoma Park
 - R. Finn, City of Takoma Park
 - D. Braithwaite, City of Takoma Park
 - L. Pearsall, Historic Takoma
 - N. Martin, Old Town Carroll Neighborhood Association
 - E. Hamm, TPVFD
 - F. Probst, DFRS

attachments: Site Plan
Front Fire Station Elevation

Post-It® Fax Note	7671	Date	6/2/04	# of pages	3
To	Cover Wright	From			
Co./Dept.	MNCPPC - MC-HPC	Co.			
Phone #		Phone #			
Fax #	301 563 3412	Fax #			



NORTH ELEVATION



WEST ELEVATION

ELEVATIONS
 TAKOMA PARK FIRE STATION No 2
 MONTGOMERY COUNTY, MARYLAND
 01-15-03

MICHAEL HACKLEY
 ARCHITECT

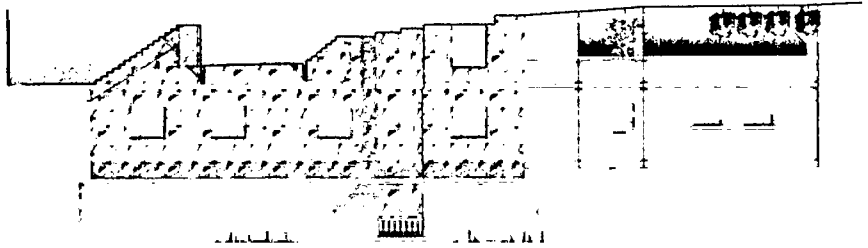


MICHAEL HACKLEY
ARCHITECT

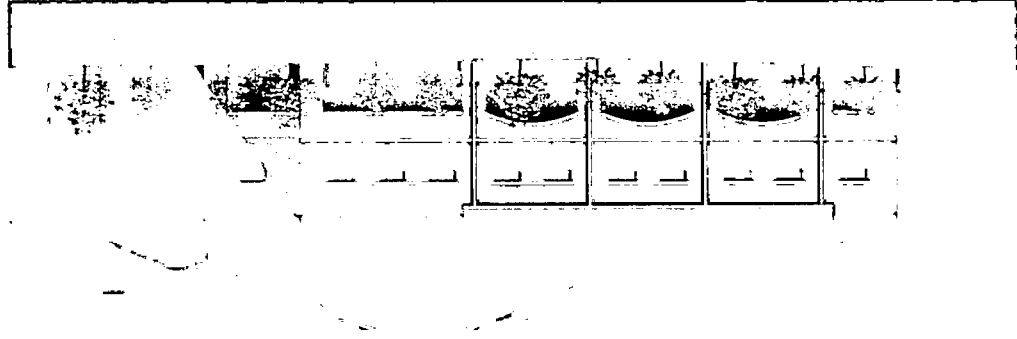
ELEVATIONS
TAKOMA PARK FIRE STATION NO 2
MONTGOMERY COUNTY, MARYLAND
01-16-03

ARCHITECT
MICHAEL HACKLEY

EAST ELEVATION



SOUTH ELEVATION



DECEMBER 1999 DISCUSSION

jd

1 green, yellow, and red -- is this to indicate whether we got
2 approval?

3 MR. KOUSOULAS: No --

4 MR. JONES: A little bit of Historic Preservation
5 Commission humor; sorry.

6 MR. KOUSOULAS: -- we'll keep it a secret until
7 next time.

8 MR. JONES: All right.

9 MR. BRODSKY: It's to tell you when to leave.

10 MR. KOUSOULAS: Okay, thank you.

11 MR. BRODSKY: Thank you.

12 MR. JONES: Thank you all very much.

13 MR. KOUSOULAS: Okay, this is a preliminary
14 consultation, A. Can we have a staff report?

15 MS. ZIEK: I'd just like to distribute some -- a
16 handout and there's some speaker forms.

17 The next project is a preliminary consultation in
18 the Takoma Park Historic District. The County is proposing
19 to modernize the existing fire station. This is a project
20 that has been ongoing for several years now in a study phase
21 and the Commission is being brought into the process now at
22 the point where the County is starting to get more serious
23 about it.

24 The feasibility study, which was prepared in '97,
25 was distributed to the Commission and I think that the whole

JANUARY 2001 DISCUSSION

jd

1 didn't --

2 MR. HARBIT: Thank you for coming to us early.

3 MS. BANFIELD: Oh, you're welcome. I've been
4 waiting --

5 MS. NARU: She had to wait until I came back from
6 holiday.

7 (Discussion off the record.)

8 MR. KOUSOULAS: Okay, the next case is in Takoma
9 Park. Can we have a staff report?

10 MS. ZIEK: This is the second preliminary
11 consultation for the Fire and Rescue Service for the county
12 addressing the new fire station that's proposed for the
13 Takoma Park City and it's in the Takoma Park Historic
14 District at 7201 Carroll Avenue.


15 This is Station No. 2. It's a contributing
16 resource in the historic district. The fire department has
17 been at this location since forever. The building that we
18 see now was built in 1927 or 28 and the site is very
19 important from everybody's perspective. It's on Carroll
20 Avenue facing Philadelphia Avenue, so for rapid response, the
21 fire station -- the fire trucks can go in any direction.

22 The building was modified in the 50's and the
23 original building was masonry and the center portion -- the
24 center bay was removed and the existing center bay is from
25 the 50's; a limestone panel. There is certainly much of the

June 16, 2004

MEMORANDUM

TO: Montgomery County Historic Preservation Commission

FROM: Gwen Wright, Historic Preservation Supervisor 

SUBJECT: Briefing by County and City of Takoma Park Staff on the Takoma Park Fire Station Project on Carroll Avenue in the Takoma Park Historic District

BACKGROUND INFORMATION:

The existing Takoma Park Fire Station dates from 1928; however, the building was extensively altered in the 1950's. It is identified as a Contributing Resource in the Takoma Park Historic District.

In 1997, a detailed feasibility study was prepared which looked at variety of options for modernizing the fire station and increasing its ability to serve the Takoma Park area. The HPC was briefed on this feasibility study in December of 1999 and the transcript from that meeting is attached. A major issue of discussion during this 1999 meeting was the need to acquire more land for the project. Options for land acquisition involved either acquiring (and demolishing) a commercial building that is to the left of the existing fire station or acquiring (and demolishing) two houses that are to the right of the existing fire station. In 1999, the HPC recommended that acquisition efforts be focused on the commercial property.

In January 2001, the issue of the Takoma Park Fire Station again was discussed by the HPC. The transcript from this meeting is attached as well. The Commission supported the expansion option that took the residential properties to the right of the existing station and seemed open to approving demolition of both bungalows; however, they encouraged the applicant to consider opportunities to save at least one of the bungalows.

There was also a great deal of discussion about the design of the new station. The Commission felt that the design of the new station was very important. They encouraged the applicants to develop a design which recalled the historic appearance of the original 1928 fire station, but which was not replicative. Implicit in this discussion, but not clearly stated by any of the parties, is the understanding that the plan is to demolish most of the existing station (altered in the 1950s) and build a new station. This is not just an expansion or renovation; it's essentially a demolition and new construction project.

At the January 2001 meeting, there was also a great deal of testimony from Takoma Park officials and citizens in support of the project. They highlighted the amount of community discussion that had taken place to achieve some consensus.

CURRENT PROPOSAL:

This project is beginning to move forward again and the applicants are back to provide the HPC with information about this long and complex effort. Given that most of the current Commissioners were not at the previous meetings where this case was discussed, it is particularly important to understand the whole history of the project prior to any regulatory reviews.

The current proposal does involve significant demolition of the existing fire station (except for the wall of the station containing the original fireplace) and demolition of one bungalow to the right of the station. The second bungalow that had been considered for demolition will be retained and renovated. City of Takoma Park staff came to the HPC a couple of months ago and got a Historic Area Work Permit approval for this renovation.

The proposal also addresses a number of the HPC's other previous comments in terms of ~~creating a design which recalls the original station but is not replicative and in terms of~~ maintaining the streetscape along Carroll Avenue.

A letter from the applicant, a proposed site plan, and proposed elevations are attached.

STAFF RECOMMENDATION:

A great deal of progress has been made in addressing concerns raised by the HPC. The applicants will continue to work with historic preservation staff as they move forward for a Historic Area Work Permit and a Mandatory Referral before the Planning Board.



MONTGOMERY COUNTY FIRE AND RESCUE SERVICE

Douglas M. Duncan
County Executive

Gordon A. Aoyagi
Fire Administrator

June 1, 2004

/Julia O'Malley, Chairperson
Montgomery County Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910

RE: Takoma Park Fire/Rescue Station Replacement

Dear Ms. O'Malley:

The Montgomery County, Maryland Fire and Rescue Service (MCFRS), via this letter, is pleased to provide the Historic Preservation Commission (HPC) with an update on the referenced project. Since the last time the MCFRS appeared before the HPC, there have been some changes within the HPC, including commissioners and staff. This being the case, this letter will first provide a brief summary of this project's past appearances before the HPC.

The MCFRS first appeared before the HPC in December 1999. At that time, the site plan for the fire station replacement included the demolition of two contributing resources to the historic district in which the station is located; the two properties being 7133 and 7135 Carroll Avenue (as a point of reference, both of these properties are located adjacent to the existing station). The site plan had been based upon the recommendations of a feasibility study conducted in 1997. Based upon the information provided, the HPC requested that the MCFRS reconsider acquiring the commercial property located on the opposite side of the existing station rather than acquiring and demolishing the two referenced contributing resources.

The MCFRS again appeared before the HPC in January 2001. At that time, the MCFRS had reevaluated the acquisition of the said commercial property and use that property in lieu of the two residential properties for the fire station expansion. At this meeting, the MCFRS stated that both the estimated increase in project cost via the expansion upon the commercial property and the fact that the commercial property also had an unwilling seller would further delay the project.



Office of the Fire Administrator

101 Monroe Street, 12th Floor • Rockville, Maryland 20850-2589
240/777-2400, TTY 240/777-0725, FAX 240/777-2443

TOTAL P.03

Julia O'Malley, Chairperson
Montgomery County Historic Preservation Commission
Takoma Park Fire/Rescue Station Replacement
June 1, 2004
Page 2

During its discussion, the HPC at its January 2001 meeting (and it is believed that this is being summarized correctly) provided the following guidance for the project:

- The HPC reluctantly agreed to utilize the residential contributing resources, while requesting that every effort be made to expand parking towards the back of the fire station rather than demolishing the contributing resource located at 7133 Carroll Avenue.
- The HPC noted that the fire station itself lost its historic value when it was remodeled in the 1950s. As such the HPC agreed that the fire station should be reconstructed utilizing a design that serves the needs of the fire department and that demolition of the existing facility is not a concern of the HPC.

Since MCFRS' last appearance before the HPC, the MCFRS has worked with various individuals and organizations within the Takoma Park community, via numerous meetings, to resolve many issues related to this project, including:

- A site plan that avoids the demolition of 7133 Carroll Avenue, and in fact, renovates the residence.
- A fire station design that avoids the demolition of the wall of the fire station containing the original fire place.
- A site plan and a fire station design, utilizing many traditional architectural features, that has the "buy in" of the community, in general, while meeting the needs of the fire department.

As you are aware, the City of Takoma Park and the County jointly appeared before the HPC on March 10, 2004, to discuss the renovation of 7133 Carroll Avenue. The HPC approved the renovation plans at that meeting.

The MCFRS looks forward to attending your meeting on Wednesday, June 23, 2004 to present this briefing. The following briefing outline is presented for your approval:

- Brief overview of the project as described above.
- Presentation of the revised site plan by the project architect/engineer.
- Presentation of the fire station elevation by the project architect/engineer with emphasis on the station's prominent features.

Julia O'Malley, Chairperson
 Montgomery County Historic Preservation Commission
 Takoma Park Fire/Rescue Station Replacement
 June 1, 2004
 Page 3

- Answer any questions presented by the HPC and discuss any guidance being provided to MCFRS by the HPC.

The MCFRS would like to recognize the Takoma Park community, the County's Department of Public Works and Transportation, the Park and Planning Commission, and the project's architects and engineers for moving this project forward.

A site plan and the station's front elevation are attached for inclusion in the HPC's staff report.

If you have any questions, please contact me at 240-777-2494. Thank you for your consideration.

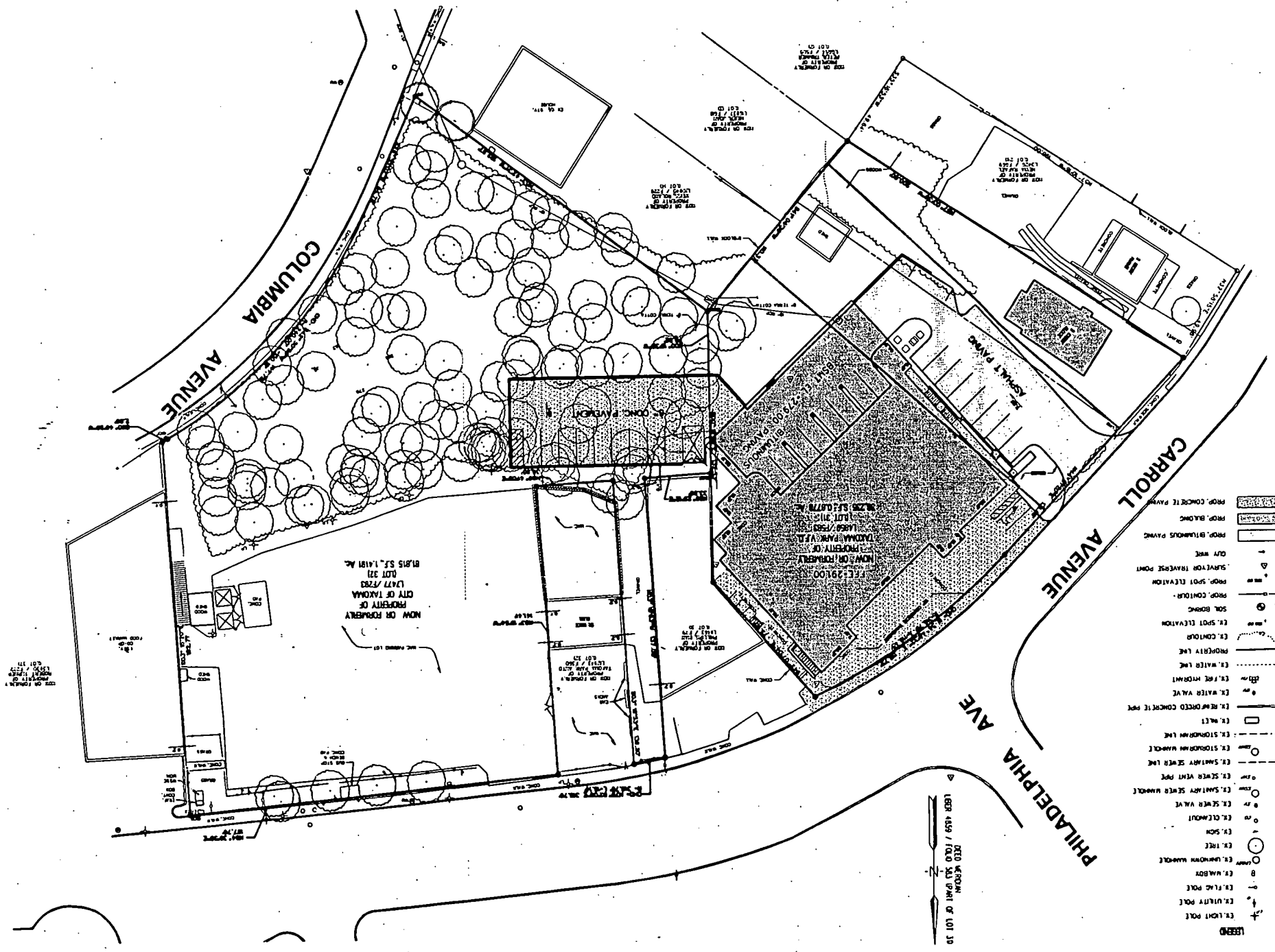
Sincerely,

Stephen C. Lamphier
 Stephen C. Lamphier
 Fleet/Facilities Manager

- cc:
- G. Aoyagi, MCFRS
 - R. Riffe, MCFRS
 - H. Razavi, DPWT/DCD/Design
 - K. Porter, City of Takoma Park
 - J. Austin-Lane, City of Takoma Park
 - R. Finn, City of Takoma Park
 - D. Braithwaite, City of Takoma Park
 - L. Pearsall, Historic Takoma
 - N. Martin, Old Town Carroll Neighborhood Association
 - E. Hamm, TPVFD
 - F. Probst, DFRS

attachments: Site Plan
 Front Fire Station Elevation

Post-it® Fax Note	7671	Date	6/2/04	# of pages	3
To	Gwen Wright	From			
Co./Dept.	MNCPPC - MC-HPC	Co.			
Phone #		Phone #			
Fax #	301 563 3412	Fax #			



