

10245 Capitol View - PRELIM  
Capitol View Park Historic Dist



5/11/04  
10245 CAPITOL VIEW  
WASHINGTON, DC 20004



Robert L. Ehrlich, Jr., *Governor*  
Michael S. Steele, *Lt. Governor*

Robert L. Flanagan, *Secretary*  
Neil J. Pedersen, *Administrator*

MARYLAND DEPARTMENT OF TRANSPORTATION

August 2, 2006

Ms. Adena Davis  
Apex Engineering  
15850 Crabbs Branch Way  
Suite 200  
Rockville, Maryland 20855

Re: Montgomery County  
Macon Construction  
MD 192 (Capital View Avenue)  
Review of Sight Distance  
Evaluation for Option #2

Dear Ms. Davis:

The State Highway Administration (SHA) appreciates the opportunity to review the revised sight distance evaluation for the proposed Macon Construction development along MD 192 (Capital View Avenue). In this submission, Option #2 was evaluated, which includes a proposed shared driveway for Lots #2 and #3. This driveway is located directly on a sharp horizontal curve of MD 192, with a posted speed of 25 MPH and a reduced warning speed of 15 MPH. We offer the following comments:

- SHA acknowledges the Historic Preservation Commission staff's position for supporting a separate driveway for Lot #1 and a shared driveway for Lots 2 and 3 so as to maintain the historic character of the area.
- Based on the revised sight distance study for the shared driveway serving Lots #2 and #3, SHA finds the proposed location acceptable for a 15 MPH speed limit. Grading and fencing adjustments will be required as shown on the submitted profile prior to issuance of an access permit from the District 3 Utilities office. In addition, the roadside area located within the sight triangles as shown on the sight distance plan should be kept clear to ensure that this sight distance is maintained. The District 3 Utilities office also reserves the right to require advance warning signs or additional roadside clearance along MD 192 to alert motorists of the proposed driveway for Lots #2 and #3.
- Overall, a permit will be required for both proposed driveways (Lot #1 and Lots #2 and #3) from the District 3 office. Please contact Mr. Augustine Rebish at 301-513-7350 for permitting requirements.

My telephone number/toll-free number is \_\_\_\_\_

Maryland Relay Service for Impaired Hearing or Speech: 1.800.735.2258 Statewide Toll Free

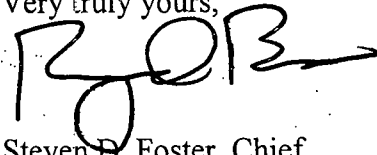
Street Address: 707 North Calvert Street · Baltimore, Maryland 21202 · Phone: 410.545.0300 · [www.marylandroads.com](http://www.marylandroads.com)



Ms. Adena Davis  
Page 2

If you have any questions or require additional information, please contact Raymond Burns at 410-545-5592 or by using our toll free number in Maryland only at 1-800-876-4742.

Very truly yours,



Steven D. Foster, Chief  
Engineering Access Permits Division

f.✓

SDF/rbb/jab

cc: Mr. Carl Mahany / Macon Construction, Inc. / 10412 Montgomery Avenue,  
Kensington, MD 20895  
Ms. Yee Mei Tse / Apex Engineering  
Ms. Michele Oaks / M-NCPPC  
Mr. Jeff Wentz *sent via e-mail*  
Ms. Kate Mazzara *sent via e-mail*  
Mr. Ted Beeghly *sent via e-mail*  
Mr. Augustine Rebish *sent via e-mail*




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: April 14, 2005

MEMORANDUM

TO: Carl Mahany, Principal  
**Macon Construction**

Cc: Thomas Manion, AIA

FROM: Michele Oaks, Senior Planner  
Historic Preservation Section 

SUBJECT: Historic Area Work Permit Application # 377591, Additions and alterations to 10245 Capitol View Avenue, Silver Spring (Capitol View Park Historic District).

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Your Historic Area Work Permit application for additions and alterations to the house at 10245 Capitol View Avenue, Silver Spring was **approved with a condition** by the Historic Preservation Commission at its April 13, 2005 meeting. The condition of approval is:

1. The design of the side addition is modified by eliminating the boxed bay and installing flush paired or triple windows.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the HPC stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.





**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	10245 Capitol View Ave, Silver Spring	<b>Meeting Date:</b>	04/13/05
<b>Resource:</b>	Outstanding Resource Capitol View Park Historic District	<b>Report Date:</b>	04/06/05
<b>Review:</b>	HAWP	<b>Public Notice:</b>	03/30/05
<b>Case Number:</b>	31/07-05A	<b>Tax Credit:</b>	N/A
<b>Applicant:</b>	Macon Construction (Carl Mahany, Principal)	<b>Staff:</b>	Michele Oaks

**PROPOSAL:** Rehabilitation and Additions

**RECOMMENDATION:** Approve with condition

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**RECOMMENDATION:** Staff recommends that the Commission approve this HAWP application with the condition that:

- The design of the side addition is modified by eliminating the boxed bay and installing flush paired or triple windows.

**BACKGROUND:**

The Commission reviewed this project as a preliminary consultation at its March 9, 2005 meeting (transcripts and the drawings from this meeting are attached beginning on circle 41.)



**HISTORIC INFORMATION**

Capitol View Park is a railroad community begun in 1887 when Mary and Oliver Harr purchased and subdivided land along the B&O's Metropolitan Branch between Forest Glen and Kensington. The community's name came from the view of the Capitol dome afforded by the upper stories of some of the early houses. Because of the growth of trees in intervening years, this view is no longer possible. Capitol View Park, however, continues to retain the scenic, rural setting which attracted its first inhabitants from Washington. Narrow, country lanes wind between large lots, the average of which is 12,000 square feet. Farmer Thomas Brown built a house in the post-Civil War era, before the railroad bisected his farm. Set back on a long curving driveway, Brown's dwelling still stands, known as the *Case House*, at 9834 Capitol View Avenue.

Unlike the homogenous suburban developments that make up a great deal of Montgomery County, Capitol View Park is a picturesque blend of many architectural styles dating from the 1890s to the 1980s. The community represents the architectural history of Montgomery County over the last century. The first houses built in Capitol

View Park were designed in the Queen Anne style, characterized by their picturesque rooflines, large scale, numerous porches, and variety of building materials, including clapboard and fishscale shingles. Notable Queen Anne-style houses, built in the 1880s and 1890s, are found on Capitol View Avenue, Meredith Avenue, Lee Street, and Menlo Avenue. Residents built Colonial Revival style dwellings beginning in the 1890s. These dwellings feature classical details including cornices with entablatures, heavy window molding, and large round porch columns. Colonial Revival-style houses are found on Capitol View Avenue and Grant Avenue.

By the turn of the twentieth century, smaller-scale houses were becoming popular. Designed to harmonize with natural settings, these structures have a horizontal emphasis and were painted in natural tones. This group includes Bungalow- and Craftsman-style houses built from 1900 into the 1920s. Early examples are found on Stoneybrook Drive, Meredith Avenue, and Capitol View Avenue.

The pace of growth in Capitol View Park continued at a constant rate until the 1940s when a construction boom added nearly 50 houses to the community. Since then, houses have been added at a more leisurely rate, continuing the pattern of diversity that characterizes Capitol View Park.

### **SITE DESCRIPTION**

SIGNIFICANCE: Dwyer House  
Outstanding Resource in the Capitol View Park Historic District  
STYLE: Colonial Revival  
DATE: c1893

The subject property is located at the northwestern boundary of the historic district. The property currently contains the existing house and an abandoned wishing well. Its' neighbors are the Cooley House (Outstanding Resource, 1912 Colonial Revival) to the east and several c. 1950s resources to the north, south and west – which are outside the historic district's boundary. The property is dense with foliage and trees.

The Planning Board recently approved the Commission recommended subdivision of this property creating 2 additional buildable lots (see site plan in packet). The historic, Dwyer House will remain on Lot 3. The remaining acreage is divided as follows:

Lot 1	.16 acres	Lot 3	.39 acres
Lot 2	.17 acres	Outlot A	.14 acres
Outlot B	.12 acres		
Capitol View Ave ROW	.36 acres		

**PROPOSAL:**

The applicant proposes to rehabilitate the existing house by:

1. Removing the deteriorated wood siding and trim, as needed, and replacing it in-kind.
2. Removing the existing roofing material and replace with asphalt shingles.
3. Removing the existing chimney and rebuild the exterior chimney stack only - to match existing.
4. Reconstructing the original full-width front porch (see historic photos).
5. Repair or replace the existing 6/1 windows. Remove and replace the existing 1/1 windows with 12/1 SDL wood windows to match the existing.
6. Repoint the existing stone foundation

The applicant proposes to modify the existing house by:

7. Expanding the two-story, hipped roofed side extension.
8. Construct a one-story addition with side porch in front of the new gable or hipped roof side addition.
9. Construct a rear one-story with basement octagonal sunroom addition to the house.

Material Specifications:

- Wood, clapboard siding
- Wood SDL 12/1 windows
- Stone foundation for porch and additions
- 10" wood columns for front porch
- Painted, wood tongue and groove porch flooring
- Wood, square picket balustrade for front porch

**APPLICABLE GUIDELINES:**

When reviewing alterations and additions to outstanding resources within the Capitol View Park *Master Plan* Historic District two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.

2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

Secretary of the Interior's Guidelines for Rehabilitation

- #1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #7 Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

## **STAFF DISCUSSION:**

Staff commends the applicant's desire to rehabilitate the original massing of this house and does not object to the proposed repair and replacement of deteriorated building material on this property as long as the goal is to keep as much of the original materials as possible. Retaining much of the original fabric helps to retain the building's architectural integrity.

The existing roofing material is asphalt and staff does not object to the replacement in-kind of this building material.

The existing chimney and fireboxes have created significant damage to the integrity of the building's structure. Staff does not object to its removal as long as the chimney-stack, as specified by the applicant, is rebuilt and no exterior elements will be changed.

The applicant has provided staff with photo documentation of the original house's full-width front porch. Therefore, this reconstruction of a documented original feature is in accordance with the guidelines and thus staff supports its installation.

The applicant has provided the Commission with a detailed assessment of every window on the building and is proposing to restore all of the original windows, relocate and rehabilitate the 12/1 windows being removed for the construction of the additions, and replace the non-historic 1/1 windows with 12/1, SDL wood windows. Staff recommends approval.

After additional research, staff does believe that the side extension is original to the house. The side addition is shown on the 1941 Klinge' map and the 1927 Sanborn map of Capitol View Park. Typically, staff does not support modifications to original features on side elevations of outstanding resources within the Capitol View Park Historic District. However, given the fact that the Planning Board has approved a subdivision for this lot creating two additional lots to the west - the south (front) and east (left) elevations will become the prominent facades on this house. Therefore, staff would not want to see an addition extend from the left elevation to preserve the right extension, as suggested by a Commissioner at the Preliminary Consultation. The a-symmetrical footprint is an important architectural detail. Although staff would still like to see no modifications to either side elevation, expanding the existing side addition on a façade that will not be very visible once the new houses are erected, seems to be a more appropriate modification to this house. The proposal for this addition is much more sympathetic than the previous HAWP, as its design is in keeping with the existing architectural detailing and is only two-stories in height. Staff is still concerned with the boxed bay detail that is shown on the west façade. The boxed bay will be visible from the front façade. This design element has a mass, which is visible from the front façade. This mass adds another element to this façade and visually draws the eye more towards the side addition and away from the more simplified original block of the house. Eliminating the boxed bay and installing flush paired or triple windows would visually simplify this side addition and bring the focal point back to the main block.

The applicants also modified the one-story porch detail on the side addition so that the

original window and more of the exterior wall surface is retained as an exterior detail. Staff supports this modification.

The proposed rear addition is compatible to the existing architectural style and does not negatively impact the original house. There are currently French doors on the first story and a single door on the basement level on this elevation, which will provide access to the new space.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission *approve with the above-stated condition* this HAWP application as being consistent with Chapter 25A-8(b) 1, 2, 3 and 4.

and with the *Secretary of the Interior's Standards*.

and with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present three, (3) permit sets of drawings to HPC staff for review and stamping prior to submission for permits, and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: Carl Mahany  
Daytime Phone No.: 301 933 7420

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: 10212 Kensington Park, LLC Daytime Phone No.: 301 933 7420  
Address: 10412 Montgomery Ave Kensington MD 20895  
Street Number City State Zip Code  
Contractor: Waco Const. Inc. Phone No.: 301 933 7420  
Contractor Registration No.: 15715  
Agent for Owner: Carl Mahany Daytime Phone No.: 301 933 7420

**LOCATION OF BUILDING/PREMISE**

House Number: 10245 Capitol View Ave Street: Capitol View Ave Capitol View Ave  
Town/City: Silver Spring Nearest Cross Street: Meredith Ave.  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: Capitol View  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 240,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 2 feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Carl Mahany Signature of owner or authorized agent 3/23/05 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 377591 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*This single family residence is a primary resource located in the Capital View Historic Dist. The existing house is in very poor condition. We propose to restore the existing house, re-build a front porch which once existed on the house, and add a side addition and a rear addition.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*This exists resource has been allowed to deteriorate very badly. we propose to restore the house to it's original condition, rebuild the old porch and add two additions. This work will let this house survive on into the 21<sup>st</sup> century. The impact on the historic district will be a positive one, the closest neighbors house is over 150' away.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).





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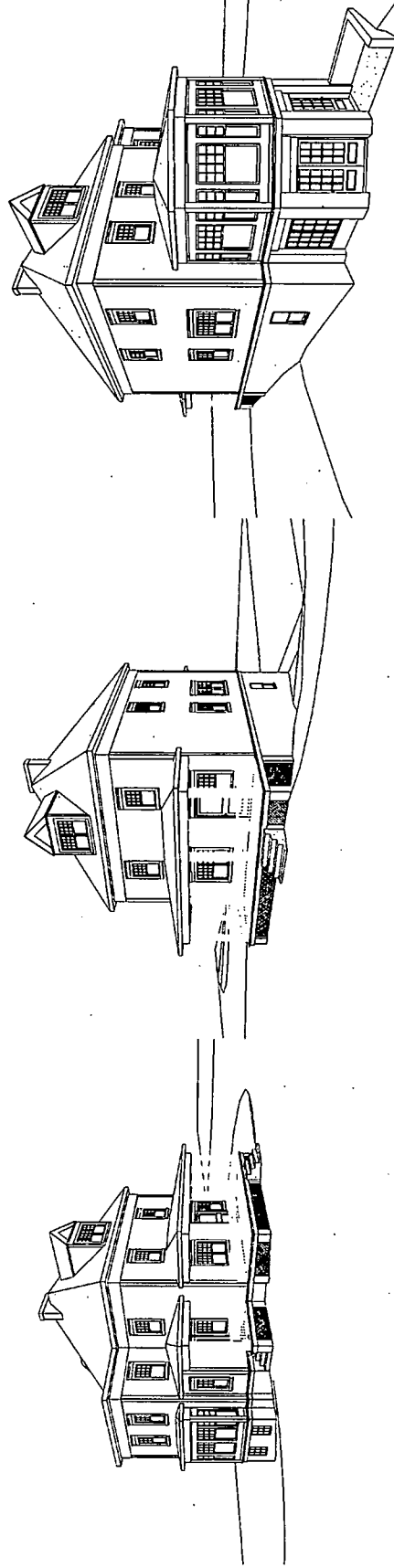




# Renovation to the Capitol View Residence

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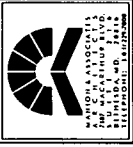
## Proposed



1 Front Perspective  
1:2.08

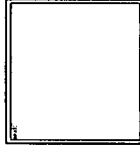
2 O-Front Perspective  
1:2.08

3 Rear Perspective  
1:2.08



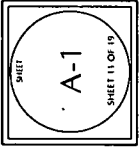
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Perspectives  
Proposed



Notes: As Noted  
 DRAWN: [blank]  
 CHECKED: [blank]  
 DATE: 03.18.05  
 DESIGNED: [blank]

When dimensions on these drawings shall have precedence over dimensions on any other drawings, the dimensions on these drawings shall prevail. All dimensions shall be in feet and inches, unless otherwise noted. All dimensions shall be in feet and inches, unless otherwise noted. All dimensions shall be in feet and inches, unless otherwise noted.



## WINDOW RESTORATION SCHEDULE

### BASEMENT

- #1 - NEW WINDOW IN NEW OPENING.
- #2 - TO BE REMOVED.
- #3 - NEW WINDOW IN NEW OPENING.
- #4 - REPLACE EXISTING SIX OVER ONE WITH NEW SDL UNIT TO MATCH EXISTING. SASH AND JAMB ARE HEAVILY DETERIORATED.
- #5 - NEW WINDOW IN NEW OPENING.

### FIRST FLOOR

- #6 - NEW WINDOW IN NEW OPENING.
- #7 - NEW WINDOW IN NEW OPENING.
- #8 - RESTORE EXISTING SIX OVER ONE DH WINDOW. SAVE AS MUCH OLD GLASS AS POSSIBLE, TYPICAL.
- #9 - RESTORE EXISTING SIX OVER ONE DH WINDOW. SAVE AS MUCH OLD GLASS AS POSSIBLE, TYPICAL.
- #10 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #11 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #12 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #13 - NEW WINDOW IN NEW OPENING.
- #14 - NEW WINDOW IN NEW OPENING.
- #15 - NEW WINDOW IN NEW OPENING.

### SECOND FLOOR

- #16 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
- #17 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
- #18 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
- #19 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #20 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #21 - RELOCATE SASH FROM OPENING #22. ORIGINAL WINDOW NO LONGER IN PLACE.
- #22 - NEW WINDOW IN EXISTING OPENING. RELOCATE EXISTING SASH TO OPENING #21. EXISTING GLASS IS NOT TEMPERED AND NOT TO CODE ABOVE A BATH TUB.
- #23 - NEW WINDOW IN NEW OPENING.

### ATTIC

- #24 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
- #25 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.

### GENERAL NOTES

THE NEW WINDOWS SHALL BE SDL INSULATED GLASS UNITS, WITH 7/8" MUNTINS, WITH LIGHT CUT PATTERNS TO MATCH THE ORIGINAL SASH, OR IN THE CASE OF NEW OPENINGS, AS SHOWN ON THE ELEVATIONS.

THE REMAINING SGL WINDOWS SHALL BE COVERED WITH TRIPLE TRACK STORM/SCREEN WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND REDUCE TRAIN NOISE.



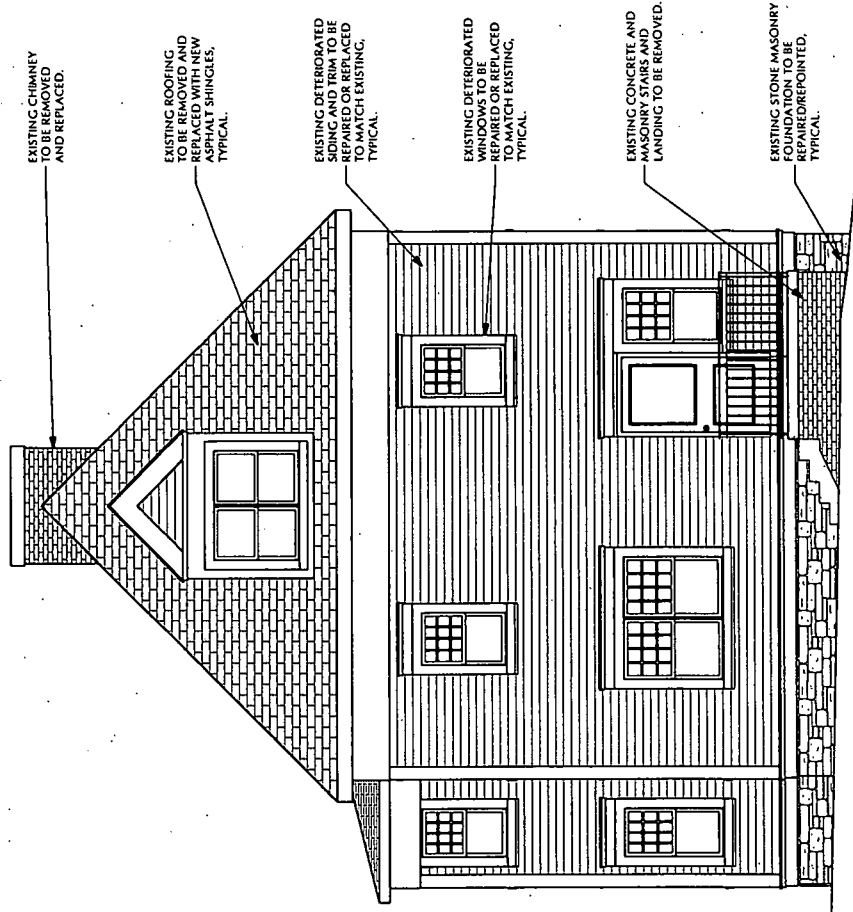
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Existing  
Front Elevation

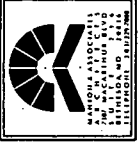
When dimensions on these drawings are in conflict, the dimensions on the drawings shall govern. The contractor shall be responsible for all field measurements and conditions on the job and for any variations from the drawings or specifications.

SCALE:	As Noted
DRAWN:	ARCHITECT
CHECKED:	ARCHITECT
DATE:	03.18.05
PROJECT:	
© COPYRIGHT	

SHEET  
E-6  
SHEET 7 OF 19



1 Front Elevation  
1/4" = 1'-0"



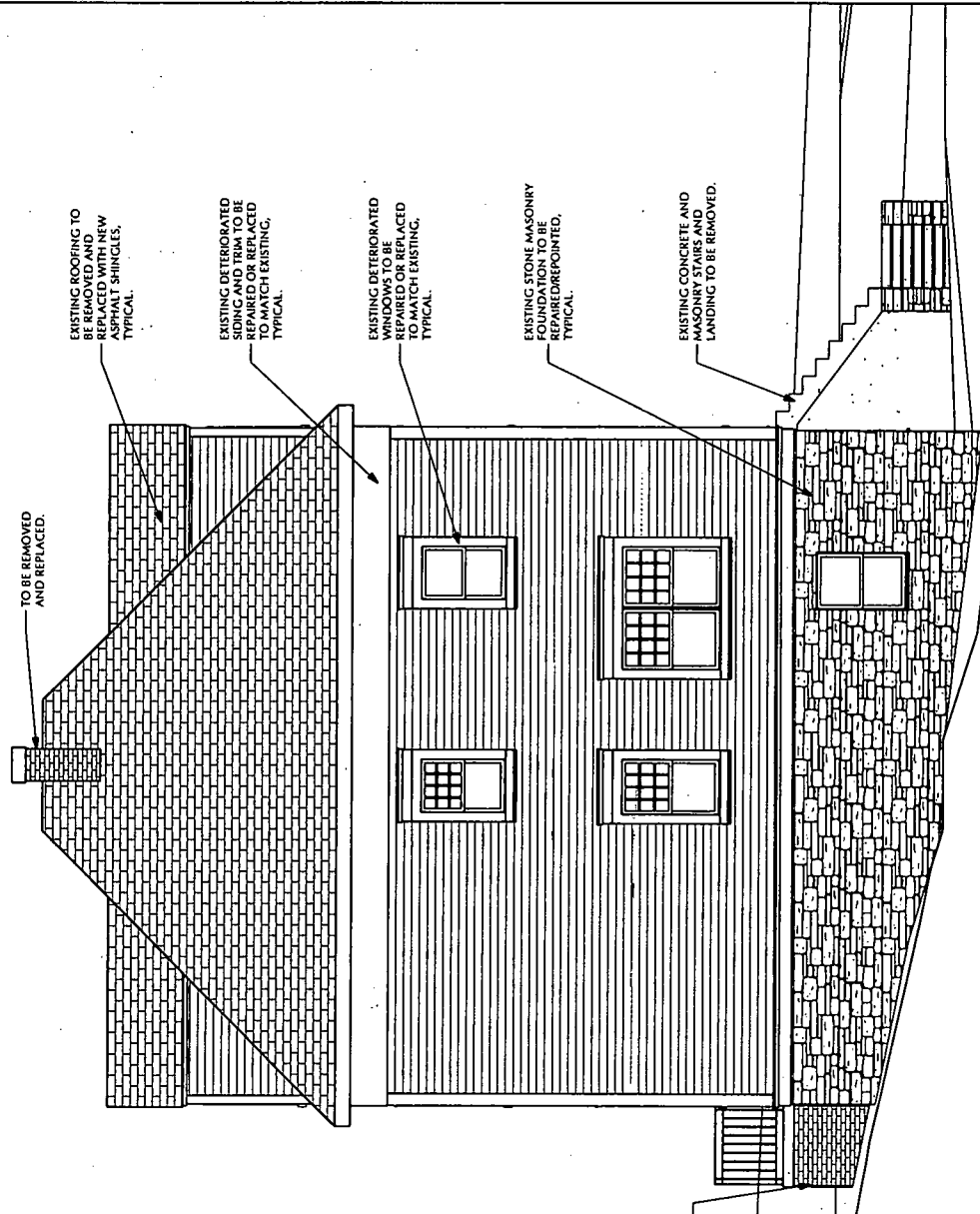
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Existing  
 Right Side Elevation

Notes: All work to be done in accordance with the provisions of the National Building Code of the United States and all applicable local codes and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for protecting all existing work and utilities. The contractor shall be responsible for maintaining access to all adjacent properties. The contractor shall be responsible for maintaining the site in a safe and sanitary condition at all times. The contractor shall be responsible for the removal and disposal of all debris and materials. The contractor shall be responsible for the cleanup of the site. The contractor shall be responsible for the final inspection and certification of the work.

DATE:	01.18.05
DRAWN BY:	
CHECKED BY:	
PROJECT:	
SCALE:	As Noted

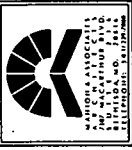
SHEET  
**E-7**  
 SHEET 6 OF 19



- TO BE REMOVED AND REPLACED.
- EXISTING ROOFING TO BE REMOVED AND REPLACED WITH NEW ASPHALT SHINGLES, TYPICAL.
- EXISTING DETERIORATED SIDING AND TRIM TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.
- EXISTING DETERIORATED WINDOWS TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.
- EXISTING STONE MASONRY TO BE REPAIRED/REPOINTED, TYPICAL.
- EXISTING CONCRETE AND MASONRY STAIRS AND LANDING TO BE REMOVED.

1 Right Side Elevation  
 1/4" = 1'-0"

(51)



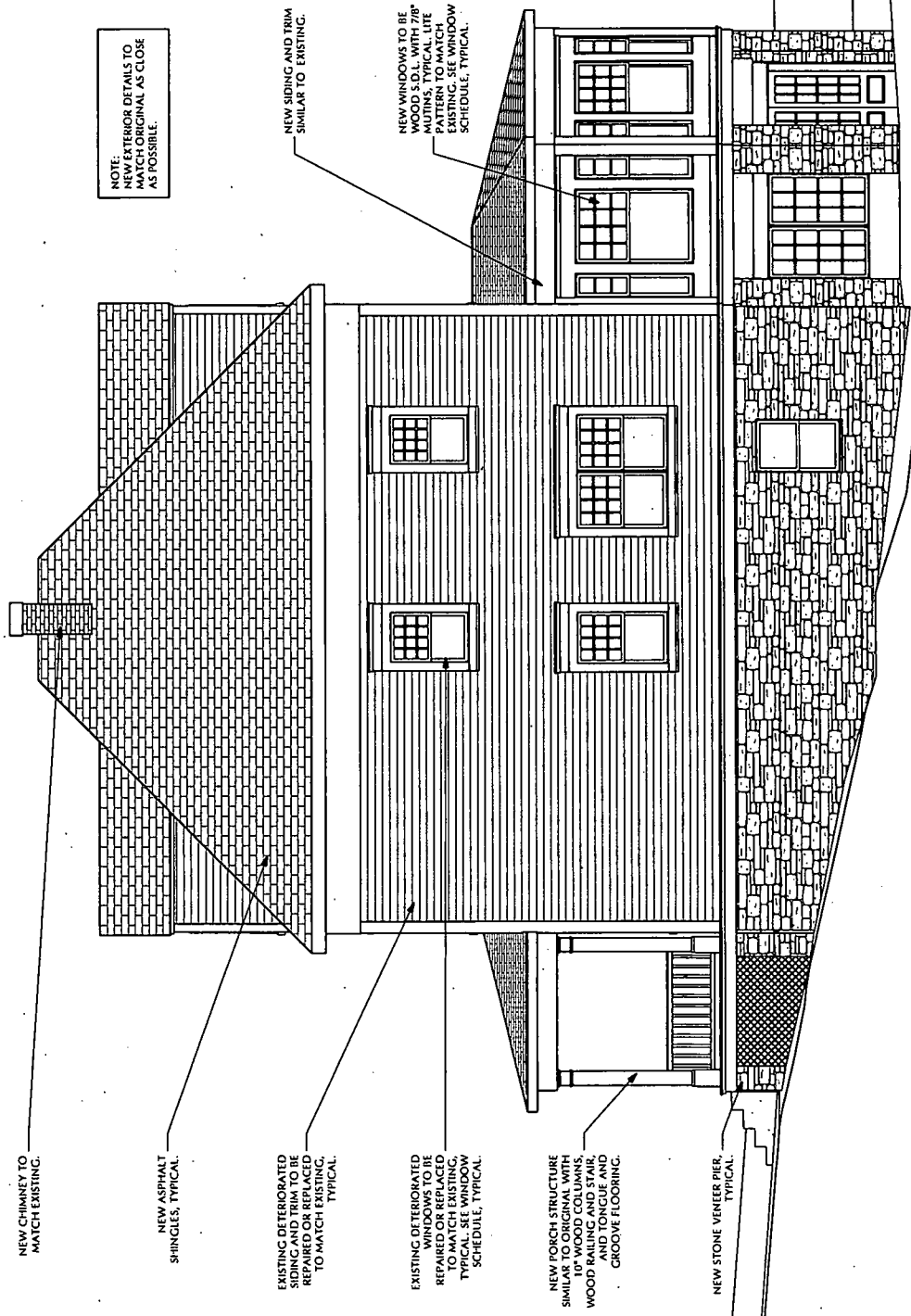
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Proposed  
 Right Side Elevation

When dimensions on these drawings call for a particular material, the contractor shall verify the availability and conditions on the job site and shall be responsible for any substitutions or variations from the specifications and conditions.

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	03.18.05
VERSION:	

SHEET  
 A-7  
 SHEET 17 OF 19



NOTE:  
 NEW EXTERIOR DETAILS TO  
 MATCH ORIGINAL AS CLOSE  
 AS POSSIBLE.

NEW CHIMNEY TO  
 MATCH EXISTING.

NEW ASPHALT  
 SHINGLES, TYPICAL.

EXISTING DETERIORATED  
 SIDING AND TRIM TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL.

EXISTING DETERIORATED  
 WINDOWS TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL. SEE WINDOW  
 SCHEDULE, TYPICAL.

NEW PORCH STRUCTURE  
 SIMILAR TO ORIGINAL WITH  
 10" WOOD COLUMNS,  
 WOOD RAILING AND STAIR,  
 AND TONGUE AND  
 GROOVE FLOORING.

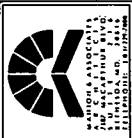
NEW STONE VENEER PIER,  
 TYPICAL.

NEW SIDING AND TRIM  
 SIMILAR TO EXISTING.

NEW WINDOWS TO BE  
 WOOD S.D.L. WITH 7/8"  
 MUNTINS, TYPICAL. LIFE  
 PATTERN TO MATCH  
 EXISTING. SEE WINDOW  
 SCHEDULE, TYPICAL.

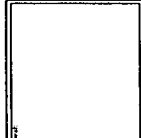
1 Right Side Elevation  
 1/4" = 1'-0"





Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

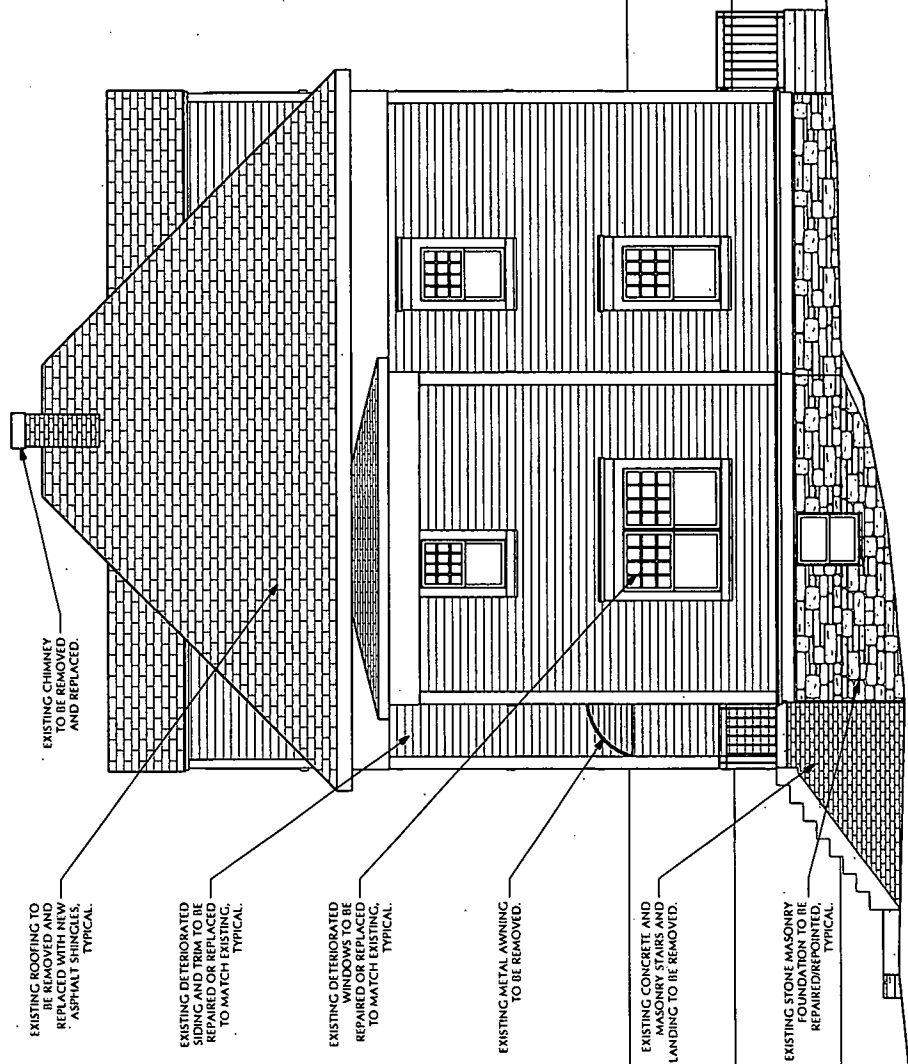
Existing  
 Left Side Elevation



Without deviation of form  
 or content, shall these provisions  
 constitute the entire contract  
 and conditions of the job and  
 shall govern in the event of  
 any variation from the  
 drawings and conditions.

DATE:	03.18.05
PROJECT:	Capitol View
ARCHITECT:	KAPLAN ARCHITECTS P.A.
SCALE:	AS SHOWN
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	03.18.05
PROJECT:	Capitol View
ARCHITECT:	KAPLAN ARCHITECTS P.A.
SCALE:	AS SHOWN
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	

E-9  
 SHEET 10 OF 19



EXISTING CHIMNEY TO BE REMOVED AND REPLACED.

EXISTING ROOFING TO BE REMOVED AND REPLACED WITH NEW ASPHALT SHINGLES, TYPICAL.

EXISTING DETERIORATED ROOFING TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING DETERIORATED WINDOWS TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING METAL AWNING TO BE REMOVED.

EXISTING CONCRETE AND MASONRY STAIRS AND LANDING TO BE REMOVED.

EXISTING STONE MASONRY FOUNDATION TO BE REPAIRED/REPOINTED, TYPICAL.

1 Left Side Elevation  
 1/4" = 1'-0"



WARDER & ASSOCIATES, INC.  
 700 W. F. ST. SUITE 200  
 BETHESDA, MD 20814  
 TEL: 301.279.1100

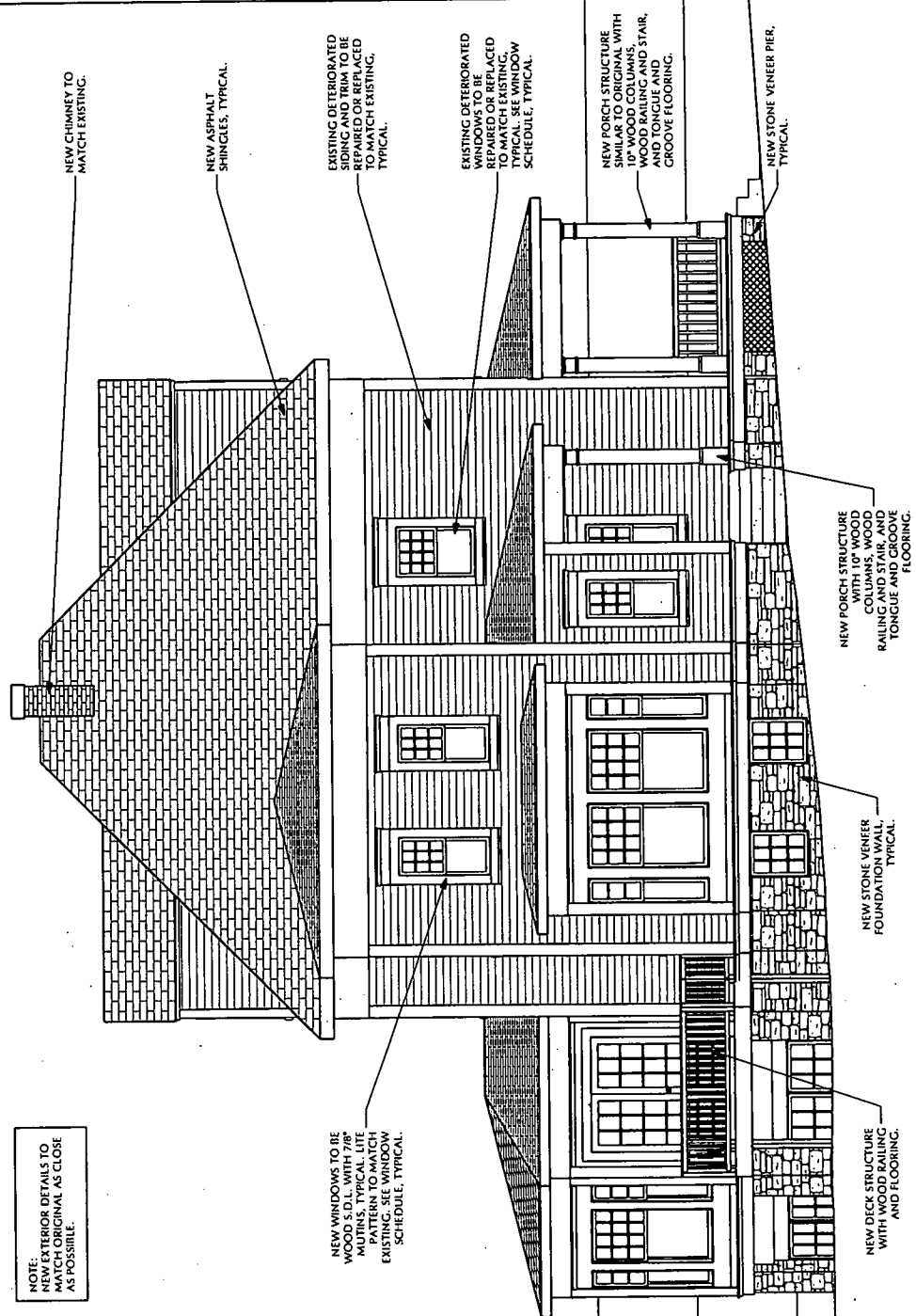
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Proposed  
 Left Side Elevation

Without description on these drawings, the contractor shall be responsible for all materials and workmanship. The contractor shall be responsible for all materials and workmanship.

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	01.18.05
PROJECT:	
TO CONTRACT	

SHEET  
**A-9**  
 SHEET 19 OF 15



NOTE:  
 NEW EXTERIOR DETAILS TO  
 MATCH ORIGINAL AS CLOSE  
 AS POSSIBLE.

NEW CHIMNEY TO  
 MATCH EXISTING.

NEW ASPHALT  
 SHINGLES, TYPICAL.

EXISTING DETERIORATED  
 SIDING AND TRIM TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL.

EXISTING DETERIORATED  
 WINDOWS TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL. SEE WINDOW  
 SCHEDULE, TYPICAL.

NEW PORCH STRUCTURE  
 SIMILAR TO ORIGINAL WITH  
 10" WOOD COLUMNS,  
 WOOD RAILING AND STAIR,  
 AND TONGUE AND  
 GROOVE FLOORING.

NEW STONE VENEER PIER,  
 TYPICAL.

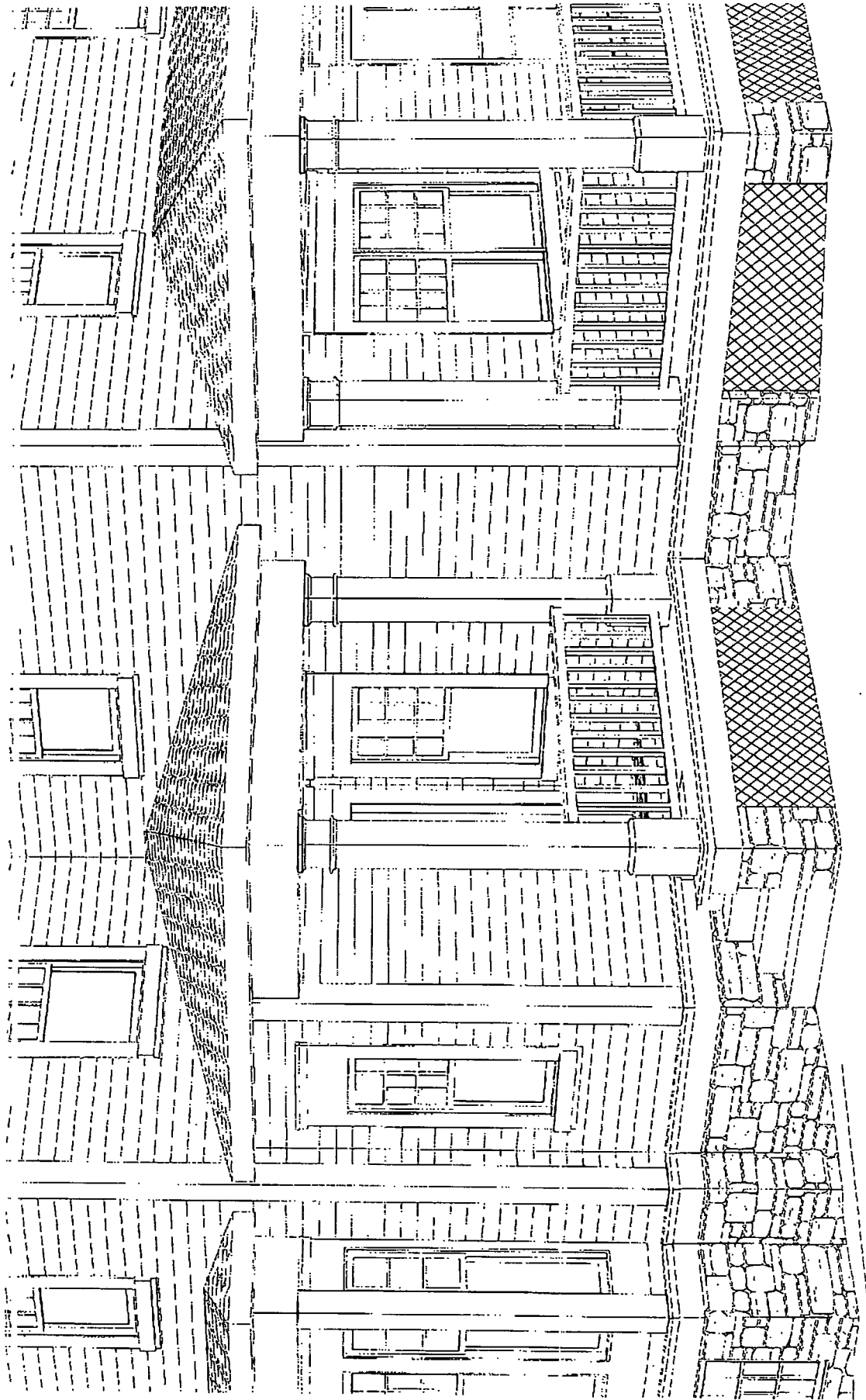
NEW PORCH STRUCTURE  
 WITH 10" WOOD  
 COLUMNS, WOOD  
 RAILING AND STAIR,  
 TONGUE AND GROOVE  
 FLOORING.

NEW STONE VENEER  
 FOUNDATION WALL,  
 TYPICAL.

NEW DECK STRUCTURE  
 WITH WOOD RAILING  
 AND FLOORING.

NEW WINDOWS TO BE  
 WOOD S.D.L. WITH 7/8"  
 MUTINS, TYPICAL. LITE  
 PATTERN TO MATCH  
 EXISTING. SEE WINDOW  
 SCHEDULE, TYPICAL.

1 Left Side Elevation  
 1/4" = 1'-0"



LEFT SIDE ELEVATION  
PERSPECTIVE



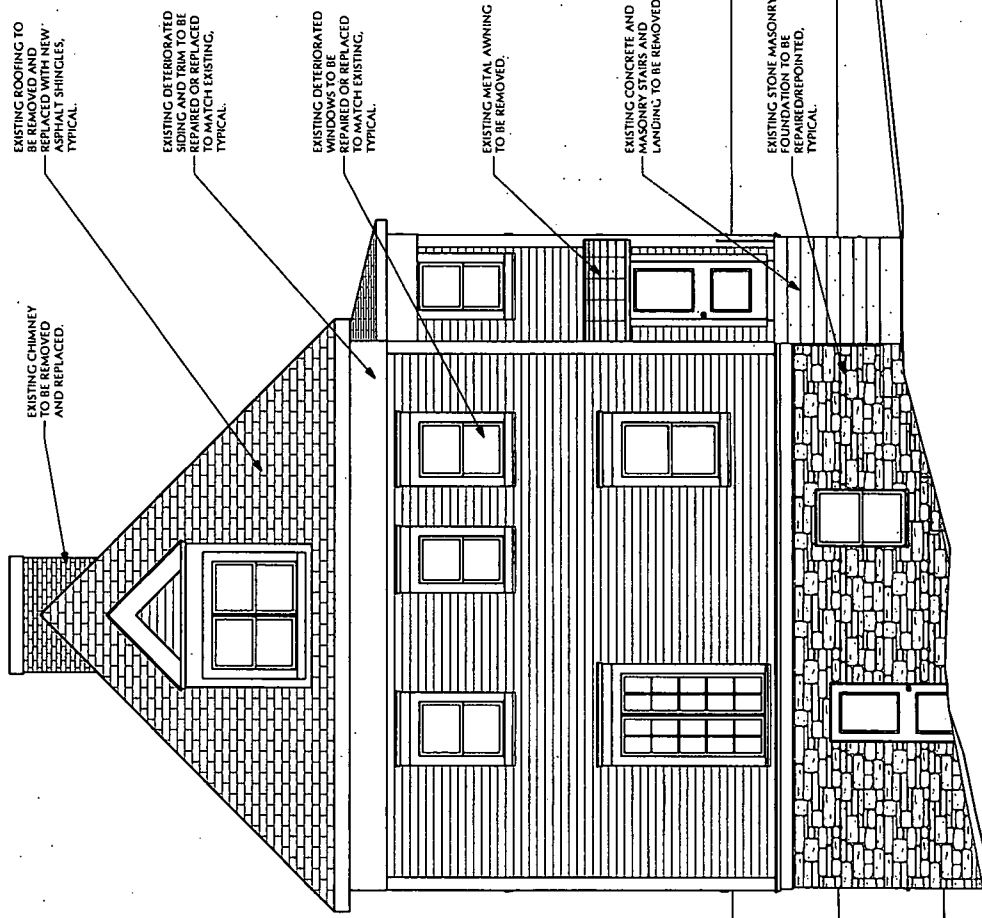
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Existing  
 Rear Elevation

When dimensions on these drawings shall have precedence over dimensions on the Contract Documents, the drawings shall govern. The contractor shall verify the accuracy of the dimensions and conditions on the job prior to construction. The contractor shall be responsible for any variations from the dimensions and conditions.

Scale:	As Noted
Drawn:	
Checked:	
Date:	03.18.05
Project:	
Contract:	

SKETCH  
 E-8  
 SHEET 9 OF 19



EXISTING ROOFING TO BE REMOVED AND REPLACED WITH NEW ASPHALT SHINGLES, TYPICAL.

EXISTING DETERIORATED SIDING TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING DETERIORATED WINDOWS TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING METAL AWNING TO BE REMOVED.

EXISTING CONCRETE AND MASONRY STAIRS AND LANDING TO BE REMOVED.

EXISTING STONE MASONRY FOUNDATION TO BE REPAIRED/REPOINTED, TYPICAL.

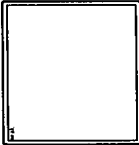
EXISTING CHIMNEY TO BE REMOVED AND REPLACED.

1 Rear Elevation  
 1/4" = 1'-0"



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Proposed  
 Rear Elevation

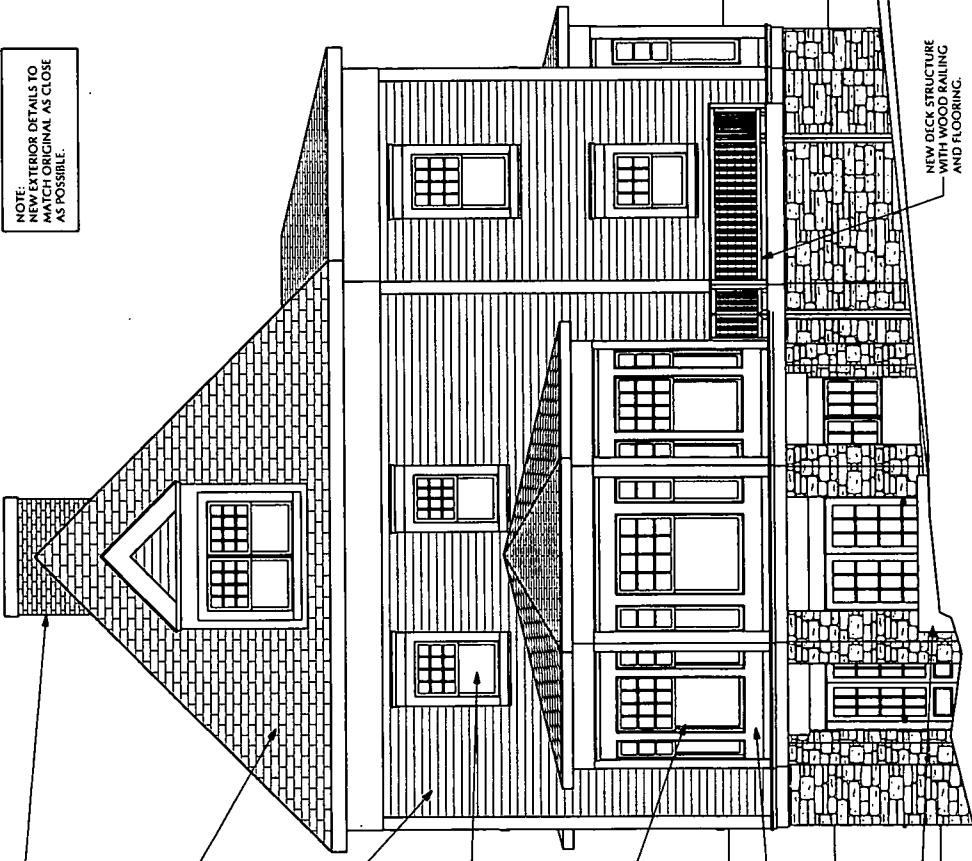


Written description on these sheets shall constitute the contract documents. The architect shall be responsible for all dimensions and materials. The client shall be notified of any changes and conditions.

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	03.18.05
PROJECT:	
COMPANY:	

SHEET  
**A-8**  
 SHEET 18 OF 19

NOTE:  
 INTERIOR DETAILS TO  
 MATCH ORIGINAL AS CLOSE  
 AS POSSIBLE.



NEW CHIMNEY TO  
 MATCH EXISTING.

NEW ASPHALT  
 SHINGLES, TYPICAL.

EXISTING DETERIORATED  
 SIDING AND TRIM TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL.

EXISTING DETERIORATED  
 WINDOWS TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL. SEE WINDOW  
 SCHEDULE, TYPICAL.

NEW WINDOWS TO BE  
 WOOD S.D.L. WITH 7/8"  
 MUTINS, TYPICAL. LITE  
 PATTERN TO MATCH  
 EXISTING. SEE WINDOW  
 SCHEDULE, TYPICAL.

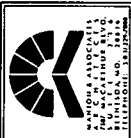
NEW SIDING AND TRIM  
 SIMILAR TO EXISTING.

NEW STONE RETAINING  
 WALL.

NEW DECK STRUCTURE  
 WITH WOOD RAILING  
 AND FLOORING.

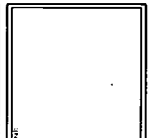
1  
 Rear Elevation  
 1/4" = 1'-0"





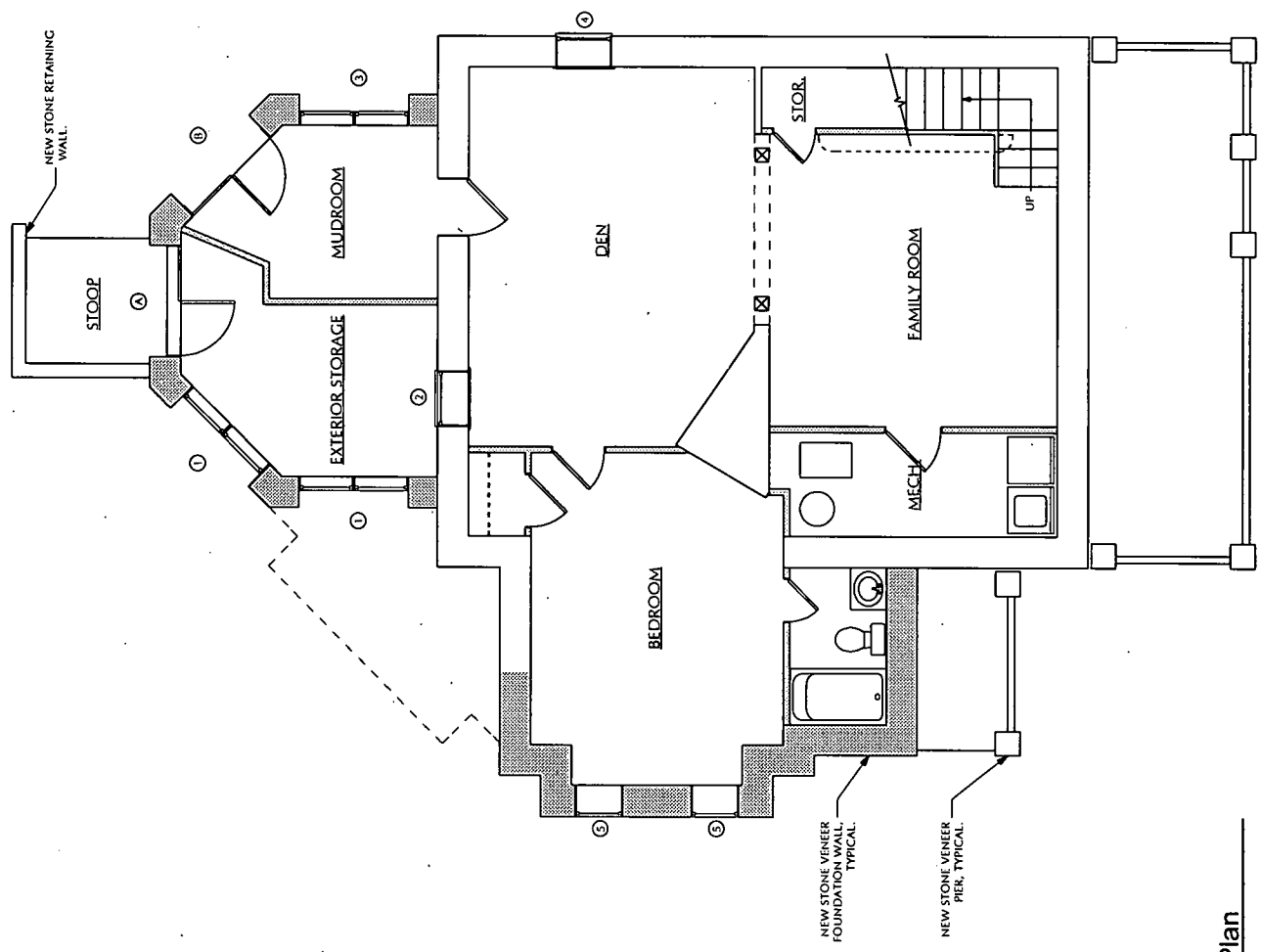
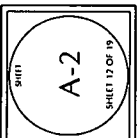
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Proposed  
 Basement Floor Plan



Window direction, size, opening, and sill shall have precedence over window type and location. All window and door locations shall be shown on this plan and shall be shown on all elevations and sections.

Scale:	As Noted
Drawn:	
Checked:	
Date:	03.18.05
Project:	
Sheet:	
Copyright:	



WINDOW RESTORATION SCHEDULE

- BASEMENT**
- #1 - NEW WINDOW IN NEW OPENING.
  - #2 - TO BE REMOVED.
  - #3 - NEW WINDOW IN NEW OPENING.
  - #4 - REPLACE EXISTING SK OVER ONE WITH NEW SKL UNIT TO MATCH EXISTING. SASH AND JAMB ARE HEAVILY DETERIORATED.
  - #5 - NEW WINDOW IN NEW OPENING.
- FIRST FLOOR**
- #6 - NEW WINDOW IN NEW OPENING.
  - #7 - NEW WINDOW IN NEW OPENING.
  - #8 - RESTORE EXISTING SK OVER ONE DH WINDOW. SAVE AS MUCH OLD GLASS AS POSSIBLE. TYPICAL.
  - #9 - RESTORE EXISTING SK OVER ONE DH WINDOW. SAVE AS MUCH OLD GLASS AS POSSIBLE. TYPICAL.
  - #10 - RESTORE EXISTING SK OVER ONE DH WINDOW.
  - #11 - RESTORE EXISTING SK OVER ONE DH WINDOW.
  - #12 - RESTORE EXISTING SK OVER ONE DH WINDOW.
  - #13 - NEW WINDOW IN NEW OPENING.
  - #14 - NEW WINDOW IN NEW OPENING.
  - #15 - NEW WINDOW IN NEW OPENING.

- SECOND FLOOR**
- #16 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #17 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #18 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #19 - RESTORE EXISTING SK OVER ONE DH WINDOW.
  - #20 - RESTORE EXISTING SK OVER ONE DH WINDOW.
  - #21 - RELOCATE SASH FROM OPENING #22. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #22 - NEW WINDOW IN EXISTING OPENING. RELOCATE EXISTING SASH TO OPENING #21. EXISTING GLASS IS NOT TEMPERED AND NOT TO CODE ABOVE A BATH TUB.
  - #23 - NEW WINDOW IN NEW OPENING.
- ATTIC**
- #24 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #25 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.

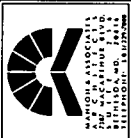
**GENERAL NOTES**

THE NEW WINDOWS SHALL BE SKL INSULATED GLASS UNITS, WITH 7/8" MUNTINS, WITH LIGHT CUT PATTERNS TO MATCH THE ORIGINAL SASH, OR IN THE CASE OF NEW OPENINGS, AS SHOWN ON THE ELEVATIONS.

THE REMAINING SKL WINDOWS SHALL BE COVERED WITH TRIPLE TRACK STORMSCREEN WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND REDUCE TRAIN NOISE.

1 Basement Floor Plan  
 1/4" = 1'-0"

23



10412 Montgomery Ave  
 Kensington, MD 20895

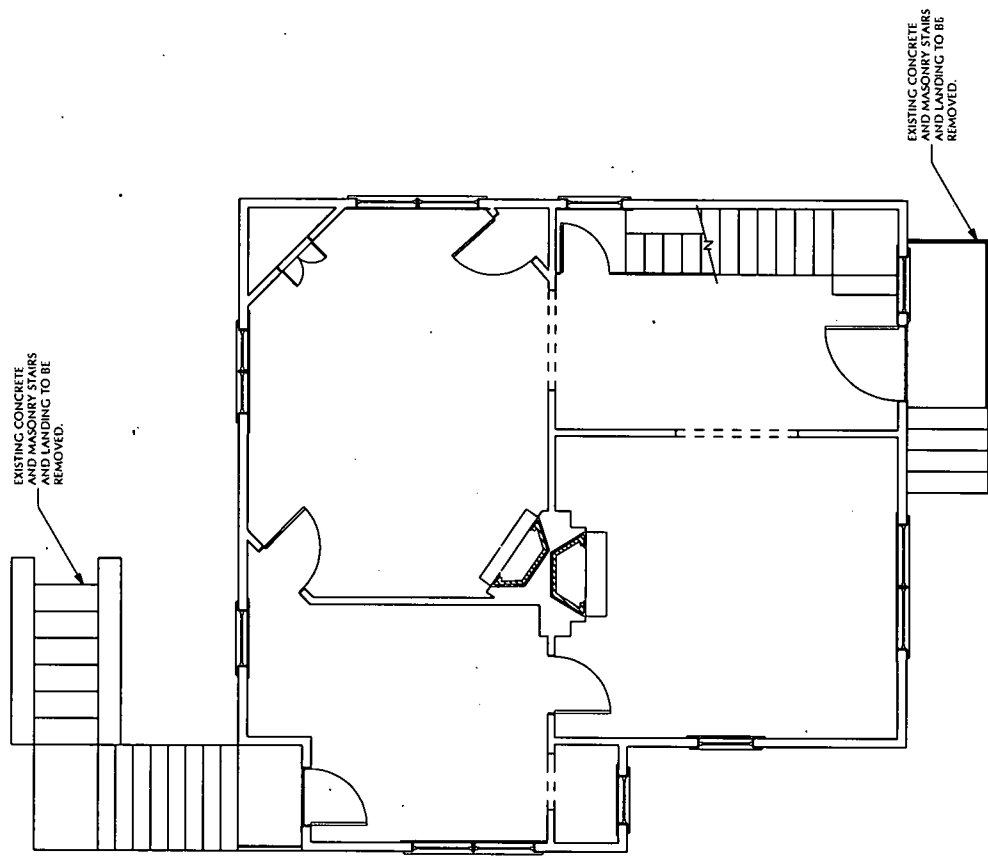
Existing  
 First Floor Plan



When used on a project, the architect shall have no liability for the design or construction of any structure or system, or for any damage or injury to persons or property, or for any other matter, unless the architect is specifically named as the designer and contractor.

SCALE:	A: None
DATE:	
DRAWN:	
CHECKED:	
DATE:	03.18.05
BY:	
PROJECT:	
© COPYRIGHT	

SHEET  
 E-3  
 SHEET 1 OF 19



1 First Floor Plan  
 1/4" = 1'-0"

42





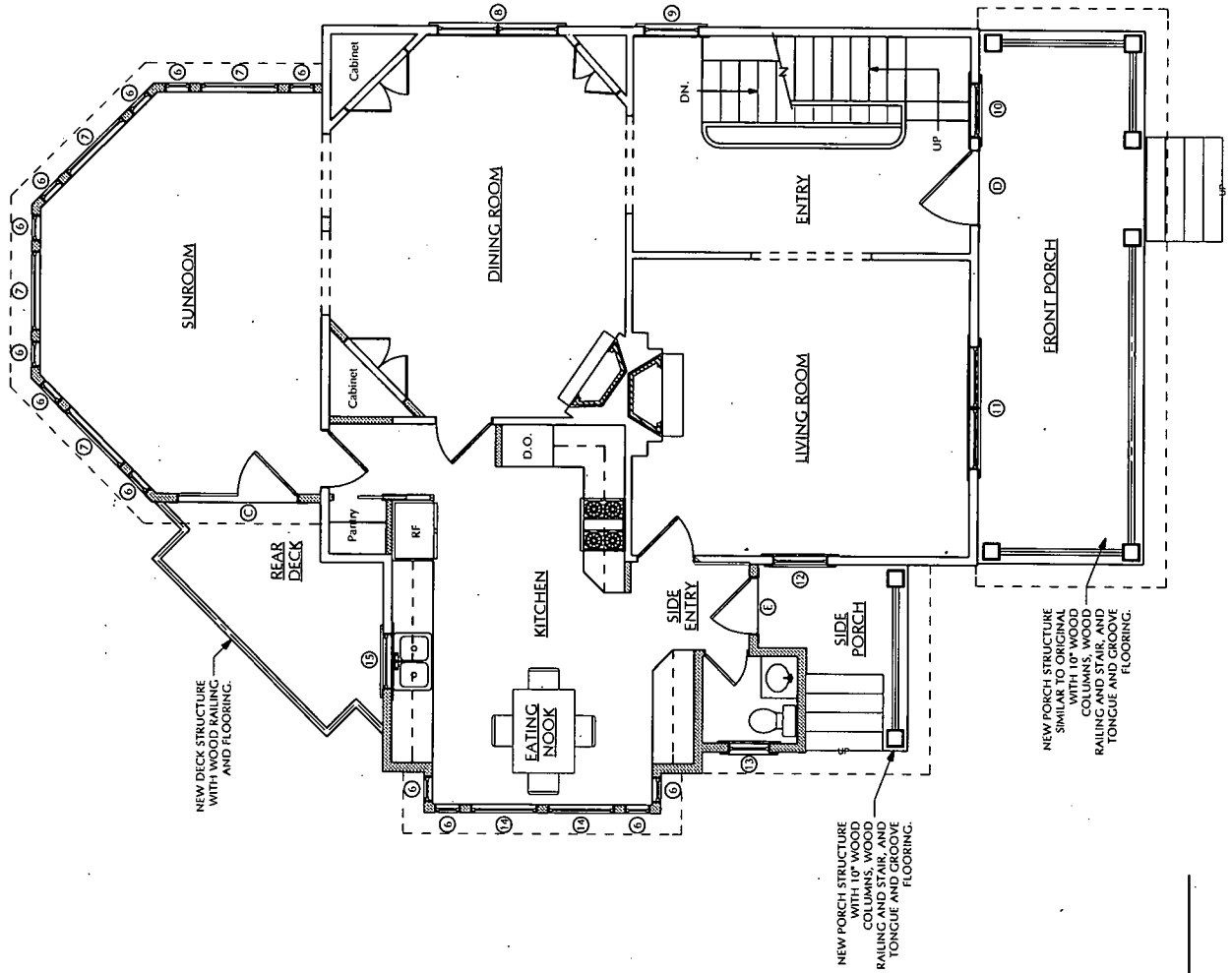
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Proposed  
 First Floor Plan

With this plan, the architect warrants that their preparation of the drawings is in accordance with the provisions of the Contract Documents and that they are not aware of any conditions or circumstances that would affect the accuracy of the drawings. The user shall be responsible for determining the accuracy of the information and conditions.

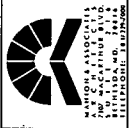
SCALE:	A1: Noted
DATE:	
CONTRACT:	
DATE:	03.18.05
BY:	
REVISIONS:	
COPYRIGHT	

SHEET  
 A-3  
 SHEET 11 OF 19



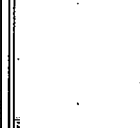
1 First Floor Plan  
 1/4" = 1'-0"

52



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

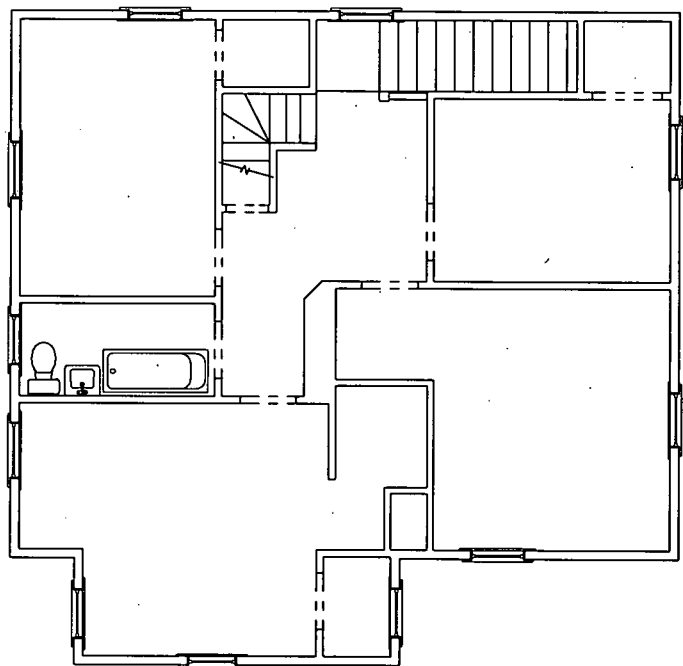
Existing  
 Second Floor Plan



Unless otherwise noted, all drawings shall have precedence over all other drawings. The contractor shall verify and be responsible for the accuracy of all information and conditions on the job site. The contractor shall be responsible for all dimensions and conditions.