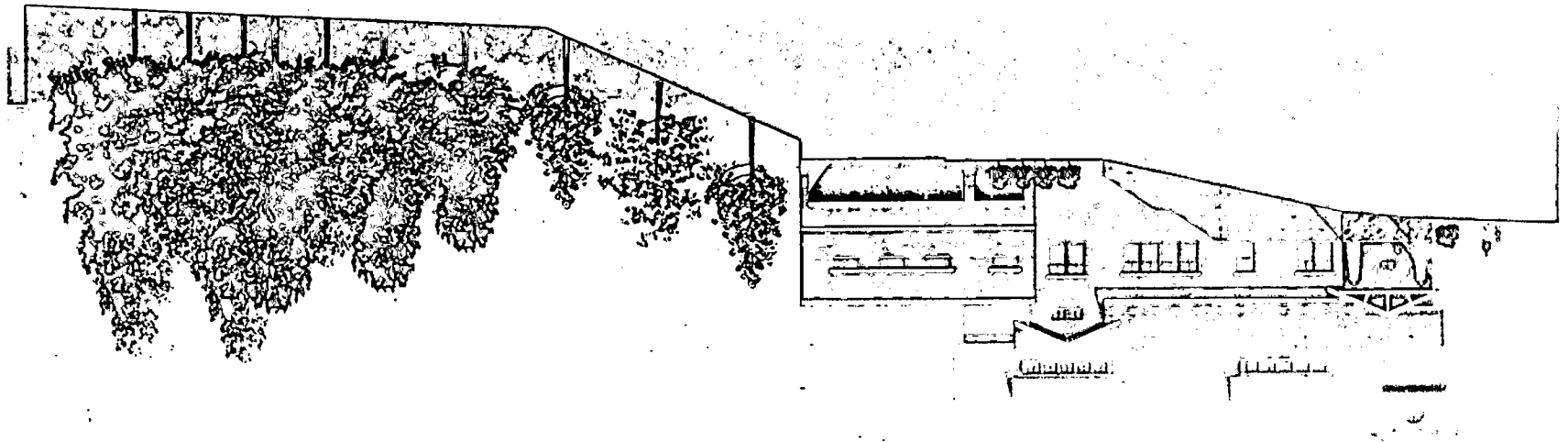
- LEGEND
 EX. LIGHT POLE
 EX. UTILITY POLE
 EX. T.M.C. POLE
 EX. W.A.B.O.N.
 EX. TREE
 EX. SIGN
 EX. CLEANOUT
 EX. SEWER VALVE
 EX. SANITARY SEWER MANHOLE
 EX. SEWER VENT PIPE
 EX. SANITARY SEWER LINE
 EX. STORAGE MANHOLE
 EX. STORAGE LINE
 EX. W.A.L.T.
 EX. REINFORCED CONCRETE POY
 EX. WATER VALVE
 EX. FEE HYDRANT
 EX. WATER LINE
 PROPERTY LINE
 EX. CONTOUR
 EX. SPOT ELEVATION
 SOIL BORING
 PROP. CONTOUR
 PROP. SPOT ELEVATION
 SLUICWAYOR TRAVELER POINT
 DIRT WALK
 PROP. BIUMINOUS PAVING
 PROP. BLDGING
 PROP. CONCRETE PAVING

1/8" = 1'-0"
 1/4" = 3'-0"
 1/2" = 6'-0"
 1" = 12'-0"
 2" = 24'-0"
 4" = 48'-0"
 8" = 96'-0"
 16" = 192'-0"
 32" = 384'-0"
 64" = 768'-0"
 128" = 1536'-0"
 256" = 3072'-0"
 512" = 6144'-0"
 1024" = 12288'-0"
 2048" = 24576'-0"
 4096" = 49152'-0"
 8192" = 98304'-0"
 16384" = 196608'-0"
 32768" = 393216'-0"
 65536" = 786432'-0"
 131072" = 1572864'-0"
 262144" = 3145728'-0"
 524288" = 6291456'-0"
 1048576" = 12582912'-0"
 2097152" = 25165824'-0"
 4194304" = 50331648'-0"
 8388608" = 100663296'-0"
 16777216" = 201326592'-0"
 33554432" = 402653184'-0"
 67108864" = 805306368'-0"
 134217728" = 1610612736'-0"
 268435456" = 3221225472'-0"
 536870912" = 6442450944'-0"
 1073741824" = 12884901888'-0"
 2147483648" = 25769803776'-0"
 4294967296" = 51539607552'-0"
 8589934592" = 103079215104'-0"
 17179869184" = 206158430208'-0"
 34359738368" = 412316860416'-0"
 68719476736" = 824633720832'-0"
 137438953472" = 1649267441664'-0"
 274877906944" = 3298534883328'-0"
 549755813888" = 6597069766656'-0"
 1099511627776" = 13194139533312'-0"
 2199023255552" = 26388279066624'-0"
 4398046511104" = 52776558133248'-0"
 8796093022208" = 105553116266496'-0"
 17592186044416" = 211106232532992'-0"
 35184372088832" = 422212465065984'-0"
 70368744177664" = 844424930131968'-0"
 140737488355328" = 1688849860263936'-0"
 281474976710656" = 3377699720527872'-0"
 562949953421312" = 6755399441055744'-0"
 1125899906842624" = 13510798882111488'-0"
 2251799813685248" = 27021597764222976'-0"
 4503599627370496" = 54043195528445952'-0"
 9007199254740992" = 108086391056891840'-0"
 18014398509481984" = 216172782113783680'-0"
 36028797018963968" = 432345564227567360'-0"
 72057594037927936" = 864691128455134720'-0"
 144115188075855872" = 1729382256910269440'-0"
 288230376151711744" = 3458764513820538880'-0"
 576460752303423488" = 6917529027641077760'-0"
 1152921504606846976" = 13835058055282155520'-0"
 2305843009213693952" = 27670116110564311040'-0"
 4611686018427387904" = 55340232221128622080'-0"
 9223372036854775808" = 110680464442257244160'-0"
 18446744073709551616" = 221360928884514488320'-0"
 36893488147419103232" = 442721857769028976640'-0"
 73786976294838206464" = 885443715538057953280'-0"
 147573952589676412928" = 1770887431076115906560'-0"
 295147905179352825856" = 3541774862152231813120'-0"
 5902958103587056517056" = 7083549724304463626240'-0"
 11805916207174113034112" = 14167099448608927252480'-0"
 23611832414348226068224" = 28334198897217854504960'-0"
 47223664828696452136448" = 56668397794435709009920'-0"
 94447329657392904272896" = 113336795588871418019840'-0"
 188894659314785808545792" = 226673591177742836039680'-0"
 377789318629571617091584" = 453347182355485672079360'-0"
 755578637259143234183168" = 906694364710971344158720'-0"
 1511157274518286468366336" = 1813388729421942688317440'-0"
 3022314549036572936732704" = 3626777458843885376634880'-0"
 6044629098073145873465408" = 7253554917687770753269760'-0"
 12089258196146291746930816" = 14507109835375541506539520'-0"
 24178516392292583493861632" = 29014219670751083013079040'-0"
 48357032784585166987723264" = 58028439341502166026158080'-0"
 96714065569170333975446528" = 116056878683004332052316160'-0"
 193428131138340667950893056" = 232113757366008664104632320'-0"
 386856262276681335901786112" = 464227514732017328209264640'-0"
 773712524553362671803572224" = 928455029464034656418529280'-0"
 1547425049106725343607144448" = 1856910058928069312837058560'-0"
 3094850098213450687214288896" = 3713820117856138625674117120'-0"
 6189700196426901374428577792" = 7427640235712277251348234240'-0"
 12379400392853802748857155584" = 14855280471424554502696468480'-0"
 24758800785707605497714311168" = 29710560942849109005392936960'-0"
 49517601571415210995428622336" = 59421121885698218010785873920'-0"
 99035203142830421990857244672" = 118842243771396436021571747840'-0"
 198070406285660843981714489344" = 237684487542792872043143495680'-0"
 396140812571321687963428978688" = 475368975085585744086286991360'-0"
 792281625142643375926857957376" = 950737950171171488172573982720'-0"
 1584563250285286751853715914752" = 1901475900342342973445147965440'-0"
 3169126500570573503707431829504" = 3802951800684685946890295930880'-0"
 6338253001141147007414863659008" = 7605903601369371893780591861760'-0"
 12676506002282294014829727318016" = 15211807202738743787561183723520'-0"
 25353012004564588029659454636032" = 30423614405477487575122367447040'-0"
 50706024009129176059318909272064" = 60847228810954975150244734894080'-0"
 101412048018258352118637818544128" = 121694457621909950300489469788160'-0"
 202824096036516704237275637088256" = 243388915243819900600978939576320'-0"
 405648192073033408474551274176512" = 486777830487639801201957879152640'-0"
 811296384146066816949102548353024" = 973555660975279602403915758305280'-0"
 1622592768322133633898205096706048" = 1947111321950559204807831516610560'-0"
 3245185536644267267796410193412096" = 3894222643901118409615663033221120'-0"
 6490371073288534535592820386824192" = 7788445287802236819231326066442240'-0"
 12980742146570669071185640773648384" = 15576890575604473638462652132884480'-0"
 25961484293141338142371281547296768" = 31153781151208947276925304265768960'-0"
 5192296858628267628474256289459536" = 62307562302417894553950608531537920'-0"
 1038459371725653525694851257891872" = 124615124604835789107901217063075840'-0"
 2076918743451307051389702515783744" = 249230249209671578215802434126151680'-0"
 4153837486902614102779405031567488" = 498460498419343156431604868252303360'-0"
 8307674973805228205558810063134976" = 996920996838686312863209736504606720'-0"
 16615349947610456411117620126269952" = 1993841993677372625726419473009213440'-0"
 33230699895220912822235240252539904" = 3987683987354745251452838946018426880'-0"
 66461399790441825644470480505079808" = 7975367974709490502905677892036853760'-0"
 132922799580883651288940961010159616" = 15950735949418981005811355784073707520'-0"
 265845599161767302577881922020319232" = 31901471898837962011622711568147415040'-0"
 531691198323534605155763844040638464" = 63802943797675924023245423136294830080'-0"
 1063382396647069210311527688081277216" = 127605887595351848046490846272589660160'-0"
 2126764793294138420623055376162554432" = 255211775190703696092981692545179320320'-0"
 4253529586588276841246111152325108864" = 510423550381407392185963385090358640640'-0"
 850705917317655368249222224651017728" = 1020847100762814784371926770180717281280'-0"
 1701411834635310736498444449302035456" = 2041694201525629568743853440361434562560'-0"
 3402823669270621472996888898604070912" = 4083388403051259137487706880722869125120'-0"
 6805647338541242945993777797208141824" = 8166776806102518274975413761445738250240'-0"
 13611294677082485891987555594416283648" = 16333573612205036549950827522891476500480'-0"
 27222589354164971783975111188832572896" = 32667147224410073099901655045782953000960'-0"
 5444517870832994356795022237766514592" = 65334294448820146199803310091565906001920'-0"
 10889035741665988713590044475533029184" = 130668588897640292399606620183131812003840'-0"
 21778071483331977427180088951066058368" = 261337177795280584799213240366263624007680'-0"
 43556142966663954854360177902132116736" = 522674355590561169598426480732527248015360'-0"
 87112285933327909708720355804264233472" = 1045348711181122339196852961465054496030720'-0"
 174224571866655819417440711608524466944" = 2090697422362244678393705922930108992061440'-0"
 348449143733311638834881423217048933888" = 4181394844724489356787411845860217984122880'-0"
 69689828746662327766976284643409787776" = 8362789689448978713574823691720435968245760'-0"
 139379657493324655533952573286819575552" = 167255793

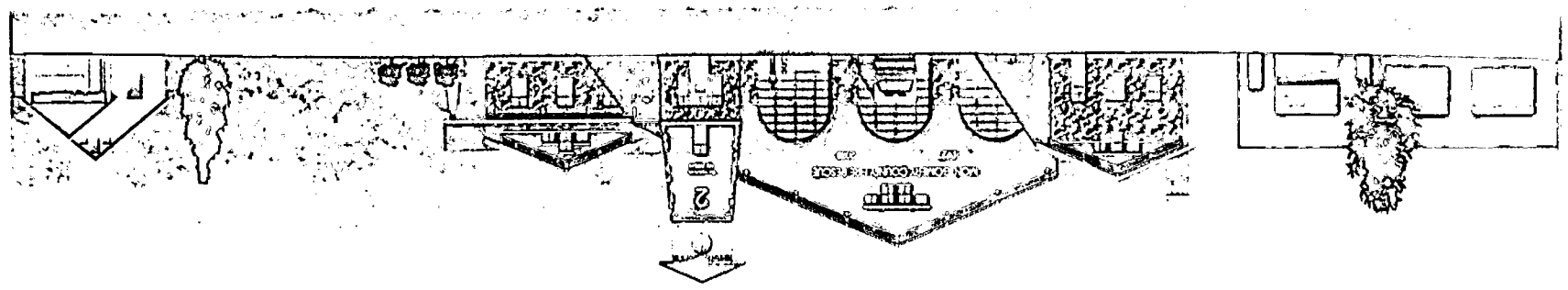
MICHAEL HACKLEY
ARCHITECT

ELEVATIONS
TAKOMA PARK FIRE STATION NO 2
MONTGOMERY COUNTY, MARYLAND
01-16-03

WEST ELEVATION



NORTH ELEVATION

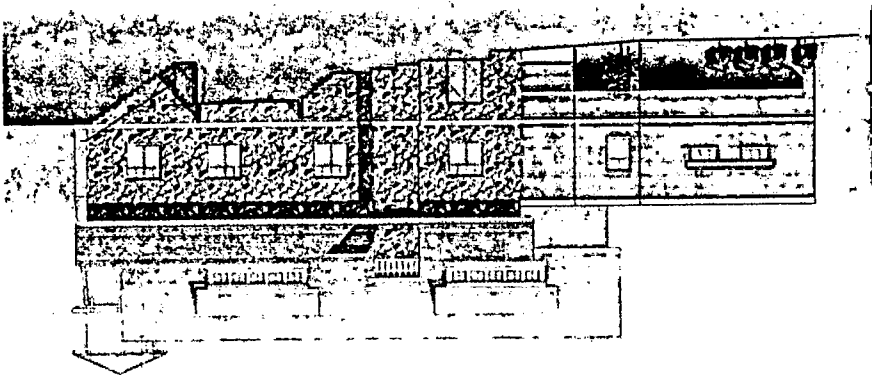


MICHAEL HACKLEY
ARCHITECT

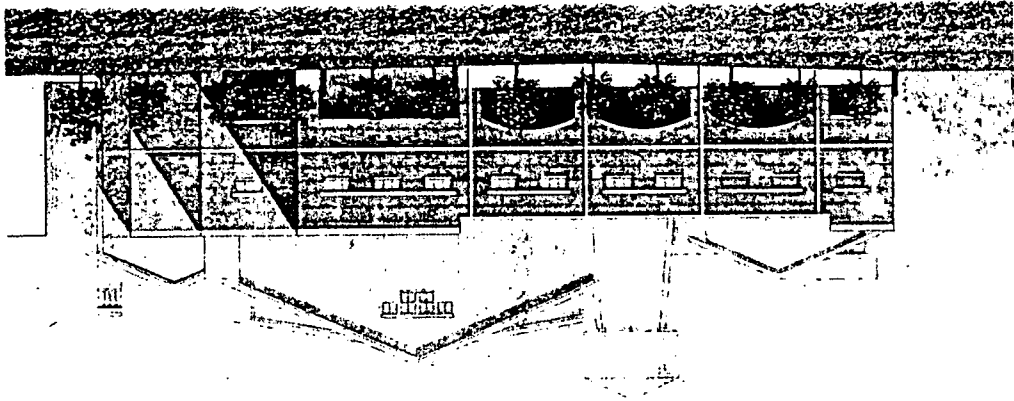
ELEVATIONS
TAKOMA PARK FIRE STATION NO 2
MONTGOMERY COUNTY, MARYLAND
01-16-03

01-16-03
01-16-03
01-16-03

EAST ELEVATION



SOUTH ELEVATION



DECEMBER 1999 DISCUSSION

25

jd

1 green, yellow, and red -- is this to indicate whether we got
2 approval?