Scale:	A - Noted
Drawn:	
Checked:	
Date:	03.18.05
Revised:	
Copyright:	

SHEET  
 E-4  
 SHEET 5 OF 19



1 Second Floor Plan  
 1/4" = 1'-0"



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

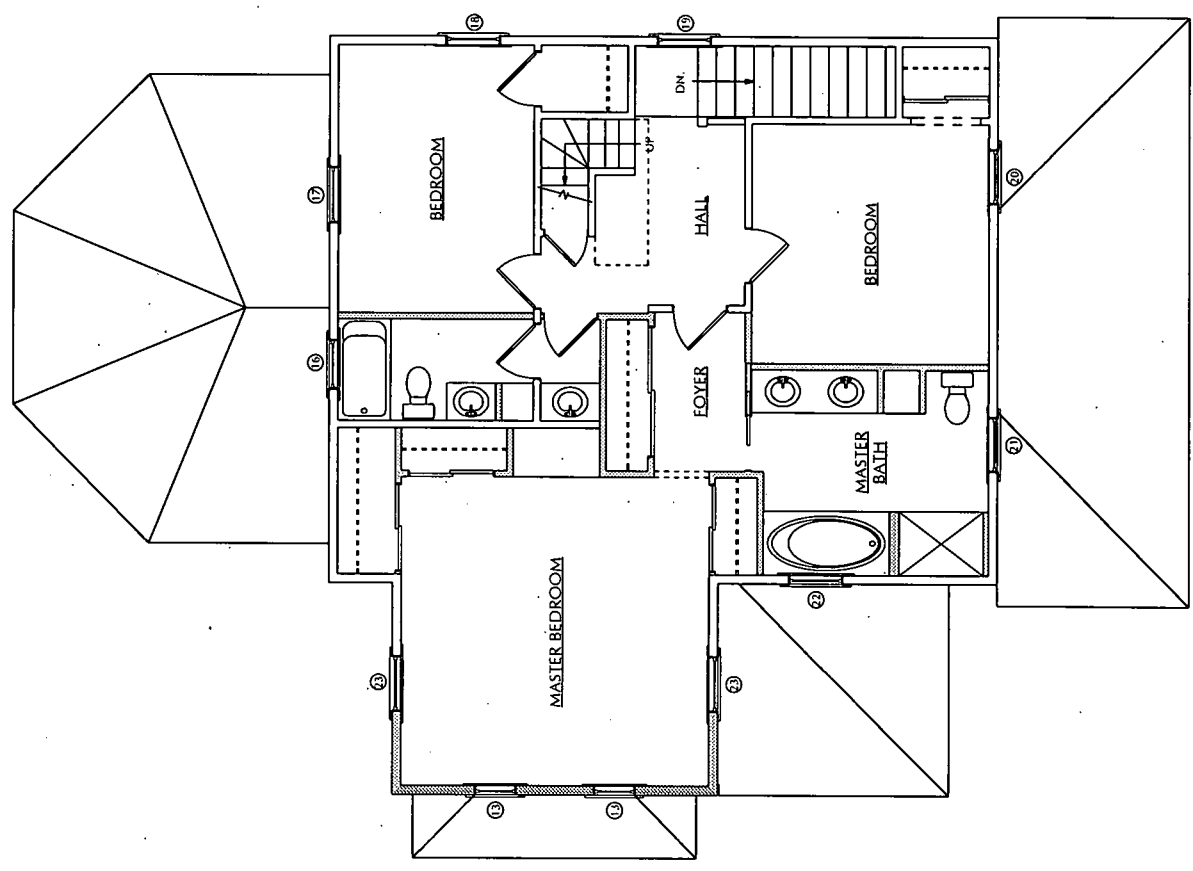
Proposed  
 Second Floor Plan



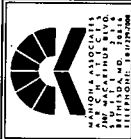
Notes:  
 1. All dimensions on these drawings shall have precedence over any dimensions on any other drawings.  
 2. Contractor shall verify all field conditions on the job and any variations from the dimensions and conditions.  
 3. All work shall be in accordance with the applicable building codes.

DATE:	03/18/05
DRAWN BY:	
CHECKED BY:	
INVESTIGATED BY:	
PROJECT:	
NO.:	
DATE:	
DRAWN BY:	
CHECKED BY:	
INVESTIGATED BY:	

Sheet  
 A-4  
 SHEET 14 OF 19

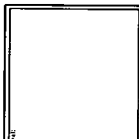


1 Second Floor Plan  
 1/4" = 1'-0"



Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

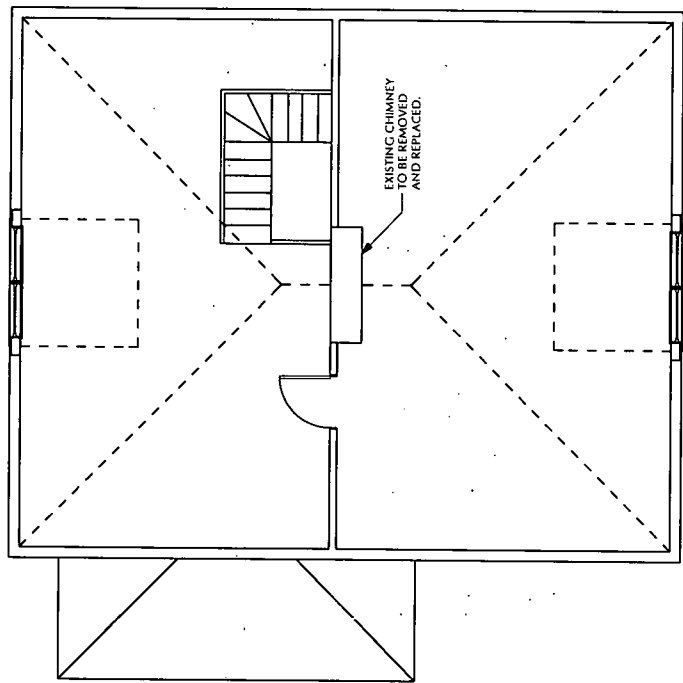
Attic Floor Plan  
Existing



Where dimensions on these drawings are not otherwise indicated, the contractor shall be responsible for all dimensions. The contractor shall be responsible for all dimensions and conditions.

Scale:	As Noted
Drawn:	
Checked:	
Date:	03.18.05
Project:	
COMPACT	

SHEET  
E-5  
SHEET 6 OF 19



1 Attic Floor Plan  
1/4" = 1'-0"

62



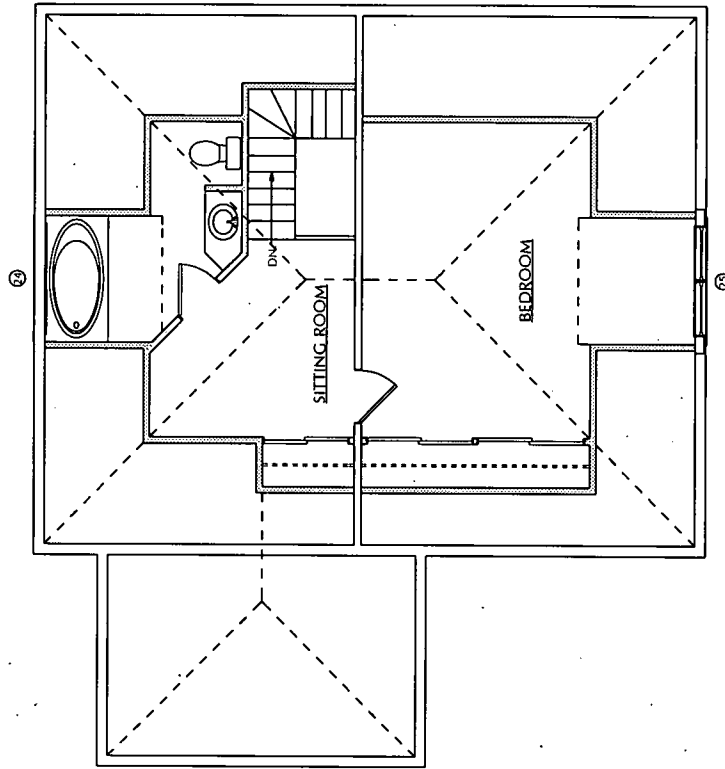
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Proposed  
Attic Floor Plan

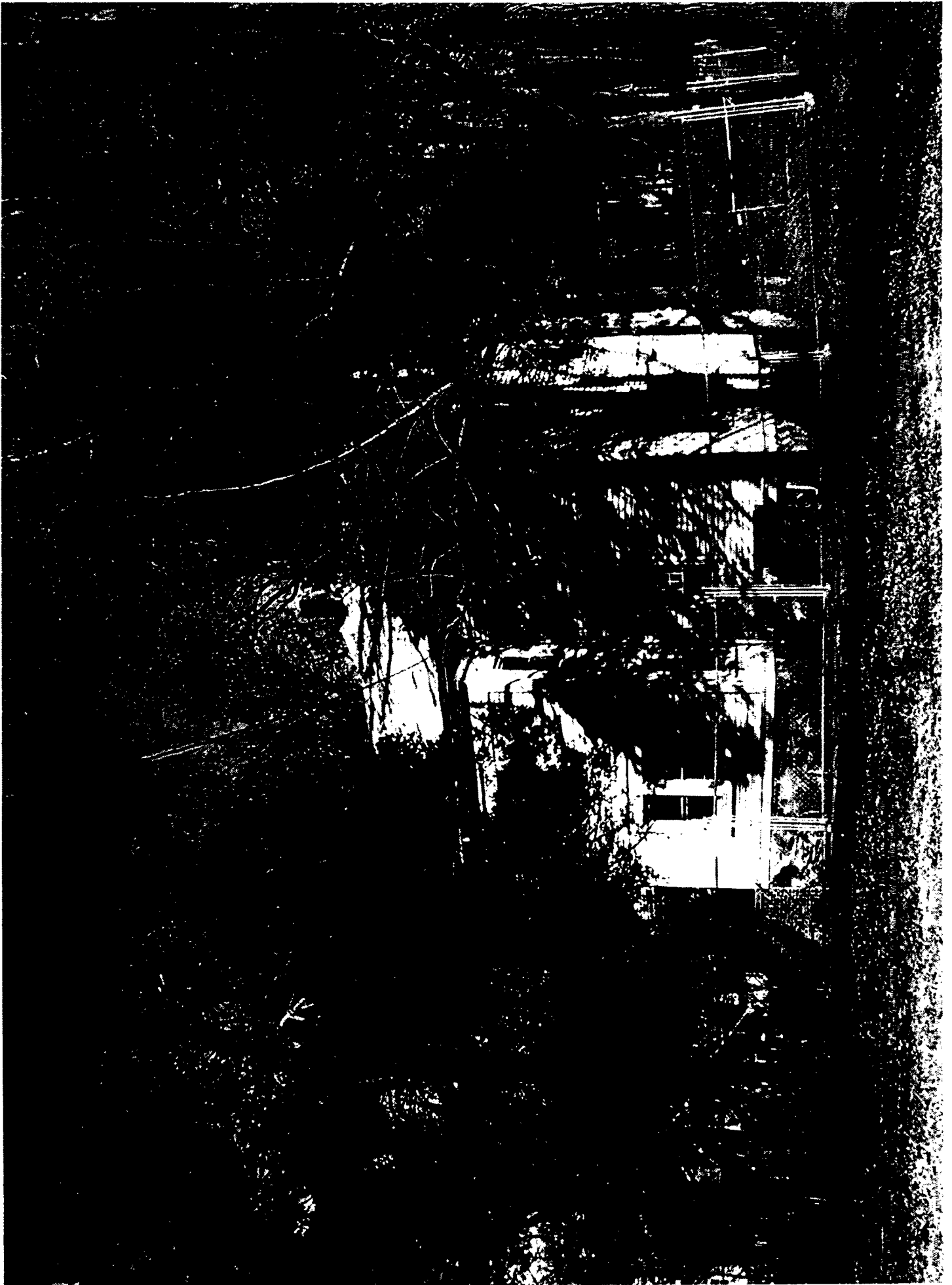
These drawings were prepared  
under contract for the  
owner. The architect and the  
contractor shall be responsible  
for all dimensions and  
conditions. The contractor  
shall be responsible for  
obtaining all necessary  
permits and conditions.

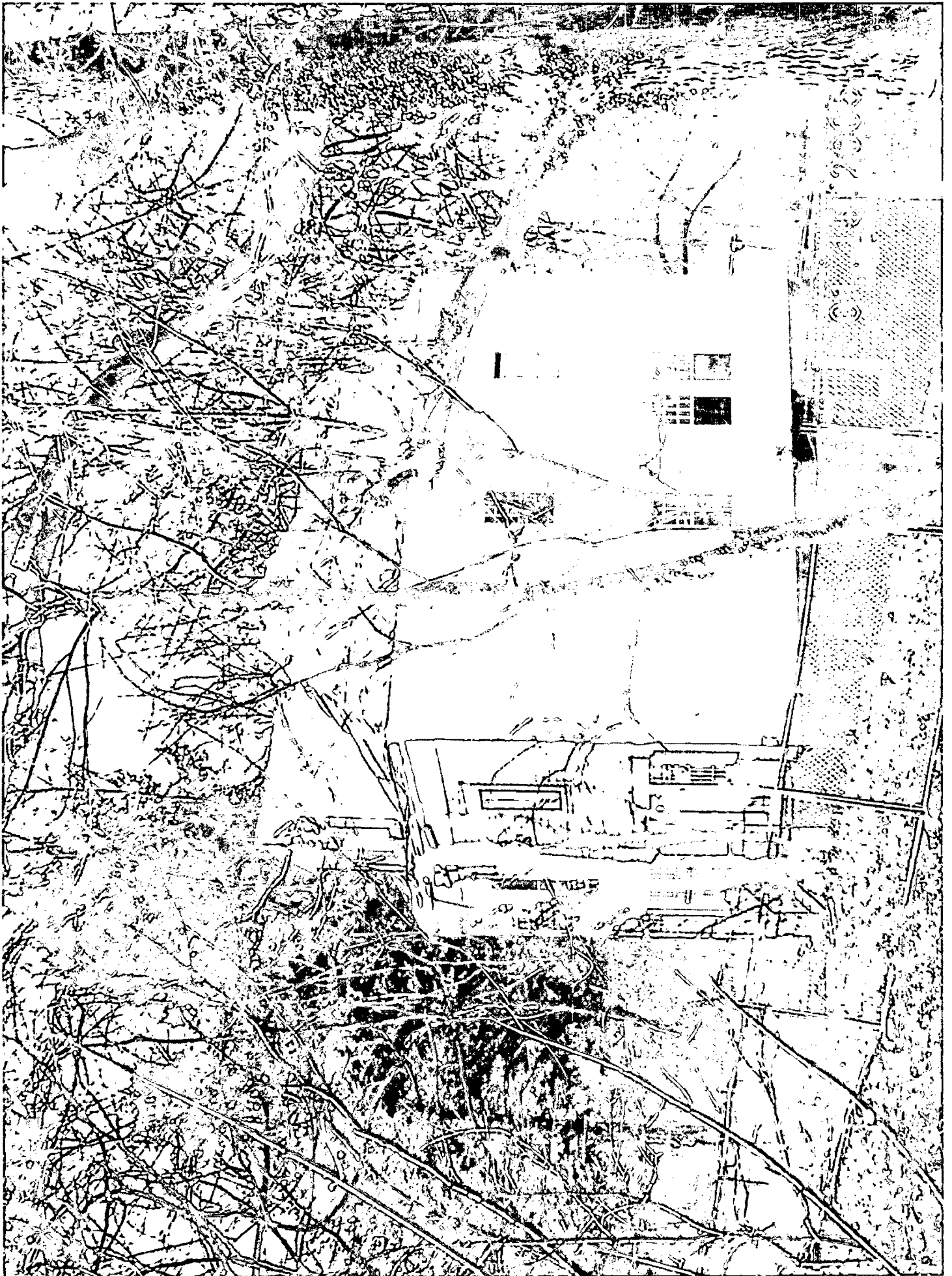
DATE:	03.18.05
PROJECT:	
DESIGNER:	
SCALE:	
REVISIONS:	
COMMENT	

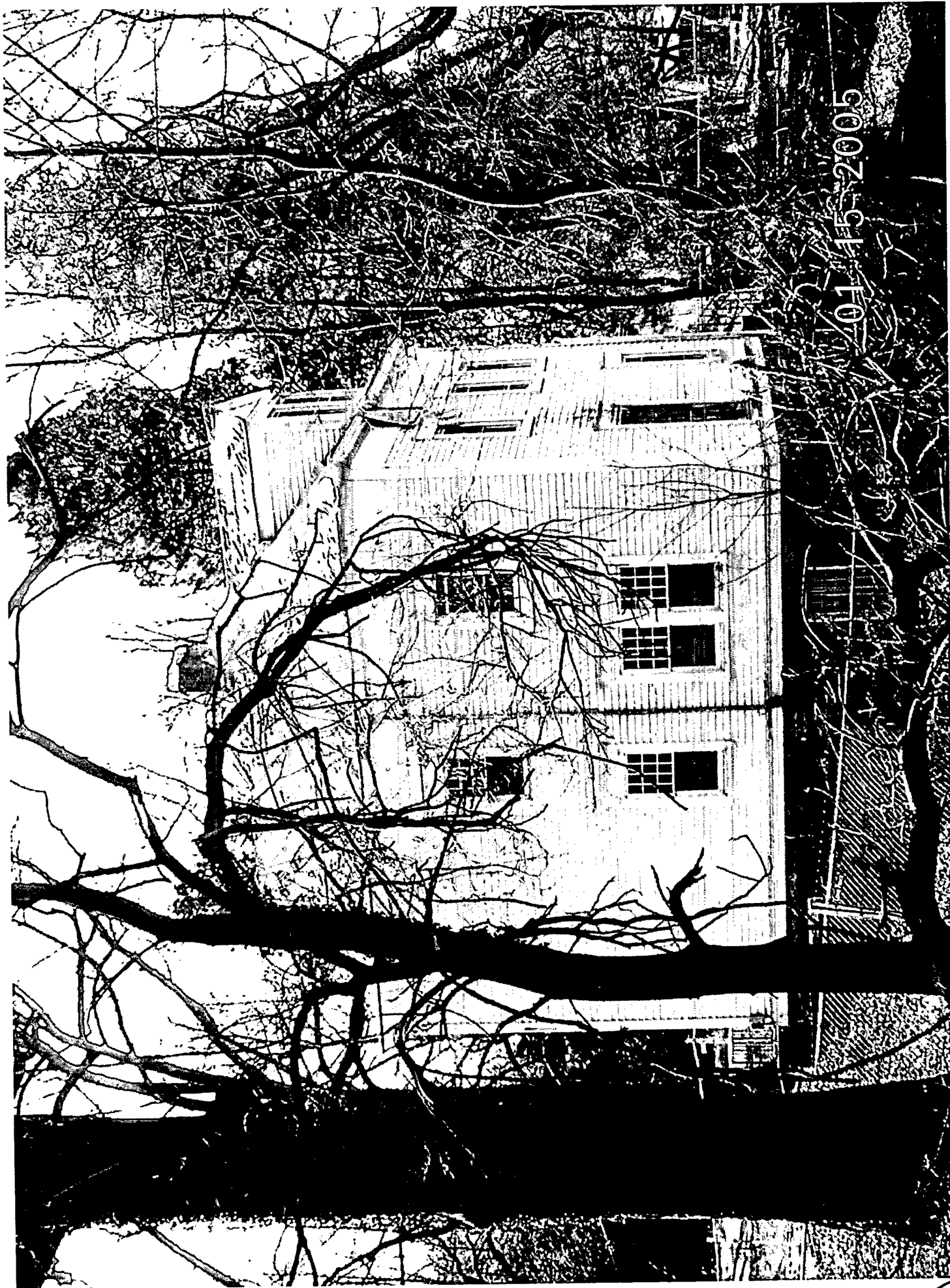
SHEET  
**A-5**  
SHEET 15 OF 19



1 Attic Floor Plan  
1/8" = 1'-0"



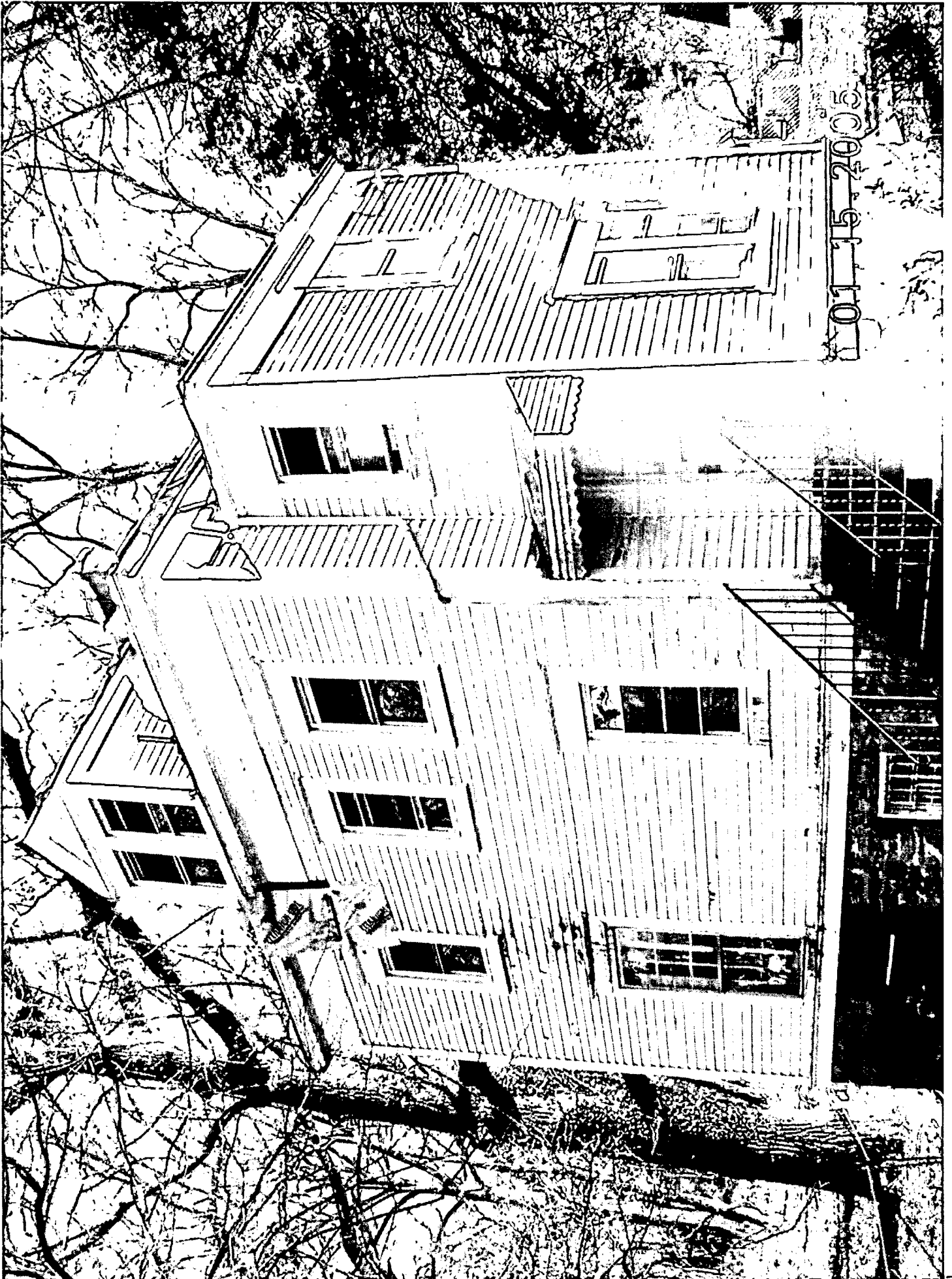




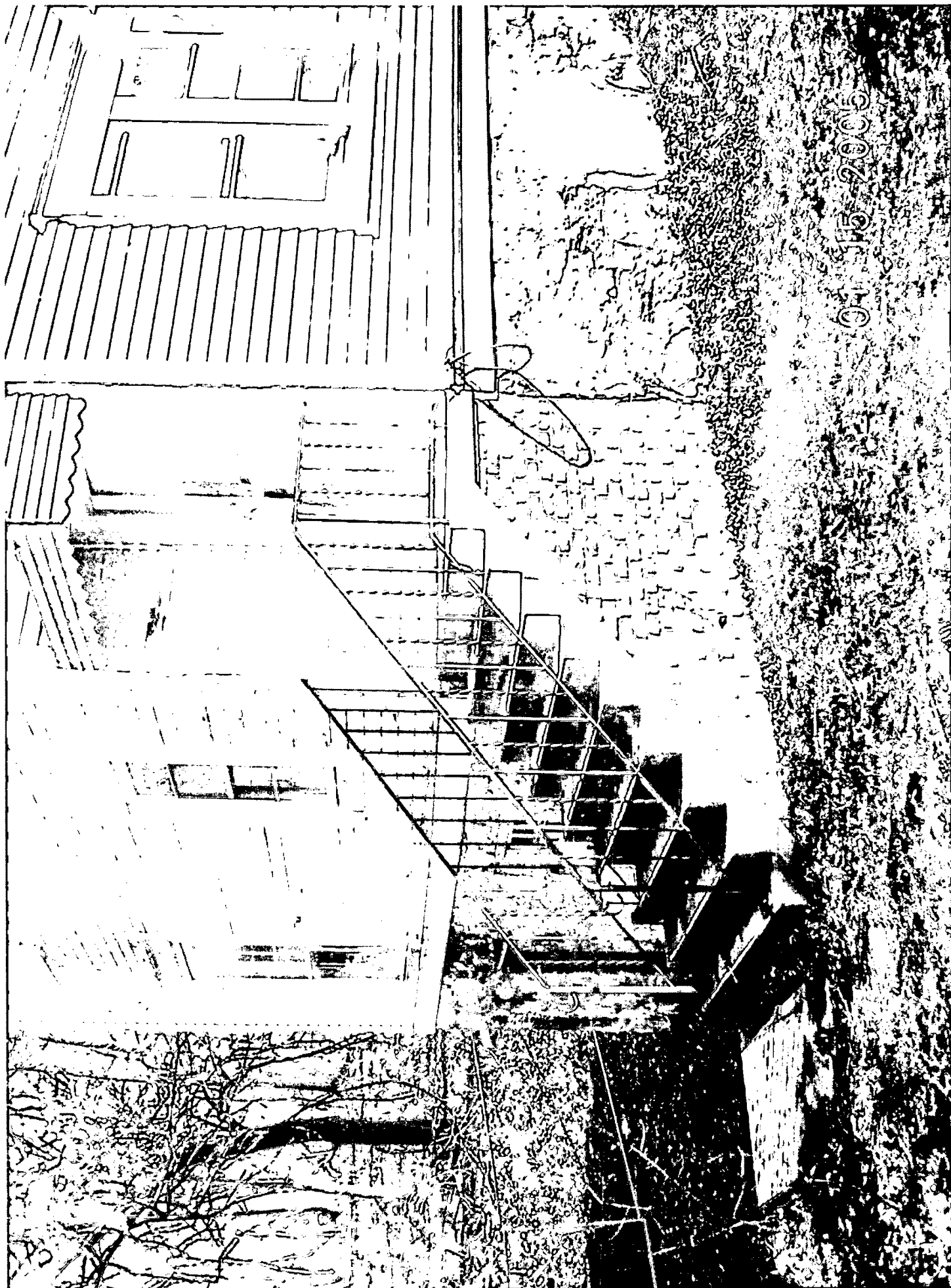
01-15-2005

293

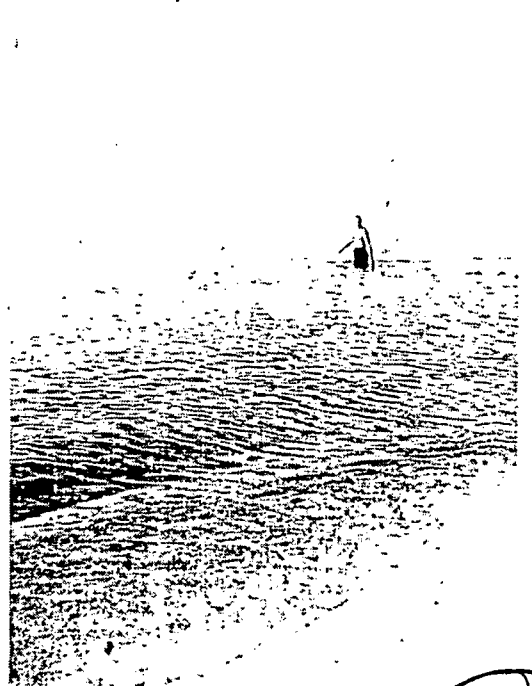
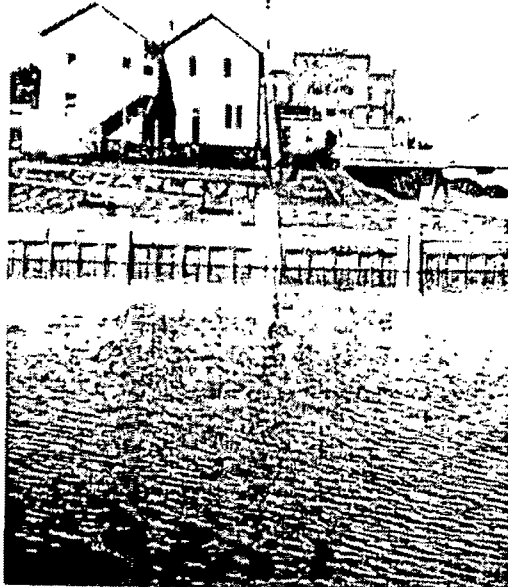


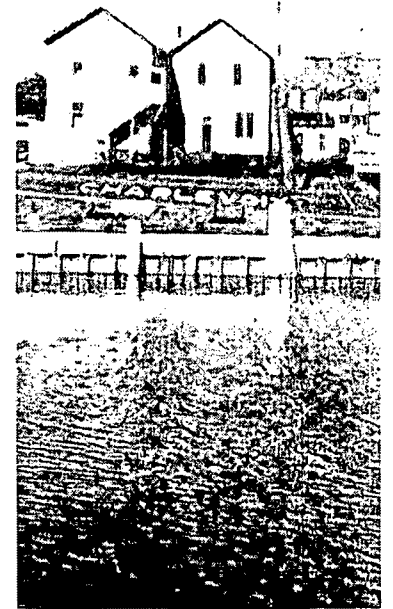
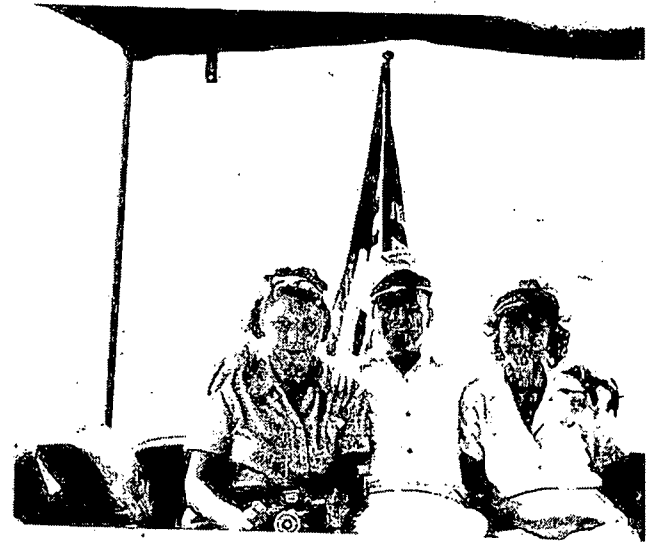


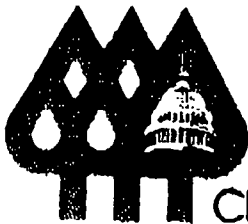




04-15-2006







CAPITOL VIEW PARK  
CITIZEN'S ASSOCIATION

SILVER SPRING, MARYLAND 20910

March 9, 2005

Historic Preservation Commission

Members of the Capitol View Park Historic Review Committee and the President of the Capitol View Park Citizens Association met at 10245 Capitol View Ave on Saturday March 5. The purpose of the visit was to review proposed rehabilitation and additions by Macon Construction (Carl Mahany, agent) to the Outstanding Resource at that address known as the Dwyer House.

As designed, the plans appear to too greatly compromise the Foursquare style of the house. There is a twin, mirror image house at 10109 Grant Avenue with an extension identical to what we see on the Dwyer House, demonstrating that it was an original design detail. (Topic #6). The removal and enlargement of this side extension so that it rises almost to the roof line is of special concern. Any reconstruction of this extension should continue to appear clearly subordinate to the main, original block of the house.

The bay window also introduces an element that obscures the look of the original house. It would be preferable to either exclude any bay windows or restrict the bay to a shallow square shape. We did not reach consensus regarding whether the addition of the sun room will negatively impact the historic character of the house. (Topic #8) We have greater concern about the addition of a triangular deck between the sunroom and the side extension, an anachronistic feature. Perhaps the deck could be brought more into character with the Foursquare architectural theme, possibly by roofing it or by adding detail similar to that of the new side and front porch.

The front porch was original to the house and is a key feature of Foursquares, so we are pleased to see this restoration. (Topic #4) The roof line was incorrectly drawn on the elevations, however, a point which could impact other design features. The pyramidal roof plan, pitch, and details are an important character-defining feature of this house and should be correctly rendered and preserved.

We believe that as much of the original building and materials as possible should be retained, with new work subordinate to the historic building, clearly differentiated and on secondary facades.

Thank you for the opportunity to comment. We are in substantial agreement with the staff review of this application and thank them for the attention they give to our community.

Sincerely,

Linda Winter, President  
Capitol View Park Citizens Association

Carol Ireland, Co-Chair  
Duncan Tebow, Co-Chair  
Gordon Bock, Restoration Expert  
Capitol View Park Historic Review Committee

1 very much in favor. I probably could be persuaded that even  
2 I'd accept the asphalt because they're doing the front  
3 portion there. Maybe I'd be even more willing to do that. I  
4 just don't see the circular drive.

5 MS. O'MALLEY: All right. All in favor of denial,  
6 raise your right hand. I'm sorry. It's unanimous. We'll  
7 move on to the preliminary consultations. We have Case A.

8 MS. OAKES: Case A is at 10245 Capitol View Area in  
9 the Capitol View Park Historic District. This is an  
10 outstanding resource within the district. The Commission may  
11 remember reviewing a subdivision proposal for this property  
12 that was approved by the Planning Board a month ago? And the  
13 applicant as promised he would is coming in for the  
14 rehabilitation and new addition to the historic house prior  
15 to the submittal of historic area work permits for the new  
16 construction of the property. So, we are here this evening  
17 to review preliminary consultation for those modifications.

18 As I said, the applicant is proposing to  
19 rehabilitate the existing house by removing and replacing in  
20 kind the wood siding and trim, removing the existing roofing  
21 material which has been disclosed that is an asphalt material  
22 so it would be replacement in kind, asphalt to asphalt,  
23 removing the existing chimney and rebuilding the exterior  
24 portion of that chimney stack to match the existing,  
25 constructing the original full width front porch. In your



1 handouts at your work session you got photographs, historic  
2 photographs that show the original full width front porch  
3 that they are looking to rebuild, and to rebuild and replace  
4 the existing six over one windows. I believe they're also  
5 some nine over -- alum windows as well. And they are also  
6 looking to remove and replace the existing one over one  
7 windows to replace them with more compatible six over one  
8 single divided -- windows.

9           In terms of new construction, the applicant is  
10 proposing to modify the existing house by removing the two  
11 story hip roof side extension and constructing a new two and  
12 a half story gable or hip roof side addition, excuse me,  
13 construct a one story addition side porch in front of the new  
14 gable or hip roof side addition. That would be a technical  
15 side addition. And then a rear one story -- basement  
16 octagonal subroof addition onto the rear.

17           With that said, given the late hour staff is just  
18 going to address the areas of concern. We are supportive of  
19 rehabilitation of the historic house and we commend the  
20 applicant's desire to do that. We'll note that the existing  
21 chimney that they're proposing to remove and rebuild, as you  
22 may remember from the interior photographs from the  
23 subdivision case, the existing chimney has created  
24 significant compromise in the structure, the structural  
25 integrity of the building and they're looking to remove that

1 so they can jack up the building that is literally falling in  
2 on itself currently with the chimney stack and rebuilding the  
3 exterior chimney from the roof line to match one of those  
4 existing.

5 In terms of the new construction we as staff are  
6 unclear whether the side extension on this house is original  
7 to the house. Our best guess, and we do need to get further  
8 detail on this, is that potentially maybe it was one story  
9 that was raised to a second level. The way it matches to the  
10 main massing of the house at its roof is very different.  
11 It's not very compatible as it would be as an extension.  
12 But, the foundation appears to be all the same period, so we  
13 need to do a little bit further investigation in the attic  
14 again. But our hunch is that it was originally a one story  
15 that they increased to a second story.

16 With that said we are concerned with the proposal  
17 to create a new two and a half story extension on that side.

18 I don't have a problem with the expansion of the footprint,  
19 but I do have some concern of making a two and a half story  
20 addition on that side. I think that that just really  
21 provides a lot of massing especially at the roof structure  
22 level and are concerned with that.

23 In terms of the side, one story side porch  
24 addition/ you'll see in the floor plans the mud room, half  
25 bath addition. I don't have a problem with having a side

1 porch entry on this location. My concern is enclosing a  
2 space to put a half bath because as you know, once we enclose  
3 that space that becomes an interior space and even though the  
4 intent of the owner and it's shown in the plans is to retain  
5 the window and the exterior cladding, it would become an  
6 interior space that theoretically a future owner could  
7 demolish that wall and turn it into one larger space. So,  
8 I'd like to see that stay as just one open porch and not have  
9 any sort of addition on that.

10           And then finally the one story the basement, sun  
11 room addition to the rear -- it's compatible to the historic  
12 houses that we differentiated and we feel that we do not have  
13 any problems with its proposal. You also have in your  
14 handouts the local advisory panel's comments for Capitol View  
15 Park. I do have some photographs and the applicant and her  
16 architect is here. I'll be happy to entertain any questions  
17 you might have.

18           MS. O'MALLEY: The Citizens Association mentions a  
19 roof line?

20           MS. OAKES: Oh, yeah, sorry.

21           MS. O'MALLEY: Which roof line --

22           MS. OAKES: They're talking about the roof line for  
23 the reconstructed porch. And I would just add that you know,  
24 the pictures as you can see is a little hard to see, but I  
25 think looking at, as you know with any elevation and looking

1 at a porch detail, the roof is going to look much higher in  
2 pitch than it is in actual true view. And so we'll certainly  
3 work with the applicant. We know they're anxious to get that  
4 detail accurate. And we'll work on that so I don't think  
5 it's too problematic, so.

6 Reorient you to the site a little bit. You're  
7 actually looking at the side elevation with the subject two  
8 story extension addition that we were talking about earlier.

9 This is the front of the house where the one story full  
10 width front porch will be added. And the opposite side  
11 elevation, to the rear of the house you will see, we will  
12 take this picture after the construction. You will see the  
13 octagonal one story with basement extension off the rear.  
14 And another view looking more towards the rear of the house  
15 to your right and to the side elevations. We'll also note  
16 that the applicant is not proposing to remove any trees as  
17 part of this proposal and is not looking to alter any of the  
18 driveways. That will potentially comment on later proposal  
19 with new construction of houses later on, but that's not a  
20 subject of proposal. And view of the rear. And as you can  
21 see, a lot of the window surrounds have been clad in aluminum  
22 and that needs to be removed. There's going to be a little  
23 bit of unknown once we take those off. And a view of the  
24 current front stoop and you can see very evident especially  
25 over to the left how much the house is sagging in on itself

1 and its side due to that chimney.

2 MS. O'MALLEY: Any other questions for staff?

3 MS. ALDERSON: Just one. I have a little confusion  
4 because I think I'm reading something different in the report  
5 than what I just heard in your presentation or at least in  
6 the staff's recommendation regarding the side addition. The  
7 report, we need to understand that your recommendation is  
8 that may be acceptable if that addition is as we believe  
9 probably not original, portions may be early. That it may be  
10 acceptable to replace that with another side addition as long  
11 as we are within the same height of the existing roof line  
12 and as long as the additional porch is not enclosed with a  
13 bathroom.

14 But, what I just heard you say early was that you  
15 had concerns about a side addition that rises the full height  
16 of the house.

17 MS. OAKES: My staff recommendation is a, that we  
18 don't have a problem with the modification of this if, in  
19 fact, we can determine that there has been alterations to the  
20 extension. With that said, you know, we could entertain a  
21 potential extension of this extension, increasing its  
22 footprint, not increasing it's height, but increasing its  
23 footprint to gain a small square footage. But we would  
24 really want to further examine all that before we do a firm  
25 decision on that to determine exactly what this was

1 historically, whether it was an extension or an addition.  
2 Because I think that needs to be clearly defined if it was a  
3 one story or if there was a second story added on top of it.

4 MS. WRIGHT: And we'll need to, you know, again, I  
5 think the folks with the Capitol View Park Citizens  
6 Association have provided some useful information, you know,  
7 about the fact that there is a mirror image house at 10109  
8 Grant Avenue that's identical to the Dwyer House. And it  
9 makes them believe that this side bay is actually an original  
10 element, not a later addition. But I think we just need more  
11 investigation.

12 MS. OAKES: And the roof is a little bit different  
13 on that side addition than this one is here. Like I said we  
14 just need to investigate a little bit further and we'll do  
15 that with the current owner.

16 MS. O'MALLEY: So would the applicant come up.

17 MR. MAHANEY: My name is Carl Mahaney. I'm the  
18 owner of the property and this is Tom -- and I'd be happy to  
19 answer any questions you have. I do want to stress we do  
20 intend to do a really high quality job of restoring this  
21 house. The front of the, the two primary views of this house  
22 from the street that we're restoring an old porch. We're  
23 going to get as close as possible to the old photograph. And  
24 the other most primary new, we're not suggesting any change.  
25 I think that the addition on the left side is important so

1 that this house will meet the needs of a modern family. When  
2 this house was built the kitchen was in the basement and  
3 meals were sent up to the dining room by a dumb waiter that's  
4 located in the corner of the octagonal dining room. And  
5 that's probably not what this new family is going to be  
6 doing. There's going to be a nice big kitchen on that floor.  
7 And they're probably going to expect a powder room as  
8 opposed to putting it out back.

9 And I think part of the continued use and liability  
10 of these historic structures depends on some flexibility that  
11 allows them to still work for their original views. That's  
12 pretty much all I can about it.

13 MR. -- : I'm Tom -- the architect that's working  
14 with the house. We've work together on historic buildings  
15 for almost 20 years. The addition -- is actually appropriate  
16 -- and we felt that because when you saw the slides it's  
17 fairly substantial -- that this is the dominant side -- the  
18 appearance from the street. And in the future when we  
19 hopefully do the addition to houses, this side will be fairly  
20 well hidden. This may be an area that we could get the  
21 additional space. The house even with the addition now, the  
22 house now is about 900 square feet. Even with the addition  
23 on the first floor, we're only at about 300 square feet.  
24 It's going to be a really fairly tight, fairly modest house.  
25 The new house will be hopefully in the same genre and we

1 intend to make this look somewhat like a little village.  
2 Some of the imagery that we're using here according to period  
3 new houses. So we picked this side because we thought it  
4 would be the least objectionable and it also seemed to keep  
5 the imagery of the house in two primary views than the other  
6 one --. And we're constrained in the back by the property  
7 line. We put them on plan, sheet A-3 to give you some idea  
8 of how tight the setbacks on this particular property are.  
9 We do not have a problem with modifying the roof. We were  
10 trying to present -- one a gable which -- Department of  
11 Interior standards. We were trying to make it look somewhat  
12 different than the original house. And the second was the --  
13 which was more fairly standard --. So we really didn't have  
14 a strong feeling about the roof imagery itself and could, in  
15 fact, be dropped down --.

16           Looking at the building and when you go over there  
17 again with Michele, Carl can address this because he's a  
18 builder, but there are a number of cutoff headers and obvious  
19 modifications to this structure in that area because very  
20 possibly this piece was brought up. The foundation looks  
21 original so we think Michele was right that this property was  
22 once restored.

23           MS. O'MALLEY: Questions?

24           MR. BRESLIN: To start with, it's great to see you  
25 back and it's great to see the project. It's great to see



1 that the house is going to get the attention that it  
2 deserves. About the specific proposal, the first thing that  
3 I saw was the putting windows, both -- up in the attic. And  
4 it looked to me that the front of the house has a dormer. By  
5 adding windows and dormers to the side you're kind of putting  
6 an element to the side of the house that doesn't want to be  
7 there. You're making the side prominent. You've given the  
8 side a prominence -- and I just wanted to comment on that.

9 MR. MAHANEY: There are two dormers right now that  
10 face the front and the side, I mean the front and the rear.  
11 There is no dormer on the side, you're correct. And --

12 MR. BRESLIN: The massing of the house is oriented  
13 front and back. You're changing that which is not  
14 necessarily a bad thing but I wanted to hear your comments on  
15 that.

16 MR. MAHANEY: We felt that we were trying to give  
17 the house a little more massing. The new houses are going to  
18 be most likely slightly larger than this, but we're going to  
19 try to keep the same scale. In order to play down the scale  
20 in the new houses we were going to L shapes or H shapes  
21 something like that so that the overall massing in the houses  
22 will look like a shape with additions to it. So the new  
23 houses are going to look like a shape with additions. And  
24 we're also trying to set some precedent with the old house so  
25 that the old house has enough statute, etc. to the new

1 houses. And we felt maybe bringing this roof over would give  
2 it more massing.

3 MR. BRESLIN: You think the new houses --

4 MR. MAHANEY: I'm sorry?

5 MR. BRESLIN: Will the new houses have a third  
6 level?

7 MR. MAHANEY: We haven't decided that. We've only  
8 sketch some very preliminary stuff. But it will have some  
9 useful attic.

10 MR. BRESLIN: So assume an attic because of the  
11 dormers?

12 MR. MAHANEY: Again, we're going to have to reduce  
13 footprints so these aren't going to be big rambling houses.  
14 These are going to be portioned somewhat like this one. When  
15 you see it, well it almost has the proportion of an old  
16 grange building. It doesn't look, foresee it as residential  
17 houses -- public buildings.

18 MR. FULLER: I guess a couple of comments. I'll  
19 echo Commissioners. Congratulations for coming back in with  
20 the renovation before you come in with new houses and we're  
21 glad to see you back in so quickly. And from my perspective  
22 I'm also glad to see that say the percentage of increase from  
23 a massing standpoint I think you're on the right scale. You  
24 know, you're not trying to overpower the house. So, from my  
25 perspective it really gets to be levels of detail. You know,

1 when I first looked at your site plan, I'm like why is the  
2 addition on that side because it's facing the street. But  
3 then I also hear your comments that that's where your new  
4 buildings are going. So maybe there's a logic there. I like  
5 the fact that you're essentially keeping two faces of the  
6 house so you can really read through the property. And  
7 whether you, if it turns out that the addition on the left  
8 looks like it's original, then maybe you could do the  
9 addition on the right. I just would like to see you continue  
10 in the same approach that it's one side or the other and I  
11 think the addition to the rear is very successful. That it  
12 really clearly identifies itself separately as a distinct  
13 architecture that doesn't overpower. I think that's good.

14 I'm not sure of either of the two solutions right  
15 now on the left side completely make me feel wonderful. But  
16 you're in the right ballpark. I mean it wants to feel  
17 different from what's there. So as I said the overall  
18 massing's there. I'm just not sure if all the pieces are  
19 completely together. But there's only fine differences  
20 between your Scheme A Scheme B that you know, you essentially  
21 presented the same option.

22 But, as I said, in general I think it's very much  
23 the kind of thing we'd like to see.

24 MS. ALDERSON: I have a repair/restoration question.  
25 And I was very pleased to see the staff acknowledge how

1 distinctive the roofing is that wonderful material that I'm  
2 sure is shot now. And wanted to know what your thoughts were  
3 about the recommendations to use materials other than asphalt  
4 to recreate the pattern in the roof.

5 MR. MAHANEY: Well, I'm not sure that that's exactly  
6 the recommendation.

7 MS. ALDERSON: I thought you were recommending  
8 something other than asphalt for the roof.

9 MS. OAKES: No, just recommending that we clarify  
10 what the existing roofing material is. And he concurred that  
11 it was asphalt so --

12 MS. ALDERSON: Oh, I thought you had said  
13 documentation on something different having been used  
14 earlier. Sorry.

15 MR. MAHANEY: There is reference in the historic  
16 inventory that is dated back from 1976 that the house had a  
17 slate roof with a -- inlay. But that got torn off before I  
18 took custody.

19 MS. ALDERSON: Okay. Thanks. Sorry to hear that.

20 MR. MAHANEY: Yeah.

21 MR. ROTENSTEIN: Since we're down towards this end,  
22 I remember the subdivision hearing very well. And I think  
23 you're doing a remarkable job with the direction you're  
24 headed. The only comment I really have is the concern that's  
25 been articulated about that extension on the side. And

1 thinking very closely about the way your proposed roof line  
2 would intersect with the existing. Otherwise your attention  
3 to restoring the original details of the house, the porch,  
4 respect for the materials I think that's to be commended.

5 MS. WILLIAMS: Yeah, I would concur with my fellow  
6 Commissioners. It's great to see you work around the house  
7 and generally I think it's a great step forward. My only  
8 real comment is that this is sort of a cube like building and  
9 the added side wing takes away from that somewhat. It makes  
10 it feel more like an L shaped building as if that's the way  
11 it were originally. And I think the architect alluded to the  
12 fact that you're in a way trying to make it look like that so  
13 that you can use it as a stepping stone for the other new  
14 buildings. And I just think that might be a little bit of a  
15 mistake. That is the sort of character of this building is  
16 its cubicness. And I hate to see that eliminated.

17 → I don't have a problem with the side wing. I just  
18 think that there's way too much emphasis in the roof line  
19 there. It's almost like your gable is an enclosed pediment  
20 as opposed to just a simple gable. I mean it's almost like  
21 it's a formal entablature. And I think that kind of draws  
22 too much attention to it. Personally I'd like to see it just  
23 two stories as opposed to two and a half. But I don't know  
24 how you deal with a flat roof. I'm not sure how you deal  
25 with that and you lose your bathroom in the attic level.

1 But, you know, if you can figure it out, that's what I'd like  
2 to see, just two stories so that it remains a wing and not an  
3 L. And then, okay, L is fine.

4 MS. O'MALLEY: Commissioner Burstyn? Any other  
5 comments?

6 MS. ANAHTAR: Yeah, I think I can only just -- the --  
7 -- for restoration, the design, not the side and rear  
8 additions. I don't think they go with the original style of  
9 the house. They take away from the original historic house.  
10 I think more like box bay type additions would be more  
11 appropriate with this design, not the octagonal addition in  
12 the back. I think it's going to look like one of those new  
13 houses.

14 MS. O'MALLEY: Well, I will add my comments. I have  
15 a problem with the side addition as well, particularly with  
16 the third floor. And did you thoroughly investigate the idea  
17 of having two stories in the back rather than bumping out so  
18 much on the side?

19 MR. MAHANEY: We did, in fact we thought when this  
20 composition is done and considering the trees that that would  
21 actually be more visible. If you remember the one shot  
22 Michele showed you that she said you will see the original  
23 addition on the back, you will see that coming down the road  
24 and as you're coming around the house with those two cedar  
25 trees you won't be able to see the left side of the house in

1 the drawings that you're looking at where we've done the  
2 kitchen and the two story addition. That will be much harder  
3 to see in the composition of the site and the right side. So  
4 we angled that back purposefully for two reasons. We had a  
5 setback issue and we thought that it would feel like it -- so  
6 the composition of the site, this was the less visible place  
7 to put the second story. We did, in fact, putting the master  
8 bedroom back because of the way the site is.

9 MS. O'MALLEY: You could plant some trees on the  
10 other side.

11 MR. MAHANEY: Yes.

12 MS. O'MALLEY: Well, maybe if there are things that  
13 you can do about the roof --

14 MR. MAHANEY: I think there is --

15 MS. O'MALLEY: -- and even bring it in a few feet so  
16 it doesn't stick out so far.

17 MR. MAHANEY: We could, I think we can address the  
18 roof. I think we could also probably do something where the  
19 first and second floor is maybe not out of line, possibly the  
20 second floor doesn't go as far as the first floor.

21 MS. O'MALLEY: are there any other comments from the  
22 Commissioners? All right. Does that give you something to  
23 work on?

24 MR. MAHANEY: Yes.

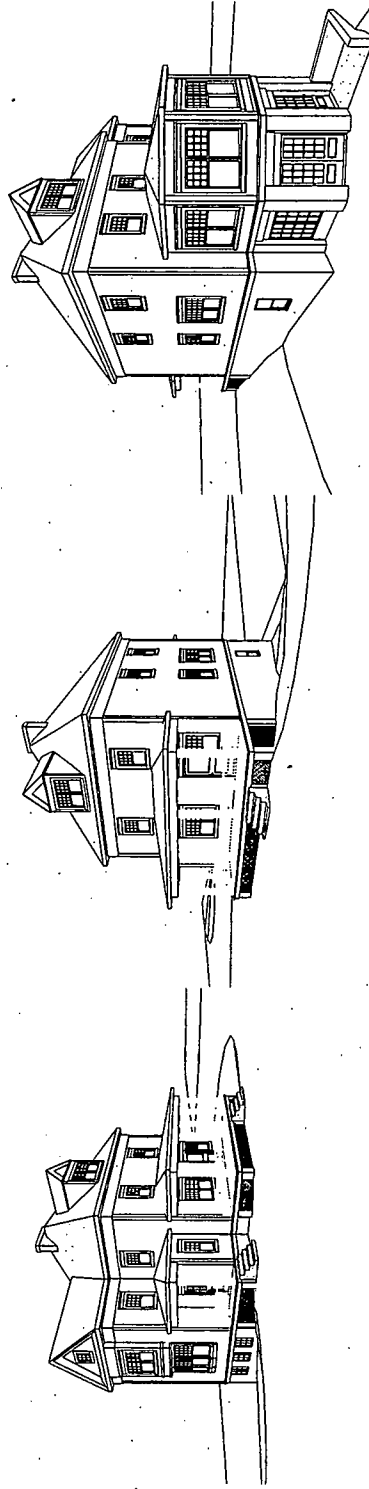
25 MS. O'MALLEY: Thank you. And the last preliminary

56

# Renovation to the Capitol View Residence

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## Scheme A



1 Front Perspective  
12.08

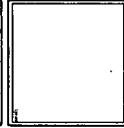
2 0-Front Perspective  
12.08

3 Rear Perspective  
12.08



W&P ASSOCIATES, INC.  
10412 Montgomery Ave  
Kensington, MD 20895

Scheme A  
Perspectives



Working Hours: 9:00 AM - 5:00 PM  
Closed on Saturdays and Sundays  
Please call for hours of operation and location of our offices.

NO.:	AS NOTED
DATE:	
SCALE:	AS SHOWN
BY:	02.10.05
CHECKED:	
DATE:	

SHEET  
A-1  
SHEET 11 OF 25





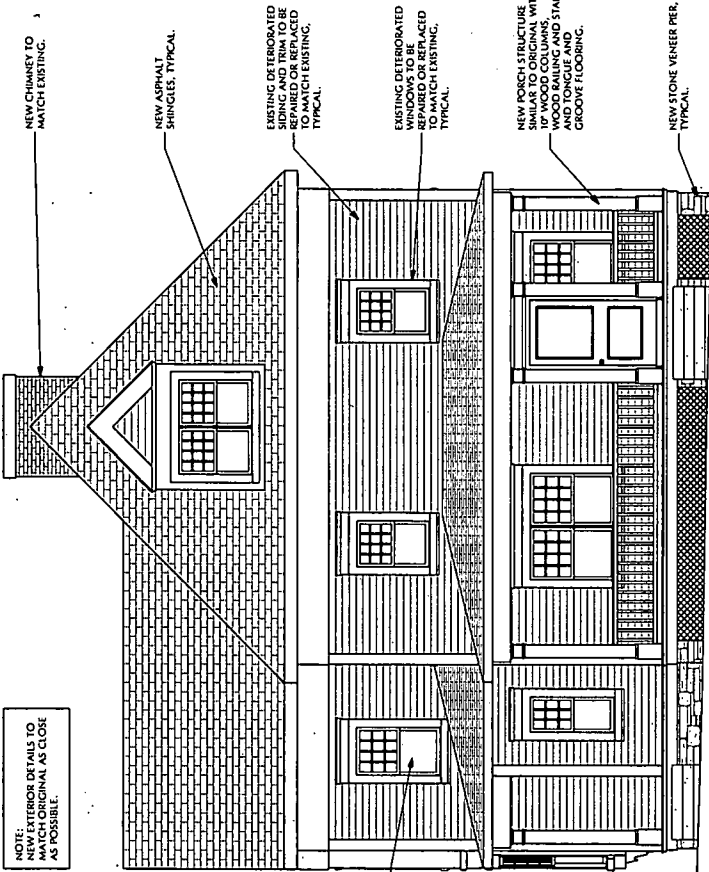
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Front Elevation  
Scheme A

Notes:  
1. All dimensions are in feet and inches.  
2. All materials and finishes are to be specified in the schedule of materials and finishes.  
3. All work is to be in accordance with the latest editions of the International Building Code and all applicable local codes.

DATE:	02.10.05
PROJECT:	
ARCHITECT:	
SCALE:	

Sheet  
A-6  
Sheet No. of 25



NOTE:  
NEW EXTERIOR DETAILS TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.

NEW WINDOWS TO BE WOOD S.D.L. WITH 7/8\"/>

1 Front Elevation  
1/8" = 1'-0"

58



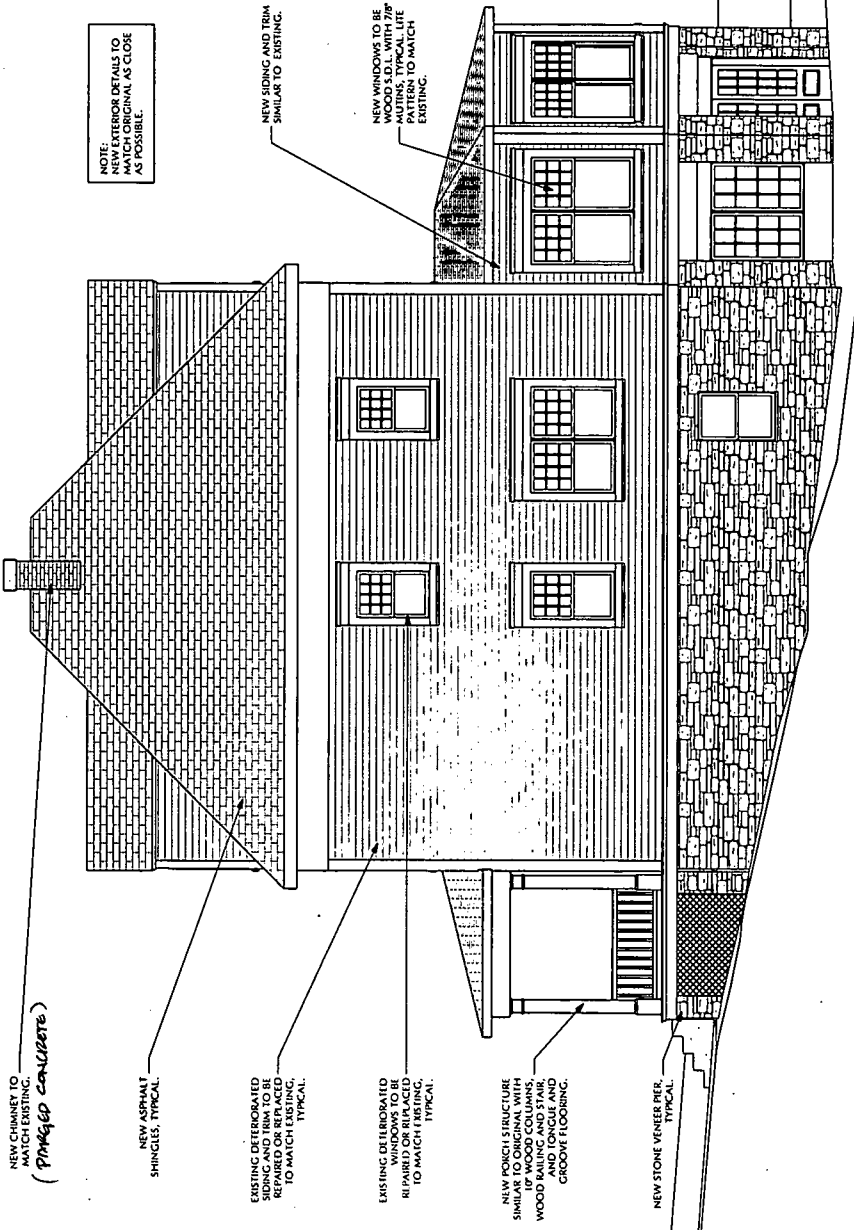
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Right Side Elevation  
Scheme A

Notes: All dimensions are in feet and inches. All work shall be in accordance with the Maryland Building Code and all applicable codes. All materials shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions.

Project:	As Noted
Drawn:	
Checked:	
Date:	02.10.05
Revision:	
Scale:	

SHEET  
A-7  
SHEET 1 OF 15



NEW CHIMNEY TO MATCH EXISTING.  
(pinkish concrete)

NEW ASPHALT SHINGLES, TYPICAL.

EXISTING DETERIORATED SIDING AND TRIM TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING DETERIORATED WINDOWS TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

NEW PORCH STRUCTURE SIMILAR TO EXISTING WITH WOOD COLUMN, WOOD RAILING AND STAIR, AND TONGUE AND GROOVE FLOORING.

NEW STONE VENEER PER, TYPICAL.

NEW SIDING AND TRIM SIMILAR TO EXISTING.

NEW WINDOWS TO BE MATCHED TO EXISTING BY MATERIALS, TYPICAL LIFE PATTERN TO MATCH EXISTING.

NOTE: INTERIOR DETAILS TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.

1 Right Side Elevation  
1/4" = 1'-0"

Handwritten initials or mark, possibly "ES" inside a circle.



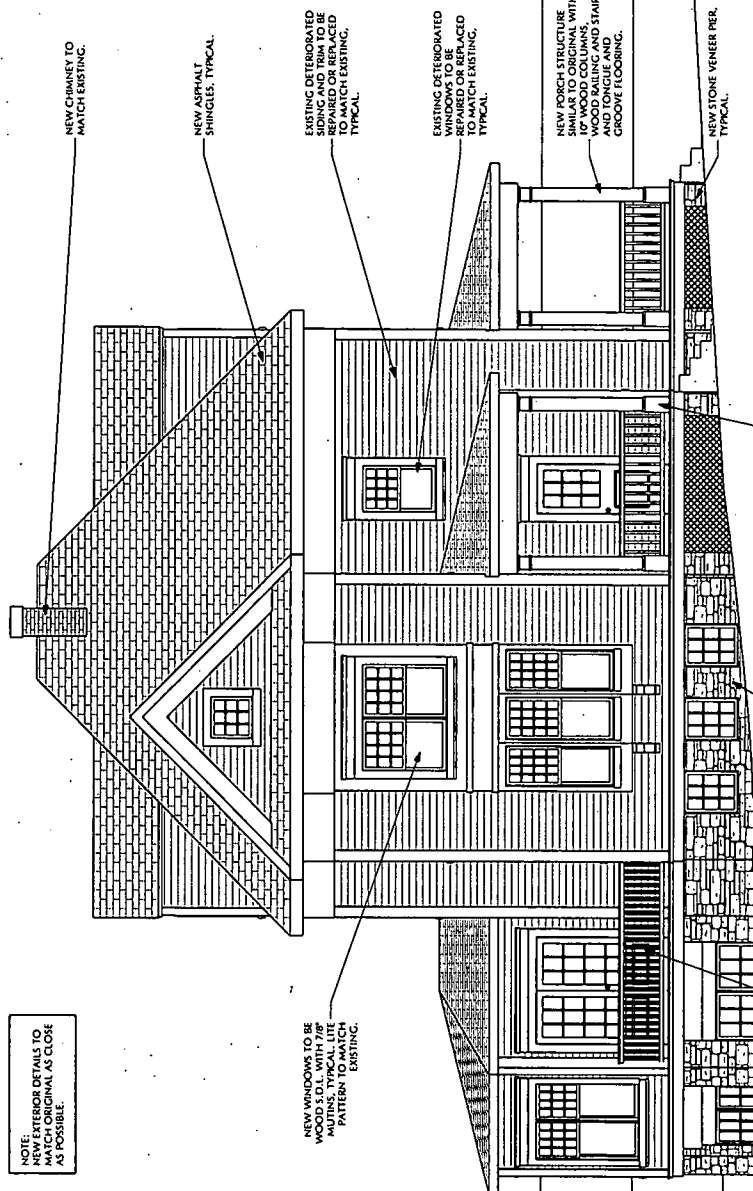
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Left Side Elevation  
 Scheme A

Notes: Dimensions in feet  
 unless otherwise noted.  
 All work shall be in accordance with the applicable building codes and standards.  
 The contractor shall be responsible for obtaining all necessary permits and approvals.

DATE:	02.10.05
PROJECT:	
SCALE:	AS SHOWN
DESIGNER:	
DRAWN:	
CHECKED:	
DATE:	

Sheet A-9  
 SHEET 11 OF 25



NOTE:  
 NEW EXTERIOR DETAILS TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.

1 Left Side Elevation  
 1/4" = 1'-0"

50  
 8/2



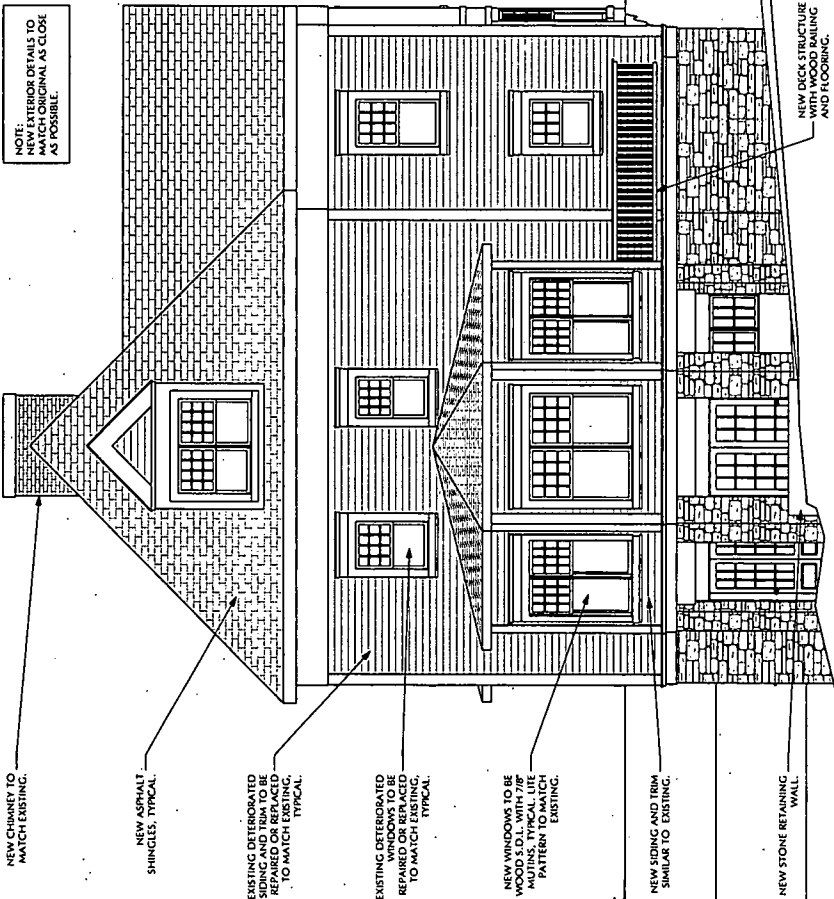
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Rear Elevation  
Scheme A

Working for the firm on this project since 1988, and has been a member of the firm since 1992. He is a registered professional architect in the State of Maryland and is a member of the American Institute of Architects.

DATE:	AS NOTED
DESIGNER:	
DATE:	02.10.05
REVISIONS:	
DATE:	
DATE:	
DATE:	
DATE:	

SHEET  
A-8  
SHEET NO. 08 OF 28



NOTE:  
NEW EXTERIOR DETAILS TO  
MATCH ORIGINAL AS CLOSE  
AS POSSIBLE.

NEW CHIMNEY TO  
MATCH EXISTING.

NEW ASPHALT  
SHINGLES, TYPICAL.

EXISTING DETERIORATED  
SIDING AND TRIM TO BE  
REPAIRED TO MATCH EXISTING  
TYPICAL.

EXISTING DETERIORATED  
WINDOWS TO BE  
REPAIRED TO MATCH EXISTING  
TYPICAL.

NEW WINDOWS TO BE  
WOOD S.D.L. WITH 7/8"  
PATTERN TO MATCH  
EXISTING.

NEW SIDING AND TRIM  
SIMILAR TO EXISTING.

NEW STONE RETAINING  
WALL.

NEW DECK STRUCTURE  
WITH WOOD RAILING  
AND FLOORING.

1 Rear Elevation  
1/4" = 1'-0"

661  
28



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

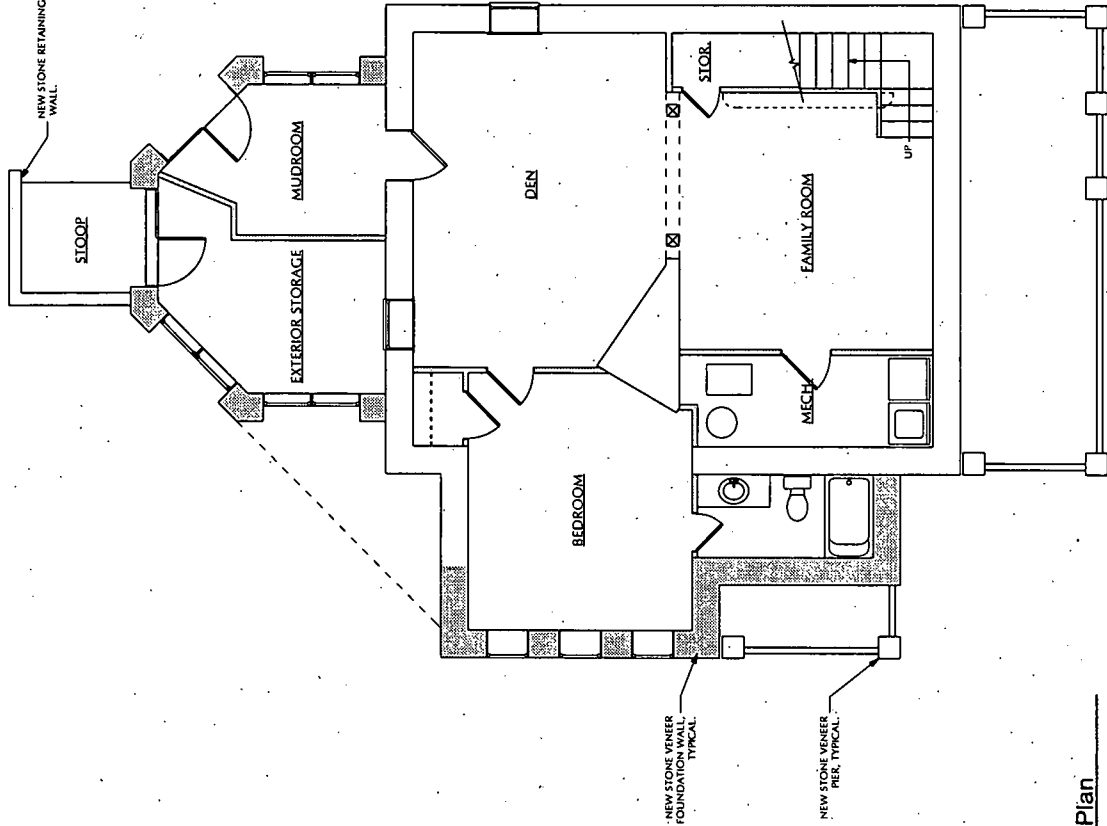
Basement Floor Plan  
 Scheme A

Notes:  
 1. All dimensions are shown in feet and inches.  
 2. All work is to be in accordance with the approved plans and specifications.  
 3. All work is to be in accordance with the approved plans and specifications.

Project:	As Shown
Drawn:	AS/CEP
Check:	01.10.05
Date:	01.10.05
By:	AS/CEP
Scale:	1/4" = 1'-0"

10 CONTINUOUS

Sheet  
 A-2  
 SECTION OF 20



1 Basement Floor Plan  
 1/4" = 1'-0"

102  
 98



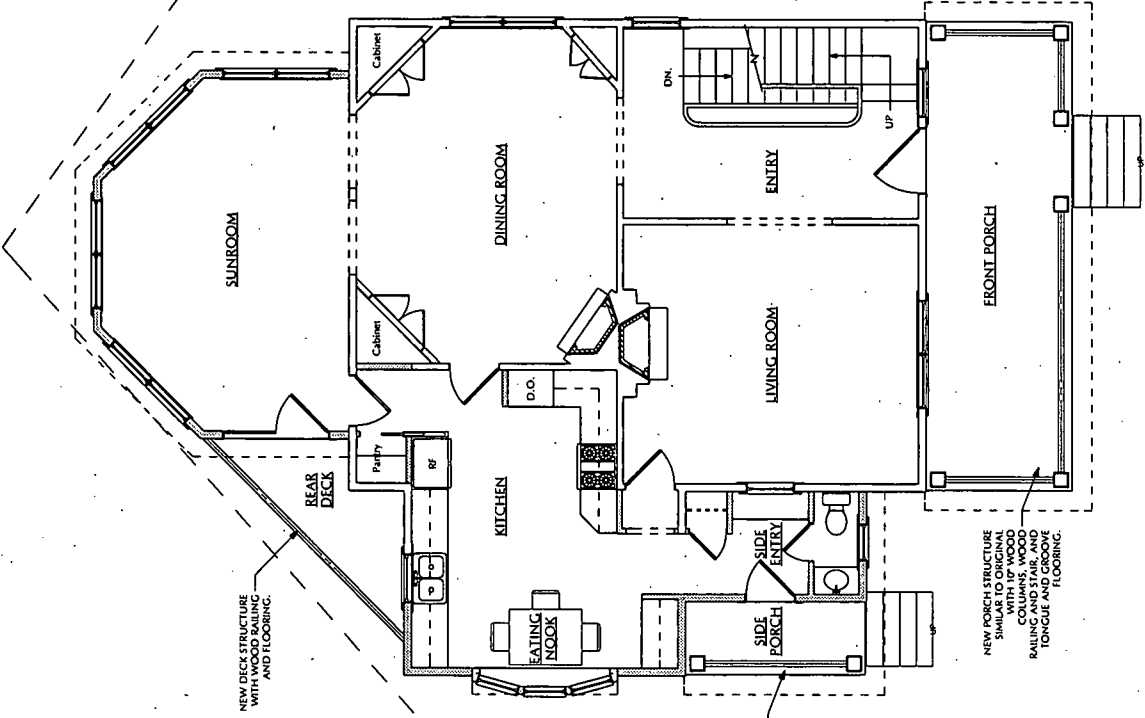
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

# First Floor Plan Scheme A

Working in the State of Maryland  
Professional Seal and Stamp  
Required for all Plans  
and Specifications  
The Seal and Stamp  
Must be in the State of  
Maryland and must be  
in the Name of the  
Professional Engineer  
or Architect.

DATE:	02.10.05
PROJECT:	
DESIGNER:	
SCALE:	
BY:	
CHECKED BY:	
DATE:	
PROJECT:	
DESIGNER:	
SCALE:	
BY:	
CHECKED BY:	
DATE:	

1  
A-3  
SHEET 1 OF 3



NEW DECK STRUCTURE WITH WOOD RAILING AND FLOORING.

NEW PORCH STRUCTURE WITH 10" WOOD COLUMNS, WOOD RAILING AND STAIR, AND TONGUE AND GROOVE FLOORING.

NEW PORCH STRUCTURE SIMILAR TO ORIGINAL WITH 10" WOOD COLUMNS, WOOD RAILING AND STAIR, AND TONGUE AND GROOVE FLOORING.

1 First Floor Plan  
1/8" = 1'-0"

63  
PA



ARCHITECT  
 10412 MONTGOMERY AVE  
 KENNINGTON, MD 20895  
 (301) 271-1100  
 WWW.KENNINGTONARCHITECTS.COM

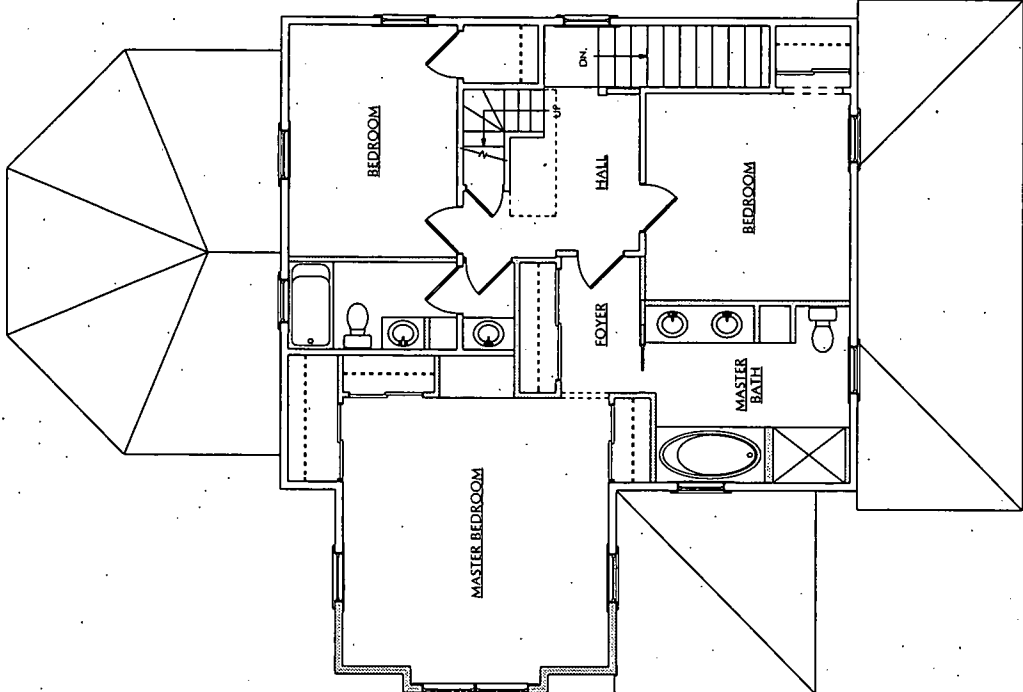
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Second Floor Plan  
 Scheme A

Notes:  
 1. All dimensions are in feet and inches.  
 2. All dimensions are to the centerline of walls unless otherwise noted.  
 3. All dimensions are to the centerline of windows unless otherwise noted.  
 4. All dimensions are to the centerline of doors unless otherwise noted.  
 5. All dimensions are to the centerline of stairs unless otherwise noted.

DATE:	02.10.09
PROJECT:	Capitol View Residence
ARCHITECT:	Kennington Architects
SCALE:	1/4" = 1'-0"

Sheet  
 A-4  
 of 24



1 Second Floor Plan  
 1/4" = 1'-0"

04  
 08



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

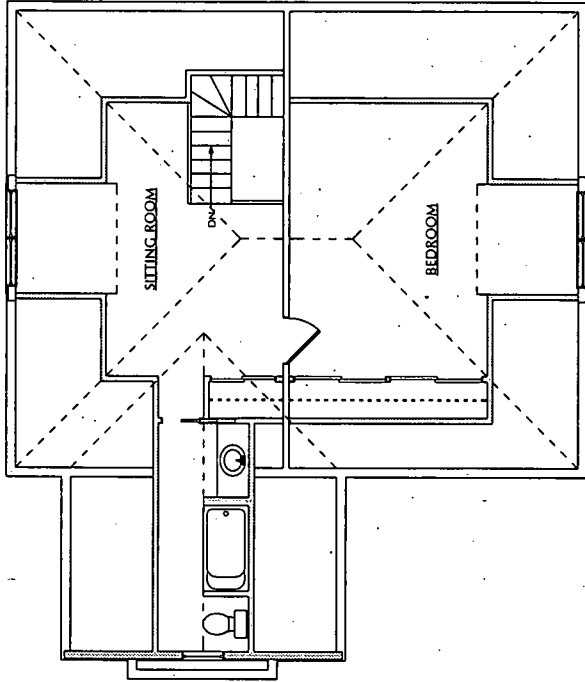
Attic Floor Plan  
 Scheme A



Notes: (1) This is a preliminary drawing. It is not to be used for construction. (2) All dimensions are in feet and inches. (3) All dimensions are to the center of the member unless otherwise noted. (4) All dimensions are to the finished surface unless otherwise noted.

Project:	Attic Floor Plan
Client:	
Architect:	
Date:	02.10.05
Scale:	
Sheet:	

1111  
**A-5**  
 SHEET 1 OF 25



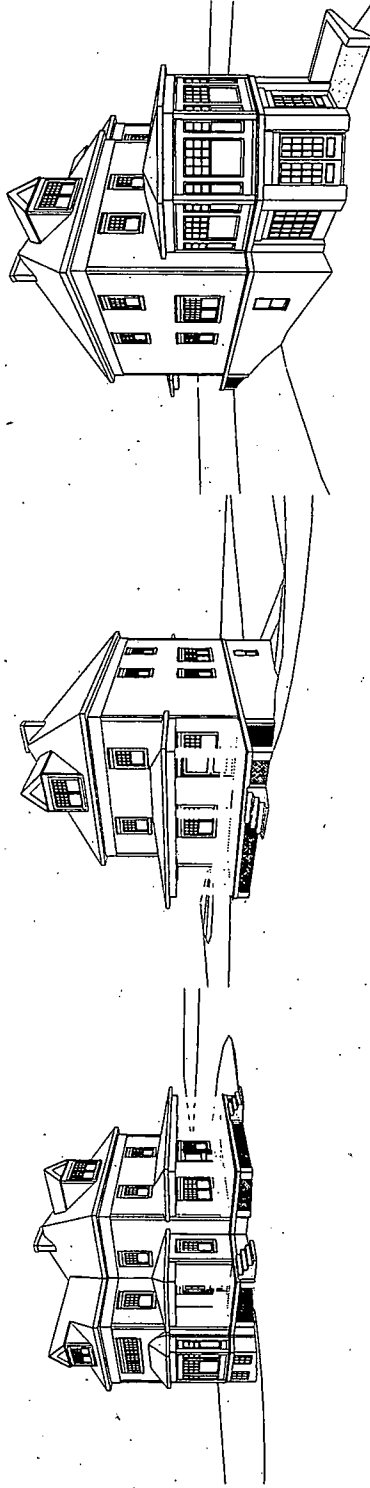
1 Attic Floor Plan  
 1/8" = 1'-0"

65  
 24



# Renovation to the Capitol View Residence

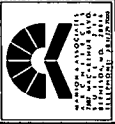
## Scheme B



1 Front Perspective  
1/2, 08

2 O-Front Perspective  
1/2, 08

3 Rear Perspective  
1/2, 08



Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

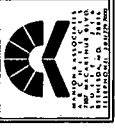
Perspectives  
Scheme B

Without Affirmation on Behalf of the Architect, the Owner, the Contractor, or any other party, no liability shall be assumed for any errors or omissions in the drawings or specifications, or for any consequences arising therefrom, or for any damages, including reasonable attorney's fees, which may be incurred by any party as a result of the use of the drawings or specifications, or for any consequences arising therefrom, or for any damages, including reasonable attorney's fees, which may be incurred by any party as a result of the use of the drawings or specifications.

DATE:	07.10.08
PROJECT:	
ARCHITECT:	
SCALE:	
BY:	
CHECKED BY:	
DATE:	

B-1  
SHEET 26 OF 26

U6  
26



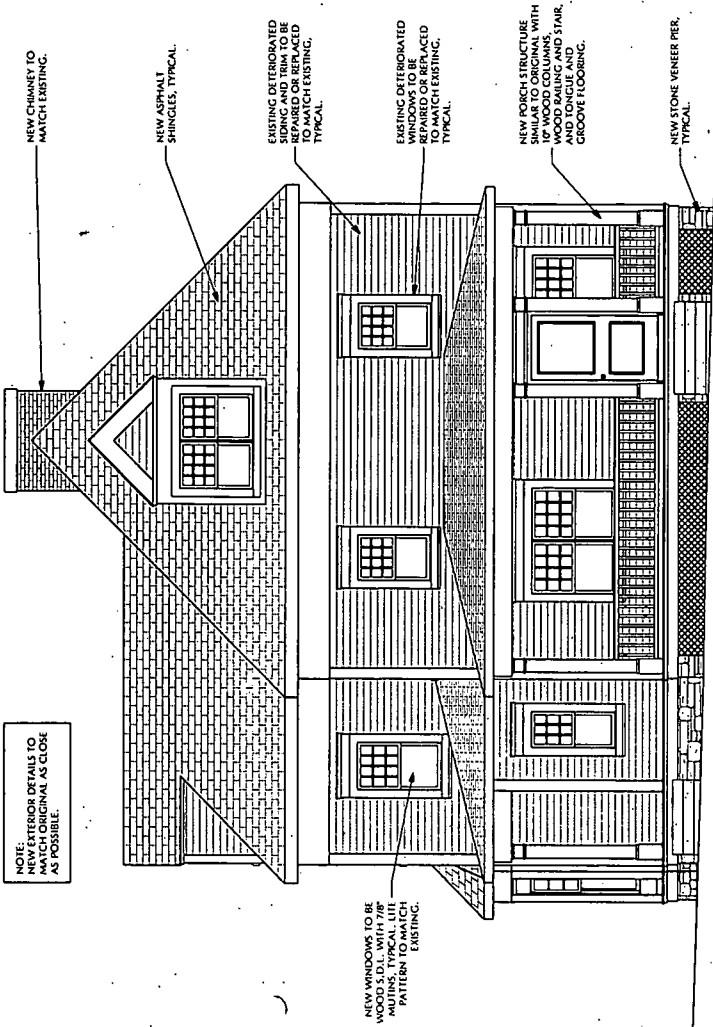
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

# Front Elevation Scheme B

Notes:  
1. All work shall be in accordance with the approved contract documents.  
2. The contractor shall be responsible for obtaining all necessary permits.  
3. The contractor shall be responsible for coordinating with all other trades.  
4. The contractor shall be responsible for protecting existing work.

Scale:	AS SHOWN
Drawn:	
Checked:	
Date:	02.10.05
Project:	
Client:	
Architect:	

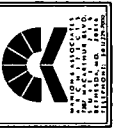
SHEET  
**B-6**  
SHEET 2 OF 24



NOTE: INTERIOR DETAILS TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.

1 Front Elevation  
1/4" = 1'-0"

67  
43



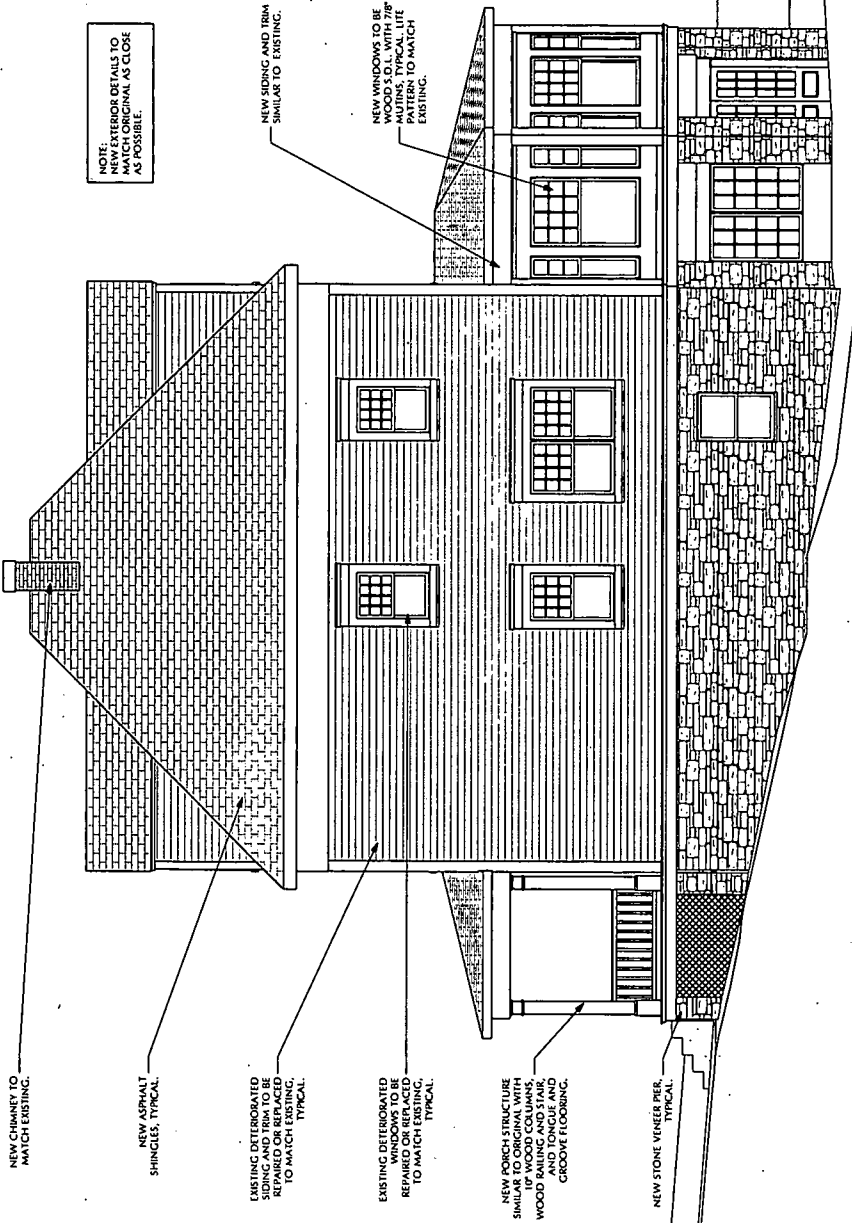
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Right Side Elevation  
Scheme B

Notes: All dimensions are in feet and inches unless otherwise noted. All materials are to be installed in accordance with manufacturer's specifications. All work is to be done in accordance with the current edition of the International Building Code and the current edition of the International Residential Code.

SCALE:	As Shown
DATE:	
DESIGNER:	
DATE:	02.16.05
PROJECT:	
LOCATION:	
PROJECT NO.:	
DATE:	

B-7  
SHEET NUMBER 25



NEW CHIMNEY TO MATCH EXISTING.

NEW ASPHALT SHINGLES, TYPICAL.

EXISTING DETERIORATED SIDING AND TRIM TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING DETERIORATED WINDOWS TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

NEW PORCH STRUCTURE SIMILAR TO ORIGINAL WITH WOOD BAILING AND STAIR AND TONGUE AND GROOVE FLOORING.

NEW STONE VENEER PER TYPICAL.

NEW SIDING AND TRIM SIMILAR TO EXISTING.

NEW WINDOWS TO BE WOODS OIL WITH TRIM AND SHUTTERS TO MATCH EXISTING.

NOTE: NEW WINDOW DETAILS TO BE DEVELOPED TO MATCH EXISTING AS MUCH AS POSSIBLE.

1 Right Side Elevation  
1/4" = 1'-0"

68  
3/2



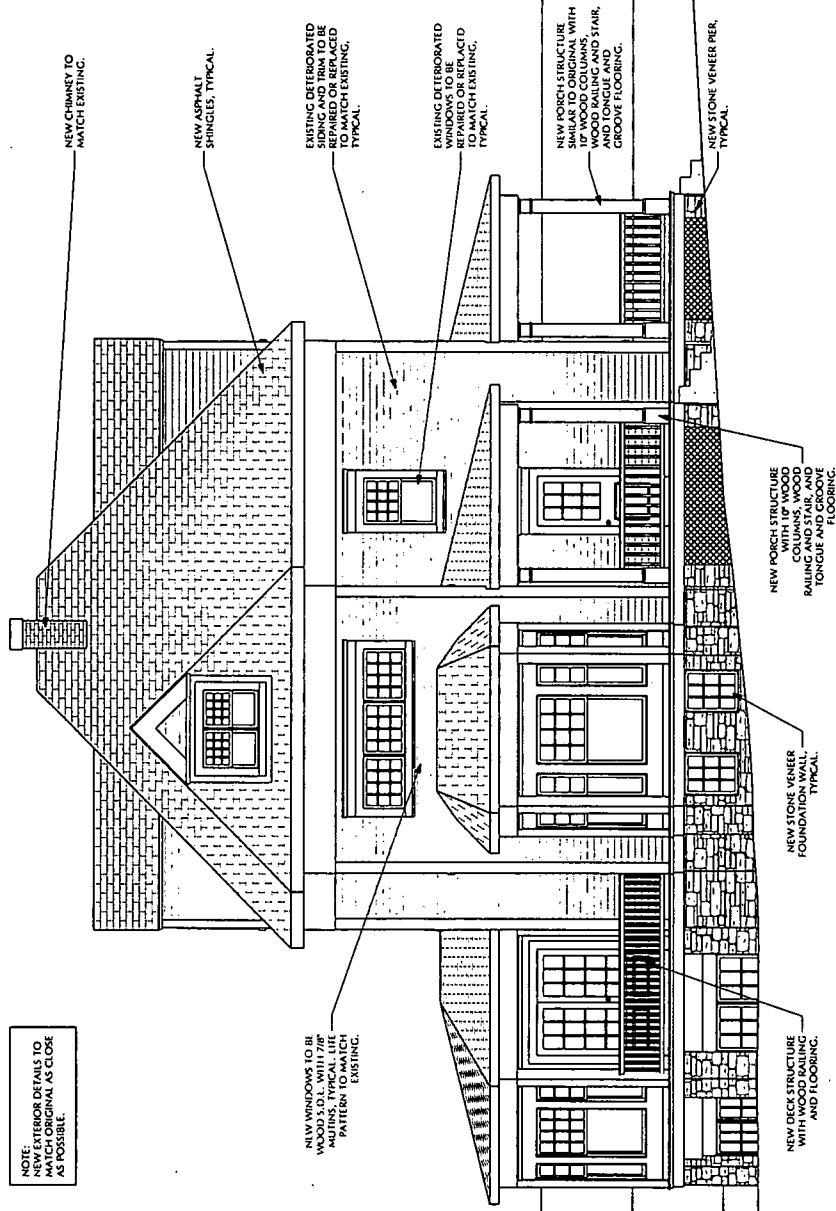
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

### Left Side Elevation

Working drawings are the property of Kaplan Architects, Inc. and are to be used only for the project and location specified. Any other use without the written consent of Kaplan Architects, Inc. is prohibited.

Project:	As Noted
Date:	
Client:	
Drawn:	
Check:	
Date:	01.18.05
Scale:	
Notes:	

B-9  
SHEET 9 OF 23



NOTE:  
NEW EXTERIOR DETAILS TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.

1 Left Side Elevation  
1/4" = 1'-0"

69  
482



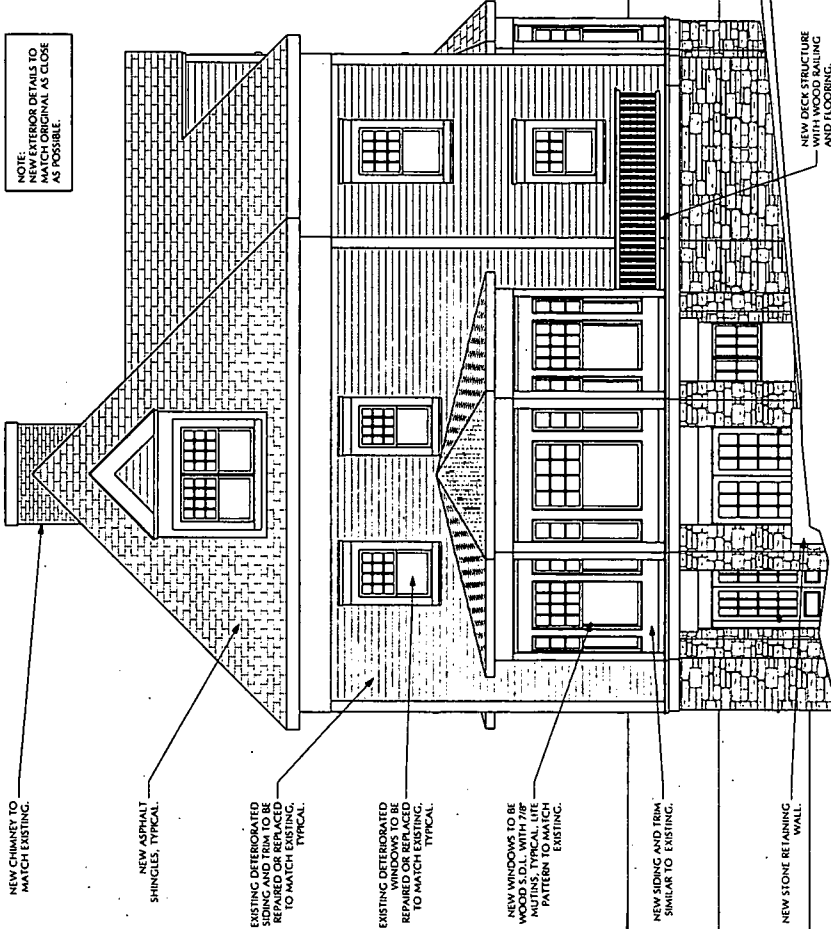
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Rear Elevation  
Scheme B

Working drawings are prepared by the Architectural Firm and are not to be used for any other purpose without the written consent of the Architectural Firm.

Project:	As Noted
Client:	
Contract:	02.10.05
Architect:	
Scale:	
Sheet:	

B-8  
SHEET 17 OF 25



NOTE:  
NEW INTERIOR DETAILS TO  
MATCH ORIGINAL AS CLOSE  
AS POSSIBLE.

NEW CHIMNEY TO  
MATCH EXISTING.

NEW ASPHALT  
SHINGLES, TYPICAL.

EXISTING DETERIORATED  
SIDING AND TRIM TO BE  
REPAIRED OR REPLACED  
TO MATCH, TYPICAL.

EXISTING DETERIORATED  
WINDOWS TO BE  
REPAIRED OR REPLACED  
TO MATCH, TYPICAL.

NEW WINDOWS TO BE  
WOOD S.D.L. WITH 7/8"  
MULTIPLY, MATCH THE  
PATTERN TO THE  
EXISTING.

NEW SIDING AND TRIM,  
SIMILAR TO EXISTING.

NEW STONE RETAINING  
WALL.

NEW DECK STRUCTURE  
WITH WOOD RAILING  
AND FLOORING.

1 Rear Elevation  
1/4" = 1'-0"

70  
B-8



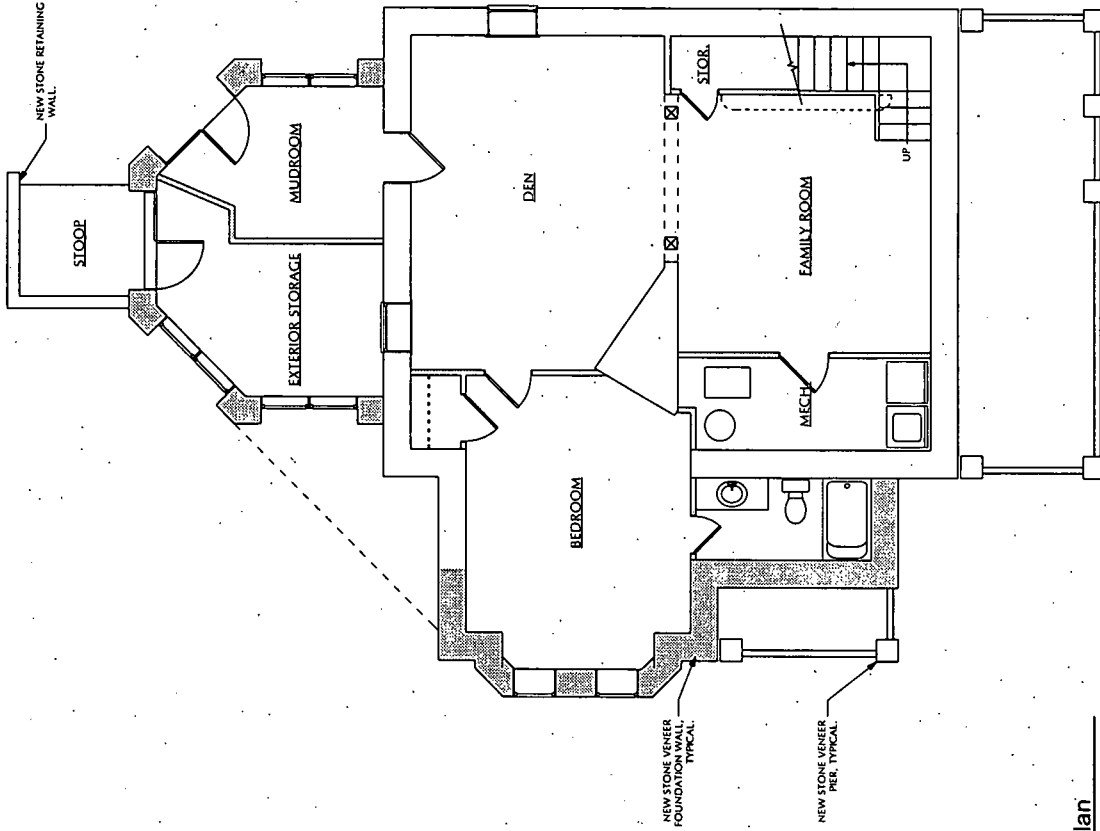
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Basement Floor Plan  
 Scheme B

NO ARCHITECTURAL OR STRUCTURAL WORK SHALL BE CONSIDERED UNLESS THE CONTRACTOR HAS BEEN ADVISED BY THE ARCHITECT THAT THE WORK IS TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND CONDITIONS OF THE CONTRACT.

DATE:	02.10.05
PROJECT:	Capitol View Residence
DESIGNER:	KENTON ARCHITECTS
SCALE:	AS SHOWN
BY:	LD

SHEET  
 B-2  
 SHEET 11 OF 28



1 Basement Floor Plan  
 1/4" = 1'-0"

Handwritten initials or mark, possibly '11' or '12'.



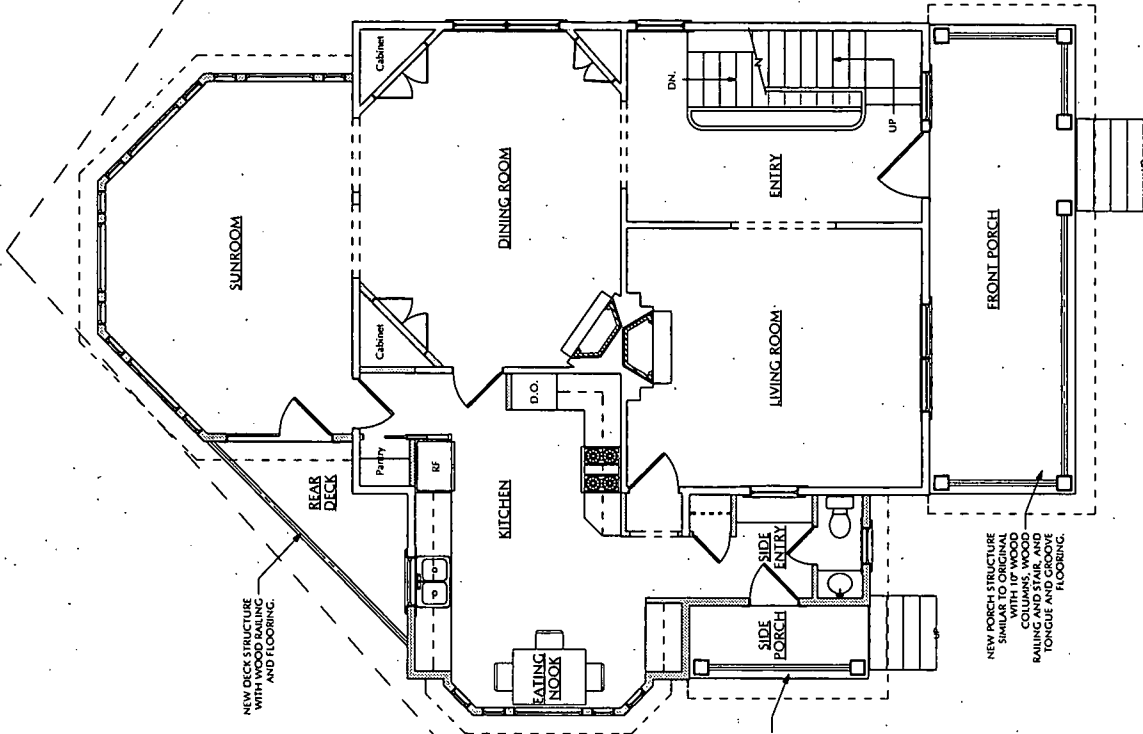
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

First Floor Plan  
Scheme B

Notes:  
1. All dimensions are in feet and inches.  
2. All walls are shown in solid lines.  
3. All doors are shown in solid lines with swing arrows.  
4. All windows are shown in solid lines with double lines for the sill and top.  
5. All stairs are shown with arrows indicating direction of travel.  
6. All cabinets are shown with solid lines and a 'Cabinet' label.  
7. All fixtures are shown with solid lines and a label.  
8. All structural elements are shown with solid lines and a label.  
9. All new construction is shown with dashed lines and a label.  
10. All existing construction is shown with solid lines.

DATE:	01.10.05
PROJECT:	Capitol View Residence
DESIGNER:	Architect
SCALE:	1/8" = 1'-0"
BY:	Architect
CHECKED BY:	Architect
DATE:	01.10.05
PROJECT:	Capitol View Residence
DESIGNER:	Architect
SCALE:	1/8" = 1'-0"
BY:	Architect
CHECKED BY:	Architect

SHEET  
B-3  
SHEET 11 OF 13



NEW DECK STRUCTURE WITH WOOD RAILING AND FLOORING.

NEW PORCH STRUCTURE WITH 10" WOOD COLUMNS, WOOD RAILING AND STAIR, AND TONGUE AND GROOVE FLOORING.

NEW PORCH STRUCTURE SIMILAR TO EXISTING WITH 10" WOOD COLUMNS, WOOD RAILING AND STAIR, AND TONGUE AND GROOVE FLOORING.

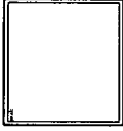
1 First Floor Plan  
1/8" = 1'-0"

72  
28



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

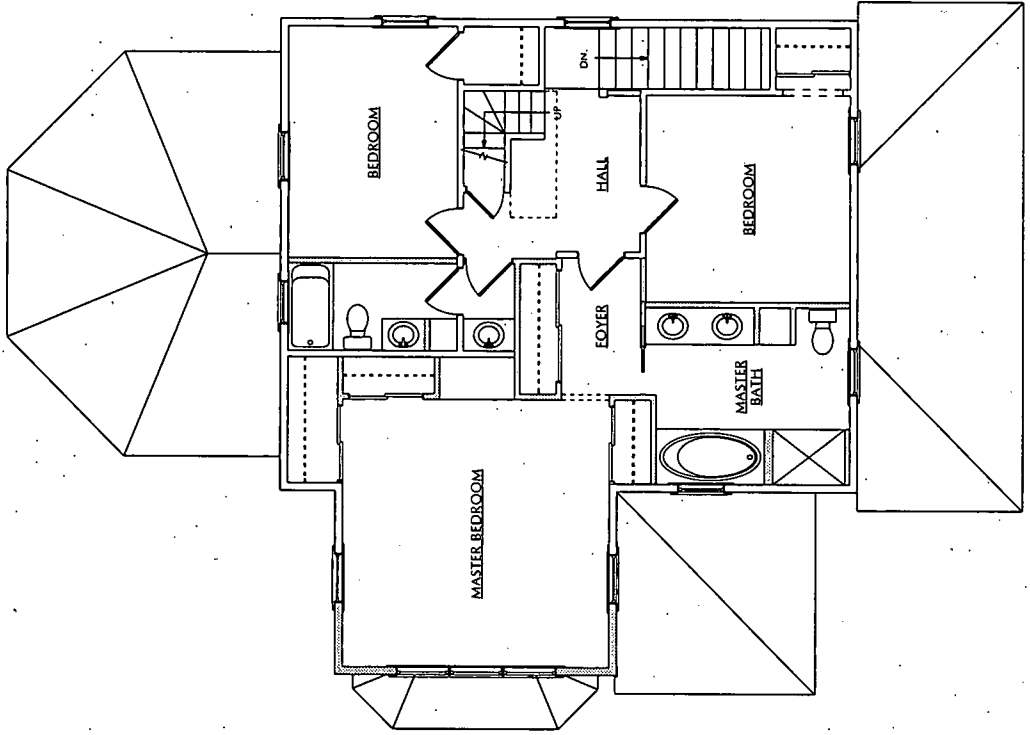
Second Floor Plan  
 Scheme B



Without Approval from King  
 Kimbly Architects, Inc.  
 10412 Montgomery Ave  
 Kensington, MD 20895  
 No part of this drawing may be  
 reproduced or transmitted in  
 any form or by any means  
 electronic or mechanical,  
 including photocopying and  
 recording, or by any  
 information storage and  
 retrieval system, without  
 permission in writing from  
 King Kimbly Architects, Inc.

Scale:	As Shown
Drawn:	
Checked:	
Date:	02.10.09
Author:	
KIM KIMBLY ARCHITECTS, INC.	

SHEET  
 B-4  
 SHEET 2 OF 25



1 Second Floor Plan  
 1/8" = 1'-0"

73  
 28





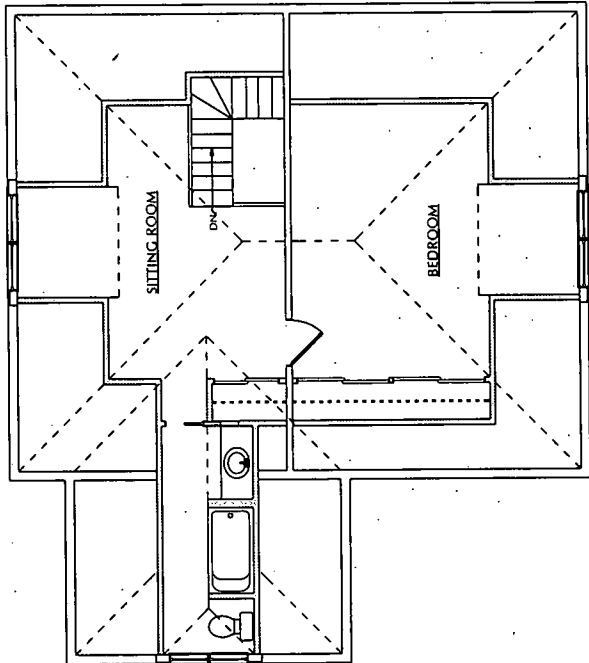
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

### Attic Floor Plan Scheme B

Notes: All dimensions are in feet and inches. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the wall unless otherwise noted.

DATE:	02/10/05
DESIGNER:	
CHECKED:	
DATE:	
PROJECT:	
SCALE:	
PROJECT:	

SWT  
B-5  
SHEET 24 OF 26



1 Attic Floor Plan  
1/4" = 1'-0"

74  
39

# MAHANY MEETING

8-26-05

- not compete with the Dwyer house
- no attached garage
  - especially facing the street
- files of other new houses in C.V. park

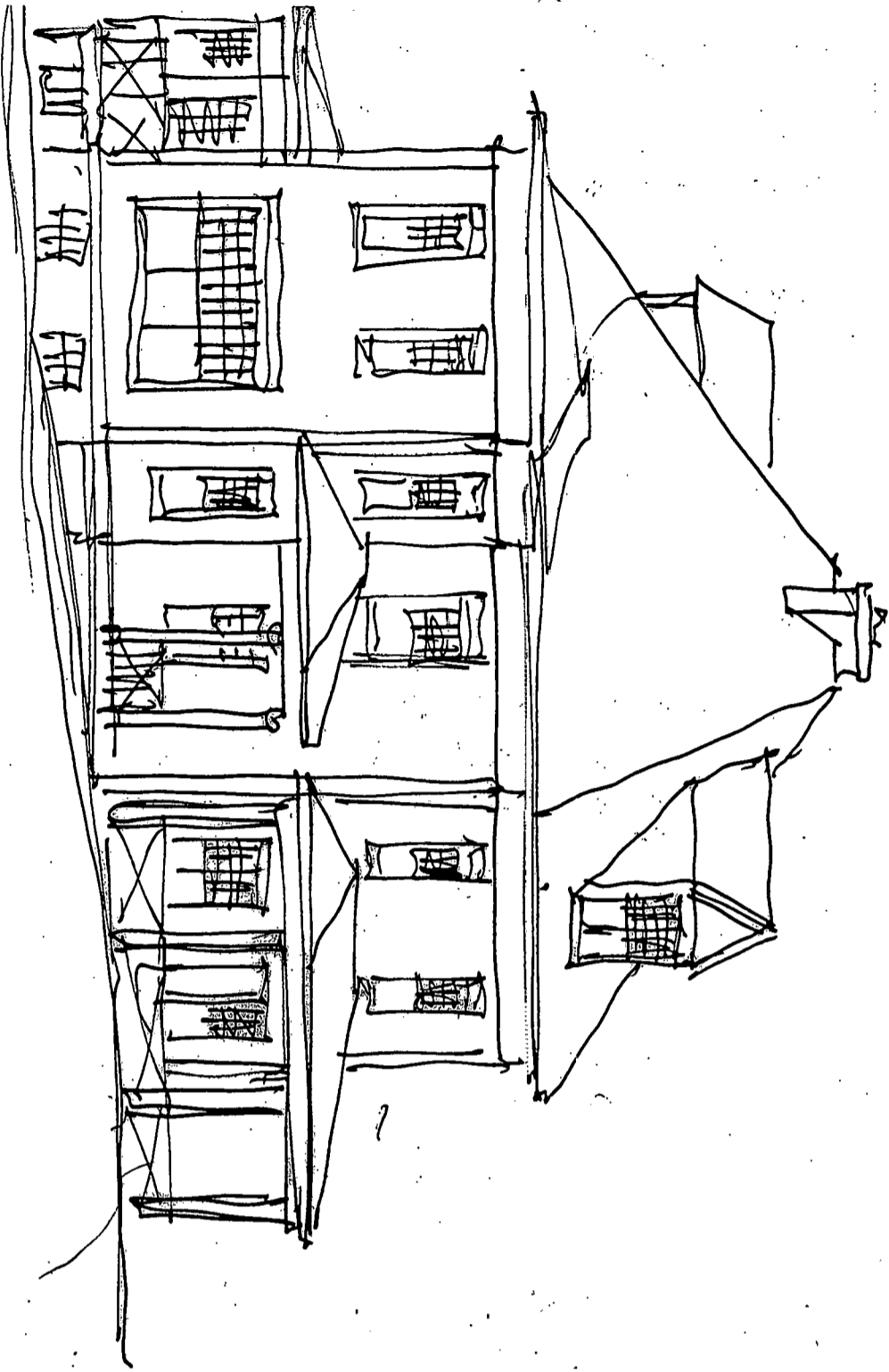
(Beechbank)

Bulk & mass clearly not competing  
w/ Dwyer house - significantly lower

1 1/2 story height -

6' lower than Dwyer house.

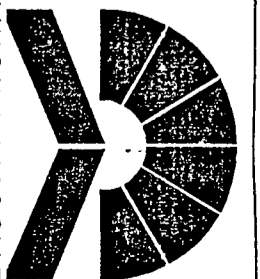
EXISTING  
REMOVED  
+ ADDITIONS.

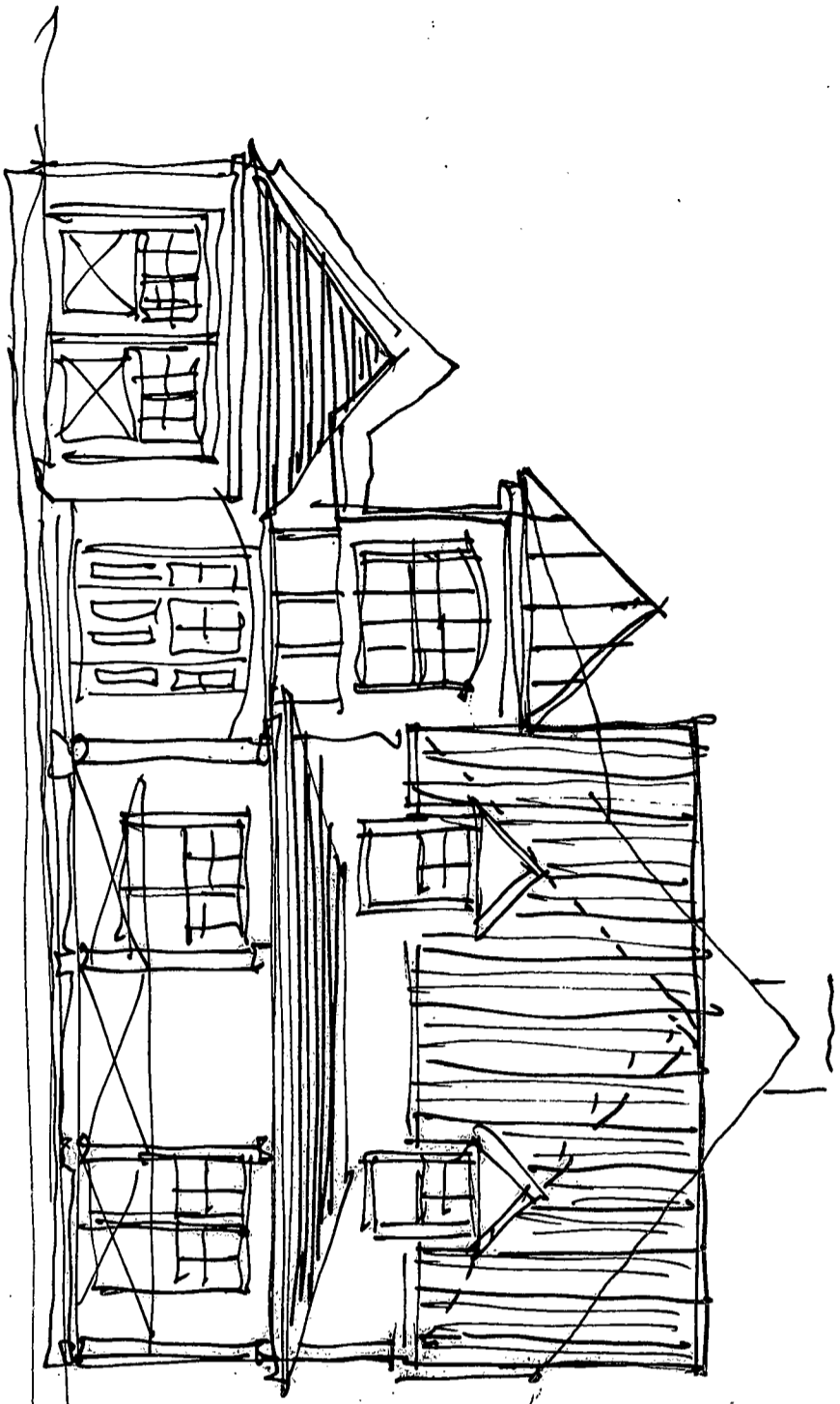


Capitol View Development  
10245 Capitol View Ave  
Kensington, MD 20895

House A1 & B1  
A2 & B2

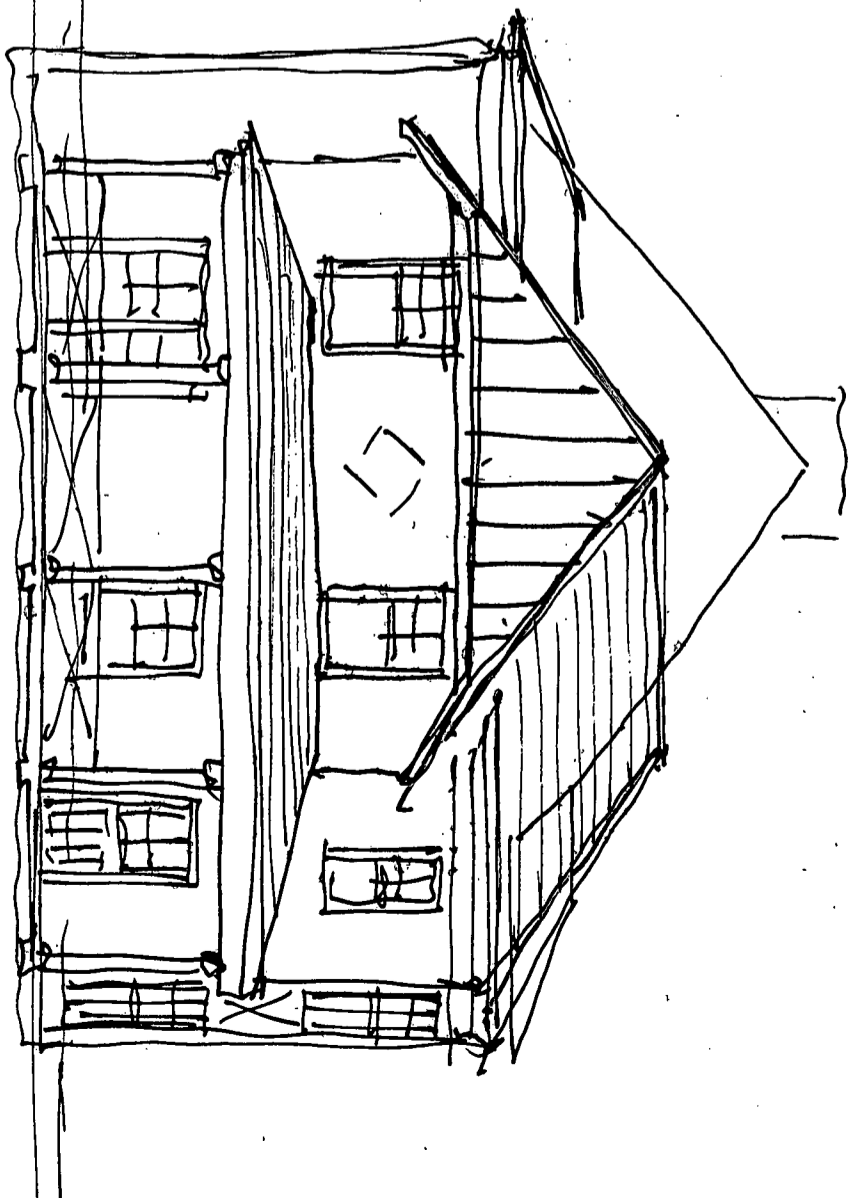
MANION & ASSOCIATES  
ARCHITECTS  
7307 MACARTHUR BLVD.  
SUITE 216  
BETHESDA, MD. 20816  
TELEPHONE: 301/229-7000





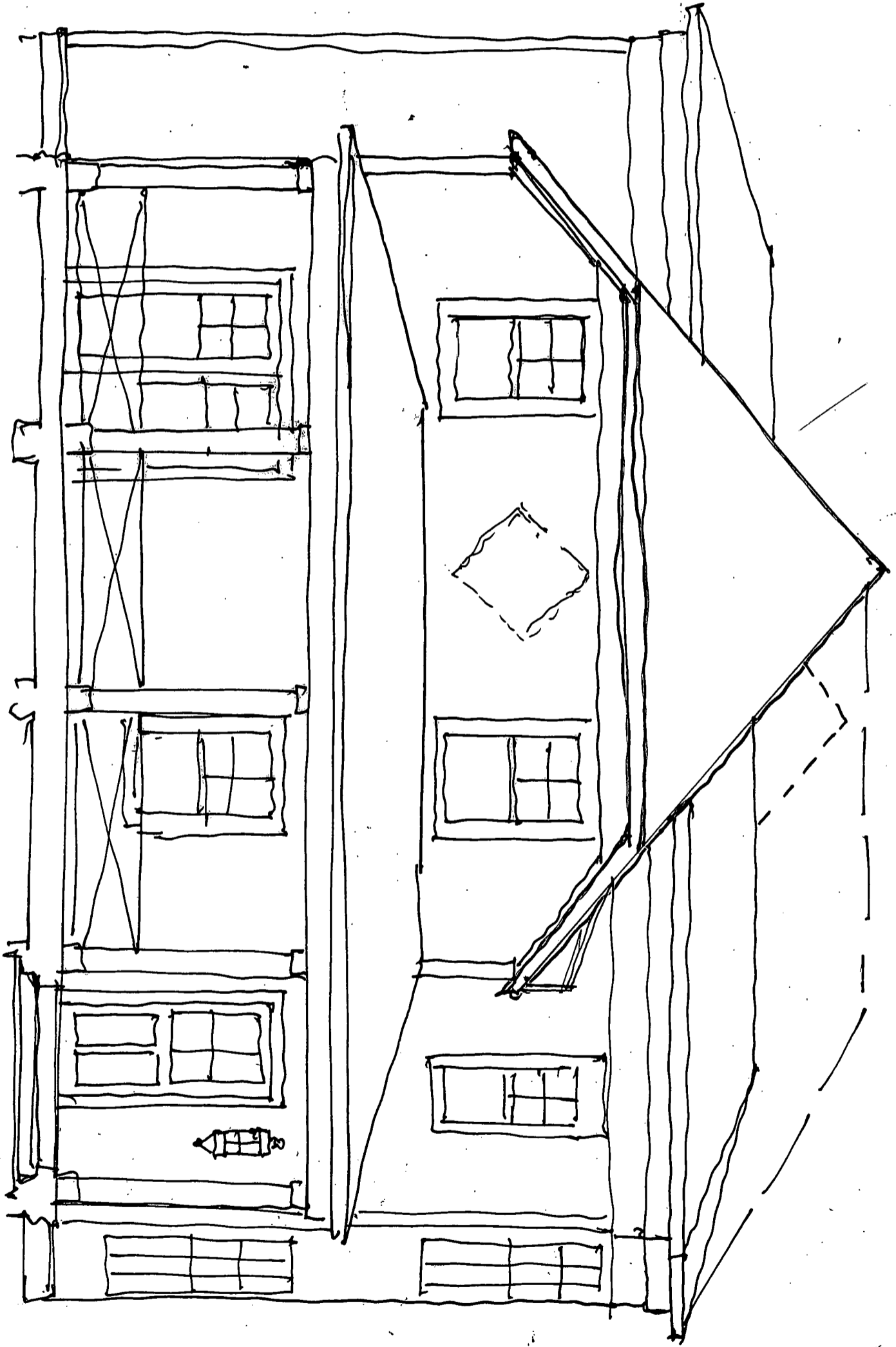
SHED TO FRONT

(61)

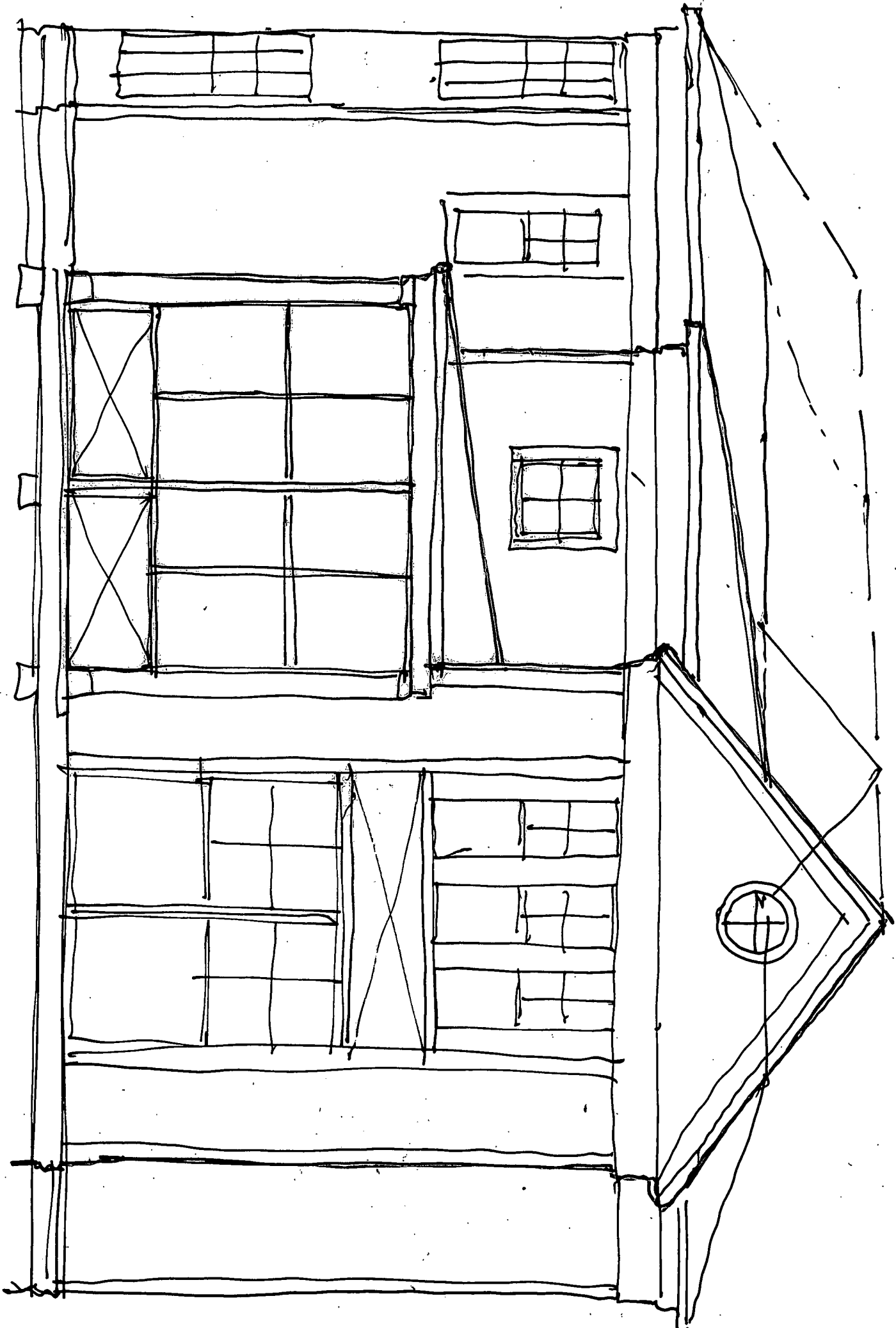


PORCH ON SHED TO FRONT

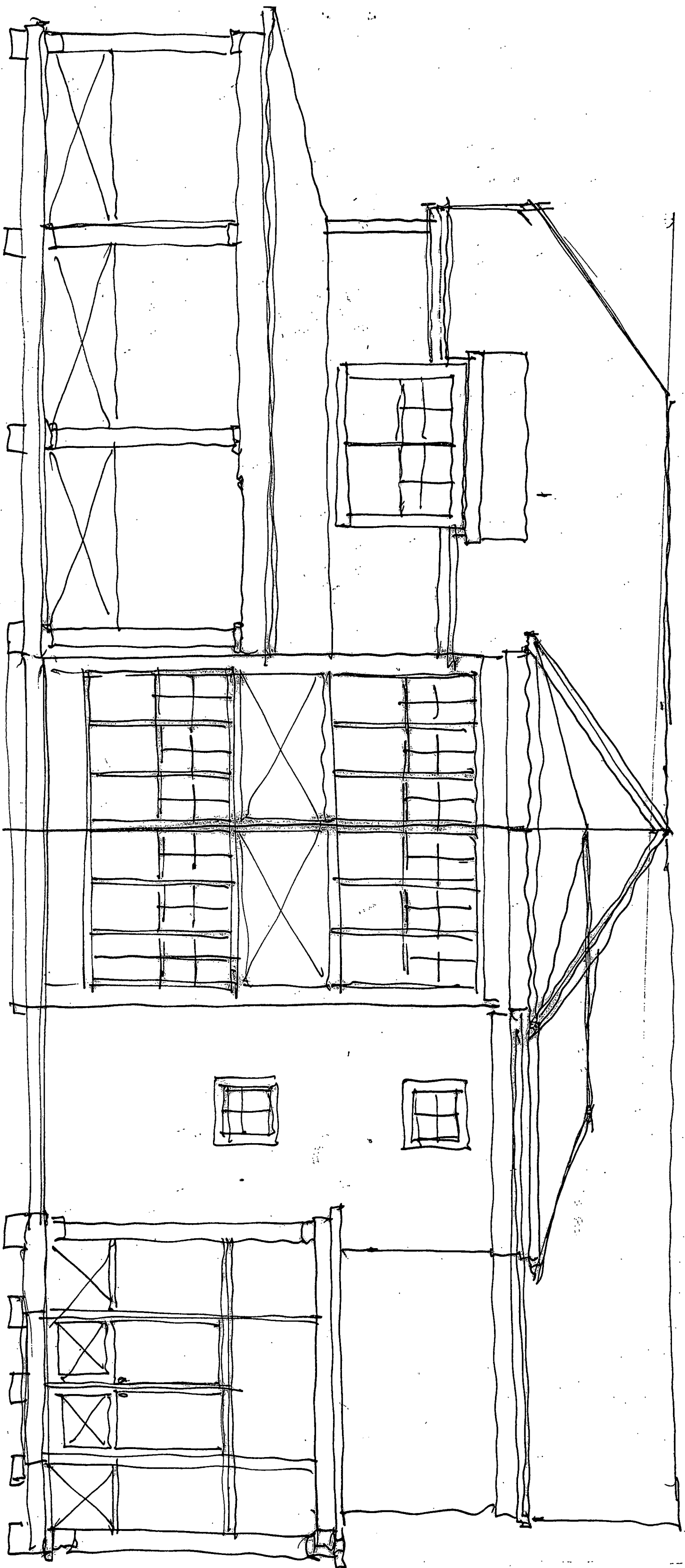
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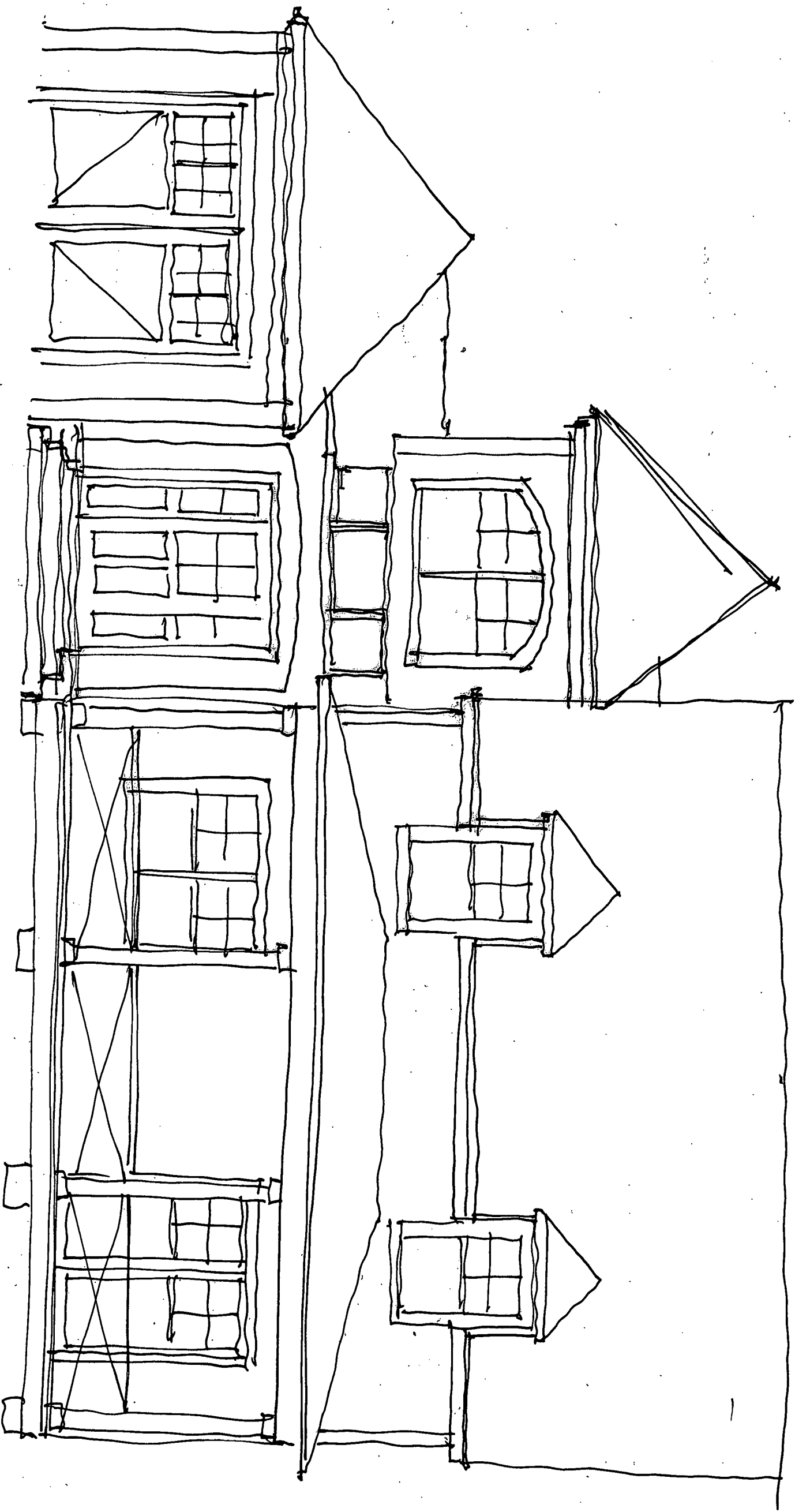
① Front



ARBAZ

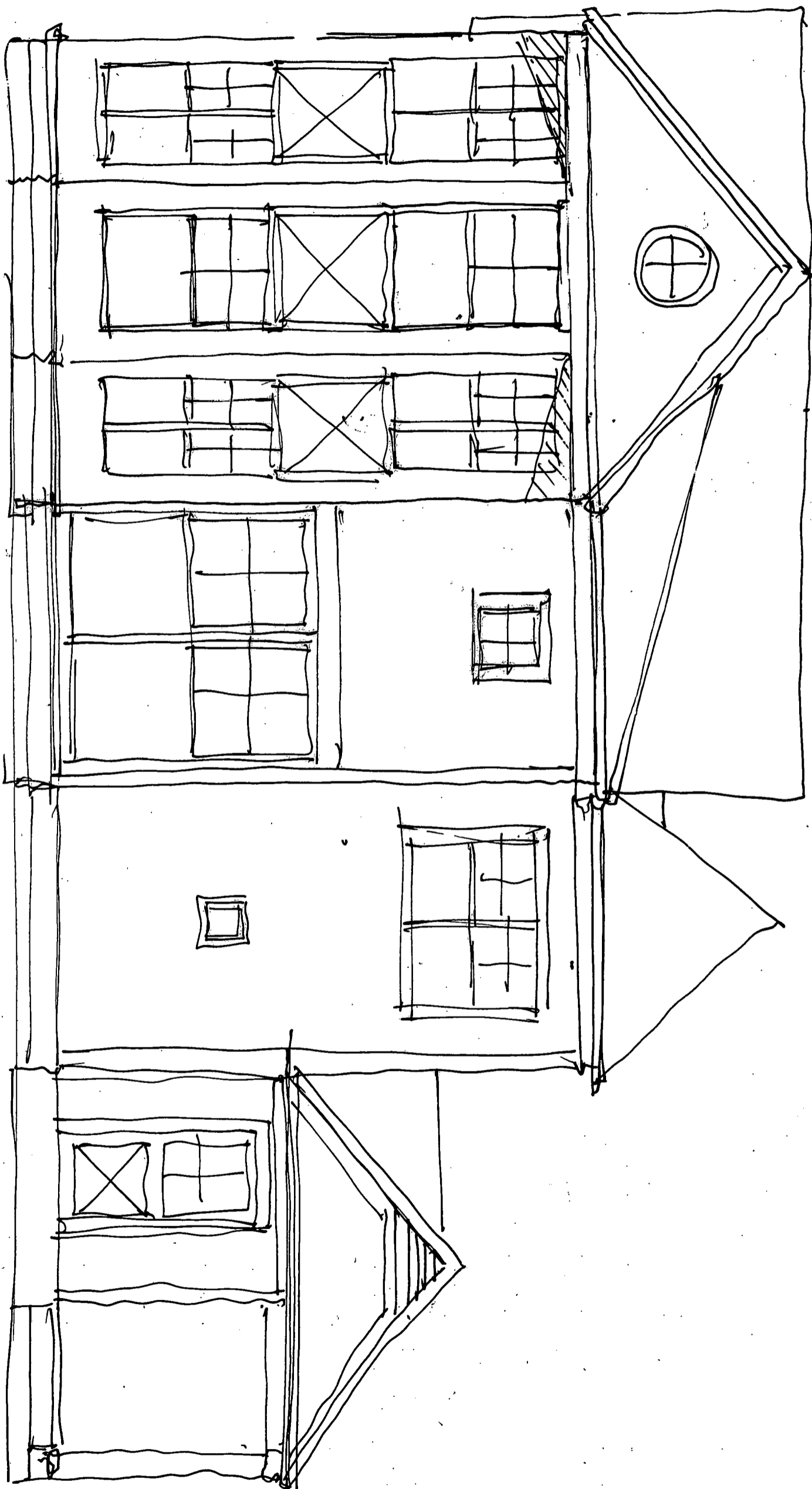


(A1) SIDE  
TUSD. HR.