3 MR. KOUSOULAS: No --

4 MR. JONES: A little bit of Historic Preservation
5 Commission humor; sorry.

6 MR. KOUSOULAS: -- we'll keep it a secret until
7 next time.

8 MR. JONES: All right.

9 MR. BRODSKY: It's to tell you when to leave.

10 MR. KOUSOULAS: Okay, thank you.

11 MR. BRODSKY: Thank you.

12 MR. JONES: Thank you all very much.

13 MR. KOUSOULAS: Okay, this is a preliminary
14 consultation, A. Can we have a staff report?

15 MS. ZIEK: I'd just like to distribute some -- a
16 handout and there's some speaker forms.

17 The next project is a preliminary consultation in
18 the Takoma Park Historic District. The County is proposing
19 to modernize the existing fire station. This is a project
20 that has been ongoing for several years now in a study phase
21 and the Commission is being brought into the process now at
22 the point where the County is starting to get more serious
23 about it.

24 The feasibility study, which was prepared in '97,
25 was distributed to the Commission and I think that the whole

1 point of the feasibility study was to evaluate whether or not
2 a modern station could be -- or, a modern fire station could
3 function at this particular location.

4 I have slides to show you. The site of the fire
5 station is right in the middle of the historic district.
6 Takoma Park is a very dense -- it's one of our very dense
7 historic districts. The streets are, you know, more narrow
8 than not, as an older suburb, and I think that the County had
9 to be convinced to some degree that a fire station -- a
10 modernized fire station would work here, and that's why that
11 feasibility study was undertaken. The City was a partner in
12 that.

13 They did have a number of people identified as
14 "stakeholders." They did -- the Commission was not
15 identified as one of the stakeholders, but the Commission and
16 the Historic Area Work Permit process was noted many times --
17 or, several times in the feasibility study. So, this is a
18 continuation of that process. As a preliminary, they are
19 coming to you now for more specific direction and guidance
20 about a specific building; how to go forward with a design
21 for a specific building in this location.

22 And perhaps the Commission --, you know, there are
23 several ways to go. The Commission may, in this procedure,
24 want to discuss certainly the whole feasibility study. There
25 were several alternatives that were evaluated, and then there

1 were two schemes out of those number of scenarios that were
2 actually looked at in further depth -- in greater depth to,
3 again, test the potential for having a modernized fire
4 station.

5 And I basically described those two concepts -- I
6 focused more on that in my staff report. The Commission may
7 decide that any of the other concepts are also of interest to
8 you, and that's part of what you might decide tonight. You
9 may also want to discuss the specifics about those two
10 concepts which I present a little bit more on three -- Circle
11 3 of the staff report. And what I tried to describe in the
12 staff report were what I felt were the biggest issues, and,
13 of course, the community is here tonight to represent also
14 their concerns to you. The County, of course, is here to
15 represent where they are in the process and what they hope to
16 accomplish.

17 The specifics about the proposal include the
18 potential for demolition. One, demolition of the existing
19 fire station, although that's not a given. Again, that was a
20 potential in the different scenarios. So I want to show you
21 slides showing you what's there. I hope that there's an
22 opportunity for some or all of you to go out to the site and
23 get a good sense of the ground.

24 But in addition to either alterations -- well,
25 certainly alterations to the existing fire station and/or

1 demolition at the existing fire station, there's also the
2 potential for demolition of other resources in the district;
3 namely, two residential structures that are immediately to
4 the west or towards the downtown -- towards the Metro along
5 Carroll Avenue there are two small bungalows and I can show
6 you slides of those. And also there are commercial
7 structures immediately adjacent to the fire station on the
8 other side and I can show you some slides of that.

9 Topographically, one thing to note is that Carroll
10 Avenue is a high point through the district and the property
11 falls back rather quickly from Carroll Avenue along that
12 whole arc within the Takoma Junction area. So there is quite
13 a change in grade, which of course allows for lower basement
14 structures that are still above ground. There's a lot of
15 potential for development there.

16 So, perhaps if I show the slides first and let
17 everybody else speak. This is the Takoma Park Volunteer Fire
18 Department, established 1894. The new building -- revised
19 building done in the 50's is a revision of a 1928 stone
20 structure. The center bay of the original 1928 structure was
21 removed in the 50's for the modernization at that time. The
22 bays were at that point -- as the fire trucks keep getting
23 bigger, they door openings are consistently too small and
24 that's been an issue -- that was an issue in the 50's and
25 that's an issue now.

1 But the stone -- all the stone that you see is
2 original. The windows at the ground -- the first -- let's
3 call this the first -- the ground -- let's see, the first
4 floor level -- where the fire trucks enter; those windows
5 have all been replaced. Windows at the basement level you'll
6 see are still the original metal windows.

7 This is a view looking down the fire -- the west
8 side of the fire station looking down the parking lot and the
9 parking -- down to the parking lot and the residential area
10 is to the right.

11 This is a view down at the back of the building.
12 And this is -- it's rather wide at the back so this is sort
13 of shot in two sections and then the block building to the
14 right is actually the back of the commercial structure that's
15 immediately adjacent to the fire station. And this is just a
16 view from their backyard. You can see, again, how the
17 topography drops and, again, the property drops significantly
18 off to the right of this slide. There's a whole residential
19 neighborhood right below this. We're adjacent to backyards
20 that face another residential street.

21 This is just a view back on Carroll Avenue looking
22 at the fire station to the right, showing the adjacency of
23 the commercial structure to the left. It's an automobile
24 repair shop -- automotive shop. It's sort of a distance view
25 standing across the street. And just -- it's a non-

1 contributing structure in the historic district. It sits
2 back from Carroll enough for certainly parking. You can see
3 the fire station behind the truck.

4 And then on the -- again, on the left side of this
5 non-contributing structure, there is another automotive
6 business which, again, is set even further back on its lot.
7 And this is a little bit better view. The whole front is
8 used for the cars.

9 And then continuing eastward or toward New
10 Hampshire Avenue on Carroll Avenue, this is an open lot
11 that's currently owned by the City and which they hope or
12 intend and have been looking at various alternatives for
13 commercial development at this lot -- at this location. And
14 then the brick building beyond is now the location of the
15 Takoma Park Food Co-Op -- Takoma Park/Silver Spring Food Co-
16 Op.

17 This is just another view showing the -- sort of
18 the streetscape of the Junction. At this point I'm stepping
19 in the -- looking in the other direction now, looking west
20 along Carroll Avenue. I'm in the heart of the Junction at
21 the property that is the Co-Op looking back towards the gas
22 station and towards the intersection of East-West Highway and
23 Carroll Avenue.

24 Sort of jumping a little bit around but now we're
25 looking east at this point with the fire station to my back

jd
1 here, looking at -- just to give you a sense of the
2 commercial development at the Junction and the adjacency of
3 residential structures.

4 The commercial area is right in the middle of a
5 residential area. As you know, most of the historic district
6 is residential. There are two little nodes that are
7 commercial.

8 This is the East-West Highway and the fire station
9 is immediately to the left off screen out of view here. And
10 this is the house that's immediately across from the parking
11 lot. It's a non-contributing structure, but most of the
12 other structures are contributing structures. More
13 residential.

14 Now these are the residences that are immediately
15 adjacent to the parking lot -- existing parking lot, which
16 are being proposed for acquisition and demolition. In one
17 scenario only this pink house -- it's a small one-story
18 bungalow. It's in rather good condition. The original
19 columns have been replaced. Side view, it's very close to
20 the parking area. This is the back with a -- you know,
21 little back porch -- two-story porch.

22 This is the second structure. In one scenario only
23 the pink house is purchased. In another scenario both lots
24 would be purchased and these buildings would be demolished.
25 And essentially the proposal would be that the building for

1 the -- the fire station would be expanded over towards some
2 part of the pink -- the lot that the pink house is on and
3 parking would -- you know, essentially that parking -- that
4 open parking lot area would be moved over onto this lot.

5 And this is the other bungalow. It's in rather
6 dismal condition. They're both contributing resources in the
7 historic district. This is the back.

8 And then this is the next structure in this line of
9 residences that just march down Carroll Avenue. There's no
10 proposal to have an impact on this structure per se. This is
11 -- but this would be the first residence then in the district
12 depending upon the scenario that will go forward.

13 Just some details of the fire station. It's --
14 with the brick surrounds and the stone building, the original
15 windows; metal with a steel plate. I tried to show there's
16 some deflection in most of the steel plates over the -- over
17 these openings. This is the side door.

18 Just another view of the side elevation. And just
19 a detail to show that I think if you look back here, I think
20 that most of this is what the original 1928 structure was.
21 And following this line of this parapet with the way the
22 stones come out, only at the very front portion here you can
23 see that part of the stone was removed, and that was probably
24 all part of when the original parapet and bell -- sort of a
25 tower -- was removed. But, other than that, it seems like

1 the stone portions are the 1928 original structure.

2 I wanted to note that the -- you know there are all
3 these decisions -- these different levels of decisions to be
4 made and just to note that the Takoma Park guidelines do
5 provide guidance for new construction in commercial areas and
6 the idea is that the new construction -- basically what would
7 be said in the Secretary of the Interior Standards, new
8 construction being compatible in terms of scale, massing, and
9 material. And that there is flexibility for, you know, new
10 design -- good design.

11 And as I said, I would be happy to answer any
12 questions. This is a preliminary consultation. They do have
13 a lot of hard questions to ask you and there are a lot of
14 people here who want to speak.

15 MR. KOUSOULAS: Thank you for that report. Any
16 questions of staff? Okay, we have plenty of speakers in the
17 audience. I'd like to call you up two or three at a time.
18 Kent Abraham, Daryl Braithwaite, and Carol Stewart.

19 MS. STEWART: Good evening. My name is Carol
20 Stewart. I'm a member of the Takoma Park City Council and I
21 also sit on the board of the Takoma Park Volunteer Fire
22 Department.

23 I think you have in your hands a resolution that
24 the City passed in 1997 -- September 1997 after the
25 feasibility study, which Kent and Daryl will be able to talk

1 to you about. Many people participated in this and as you
2 know Takoma Park includes its citizens to a very strong
3 degree in their discussions about what is going to happen --
4 what is to happen in Takoma Park.

5 And after all of the discussion and the feasibility
6 study, the resolution states the Council's approval of Scheme
7 B of the study. So, with that, there are a few things in the
8 report that I'm not sure I agree with.

9 I really think that given the study and all, we're
10 very excited about having the fire station and the location
11 where it is now -- it is a landmark in our city and it's been
12 there for so long and we really are excited about having a
13 new fire station with modern facilities that's adequate in
14 the same place. So at this point I'll turn it over to Kent
15 or Daryl; whoever wants to go first.

16 MR. ABRAHAM: My name is Kent Abraham. I'm an
17 architect in Takoma Park -- professor of architecture at
18 Catholic University. I'm on the board of directors of the
19 Takoma Community Development Corporation and I was contracted
20 by the City to essentially act as client for this study, so
21 I'm not here as an architect; I'm here as a client, I guess.

22 But there's a certain amount of background that I
23 think is important in this study and one item is that as
24 Robin pointed out, Takoma Park is a pretty fully developed
25 community. There's not a whole lot of open land in our town;

1 in fact, I think there's none. When the fire station -- when
2 the fire folks began exploring the possibility of expanding
3 the station because the current station is woefully
4 inadequate and is one of the most heavily used facilities in
5 the County, the first attempt was to find a place to put a
6 new station and there is no place in Takoma Park to put such
7 a station without some significant dismantling of existing
8 structures.

9 So the City Council funded this study. This is a
10 City study; not County study. And the intention of the study
11 was to find a way to keep the fire station where it has been
12 since the 1920's rather than to lose the fire station to a
13 neighboring property in Silver Spring which would have been
14 very unfortunate, considering how busy the current station
15 is.

16 Now the study, as Robin pointed out, included a
17 whole lot of various kinds of stakeholders and it was -- and
18 as Carol mentioned, we tried to get everybody represented in
19 one way or another. And it was a very thoroughly pursued
20 document, I think.

21 What you see, of course, is a feasibility study;
22 not an architectural design. But we looked at as many ways
23 as we could find to redevelop the fire station in essentially
24 the same location as it currently is. And the results were
25 run through as many community development organi -- community

1 organizations as we could find, including Historic Takoma,
2 Inc. and various others. And we think we've concluded with
3 the best possibility for retaining the fire station in Takoma
4 Park with this study.

5 The fire station, as it currently exists, is a very
6 inadequate structure and is in structurally dangerous
7 condition. In fact, during the course of our study, we found
8 a very dangerous condition and immediately had to add some
9 steel in the basement where water from washing the fire
10 trucks was causing the steel to, essentially, melt away right
11 under the fire station bay.

12 The current three bays in the station are about the
13 same width as two bays would be under the current County
14 requirements. So redesigning this facility was going to
15 require a considerable widening of the facility just in order
16 to deal with the truck bays.

17 In addition, we were trying in this study to
18 maintain -- because it was a feasibility study, we were
19 trying to maintain the current Montgomery County standards
20 for new fire stations as best we could, and that also
21 required considerable expansion of the square footage of the
22 facility.

23 So we were forced into looking at a facility that
24 would expand either to the left or the right, and I think
25 that Robin's report addresses that concern about the

1 possibility of looking toward the neighboring automotive
2 facility, which is actually the Healey Surgeons, or looking
3 in the other direction toward the two rather dilapidated
4 houses.

5 And I do want to add to Robin's report that among
6 other considerations, of course, for a facility like this is
7 money. The current facil -- the commercial facility to the
8 left of the Takoma Fire Station is a very healthy, thriving
9 ongoing commercial facility and the owner of that property
10 wanted a great deal of money to purchase him out. The
11 residences, obviously, are much less expensive. In addition,
12 there is some serious structural damage to the automotive
13 facility that would have to be dealt with and we are also
14 concerned about environmental problems from a facility that
15 has essentially been used for automotive purposes for all
16 these years.

17 So that has sort of generated the design as you
18 currently see it. Appearance issues, I think, are intended
19 at this point to be feasibility and not design, but we were
20 looking for a mechanism -- a design mechanism that might in
21 some way recall the historic nature of the fire station that
22 was brutalized in the 1950's for the current appearance. And
23 so the scheme that I think most people favor recalls in some
24 way the original appearance of the fire station with some
25 crenellations and towers. The intention was not to make it

1 historically replicative or pictorial or Disneyland-ish, but
2 rather to sort of recall our heritage from the past.

3 MS. BRAITHWAITE: My name is Daryl Braithwaite.
4 I'm with City staff that helped facilitate the coordination
5 of that City-funded study. There's really nothing I can add
6 that Kent hasn't already said, and I think he's said it quite
7 well, particularly putting in context the fact that the
8 City's exploration into this followed an effort by the Fire
9 and Rescue Commission to look at fire station services in
10 Silver Spring and Takoma Park. They had coordinated a joint
11 effort between our two jurisdictions for the sole purpose of
12 evaluating sites.

13 When it became apparent in that process that a fire
14 station in Takoma Park was really located currently where it
15 was going to have to stay; there wasn't acceptable sites in
16 other parts of the City for a variety of reasons including
17 the service call area location. It's really an ideal
18 location in terms of getting to the part of the County that
19 originally was Prince George's and is now Montgomery. So the
20 location is really a key factor in this study.

21 And I think the other point that Kent made was that
22 we did have various people around the table, both from County
23 as well as the volunteers in the community as well as
24 historic people -- with historic preservation concerns were
25 participants in that feasibility study which also entailed

1 public hearings, vast public comment, distribution of the
2 feasibility study before it was finalized and a lot of input
3 on behalf of residents and concerned parties around the City.

4 And, again, I think Kent's point is well made about
5 the real world scenario of taking a look at either side of
6 that building and determining which is most feasibility to
7 expand a facility that desperately needs to be renovated,
8 replaced and made much larger; not only for the vehicle
9 needs, but also for the staffing needs that the current fire
10 station is in needs or, and there's fireman here today who
11 can speak to that issue.