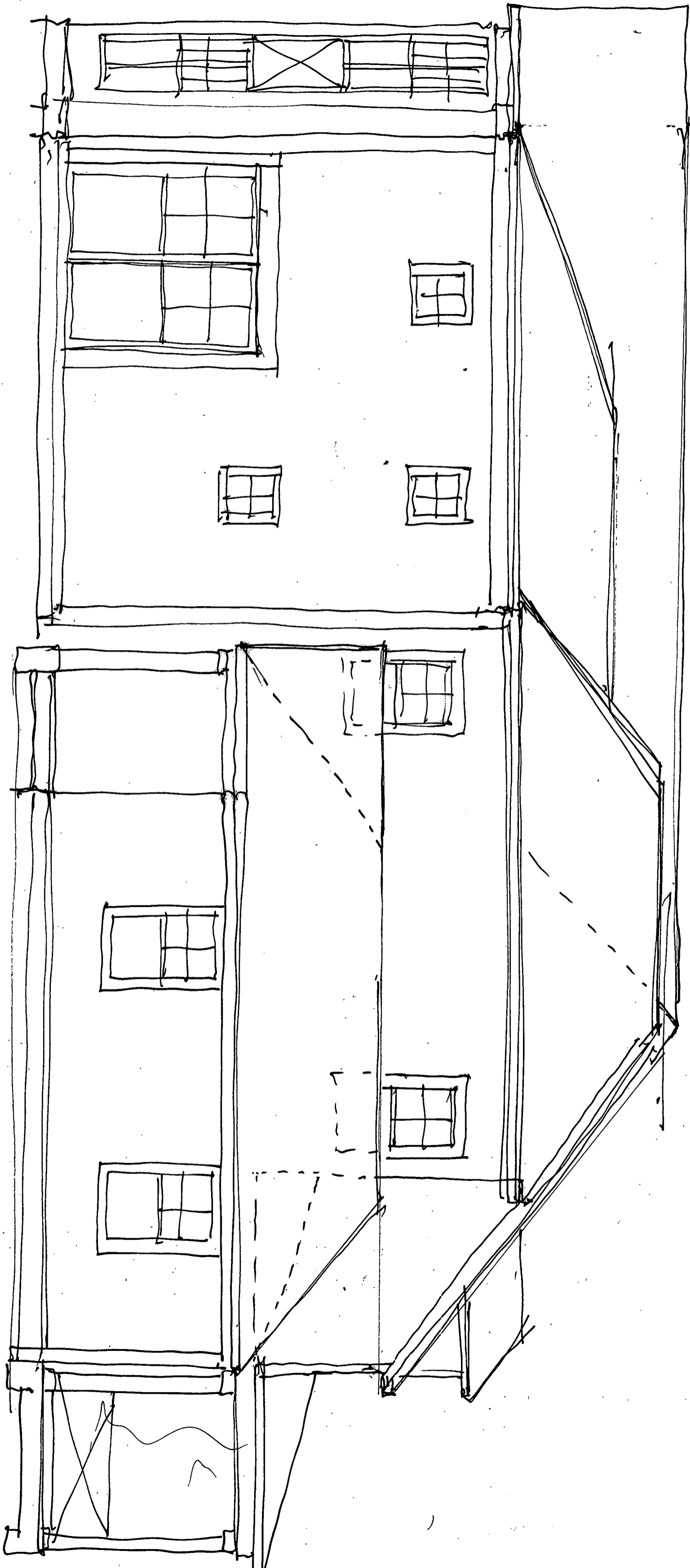


(51) FRONT



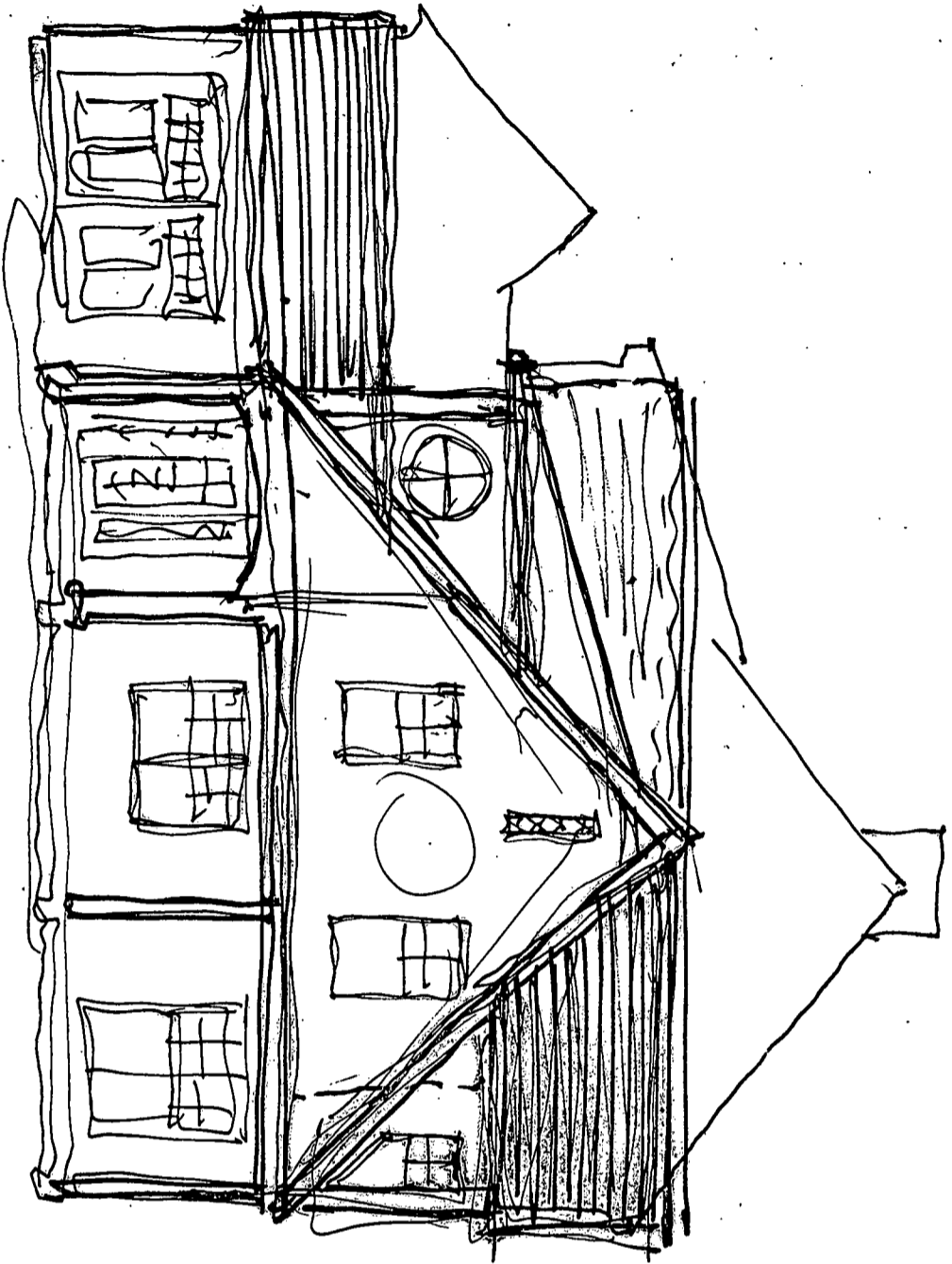


(31) REAR



(B1) SIDE

KIRBY FROM THE



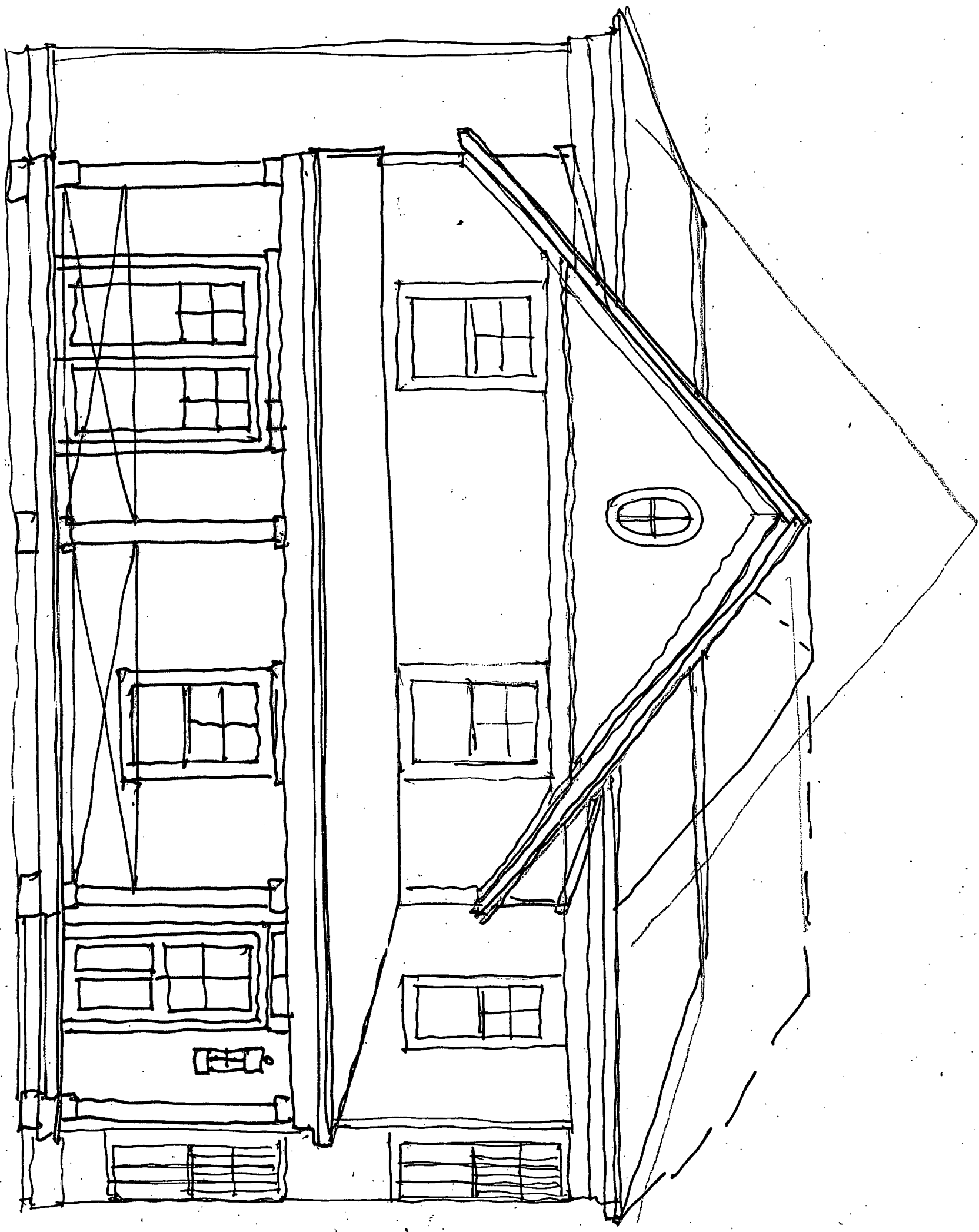
FRONT FACING SKETCH

(37)

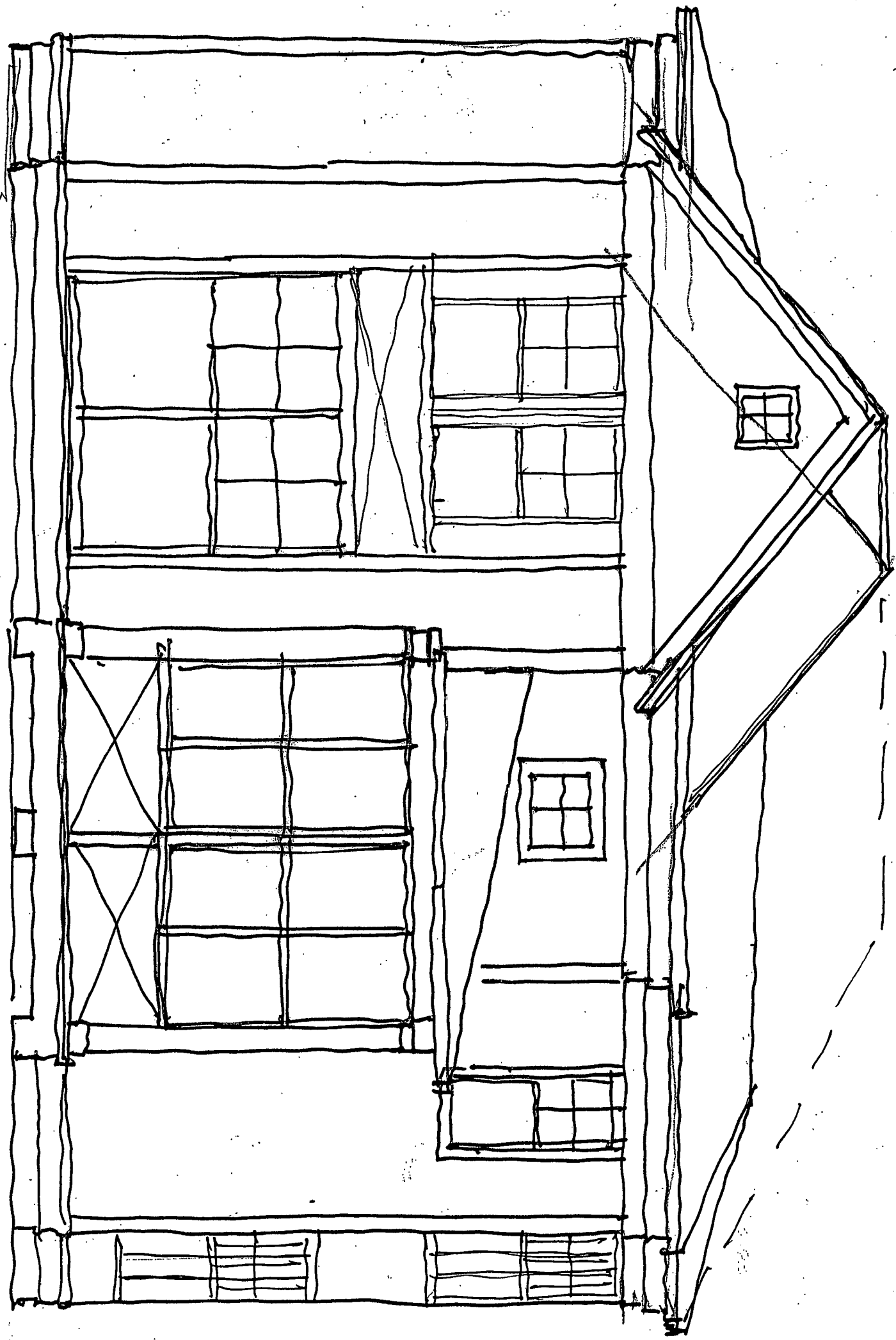


FRONT FACING SKETCH

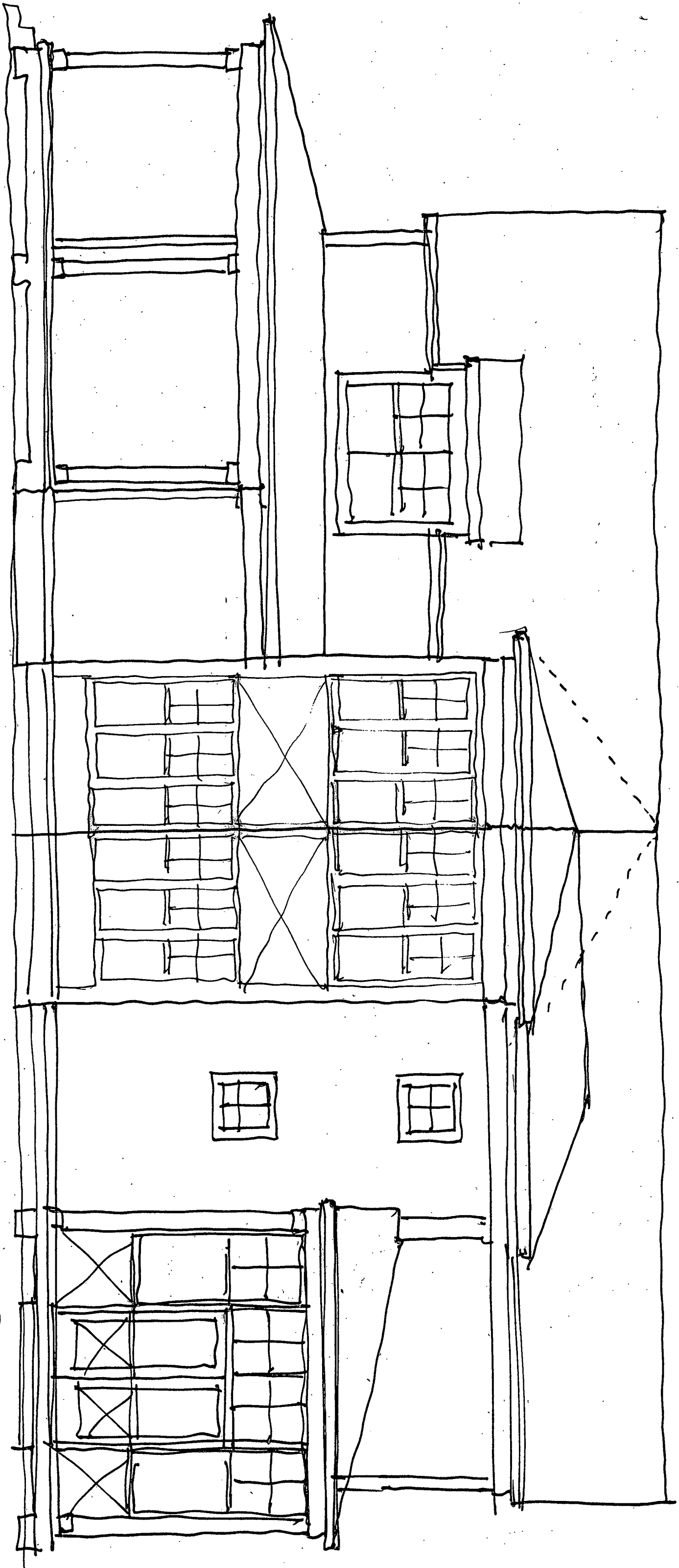
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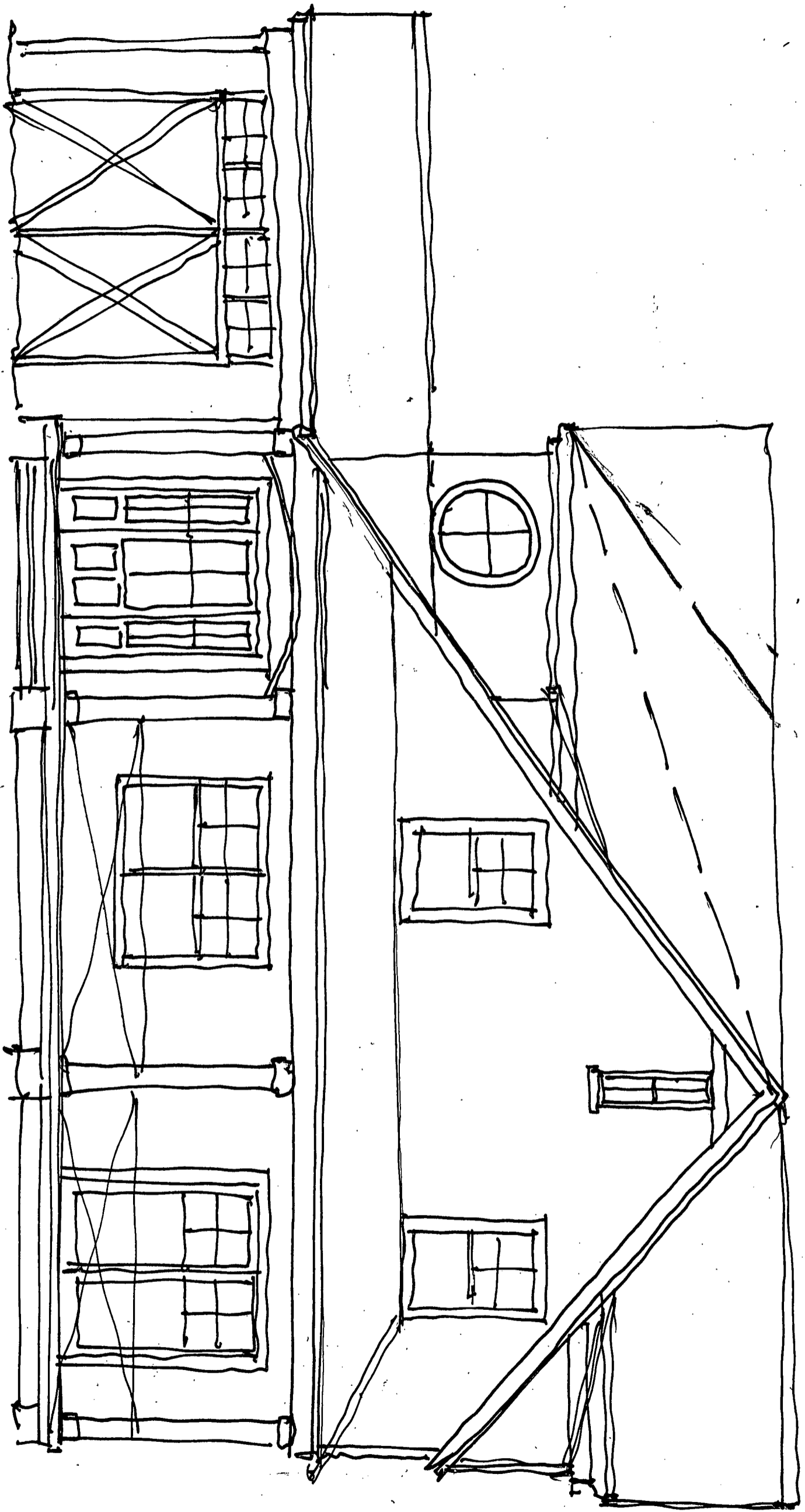
A2 FRONT



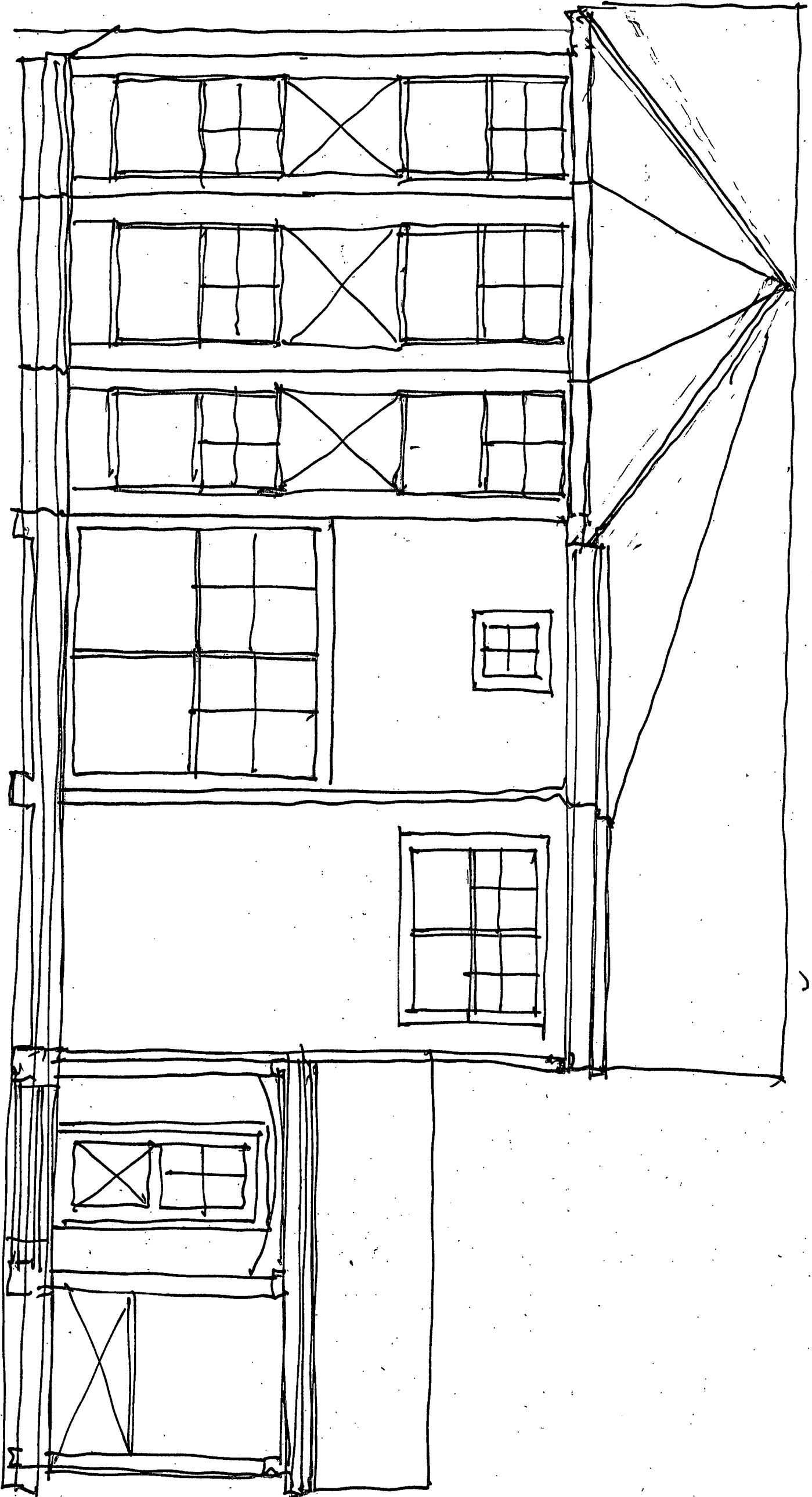
(A2) REAR



A2 SIDE TWO RESAMCE

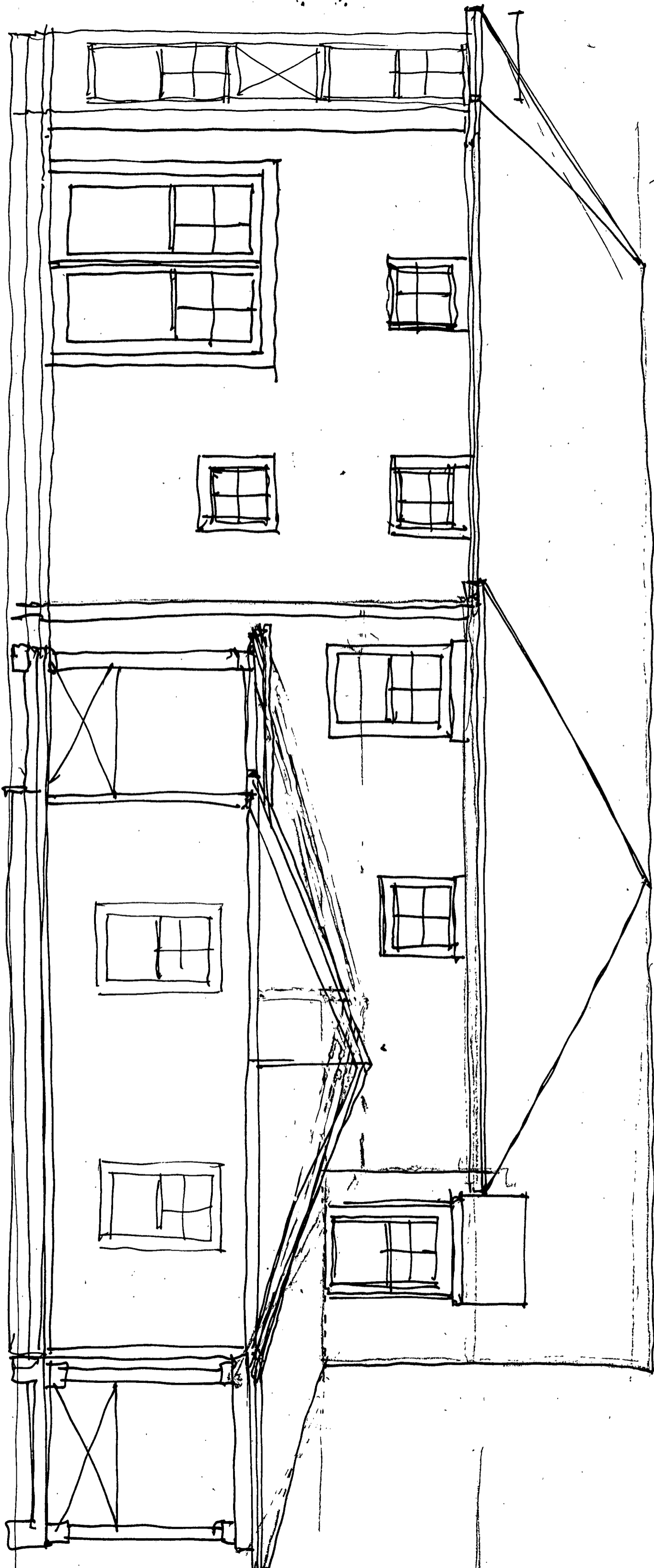


(62) FEENST



(B2) REAR





(32) GARAGE SIDE



FACSIMILE CORRESPONDENCE

To: M.C. Hist. Preserv. Comm.

Your Fax No.: 301-563-3412

Date: 4-20-05

Attn.: Michelle Oaks

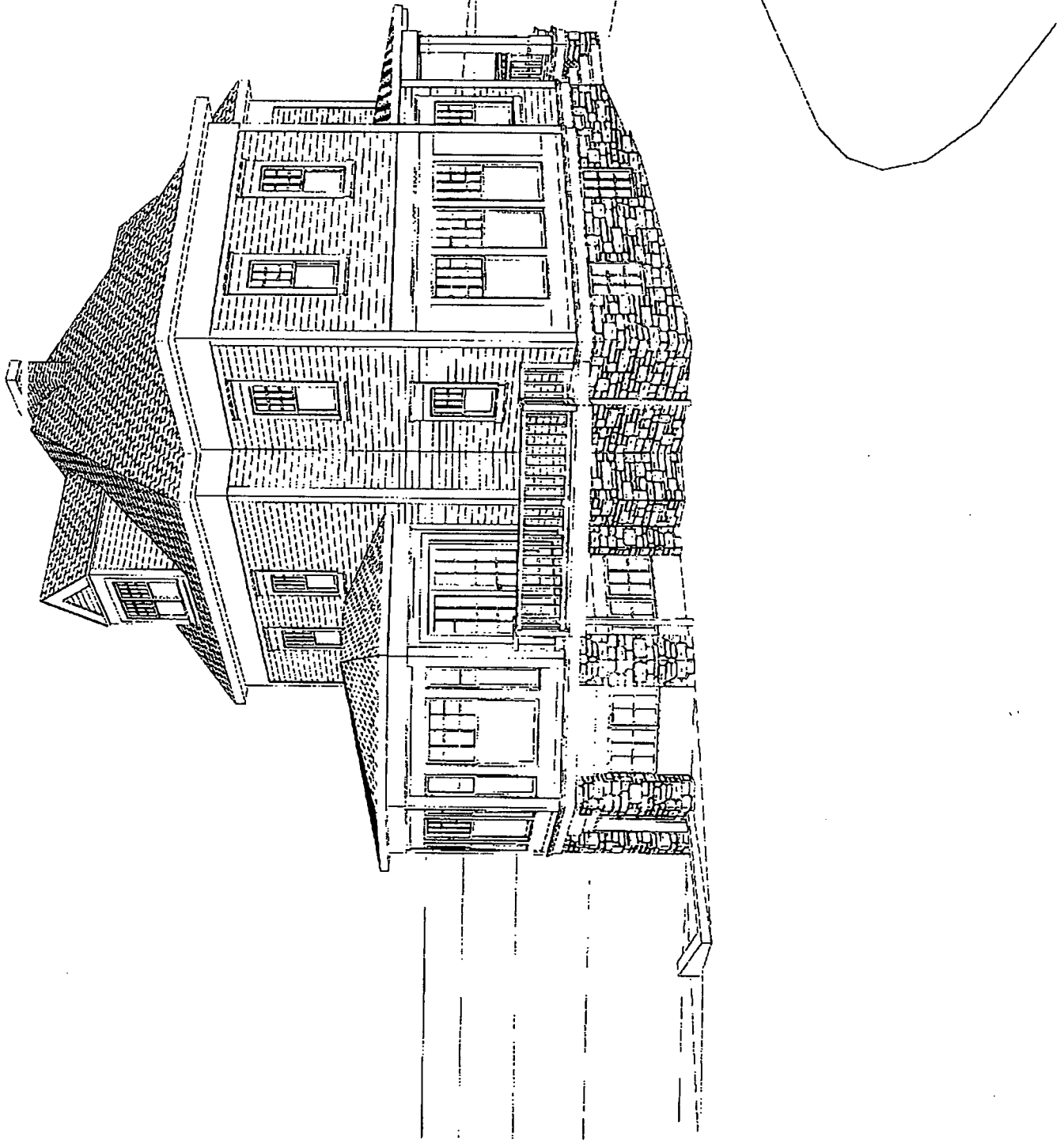
From: CARB

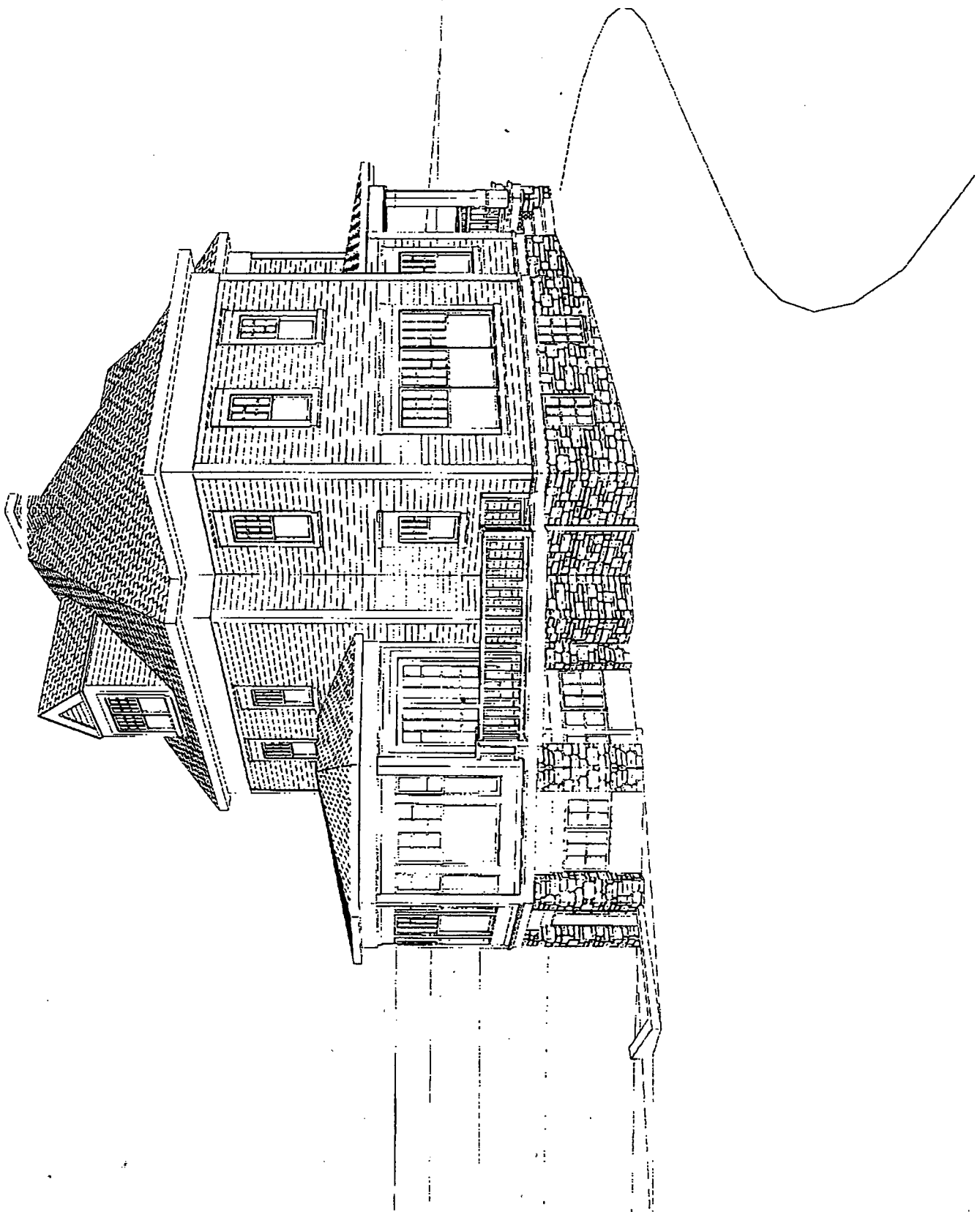
Subject: CAPITOL VIEW

3 Pages Including Cover Sheet

Message / Comments: MICHELLE, I REMOVED THE BAY AND DID TWO OPTIONS FOR THE KITCHEN WINDOWS. ONE REFLECTS THE EXISTING CONDITION THE OTHER TIES INTO THE NEW ADDITION. ARE THESE BOTH POSSIBLE?

Carl







Date: April 14, 2005

MEMORANDUM

TO: Carl Mahany, Principal  
**Macon Construction**

Cc: Thomas Manion, AIA

FROM: Michele Oaks, Senior Planner (M)  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 377591, Additions and alterations to 10245 Capitol View Avenue, Silver Spring (Capitol View Park Historic District).

---

Your Historic Area Work Permit application for additions and alterations to the house at 10245 Capitol View Avenue, Silver Spring was **approved with a condition** by the Historic Preservation Commission at its April 13, 2005 meeting. The condition of approval is:

1. The design of the side addition is modified by eliminating the boxed bay and installing flush paired or triple windows.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

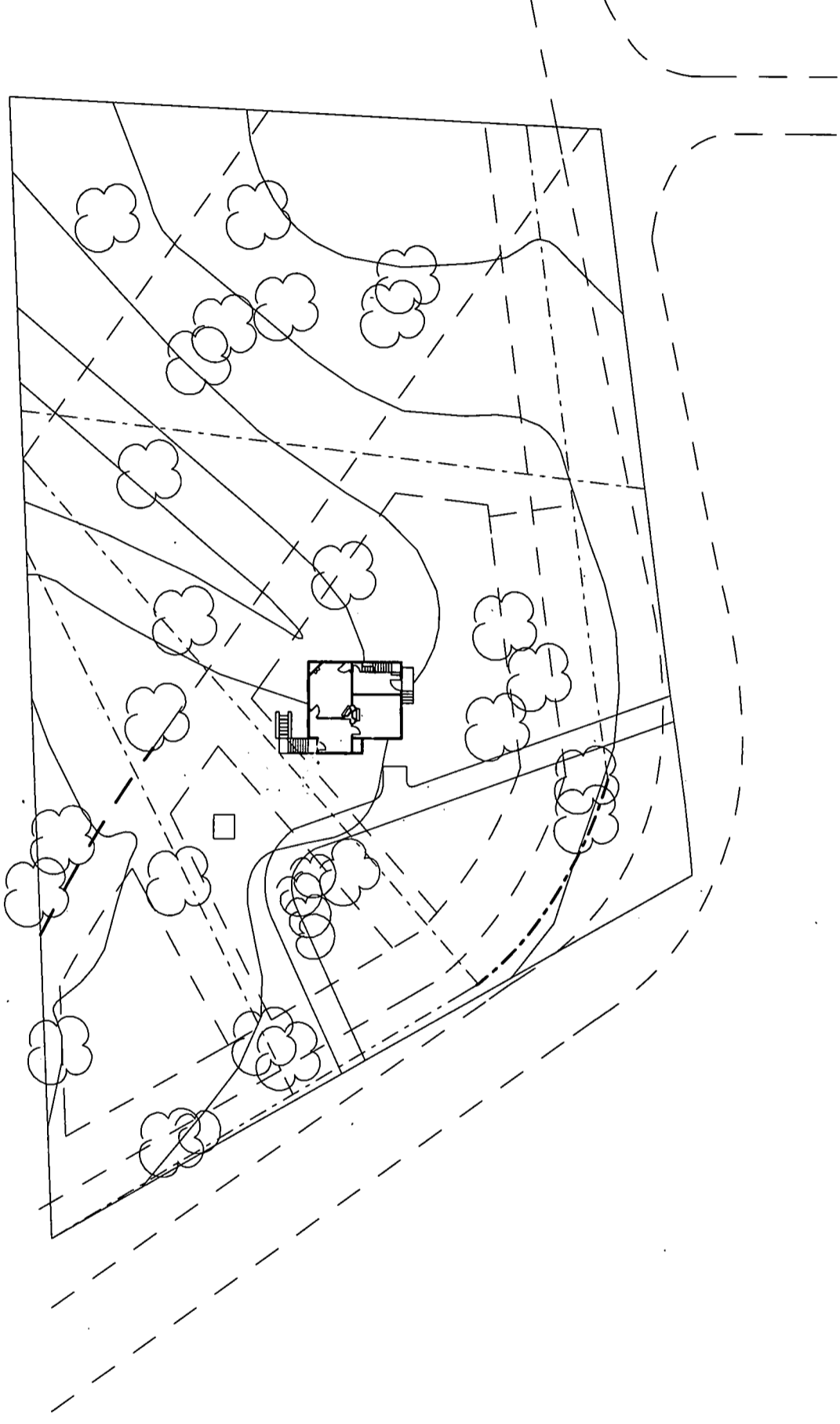
When you file for your building permit at DPS, you must take with you the HPC stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

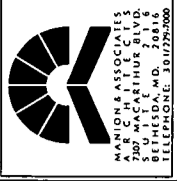
Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

# Renovation to the Capitol View Residence

10412 Montgomery Ave; Kensington, MD 20895



1 Site Plan  
1" = 30'-0"



MANNION & ASSOCIATES  
700 MACARTHUR BLVD.  
BETHESDA, MD 20814  
TELEPHONE: 301/778-9000

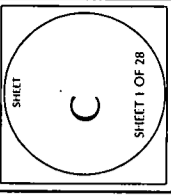
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

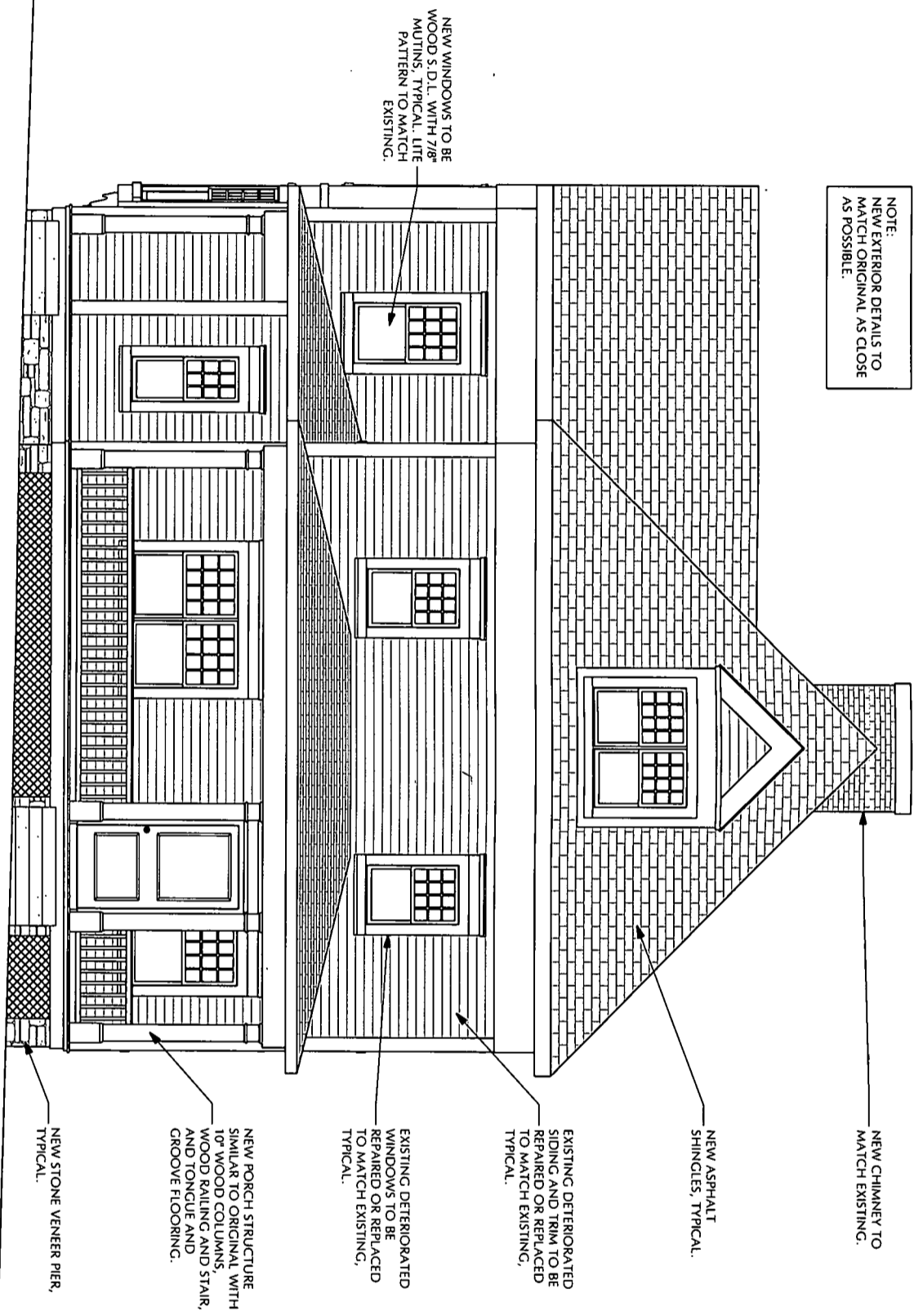
Cover Sheet

DATE:

Written dimensions on these drawings shall have precedence over all other dimensions. Contractors shall verify and be responsible for the accuracy of all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions.

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	02.10.05
REVISIONS:	
COPYRIGHT	





NOTE:  
NEW EXTERIOR DETAILS TO  
MATCH ORIGINAL AS CLOSE  
AS POSSIBLE.

1  
Front Elevation  
1/4" = 1'-0"

MANDRA ASSOCIATES  
207 MCANISH BLVD  
BETHESDA, MD 20816  
TELEPHONE: 301.278.7000

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

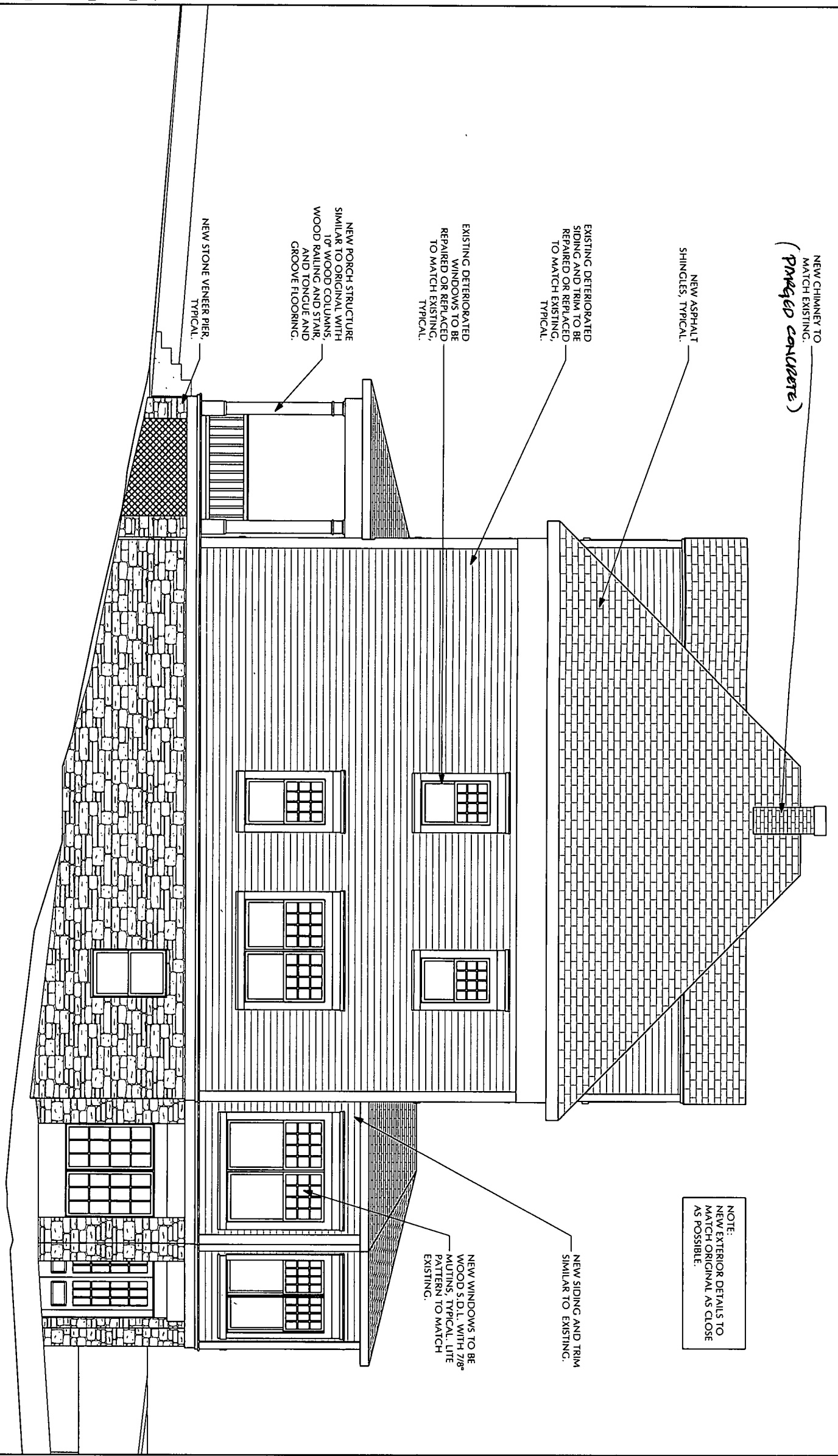
Front Elevation  
Scheme A

Written dimensions on these drawings are to be used over scale dimension. Contractor shall verify and be responsible for the accuracy of all dimensions on the job and this office must be notified of dimensions and conditions.

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	02.10.05
REVISIONS:	
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SHEET  
A-6  
SHEET 16 OF 28

1 Right Side Elevation  
1/4" = 1'-0"

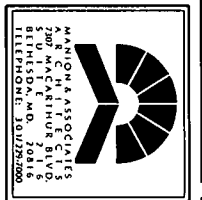


NOTE:  
NEW EXTERIOR DETAILS TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.

NEW SIDING AND TRIM SIMILAR TO EXISTING.  
NEW WINDOWS TO BE WOOD S.D.L. WITH 7/8\"/>

Right Side Elevation  
Scheme A

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895



Written dimensions on these drawings govern over scale dimensions. Contractor shall verify and be responsible for all field conditions on the job and this office must be notified of dimensions and conditions.

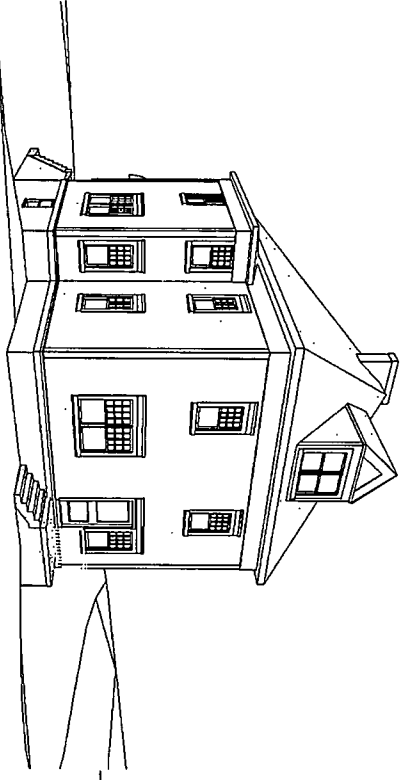
SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	02.10.05
RESPONSE:	

SHEET  
A-7  
SHEET 17 OF 28

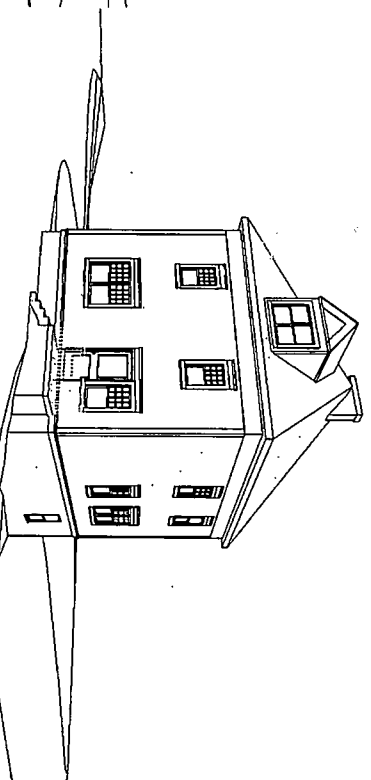


# Renovation to the Capitol View Residence Existing

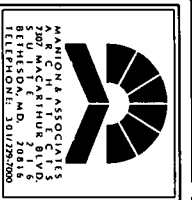
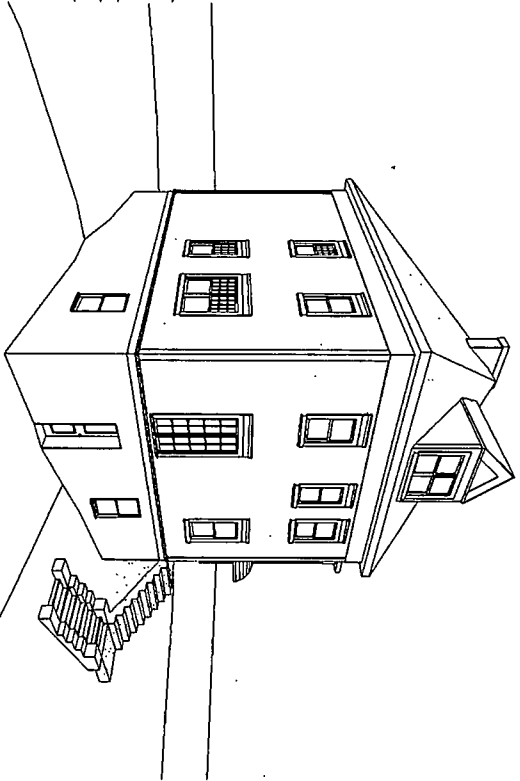
1 Front Perspective  
1:2.08



2 O-Front Perspective  
1:2.08



3 Rear Perspective  
1:2.08



MANION & ASSOCIATES  
2007 MONTGOMERY BLVD.  
BETHESDA, MD 20818  
TELEPHONE: 301/270-2000

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

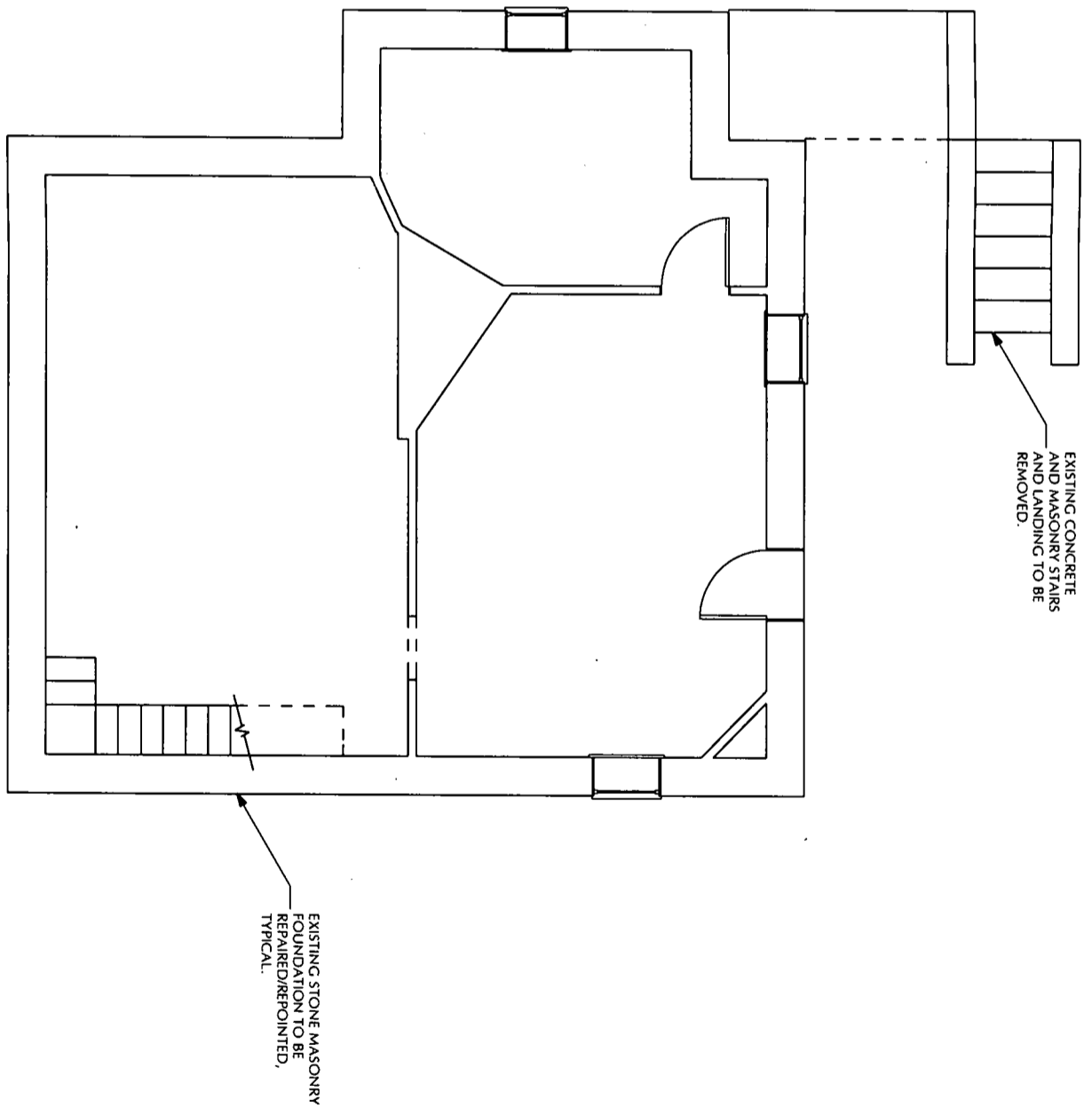
Perspectives  
Existing

When dimensions on these drawings are given in feet and inches, the contractor shall verify and be responsible for the accuracy of the dimensions on the job and the office must be notified of dimensions and conditions.

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	02.10.05
RESPONSE:	
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SHEET  
E-1  
SHEET 2 OF 28

1  
Basement Floor Plan  
1/4" = 1'-0"



Written dimensions on these drawings are to be used as the basis for construction. Contractors shall verify and be responsible for the accuracy of all dimensions on these drawings. This office must be notified of any variations from the drawings and conditions.

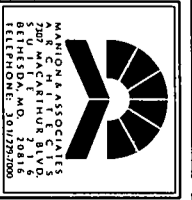
SCALE: As Noted  
 DRAWN:  
 CHECKED:  
 DATE: 02.10.05  
 REVISIONS:

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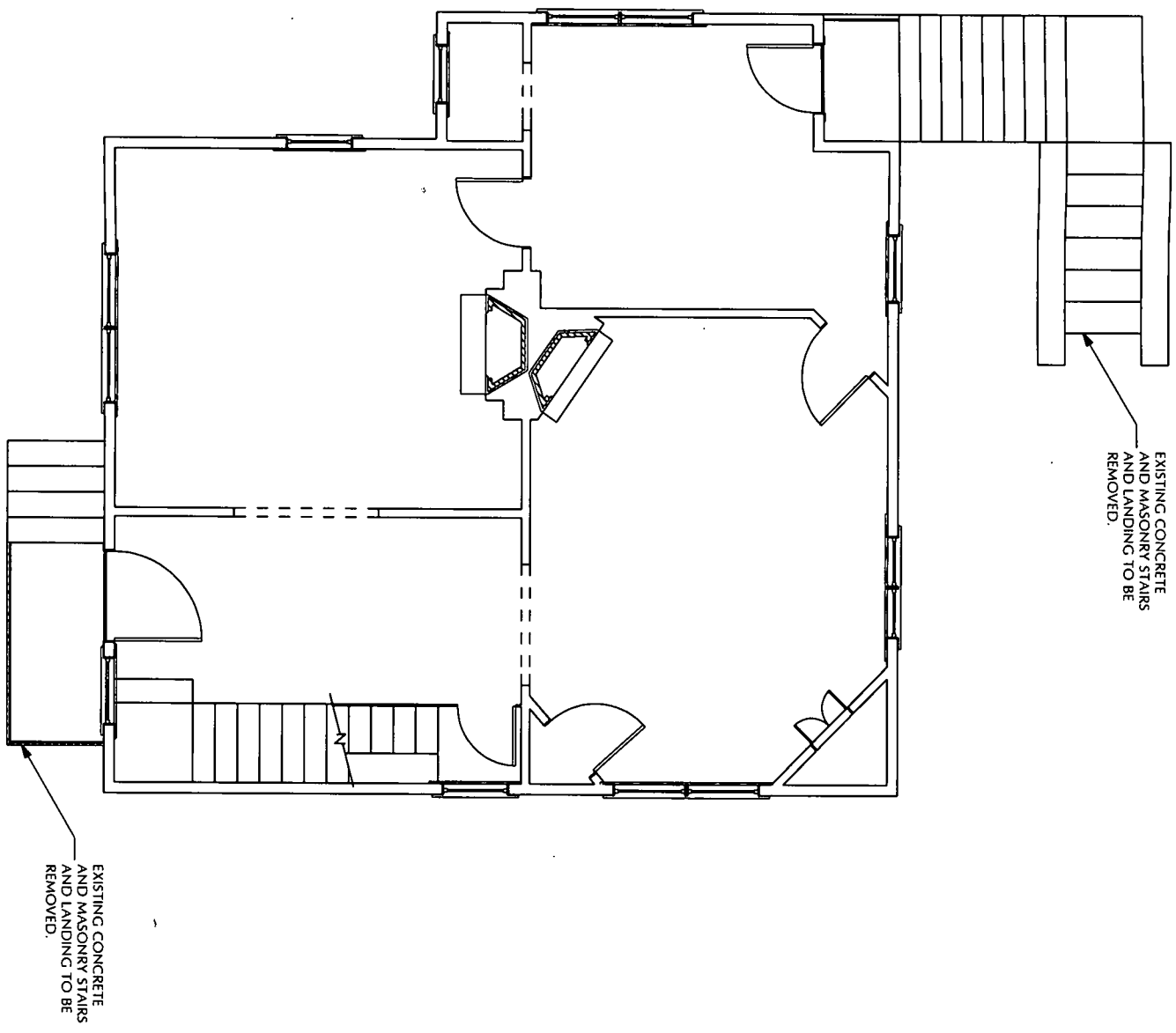
SHEET  
 E-2  
 SHEET 3 OF 28

Basement Floor Plan  
**Existing**

Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895



1  
1/4" = 1'-0"  
First Floor Plan



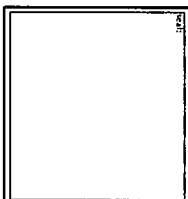
EXISTING CONCRETE AND MASONRY STAIRS AND LANDING TO BE REMOVED.

EXISTING CONCRETE AND MASONRY STAIRS AND LANDING TO BE REMOVED.

SHEET  
E-3  
SHEET 4 OF 28

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	02.10.05
REVISION:	

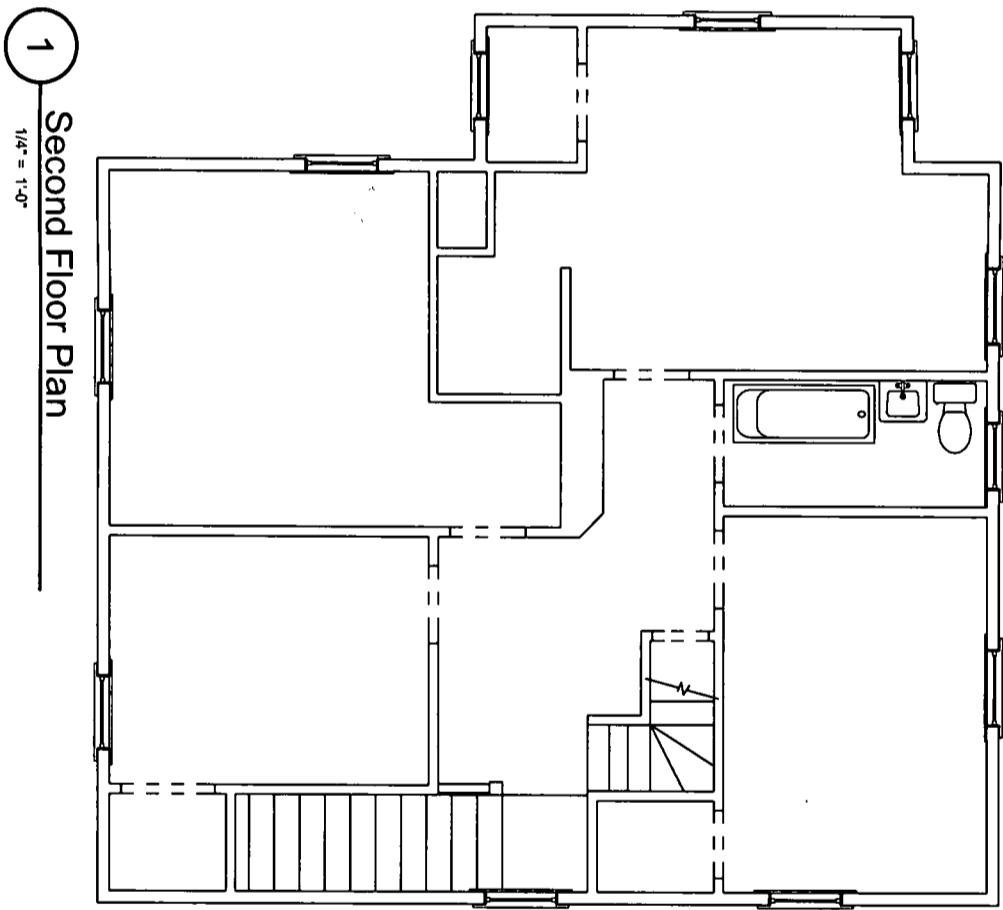
Written dimensions on these drawings shall govern over scale dimensions. Conditions shall verify and be subject to the field and conditions on the job and this office must be notified of dimensions and conditions.



First Floor Plan  
Existing

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

MANNING & ASSOCIATES  
207 MCFARLANE BLVD  
BETHESDA, MD 20816  
TELEPHONE: 301/291-2000



Within dimensions on this plan, dimensions are shown over scale dimension, unless otherwise noted. All work and conditions on the job and in office must be noted of dimensions and conditions.

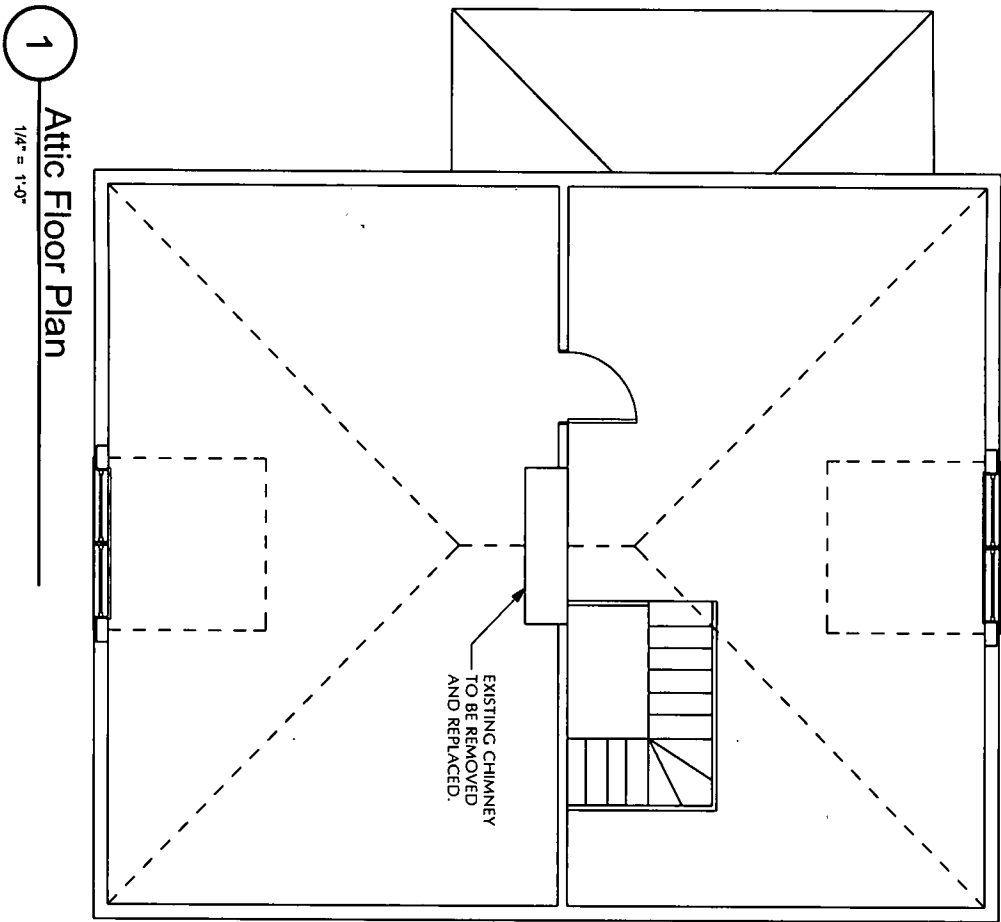
SCALE:	As Noted
DATE:	02.10.05
PROJECT:	
REVISIONS:	

Second Floor Plan  
**Existing**

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

MANNING ASSOCIATES  
2007 MANNING BLVD  
BETHESDA, MD 20818  
TELEPHONE: 301.271.7000

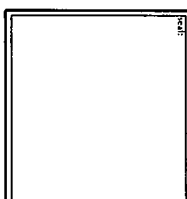
SHEET  
**E-4**  
SHEET 5 OF 28



SHEET  
E-5  
SHEET 6 OF 29

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	02.10.05
REVISIONS:	

Within dimensions on these drawings, the contractor shall be responsible for determining the existing conditions of the site and the office must be notified of any discrepancies and conditions.

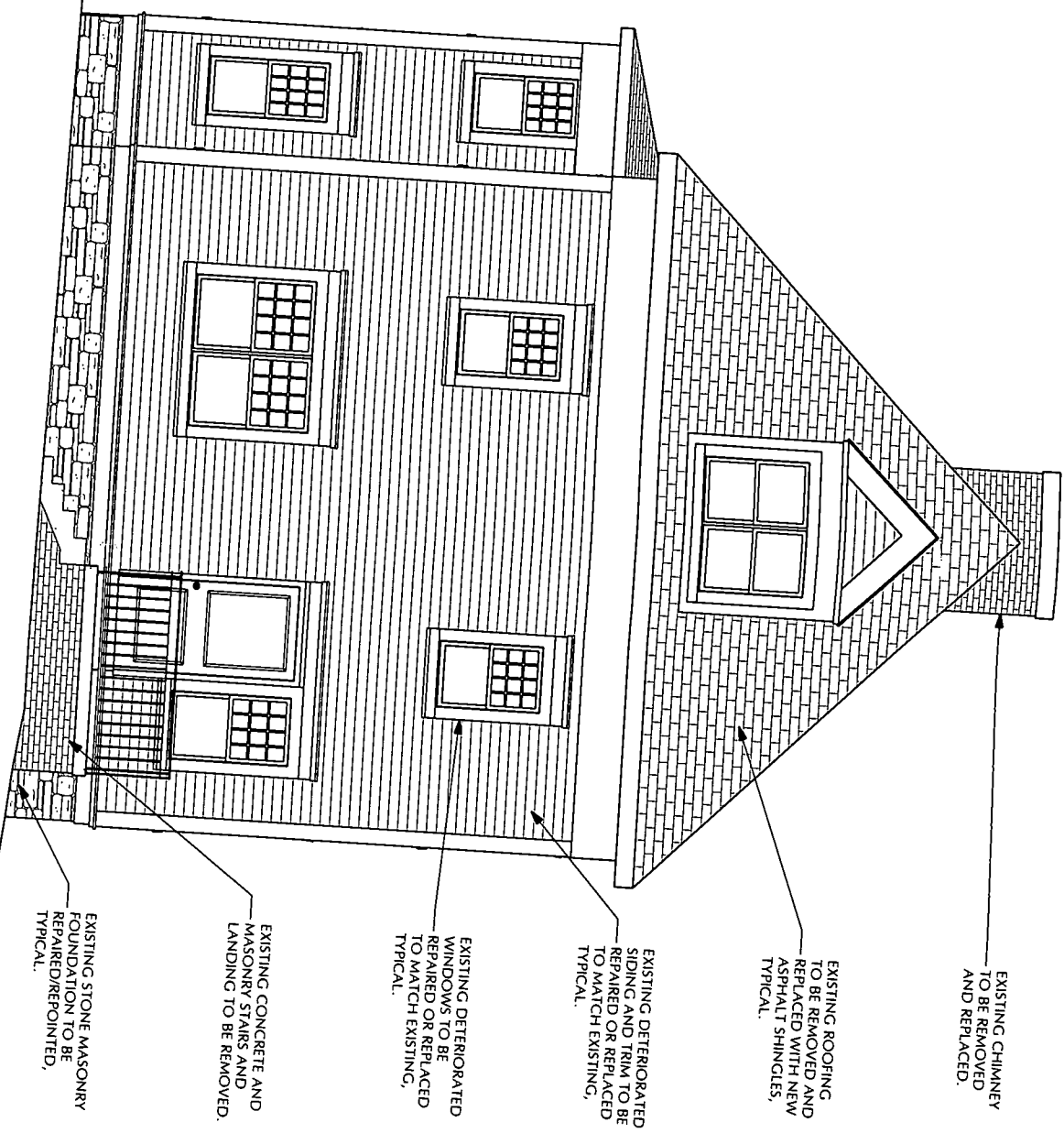


Attic Floor Plan  
**Existing**

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

M.A. ASSOCIATES, INC.  
2007 MACARTHUR BLVD.  
BETHESDA, MD 20816  
TELEPHONE: 301/279-2000

1 Front Elevation  
1/4" = 1'-0"



EXISTING CHIMNEY TO BE REMOVED AND REPLACED.

EXISTING ROOFING TO BE REMOVED AND REPLACED WITH NEW ASPHALT SHINGLES, TYPICAL.

EXISTING DETERIORATED SIDING AND TRIM TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING DETERIORATED WINDOWS TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING CONCRETE AND MASONRY STAIRS AND LANDING TO BE REMOVED.

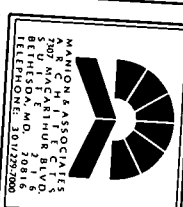
EXISTING STONE MASONRY FOUNDATION TO BE REPAIRED/REPOINTED, TYPICAL.

Notes: Dimensions on these drawings are given in feet and inches. All work shall conform to the specifications and conditions on the job and any variations shall be noted on the drawings and conditions.

SCALE:	As Noted
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CHECKED:	
DATE:	02.10.05
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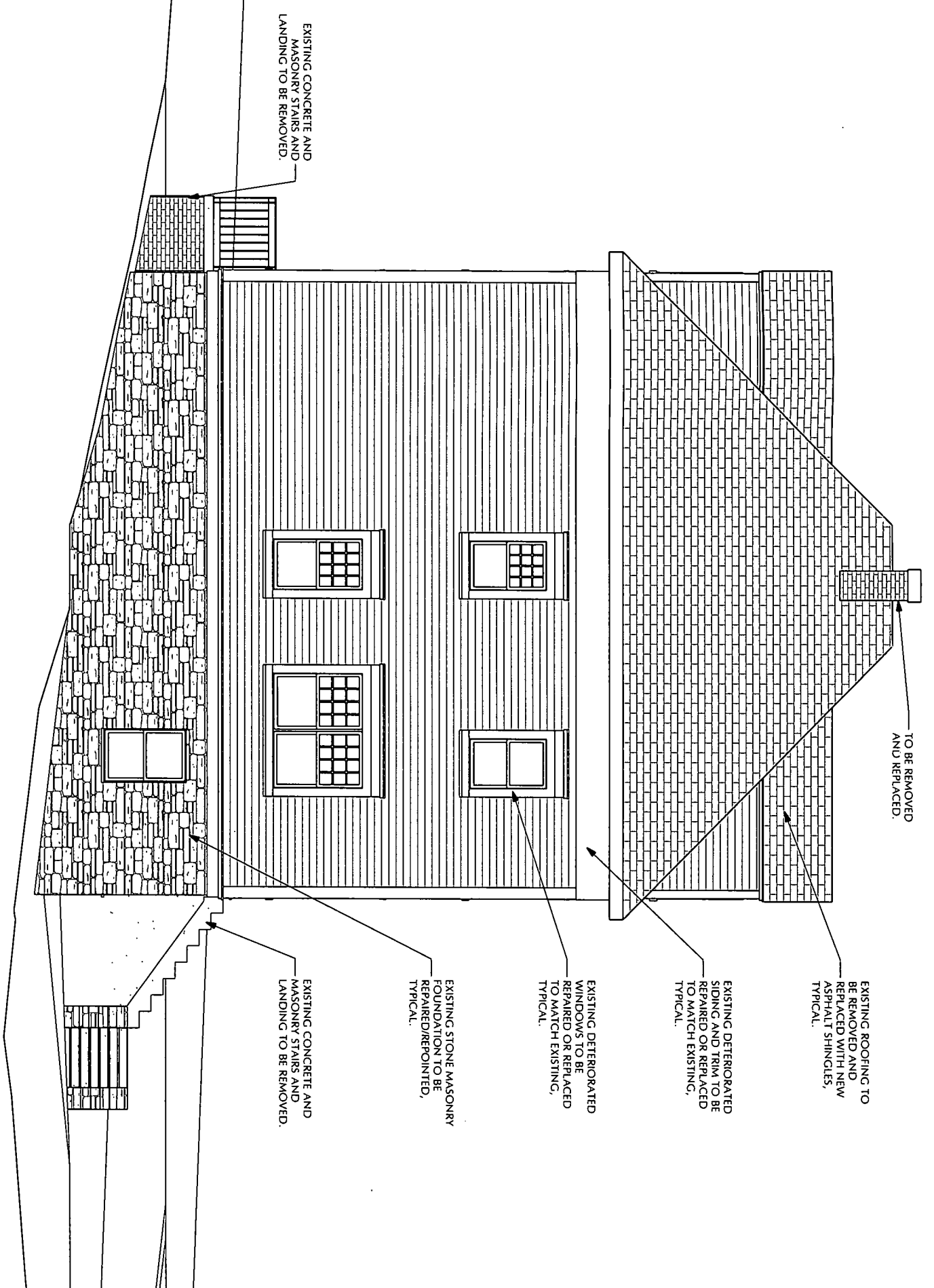
Front Elevation  
Existing

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895



SHEET  
E-6  
SHEET 7 OF 28

1 Right Side Elevation  
1/4" = 1'-0"



SHEET  
E-7  
SHEET 8 OF 28

SCALE:	AS NOTED
DRAWN:	
CHECKED:	
DATE:	02.10.05
REVISIONS:	

Written dimensions on these drawings govern over scale dimensions. Contractor shall verify and be responsible for all field conditions on the job and any variations from conditions shown on these drawings shall be notified in writing to the architect.

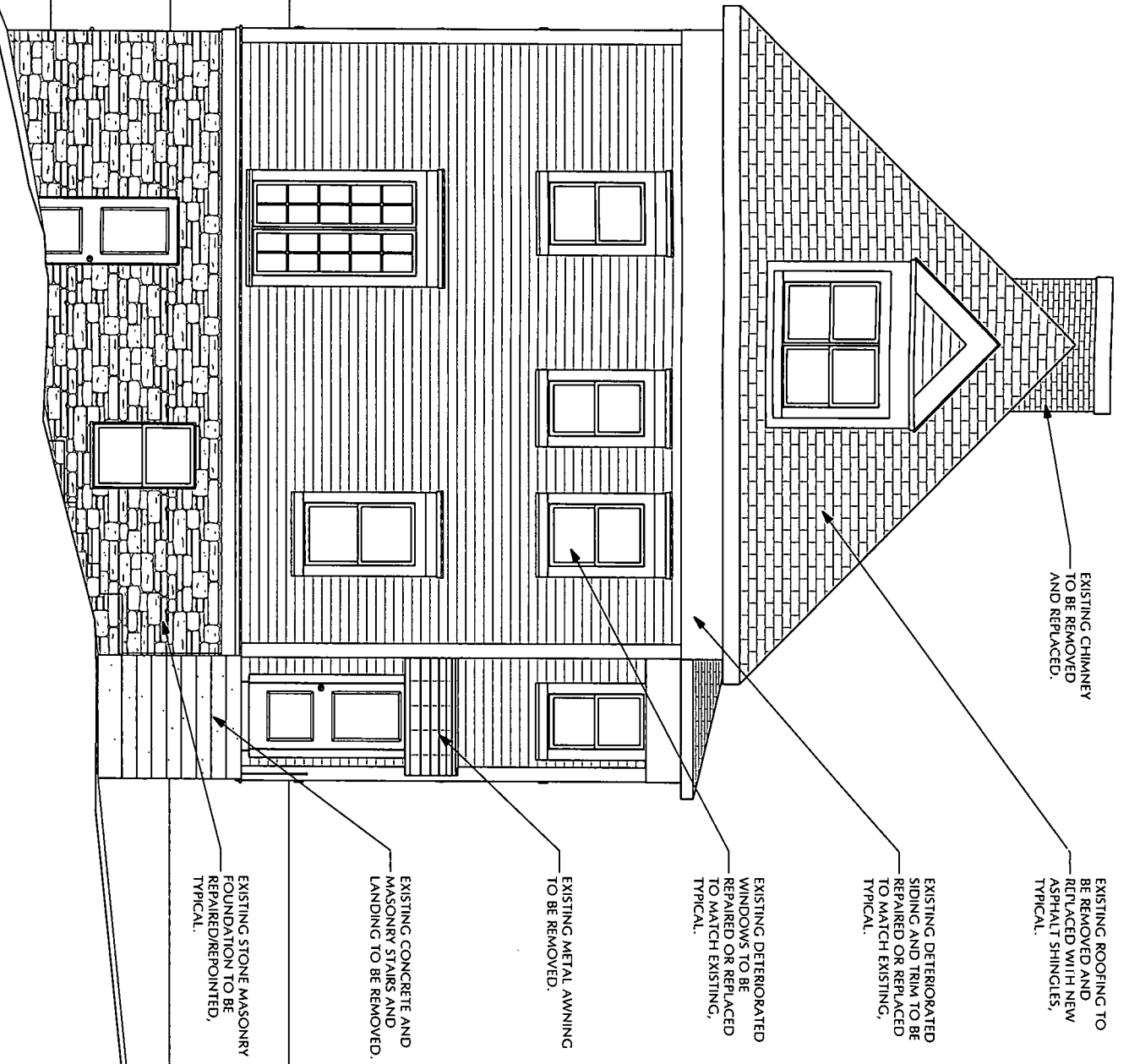
SCALE:  
AS NOTED

Right Side Elevation  
**Existing**

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

MONTGOMERY ASSOCIATES  
2ND MONTGOMERY BLVD.  
BETHESDA, MD 20814  
TELEPHONE: 301.279.2000

1  
Rear Elevation  
1/4" = 1'-0"



EXISTING CHIMNEY  
TO BE REMOVED  
AND REPLACED.

EXISTING ROOFING TO  
BE REMOVED AND  
REPLACED WITH NEW  
ASPHALT SHINGLES,  
TYPICAL.

EXISTING DETERIORATED  
SIDING AND TRIM TO BE  
REPAIRED OR REPLACED  
TO MATCH EXISTING,  
TYPICAL.

EXISTING DETERIORATED  
WINDOWS TO BE  
REPAIRED OR REPLACED  
TO MATCH EXISTING,  
TYPICAL.

EXISTING METAL AWNING  
TO BE REMOVED.

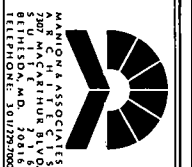
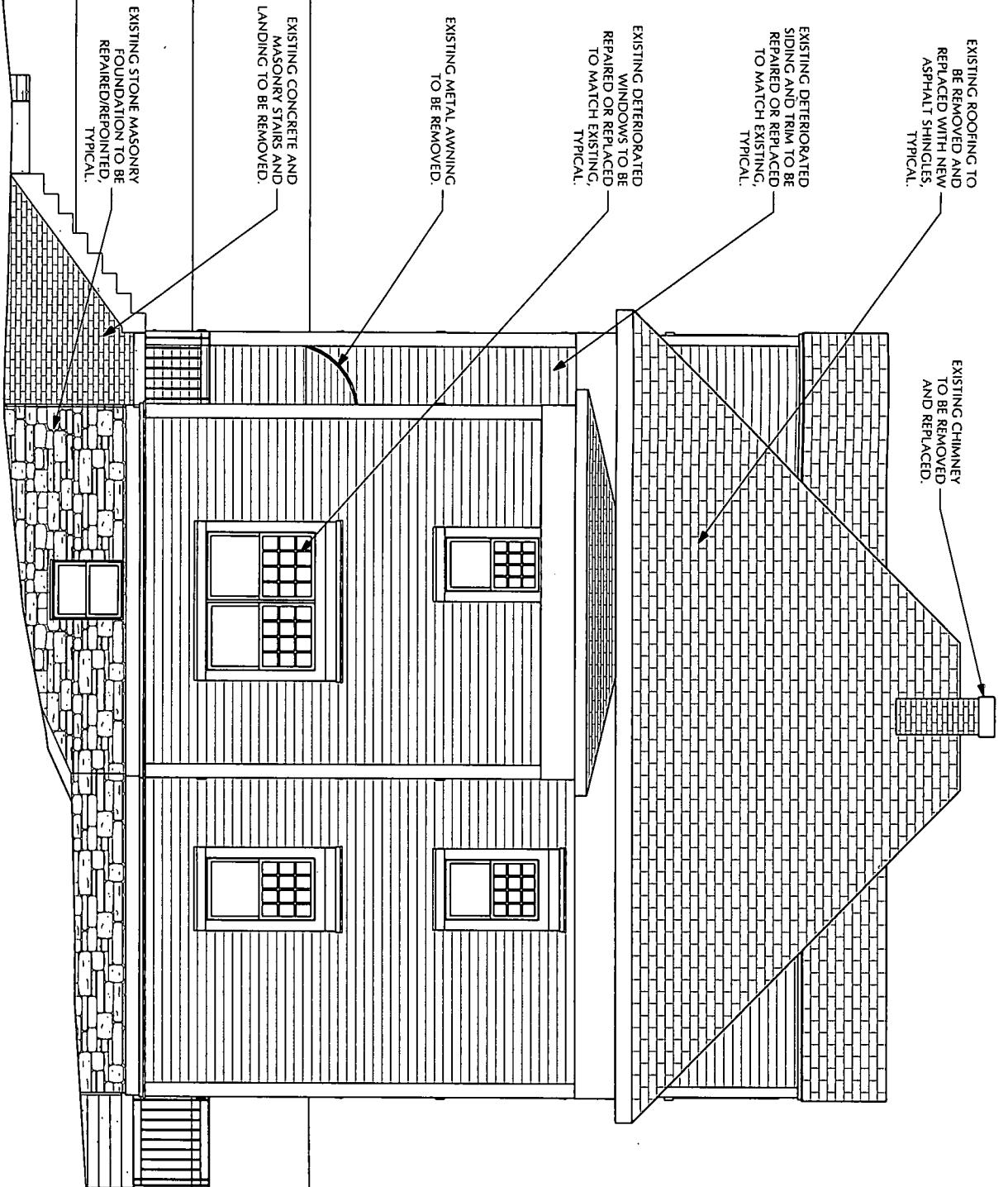
EXISTING CONCRETE AND  
MASONRY STAIRS AND  
LANDING TO BE REMOVED.

EXISTING STONE MASONRY  
FOUNDATION TO BE  
REPAIRED/REPOINTED,  
TYPICAL.

<p>MANIQA ASSOCIATES 207 MACARTHUR BLVD. BETHESDA, MD. 20816 TELEPHONE: 301.271.2000</p>	<p>Rear Elevation <b>Existing</b></p>	<p>Capitol View Residence 10412 Montgomery Ave Kensington, MD 20895</p>
	<p>SCALE: As Noted</p> <p>DATE: 02.10.05</p> <p>PROJECT: [REDACTED]</p> <p>CLIENT: [REDACTED]</p> <p>ARCHITECT: [REDACTED]</p>	<p>Within dimensions on this drawing, the contractor shall verify and be responsible for all conditions on the job and dimensions and conditions.</p>



1 Left Side Elevation  
1/4" = 1'-0"



M.A.M.A. ASSOCIATES  
207 MACARTHUR BLVD.  
BETHESDA, MD. 20818  
TELEPHONE: 301/271-7000

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Left Side Elevation  
**Existing**

When dimensions on these drawings are given, they are given in feet and inches. Dimensions shall be given in feet and inches unless otherwise noted. Dimensions shall be given in feet and inches unless otherwise noted. Dimensions shall be given in feet and inches unless otherwise noted.

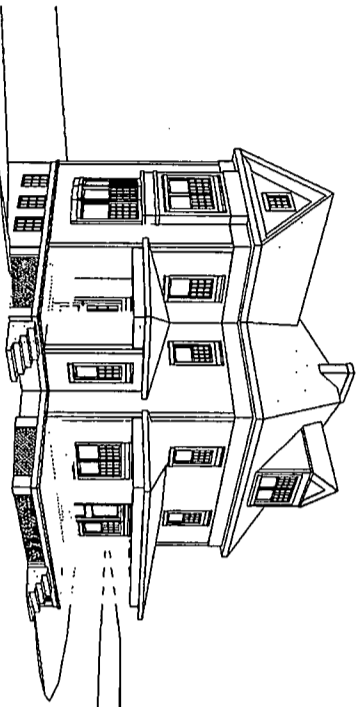
SCALE:	As Noted
DATE:	02.10.05
PROJECT:	
CLIENT:	
ARCHITECT:	
DATE:	02.10.05
REVISIONS:	

SHEET  
**E-9**  
SHEET 10 OF 28

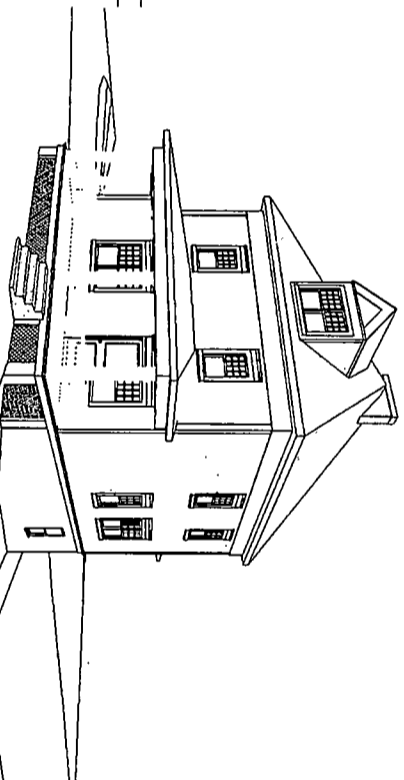
# Renovation to the Capitol View Residence

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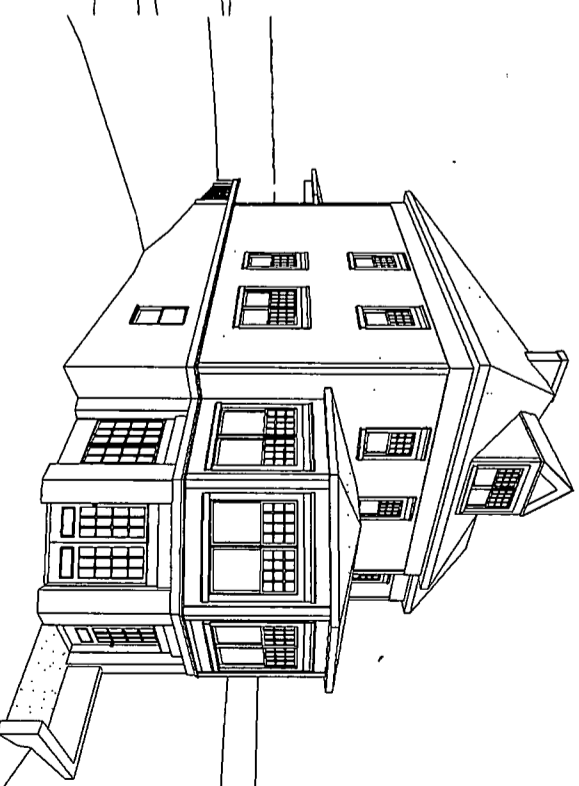
## Scheme A



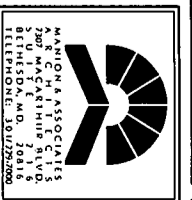
1 Front Perspective  
1:2.08



2 O-Front Perspective  
1:2.08



3 Rear Perspective  
1:2.08



MARIQUA ASSOCIATES, INC.  
207 W. MONTGOMERY BLVD.  
BETHESDA, MD 20818  
TELEPHONE: 301/221-2000

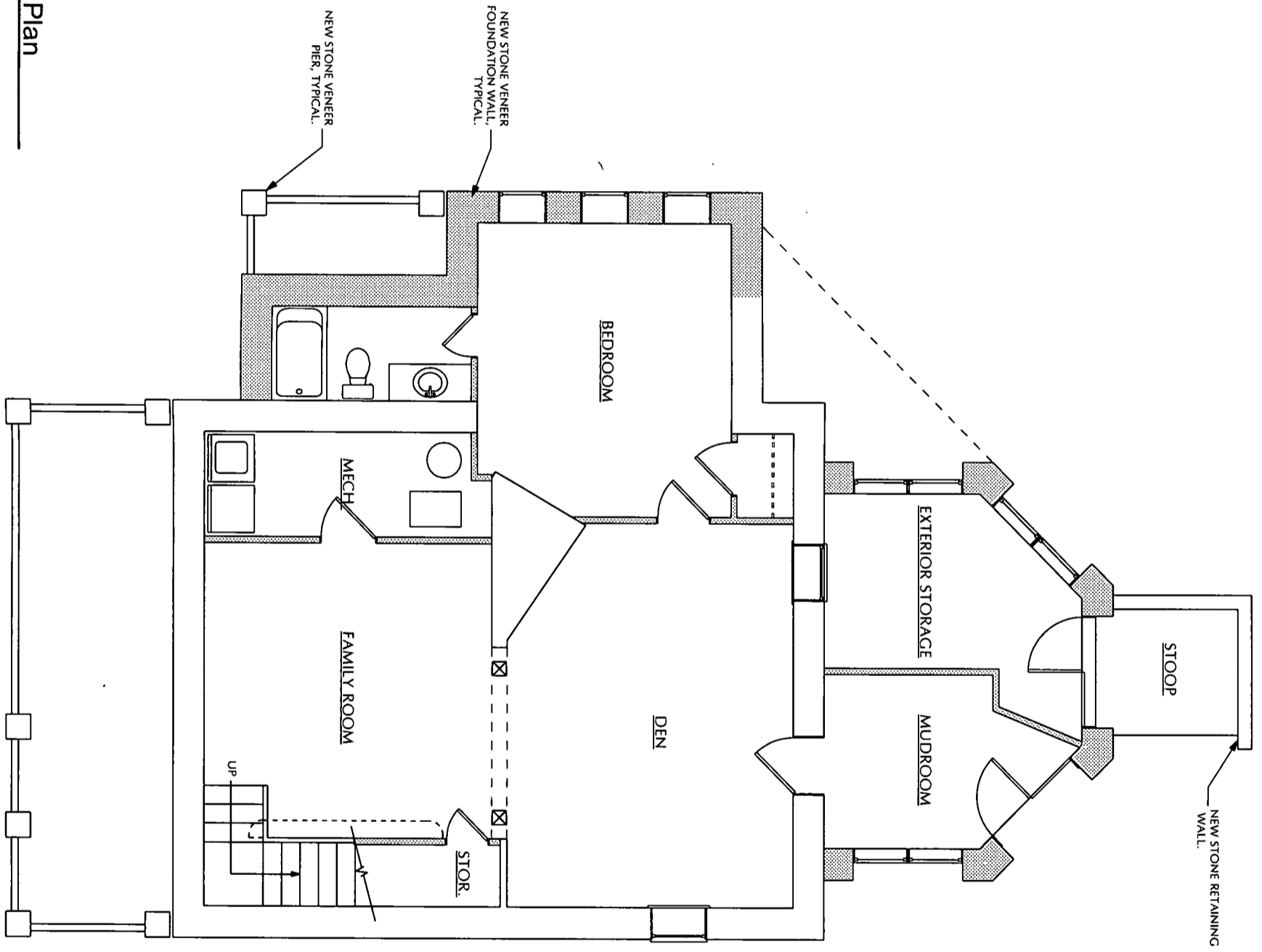
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Perspectives  
Scheme A

Within dimensions on these drawings, all dimensions are in feet and inches. Contractor shall verify and be responsible for all dimensions on the job and this office must be notified of dimensions and conditions.

SCALE: As Noted  
DRAWN:  
CHECKED:  
DATE: 02.10.05  
REVISIONS:

SHEET  
A-1  
SHEET 11 OF 28



1 Basement Floor Plan  
1/4" = 1'-0"

SHEET  
A-2  
SHEET 12 OF 28

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	02.10.05
REVISIONS:	

Unless otherwise noted, all dimensions are in feet and inches. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to be taken from the finished floor and ceiling unless otherwise noted. All dimensions are to be taken from the finished floor and ceiling unless otherwise noted.

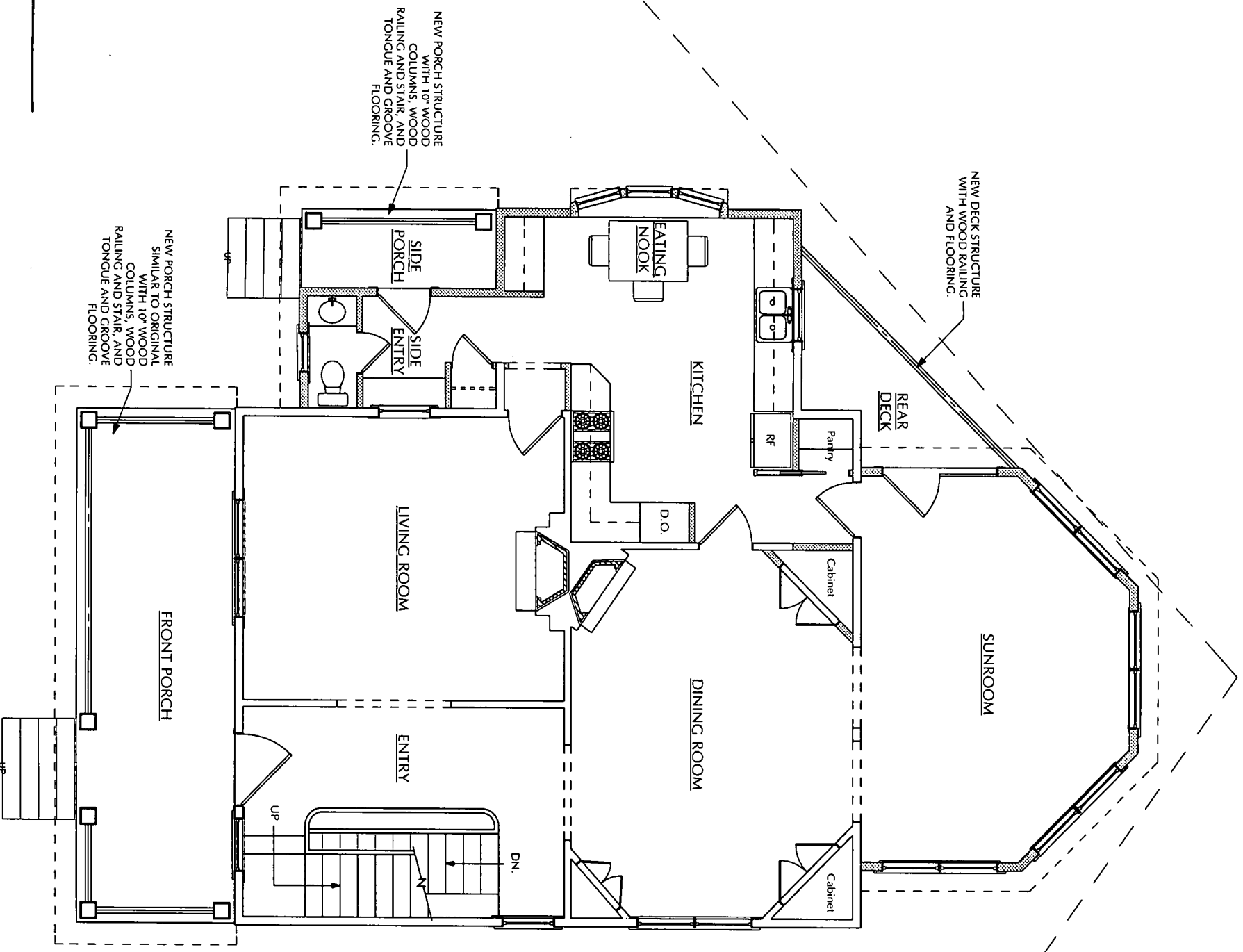
DATE	
SCALE	
DRAWN	
CHECKED	
DATE	
REVISIONS	

Basement Floor Plan  
Scheme A

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

MARION ASSOCIATES, INC.  
3207 MCFARLAND BLVD  
BETHESDA, MD 20816  
TELEPHONE: 301.221.2000

1 First Floor Plan  
1/4" = 1'-0"



SHEET  
A-3  
SHEET 13 OF 28

SCALE:	AS NOTED
DRAWN:	
CHECKED:	
DATE:	02.10.05
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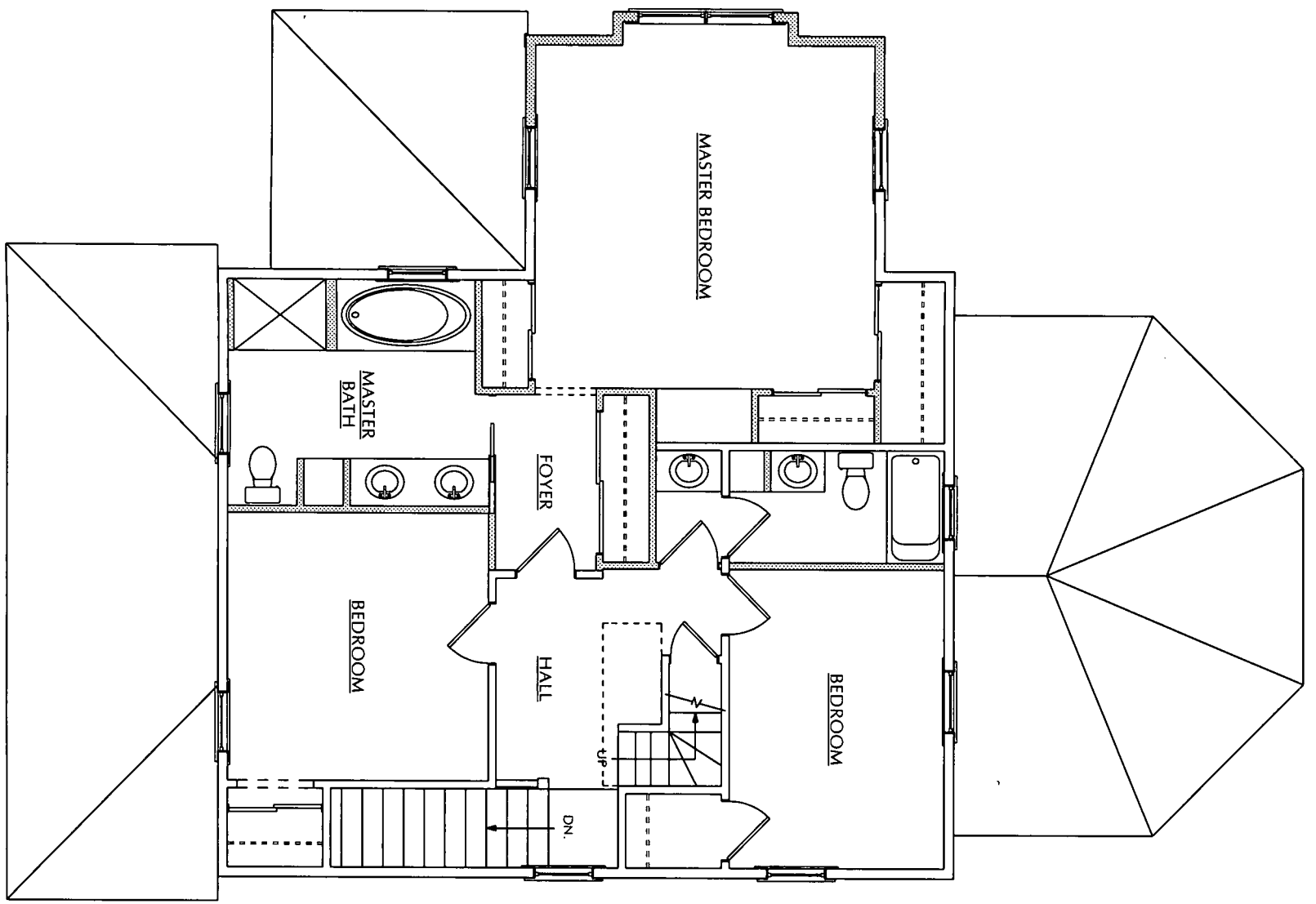
Written dimensions on these drawings shall prevail over scale dimensions. Contractor shall verify and be responsible for all field conditions on the job and this office must be notified of any variations from the drawings and conditions.

First Floor Plan  
Scheme A

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

MANIQA ASSOCIATES  
207 MONTGOMERY BLVD.  
BETHESDA, MD 20814  
TELEPHONE: 301/278-2000

1 Second Floor Plan  
1/4" = 1'-0"



SHEET  
A-4  
SHEET 14 OF 28

SCALE: As Noted  
DRAWN:  
CHECKED:  
DATE: 02.10.05  
REVISIONS:

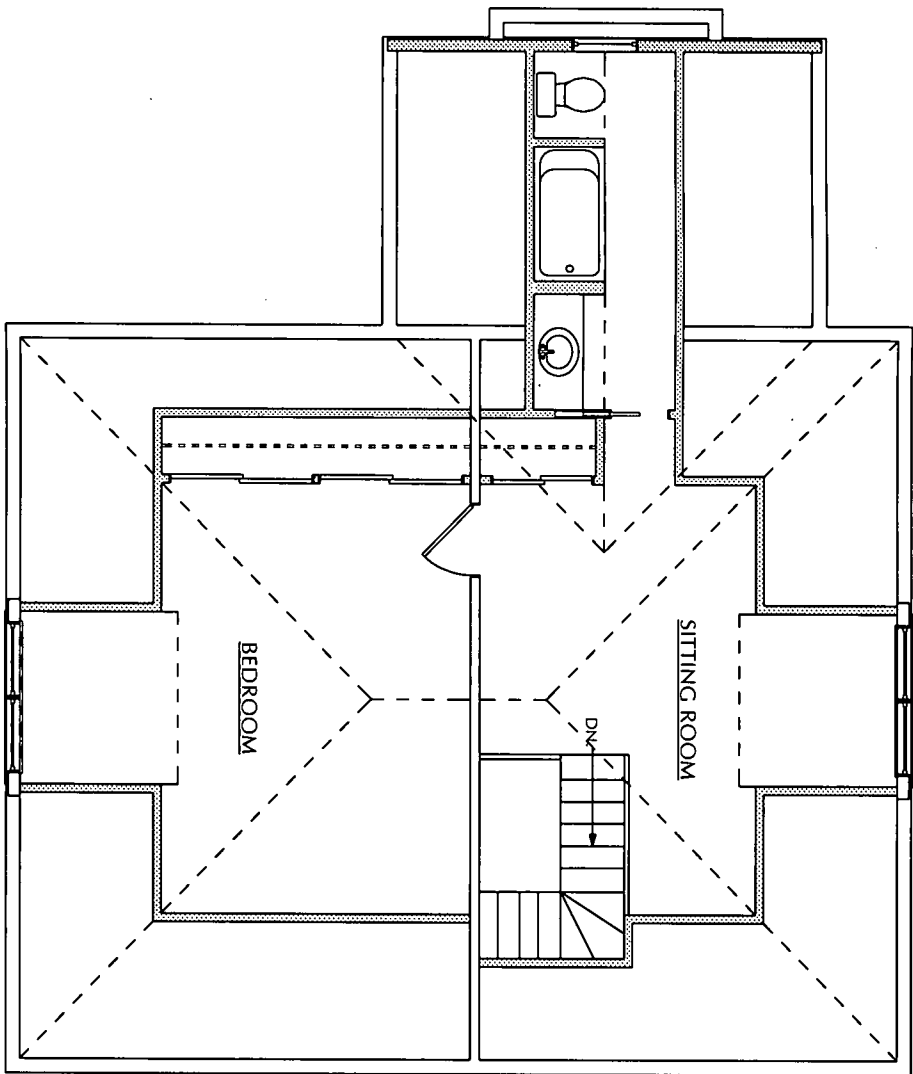
Within dimensions on these drawings, all dimensions are shown over scale dimensions, and the contractor shall verify and be responsible for the accuracy of all dimensions on the job and this office must be notified of dimensions and conditions.

DATE:

Second Floor Plan  
Scheme A

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

MANION & ASSOCIATES  
207 W. CALVERT BLVD.  
BETHESDA, MD. 20818  
TELEPHONE: 301/278-7000



1 Attic Floor Plan  
1/4" = 1'-0"

SHEET  
A-5  
SHEET 15 OF 28

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	02.10.05
BY:	
REVISIONS:	

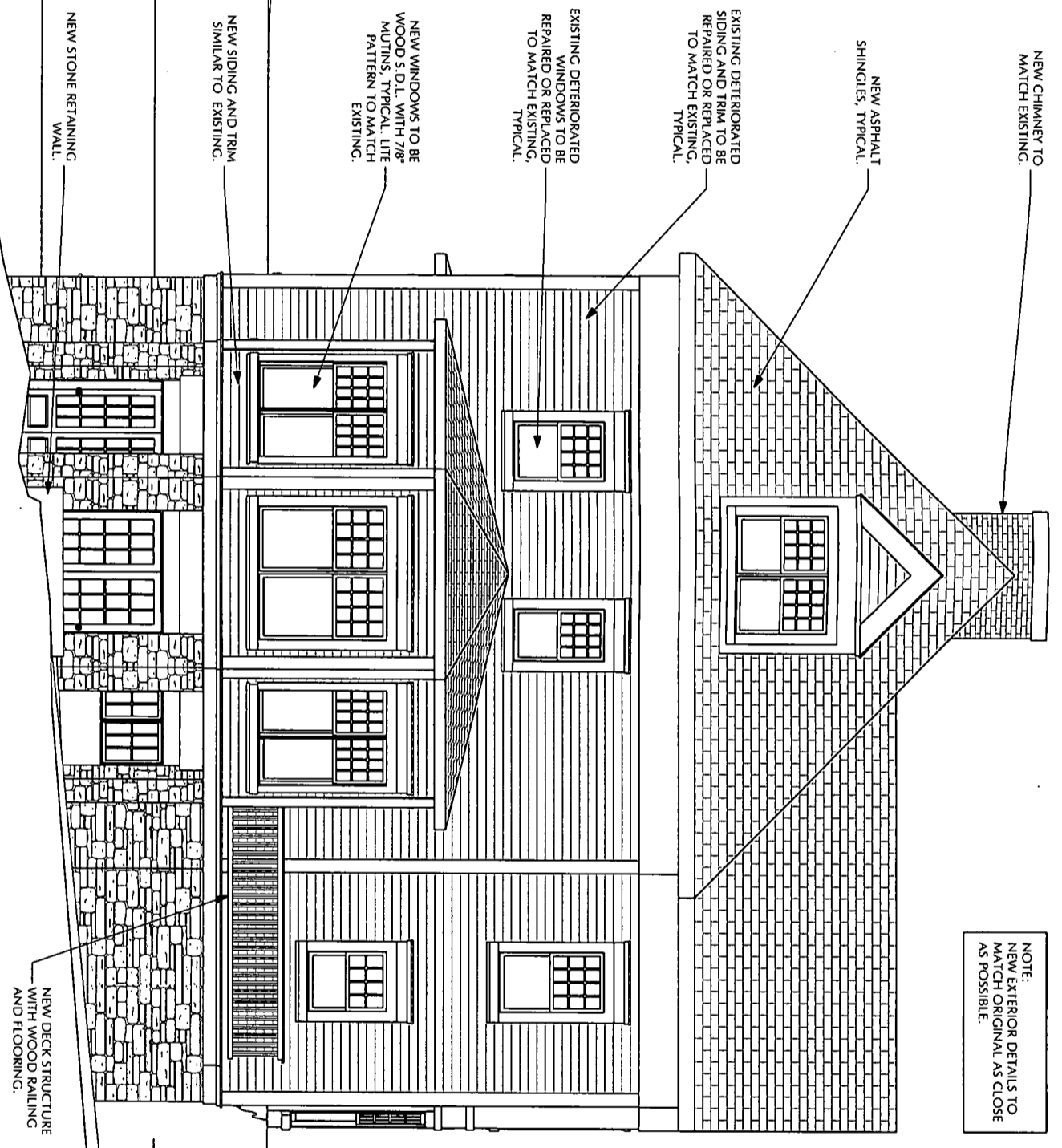
When dimensions on these drawings are in conflict, the dimensions shown on the drawings shall prevail. The contractor shall verify the conditions on the job and dimensions and conditions.

Scale:

Attic Floor Plan  
Scheme A

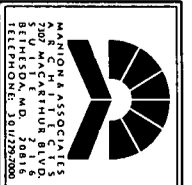
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

MANNING ASSOCIATES  
2007 MCGRAW HILL BLVD  
BETHESDA, MD 20814  
TELEPHONE: 301/270-7000



NOTE:  
NEW EXTERIOR DETAILS TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.

1 Rear Elevation  
1/4" = 1'-0"



MANNING ASSOCIATES  
200 MACARTHUR BLVD  
BETHESDA, MD 20816  
TELEPHONE 301/279-9000

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

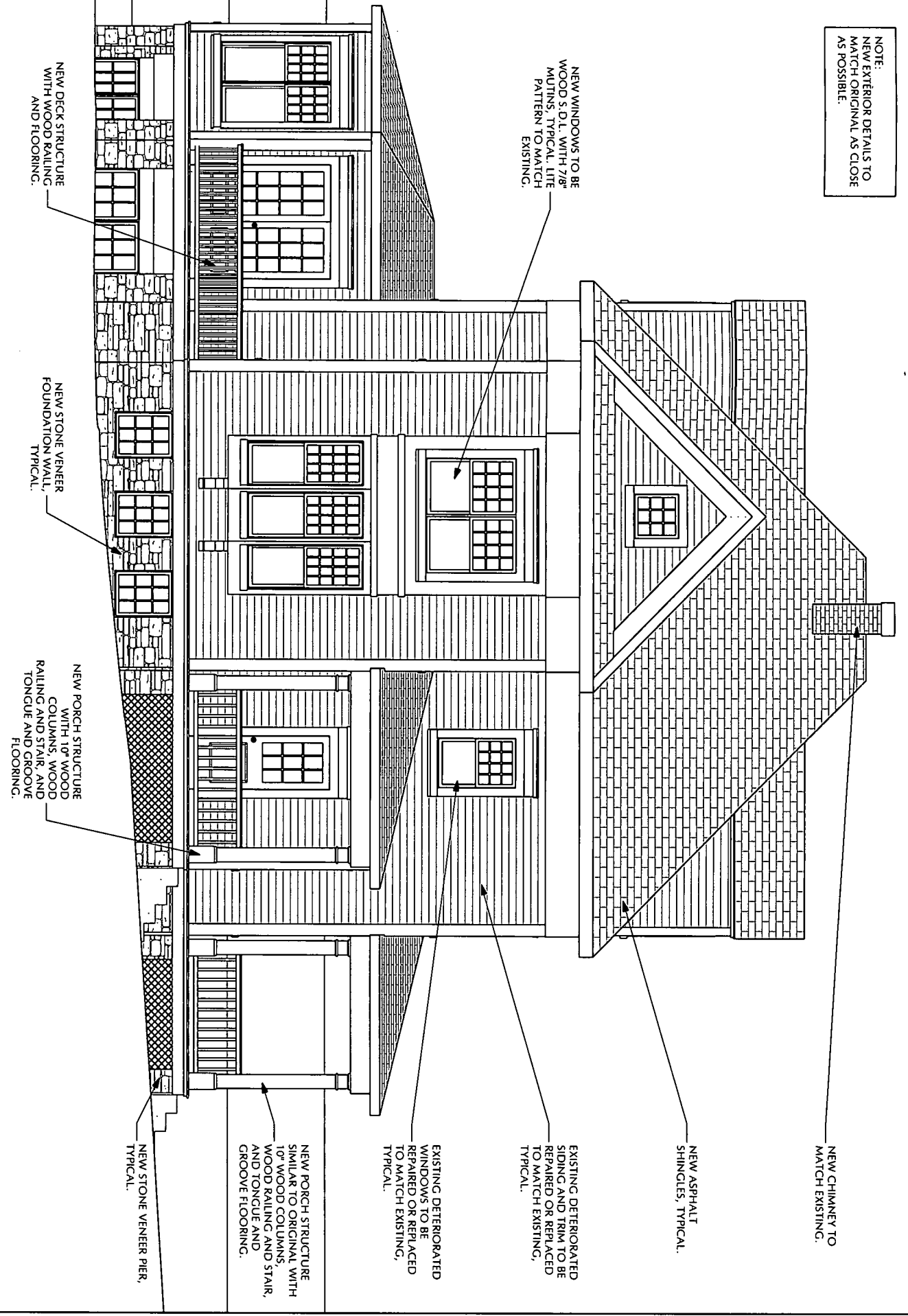
Rear Elevation  
Scheme A

Without dimensions on these drawings shall have precedence over scale dimension, and be responsible for all dimensions and conditions on the job and any variations from the dimensions and conditions.

SCALE:	As Noted
DESIGN:	
CHECKED:	
DATE:	02.10.05
EXEMPT:	

SHEET  
A-8  
SHEET 18 OF 28

1 Left Side Elevation  
1/4" = 1'-0"



NOTE:  
NEW EXTERIOR DETAILS TO  
MATCH ORIGINAL AS CLOSE  
AS POSSIBLE.

NEW CHIMNEY TO  
MATCH EXISTING.

NEW ASPHALT  
SHINGLES, TYPICAL.

EXISTING DETERIORATED  
SIDING AND TRIM TO BE  
REPAIRED OR REPLACED  
TO MATCH EXISTING,  
TYPICAL.

EXISTING DETERIORATED  
WINDOWS TO BE  
REPAIRED OR REPLACED  
TO MATCH EXISTING,  
TYPICAL.

NEW PORCH STRUCTURE  
SIMILAR TO ORIGINAL WITH  
10" WOOD COLUMNS,  
WOOD RAILING AND STAIR,  
AND TONGUE AND  
GROOVE FLOORING.

NEW STONE VENEER PIER,  
TYPICAL.

NEW PORCH STRUCTURE  
WITH 10" WOOD  
COLUMNS, WOOD  
RAILING AND STAIR, AND  
TONGUE AND GROOVE  
FLOORING.

NEW STONE VENEER  
FOUNDATION WALL,  
TYPICAL.

NEW DECK STRUCTURE  
WITH WOOD RAILING  
AND FLOORING.

Written dimensions on these  
drawings are to be used as the  
basis for construction unless  
otherwise indicated. Construction  
shall conform to the applicable  
code and conditions on the job and  
this office must be notified of  
any changes in dimensions and conditions.

Left Side Elevation  
**Scheme A**

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

MANN & ASSOCIATES  
207 MCARTHUR BLVD.  
BETHESDA, MD 20818  
TELEPHONE: 301/291-3000

SHEET  
**A-9**  
SHEET 19 OF 28

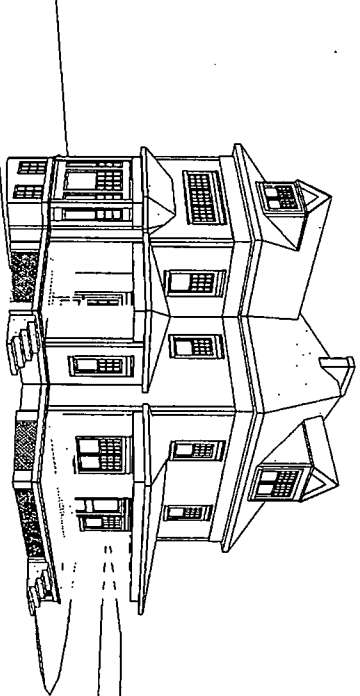
SCALE:	AS NOTED
DRAWN:	
CHECKED:	
DATE:	02.10.05
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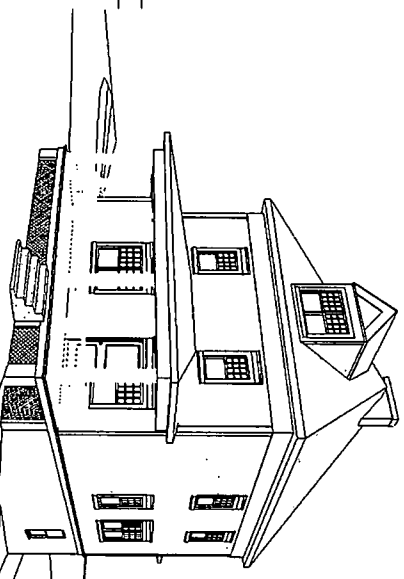
# Renovation to the Capitol View Residence

---

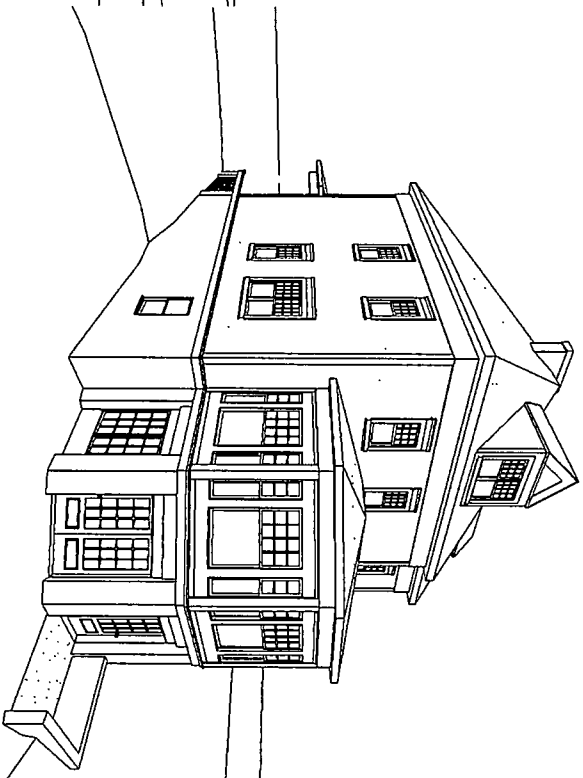
## Scheme B



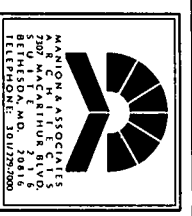
1 Front Perspective  
1:2.08



2 O-Front Perspective  
1:2.08



3 Rear Perspective  
1:2.08



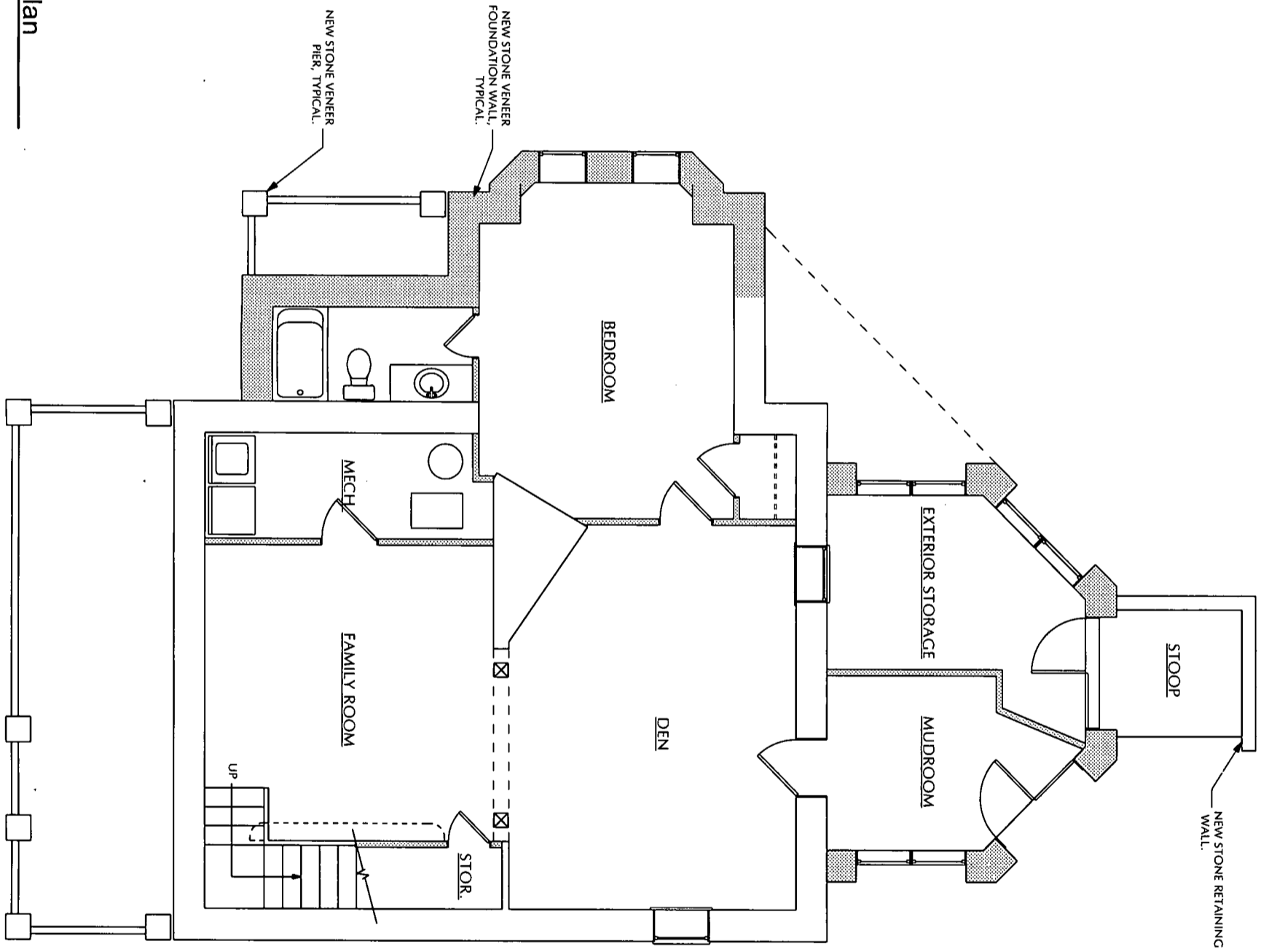
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Perspectives  
Scheme B

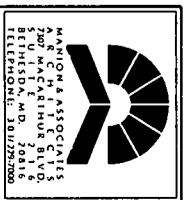
Although dimensions on these drawings shall have precedence over scale drawings, construction shall verify and be responsible for the accuracy and conditions on the job and the office must be notified of dimensions and conditions.