12 MR. KOUSOULAS: Thank you. Any questions of these
13 speakers?

14 MR. ABRAHAM: There is one other comment that I
15 neglected to make that was on my list of things to speak to,
16 and that is, Robin mentioned that the property falls away
17 extensively in the back and there is the possibility of some
18 under -- underbay space. In fact, the basketball court where
19 Steve Francis learned how to play basketball is under the
20 current facility. Of course, Montgomery County standards --
21 and I think national standards in fire stations strongly
22 discourage the use of the occupancy of space under a truck
23 bay. And if you see how large these trucks are getting to be
24 and how heavy they are, I think it's a pretty reasonable
25 standard, so we did not look to the scheme that used the

1 lower floor for any kind of serious occupation. I think it's
2 really seriously dangerous to do that. One of the schemes
3 looks at two-story scheme where the residences and some
4 offices would be on the upper level, but none of the schemes
5 at anything in the basement.

6 MR. HARBIT: I have one question. I heard you --
7 I'm from Takoma Park and I'm very much in favor of a
8 functioning fire station in my community, but I heard you say
9 that the reason that you were thinking about developing the
10 fire station more on the residential side than on the
11 commercial side was that you thought the commercial would be
12 more expensive to acquire. But at the same time it would
13 have more environmental hazards, which actually would
14 diminish its value, rather than enhance its value in terms of
15 its cost of acquisition. So I'm really wondering if there --
16 we're faced with a realistic trade-off here. I mean, the
17 commercial property, if it's going to be purchased and it has
18 environmental problems, those environmental -- the mitigation
19 of those problems would actually reduce its cost in terms of
20 acquisition.

21 So, I'm wondering if you've done a good analysis of
22 the acquisition cost of one side versus the other, or if you
23 just kind of assumed that the residential acquisition would
24 be cheaper?

25 MR. ABRAHAM: There was a considerable examination

1 of that in the early parts of the study. We haven't made
2 direct approaches to any of the property holders so obviously
3 we can't speak specifically to that, but we have had personal
4 conversations with the owner of the commercial property who
5 has indicated he has no particular interest in selling and he
6 would have to be bought out and he's indicated a price to us
7 which would be kind of stunning. My understanding is that at
8 least one of those two residential properties is already
9 owned by a family of one of the fire station people, so the
10 indication is that that would be somewhat easier to acquire.

11 And the study was done on that basis, although we
12 did lay out some schemes that looked at expanding into the
13 commercial property, and there are a number of reasons why
14 that's less advantageous; among them that puts the fire
15 station bay in a very poor -- it puts the drive-out in a very
16 poor location relative to the street patterns. And the fire
17 station people were not particular interested in moving the
18 fire station to the left, because where it currently stands,
19 as the doors open, the trucks are facing directly down
20 Philadelphia Avenue with an easy turn in either direction on
21 Carroll Avenue. If you move the station over to the left,
22 all the turning radius and the back-ins and so on gets much
23 more difficult. So the desire was to keep the station
24 roughly where it is, and that sort of drove everything else.

25 MR. HARBIT: I understand the location of -- the

1 need to have the bays right up Philadelphia, but isn't there
2 a significant addition on one side versus the other for
3 additional facilities in the design for -- I can't remember
4 exactly what it was, but as I recall it's not a totally
5 symmetrical building. It's a central bay, the brick facade
6 and then an extension and you're basically taking that
7 extension onto the residential side instead of to the
8 commercial side.

9 MR. ABRAHAM: I think the scheme that you're
10 looking at already has the extension on the commercial side -
11 - or, at least it has some on each side. I'm sorry, I don't
12 have the scheme in front of me and I -- it's been some time
13 since we went through 30 or 40 different alternatives, but --
14 and we have looked at both those possibilities, but this
15 seemed more feasible in the study to expand the way it's
16 shown.

17 MR. SPURLOCK: One quick question. The -- you made
18 the comment that these are feasibility studies, not design
19 proposals. Is that correct?

20 MR. ABRAHAM: Right.

21 MR. SPURLOCK: And the staff has made some comments
22 concerning the replicative design and perhaps it should be
23 more of our time. Is that something that will be considered
24 in the final design plan, or do you plan to pretty much draw
25 what you've shown us here in this feasibility study?

1 MR. ABRAHAM: No, I think that this is definitely a
2 feasibility study, and not an architectural design. But this
3 is really intended to prove the feasible status of the fire
4 station here and although the design was prepared in
5 consultation with Montgomery County Department of Fire and
6 Rescue, it was not done -- we did not go through their entire
7 review process for this thing, so if -- when this fire
8 station goes ahead, there will be undoubtedly considerable
9 more design work involved, and I would expect there'd be some
10 modifications. You know, at this point we don't know what
11 that is.

12 MS. BRAITHWAITE: The City undertook the
13 feasibility study for some obvious political as well as fact-
14 finding reasons. The process from here on is in the hands of
15 the County and the Fire/Rescue Commission to move forward
16 with the development of the building.

17 MR. ABRAHAM: So except for our review -- our
18 abilities to review the process and help -- guide it, it's
19 kind of out of hands.

20 MS. STEWART: I would just like to add, the City
21 has, as you know, very few businesses so it would be not to
22 the City's best advantage to lose two very successful
23 businesses by building to the left -- is it the left when
24 you're looking at it? So, that's another consideration that
25 we've thought about.

1 MR. KOUSOULAS: Okay, thank you very much. Bruce
2 Williams, Lorraine Pearsall, Jack Carson, and Trevor
3 Delafield.

4 MR. WILLIAMS: I'm Bruce Williams. I'm also on the
5 Takoma Park City Council. I just want to reiterate that in
6 the whole process of looking at this and thinking about going
7 left or going right, commercial, residential, you know we
8 hate to lose anything. And I think in the end we kind of
9 felt that it was going to be tough to lose that commercial
10 one particularly when we didn't know what we were going to be
11 doing beyond that with our lot. We still haven't figured out
12 what we're going to do with that. And it's a tough fight to
13 go either way, to lose something. And we ended up coming
14 down on the side of the commercial, to keep that.

15 One thing that occurred to me as there was a
16 question from Mr. Harbit, and I'm not sure on this, but my
17 recollection is in talking about mitigation of environmental
18 problems -- like I say, I could be wrong. My recollection is
19 that private entities have to deal with that, governmental
20 entities do not have to deal with that. So, it could be that
21 if the -- if it ended up that the fire station moved in that
22 direction, as far as the cost that would reduce the value of
23 acquiring that, it might be that the County -- Fire and
24 Rescue and the County would not have to pay to clean that up.
25 So it might not reduce that cost.

1 MR. HARBIT: Might not.

2 MR. WILLIAMS: That's my -- I'm not sure about
3 that, but I remember that there was that distinction between
4 public and private in terms of environmental clean-up. So,
5 it's -- that's just a question.

6 MS. PEARSALL: My name is Lorraine Pearsall. I'm
7 president of Historic Takoma and I have with me two of our
8 board members; Jack Carson and Trevor Delafield, also of
9 Historic Takoma.

10 I'd like to say that when this whole project came
11 up, certainly it's something that we looked at with a lot of
12 seriousness and when I look at the pictures of our fire
13 station, I'm very, very sad because we really lost in the
14 1950's a tremendously wonderful and unusual resource. And
15 because of that, as we thought about the whole issue of
16 remodeling and basically rebuilding this structure, we
17 realized that it was very important to keep the fire station
18 because its importance to the historic district is really at
19 this point what its value is.

20 And so we do strongly support keeping the fire
21 station where it is. We think that's absolutely critical.
22 We'd like to see as much of the stone -- the original stone
23 kept in the design as possible. We'd like to see the mantel
24 inside the building also saved. The design of the building
25 is also very, very importance to us and this is really --

1 what you see in the feasibility study is a concept plan. It
2 is not really a design and I want you to realize that. That
3 really these designs that you've seen have not necessarily
4 any grounding in reality and so, we are very interested in
5 knowing what the County is thinking of doing with the design
6 of this building and we feel very strongly that it needs to
7 be historically appropriate; it needs to be very attractive
8 because we've lost an important resource and this is an
9 important gateway to our commercial district. And so we'd
10 really like to see sufficient funding be sent -- perhaps more
11 than the norm -- to make this -- to give us back the resource
12 that we lost. So I want to stress that.

13 We'd like to be part of the process and we
14 haven't -- well, we've certainly -- I guess this is the
15 beginning of the process and we'd like to work more directly
16 with the County in coming up with this design and we'd like
17 to see more than one design brought forward.

18 We haven't taken a position on going yet to the
19 east or the west and that is a very difficult decision that
20 needs to be made with a lot of wisdom and balance. You know,
21 the -- it's not a comfortable thing to take down contributing
22 historic resources in Takoma Park. We've had more than our
23 share of historic resources taken away from us and so people
24 get very emotional about it, and I hear about that, and I
25 understand where people are coming from. On the other hand,

1 Historic Takoma is also part of the City's economic
2 development -- economic strategies committee and we feel very
3 strongly that we need a good main street; that, our main
4 street needs revitalization. And so we're in favor of
5 businesses in the Junction, and the Junction is in a lot of
6 trouble. It needs help. So, it's a very delicate balance
7 that we need to strike here and we're not prepared to take a
8 position to the east or the west at this time, but we want
9 more information and we want to know how much space really is
10 needed to put in this parking, and do we really need to take
11 down both of those structures, can we maybe save the
12 contributing resources if we put a parking garage
13 underground; is it possible to do that; are there some clever
14 ways we could come up with that might save those contributing
15 resources and also not take away an economic resource. I'd
16 like to see more discussion about that, or more thought put
17 into that before we make a final decision and more questions
18 asked on this point.

19 I guess that's it. Do you guys have anything to
20 add?

21 MR. KOUSOULAS: Thank you. Okay, finally Marcie
22 Stickle and John Urciolo.

23 MS. STICKLE: I'm Marcie Stickle and I'm
24 essentially in accordance with what Historic Takoma's just
25 stated. I think it's a really good opportunity to replicate

1 historically what we can go back to the way the fire station
2 was and use the elements that are there replicated on a
3 larger scale; restore the arches and use the stones and use
4 all the elements that are there. That's an opportunity that
5 we should take advantage of.

6 And in order -- I would say that to consider using
7 the parking lot that exists between the Takoma Park/Silver
8 Spring Food Co-Op as a resource for parking, and I like the
9 idea of parking underground because the land does slope
10 beneath the fire station and it would be perfect to have
11 parking beneath there and then use the existing parking lot
12 and avoid using any contributing resources, whether
13 residential or economic. I think that's really important
14 here. Let's keep what we have and essentially I'm in
15 agreement with Historic Takoma's position.

16 MR. URCIOLO: My name is John Urciolo. I'm a
17 commercial property owner in Takoma Park and also the
18 chairman of the Citizen's Economic Development Committee for
19 the City of Takoma Park. As a property owner in terms of the
20 commercial -- taking -- going one way or the other -- as a
21 personal property owner, we really don't need to lose any
22 more commercial properties in Takoma. We need every one we
23 have to try to keep the economic viability of the City. So I
24 would probably be in favor personally of going in the
25 residential direction, rather than the commercial direction.

1 However, from the Citizen's Advisory Committee, we
2 are also very concerned about the commercial properties in
3 the City and if you will recall in the Master Plan when we
4 were up here a few weeks ago or a month ago, one of the
5 proposals was to combine or join Old Town and the Takoma
6 Junction and that is the existing part of Carroll Avenue.
7 And I think the Committee has -- one of the things we have is
8 that the sidewalk is narrow and we want to widen that
9 sidewalk and make it so that people can walk and there is a
10 main street really effect between the two commercial property
11 districts. So that with the fire station coming into the
12 residential area, it actually does kind of open that -- if
13 you drive down Carroll -- if you do all take this ride and
14 come down -- if you're coming down Carroll from Old Town, you
15 will see where if that's opened up, it will give that whole
16 area a whole different feel and we're very concerned about
17 the Junction. We have a City lot that needs to be developed.
18 We can't seem to get that going right now. We have a lot of
19 issues and this would -- actually if you just envision it
20 when you drive down, it would make a difference.

21 If you go to the other way, you're actually pushing
22 it further down and you're tightening it up a little bit more
23 and I don't think it's going to come out as nice as if you
24 come the other way. I mean, it's something to consider when
25 you're looking at the property.

1 Anyway, and that's about -- that's it.

2 MR. KOUSOULAS: Thank you. Would anyone else like
3 to speak on this matter? Okay, who on the Commission would
4 like to --

5 MS. ZIEK: Well, there's the applicant.

6 MR. KOUSOULAS: Oh, typically the applicants fill
7 out a form. I'm sorry. If the applicant would like to --

8 MS. ZIEK: Did you -- you filled out a form?

9 MR. JOHNSON: No, I didn't do that.

10 MS. ZIEK: Okay. Well, come up and speak and we'll
11 do the form later. Introduce yourself.

12 MR. JOHNSON: I'm Perry Johnson, the project
13 manager for Montgomery County and I think you're -- my name
14 is on the list or whatever you want to call it.

15 I just want to add that -- haven't been set. I was
16 not part of the original feasibility study, but if the two
17 things that come to mind when you look at the schemes -- by
18 the way I'm also an architect, so -- look at this. The
19 scheme -- the two schemes that were developed, A and B; B, if
20 the -- the main thing in a fire station if you -- is the
21 operation. With Scheme B you will keep all the relevant
22 operations on the same floor which as far as the daily
23 operation or in emergency, that is preferable as far as the
24 scheme on one floor. So that point needs to be sort of
25 considered as you talk about going east or west, which would

1 move you to acquire the two residential properties.

2 The second thing that was talked about here, if --
3 there was talk about parking lower level. If you do that,
4 the -- first of all, the cost of this -- the development of
5 this fire station is going to go up because that is not
6 included in the preliminary cost estimate for this station so
7 it -- and also, if you do that, considering the contours, I
8 think that's going to really impede the movement as far as --
9 if you look at the station today, it's very, very narrow on
10 the right side. So that -- as far as, again, the feasibility
11 of this station would be impeded if you do that.

12 So the scheme that comes to mind that as far as the
13 operation of the station is B that would be the most
14 appropriate to my mind. But that -- I just want to add those
15 words and since this is a feasibility, I realize you have to
16 keep an eye on that there was a lot of effort going into this
17 study to develop the scheme that we're talking about. I
18 don't think it's appropriate to say that this is not set in
19 stone, because the feasibility will be the guide for the
20 design of the station, so you have to keep that in mind.

21 Okay? I just wanted to --

22 MR. KOUSOULAS: Thank you. Any questions?

23 MS. VELASQUEZ: I do. What I'm hearing, and I
24 think you're the -- since you're the applicant, what I'm
25 hearing is if nothing happens to this station, it just will

1 go into disuse and there will be no fire station in Takoma
2 Park, is that correct? I was there. It's pretty
3 dilapidated.

4 MR. JOHNSON: Let me --

5 MS. VELASQUEZ: It's one of these schemes or
6 nothing, is basically it?

7 MR. JOHNSON: I would say as far as the -- yes, at
8 this point, yes definitely. From the point of view of the
9 County, that's what I'm saying.

10 MS. VELASQUEZ: I agree that the station really
11 needs to be completely redone. I was in it on Sunday and
12 it's just pretty scary and if that driver on the back of the
13 hook and ladder truck was one inch taller, he wouldn't be
14 able to get through that door, I'll tell you that.

15 At this stage, does it come back to us for design
16 guidelines at some point or --

17 MS. ZIEK: Well --

18 MS. VELASQUEZ: -- what happens next?

19 MS. ZIEK: -- this is a first preliminary
20 consultation. There are numerous open questions right now
21 that everybody's hoping will -- we can perhaps sort of pin
22 down. We've had projects that have come back for other
23 preliminary consultations. There's no reason why you
24 couldn't see it at other points through the design. I think
25 it's clear that people are saying that they don't have a

1 design now, so, you know, maybe it is appropriate that a
2 project of this scale and scope come back to you again when
3 they actually have a building that they want you to consider.
4 That's certainly possible. It's really up to you. But at
5 this point, everything is at the concept stage.

6 MS. VELASQUEZ: So what you're looking for is
7 guidelines on what we would -- what you think we would --
8 where we would agree to go with which direction we would be
9 willing to consider if other properties had to be acquired?