SCALE:	As Noted
DESIGNER:	
CHECKER:	
DATE:	02.10.05
REVISIONS:	
© COPYRIGHT	

SHEET  
B-1  
SHEET 20 OF 38



1  
Basement Floor Plan  
1/4" = 1'-0"



Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

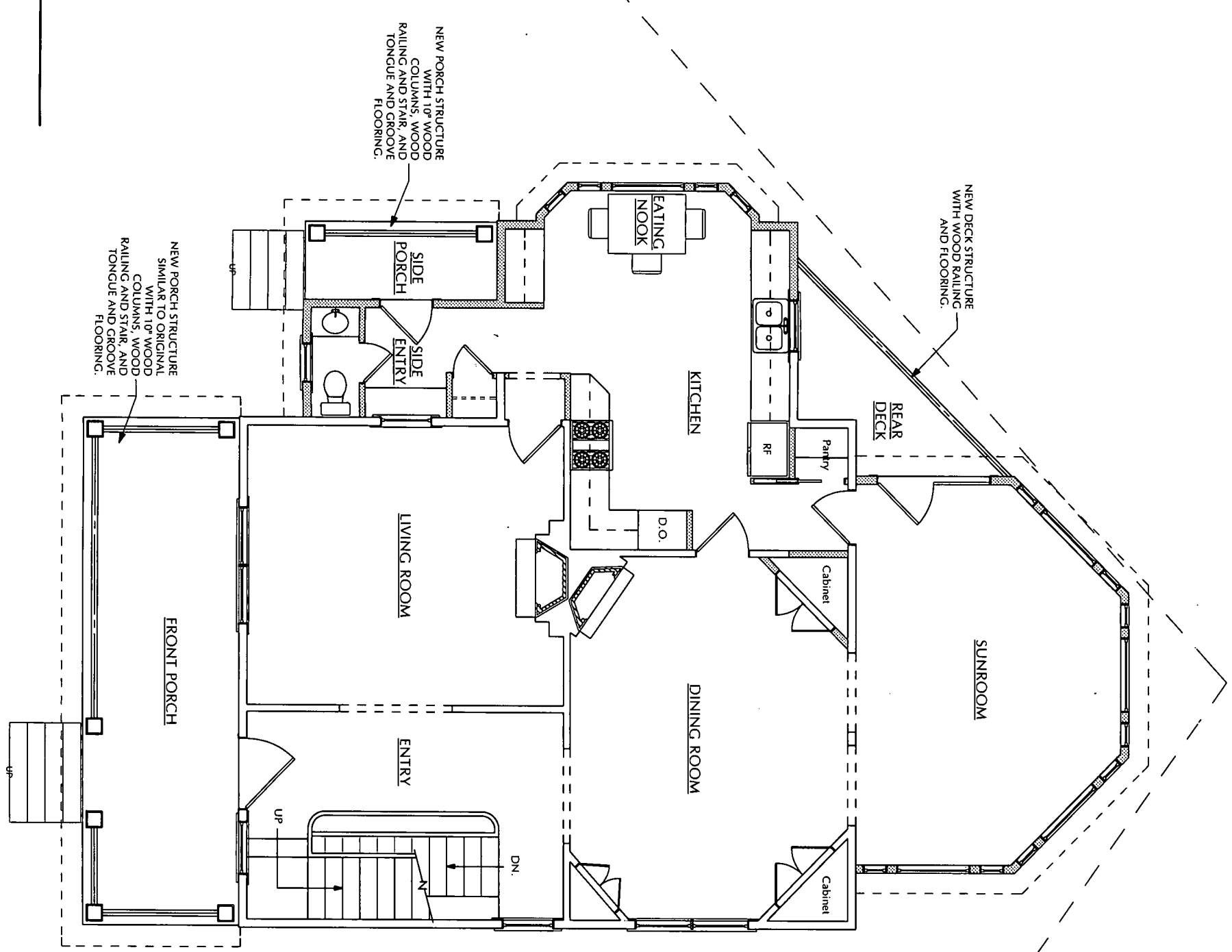
Basement Floor Plan  
Scheme B

SCALE: AS NOTED  
DRAWN:  
CHECKED:  
DATE: 02.10.05  
RESPONSE:

Without dimensions on these drawings, shall have precedence over scale dimensions, and be responsible for all dimensions and conditions on the job and any other drawings or notes on dimensions and conditions.

SHEET  
B-2  
SHEET 21 OF 28

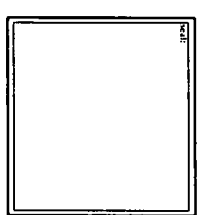
1  
First Floor Plan  
1/4" = 1'-0"



SHEET  
B-3  
SHEET 22 OF 28

SCALE:	As Noted
DESIGNER:	
CHECKED:	
DATE:	02.10.05
REVISIONS:	

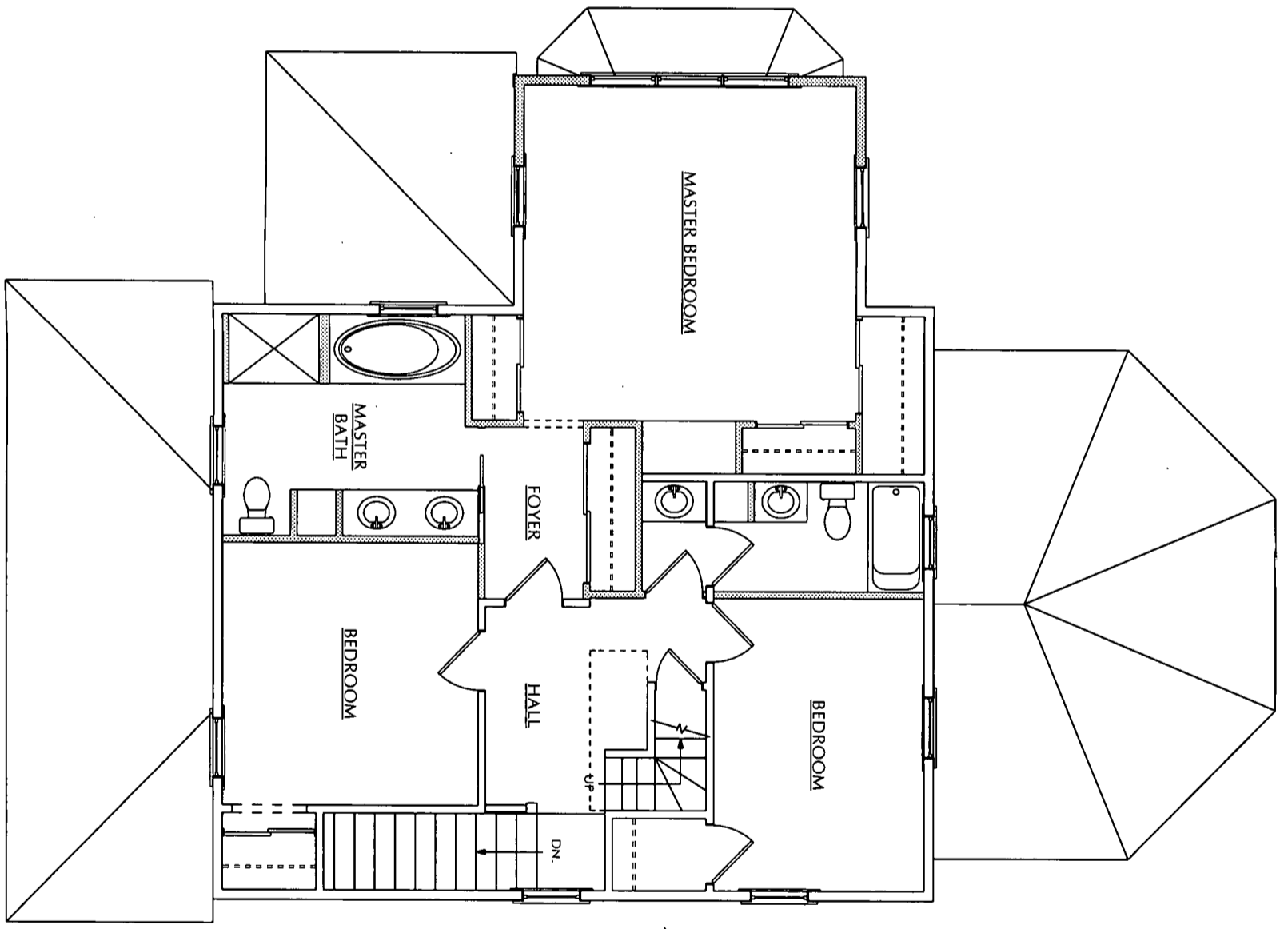
When dimensions on these drawings shall have precedence over scale dimensions, and be responsible for all dimensions and conditions, on the job and any variations from the dimensions and conditions.



First Floor Plan  
Scheme B

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

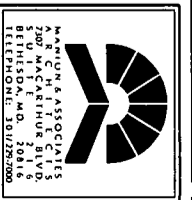
MANI & ASSOCIATES  
2300 MACARTHUR BLVD  
BETHESDA, MD 20814  
TELEPHONE: 301/279-2000



1

Second Floor Plan

1/4" = 1'-0"



MANNING & ASSOCIATES  
 2007 MCFARLAND BLVD  
 BETHESDA, MD 20814  
 TELEPHONE: 301/278-7000

Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

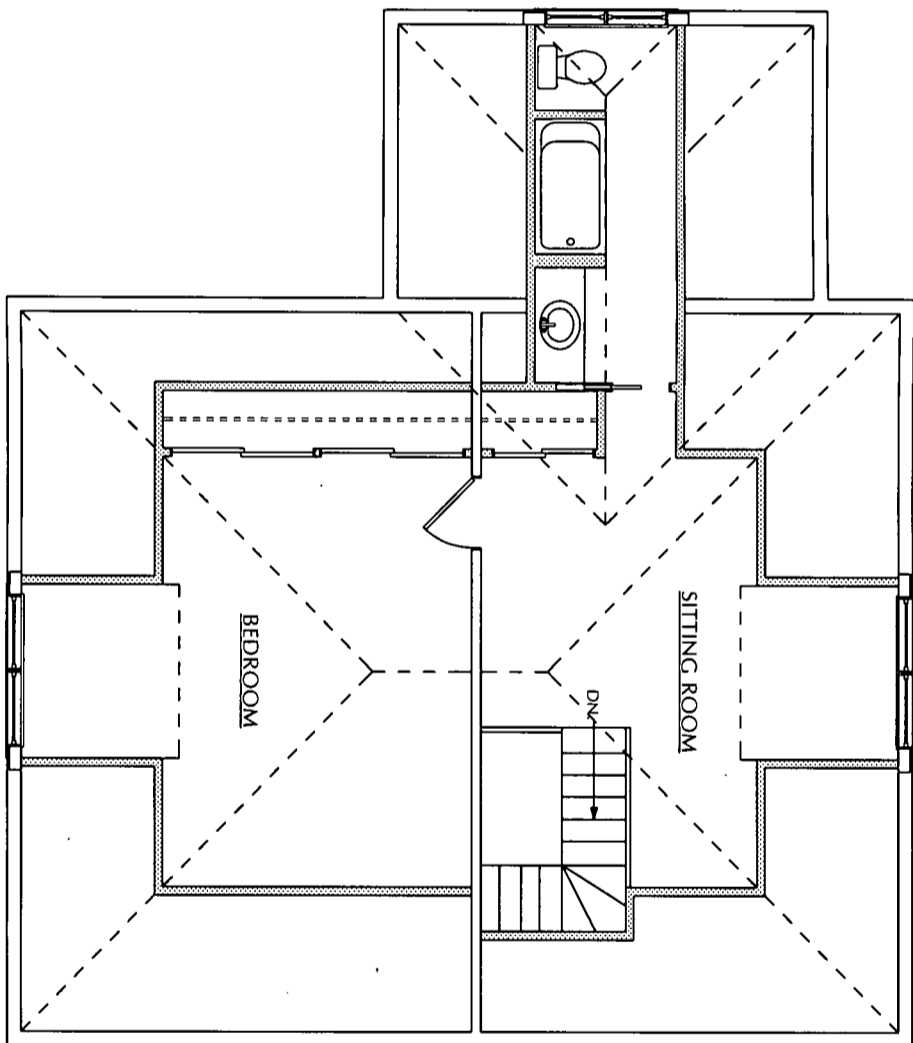
Second Floor Plan  
 Scheme B

VISION DIMENSIONS ON THESE  
 drawings are shown in feet and  
 inches. All dimensions are shown  
 over wall dimensions, unless  
 otherwise noted. All utility and  
 other dimensions are shown in  
 this office must be noted of  
 dimensions and conditions.

SCALE:	As Noted
DATE:	02.10.05
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DATE:	
REVISIONS:	

SHEET  
 B-4  
 SHEET 23 OF 28

1 Attic Floor Plan  
1/4" = 1'-0"

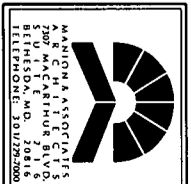


Written dimensions on these drawings shall have precedence over scale dimensions. The drafter shall be responsible for all dimensions and conditions on the job and any variations from these dimensions and conditions.

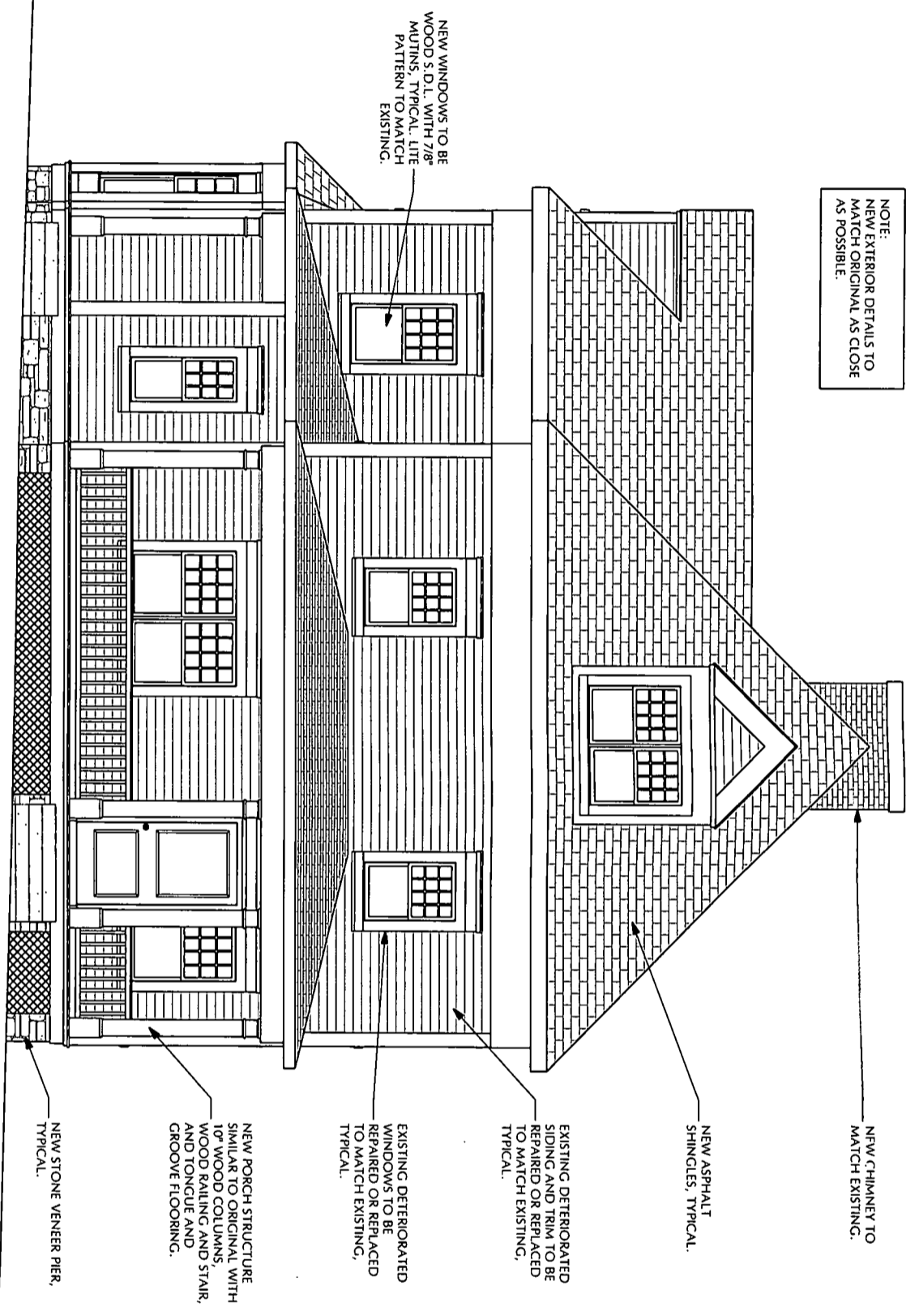
SCALE:	AS NOTED
DRAWN:	
CHECKED:	
DATE:	02.10.05
REVISIONS:	

Attic Floor Plan  
**Scheme B**

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895



SHEET  
**B-5**  
SHEET 24 OF 28



NOTE:  
NEW EXTERIOR DETAILS TO  
MATCH ORIGINAL AS CLOSE  
AS POSSIBLE.

1  
Front Elevation  
1/4" = 1'-0"

MANION & ASSOCIATES  
2007 MACARTHUR BLVD.  
BETHESDA, MD 20814  
TELEPHONE: 301/291-2000

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

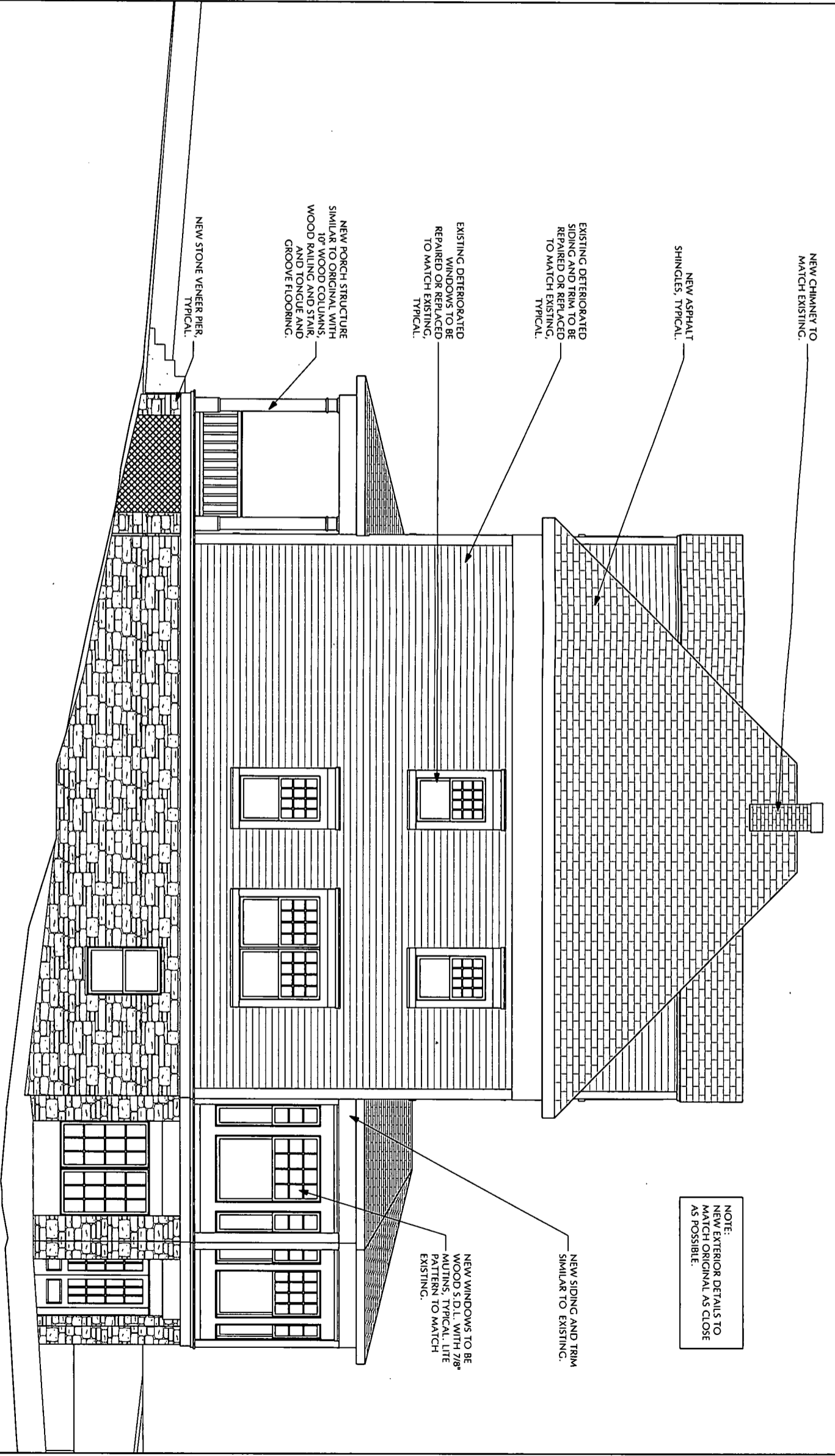
Front Elevation  
Scheme B

When dimensions on these drawings shall have no reference over scale dimension, contractor shall verify and be responsible for the accuracy of the same. All dimensions and conditions on the job and in the office must be noted of dimension and condition.

SCALE:	As Noted
DRAWN:	
CHECKED:	
DATE:	02.10.05
REVISIONS:	

SHEET  
B-6  
SHEET 25 OF 28

1 Right Side Elevation  
1/4" = 1'-0"



SHEET  
B-7  
SHEET 26 OF 28

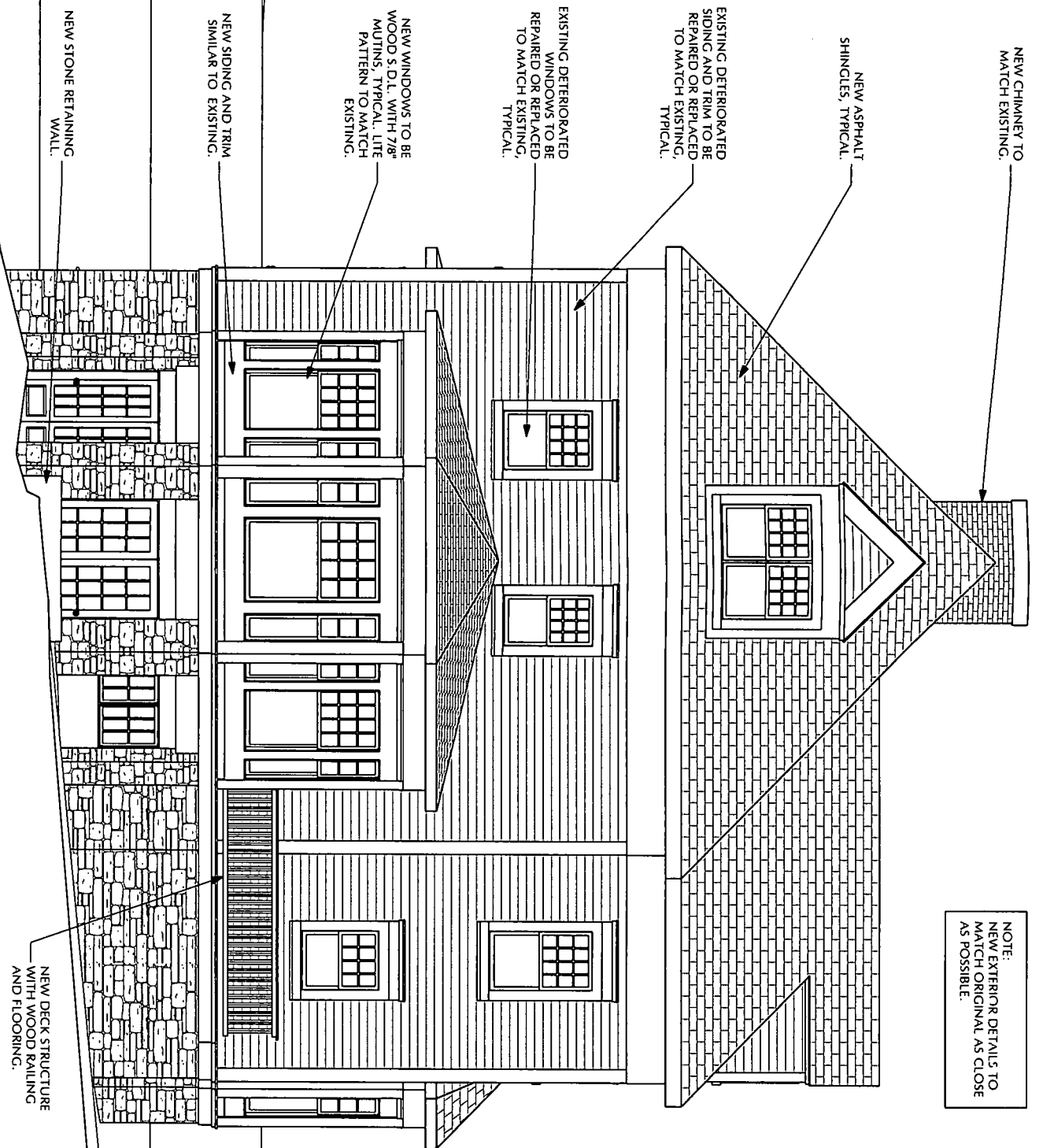
SCALE:	As Noted
DESIGNED:	
DATE:	02.10.05
REVISIONS:	
COPYRIGHT	

When dimensioning on these drawings shall have precedence over scale dimension, and be used for all dimensions and conditions on the job and the office must be verified of dimensions and conditions.

Right Side Elevation  
Scheme B

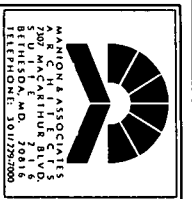
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

MANION ASSOCIATES  
2407 MACARTHUR BLVD.  
BETHESDA, MD. 20816  
TELEPHONE: 301/291-2000



NOTE:  
NEW EXTERIOR DETAILS TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.

1 Rear Elevation  
1/4" = 1'-0"



Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Rear Elevation  
Scheme B

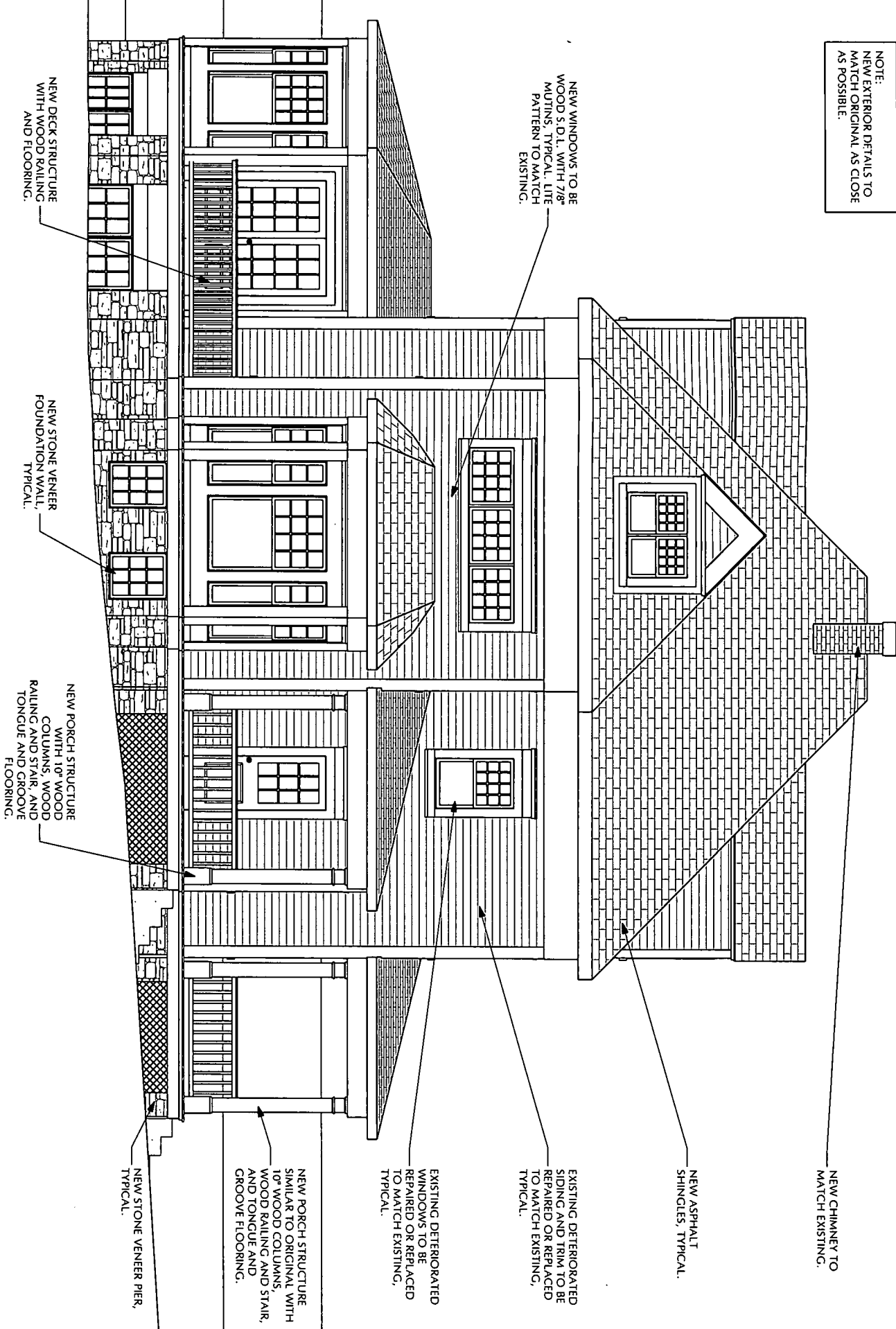
When dimensions on these drawings shall have precedence over scale dimension, and be responsible for all dimensions and conditions on the job and an effort shall be made to conform to the dimensions and conditions.

SCALE:	As Noted
DESIGN:	
CHECKED:	
DATE:	02.10.05
RESPONSE:	

SHEET  
B-8  
SHEET 27 OF 28



NOTE:  
NEW EXTERIOR DETAILS TO  
MATCH ORIGINAL AS CLOSE  
AS POSSIBLE.



1 Left Side Elevation  
1/4" = 1'-0"

NEW CHIMNEY TO  
MATCH EXISTING.

NEW ASPHALT  
SHINGLES, TYPICAL.

EXISTING DETERIORATED  
SIDING AND TRIM TO BE  
REPAIRED OR REPLACED  
TO MATCH EXISTING,  
TYPICAL.

EXISTING DETERIORATED  
WINDOWS TO BE  
REPAIRED OR REPLACED  
TO MATCH EXISTING,  
TYPICAL.

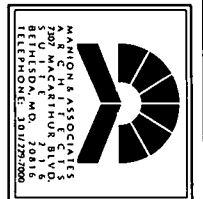
NEW PORCH STRUCTURE  
SIMILAR TO ORIGINAL WITH  
10" WOOD COLUMNS,  
WOOD RAILING AND STAIR,  
AND TONGUE AND  
GROOVE FLOORING.

NEW STONE VENEER PIER,  
TYPICAL.

NEW PORCH STRUCTURE  
WITH 10" WOOD  
COLUMNS, WOOD  
RAILING AND STAIR, AND  
TONGUE AND GROOVE  
FLOORING.

NEW STONE VENEER  
FOUNDATION WALL,  
TYPICAL.

NEW DECK STRUCTURE  
WITH WOOD RAILING  
AND FLOORING.



MARIOTT & ASSOCIATES, INC.  
2201 MACARTHUR BLVD.  
BETHESDA, MD. 20814  
TELEPHONE: 301/291-2000

Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Left Side Elevation  
Scheme B

Unless otherwise noted, all dimensions are in feet and inches. Dimensions are given in feet and inches unless otherwise noted. All dimensions are to the center of the member unless otherwise noted. All dimensions are to the finished surface unless otherwise noted.

SCALE:	As Noted
DATE:	02.10.05
DESIGNER:	
CHECKED:	
DATE:	
REVISIONS:	

SHEET  
B-9  
SHEET 28 OF 28



View Park were designed in the Queen Anne style, characterized by their picturesque rooflines, large scale, numerous porches, and variety of building materials, including clapboard and fishscale shingles. Notable Queen Anne-style houses, built in the 1880s and 1890s, are found on Capitol View Avenue, Meredith Avenue, Lee Street, and Menlo Avenue. Residents built Colonial Revival style dwellings beginning in the 1890s. These dwellings feature classical details including cornices with entablatures, heavy window molding, and large round porch columns. Colonial Revival-style houses are found on Capitol View Avenue and Grant Avenue.

By the turn of the twentieth century, smaller-scale houses were becoming popular. Designed to harmonize with natural settings, these structures have a horizontal emphasis and were painted in natural tones. This group includes Bungalow- and Craftsman-style houses built from 1900 into the 1920s. Early examples are found on Stoneybrook Drive, Meredith Avenue, and Capitol View Avenue.

The pace of growth in Capitol View Park continued at a constant rate until the 1940s when a construction boom added nearly 50 houses to the community. Since then, houses have been added at a more leisurely rate, continuing the pattern of diversity that characterizes Capitol View Park.

### **SITE DESCRIPTION**

SIGNIFICANCE: Dwyer House  
 Outstanding Resource in the Capitol View Park Historic District  
 STYLE: Colonial Revival  
 DATE: c1893

The subject property is located at the northwestern boundary of the historic district. The property currently contains the existing house and an abandoned wishing well. Its' neighbors are the Cooley House (Outstanding Resource, 1912 Colonial Revival) to the east and several c. 1950s resources to the north, south and west – which are outside the historic district's boundary. The property is dense with foliage and trees.

The Planning Board recently approved the Commission recommended subdivision of this property creating 2 additional buildable lots (see site plan in packet). The historic, Dwyer House will remain on Lot 3. The remaining acreage is divided as follows:

Lot 1	.16 acres	Lot 3	.39 acres
Lot 2	.17 acres	Outlot A	.14 acres
Outlot B	.12 acres		
Capitol View Ave ROW	.36 acres		

**PROPOSAL:**

The applicant proposes to rehabilitate the existing house by:

1. Removing the deteriorated wood siding and trim, as needed, and replacing it in-kind.
2. Removing the existing roofing material and replace with asphalt shingles.
3. Removing the existing chimney and rebuild the exterior chimney stack only - to match existing.
4. Reconstructing the original full-width front porch (see historic photos).
5. Repair or replace the existing 6/1 windows. Remove and replace the existing 1/1 windows with 12/1 SDL wood windows to match the existing.
6. Repoint the existing stone foundation

The applicant proposes to modify the existing house by:

7. Expanding the two-story, hipped roofed side extension.
8. Construct a one-story addition with side porch in front of the new gable or hipped roof side addition.
9. Construct a rear one-story with basement octagonal sunroom addition to the house.

Material Specifications:

- Wood, clapboard siding
- Wood SDL 12/1 windows
- Stone foundation for porch and additions
- 10" wood columns for front porch
- Painted, wood tongue and groove porch flooring
- Wood, square picket balustrade for front porch

**APPLICABLE GUIDELINES:**

When reviewing alterations and additions to outstanding resources within the Capitol View Park *Master Plan* Historic District two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.

2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

Secretary of the Interior's Guidelines for Rehabilitation

- #1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #7 Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION:**

Staff commends the applicant's desire to rehabilitate the original massing of this house and does not object to the proposed repair and replacement of deteriorated building material on this property as long as the goal is to keep as much of the original materials as possible. Retaining much of the original fabric helps to retain the building's architectural integrity.

The existing roofing material is asphalt and staff does not object to the replacement in-kind of this building material.

The existing chimney and fireboxes have created significant damage to the integrity of the building's structure. Staff does not object to its removal as long as the chimney-stack, as specified by the applicant, is rebuilt and no exterior elements will be changed.

The applicant has provided staff with photo documentation of the original house's full-width front porch. Therefore, this reconstruction of a documented original feature is in accordance with the guidelines and thus staff supports its installation.

The applicant has provided the Commission with a detailed assessment of every window on the building and is proposing to restore all of the original windows, relocate and rehabilitate the 12/1 windows being removed for the construction of the additions, and replace the non-historic 1/1 windows with 12/1, SDL wood windows. Staff recommends approval.

**ENTER CVP CITIZENS ASSOC. LETTER INTO RECORD.**

After additional research, staff does believe that the side extension is original to the house. The side addition is shown on the 1941 Klinge' map and the 1927 Sanborn map of Capitol View Park. Typically, staff does not support modifications to original features on side elevations of outstanding resources within the Capitol View Park Historic District. However, given the fact that the Planning Board has approved a subdivision for this lot creating two additional lots to the west - the south (front) and east (left) elevations will become the prominent facades on this house. Therefore, staff would not want to see an addition extend from the left elevation to preserve the right extension, as suggested by a Commissioner at the Preliminary Consultation. The a-symmetrical footprint is an important architectural detail. Although staff would still like to see no modifications to either side elevation, expanding the existing side addition on a façade that will not be very visible once the new houses are erected, seems to be a more appropriate modification to this house. The proposal for this addition is much more sympathetic than the previous HAWP, as its design is in keeping with the existing architectural detailing and is only two-stories in height. Staff is still concerned with the boxed bay detail that is shown on the west façade. The boxed bay will be visible from the front façade. This design element has a mass, which is visible from the front façade. This mass adds another element to this façade and visually draws the eye more towards the side addition and away from the more simplified original block of the house. Eliminating the boxed bay and installing flush paired or triple windows would visually simplify this side addition and bring the focal point back to the main block.

The applicants also modified the one-story porch detail on the side addition so that the

original window and more of the exterior wall surface is retained as an exterior detail. Staff supports this modification.

The proposed rear addition is compatible to the existing architectural style and does not negatively impact the original house. There are currently French doors on the first story and a single door on the basement level on this elevation, which will provide access to the new space.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission *approve with the above-stated condition* this HAWP application as being consistent with Chapter 25A-8(b) 1, 2, 3 and 4.

and with the *Secretary of the Interior's Standards*.

and with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present three, (3) permit sets of drawings to HPC staff for review and stamping prior to submission for permits, and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Carl Mahany  
Daytime Phone No.: 301 933 7420

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: 10212 Kensington Parky LLC Daytime Phone No.: 301 933 7420  
Address: 10412 Montgomery Ave Kensington MD 20895  
Street Number City State Zip Code  
Contractor: Wood Const Inc Phone No.: 301 933 7420  
Contractor Registration No.: 15715  
Agent for Owner: Carl Mahany Daytime Phone No.: 301 933 7420

LOCATION OF BUILDING/PREMISE

House Number: 10245 Capital View Ave Street: Capital View Ave Capital View Ave  
Town/City: Silver Spring Nearest Cross Street: Meredith Ave.  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: Capital View  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 240,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 2 feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Carl Mahany 3/23/05  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 377591 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*This single family residence is a primary residence located in the Capital View Historic Dist. The existing house is in very poor condition. We propose to restore the existing house, re-build a front porch which once existed on the house, and add a side addition and a rear addition.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*This exists resource has been allowed to deteriorate very badly we propose to restore the house to it's original condition, rebuild the old porch and add two additions. This work will let this house survive via into the 21<sup>st</sup> Century. The impact on the historic district will be a positive one, the closest neighbors house is over 150' away.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

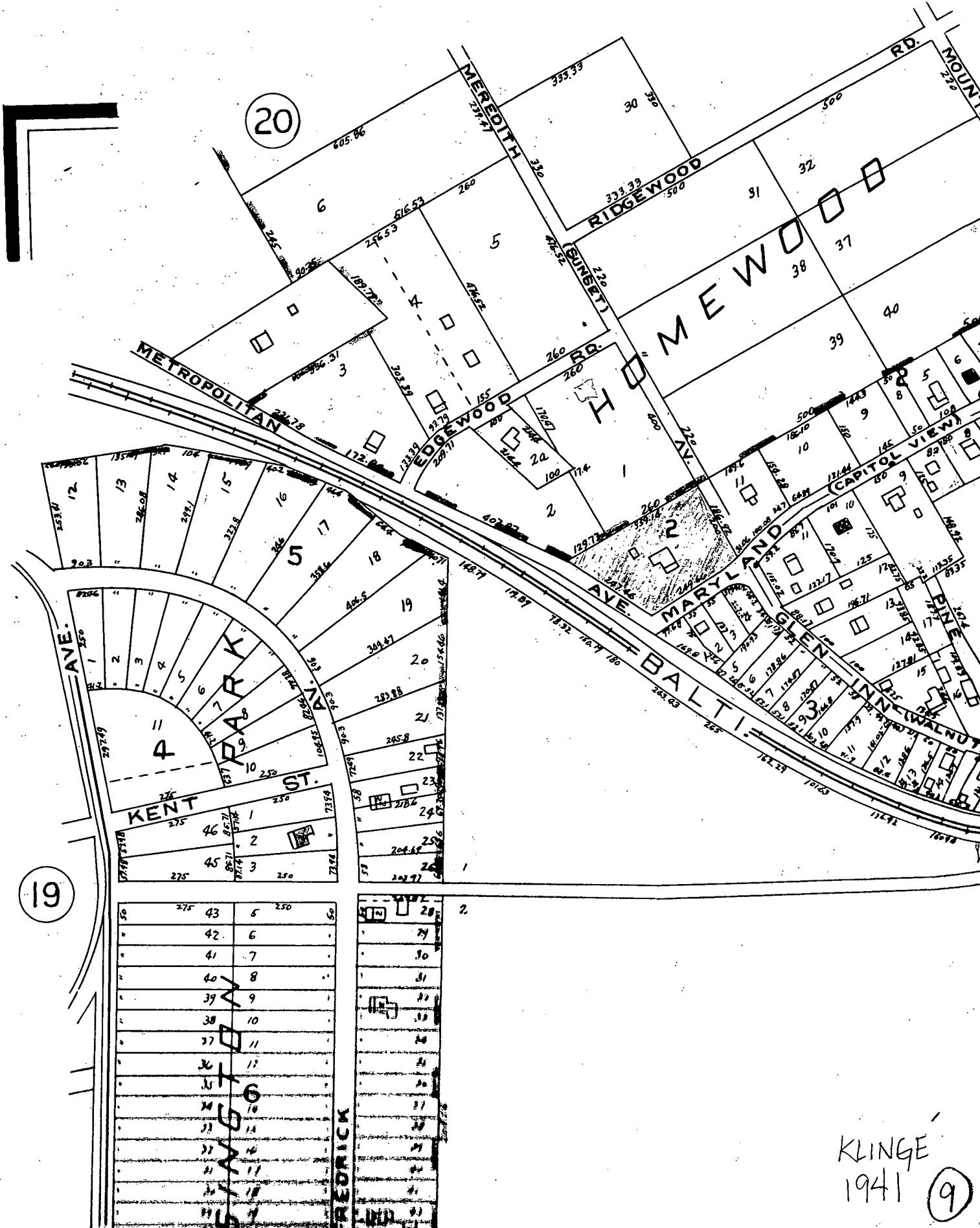
- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

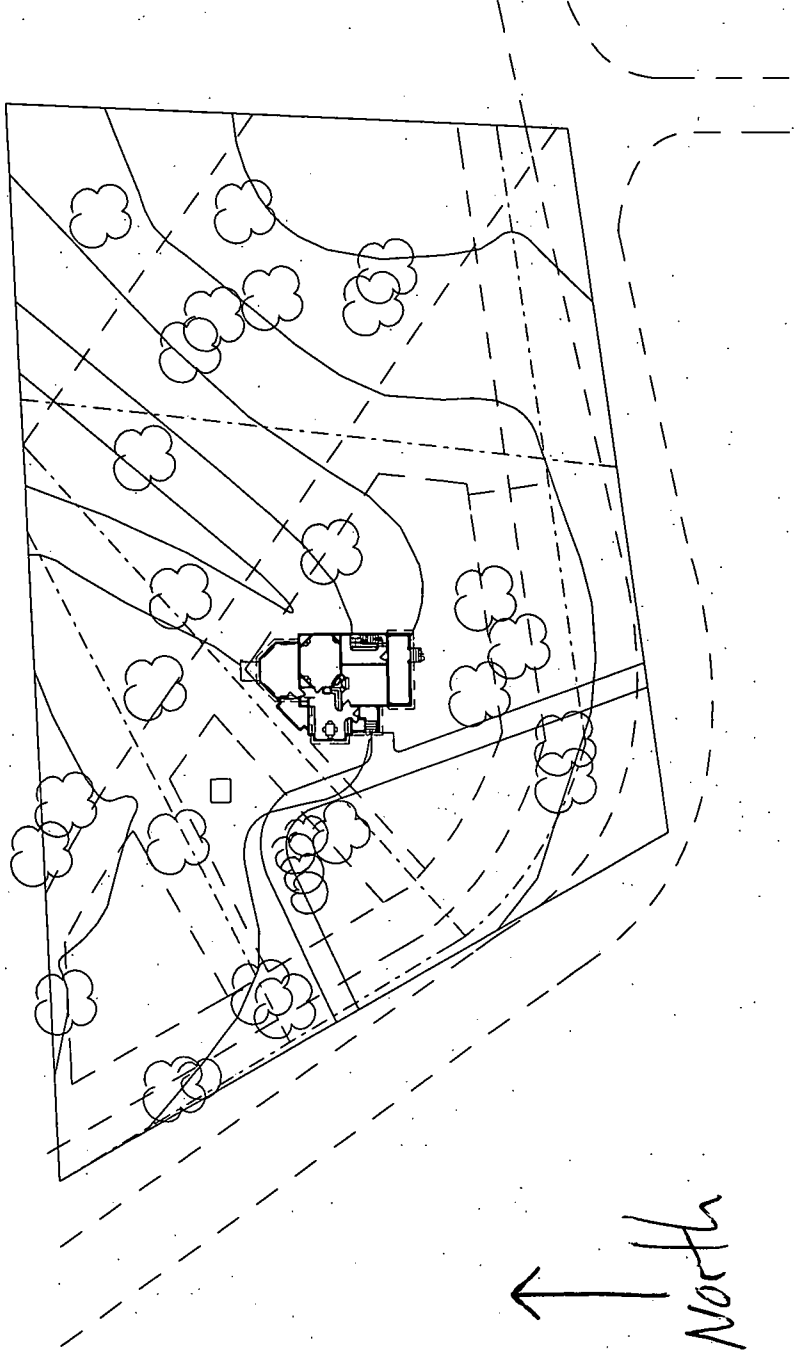
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).



KLINGE  
1941 (9)

# Renovation to the Capitol View Residence

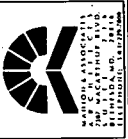
~~10412 Montgomery Ave; Kensington, MD 20895~~  
 10245 Capitol View Ave.



1 Site Plan  
 1" = 30'-0"

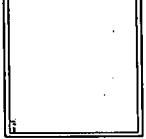
3/22/05

10



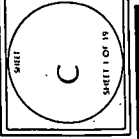
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Cover Sheet  
 10245  
 Capitol  
 View Ave.



Written description on sheet  
 drawings shall have precedence  
 over this sheet. The contractor  
 shall verify and be responsible  
 for all conditions on the job and  
 any exclusions shall be the  
 responsibility of the contractor.

DATE:	As Noted
DRAWN:	
CHECKED:	
DATE:	03.18.05
DESIGNED:	

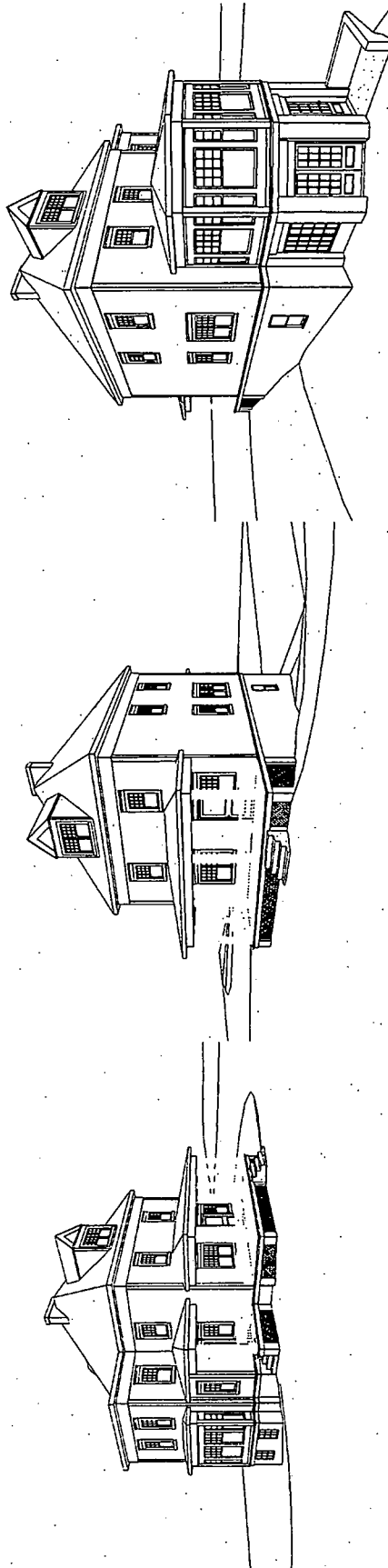




# Renovation to the Capitol View Residence

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## Proposed



1 Front Perspective  
1:2.08

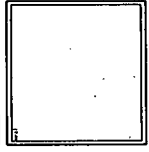
2 O-Front Perspective  
1:2.08

3 Rear Perspective  
1:2.08



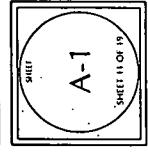
Capitol View Residence  
10412 Montgomery Ave  
Kennington, MD 20895

Perspectives  
Proposed



Written dimensions on these drawings take precedence over verbal dimensions. The architect is not responsible for all dimensions. The client shall be notified of any errors and omissions.

SCALE:	As Noted
DATE:	
PROJECT:	
DATE:	01.18.05
PROJECT:	
COPYRIGHT	



## WINDOW RESTORATION SCHEDULE

### BASEMENT

- #1 - NEW WINDOW IN NEW OPENING.
- #2 - TO BE REMOVED.
- #3 - NEW WINDOW IN NEW OPENING.
- #4 - REPLACE EXISTING SIX OVER ONE WITH NEW SDL UNIT TO MATCH EXISTING. SASH AND JAMB ARE HEAVILY DETERIORATED.
- #5 - NEW WINDOW IN NEW OPENING.

### FIRST FLOOR

- #6 - NEW WINDOW IN NEW OPENING.
- #7 - NEW WINDOW IN NEW OPENING.
- #8 - RESTORE EXISTING SIX OVER ONE DH WINDOW. SAVE AS MUCH OLD GLASS AS POSSIBLE, TYPICAL.
- #9 - RESTORE EXISTING SIX OVER ONE DH WINDOW. SAVE AS MUCH OLD GLASS AS POSSIBLE, TYPICAL.
- #10 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #11 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #12 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #13 - NEW WINDOW IN NEW OPENING.
- #14 - NEW WINDOW IN NEW OPENING.
- #15 - NEW WINDOW IN NEW OPENING.

### SECOND FLOOR

- #16 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
- #17 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
- #18 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
- #19 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #20 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
- #21 - RELOCATE SASH FROM OPENING #22. ORIGINAL WINDOW NO LONGER IN PLACE.
- #22 - NEW WINDOW IN EXISTING OPENING. RELOCATE EXISTING SASH TO OPENING #21. EXISTING GLASS IS NOT TEMPERED AND NOT TO CODE ABOVE A BATH TUB.
- #23 - NEW WINDOW IN NEW OPENING.

### ATTIC

- #24 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
- #25 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.

### GENERAL NOTES

THE NEW WINDOWS SHALL BE SDL INSULATED GLASS UNITS, WITH 7/8" MUNTINS, WITH LIGHT CUT PATTERNS TO MATCH THE ORIGINAL SASH, OR IN THE CASE OF NEW OPENINGS, AS SHOWN ON THE ELEVATIONS.

THE REMAINING SGL WINDOWS SHALL BE COVERED WITH TRIPLE TRACK STORM/SCREEN WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND REDUCE TRAIN NOISE.



NATIONAL ASSOCIATION OF ARCHITECTS AND ENGINEERS, INC.  
10412 MONTGOMERY AVE  
KENSINGTON, MD 20895

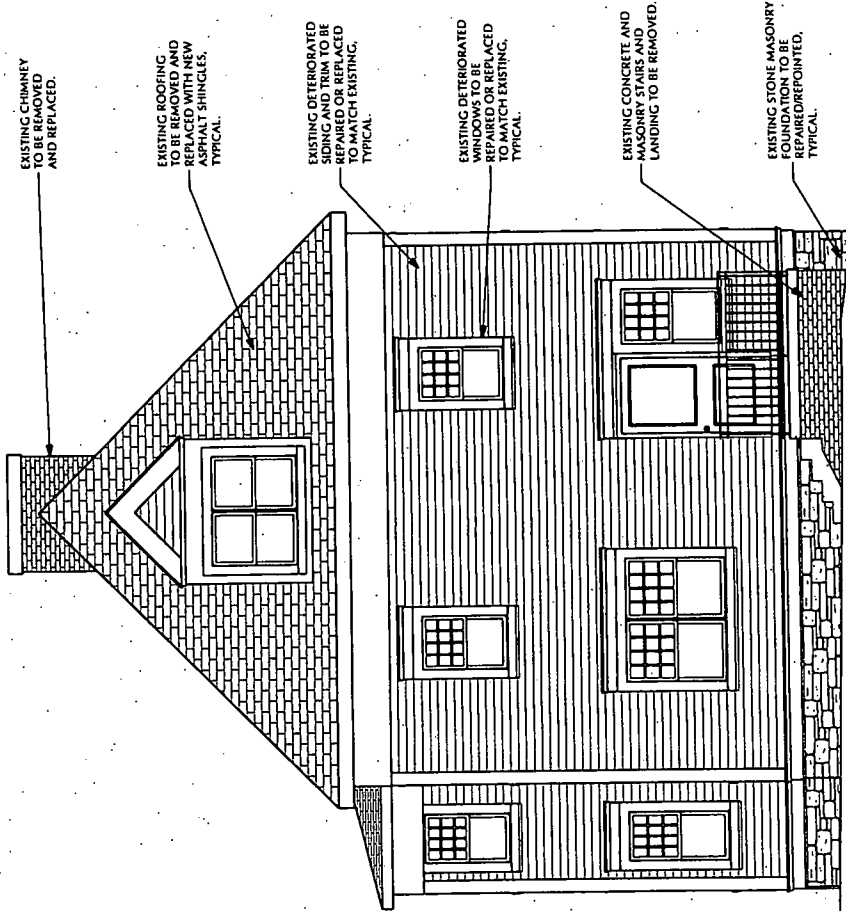
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Existing  
Front Elevation

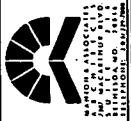
When drawings on these sheets shall have been reviewed, the contractor shall verify the conditions on the job and shall be responsible for any variations from the dimensions and conditions.

DATE:	As Noted
DESIGN:	
CHECKED:	
DATE:	03.18.05
PROJECT:	

E-6  
SHEET 7 OF 19

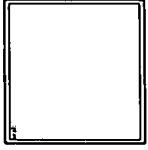


1 Front Elevation  
1/8" = 1'-0"



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

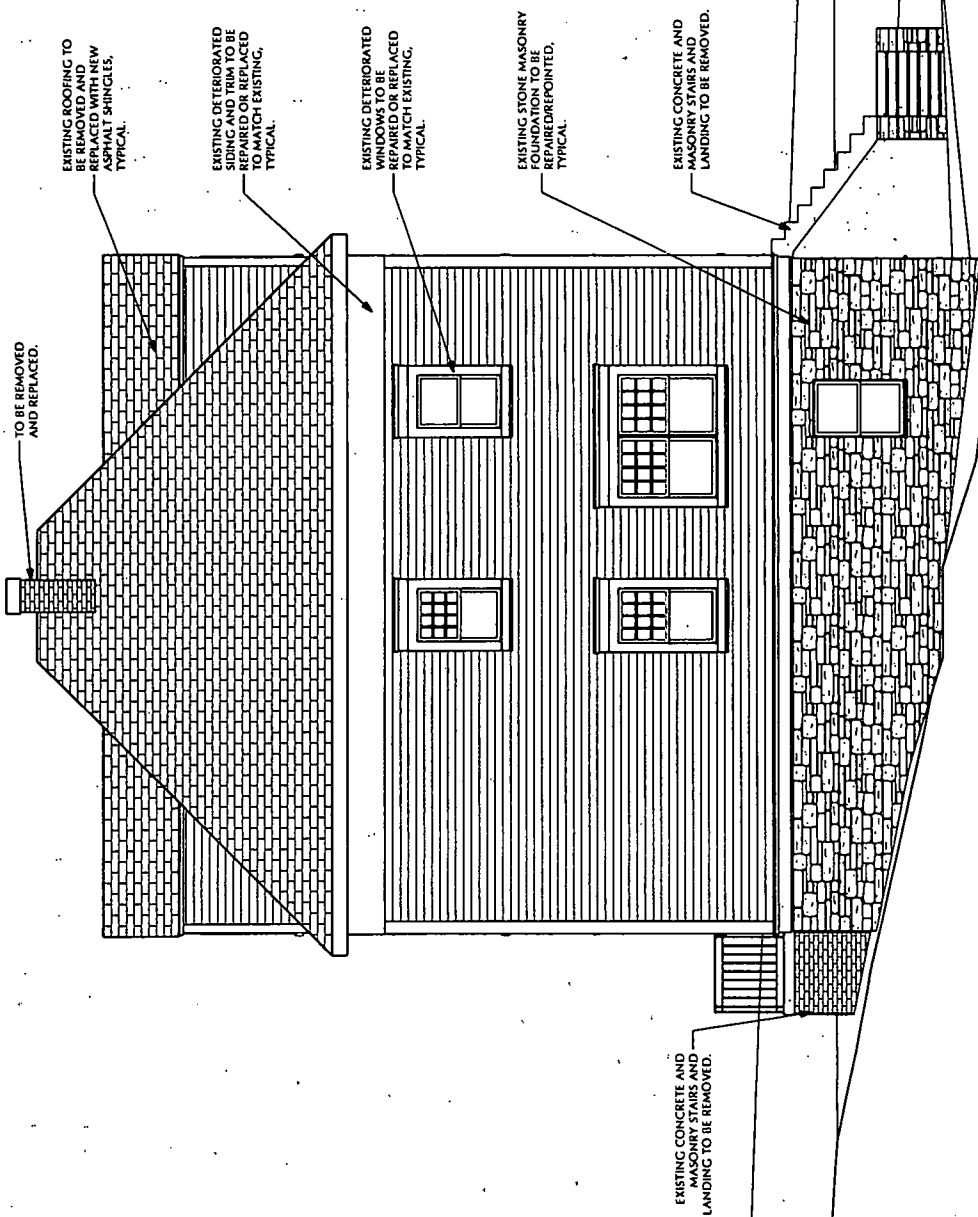
Right Side Elevation  
 Existing



Written Notes on these sheets shall be the only authority for all dimensions and materials. No other notes or specifications shall be used unless specifically noted otherwise.

DATE:	01.18.05
PROJECT:	
CLIENT:	
ARCHITECT:	
SCALE:	As Noted

SHEET  
**E-7**  
 SHEET 8 OF 14



1 Right Side Elevation  
 1/4" = 1'-0"

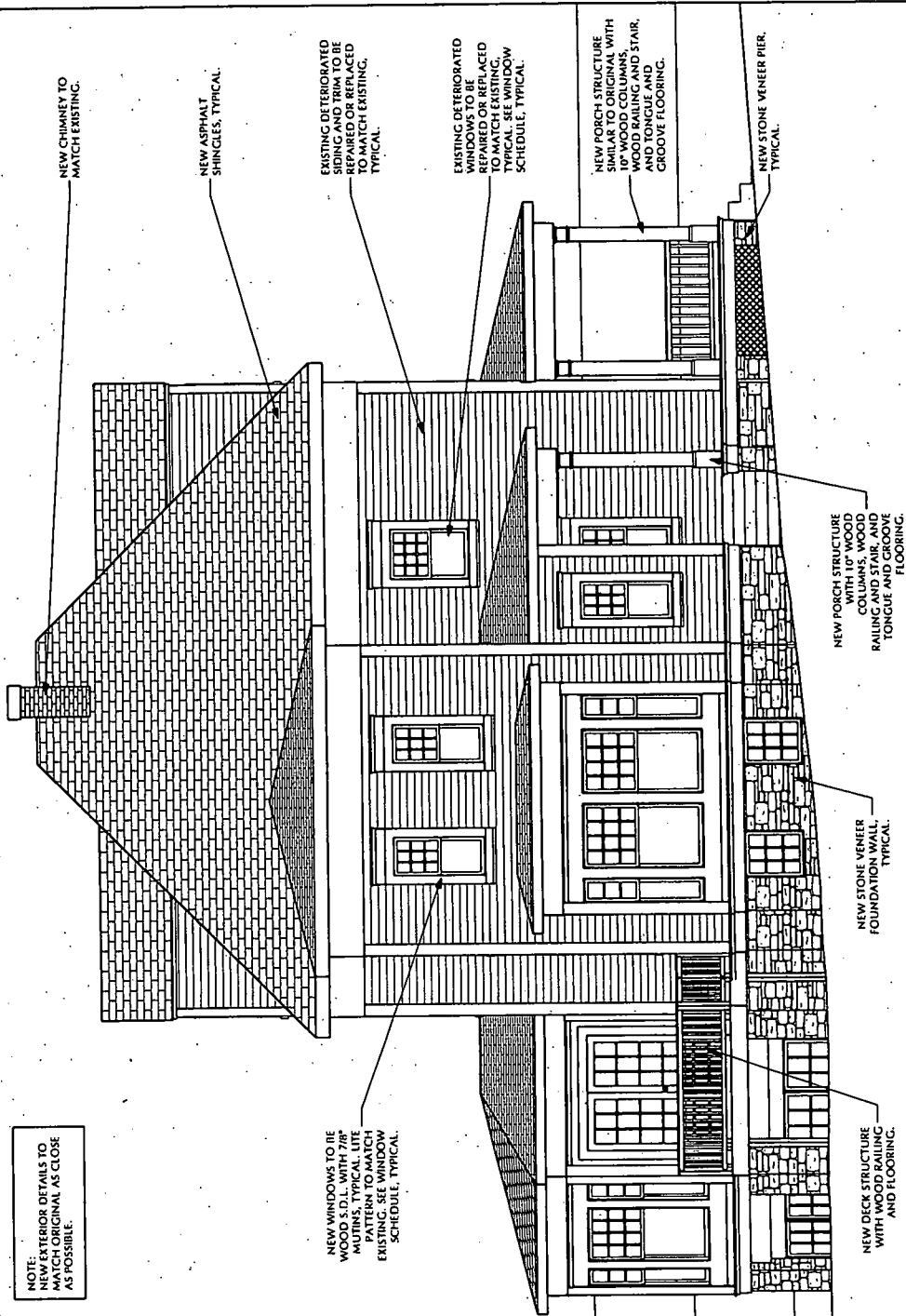








NOTE:  
NEW EXTERIOR DETAILS TO  
MATCH ORIGINAL AS CLOSE  
AS POSSIBLE.



NEW CHIMNEY TO  
MATCH EXISTING.

NEW ASPHALT  
SHINGLES, TYPICAL.

EXISTING DETERIORATED  
SIDING AND TRIM TO BE  
REPAIRED OR REPLACED  
TO MATCH EXISTING,  
TYPICAL.

EXISTING DETERIORATED  
WINDOWS TO BE  
REPAIRED OR REPLACED  
TO MATCH EXISTING,  
TYPICAL. SEE WINDOW  
SCHEDULE, TYPICAL.

NEW PORCH STRUCTURE  
TO BE CONSTRUCTED WITH  
10" WOOD COLUMNS,  
WOOD RAILING AND STAIR,  
AND TONGUE AND  
GROOVE FLOORING.

NEW STONE VENEER PIER,  
TYPICAL.

NEW PORCH STRUCTURE  
TO BE CONSTRUCTED WITH  
10" WOOD COLUMNS,  
WOOD RAILING AND STAIR,  
AND TONGUE AND  
GROOVE FLOORING.

NEW STONE VENEER  
FOUNDATION WALL,  
TYPICAL.

NEW DECK STRUCTURE  
WITH RAILING  
AND FLOORING.

NEW WINDOWS TO BE  
REPAIRED OR REPLACED  
TO MATCH EXISTING,  
TYPICAL. SEE WINDOW  
SCHEDULE, TYPICAL.

Capitol View Residence  
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Kensington, MD 20895

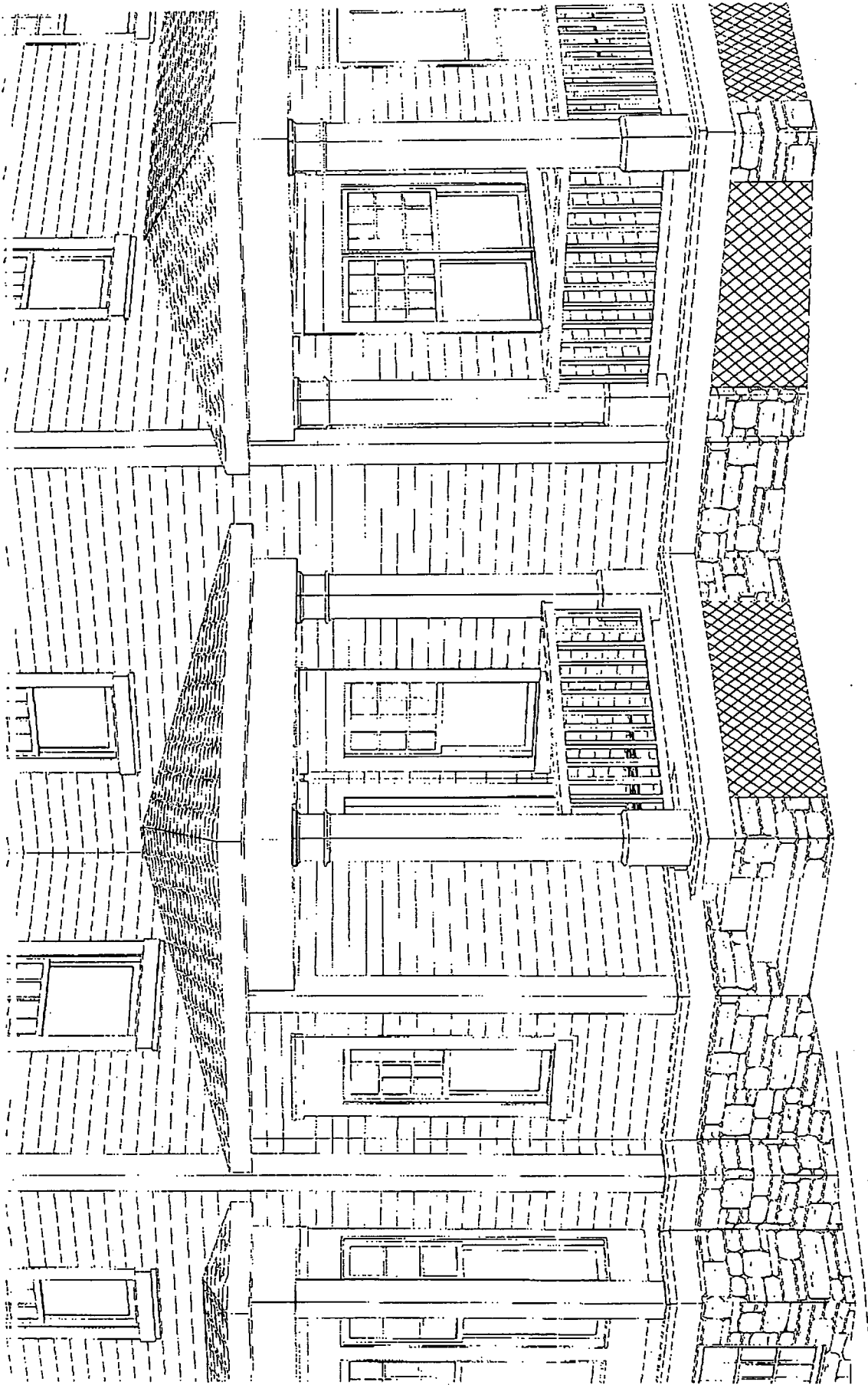
Proposed  
Left Side Elevation

Unless otherwise noted,  
all drawings shall have precedence  
in the following order:  
1. General Notes  
2. Schedule  
3. Specifications  
4. Conditions of Contract  
5. Drawings  
6. Addenda  
7. Requests for Information  
8. Change Orders  
9. Other documents  
10. Other drawings

DATE:	01.18.05
PROJECT:	
CLIENT:	
DESIGNER:	
SCALE:	As Noted

SH11  
A-9  
SHEET 19 OF 19

1 Left Side Elevation  
1/8" = 1'-0"



LEFT SIDE ELEVATION  
PERSPECTIVE



10412 MONTGOMERY AVE  
KENSINGTON, MD 20895

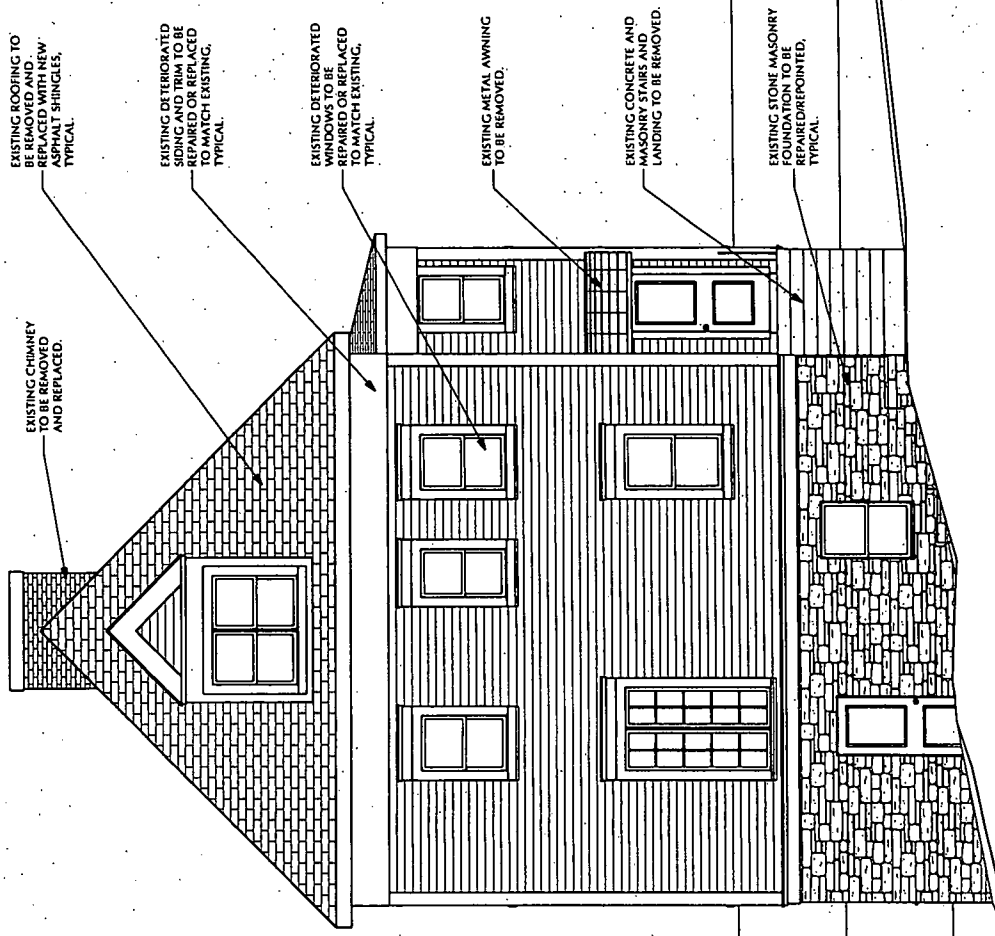
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Existing  
Rear Elevation

Without dimensions on these drawings, the contractor shall be responsible for all dimensions and shall verify the accuracy of the information provided by the architect or engineer.

Scale:	As Noted
Drawn:	
Checked:	
Date:	03.18.05
Project:	
Client:	
Architect:	

SHRIT  
E-8  
SHEET 9 OF 19



EXISTING ROOFING TO BE REMOVED AND REPLACED WITH NEW ASPHALT SHINGLES, TYPICAL.

EXISTING CHIMNEY TO BE REMOVED AND REPLACED.

EXISTING DETERIORATED SIDING AND TRIM TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING DETERIORATED WINDOWS TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING METAL AWNING TO BE REMOVED.

EXISTING CONCRETE AND MASONRY STAIRS AND LANDING TO BE REMOVED.

EXISTING STONE MASONRY FOUNDATION TO BE REPAIRED/REPOINTED, TYPICAL.

1 Rear Elevation  
1/4" = 1'-0"



KAPLAN ASSOCIATES  
 10412 MONTGOMERY AVE  
 KENSINGTON, MD 20895  
 TEL: 301-271-1111  
 WWW.KAPLANASSOCIATES.COM

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 10412 Montgomery Ave  
 Kensington, MD 20895

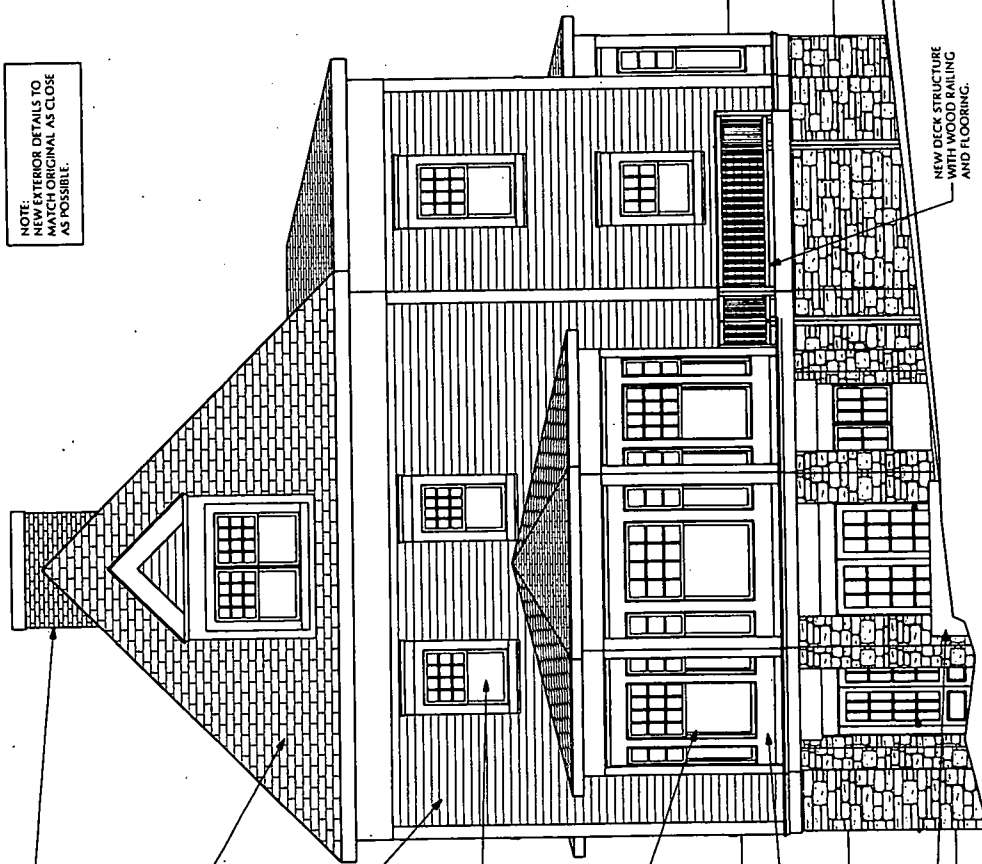
Proposed  
 Rear Elevation

When dimensions on these drawings are given in feet and inches, the decimal equivalent shall be used unless otherwise indicated. All dimensions shall be taken from the face of the wall unless otherwise indicated. All dimensions shall be taken from the face of the wall unless otherwise indicated.

DATE:	03.18.05
DRAWN BY:	AL NIEBEL
CHECKED BY:	
DATE:	
REVISION:	
© CAPLAN ASSOCIATES	

A-8  
 SHEET 18 OF 19

NOTE:  
 NEW EXTERIOR DETAILS TO  
 MATCH ORIGINAL AS CLOSE  
 AS POSSIBLE.



NEW CHIMNEY TO  
 MATCH EXISTING.

NEW ASPHALT  
 SHINGLES, TYPICAL.

EXISTING DETERIORATED  
 SIDING AND TRIM TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL.

EXISTING DETERIORATED  
 SIDING AND TRIM TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL. SEE WINDOW  
 SCHEDULE, TYPICAL.

NEW WINDOWS TO BE  
 WOOD S.D.L. WITH 7/8"  
 MUTINS, TYPICAL. LITE  
 PAINTED TO MATCH  
 EXISTING. SEE WINDOW  
 SCHEDULE, TYPICAL.

NEW SIDING AND TRIM  
 SIMILAR TO EXISTING.

NEW STONE RETAINING  
 WALL.

NEW DECK STRUCTURE  
 WITH WOOD RAILING  
 AND FLOORING.

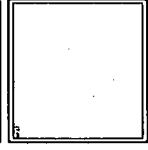
1 Rear Elevation  
 1/4" = 1'-0"





10412 Montgomery Ave  
 Kensington, MD 20895

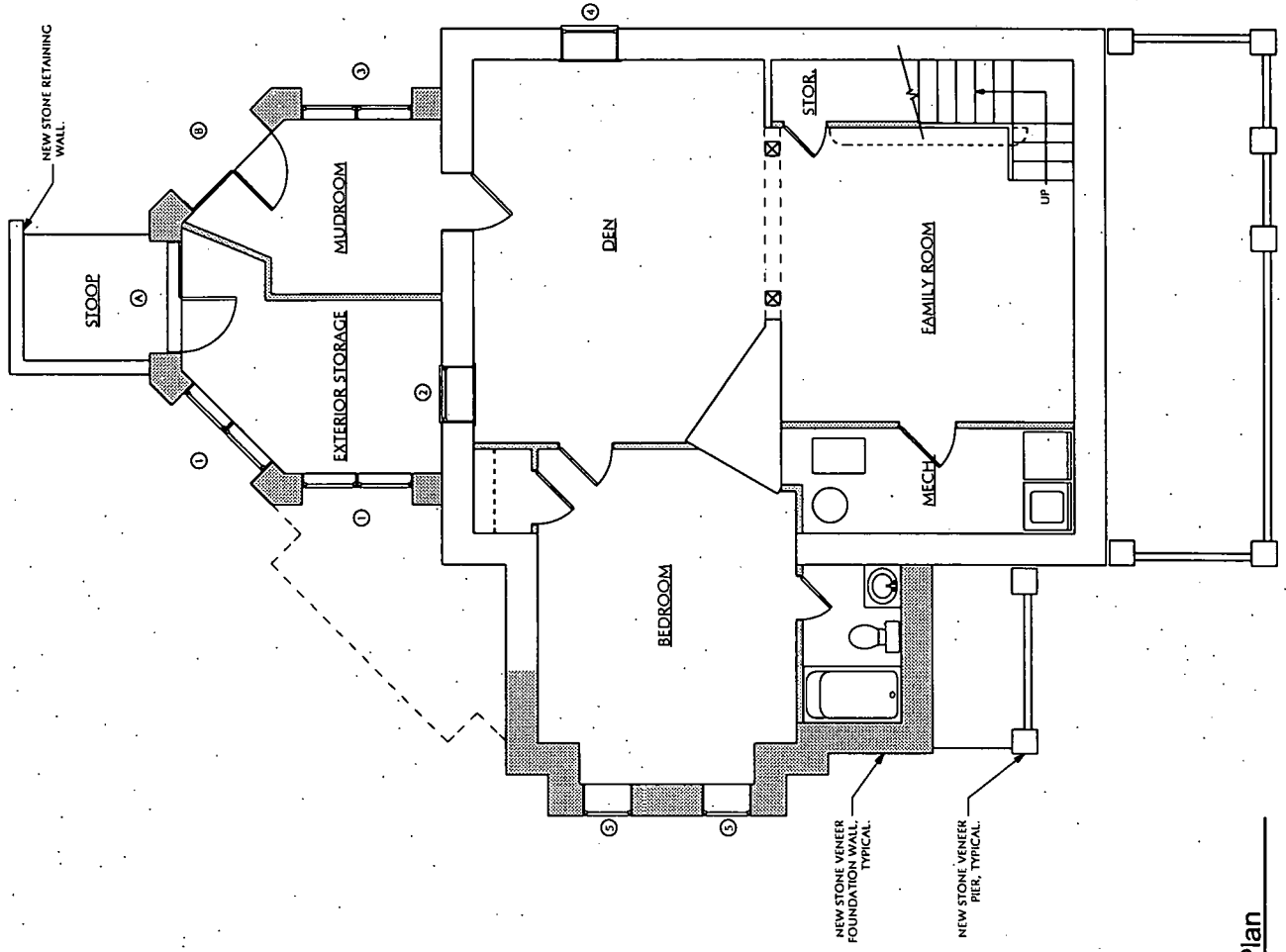
Proposed  
 Basement Floor Plan



Window Schedule to be  
 arranged and have appropriate  
 details. All window and door  
 conditions on the job and  
 the site must be noted at  
 dimensions and conditions.

SCALE:	As Noted
DRAWN:	
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DATE:	01.18.05
PROJECT:	
REVISIONS:	

SHEET  
 A-2  
 SHEET 17 OF 19



- WINDOW RESTORATION SCHEDULE**
- BASEMENT**
- #1 - NEW WINDOW IN NEW OPENING.
  - #2 - TO BE REMOVED.
  - #3 - NEW WINDOW IN NEW OPENING.
  - #4 - REPLACE EXISTING SIX OVER ONE WITH NEW SGL UNIT TO MATCH EXISTING. SASH AND JAMB ARE HEAVILY DETERIORATED.
  - #5 - NEW WINDOW IN NEW OPENING.
- FIRST FLOOR**
- #6 - NEW WINDOW IN NEW OPENING.
  - #7 - NEW WINDOW IN NEW OPENING.
  - #8 - RESTORE EXISTING SIX OVER ONE DH WINDOW. SAVE AS MUCH OLD GLASS AS POSSIBLE, TYPICAL.
  - #9 - RESTORE EXISTING SIX OVER ONE DH WINDOW. SAVE AS MUCH OLD GLASS AS POSSIBLE, TYPICAL.
  - #10 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
  - #11 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
  - #12 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
  - #13 - NEW WINDOW IN NEW OPENING.
  - #14 - NEW WINDOW IN NEW OPENING.
  - #15 - NEW WINDOW IN NEW OPENING.
- SECOND FLOOR**
- #16 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #17 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #18 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #19 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
  - #20 - RESTORE EXISTING SIX OVER ONE DH WINDOW.
  - #21 - RELOCATE SASH FROM OPENING #22.
  - #22 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #23 - RELOCATE EXISTING SASH TO OPENING #21. EXISTING GLASS IS NOT TEMPERED AND NOT TO CODE ABOVE A BATH TUB.
  - #24 - NEW WINDOW IN NEW OPENING.
- ATTIC**
- #25 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
  - #26 - NEW WINDOW IN EXISTING OPENING. ORIGINAL WINDOW NO LONGER IN PLACE.
- GENERAL NOTES**
- THE NEW WINDOWS SHALL BE SGL INSULATED GLASS UNITS, WITH 7/8" MUNTINS, WITH LIGHT CUT PATTERNS TO MATCH THE ORIGINAL SASH, OR IN THE CASE OF NEW OPENINGS, AS SHOWN ON THE ELEVATIONS.
- THE REMAINING SGL WINDOWS SHALL BE COVERED WITH TRIPLE TRACK STORMSCREEN WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND REDUCE TRAIN NOISE.

1 Basement Floor Plan  
 1/8" = 1'-0"

23





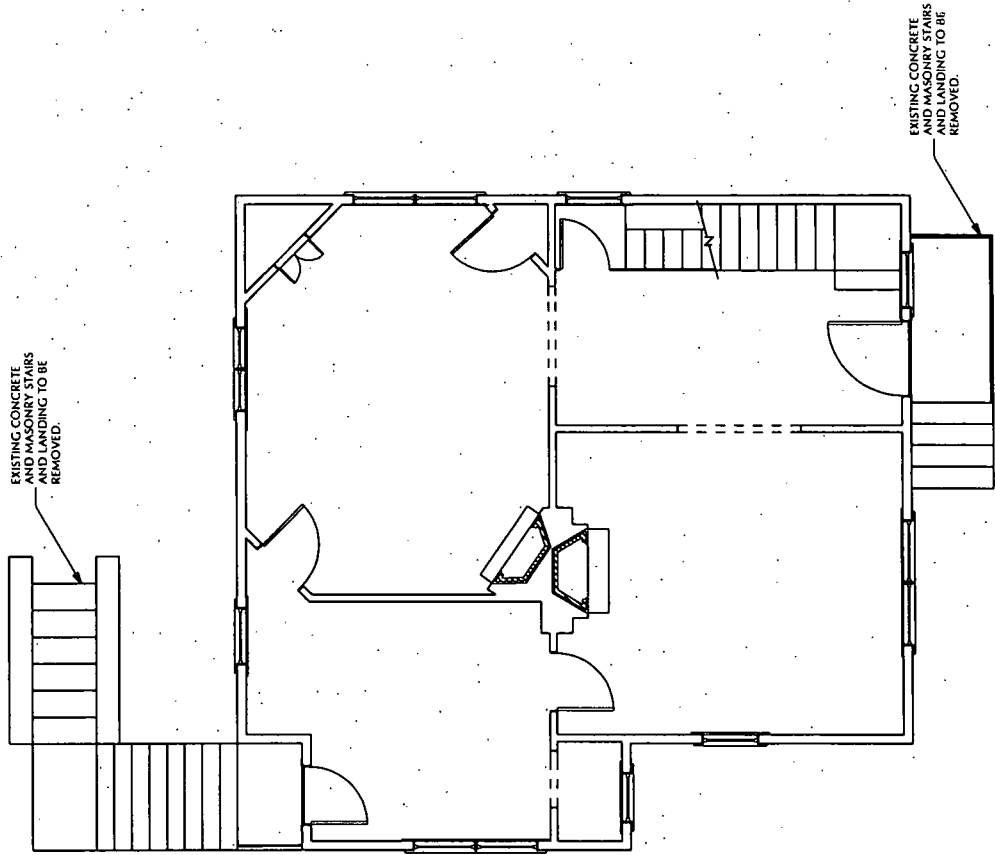
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Existing  
 First Floor Plan

Written agreement on these drawings shall be obtained from the owner. The contractor shall be responsible for all permits and conditions to the job and the contractor shall be responsible for all conditions.

DATE:	03.18.05
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
SCALE:	As Noted
CORRECTIONS	

SHEET E-3  
 SHEET 4 OF 15



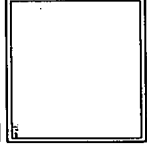
1 First Floor Plan  
 1/4" = 1'-0"

42



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

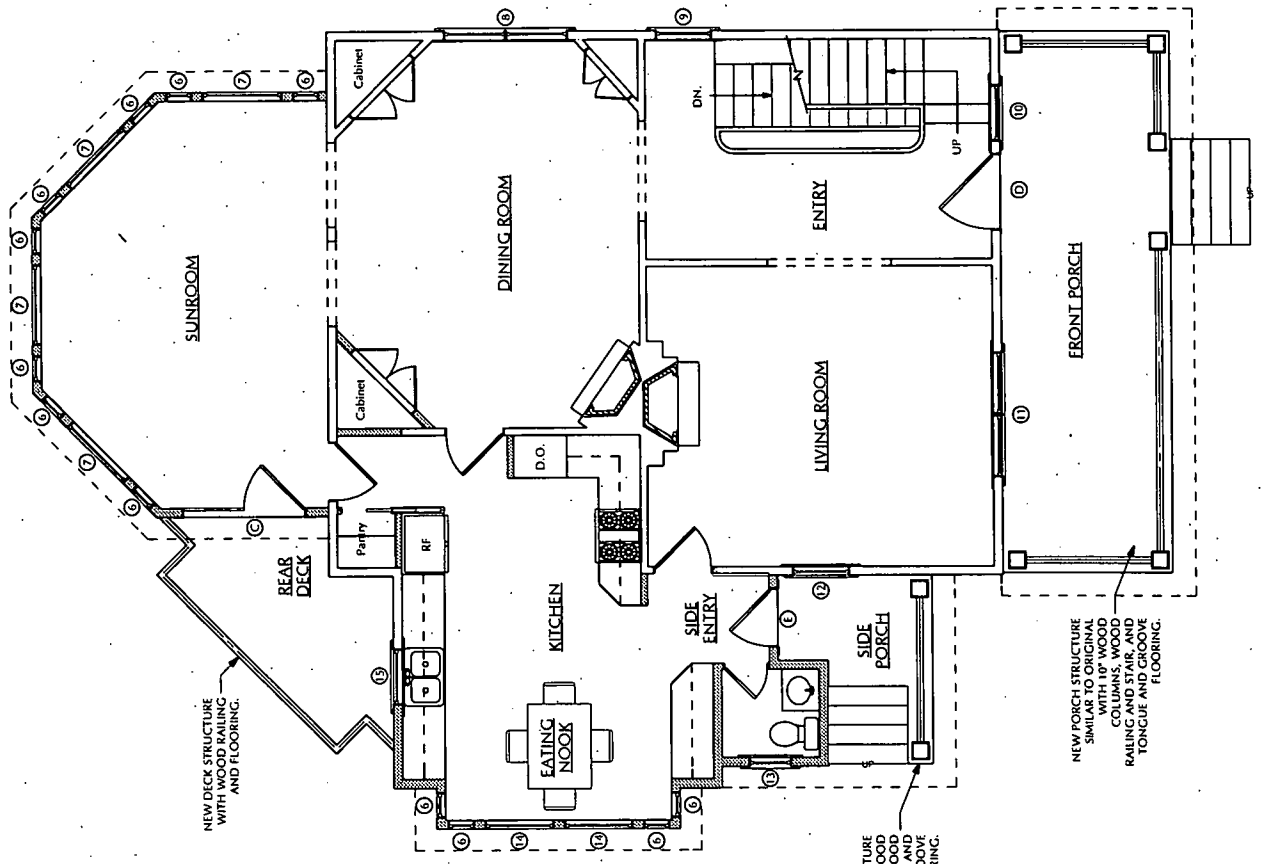
Proposed  
 First Floor Plan



Written dimensions on these drawings govern over all other dimensions. The contractor shall be responsible for all dimensions and conditions on the job for any variations from the drawings. The contractor shall be responsible for all dimensions and conditions on the job for any variations from the drawings.

DATE:	01.18.05
DRAWN:	
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DATE:	03.18.05
PROJECT:	
SCALE:	As Noted

A-3  
 SHEET 13 OF 19



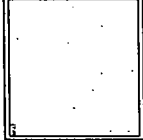
1 First Floor Plan  
 1/8" = 1'-0"

52



Capitol View Residence  
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 Kensington, MD 20895

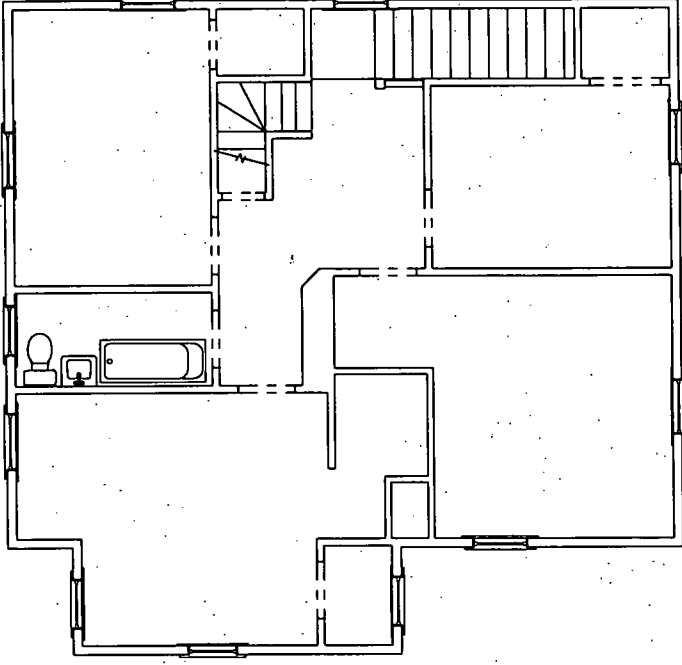
Existing  
 Second Floor Plan



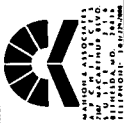
Written dimensions on these drawings shall have precedence over dimensions indicated on the drawings. Contractors shall verify and be responsible for all field conditions on the job and shall be responsible for any variations from the drawings and conditions.

SCALE:	As Noted
DRAWN BY:	
CHECKED BY:	
DATE:	03.18.05
REVISIONS:	
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SHEET  
 E-4  
 SHEET 5 OF 19



1 Second Floor Plan  
 1/4" = 1'-0"



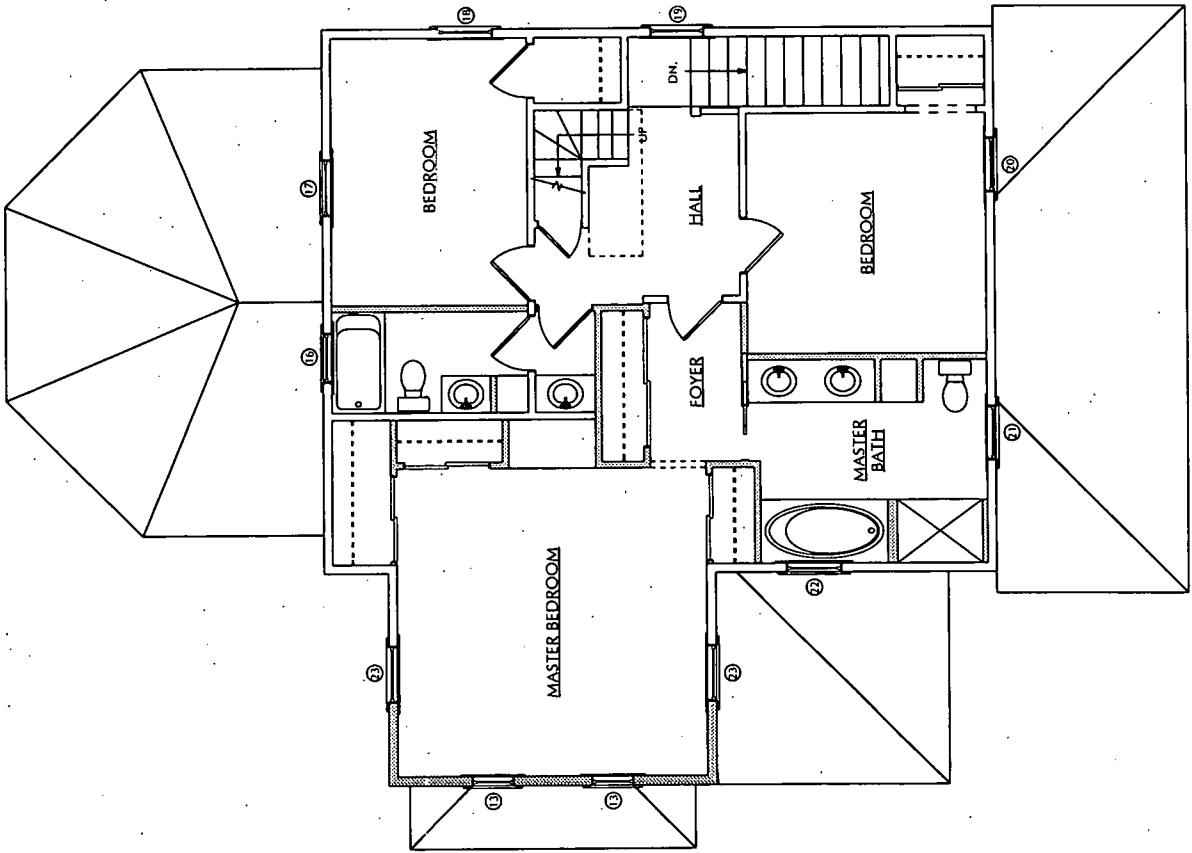
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Proposed  
 Second Floor Plan

These drawings are prepared by the architect and are not to be used for construction without the approval of the architect. The architect is not responsible for all dimensions and materials shown on these drawings. All other work shall be in accordance with the applicable building codes and standards.

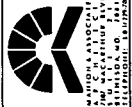
DATE:	As Noted
DESIGNER:	
CHECKED:	
DATE:	03.16.05
PROJECT:	
COMMENT	

SHEET  
 A-4  
 SHEET 14 OF 19



1 Second Floor Plan  
 1/4" = 1'-0"





ARCHITECTS  
 1400 EAST WISCONSIN  
 SUITE 100  
 ANNAPOLIS, MD 21403  
 TEL: 410-291-1111  
 FAX: 410-291-1112

Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

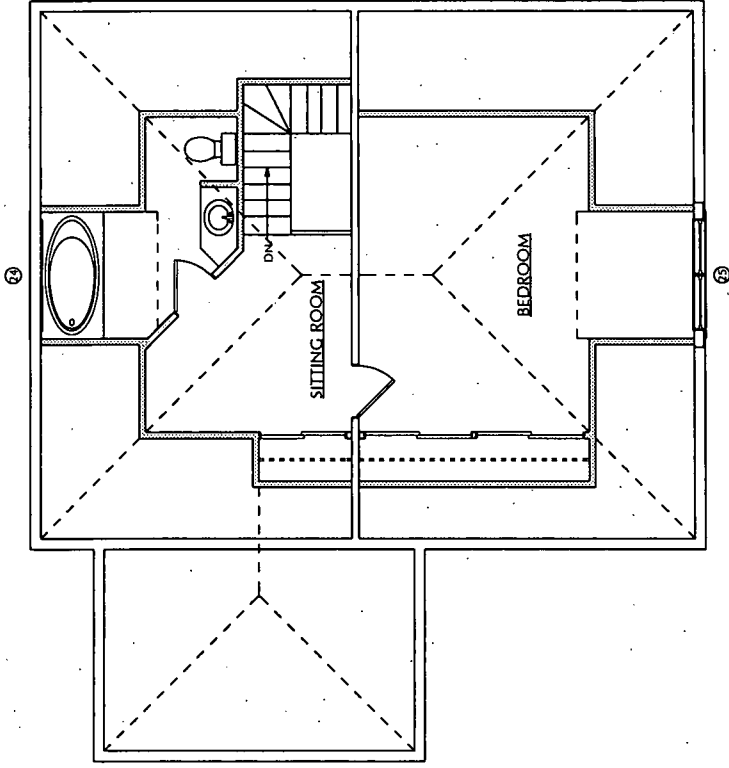
Proposed  
 Attic Floor Plan



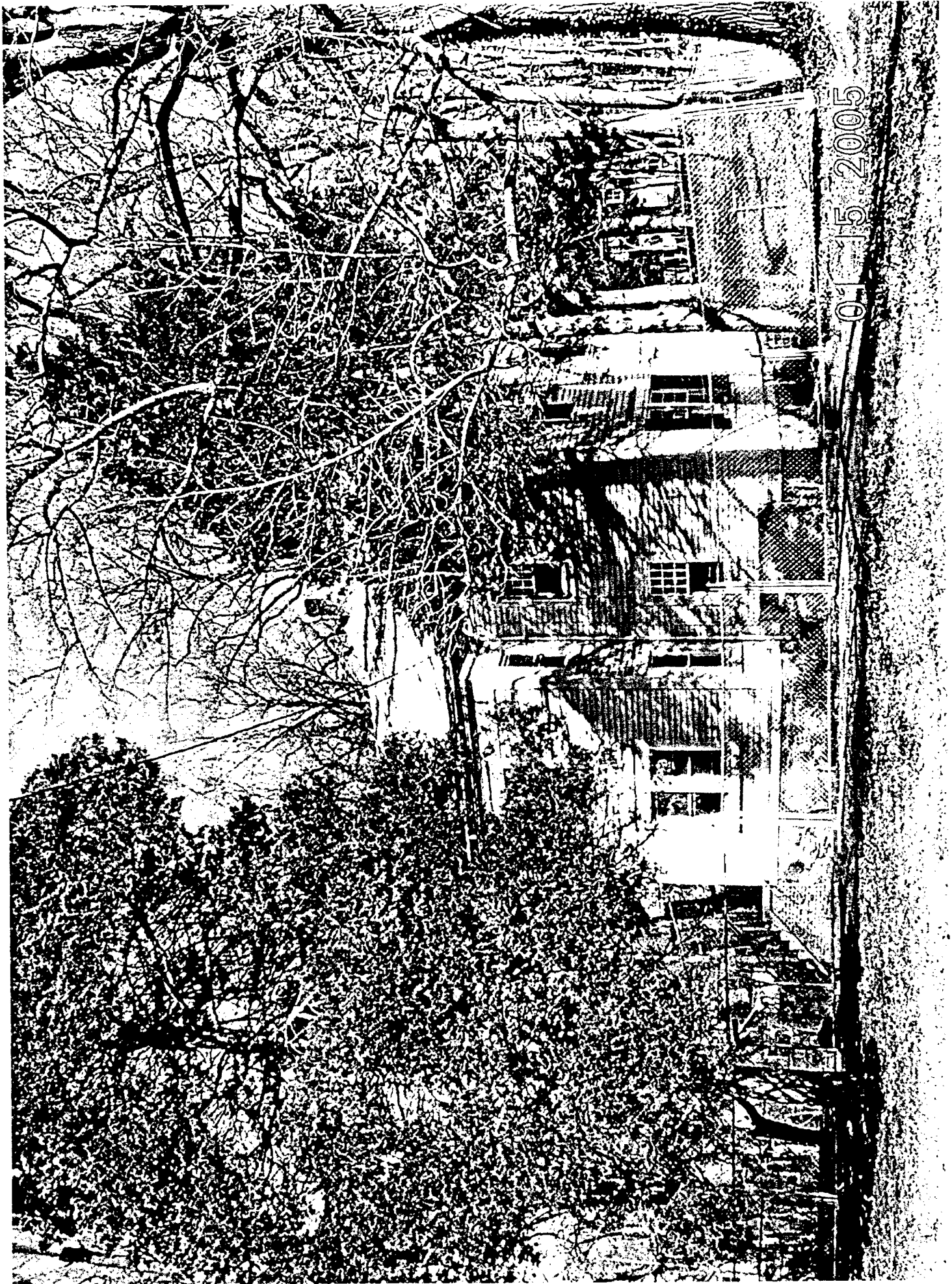
When dimensions on these drawings shall have precedence over those on the construction documents, the dimensions on these drawings shall prevail. Construction shall be in accordance with the specifications and conditions on the job and any variations from these dimensions and conditions.

NO.:	A-1042
DATE:	
PROJECT:	
DATE:	03.18.05
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PROJECT:	

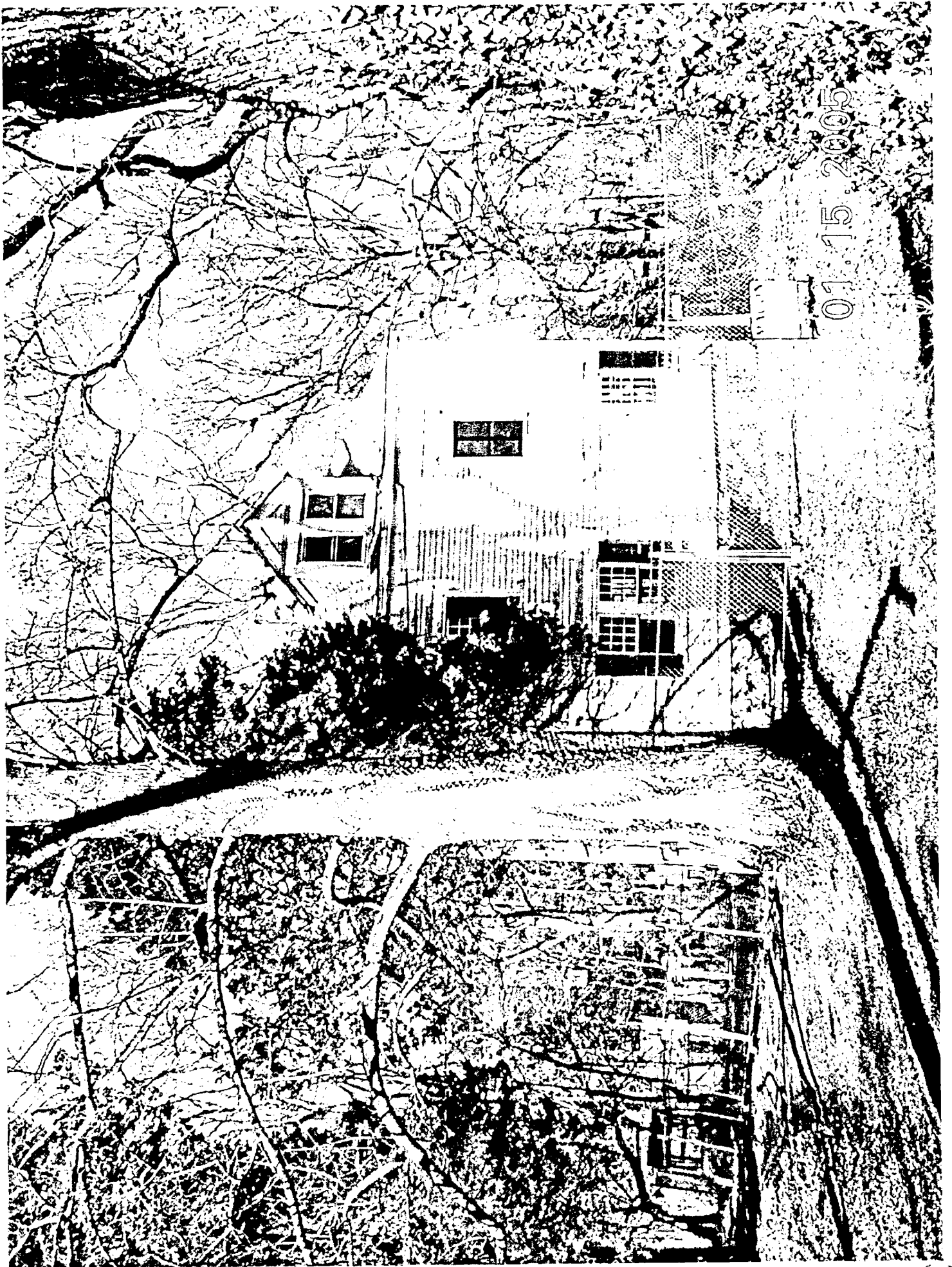
SHEET  
 A-5  
 SHEET 13 OF 19



1 Attic Floor Plan  
 1/4" = 1'-0"



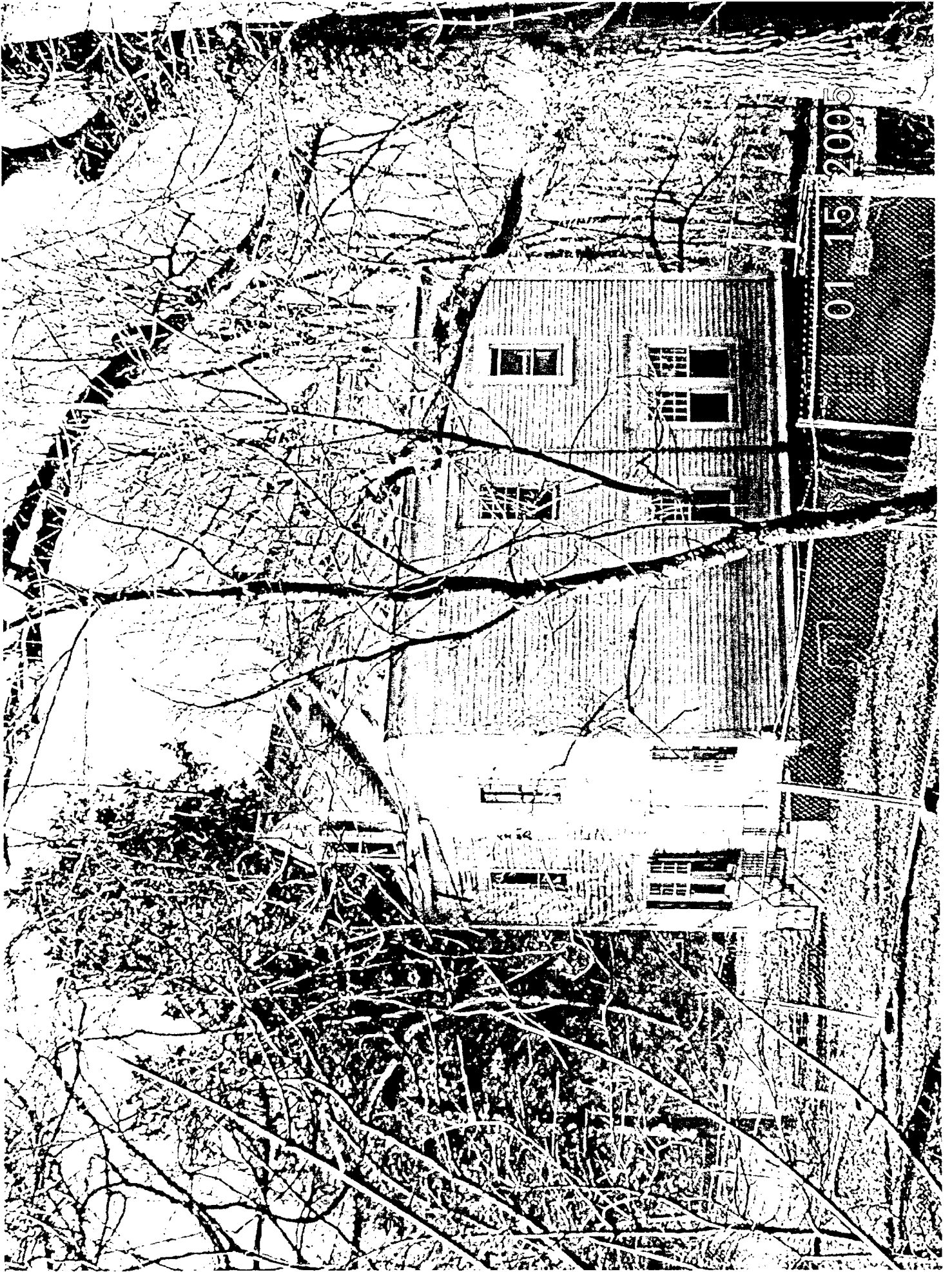
01.15.2005



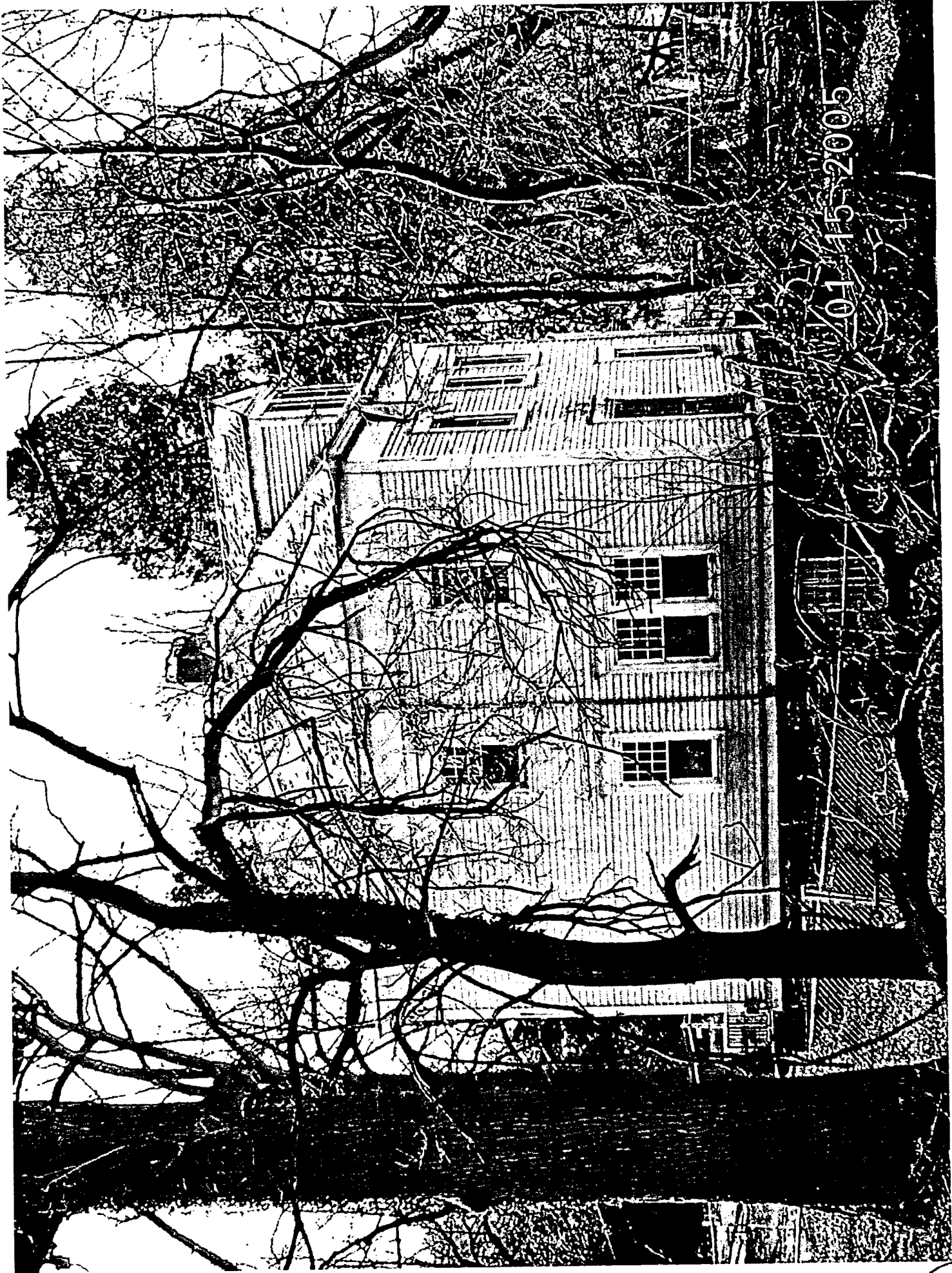
01.15.2005

(13)



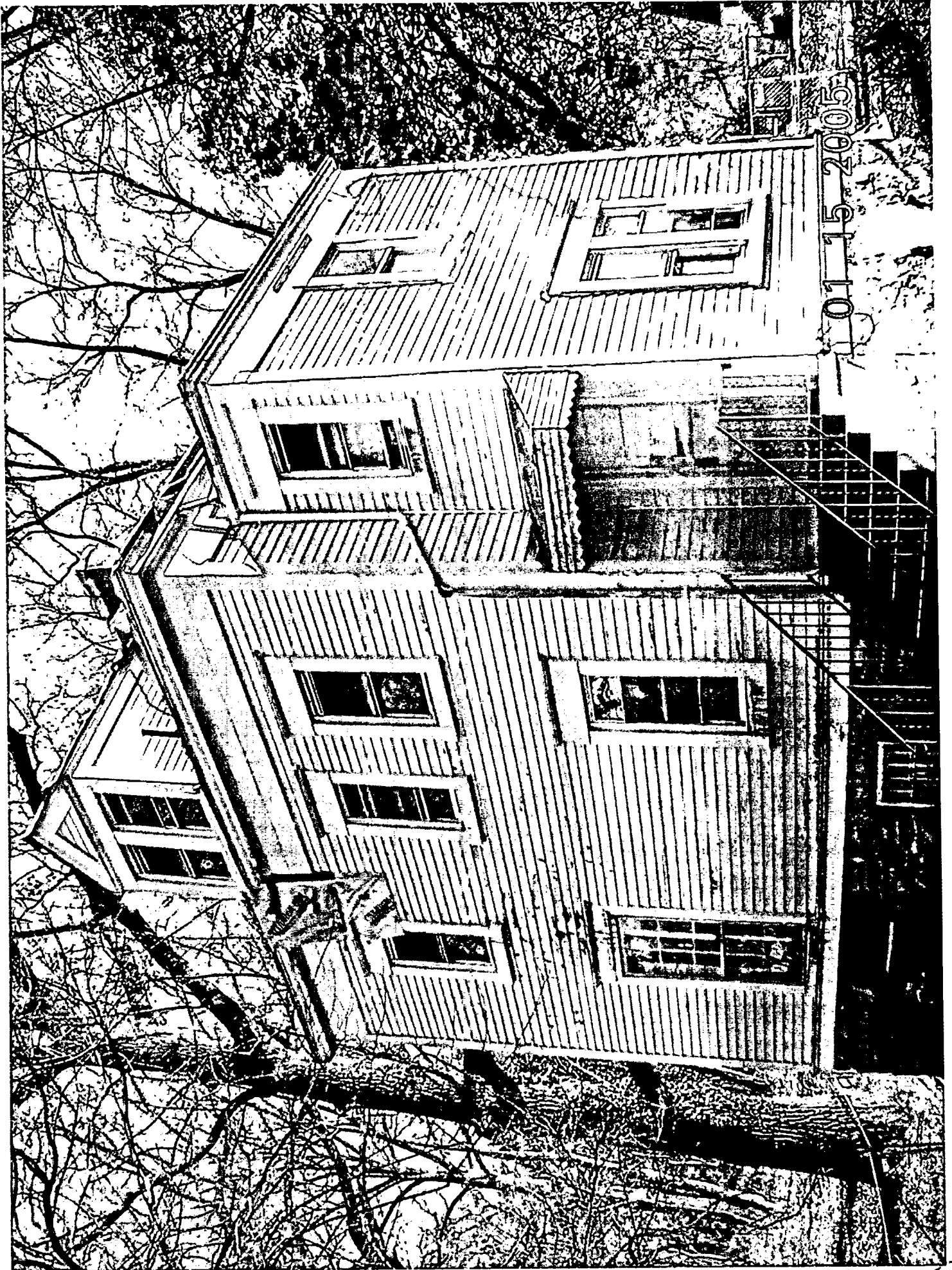


117



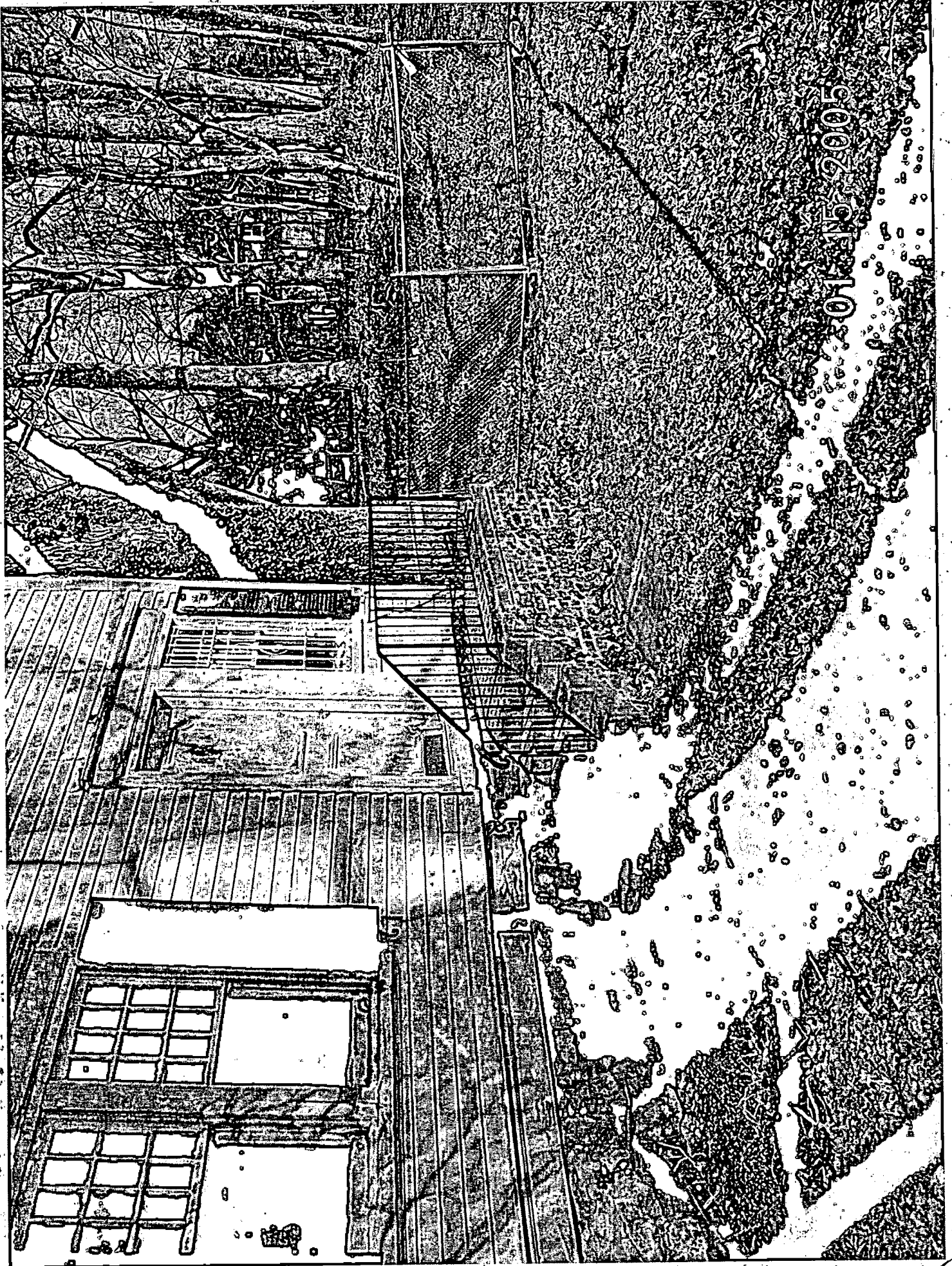
01-15-2005

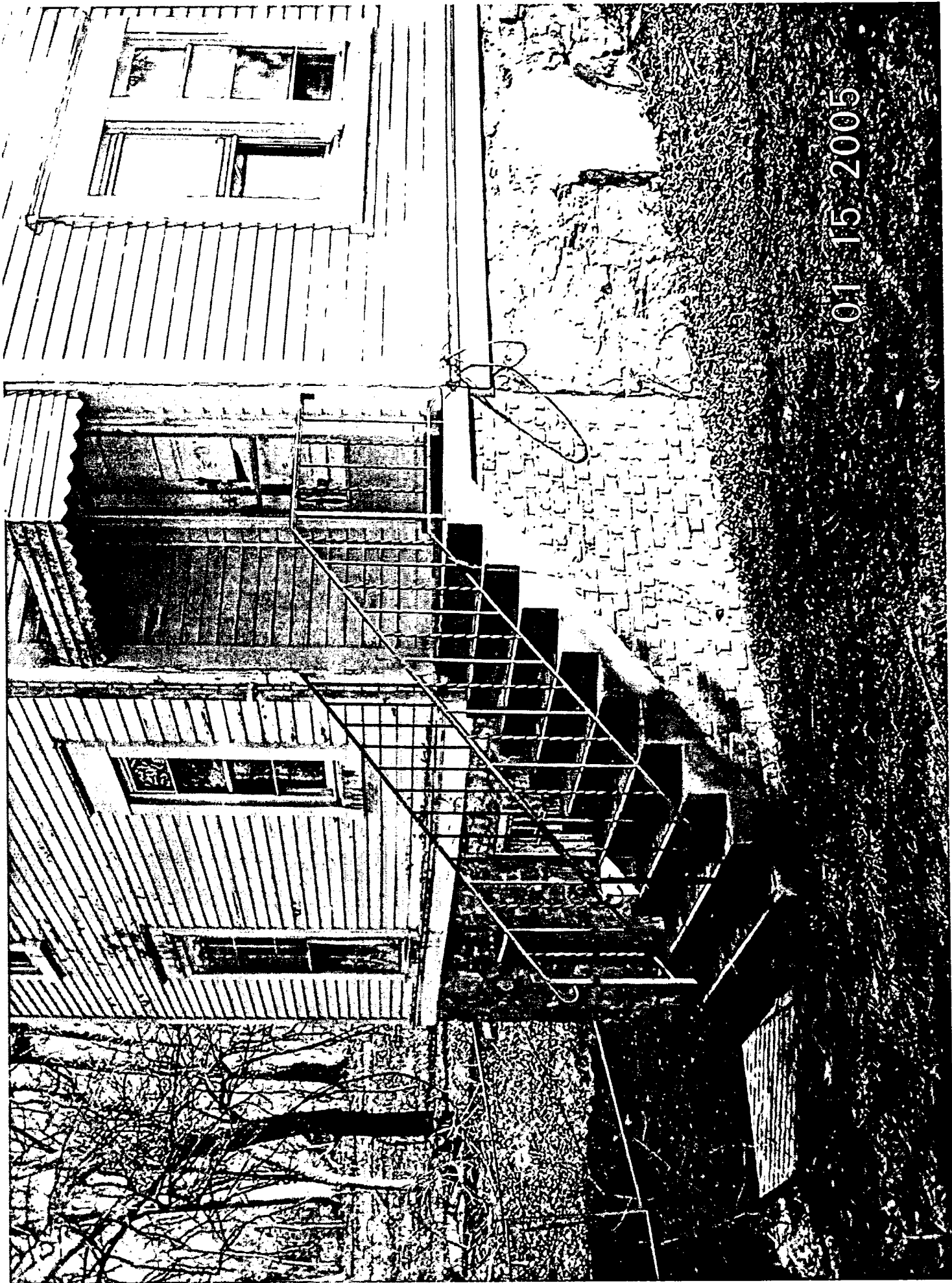
(39)



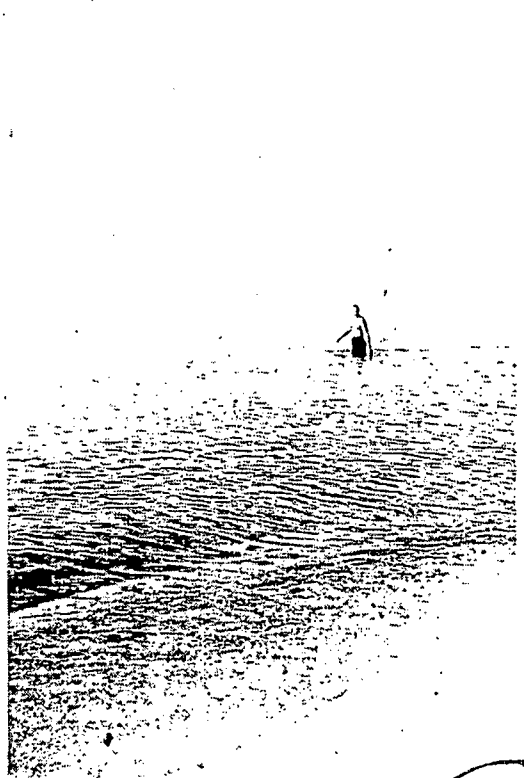
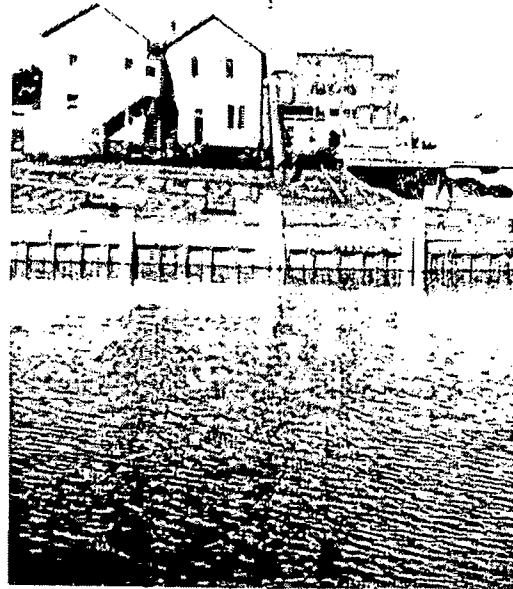
5/11

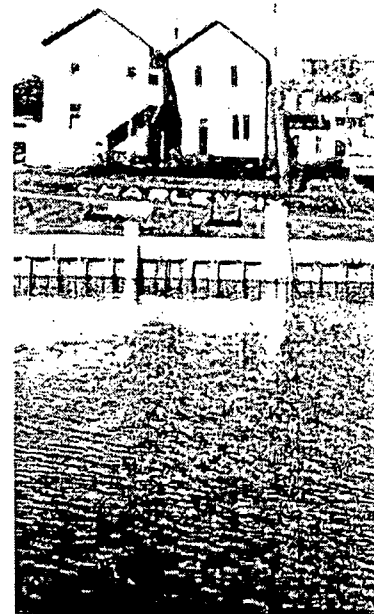
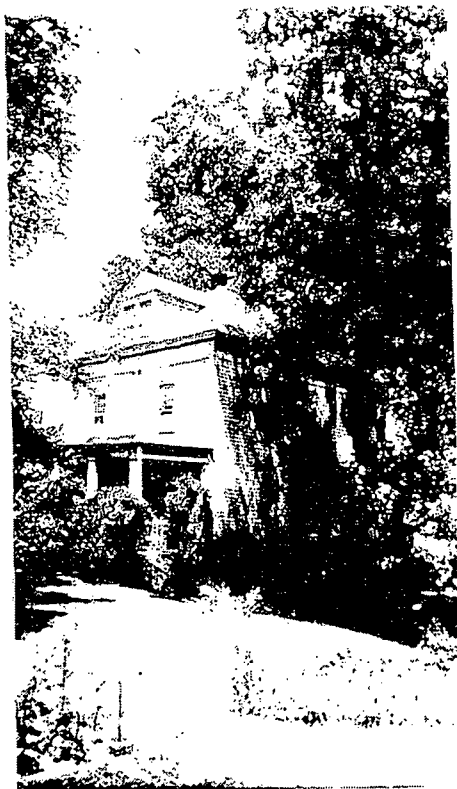






01 15 2005







CAPITOL VIEW PARK  
CITIZEN'S ASSOCIATION

SILVER SPRING, MARYLAND 20910

March 9, 2005

Historic Preservation Commission

Members of the Capitol View Park Historic Review Committee and the President of the Capitol View Park Citizens Association met at 10245 Capitol View Ave on Saturday March 5. The purpose of the visit was to review proposed rehabilitation and additions by Macon Construction (Carl Mahany, agent) to the Outstanding Resource at that address known as the Dwyer House.

As designed, the plans appear to too greatly compromise the Foursquare style of the house. There is a twin, mirror image house at 10109 Grant Avenue with an extension identical to what we see on the Dwyer House, demonstrating that it was an original design detail. (Topic #6). The removal and enlargement of this side extension so that it rises almost to the roof line is of special concern. Any reconstruction of this extension should continue to appear clearly subordinate to the main, original block of the house.

The bay window also introduces an element that obscures the look of the original house. It would be preferable to either exclude any bay windows or restrict the bay to a shallow square shape. We did not reach consensus regarding whether the addition of the sun room will negatively impact the historic character of the house. (Topic #8) We have greater concern about the addition of a triangular deck between the sunroom and the side extension, an anachronistic feature. Perhaps the deck could be brought more into character with the Foursquare architectural theme, possibly by roofing it or by adding detail similar to that of the new side and front porch.

The front porch was original to the house and is a key feature of Foursquares, so we are pleased to see this restoration. (Topic #4) The roof line was incorrectly drawn on the elevations, however, a point which could impact other design features. The pyramidal roof plan, pitch, and details are an important character-defining feature of this house and should be correctly rendered and preserved.

We believe that as much of the original building and materials as possible should be retained, with new work subordinate to the historic building, clearly differentiated and on secondary facades.

Thank you for the opportunity to comment. We are in substantial agreement with the staff review of this application and thank them for the attention they give to our community.



Sincerely,

Linda Winter, President  
Capitol View Park Citizens Association

Carol Ireland, Co-Chair  
Duncan Tebow, Co-Chair  
Gordon Bock, Restoration Expert  
Capitol View Park Historic Review Committee

1 very much in favor. I probably could be persuaded that even  
2 I'd accept the asphalt because they're doing the front  
3 portion there. Maybe I'd be even more willing to do that. I  
4 just don't see the circular drive.

5 MS. O'MALLEY: All right. All in favor of denial,  
6 raise your right hand. I'm sorry. It's unanimous. We'll  
7 move on to the preliminary consultations. We have Case A.

8 MS. OAKES: Case A is at 10245 Capitol View Area in  
9 the Capitol View Park Historic District. This is an  
10 outstanding resource within the district. The Commission may  
11 remember reviewing a subdivision proposal for this property  
12 that was approved by the Planning Board a month ago? And the  
13 applicant as promised he would is coming in for the  
14 rehabilitation and new addition to the historic house prior  
15 to the submittal of historic area work permits for the new  
16 construction of the property. So, we are here this evening  
17 to review preliminary consultation for those modifications.

18 As I said, the applicant is proposing to  
19 rehabilitate the existing house by removing and replacing in  
20 kind the wood siding and trim, removing the existing roofing  
21 material which has been disclosed that is an asphalt material  
22 so it would be replacement in kind, asphalt to asphalt,  
23 removing the existing chimney and rebuilding the exterior  
24 portion of that chimney stack to match the existing,  
25 constructing the original full width front porch. In your

1 handouts at your work session you got photographs, historic  
2 photographs that show the original full width front porch  
3 that they are looking to rebuild, and to rebuild and replace  
4 the existing six over one windows. I believe they're also  
5 some nine over -- alum windows as well. And they are also  
6 looking to remove and replace the existing one over one  
7 windows to replace them with more compatible six over one  
8 single divided -- windows.

9 In terms of new construction, the applicant is  
10 proposing to modify the existing house by removing the two  
11 story hip roof side extension and constructing a new two and  
12 a half story gable or hip roof side addition, excuse me,  
13 construct a one story addition side porch in front of the new  
14 gable or hip roof side addition. That would be a technical  
15 side addition. And then a rear one story -- basement  
16 octagonal subroof addition onto the rear.

17 With that said, given the late hour staff is just  
18 going to address the areas of concern. We are supportive of  
19 rehabilitation of the historic house and we commend the  
20 applicant's desire to do that. We'll note that the existing  
21 chimney that they're proposing to remove and rebuild, as you  
22 may remember from the interior photographs from the  
23 subdivision case, the existing chimney has created  
24 significant compromise in the structure, the structural  
25 integrity of the building and they're looking to remove that

1 so they can jack up the building that is literally falling in  
2 on itself currently with the chimney stack and rebuilding the  
3 exterior chimney from the roof line to match one of those  
4 existing.

5           In terms of the new construction we as staff are  
6 unclear whether the side extension on this house is original  
7 to the house. Our best guess, and we do need to get further  
8 detail on this, is that potentially maybe it was one story  
9 that was raised to a second level. The way it matches to the  
10 main massing of the house at its roof is very different.  
11 It's not very compatible as it would be as an extension.  
12 But, the foundation appears to be all the same period, so we  
13 need to do a little bit further investigation in the attic  
14 again. But our hunch is that it was originally a one story  
15 that they increased to a second story.

16           With that said we are concerned with the proposal  
17 to create a new two and a half story extension on that side.  
18 I don't have a problem with the expansion of the footprint,  
19 but I do have some concern of making a two and a half story  
20 addition on that side. I think that that just really  
21 provides a lot of massing especially at the roof structure  
22 level and are concerned with that.

23           In terms of the side, one story side porch  
24 addition/ you'll see in the floor plans the mud room, half  
25 bath addition. I don't have a problem with having a side

1 porch entry on this location. My concern is enclosing a  
2 space to put a half bath because as you know, once we enclose  
3 that space that becomes an interior space and even though the  
4 intent of the owner and it's shown in the plans is to retain  
5 the window and the exterior cladding, it would become an  
6 interior space that theoretically a future owner could  
7 demolish that wall and turn it into one larger space. So,  
8 I'd like to see that stay as just one open porch and not have  
9 any sort of addition on that.

10 And then finally the one story the basement, sun  
11 room addition to the rear -- it's compatible to the historic  
12 houses that we differentiated and we feel that we do not have  
13 any problems with its proposal. You also have in your  
14 handouts the local advisory panel's comments for Capitol View  
15 Park. I do have some photographs and the applicant and her  
16 architect is here. I'll be happy to entertain any questions  
17 you might have.

18 MS. O'MALLEY: The Citizens Association mentions a  
19 roof line?

20 MS. OAKES: Oh, yeah, sorry.

21 MS. O'MALLEY: Which roof line --

22 MS. OAKES: They're talking about the roof line for  
23 the reconstructed porch. And I would just add that you know,  
24 the pictures as you can see is a little hard to see, but I  
25 think looking at, as you know with any elevation and looking

1 at a porch detail, the roof is going to look much higher in  
2 pitch than it is in actual true view. And so we'll certainly  
3 work with the applicant. We know they're anxious to get that  
4 detail accurate. And we'll work on that so I don't think  
5 it's too problematic, so.

6 Reorient you to the site a little bit. You're  
7 actually looking at the side elevation with the subject two  
8 story extension addition that we were talking about earlier.  
9 This is the front of the house where the one story full  
10 width front porch will be added. And the opposite side  
11 elevation, to the rear of the house you will see, we will  
12 take this picture after the construction. You will see the  
13 octagonal one story with basement extension off the rear.  
14 And another view looking more towards the rear of the house  
15 to your right and to the side elevations. We'll also note  
16 that the applicant is not proposing to remove any trees as  
17 part of this proposal and is not looking to alter any of the  
18 driveways. That will potentially comment on later proposal  
19 with new construction of houses later on, but that's not a  
20 subject of proposal. And view of the rear. And as you can  
21 see, a lot of the window surrounds have been clad in aluminum  
22 and that needs to be removed. There's going to be a little  
23 bit of unknown once we take those off. And a view of the  
24 current front stoop and you can see very evident especially  
25 over to the left how much the house is sagging in on itself

1 and its side due to that chimney.

2 MS. O'MALLEY: Any other questions for staff?

3 MS. ALDERSON: Just one. I have a little confusion  
4 because I think I'm reading something different in the report  
5 than what I just heard in your presentation or at least in  
6 the staff's recommendation regarding the side addition. The  
7 report, we need to understand that your recommendation is  
8 that may be acceptable if that addition is as we believe  
9 probably not original, portions may be early. That it may be  
10 acceptable to replace that with another side addition as long  
11 as we are within the same height of the existing roof line  
12 and as long as the additional porch is not enclosed with a  
13 bathroom.