10 MR. JOHNSON: That's my understanding.

11 MS. VELASQUEZ: What materials, perhaps, to start
12 looking at?

13 MR. JOHNSON: Well, let me share this. I will be
14 the project manager through the design and construction.
15 What we usually do in -- throughout a schematic, there are
16 different stages of design for any building. So what we do,
17 we always include as many parties as possible for review so
18 it's not as if we're going to, you know, this is it. But
19 what I'm saying as far as the scheme, this has really been
20 thought through as far as the operation of the station.
21 That's what is so essential, which you have to keep in mind.

22 MS. ZIEK: In other words, what you've done is a
23 programmatic study at this point and you're satisfied that
24 you have that program established, you've got an
25 understanding of programmatic adjacencies that you'd like to

1 see happen, so that's actually a spatial concept right there,
2 and basically you know there's the concept of the demolition
3 involved. So there's the demolition of some contributing
4 resources that they're asking your consideration. Demolition
5 is the hardest decision, of course, that -- one of the
6 hardest decision the Commission would face, and the reasons
7 for demolition; there are some in our ordinance that allow
8 consideration for demolition based on the community benefits.
9 That's probably the guiding principle in this case.

10 MR. KOUSOULAS: I think the other thing the rest of
11 the Commissioners that aren't architects should keep in mind
12 is that every phase that you've heard about adds more and
13 more resolution and definition to this building as it
14 proceeds and you really can't move ahead to the next one
15 until you pin down some things in prior phases. It can't
16 proceed in parallel -- in several tracks. They need to have
17 some direction at this point.

18 MR. HARBIT: I -- for me it kind of breaks down to
19 the three things. It's, should there be a new fire station?
20 What would the design of the new fire station be? And what
21 would be the impact on the historic resources of that new
22 station? And at this point, it's a preliminary consultation
23 so we're not really telling you yes or no to a specific plan.
24 I think the best we can do is give you our individual
25 opinions about what we individually would prefer to see,

1 because we're not going to take a vote on this or that
2 because we don't really have anything to vote on tonight.

3 So, I'll tell you my individual perspective. My
4 individual perspective is that the fire station does need to
5 be repaired -- rebuilt. It's a critical element in the
6 preservation of a very large historic district, and that's
7 why the Takoma Park Historic District needs a good fire
8 station; to keep all those historic buildings standing.
9 That's an important consideration.

10 When it comes to the design and I know we're not
11 looking at a design here, but of the two designs that were
12 conceptualized, I personally favor Scheme B, which is what
13 the City Council had proposed, which would be reminiscent of
14 the original station.

15 Then the third question is, what's the impact on
16 the historic resources? And my biggest concern is that I
17 will need to be convinced that economically the fire station
18 is not feasible without taking historic resources. So I
19 would encourage the applicant to do a careful evaluation of
20 the cost of the entire project including acquisition, and
21 even though the commercial property owner to the left may
22 think his property is extremely valuable, I would encourage
23 you to take a look at the cost of mitigating the potential
24 environmental hazards that are there, because it is an
25 automobile shop and I do believe that would reduce the value

1 of the property -- the cost of mitigating that. And I guess
2 on balance, if I had the choice of cleaning up a potential
3 environment hazard and saving historic structures versus
4 leaving an environmental hazard and demolishing historic
5 structures, I'd do with the first. Clean up the problem and
6 keep the historic structures. But that's just me.

7 MS. DeREGGI: The problem here, of course, in
8 demolishing and reconstructing as closely as possible to the
9 historic structure, as they can be very misleading. And if
10 we follow the guidelines of the Department of Interior,
11 because of the requirements of the modern fire engines and
12 the width of the arches and doors, the building would not be
13 and could not be, I don't believe, faithful to the original
14 structure. And yet I understand the community's wish to have
15 that marvelous building reconstructed.

16 I don't know how to answer that. I think the most
17 important thing is that this is a fire station that is
18 serving a community and a real need. One has to look at the
19 serviceability and the safety of the people that are using
20 it. Any consideration that could be given to underground
21 parking, I think, should be thoroughly explored and
22 certainly, from my personal viewpoint, and not being a member
23 of the community, living right next to it, but from a visual
24 and historical perspective of that district, I would
25 certainly favor demolishing a non-contributing structure than

1 a contributing one for the charm of the village, for the
2 historic nature of the village.

3 Again, I would urge you to approach, discuss in
4 detail, look at all possibility of moving toward the empty
5 lot of the City. I see that empty lot as another -- as a
6 great opportunity to really beautify that section and to make
7 it revitalized at the same time. In other words, if you
8 could incorporate the business to the left of the fire
9 station and then continue the movement toward the open site
10 that the City owns in that planning effort, I think that you
11 could do some really very beautiful things there.

12 I'd like to hear other Commissioners comments on
13 this problem of reconstruction when you cannot follow
14 proportionally the design of the original. I'd just like to
15 hear other people's comments on that.

16 MR. BRESLIN: Okay, well I'll comment on that. I
17 think one of the charming things about Takoma Park is the
18 historic district doesn't try to be -- there's no one
19 prevalent style or historic time frame that is -- there's no
20 one particular style or time frame that is predominant in the
21 district. And when you go through there you see Victorian
22 houses and you see Craftsman and you see bungalows and you
23 see Colonials and you see Art Deco. You see all kinds of
24 things. And I would think this would be a tremendous
25 opportunity to have whatever new construction contribute its

1 time.

2 I, personally think recreating something that was
3 built, you know 60 or 80 years ago would be a mistake and I
4 think something of its time would be a tremendous asset and
5 just continue the time line that is so charming in Takoma
6 Park.

7 Something else about the streetscape is I think one
8 thing we would look for is the streetscape is broken up into
9 relatively small masses. It's all residential scale, and I
10 think --

11 MALE VOICE: Speak up a little bit. They can't
12 hear you in the back.

13 MR. BRESLIN: The streetscape is all residential
14 scale and the firehouse is one of the largest buildings on
15 the street. And I think you'd want to take great care of
16 making it a lot larger and I think there should be made an
17 attempt to keep a small scale; either breaking it up visually
18 or breaking it up physically. And as you go down the road,
19 taking the contributing resources and then putting in a
20 parking lot, I think you want to watch out and take care that
21 you're not absorbing too much of the streetscape.

22 MR. SPURLOCK: I don't know how many of you were in
23 the audience for the prior preliminary consultation but we
24 were discussing a house in Chevy Chase that had -- it was of
25 a modest scale and properly detailed and really sort of

1 appropriately detailed to its scale, and I think when I look
2 at this historic photograph, it's a beautifully scaled little
3 building, but it is a small modest-sized building. And then
4 when I look at this sort of enlargement of it, it looks out
5 of proportion and not properly to scale. I do think -- and
6 as Commissioner Breslin said -- that a building of lower in
7 scale, which is Scheme B, is a more appropriate direction to
8 take, and I certainly would be supportive of that as opposed
9 to a two-story structure.

10 And I do also feel that one can do a -- more of a -
11 - well, more of a design that's more of our time, perhaps
12 incorporating some of the historic materials as finishes and
13 that sort of thing but not necessarily do a reproduction or
14 an attempt at reproduction of the 1920's fire station. And I
15 do agree with Commissioner Breslin that it might be a big
16 mistake to do that. Takoma Park has a rich heritage and I
17 think it's appropriate to continue that and to, you know,
18 further that into the next -- into the next century.

19 In terms of the resources, I mean I think -- you
20 know, our purview is not always, you know -- obviously we
21 would have to approve demolishing historic resources, but you
22 know economics is not always our jurisdiction and I think
23 that might help you make an argument one way or the other,
24 but certainly that's not the final determining factor; at
25 least in my mind about how we would -- at least, how I would

1 proceed, or how I would vote on that issue.

2 MS. VELASQUEZ: I'm pretty much in agreement with
3 everything I'm hearing and especially, I think with
4 Commissioner Spurlock. I don't think it's fair to a
5 community to try to pretend something is old when it's not.
6 A hundred years from now whatever fire station is built is
7 going to be antique and it will be part of a historic
8 district all its own, no doubt.

9 I think that I would like to especially agree that
10 new construction should be of its own time; go ahead admit
11 its new, don't put a log cabin there, use as much of the old
12 material I think as if possible. I think you can use that
13 and still not -- and it doesn't have to be glass and chrome,
14 I mean, you know, to make it new. But instead of trying to
15 pretend it's the old fire station which was lost 40 years
16 ago, then just go ahead and admit that it's gone. Do
17 something sympathetic to the neighborhood.

18 I visited the site and my own perspective is I
19 would rather see the expansion go east, rather than west,
20 simply because, although that is apparently a valuable
21 commercial structure to the City as far as its economic base,
22 to me it's far less important visually and to the looks of
23 the neighborhood than the houses, which are on the west side.
24 So I'd rather see the expansion go to the east where the
25 commercial building is.

1 And also there seems to be more flat land there,
2 unless it's just built up with that building on it. But it
3 just seems to me, just the sense of it -- you can keep the
4 bays right here at Philadelphia Avenue and build the rest of
5 the living quarters somewhat off to the east, would make me
6 happier.

7 MS. WATKINS: I agree with what's been said by the
8 other Commissioners. I think an important thing to do is
9 thoroughly explore the parking options and really see what
10 they are, and that may lead us to a stronger opinion about
11 which buildings should be demolished and which should be
12 kept. And I agree that you're not going to be able to
13 recapture the past glory of the fire station and I think we
14 just have to look to the present to interpret it.

15 MR. KOUSOULAS: I'd like to address a couple
16 things. One, the idea of going in the direction of the two
17 houses and demolishing them. Typically, when we grant a
18 permit -- a work permit, most of our criteria has to do with
19 like it won't substantially alter the historic resource. And
20 you'd get a hard time proposing that and also demolishing the
21 resource at the same time. It's a pretty big semantic twist
22 to make that argument. But we do have one thing in our
23 ordinance where we balance the public interest in something
24 else with the public interest in the preservation. And if,
25 on balance, the public interest and the welfare is better

1 served by the demolition, we can also grant a permit in that
2 regard. And I think in the case of having a fire station
3 that works well, that functions well, and a neighborhood that
4 is maybe better served by a commercial enterprise that
5 persists as opposed to two houses that do have historic merit
6 but end up being demolished, I think on balance that the case
7 could be made for moving in the direction of the houses and
8 that this Commission could find for demolishing those houses
9 without ripping our ordinance apart. I mean, it provides for
10 something like this. So I think you need -- like you heard
11 from our first Commissioner speaking, you need to be able to
12 make that case rather strongly to see whether it's justified.

13 The other thing is the historic rendition in this
14 Scheme B, which I think is generally the way the building
15 lays out. It's a good scheme, but I think the scale of the
16 sketch is very hard to appreciate what this thing will look
17 like, and it won't look anything like what that original fire
18 station looked like. I mean if I'm -- talking about we're
19 moving the 1950's bays over -- in there and reproducing the
20 original ones as they appear in the old photo. I mean,
21 that's a lot like adding the tower to the Memorial Hall in
22 Harvard that had burned down. I mean, we go back and you
23 reproduce it; that's fine, but we're not talking about doing
24 that here. We're really recreating something fresh and I
25 would definitely avoid the appearance that is depicted in

1. this sketch here. It's an exciting opportunity. I mean,
2. there's a lot of stone there. There's a lot of
3. reconstruction that would be happening. Something really
4. interesting could be done with this fire station and I don't
5. think it will have anything to do with the little turrets and
6. crenellations and things that are going on in this sketch.

7. Do you have the direction you need, do you think?
8. I mean, we're basically just --

9. MR. JOHNSON: Well, I assume this is, like I said,
10. a consultation we're talking about and I will sort of go by
11. what I've heard and work from there. Like I said, this is --

12. MS. ZIEK: Well, one of the things that I just
13. heard was that the Commissioners feel they need more
14. information before they actually agree to the demolition as
15. proposed in Scheme B, and I've heard several Commissioners
16. say they'd like you to actually present more figures that --
17. in actuality, you may find that you can afford to expand --
18. they want you to undergo a study of dollar cost that they are
19. hoping you may find that you can expand to the east.

20. Is that something that you feel that you can
21. undertake, and then come back to the Commission with that
22. information?

23. MR. JOHNSON: Well, I just see that's what we need
24. to do, because what I've heard -- I mean, there are different
25. opinions that we're talking about, but in general -- sure, I

1 mean, in order to take the next step, that's what we need to
2 do and I just feel that that's what we'll do. And sort of
3 try to work within what we're talking about.

4 I -- again, this is a feasibility study and I'm
5 saying the cost that the County put in what we call a CIP --
6 capital improvement project -- program relates to this scheme
7 that we're talking about. The cost that we're talking about
8 as far as the land is not in the CIP, so I think that
9 factor -- we need to sort of keep that in mind what we're
10 talking about as far as the County. If it's -- again,
11 hypothetically, if it gets to be too much, Council might
12 reconsider some of these things that we're talking about.

13 So, I'm just sharing that with you. I don't know
14 right now. Like I said, I was not part of this study from
15 the beginning so I need to sort of step back. This is, to
16 me, good information that I need to work with and go from
17 there. So I'm just -- I need to leave it right there. I
18 don't think I can go any -- any other questions that you --

19 MR. KOUSOULAS: Well, one thing -- Commissioners
20 that didn't address this. One way to look at it, which has
21 nothing to do with the value of acquiring one site versus the
22 other is whether you feel that the stability of the
23 commercial aspect of Takoma Park and the commercial stretch
24 along here is of sufficient importance that you could make
25 that decision based just on that alone; that to lose two

1 houses is worth it to maintain something else here going on
2 in Takoma Park.

3 MS. VELASQUEZ: I can make that decision because I
4 do believe that we have to balance the economic good of all
5 the citizenry against just the aesthetic needs of a few. And
6 maybe these aesthetics are not nearly as important as the
7 economics to the City of Takoma Park. I don't have any
8 problem making that decision. I just want to see a better
9 plan just showing me is there a way that maybe we don't have
10 to take don't anything? Maybe there's not. But I wouldn't
11 have any -- I would do it with trepidation, but I still think
12 that if the only way we can get a good working firehouse in
13 Takoma Park is to demolish one small house next to it, I
14 would have to go along with that.

15 MR. JOHNSON: In general, as far as size for the
16 current station and the parking that is necessary and as far
17 as the staffing, to my understanding this is what you need.
18 And I just -- this is --

19 MR. LAMPHRIER: I'm Steve Lamphrier. I'm from
20 Montgomery County Fire/Rescue Service. Like Perry's the
21 project manager from Public Works and Transportation and
22 Fire/Rescue supports his department in projects like this and
23 we've -- two years ago and this is also before my time, so
24 I'm kind of learning about some of these things as we're
25 going here. I guess about two or three years ago the people

1 form the Takoma Park Volunteer Fire Department, the
2 Department of Fire/Rescue Services, the people from
3 Management and Budget, Department of Public Works and
4 Transportation did go through and determine what the
5 requirements for the firehouse would be operationally, and
6 that's what this feasibility study was based upon; square
7 footage for locker rooms, square footage for offices, the
8 number of staff that would be there, the apparatus we run out
9 of that station. So that's all been determined and if you
10 remember -- I don't know, it's probably been four or five
11 years now, at least, there was some talk about consolidating
12 the station in Silver Spring at Georgia Avenue and Silver
13 Spring Avenue with the Takoma Park station and that's
14 beyond -- we've gone beyond that now. The County's decided
15 it's in the best interest to keep both stations. And now
16 we're also building a new station in Silver Spring also.

17 But since -- since we've moved beyond that, we've
18 decided we need two stations, we need to do something with
19 the Takoma Park station. And we don't want to move too far
20 without getting input from everybody that needs to give us
21 input.

22 MR. KOUSOULAS: Well, yeah I think the feasibility
23 study that's happened -- we shouldn't be in the position of
24 asking them to do more here. I mean, the study makes the
25 case for how much program they need and what needs -- where

1 it needs to fit. That's already happened. What seems to be
 2 missing is the economic analysis of the land acquisition if
 3 that's important to anyone, that would be a bit of
 4 information we could use, but just to ask for the applicant
 5 to come up with more justification for why they have to go
 6 expand in either direction, I think we're beyond that. We
 7 have everything in front of us.

8 Do you want to add anything?

9 MS. DeREGGI: Well, I'm just surprised to hear you
 10 say that because we haven't had the questions which we asked
 11 to the speakers tonight concerning the commercial property --
 12 there was -- it was a very informal discussion apparently and
 13 nothing substantial so that I, for one, would want to have
 14 some more definite figures.

15 MS. BRAITHWAITE: Can I speak to that for a minute?
 16 And, again, I apologize; it's been two years since this study
 17 was done, so my memory is getting refreshed as we go along
 18 and I didn't do what I needed to do prior to this meeting.

19 But, I'm very glad, Mr. Chairman, that you made
 20 that point, and I think that if you were to read the
 21 feasibility study that the City paid for and produced, you
 22 would find that every question that you have answered --
 23 asked has been answered in detail. And, in fact, the issue
 24 of going towards the commercial property versus the
 25 residential was looked at amongst more than practically a

1 dozen options that were initially investigated by the
2 architectural firm that was hired to evaluation this.

3 And part of the issue that they were working with
4 was a very specific set of program design requirements that
5 the County fire station -- Fire/Rescue Service laid out as
6 absolutely essential for a modern station. So they worked
7 within that guideline and tried to figure out what was the
8 best way they could wedge it in in this location. And after
9 several, several months of study and lots of evaluation of
10 the site, they determined that these were the only two ways
11 to put it in.

12 I heard reference tonight to underground parking,
13 back lot parking. Again, the feasibility study speaks to
14 that. In addition to a pretty significant slope as the lot
15 is going down, there's also a large sort of infill that
16 happened towards the back of that lot, so any kind of
17 underground work or further work underneath the foundation
18 was absolutely discouraged by the engineering firm that took
19 a look at these sites and the location of the property.
20 There is just soil instability in the back of the lot and we
21 need to stay away from the back of the lot in terms of
22 building and program establishment.

23 Also, when you take a look at that commercial lot,
24 we're talking about them as if you could go this way or that
25 way. The commercial wedge is very, very narrow as opposed to

1 the much wider wedges for those two residential lots on the
2 other side, so we're kind of comparing apples and oranges in
3 terms of directions you can go. That commercial wedge, as
4 you can see in one of Robin's slides, is an extremely narrow
5 lot, paralleled by another extremely narrow lot which doesn't
6 nearly give you the frontage as you would have on the other
7 side of the building.

8 The other thing that's been referred to this
9 evening is the parking lot -- or, the City-owned lot as if
10 it's a City-owned lot that's intended to stay vacant. It's
11 very much not intended to stay vacant. It's intended to be
12 an economic development site where buildings will sprout up
13 if we can find the right mix of commercial interests to make
14 that happen. There isn't room to go in that direction. In
15 fact, to go in that direction is to further bury the option
16 of the City to be able to develop that economic site. The
17 smaller we make it, the less likely we can get anything to be
18 built in there of any kind of economic nature, so we need to
19 not get any closer to that vacant lot. We really need to
20 pull back and let the businesses that are there exist and, in
21 fact, figure out a way to encourage a commercial owner to
22 come in and find that site attractive and to get any closer
23 to it, eliminates -- you're just getting less and less of an
24 availability for that to happen.

25 So there are some real issues in terms of space.

1 There's real issues in terms of structural integrity and the
2 lot size itself. And, again, the architects have fully
3 evaluated all these options, looked at the economic factors,
4 looked at the environmental factors, all that's within the
5 feasibility study that they produced for the City and if you
6 want us to go back and further reference that, we'd be happy
7 to work with the County and pull out those specific
8 references in the feasibility study itself, but it's all in
9 there. There was no way that the architect could have
10 produced a report that didn't ask all these very basic and
11 very obvious questions that would have had to have been
12 answered for the City to move forward in looking at where to
13 put this thing.

14 And it really is -- the motor on this thing is
15 being driven by the very real establishment of standards that
16 the County has for fire stations and we're all quite pleased
17 that the architect could find any way to fit in the limited
18 space that we have in Takoma Park -- that they were able to
19 figure out a way to make it work.

20 I think that's -- the only other point I wanted to
21 make and I think it's -- it just needs to be said again that
22 in terms of the scale of the building and the footprint of
23 the building, it's driven by County standards. It's also
24 driven by the service provided by that station. We can't
25 chose to make two bays instead of three. There's a service

1 load serviced out of that building that needs the bays, needs
2 the equipment that it has and we don't have an option to
3 reduce without impacting the stations around us, and we
4 provide service for areas outside the City of Takoma Park, so
5 the whole fire and rescue system is based on that
6 serviceability that Takoma Park station can give. So there -
7 - we don't have any flexibility in terms of removing
8 equipment or making it fit a little more neat and tidy into
9 the lot we currently have. We have to provide the level of
10 service and the level of vehicles that we have.

11 MR. KOUSOULAS: Thank you. Other comments? Okay,
12 thank you for coming in.

13 MR. LAMPHRIER: Thank you.

14 MS. ZIEK: Mr. Chairman, do you want me to get that
15 group and --

16 MR. KOUSOULAS: Yeah, we'll take a five-minute
17 break to let them get in.

18 (Whereupon, a brief recess was taken.)

19 MR. KOUSOULAS: Okay, we're going to get started
20 again. We'll move onto Commission items right now. We need
21 to confirm the Board of Managers for the Village of Chevy
22 Chase.

23 MR. SPURLOCK: Mr. Chairman, I move that we confirm
24 all the members on the slate that was given to us by the
25 letter from Chevy Chase Village dated November 29th.

JANUARY 2001 DISCUSSION

jd

1 didn't --

2 MR. HARBIT: Thank you for coming to us early.

3 MS. BANFIELD: Oh, you're welcome. I've been
4 waiting --

5 MS. NARU: She had to wait until I came back from
6 holiday.

7 (Discussion off the record.)

8 MR. KOUSOULAS: Okay, the next case is in Takoma
9 Park. Can we have a staff report?

10 MS. ZIEK: This is the second preliminary
11 consultation for the Fire and Rescue Service for the county
12 addressing the new fire station that's proposed for the
13 Takoma Park City and it's in the Takoma Park Historic
14 District at 7201 Carroll Avenue.

15 This is Station No. 2. It's a contributing
16 resource in the historic district. The fire department has
17 been at this location since forever. The building that we
18 see now was built in 1927 or 28 and the site is very
19 important from everybody's perspective. It's on Carroll
20 Avenue facing Philadelphia Avenue, so for rapid response, the
21 fire station -- the fire trucks can go in any direction.

22 The building was modified in the 50's and the
23 original building was masonry and the center portion -- the
24 center bay was removed and the existing center bay is from
25 the 50's; a limestone panel. There is certainly much of the

1 original building remains; the stone walls, and at the
2 basement level, metal windows which are certainly early 20th
3 century. Up at the second story or the ground floor all of
4 the windows were replaced and certainly the decorative
5 elements from the first firehouse are -- were taken off and
6 removed as part of the 1950's renovation to modernize and
7 give a new appearance to the fire station.

8 The basic reason the applicant is back for a second
9 preliminary consultation has to do with the siting of the new
10 fire station. Under the current situation, the existing fire
11 station is basically a derelict building. It's no longer
12 structurally capable of housing the fire and rescue trucks
13 and equipment, and that's basically all been agreed on. An
14 engineer's report that was included in the staff report -- it
15 was done as part of the survey and study, evaluation that the
16 city commissioned in '98 -- or, '97. And I had -- for the
17 first preliminary, copied that entire report for everybody.
18 For this go around, I just copied portions of that report,
19 just to, again, focus on the amount of work that's already
20 gone into this evaluation and trying to figure out what to do
21 here.

22 The basic decisions had to do that everybody agrees
23 this is a good site in the overall scheme; this is the right
24 site for the fire station. But, in terms of needing more
25 space because the fire trucks now are so much larger, there's

jd

1 more equipment, there's more people, the question is whether
2 the fire station should expand to the east towards the
3 commercial district, Takoma Junction, or should expand to the
4 west into the residential part of the city. And the -- the
5 county had evaluated -- even at the time of the preliminary
6 study that was done for the city, they had evaluated the
7 different options and had come up with a preferred option to
8 go into the westerly direction to take the -- demolish one or
9 two residences and expand the firehouse in that direction.

10 At the time of the first preliminary consultation,
11 the Commission felt that there had not been sufficient data
12 presented to them to back up this assertion and that there
13 hadn't actually been any really feasible architectural design
14 studies done to show that a design scheme going to -- in the
15 easterly direction towards the commercial -- taking a
16 commercial property was actually going to result in a well-
17 designed and well -- good functioning fire station.

18 So, for this go around, the application has done
19 their best to satisfy the Commission's concerns and answer
20 their questions. They have provided numbers, they've gone
21 through the actual appraisal process, which I have to say
22 they would have had to do anyway. They have to get into this
23 regardless of which direction they go, they're going to be
24 dealing with buying property from people. There are a whole
25 lot of processes they have to go into, whether they have to -

1 - working with willing buyers or non-willing buyers. They
2 have to have gone through those appraisals which they have
3 now in hand. It took a while. And they are providing that
4 kind of data now to the Commission to really back up their
5 assertion that it's indeed highly costly -- it's highly
6 costly for them to expand the fire station in the easterly
7 direction towards the commercial district, substantially, to
8 the figure of around \$700,000 additional rather than
9 expanding towards the east into the residential portion.

10 They have looked at some designs -- a design
11 showing that yes, indeed, they could conceivably expand to
12 the east. There are a lot more -- there are construction
13 issues because of change of grade. There are retaining wall
14 issues that relate to the change in grade because of the
15 commercial building and the existing grades with the fire
16 station site, which constraints they wouldn't have if they
17 leave that condition of the commercial building intact now
18 because structurally it acts as a retaining wall. And so
19 there is some cost involved. All of those are factored in in
20 that \$700,000 figure, as well as costs for purchase of the
21 various properties.

22 And so this is the information that they are
23 providing now. And I think that that was really done to
24 answer the questions of the Commission in terms of -- Circle
25 11 gives you sort of the layout with the fire station in the

1 middle and the commercial business -- the automotive business
2 to the east, and then there are two residences that are
3 proposed for acquisition and demolition, 7135 Carroll Avenue
4 and 7133 Carroll Avenue.

5 We have received letters from the resident at 7135
6 Carroll Avenue expressing some concerns about the county's
7 action -- the county taking their property essentially. Of
8 course, it wouldn't be a taking; there would be a purchase
9 and there would be, you know, fair market value and
10 relocation and, I guess obviously our process is a -- is an
11 open process that calls for notification. The Commission
12 actively solicits people's comments, but I guess I need to
13 say that the county also has a -- and the county should
14 address and may want to address this but, clearly they don't
15 just take people's property. There are certainly issues
16 involved with that and they have a process to -- that
17 accounts for fair compensation, but I will say copies of Mrs.
18 Hevia's letter has been provided to the Commission -- all the
19 Commissioners, expressing that, you know, the family --
20 they're elderly and they're ill and they don't really want to
21 move. But -- and I also conveyed that letter to the county
22 and obviously this is an issue that they have to handle.

23 I also have passed on our -- the HPC staff report
24 to Park & Planning, the community-based planning area just
25 to, of course, bring that into play and, again, this isn't

1 part of your process, but I just think, you know, for
2 everybody to know that there is a mandatory referral; that
3 this project will go through to the Planning Board prior to
4 coming back to the Commission for the actual Historic Area
5 Work Permit application. And that's fair because that gives
6 the Planning Board opportunity to comment. They play only
7 the role of providing comments in this project and that
8 allows you to take their comments into consideration. So,
9 that's a good process.

10 And then the other way that Park & Planning is
11 involved has to do with the subdivision process, and this,
12 again, is just sort of standard practice through the county
13 when there are, you know, different lots and multiple lots
14 involved. And there's a letter which, again, I provided to
15 the -- all of the Commissioners that explains just a little
16 bit about that and I think it's also helpful to the
17 applicant, just in terms of being able to put all of these
18 different -- the regulatory steps into the right order.

19 So that said, as staff I am -- I have to make a
20 correction on Circle 5. I went through my whole staff report
21 noting that there has been some, you know, major loss of
22 integrity actually in the fire station with the 1950's
23 alteration. Indeed, there are -- this is a large amount of
24 original stone there, but in terms of the original design,
25 there has been a great loss of integrity. The original

1 design is not there; materials are.

2 And there is a sense that we're not saving the
3 original fire station and we're not saving -- I don't think
4 that there's much of a sense that the 50's station is a
5 station that has that much that it provides architecturally.
6 What it does do as a site, of course, and the site where the
7 fire station always has been, does have -- there's a historic
8 context there and historic meaning and I guess as staff I
9 would say that that is an issue that -- all of those issues
10 will be dealt with when we get to the design phase of this
11 project. But that at the point now, they can't move into
12 that until they have a sense of what their site is; which
13 direction they can go in and what the Commission will
14 approve. As a preliminary consultation they're asking for
15 guidance on that so they can move forward and more closer
16 into this design phase.

17 The bungalows that are proposed for demolition are
18 both contributing resources and I simply note that it is
19 possible under Chapter 24-A for the county HPC to agree on
20 demolition. On Circle 4 I note that it would address -- the
21 demolition would address: one, correction of unsafe
22 conditions as in the conditions in the fire station, which I
23 think everybody will agree are unsafe; and better serve the
24 general public welfare. This criteria number six sets a very
25 high standard. It really applies generally -- well, I think

1 it will apply only to project where public funding is
2 involved; for projects that serve the broadest public good
3 and, again; I think that we'd have a hard time arguing that
4 fire and rescue doesn't meet that criterion.

5 So, in staff's estimation, there is certainly the
6 leeway under the law to approve demolition of contributing
7 resources, even though I feel that this is the most difficult
8 decision that -- this is the kind of difficult decision --
9 the most difficult decision for the Commission to examine and
10 vote upon.

11 Circle 5, after going through all of that, I goofed
12 and I said that I recommend expansion to the east, which is
13 where the commercial property, and I'm going to say I goofed
14 and actually my recommendation is to -- that the Commission
15 has reasons to approve expansion to the west. I would,
16 again, ask the applicant to consider perhaps demolition of
17 only one of the resources. We had seen an early proposal
18 that would do that. I would also say that the parking should
19 be squeezed into the rear to the maximum extent possible. I
20 think that I'm suggesting various mitigation efforts that
21 could be taken, but also noting that in this particular -- as
22 you were to move into the design phases, that site planning
23 will be as important as design of the specific station
24 itself, and there also might be other mitigation efforts
25 including plaque information or some other kind of historic

1 educational displays that promote the understanding of this
2 building in its historic context.

3 That said, we have half of Takoma Park here
4 tonight, including the Mayor and representatives from the
5 City Council, citizens, and I guess I would like to turn the
6 meeting back over to you, Mr. Chairman.

7 MR. KOUSOULAS: Okay, would the applicant --

8 MR. LAMPHIER: My name is Steve Lamphier. I work
9 for the Montgomery County Fire and Rescue Service. Part of
10 my job is the coordination of the design and construction of
11 new stations. To my right is Perry Johnsson. He's an
12 architect with Facilities and Services and he's the project
13 manager for the design and construction of this station. And
14 not only have we mentioned -- has Robin mentioned that we
15 have the Mayor and Council members from Takoma Park here, we
16 also have some city staff members. We've worked with
17 Historic Takoma, who is represented here this evening,
18 members of the Takoma Park Volunteer Fire Department, our
19 career staff that's employed by the county, our design team,
20 our architects, and also the Takoma Community Development
21 Corporation. And I think some of them may have some things
22 to add after I'm done with my part.

23 Robin covered the background of everything, so I
24 don't want to go through that again. Essentially, we were
25 here in December of 1999 and we were asked to come up with

1 two schemes; one acquiring the residential properties; one
2 acquiring the commercial properties. Since that time we
3 hired our A&E firm and from there we proceeded with the two
4 schemes. And we did work with Robin on developing those two
5 schemes and she brought up some good points to us as we went
6 along in this process.

7 The bottom line is that we're requesting to go with
8 Scheme R, which is the residential scheme. As Robin pointed
9 out, it's a significantly lower cost for us. We also have an
10 issue with availability of a temporary site. We're in
11 negotiations with the Columbia Union College right now to
12 lease a piece of their property to locate the station in a
13 temporary quarters. There is -- as we understand it, there's
14 a limited time frame for us to do that as the college does
15 have some plans down the road for that particular piece of
16 property.

17 Going back to the commercial side, we do know that
18 on the commercial side we have a property owner that is
19 completely unwilling to sell to the county. Our concern with
20 that is the process if we were, I guess to do that in an
21 unfriendly manner, takes approximately two years and we're
22 afraid we're going to lose our temporary site for a station.
23 And we have looked around Takoma Park thoroughly during the
24 feasibility study phase and there are just not any temporary
25 sites in Takoma Park we can use to put a fire station for the

1 aerial ladder, the pumper, and the ambulance that runs out of
2 that station. So that's our -- that is one of our concerns.

3 MALE VOICE: Can you entertain a question?

4 (Discussion off the record.)

5 MR. LAMPHIER: We start out with Circle 4 with the
6 recommendation that we receive guidance to the applicant to
7 proceed with the project including the demolition of the two
8 contributing resources, and certainly that's what we agree
9 with. But going into Circle 5, there are several other
10 issues that have come up, and I wanted to take a minute to
11 address those issues.

12 One of the issues is that of a two-story station
13 versus a one-story station. From an operational standpoint
14 in fire/rescue, a two-story station presents a number of
15 issues for us; one of which, obviously part of the living
16 area is going to be up above the apparatus bay. One issue we
17 have is just a trip hazard with multiple people coming down
18 steps. We don't use poles anymore -- we have to use the
19 steps -- because that's even more of a safety issue when
20 people forget to grab onto the pole and things like that.
21 And especially at night. And, of course, our goal is to be
22 out the door as fast as we can, but doing it safely. And
23 stairs do add time to that response to get out the door.

24 I don't want to sound over dramatic here, but
25 seconds do count, as clinical death occurs in four minutes

1 for an EMS emergency and in a fire, you'll have flashover in
2 four to eight minutes. So, seconds do count, especially when
3 you consider whether traffic calming devices like speed bumps
4 and things like that. So, stairs really -- having a second
5 floor for an operational area really does create a problem
6 for us.

7 And you'll have to excuse me. I think I'm catching
8 a cold and I'm having a hard -- difficult time speaking.

9 They -- four of the last six stations built in the
10 county have been one-story stations. The two that have not
11 been, their second floor is purely non-operational. They're
12 either meeting rooms or just offices and nothing else. The
13 station proposed for Takoma Park really does not have a
14 significant amount of administrative space or meeting space
15 in it. So, that's why we do have the two exceptions
16 throughout the county.

17 Not only that, and something the architects can
18 address better than I, but we're looking at a two-story
19 station actually being about 30 feet high at the front of the
20 station, and there's a concern is that going to fit in with
21 the community; a 30-foot-high station? And I will have the
22 architects address that more specifically if anybody wants to
23 know why that's the case.

24 Circle 5 goes on to discuss reutilization of space
25 out the rear of the building just acquiring one residential

1 property. We noted that there is a wooded ravine at the back
2 of that property. It does have about 1,800 square feet of
3 mature woodlands along the back of the property and in our
4 civil engineering report, if we were to construct a retaining
5 wall along there, and I think the retaining wall would
6 absolutely be required, we would have to go in through the
7 residential property at the rear of the building to contract
8 that wall. It's not something we could do from our side,
9 according to our civil engineers.

10 Also, any parking we have along the rear of the
11 building or off to the west, with the one house that would be
12 left, the parking is going to be extremely close to the
13 property line. We looked at -- we do have a scheme here
14 tonight I think to show you -- it's a very rough draft, but
15 to accommodate our parking needs, we would be almost right up
16 to the property line of the next property owner. So it just
17 seems to us that isn't a feasible option at this time.

18 All in all we intend and we have so far -- we
19 intend to work with all the stakeholders to design and build
20 a fire station that meets fire/rescue needs and will also be
21 compatible with the Takoma Park community and the surrounding
22 structures. And that's what I have.

23 MR. KOUSOULAS: Okay, you --

24 MR. JOHNSON: No, I will -- to the extent that he
25 has addressed the issues that we were talking about from the

1 previous meetings, so I'll just leave it right there.

2 MR. KOUSOULAS: Okay, we have two other speakers
3 signed up. Kathy Porter?

4 MS. PORTER: I'm Kathy Porter. I'm the Mayor of
5 the City of Takoma Park and I just wanted to let you know a
6 little bit about the process that the City Council has gone
7 through. This is an issue that the City Council has been
8 involved in for a number of years, as Robin said. We
9 actually funded the original study of maintaining the fire
10 station in this location back three or four years ago because
11 of the enormous amount of community interest in the location
12 of the station. And, as she said, this appears for a large
13 number of reasons to be the best location in the community
14 for the fire station. It's a -- for a number of reasons it
15 continues to be the best location.

16 The station, as it exists now, is too small and
17 it's structurally unsound, so the issue is expanding it. It
18 has to be expanded and the question is to which direction.
19 The Council has looked at the materials that Fire and Rescue
20 has provided on the different options and their costs and the
21 various pros and cons of doing it either way, and the Council
22 unanimously supported the recommendation that Fire and Rescue
23 came to that the best option is expanding it to the direction
24 of the residential properties probably with the two
25 properties, because of the difficulty of putting additional

1 parking in the back.

2 This was something that we had a worksession on.
3 There was some community discussion about this and we did
4 pass the resolution unanimously. And this whole fire station
5 issue is something that the community has been following for
6 a number of years, and as you can see from the number of
7 people who are here, there's a number of people who are
8 interested in it and there's a number of people who are
9 involved in the process and for many reasons, we think that
10 this is the right thing to do and we're very supportive of
11 the recommendations being made.

12 MR. KOUSOULAS: Okay. Kent Abraham?

13 MR. ABRAHAM: Yes, I was actually contracted by the
14 City to -- client for the original study in '97 so I'm in an
15 interesting position in that I'm an architect -- professor of
16 architecture for the last 23 years, preservationist as well,
17 and in this particular case, the client for the original
18 study.

19 So, I think the nature of the project has been
20 admirably covered by Mr. Lampher's statement. I just wanted
21 to reinforce the one aspect of this thing that perhaps has
22 not been fully covered, and that is the extent of involvement
23 in this process of the various groups in the community, which
24 I think particularly in the original study was really an
25 exemplary operation, where practically everyone that any

1 reason at all to have a stake in the process was intimately
2 involved in what we put together, and the result of this
3 thing is -- well, it's not unanimous in the community; of
4 course, we're talking about Takoma Park, but it's a pretty
5 close approximation of a broadly based community-supported
6 project.

7 The preservation issues in particular, which
8 obviously is the purpose of this meeting, addressing those
9 two residential properties, have always been a part of the
10 design process here and a part of the issue and I think we'll
11 all reject to some extent the nature -- the necessity for
12 taking down any property in Takoma Park. But it was our
13 judgment, and continues to by my judgment that those two
14 particular properties -- that the value of the fire station
15 as its own particular kind of landmark in Takoma Park and the
16 necessity -- the importance of having a fire station remain
17 in Takoma Park, which was an open question in the beginning
18 of the study, in the middle of all these historic wooden
19 houses, far outweighed for us the value of retaining those
20 two contributing resources, which are both in fairly sad
21 condition.

22 MR. KOUSOULAS: Would anyone else like to speak?

23 MR. GOLDSTEIN: I did turn in a sheet as well.

24 MR. KOUSOULAS: Okay.

25 MR. GOLDSTEIN: My very first civic activity was

1 collecting 2,500 petition signatures to get rid of speed
2 bumps in Takoma Park. I'm now with Montgomery Preservation
3 and it commends Montgomery County Fire and Rescue Service for
4 working with the City of Takoma Park to keep Fire Station No.
5 2 at its historic and highly visible location. We are also
6 pleased to see the adaptive reuse of historic resources,
7 particularly when it is for the original use.

8 However, Montgomery Preservation has questions and
9 concerns about parking based on my reading of the HPC files
10 yesterday, including the 1999 preliminary consultation. We
11 would like to know what the additional cost is to put parking
12 under the station, the projected cost to buy the adjacent
13 commercial property, which I believe you have covered, as
14 well as the costs -- the true costs to buy the two adjacent
15 residences, and I'll get to that in a minute.

16 I was perturbed to read this statement in the
17 January 10th, 2001 letter from the Fire and Rescue Service
18 program specialist to the HPC staff. "The primary purpose of
19 the acquisition of the residential properties is to provide
20 the required parking for the station." I assume most of you
21 already know that. This is new to me and Montgomery
22 Preservation does understand how very important it is to
23 build a new floor and change the vehicle entrance and make
24 all the other changes to the station to accommodate today's
25 larger and heavier firefighting equipment. However, we do

1 have a big problem with destroying historic resources because
2 it is perhaps expedient and saves some money.

3 We say perhaps saves money, because much is being
4 made of the fact that the owner of the adjacent commercial
5 property does not want to sell and a condemnation proceeding
6 could take two years to work its way through the courts. I
7 visited the site yesterday and I happened to speak with the
8 owners of the immediately adjacent residence. They told me
9 that they don't want to sell and they apparently want nearly

10 twice the price that the county is currently offering them.
11 If they should refuse to sell, would that also result in a
12 similar two-year delay in acquiring that property?

13 At this time, Montgomery Preservation believes that
14 the parking requirements could be met on site and that there
15 is no compelling reason to demolish the adjacent historic
16 properties solely to satisfy parking needs.

17 MR. MANLEY: Question?

18 MR. KOUSOULAS: Could you give your name for the
19 record?

20 MR. MANLEY: Yeah, my name is Roy Pat Manley. I
21 live three houses away from the fire station. Whew! Think
22 about that. I'm -- I don't want to -- I think this is a
23 serious matter. A little levity may help, but it's a very
24 serious matter.

25 I'd like to know whether the bungalow adjacent to

1 the fire station has any historical value. Has anybody
2 looked into that? It looks like a pretty old bungalow to me.
3 You may not be able to tear that -- resource, you call it?
4 It's a residence; not a resource. You may not be able to
5 tear that down. And, you know, I think people ought to look
6 into that. You might want to look into that.

7 Also, I was a teacher in the county for 29 years
8 and one thing I always told my classes was, I'll try to be as
9 fair as I can with everyone. I will break my back being as
10 fair as I can. And I read this letter at the back of the
11 report. It seems to me this man is ill and he's elderly.
12 What the hell are we doing here?

13 Firemen deserve a terrific facility. That's a
14 dump. It's absolutely right. There's no question about it.
15 But I don't know whether that's the way to go, you know. I
16 think we really need to think hard about this and use our
17 hearts as well as our heads.

18 The other thing I wanted to say was for every
19 betterment that this gentleman at the table has earmarked, I
20 could very easily rationalize the opposite. For instance, he
21 said you know you need to have extra curbing -- extra
22 entranceway. Well, there's probably a couple of entranceways
23 that have to be developed in the curbing if you take the
24 residences, so it's offsetting.

25 And why can't you park next door in that parking

1 lot? Why do you have to go over to the college? That's a
2 huge parking lot over there, over near the health food store.
3 I don't get that at all. I'm sure they would be good
4 citizens and they would be willing to talk about it. Has
5 anybody approached them? That's another question we ought to
6 ask. Does anybody know anything about that?

7 MS. PORTER: That lot is owned by the city and it
8 was one of the locations, as I understand, that was
9 originally looked at for the temporary location of the fire
10 station, and it's simply too small.

11 MR. MANLEY: Too small? Anyway, one last thing, if
12 I may? I think you need to move east. It may take as long
13 or even longer to move west. I'm certainly not willing to
14 endorse it and I live one house over from the two properties
15 that are considered for demolition. You know, there's all
16 kinds of ways to delay this thing. I don't want to be the
17 bad guy. I think the firemen deserve as much consideration
18 as the community can give it. Even a different site might be
19 a good idea, if there's one available I mean if you could get
20 into it right away. Even if it costs a little more. So
21 what? It's not all dollars and cents.

22 MR. KOUSOULAS: Okay, are there any other speakers?

23 MR. JARBOE: I didn't sign up. I'm the Chief of
24 the Takoma Park Volunteer Fire Department and --

25 FEMALE VOICE: Sir, your name, please?

1 MR. JARBOE: I'm sorry, Jim Jarboe, J-A-R-B-O-E.
2 The -- in reference to -- you know, for the last several
3 years, we've always talked to how the firehouse was, you
4 know, built in 1927. We're the oldest first department, in
5 case you didn't know, in Montgomery County. That fire
6 department was built by the volunteers in '27 and '28, but
7 the thing is looking around the a site. We'd love to find a
8 site that's closer in to put a temporary station than where
9 it is going there, but there is no places.

10 And, again, I keep mentioning the possible time
11 line. If we lose that site up there, the only really choices
12 they have is to move that temporary station for 18 months out
13 of the City of Takoma Park. And that's the biggest thing; we
14 definitely -- and parking always has been a problem there.
15 In 19 -- just prior to 1960 -- I've been in the fire
16 department 45 years -- there was a big house that sat right
17 in that parking lot right to the right. That was 7137. So
18 that house went down in 1960; that's when they leveled that
19 house to give us some parking there. But really there is no
20 place around, and we've looked, and if somebody can find a
21 magic -- to give us another location, maybe it would be a
22 better place. But we really are against the clock and if we
23 lose out of -- that firehouse that needs a lot of work done
24 to it, and you have to live there and visit it on a regular
25 basis and see what kind of condition it is in.

1 Thank you.

2 MR. KOUSOULAS: Yes?

3 MS. PEARSALL: My name is Lorraine Pearsall. I'm
4 president of Historic Takoma. We have certainly followed
5 this issue over the past several years and we have agonized
6 over this choice that you have in front of you. If certainly
7 all things were equal, I could say that we would certainly
8 prefer to see a commercial property taken, but it seems as
9 though all things are not equal from what we have been
10 hearing and public safety is key. And we are quite concerned
11 about that issue; we need a good station. We have a historic
12 district to protect and we have truly agonized over this.
13 And I know MPI is here, but I -- you know, we have been
14 working on this and you know we could have talked to you in
15 length about this. This is not a trivial issue to us. It
16 truly is not.

17 Certainly if there was a way that the county could
18 spare one of the buildings, we would love to see that happen.
19 But I think the county has been very good and very sensitive.
20 I think that they have expended a great deal of resources
21 trying to figure out what the costs would be. I would like
22 Steve to say a few words about the condemnation issue and the
23 time issue because certainly to us, that is certainly the key
24 issue. If we have a commercial property that is looking to
25 be -- or is positively refusing and it will take years, our

1 firemen don't deserve that and that is not the way we want to
2 go.

3 And so Wayne had said that it appeared that there
4 was going to be condemnation proceedings necessary for --

5 MR. GOLDSTEIN: Well, I don't know --

6 MS. PEARSALL: -- the residential and I would like
7 Steve and Perry to talk to that because I'm not sure that's
8 correct. And, you know, if you guys could elucidate us on
9 that I think it would be very important. But certainly we
10 would be concerned about delaying the station such that it
11 presents a public hazard to our historic district.

12 MR. LAMPHIER: If I could, let me address that
13 issue. First of all, both Mr. Goldstein and Mr. Manley
14 brought up the house next door. I'd like to note that the
15 letter that's attached to the packet, as well as another
16 letter that's been received by this agency, are from a tenant
17 in the house next door. This is not the owner of the house
18 next door. This is an accessory apartment that this
19 gentleman rents from them.

20 We have a group of people that does land
21 acquisition. They have been meeting with the owners of the
22 house next door and, quite honestly, it's unbelievable the
23 benefits the county has to give people when they want a piece
24 of your property. They met with them as recently as last
25 week. They've decided -- Mike Cassidy, who is our land

1 acquisition person, reported to us this afternoon that the
2 residents have a list of three items that they're concerned
3 about when they're relocated. The county has contracted with
4 a real estate agent to find a suitable house that meets these
5 people's requirements. I don't -- I'm not sure it's
6 appropriate to go into the details of what they're looking
7 for at this meeting, but we are in negotiation with them to
8 make this work.

9 And also for the tenants, the second house over is
10 a rental property. There are four tenants in there and there
11 are also relocation benefits for the tenants that are for
12 people that rent.

13 Certainly it's quite possible that everything could
14 fall through tomorrow, but right now we don't see that
15 happening. The daughter of the owners of the house next door
16 is our contact. She is -- appears to be representing her
17 parents in the matter, so we're making some headway with
18 that. It's not as if we haven't approached these people
19 before.

20 The second house over we see no issue with the
21 purchase of that property. And, in fact, we've received
22 quite a few phone calls from the owner of that property,
23 inquiring as to where this project stands.

24 MR. SPURLOCK: Have you or your architects
25 investigated -- one of the other speakers brought up the idea

1 of parking underground. Has that been fully investigated and
2 ruled out or --

3 MR. LAMPHER: I think what I would like to do is
4 allow the gentleman behind me from our A&E firms and also --
5 over there to cover that issue more specifically, because
6 they can cover it better technically than I can.

7 MR. HACKLEY: We kind of avoided --

8 MS. VELASQUEZ: Could you say your name for the
9 record?

10 MR. HACKLEY: My name is Michael Hackley. I'm the
11 architect -- one of the architects from Michael Hackley
12 Architects. We have -- we were part of the feasibility study
13 that was done in 1997, along with all the other stakeholders.

14 All along in pursuing the construction of a new
15 fire station that meets the operational standards for
16 Montgomery County Fire/Rescue in the planning process we've
17 avoided trying to put any kind of program underneath the
18 apparatus bay. The apparatus bay, because of its design,
19 requires an extraordinary amount of support to hold up the
20 apparatus above. And any program underneath of that, like
21 parking or habitable space runs into the program of the
22 concrete cracking as it normally does under the weight of the
23 large apparatus and the salt water getting underneath and the
24 steel underneath begins to rust. And a perfect example of
25 that is the existing station right now and its structural

jd

1 problems.

2 So, in constructing a new station, we want to avoid
3 having the same problem. So the only places that provide us
4 the opportunity of providing parking underneath would be
5 program spaces that are not apparatus bays. And since we
6 have to wrap that program in a U-shape around it, they are
7 very thing spaces. So the opportunity to provide parking
8 underneath the building is limited. We can get three, four,
9 five spaces, maybe six or seven, but that's about the limit
10 that we can get underneath the building, which sort of forced
11 us to consider parking either in the rear or alongside of the
12 building.

13 And because of the extremely wooded ravine in the
14 back, the feasibility of putting parking back there is
15 limited. So, the only other place to provide the absolute
16 minimum number of spaces required by the fire department is
17 to the west, where the residential houses are. So,
18 reluctantly that was the only place we could provide that
19 parking.

20 MR. GILBERT: I'm Greg Gilbert from Bignell,
21 Watkins, Hasser. What I want to do is why don't we show the
22 two base levels. We have both the residential scheme -- the
23 R scheme and the commercial scheme; the C scheme. And we
24 have -- what I'm trying to show here is that -- you can show
25 them both at the same time. The lower level -- the ones you

1 had -- this one -- that one.

2 Presently on both of these schemes we have put
3 parking under the building.

4 MR. SPURLOCK: Could you hold them up a little
5 higher please, so we can see them?

6 MR. GILBERT: The commercial concept; same thing.
7 We're coming around, wrapping around the building and putting
8 as much parking under the building that we can without going
9 under the apparatus bay. You know, we have to deal a lot
10 with actual -- the structure and the supports of the building
11 itself, which is here, so we're sort of restricted to the
12 fact that, you know, the drive aisles can't be at the center
13 of the building. But parking can be.

14 MR. HACKLEY: Just so you know what you're looking
15 at, this scheme here we call Scheme C shows the implications
16 of the expansion happening towards the east where the
17 commercial property is and then one I'm holding is Scheme R,
18 which shows the expansion possibilities to the residential
19 direction, which is east. We get east and west confused --

20 FEMALE VOICE: West.

21 MR. SPURLOCK: Scheme R is the building above that
22 parking that's to the rear of the building?

23 MR. HACKLEY: This is the commercial property that
24 we were talking about.

25 MR. SPURLOCK: I mean, the parking that's to the

1 rear of the building; is that underground or underbuilding
2 parking or --

3 MR. HACKLEY: Yes, it is. All of that is totally
4 underground. There's two, four, six, seven spaces.

5 MR. GILBERT: Right, and in the commercial scheme
6 we have one row of parking under the building and another row
7 of parking that's behind. And that's part of why the
8 commercial scheme starts costing more, because we're starting
9 to build retaining walls to support this parking. The worst
10 part of the ravine is actually back here, so when we start
11 going into the -- pushing that parking back, the retaining
12 walls tends to be, you know, 15 to 20 feet tall.

13 MR. HACKLEY: And that's a substantial amount of
14 masonry and engineering.

15 MS. VELASQUEZ: Well, and didn't I hear also that
16 if you went to the commercial scheme and had to build a big
17 retaining wall there, we would lose a whole stand of mature
18 trees?

19 MR. GILBERT: No, that was actually if -- we did
20 another --

21 MS. VELASQUEZ: Or was that for the two-story
22 concept?

23 MR. HACKLEY: That was for the two-story concept.

24 MS. VELASQUEZ: Okay, thank you.

25 MR. GILBERT: But also if we take a look at the

1 residential. When -- we have a smaller scheme that we could
2 pass out, but when you take this parking from the adjacent
3 and say we only want to purchase one of the properties, that
4 starts taking basically this whole row of parking and we'd
5 need to transport it to the rear. And then when we do that,
6 it's this portion of the site right there that has all the
7 mature trees that we'd now have to start cutting down, which
8 basically means the people who are living here who are now
9 presently looking at woods will now be looking at --

10 MR. HACKLEY: A 20-foot retaining wall.

11 MR. GILBERT: -- the back of a retaining wall that,
12 yeah, maybe we could disguise with vines and other things,
13 but --

14 MALE VOICE: Could you point out on that plot what
15 the access would be for building that retaining wall you
16 mentioned? You'd have to go in --

17 MR. GILBERT: Well, because -- because we're
18 building a retaining wall, which the base of the retaining
19 wall would be basically 20 feet down from the fire station
20 side, the only way they could truly build that is if they
21 came from the residential -- through the residential lot to
22 actually be able to build the -- cut the foundation, put the
23 retaining wall in so they could now start to fill in from the
24 other side.

25 MR. HACKLEY: And we'd have to get a construction

1 right-of-way and pay for the disturbance --

2 MR. GILBERT: We haven't done -- survey, but we
3 figure we also need to like cut -- like a construction line
4 because we're actually talking about, you know, backhoes and
5 figure out how to get concrete and all that. So, we're going
6 to do a lot of damage to the residential property and
7 probably need to tear trees down off the residential property
8 to do this, too.

9 MR. KOUSOULAS: Okay. Would the Commission focus
10 on the C,R thing and your perspective on which seems more
11 appropriate.

12 MR. HARBIT: Well, I'm impressed with the amount of
13 work that's gone into the planning of this project by the
14 community. I was a person who was particularly concerned
15 about whether or not the commercial scheme had been fully
16 investigated a year ago. It seemed to me at the
17 conversational presentation at that time that it hadn't been.
18 I'm glad that it has been fully explored. I'm absolutely
19 convinced that we need a fully functioning fire station as
20 quickly as possible in this historic district. It has the
21 most number of historic structures of any historic district
22 in the county and as sad as it is to see two building -- two
23 residential buildings lost, I think that is unfortunately the
24 best solution. So, I would approve Scheme R.

25 With one more comment. That I would certainly want

1 Historic Takoma and the other citizens who are interested in
2 the architectural design of the building to continue to
3 remain very active in that process. I know that it's
4 probably -- it's not going to be possible to reconstruct the
5 gable -- or, the cobbled stone structure, but I don't think
6 Takoma Park is ready for aluminum and glass either, and there
7 has to be -- there has to be a design that will complement
8 the historic character of the surrounding neighborhoods and
9 be reflective of the history of the community and I think if
10 community participation, as has already gone on, continues,
11 particularly with Historic Takoma represented, that we'll get
12 to a design scheme that everybody can be pleased with.

13 MS. VELASQUEZ: I agree with Commissioner Harbit in
14 that this Scheme R is about the only way we can go. This is
15 an extraordinarily difficult site to work with in the first
16 plan.

17 MR. KOUSOULAS: What about one or two houses?

18 MS. VELASQUEZ: Both houses. I think that here
19 just to probably paraphrase what Commission Harbit said is
20 the overwhelming and overriding public good of a really good
21 fire station that the firefighters can work efficiently from
22 and to protect the hundreds of historic structures.

23 The alternative is if we can't make this -- really
24 make this go, we're not going to have a fire station in
25 Takoma Park. We have already been informed that by

1 Montgomery County. And there we are really doing a
2 disservice to our citizens and any semblance of any historic
3 district you want to preserve in Takoma Park.

4 MR. SPURLOCK: I think I would agree with
5 Commissioner Harbit and just add the point that if you came
6 back with something that looked like this, I would be --
7 strongly vote against it because I think this is not
8 appropriate. It has to be a building of our time and of our
9 age. I think things can be done with materials and other
10 gestures, but I don't think a historic reproduction, you
11 know, on steroids or whatever this is would be appropriate
12 for Takoma Park.

13 So -- but I do agree that you've made a very
14 compelling argument and I think you've made a good case for
15 Scheme R and I think I would be supportive of that.

16 MR. BRESLIN: I think you've made a good case also
17 and I would agree with what's been said. The one problem I
18 have with Scheme R isn't so much the firehouse; it's the fact
19 that you're taking about 100-foot width of the streetscape
20 and turning it into a parking lot. And walking up and down
21 that street -- it's a roughly dense streetscape and you're
22 introducing 100-foot wide gap, which is pretty foreign, I
23 think, to that streetscape. And I'm worried about that more
24 than anything else.

25 Also, taking down an historic house for a firehouse

1 is a worthy sacrifice. Taking it out for a parking lot
2 isn't. And before I voted for Scheme R -- I think you've
3 made some very compelling arguments -- I have to be convinced
4 that there is nothing that can be done with the parking to:
5 number one, save one of the houses; and I'd say, more
6 importantly, reduce that 100-foot wide gap in the
7 streetscape.

8 I can't help thinking that there might be some way
9 to put additional parking underneath an apparatus bay. It is
10 excavated, isn't it? It's not fill. It's excavated under
11 the apparatus bay?

12 MR. HACKLEY: We're proposing it to be
13 unexcavated -- further study it may wind up being, you know,
14 slab on --

15 MR. BRESLIN: If it was to be excavated, I would
16 think you'd want to study putting parking there. I would
17 also think if there are town-owned lots, you're only talking
18 about seven or eight spots, maybe spots -- parking spots to
19 be found off site within a couple blocks. But when I see a
20 house being taken down for a parking lot and a large gap
21 introduced into the streetscape, I would have hesitation
22 unless it was demonstrated without a doubt that was the only
23 way to do it.

24 MR. HACKLEY: Do you want me to speak to that?

25 MR. LAMPHIER: Is it appropriate to respond? Go

1 ahead.

2 MR. HACKLEY: In the work that we've done on this
3 in trying to put more parking back here forces us to develop
4 further back to this property owner, and because of the
5 wooded ravine and the extraordinary slope, as we talked about
6 earlier, it requires a significant amount of retaining wall.
7 It just doesn't seem to be feasible or practical to, you
8 know, take one community resource which is the wooded site
9 back here -- it seems like we're going to lose one way or the
10 other, you know. And it just didn't -- this required more
11 expanse in addition to taking that resource, so it seemed
12 more logical to put the parking on this side of the building.

13 MR. BRESLIN: I mean, it just seems like it's --

14 MS. DeREGGI: -- off site parking? Any --
15 available --

16 MR. HACKLEY: I think that maybe the Fire Service
17 can speak to that better than I could from an operational
18 standpoint. It's very sort of unusual and unrealistic, I
19 think, to have parking for this station off site.

20 MS. PORTER: May I -- well, there's also another
21 issue which really hasn't been discussed, and that's the
22 city's economic development plans for this area. One
23 reason -- another reason which hasn't been mentioned that we
24 are not particularly in favor of taking the commercial
25 businesses. That is a very viable business, which is well

1 known in the area. It's a specialty auto repair that does a
2 very good business. And we -- the city -- the lot that the
3 city owns which is on the other side of that business and the
4 one next to it, the city has been having difficulty
5 developing because it is such a small property. We
6 anticipate that when we are able to develop it, that we will
7 need every square inch of that piece of property in order to
8 provide enough space, both for the retail that we would like
9 to see there and the parking that would be associated with
10 that retail. Whereas right now the city is temporarily using
11 it for parking, our ultimate plan is to use it for retail and
12 associated parking and the only way that we can do that on
13 such a very small lot is to save every square inch of that
14 property that we own for the retail and its associated
15 parking. Otherwise, it's simply not going to work.

16 MR. MANLEY: Does the city have a plan?

17 MS. PORTER: Yes.

18 MR. MANLEY: Is it available?

19 MS. PORTER: There have been -- there are a number
20 of plans; the most recent of which is some work that was done
21 for us by an architectural planning firm and we'd be happy to
22 give you a copy of that.

23 MS. BRAITHWAITE: Steve, can I address the
24 streetscape issue?

25 MR. LAMPHIER: Yes.

1 MS. BRAITHWAITE: I just wanted to add one other
2 piece to this. As you know and can tell, it's a very complex
3 and complicated issue. I'm Darryl Braithwaite, staff person
4 with the Public Works Department in the city.

5 In concert with this station, on a separate tack,
6 the State Highway Administration is planning to spend an
7 extensive amount of money to conjoin Takoma Junction, which
8 is a commercial district further west -- I mean, Old Takoma
9 with Takoma Junction, which is to the east of this property.
10 And, in fact, in view of what's being proposed, the expansion
11 to the residential side, they're seeing that as a better
12 opportunity to improve the streetscape. The issue that you
13 raised; there will be that blank space there where there used
14 to be houses, but there's the intention for redoing the
15 historic streetlight fixtures, benching, trees, greenery;
16 there's a number of plans in the works and there's funding
17 established and the project is underway. So, the assumption
18 is that actually setting back the houses -- the houses that
19 are no longer there to the parking lot will provide an
20 opportunity to create a pedestrian path -- rather attractive
21 pedestrian path with pedestrian level lights and a lot of
22 greenery and trees that will make that whole area connect and
23 will provide a -- primarily an emphasis on pedestrian right-
24 of-way through that area. So, in addition to that, it
25 provides an opportunity that otherwise wouldn't be afforded,

jd

1 because we can't move the building back, to improve that very
2 narrow -- as you already know -- very narrow space that
3 extends between Carroll Avenue and the existing station.

4 So it's just another piece of this that helps to
5 make it all work.

6 MR. BRESLIN: Well, I have a hard time being
7 convinced that a 100-foot wide parking lot would add to the
8 ambiance of the streetscape, no matter how many nice benches
9 and lights you put up.

10 MR. KOUSOULAS: Lynne?

11 MS. WATKINS: I'm going to have to recuse myself.

12 MR. KOUSOULAS: I'd have to agree. This is an
13 extraordinary property. It really is. You travel eastward
14 through the county -- because you actually approach going
15 southward -- that's part of the problem in distinguishing
16 these schemes, but as you travel eastward through the county,
17 this is really your first view of the center of Takoma Park,
18 having left the residential part. And I can't think of many
19 other uses that are more appropriate than a civic building of
20 some sort. At a time when we try to move our post offices
21 out to the outskirts so tractor-trailers have an easy time
22 moving in and out, and really a post office seems to be a
23 civic building, you know these opportunities are rarer and
24 rarer, and I think it's good that the fire station is going
25 to be located here.

1 And I think you've made a strong case for the
2 residential scheme. I guess what I would ask is that since
3 this is such an extraordinary property, you do the best damn
4 thing you can with this building. I mean, think of that
5 approach to that curved street there. I mean, this is going
6 to be one of the most important buildings built in Takoma
7 Park, or that will exist along this stretch, and this has to
8 be the best thing we can do.

9 Whether -- you know, it's unfortunate that we would
10 have to lose both houses, but I think that to go to some
11 extraordinary means and costs to save one of those houses and
12 to subtract that from what you could do to the building I
13 think would be a trade off I wouldn't want to make. I mean,
14 obviously, there's just a certain pile of money to work with,
15 and if we're going to put it in a retaining wall in the back
16 that these other people are going to have the pleasure -- the
17 residences are going to have the pleasure of looking at, you
18 know the extra several hundred thousand dollars you spend
19 there, I don't think is well spent.

20 But I would just ask you to take a hard look at the
21 building.

22 MS. DeREGGI: My feeling, probably with the choices
23 that we have before us, the loss of the two houses is
24 indicated. I don't think the retaining wall is a viable
25 option, but I do -- I regret the idea of taking -- the