14 But, what I just heard you say early was that you  
15 had concerns about a side addition that rises the full height  
16 of the house.

17 MS. OAKES: My staff recommendation is a, that we  
18 don't have a problem with the modification of this if, in  
19 fact, we can determine that there has been alterations to the  
20 extension. With that said, you know, we could entertain a  
21 potential extension of this extension, increasing its  
22 footprint, not increasing it's height, but increasing its  
23 footprint to gain a small square footage. But we would  
24 really want to further examine all that before we do a firm  
25 decision on that to determine exactly what this was

1 historically, whether it was an extension or an addition.  
2 Because I think that needs to be clearly defined if it was a  
3 one story or if there was a second story added on top of it.

4 MS. WRIGHT: And we'll need to, you know, again, I  
5 think the folks with the Capitol View Park Citizens  
6 Association have provided some useful information, you know,  
7 about the fact that there is a mirror image house at 10109  
8 Grant Avenue that's identical to the Dwyer House. And it  
9 makes them believe that this side bay is actually an original  
10 element, not a later addition. But I think we just need more  
11 investigation.

12 MS. OAKES: And the roof is a little bit different  
13 on that side addition than this one is here. Like I said we  
14 just need to investigate a little bit further and we'll do  
15 that with the current owner.

16 MS. O'MALLEY: So would the applicant come up.

17 MR. MAHANEY: My name is Carl Mahaney. I'm the  
18 owner of the property and this is Tom -- and I'd be happy to  
19 answer any questions you have. I do want to stress we do  
20 intend to do a really high quality job of restoring this  
21 house. The front of the, the two primary views of this house  
22 from the street that we're restoring an old porch. We're  
23 going to get as close as possible to the old photograph. And  
24 the other most primary new, we're not suggesting any change.  
25 I think that the addition on the left side is important so



1 that this house will meet the needs of a modern family. When  
2 this house was built the kitchen was in the basement and  
3 meals were sent up to the dining room by a dumb waiter that's  
4 located in the corner of the octagonal dining room. And  
5 that's probably not what this new family is going to be  
6 doing. There's going to be a nice big kitchen on that floor.  
7 And they're probably going to expect a powder room as  
8 opposed to putting it out back.

9 And I think part of the continued use and liability  
10 of these historic structures depends on some flexibility that  
11 allows them to still work for their original views. That's  
12 pretty much all I can about it.

13 MR. -- : I'm Tom -- the architect that's working  
14 with the house. We've work together on historic buildings  
15 for almost 20 years. The addition -- is actually appropriate  
16 -- and we felt that because when you saw the slides it's  
17 fairly substantial -- that this is the dominant side -- the  
18 appearance from the street. And in the future when we  
19 hopefully do the addition to houses, this side will be fairly  
20 well hidden. This may be an area that we could get the  
21 additional space. The house even with the addition now, the  
22 house now is about 900 square feet. Even with the addition  
23 on the first floor, we're only at about 300 square feet.  
24 It's going to be a really fairly tight, fairly modest house.  
25 The new house will be hopefully in the same genre and we

1 intend to make this look somewhat like a little village.  
2 Some of the imagery that we're using here according to period  
3 new houses. So we picked this side because we thought it  
4 would be the least objectionable and it also seemed to keep  
5 the imagery of the house in two primary views than the other  
6 one ---. And we're constrained in the back by the property  
7 line. We put them on plan, sheet A-3 to give you some idea  
8 of how tight the setbacks on this particular property are.  
9 We do not have a problem with modifying the roof. We were  
10 trying to present -- one a gable which -- Department of  
11 Interior standards. We were trying to make it look somewhat  
12 different than the original house. And the second was the --  
13 which was more fairly standard ---. So we really didn't have  
14 a strong feeling about the roof imagery itself and could, in  
15 fact, be dropped down --.

16           Looking at the building and when you go over there  
17 again with Michele, Carl can address this because he's a  
18 builder, but there are a number of cutoff headers and obvious  
19 modifications to this structure in that area because very  
20 possibly this piece was brought up. The foundation looks  
21 original so we think Michele was right that this property was  
22 once restored.

23           MS. O'MALLEY: Questions?

24           MR. BRESLIN: To start with, it's great to see you  
25 back and it's great to see the project. It's great to see

1 that the house is going to get the attention that it  
2 deserves. About the specific proposal, the first thing that  
3 I saw was the putting windows, both -- up in the attic. And  
4 it looked to me that the front of the house has a dormer. By  
5 adding windows and dormers to the side you're kind of putting  
6 an element to the side of the house that doesn't want to be  
7 there. You're making the side prominent. You've given the  
8 side a prominence -- and I just wanted to comment on that.

9 MR. MAHANEY: There are two dormers right now that  
10 face the front and the side, I mean the front and the rear.  
11 There is no dormer on the side, you're correct. And --

12 MR. BRESLIN: The massing of the house is oriented  
13 front and back. You're changing that which is not  
14 necessarily a bad thing but I wanted to hear your comments on  
15 that.

16 MR. MAHANEY: We felt that we were trying to give  
17 the house a little more massing. The new houses are going to  
18 be most likely slightly larger than this, but we're going to  
19 try to keep the same scale. In order to play down the scale  
20 in the new houses we were going to L shapes or H shapes  
21 something like that so that the overall massing in the houses  
22 will look like a shape with additions to it. So the new  
23 houses are going to look like a shape with additions. And  
24 we're also trying to set some precedent with the old house so  
25 that the old house has enough statute, etc. to the new

1 houses. And we felt maybe bringing this roof over would give  
2 it more massing.

3 MR. BRESLIN: You think the new houses --

4 MR. MAHANEY: I'm sorry?

5 MR. BRESLIN: Will the new houses have a third  
6 level?

7 MR. MAHANEY: We haven't decided that. We've only  
8 sketch some very preliminary stuff. But it will have some  
9 useful attic.

10 MR. BRESLIN: So assume an attic because of the  
11 dormers?

12 MR. MAHANEY: Again, we're going to have to reduce  
13 footprints so these aren't going to be big rambling houses.  
14 These are going to be portioned somewhat like this one. When  
15 you see it, well it almost has the proportion of an old  
16 grange building. It doesn't look, foresee it as residential  
17 houses -- public buildings.

18 MR. FULLER: I guess a couple of comments. I'll  
19 echo Commissioners. Congratulations for coming back in with  
20 the renovation before you come in with new houses and we're  
21 glad to see you back in so quickly. And from my perspective  
22 I'm also glad to see that say the percentage of increase from  
23 a massing standpoint I think you're on the right scale. You  
24 know, you're not trying to overpower the house. So, from my  
25 perspective it really gets to be levels of detail. You know,

1 when I first looked at your site plan, I'm like why is the  
2 addition on that side because it's facing the street. But  
3 then I also hear your comments that that's where your new  
4 buildings are going. So maybe there's a logic there. I like  
5 the fact that you're essentially keeping two faces of the  
6 house so you can really read through the property. And  
7 whether you, if it turns out that the addition on the left  
8 looks like it's original, then maybe you could do the  
9 addition on the right. I just would like to see you continue  
10 in the same approach that it's one side or the other and I  
11 think the addition to the rear is very successful. That it  
12 really clearly identifies itself separately as a distinct  
13 architecture that doesn't overpower. I think that's good.

14 I'm not sure of either of the two solutions right  
15 now on the left side completely make me feel wonderful. But  
16 you're in the right ballpark. I mean it wants to feel  
17 different from what's there. So as I said the overall  
18 massing's there. I'm just not sure if all the pieces are  
19 completely together. But there's only fine differences  
20 between your Scheme A Scheme B that you know, you essentially  
21 presented the same option.

22 But, as I said, in general I think it's very much  
23 the kind of thing we'd like to see.

24 MS. ALDERSON: I have a repair/restoration question.  
25 And I was very pleased to see the staff acknowledge how

1 distinctive the roofing is that wonderful material that I'm  
2 sure is shot now. And wanted to know what your thoughts were  
3 about the recommendations to use materials other than asphalt  
4 to recreate the pattern in the roof.

5 MR. MAHANEY: Well, I'm not sure that that's exactly  
6 the recommendation.

7 MS. ALDERSON: I thought you were recommending  
8 something other than asphalt for the roof.

9 MS. OAKES: No, just recommending that we clarify  
10 what the existing roofing material is. And he concurred that  
11 it was asphalt so --

12 MS. ALDERSON: Oh, I thought you had said  
13 documentation on something different having been used  
14 earlier. Sorry.

15 MR. MAHANEY: There is reference in the historic  
16 inventory that is dated back from 1976 that the house had a  
17 slate roof with a -- inlay. But that got torn off before I  
18 took custody.

19 MS. ALDERSON: Okay. Thanks. Sorry to hear that.

20 MR. MAHANEY: Yeah.

21 MR. ROTENSTEIN: Since we're down towards this end,  
22 I remember the subdivision hearing very well. And I think  
23 you're doing a remarkable job with the direction you're  
24 headed. The only comment I really have is the concern that's  
25 been articulated about that extension on the side. And

1 thinking very closely about the way your proposed roof line  
2 would intersect with the existing. Otherwise your attention  
3 to restoring the original details of the house, the porch,  
4 respect for the materials I think that's to be commended.

5 MS. WILLIAMS: Yeah, I would concur with my fellow  
6 Commissioners. It's great to see you work around the house  
7 and generally I think it's a great step forward. My only  
8 real comment is that this is sort of a cube like building and  
9 the added side wing takes away from that somewhat. It makes  
10 it feel more like an L shaped building as if that's the way  
11 it were originally. And I think the architect alluded to the  
12 fact that you're in a way trying to make it look like that so  
13 that you can use it as a stepping stone for the other new  
14 buildings. And I just think that might be a little bit of a  
15 mistake. That is the sort of character of this building is  
16 its cubicness. And I hate to see that eliminated.

17 → I don't have a problem with the side wing. I just  
18 think that there's way too much emphasis in the roof line  
19 there. It's almost like your gable is an enclosed pediment  
20 as opposed to just a simple gable. I mean it's almost like  
21 it's a formal entablature. And I think that kind of draws  
22 too much attention to it. Personally I'd like to see it just  
23 two stories as opposed to two and a half. But I don't know  
24 how you deal with a flat roof. I'm not sure how you deal  
25 with that and you lose your bathroom in the attic level.

1 But, you know, if you can figure it out, that's what I'd like  
2 to see, just two stories so that it remains a wing and not an  
3 L. And then, okay, L is fine.

4 MS. O'MALLEY: Commissioner Burstyn? Any other  
5 comments?

6 MS. ANAHTAR: Yeah, I think I can only just -- the --  
7 -- for restoration, the design, not the side and rear  
8 additions. I don't think they go with the original style of  
9 the house. They take away from the original historic house.  
10 I think more like box bay type additions would be more  
11 appropriate with this design, not the octagonal addition in  
12 the back. I think it's going to look like one of those new  
13 houses.

14 MS. O'MALLEY: Well, I will add my comments. I have  
15 a problem with the side addition as well, particularly with  
16 the third floor. And did you thoroughly investigate the idea  
17 of having two stories in the back rather than bumping out so  
18 much on the side?

19 MR. MAHANEY: We did, in fact we thought when this  
20 composition is done and considering the trees that that would  
21 actually be more visible. If you remember the one shot  
22 Michele showed you that she said you will see the original  
23 addition on the back, you will see that coming down the road  
24 and as you're coming around the house with those two cedar  
25 trees you won't be able to see the left side of the house in

55



1 the drawings that you're looking at where we've done the  
2 kitchen and the two story addition. That will be much harder  
3 to see in the composition of the site and the right side. So  
4 we angled that back purposefully for two reasons. We had a  
5 setback issue and we thought that it would feel like it -- so  
6 the composition of the site, this was the less visible place  
7 to put the second story. We did, in fact, putting the master  
8 bedroom back because of the way the site is.

9 MS. O'MALLEY: You could plant some trees on the  
10 other side.

11 MR. MAHANEY: Yes.

12 MS. O'MALLEY: Well, maybe if there are things that  
13 you can do about the roof --

14 MR. MAHANEY: I think there is --

15 MS. O'MALLEY: -- and even bring it in a few feet so  
16 it doesn't stick out so far.

17 MR. MAHANEY: We could, I think we can address the  
18 roof. I think we could also probably do something where the  
19 first and second floor is maybe not out of line, possibly the  
20 second floor doesn't go as far as the first floor.

21 MS. O'MALLEY: are there any other comments from the  
22 Commissioners? All right. Does that give you something to  
23 work on?

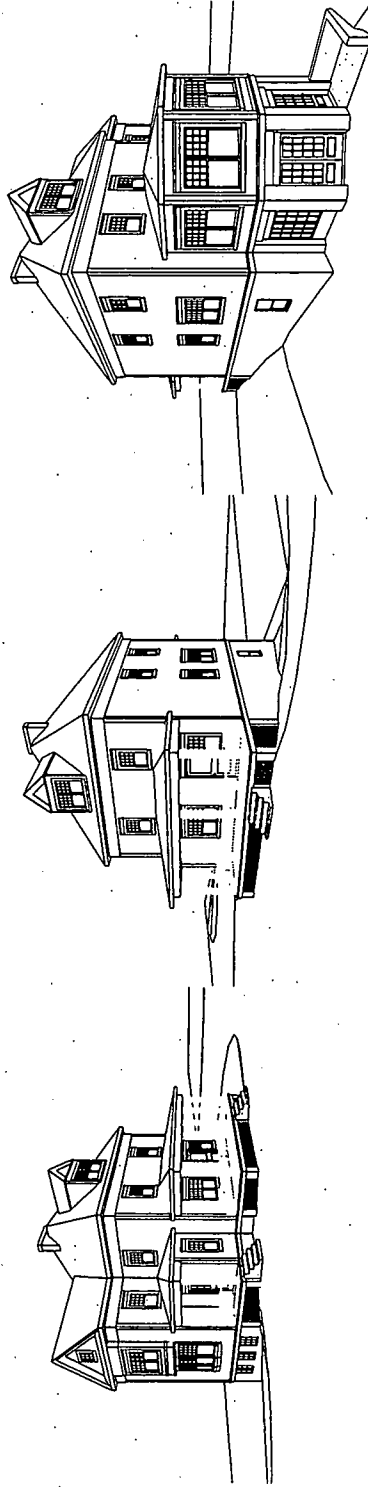
24 MR. MAHANEY: Yes.

25 MS. O'MALLEY: Thank you. And the last preliminary

# Renovation to the Capitol View Residence

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## Scheme A



1 Front Perspective  
12.08

2 O-Front Perspective  
12.08

3 Rear Perspective  
12.08

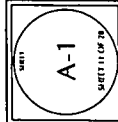


Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Perspectives  
Scheme A

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DATE:	As Noted
DESIGNER:	
DATE:	01.10.05
PROJECT:	
SCALE:	
BY:	
CHECKED:	





Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

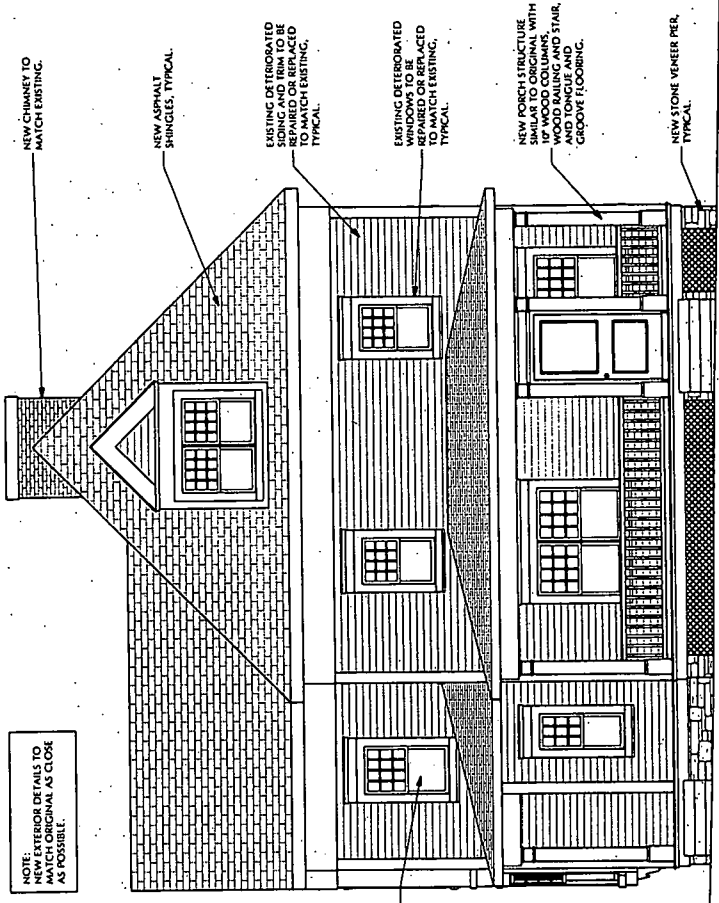
Front Elevation  
Scheme A

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DATE:	01.10.08
PROJECT:	10412 MONTGOMERY AVE
CLIENT:	10412 MONTGOMERY AVE
ARCHITECT:	Capitol View Architecture, Inc.
SCALE:	AS SHOWN
DATE:	01.10.08
PROJECT:	10412 MONTGOMERY AVE
CLIENT:	10412 MONTGOMERY AVE
ARCHITECT:	Capitol View Architecture, Inc.
SCALE:	AS SHOWN

DATE: 01.10.08  
PROJECT: 10412 MONTGOMERY AVE  
CLIENT: 10412 MONTGOMERY AVE  
ARCHITECT: Capitol View Architecture, Inc.  
SCALE: AS SHOWN

A-6  
SHEET 16 OF 25



NOTE:  
NEW EXTERIOR DETAILS TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.

NEW WINDOWS TO BE WOOD S.O.L. WITH 7/8\"/>

1 Front Elevation  
1/4" = 1'-0"

58

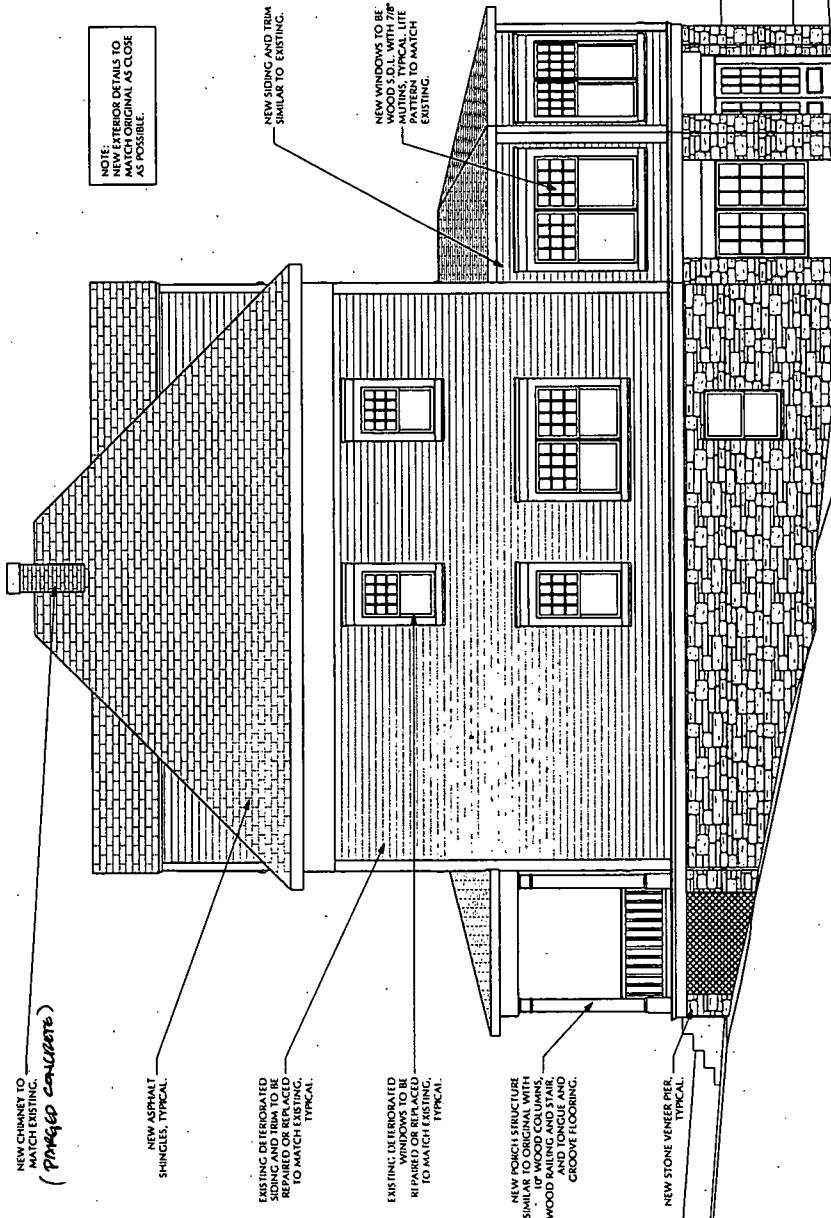
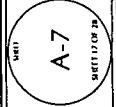


KAPLAN ASSOCIATES  
 10412 MONTGOMERY AVE  
 KENSINGTON, MD 20895

Right Side Elevation  
 Scheme A

Project: A-7  
 Date: 03/18/05  
 Scale: 1/4" = 1'-0"

DATE	DESCRIPTION



NOTE:  
 NEW EXTERIOR DETAILS TO  
 MATCH ORIGINAL AS CLOSE  
 AS POSSIBLE.

NEW SIDING AND TRIM  
 SIMILAR TO EXISTING.

NEW WINDOWS TO BE  
 WOOD S.D.L. WITH 7/8"  
 MUNTINS, TYPICAL LITE  
 FINISH TO MATCH  
 EXISTING.

NEW CHIMNEY TO  
 MATCH EXISTING.  
 (Parged concrete)

NEW ASPHALT  
 SHINGLES, TYPICAL.

EXISTING DETERIORATED  
 SIDING AND TRIM TO BE  
 REPAIRED AND MATCHING  
 TO MATCH EXISTING  
 TYPICAL.

EXISTING DETERIORATED  
 WINDOWS TO BE  
 REPAIRED AND MATCHING  
 TO MATCH EXISTING  
 TYPICAL.

NEW PORCH STRUCTURE  
 SHINGLES, TYPICAL.  
 UP WOOD COLUMNS,  
 WOOD BAILING AND STAIR,  
 AND TONGUE AND  
 GROOVE FLOORING.

NEW STONE VENEER PER  
 TYPICAL.

1 Right Side Elevation  
 1/4" = 1'-0"

Handwritten mark: a circle containing the number '59' and a signature.

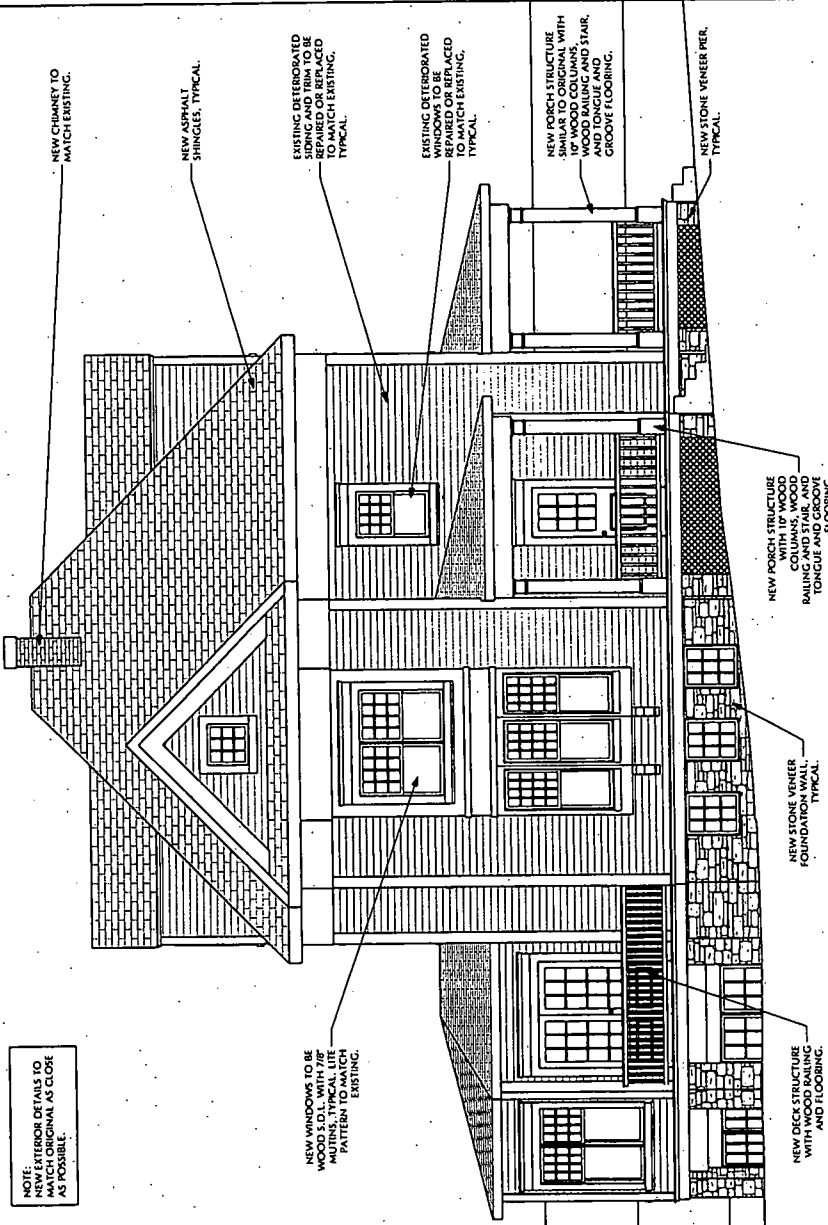


Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Left Side Elevation  
 Scheme A

Project:	As Needed
Team:	
Architect:	
Date:	03/18/08
Revision:	

SHEET  
 A-9  
 SHEET NO. OF 13



NOTE:  
 NEW EXTERIOR DETAILS TO  
 MATCH ORIGINAL AS CLOSE  
 AS POSSIBLE.

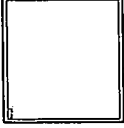
1 Left Side Elevation  
 1/4" = 1'-0"

60



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Rear Elevation  
 Scheme A

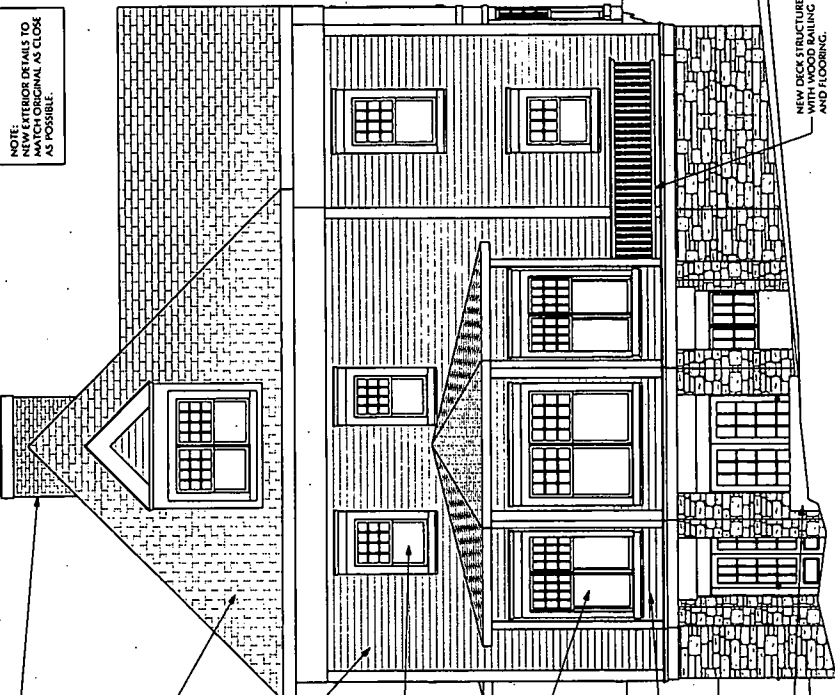


Notes:  
 1. All work shall be in accordance with the approved plans and specifications.  
 2. The contractor shall be responsible for obtaining all necessary permits and approvals.  
 3. The contractor shall maintain the site in a safe and clean condition at all times.

DATE:	02.10.05
PROJECT:	Capitol View Residence
ARCHITECT:	[Firm Name]
SCALE:	1/4" = 1'-0"

SHEET  
 A-8  
 SHEETS OF 75

NOTE:  
 ALL FINISHES TO MATCH ORIGINAL AS CLOSE AS POSSIBLE.



NEW CHIMNEY TO MATCH EXISTING.

NEW ASPHALT SHINGLES, TYPICAL.

EXISTING DETERIORATED SIDING TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

EXISTING DETERIORATED SIDING TO BE REPAIRED OR REPLACED TO MATCH EXISTING, TYPICAL.

NEW WINDOWS TO BE MATCHED TO EXISTING PATTERNS, TYPICAL. LITE MATCHES TO MATCH EXISTING.

NEW SIDING AND TRIM SIMILAR TO EXISTING.

NEW STONE RETAINING WALL.

NEW DECK STRUCTURE WITH WOOD RAILING AND FLOORING.

1 Rear Elevation  
 1/4" = 1'-0"

61  
 24





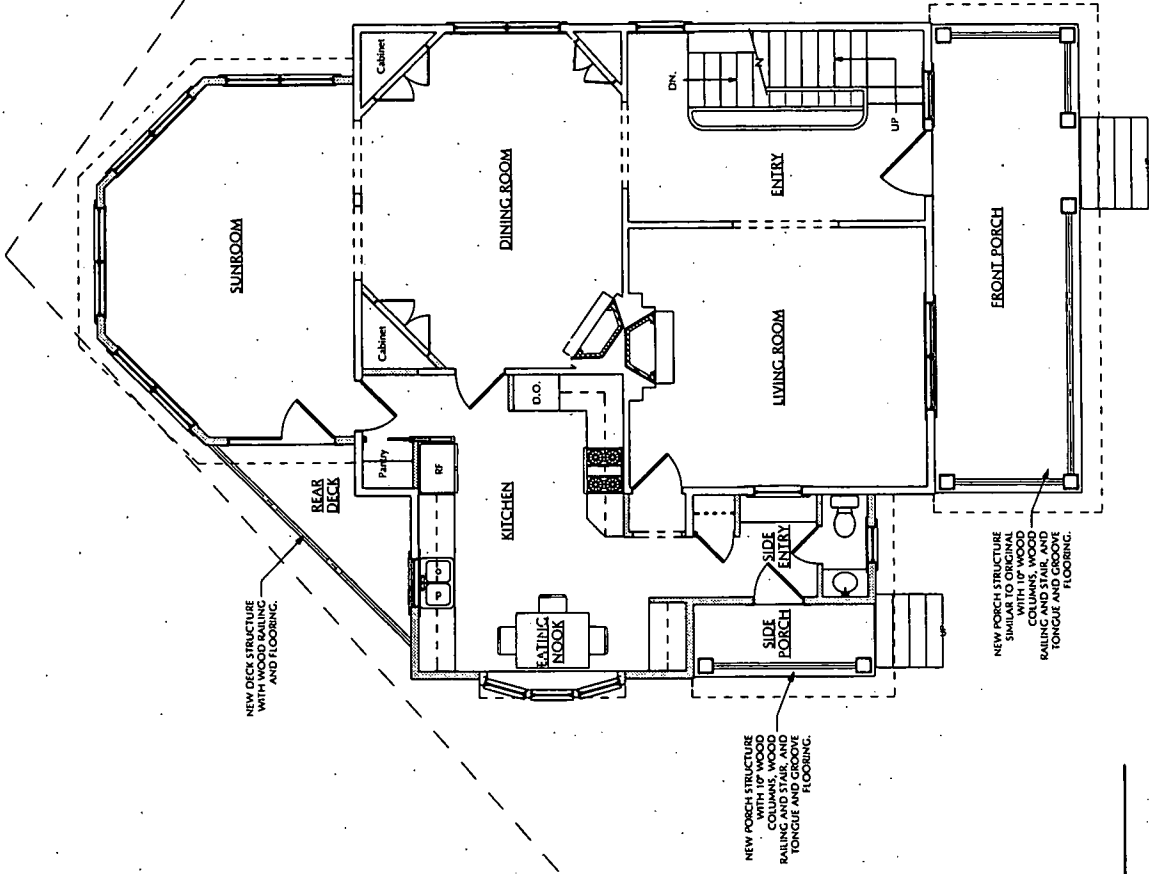
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

First Floor Plan  
Scheme A

Notes: All dimensions are in feet and inches. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the wall unless otherwise noted.

DATE:	AS NOTED
DESIGNER:	
PROJECT:	
DATE:	01.10.08
PROJECT:	
DATE:	
PROJECT:	
DATE:	
PROJECT:	

Sheet 1 of 2  
A-3  
SHEET 1 OF 2



1 First Floor Plan  
1/8" = 1'-0"

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63  
PA





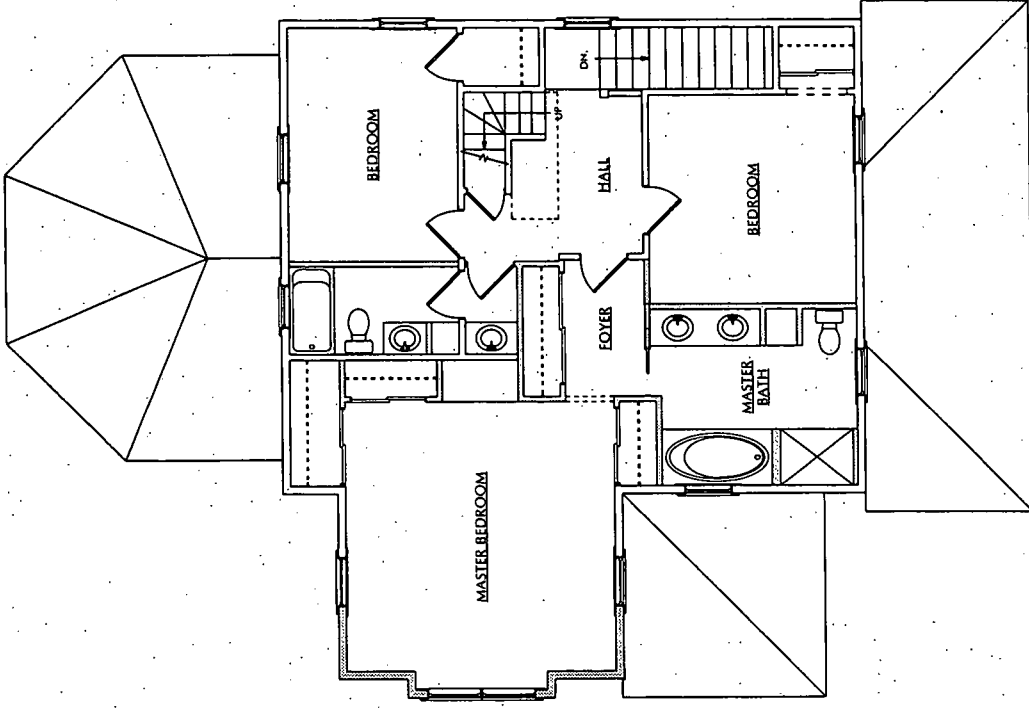
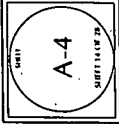
Capitol View Residence  
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Second Floor Plan  
 Scheme A



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DATE:	07.10.05
PROJECT:	Capitol View Residence
DESIGNER:	Architectural Firm
SCALE:	As Shown



1 Second Floor Plan  
 1/8" = 1'-0"

02  
 40



Capitol View Residence  
 10412 Montgomery Ave  
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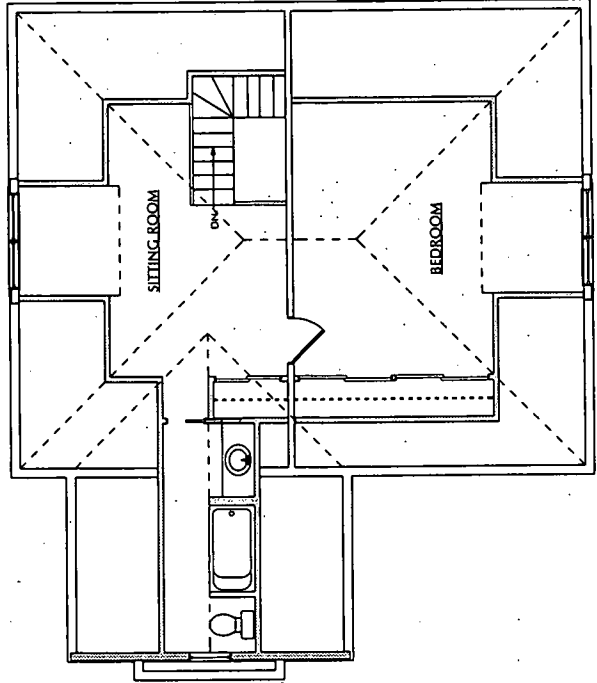
Attic Floor Plan  
 Scheme A



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DATE:	01.10.05
PROJECT:	
SCALE:	
DESIGNER:	
ARCHITECT:	
CLIENT:	

SHEET  
 A-5  
 SHEET 11 OF 24

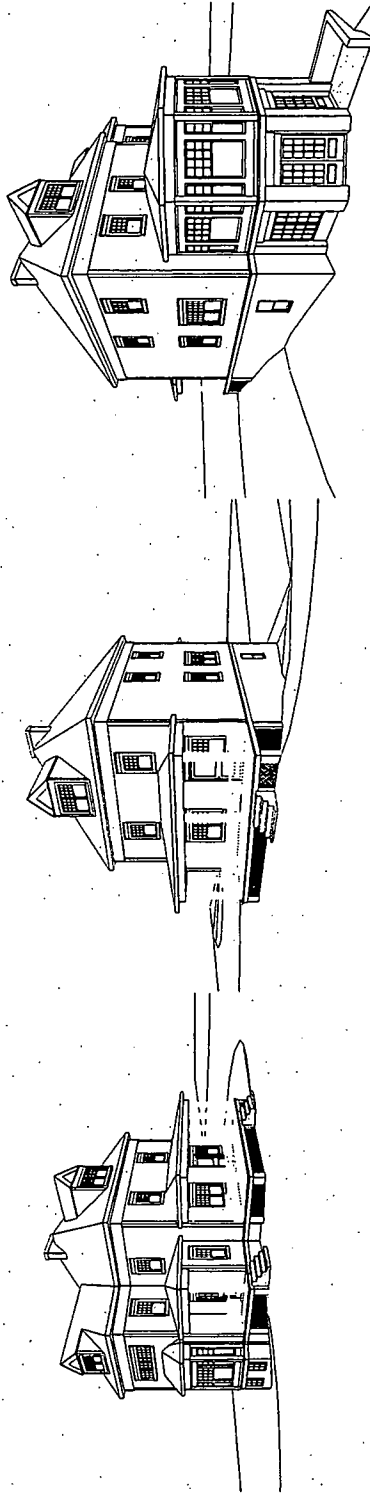


1 Attic Floor Plan  
 1/4" = 1'-0"

65  
 12

# Renovation to the Capitol View Residence

## Scheme B



1 Front Perspective  
12.08

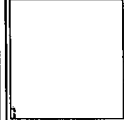
2 O-Front Perspective  
12.08

3 Rear Perspective  
12.08



Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Perspectives  
Scheme B



Notes: All Notes are  
Controlled Documents. All  
Changes to this Document  
must be made in accordance  
with the Change Order  
Process.

DATE:	01.10.05
BY:	AL
FOR:	AL
PROJECT:	Capitol View Residence
DESCRIPTION:	
REVISIONS:	
DATE:	
BY:	
FOR:	
PROJECT:	
DESCRIPTION:	
REVISIONS:	
DATE:	
BY:	
FOR:	
PROJECT:	
DESCRIPTION:	
REVISIONS:	

SHEET  
B-1  
SHEET 2014 OF 25

26



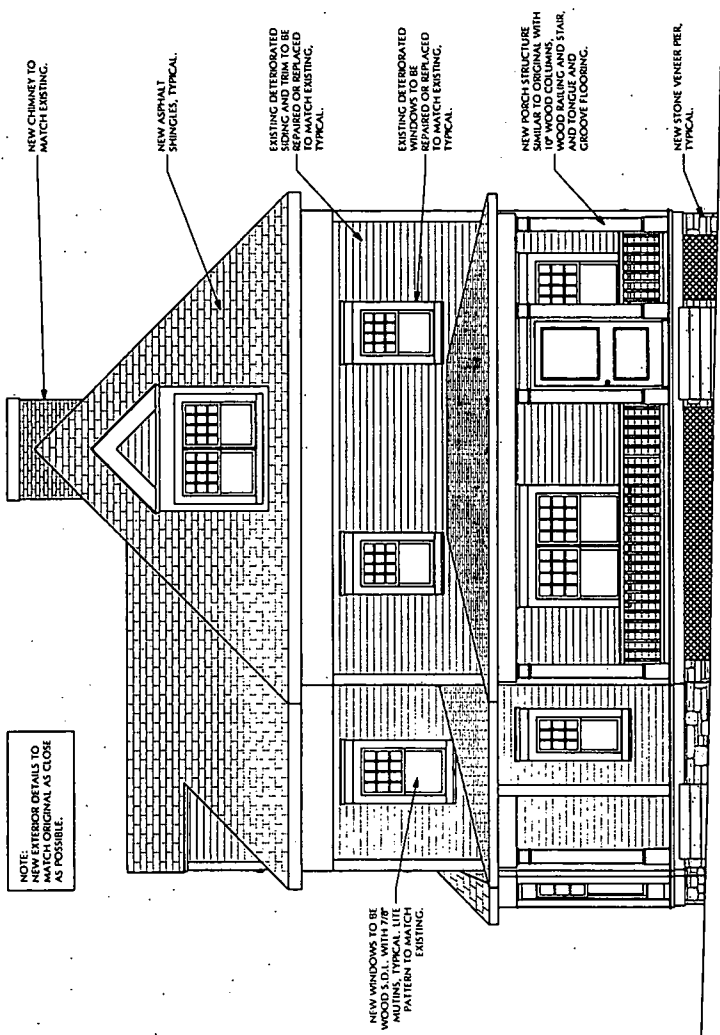
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Front Elevation  
 Scheme B

Working and Non-Working  
 Construction Details, etc.  
 Construction Details, etc.  
 Construction Details, etc.  
 Construction Details, etc.  
 Construction Details, etc.

DATE:	02.10.05
PROJECT:	Capitol View Residence
ARCHITECT:	KAPLAN ARCHITECTS
SCALE:	1/4" = 1'-0"

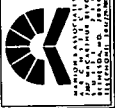
B-6  
 SHEET 6 OF 7



NOTE:  
 NEW EXTERIOR DETAILS TO  
 MATCH ORIGINAL AS CLOSE  
 AS POSSIBLE.

1 Front Elevation  
 1/4" = 1'-0"

45  
 (67)



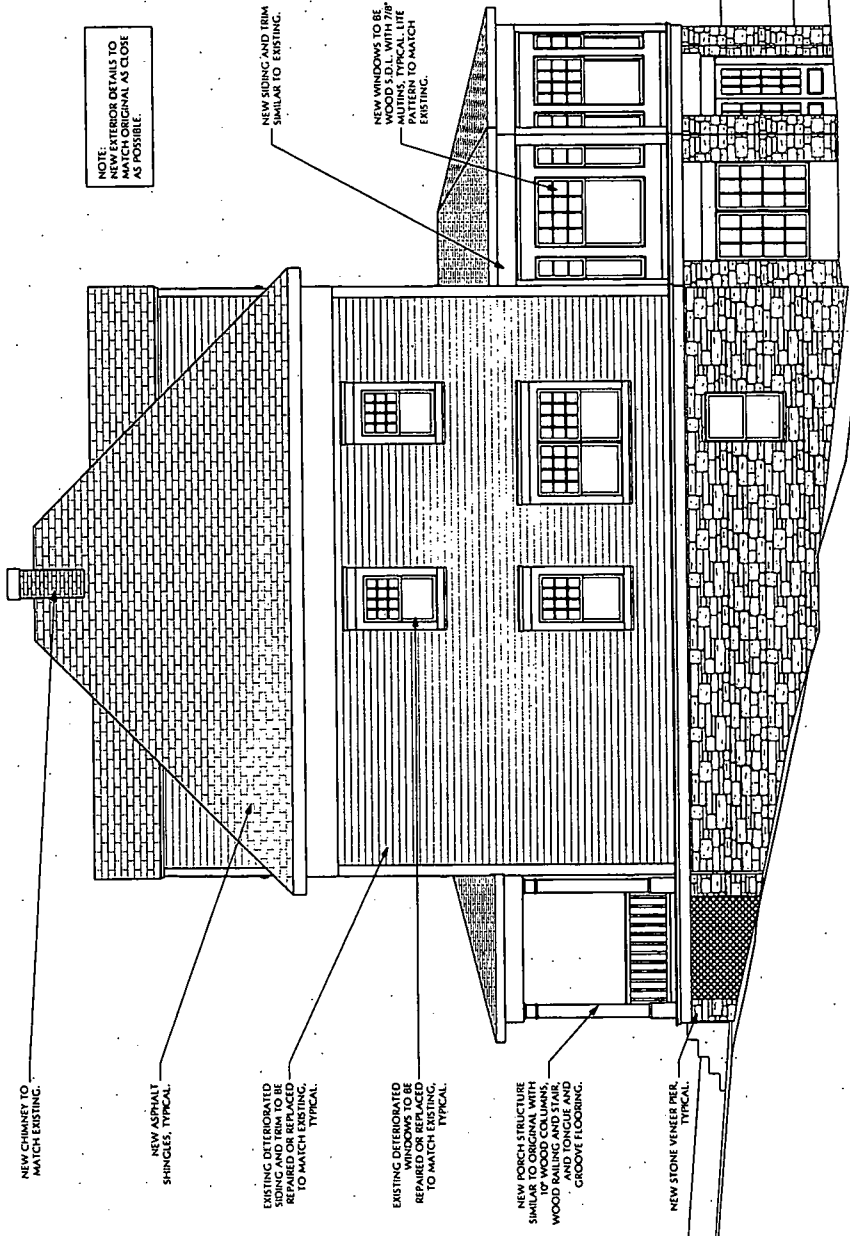
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Right Side Elevation  
 Scheme B

Architect: Robert A. Robertson  
 Date: 02.16.08  
 Project: Capitol View Residence

DATE:	02.16.08
PROJECT:	Capitol View Residence
ARCHITECT:	Robert A. Robertson
SCALE:	1/4" = 1'-0"

B-7  
 SHEET NO. 12



NOTE:  
 NEW EXTERIOR DETAILS TO  
 MATCH ORIGINAL AS CLOSE  
 AS POSSIBLE.

1 Right Side Elevation  
 1/4" = 1'-0"

68  
 2/8



WINTERS & ASSOCIATES, INC.  
 200 WEST LANTANA AVENUE  
 SUITE 100  
 WEST PALM BEACH, FL 33411  
 TEL: 561-833-1111  
 FAX: 561-833-1112

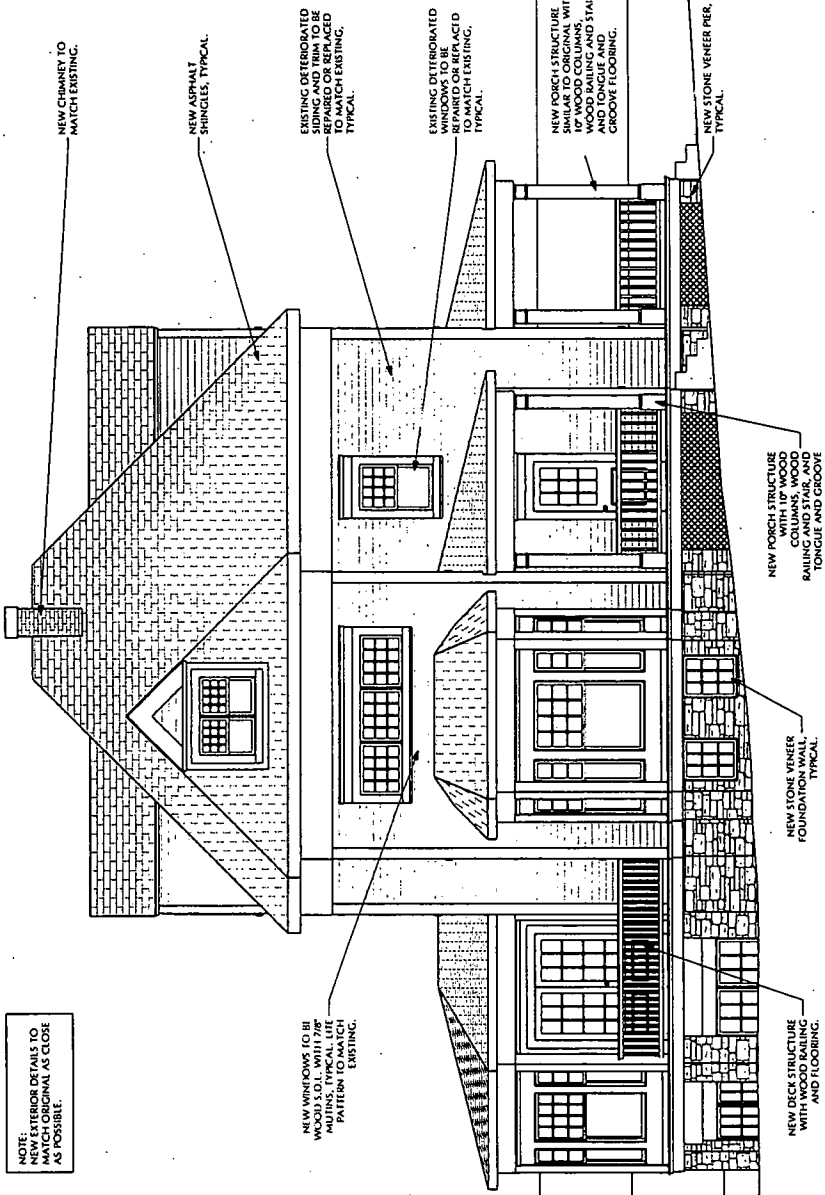
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Left Side Elevation  
 Scheme B

Working with these conditions:  
 1. Existing conditions shall be shown in light gray.  
 2. New work shall be shown in black.  
 3. All work shall be done in accordance with the applicable building codes.  
 4. All work shall be done in accordance with the applicable contract documents.

Scale:	As Noted
Drawn:	
Checked:	
Date:	01.10.05
Project:	
Sheet:	

1  
 B-9  
 SHEET 28 OF 28



NOTE:  
 NEW EXTERIOR DETAILS TO BE SHOWN IN LIGHT GRAY, AS POSSIBLE.

1 Left Side Elevation  
 1/4" = 1'-0"

69  
 42



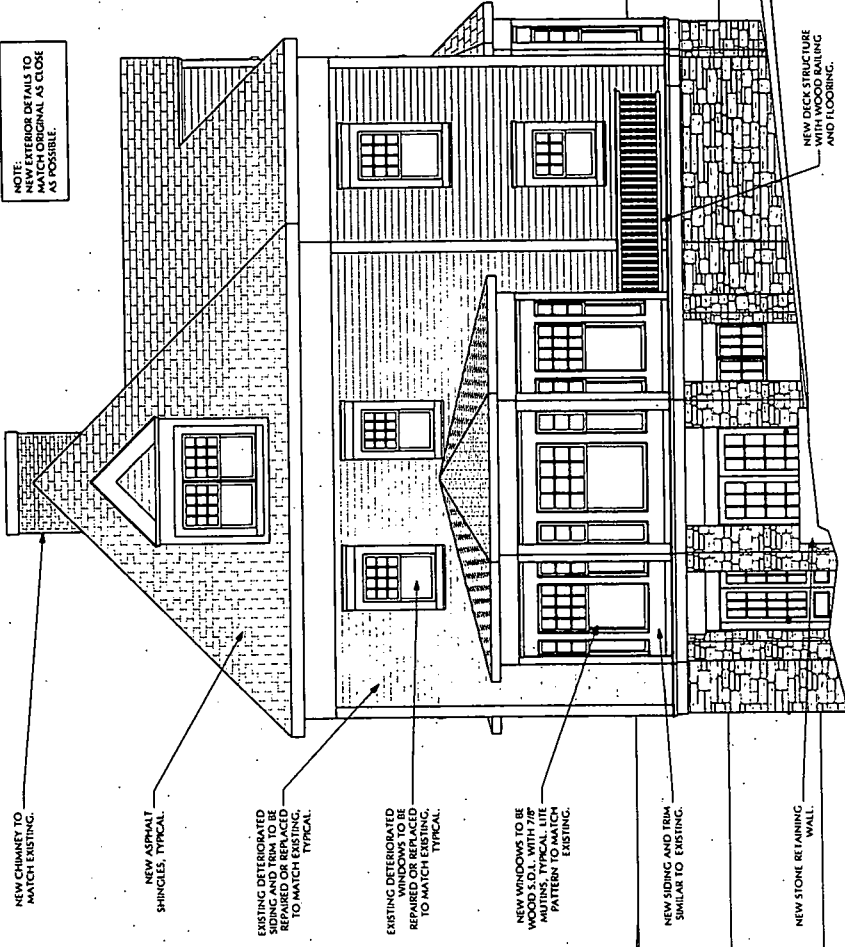
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Rear Elevation  
 Scheme B

Architect: [Blank]  
 Designer: [Blank]  
 Date: 01.10.05  
 Scale: [Blank]

DATE	BY	REVISION

SHEET  
 B-8  
 REAR ELEVATION



NOTE:  
 NEW EXTERIOR DETAILS TO  
 MATCH ORIGINAL AS CLOSE  
 AS POSSIBLE.

NEW CHIMNEY TO  
 MATCH EXISTING.

NEW ASPHALT  
 SHINGLES, TYPICAL.

EXISTING DETERIORATED  
 SIDING AND TRIM TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL.

EXISTING DETERIORATED  
 WINDOWS TO BE  
 REPAIRED OR REPLACED  
 TO MATCH EXISTING,  
 TYPICAL.

NEW WINDOWS TO BE  
 IDENTICAL TO EXISTING  
 UNITS, TYPICAL. LITE  
 PATTERNS TO MATCH  
 EXISTING.

NEW SIDING AND TRIM  
 SIMILAR TO EXISTING.

NEW STONE RETAINING  
 WALL.

NEW DECK STRUCTURE  
 AND FLOORING.

1 Rear Elevation  
 1/4" = 1'-0"

70  
 3/23



THE ARCHITECTS  
 10412 MONTGOMERY AVE  
 KENNINGTON, MD 20895  
 TEL: 301-271-1100  
 WWW.AKADGROUP.COM

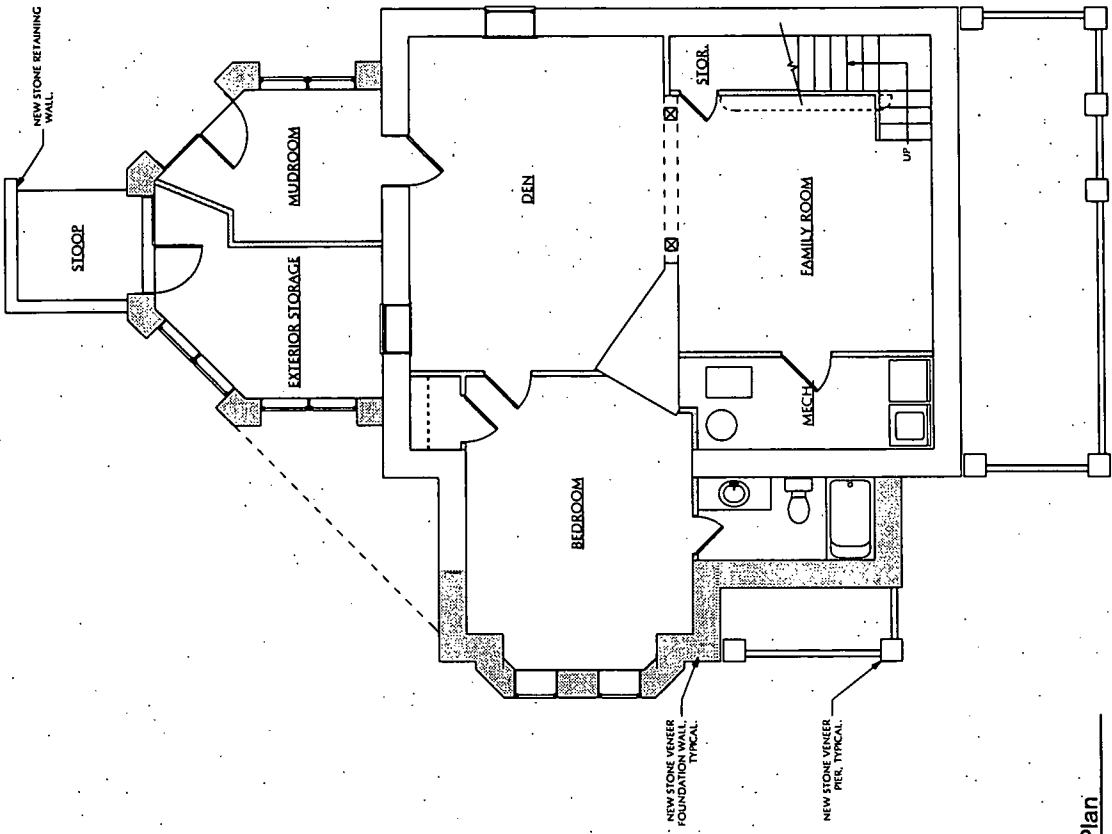
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Basement Floor Plan  
 Scheme B

Notes:  
 1. All dimensions are in feet and inches.  
 2. All dimensions are to the centerline of the wall unless otherwise noted.  
 3. All dimensions are to the finished surface unless otherwise noted.  
 4. All dimensions are to the exterior face of the wall unless otherwise noted.  
 5. All dimensions are to the interior face of the wall unless otherwise noted.

DATE:	02.10.05
PROJECT:	Capitol View Residence
ARCHITECT:	AKAD GROUP
SCALE:	1/4" = 1'-0"
DESIGNER:	
CHECKER:	
DATE:	
PROJECT:	
ARCHITECT:	
SCALE:	
DESIGNER:	
CHECKER:	
DATE:	

SHEET  
 B-2  
 SHEET 21 OF 25



1 Basement Floor Plan  
 1/4" = 1'-0"

Handwritten mark: 11/12





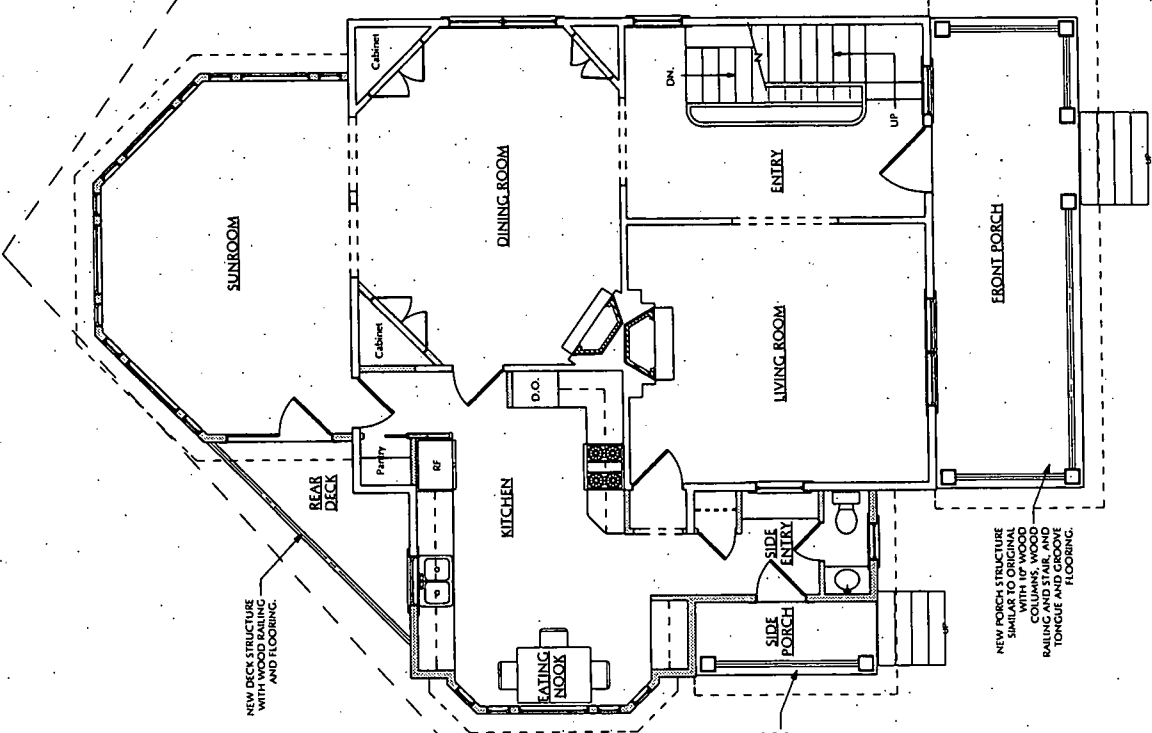
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

First Floor Plan  
Scheme B

Warning: This floor plan is preliminary. It is subject to change without notice. It is not to be used for construction or other purposes without the written consent of the architect.

DATE	01.10.09
BY	01.10.09
PROJECT	
CLIENT	
ARCHITECT	

B-3  
SHEET 22 OF 24



NEW DECK STRUCTURE WITH WOOD RAILING AND FLOORING.

NEW PORCH STRUCTURE WITH UP WOOD CABINETS, RAILING AND STAIR, AND TONGUE AND GROOVE FLOORING.

NEW PORCH STRUCTURE SIMILAR TO ORIGINAL WITH UP WOOD COLUMNS, WOOD RAILING AND TONGUE AND GROOVE FLOORING.

1 First Floor Plan  
1/4" = 1'-0"



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

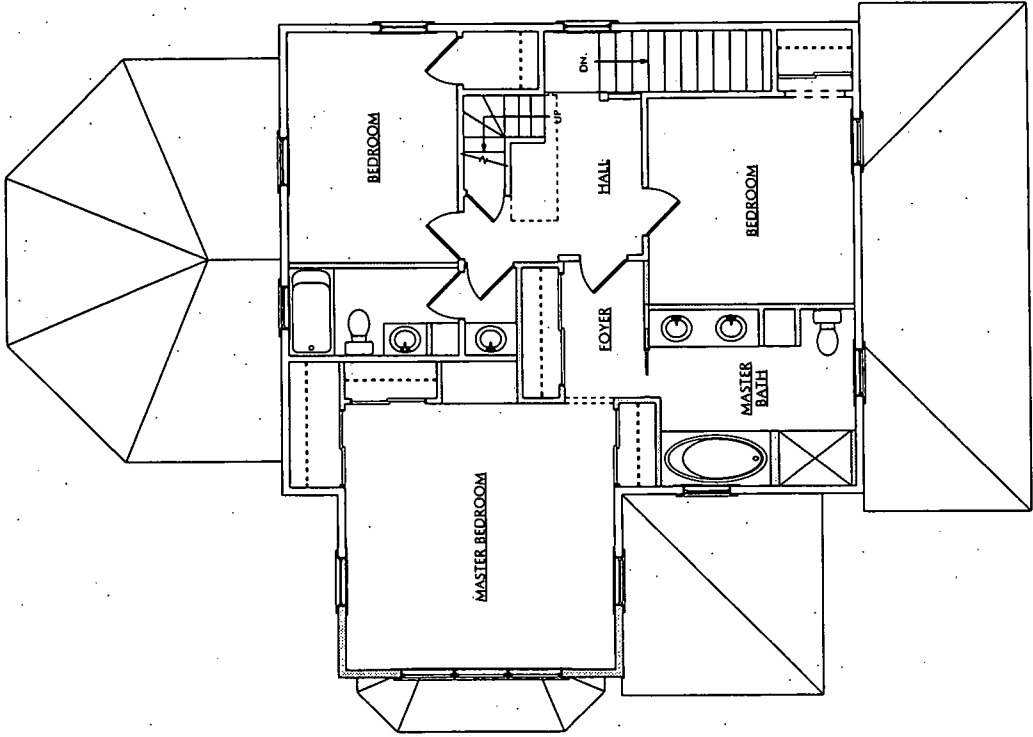
Second Floor Plan  
 Scheme B



Notes: All dimensions are in feet and inches. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the window unless otherwise noted. All dimensions are to the center of the door unless otherwise noted.

DATE:	07.10.05
PROJECT:	Capitol View Residence
DESIGNER:	KENTON ARCHITECTURE

B-4  
 SHEET 1 OF 3



1 Second Floor Plan  
 1/4" = 1'-0"

713  
 2A



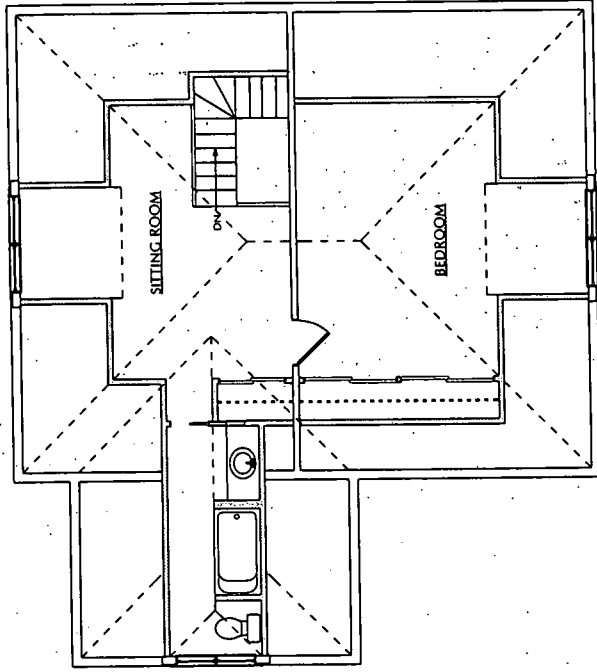
Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

Attic Floor Plan  
 Scheme B

Notes: All dimensions are in feet and inches. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the window unless otherwise noted. All dimensions are to the center of the door unless otherwise noted. All dimensions are to the center of the column unless otherwise noted. All dimensions are to the center of the beam unless otherwise noted. All dimensions are to the center of the slab unless otherwise noted. All dimensions are to the center of the ceiling unless otherwise noted. All dimensions are to the center of the floor unless otherwise noted. All dimensions are to the center of the foundation unless otherwise noted. All dimensions are to the center of the structure unless otherwise noted. All dimensions are to the center of the exterior wall unless otherwise noted. All dimensions are to the center of the exterior window unless otherwise noted. All dimensions are to the center of the exterior door unless otherwise noted. All dimensions are to the center of the exterior column unless otherwise noted. All dimensions are to the center of the exterior beam unless otherwise noted. All dimensions are to the center of the exterior slab unless otherwise noted. All dimensions are to the center of the exterior ceiling unless otherwise noted. All dimensions are to the center of the exterior floor unless otherwise noted. All dimensions are to the center of the exterior foundation unless otherwise noted. All dimensions are to the center of the exterior structure unless otherwise noted. All dimensions are to the center of the exterior wall unless otherwise noted. All dimensions are to the center of the exterior window unless otherwise noted. All dimensions are to the center of the exterior door unless otherwise noted. All dimensions are to the center of the exterior column unless otherwise noted. All dimensions are to the center of the exterior beam unless otherwise noted. All dimensions are to the center of the exterior slab unless otherwise noted. All dimensions are to the center of the exterior ceiling unless otherwise noted. All dimensions are to the center of the exterior floor unless otherwise noted. All dimensions are to the center of the exterior foundation unless otherwise noted. All dimensions are to the center of the exterior structure unless otherwise noted.

DATE:	01.10.05
PROJECT:	Capitol View Residence
ARCHITECT:	Capitol View Architecture
SCALE:	1/4" = 1'-0"
DESIGNER:	D. Simpson

Sheet  
 B-5  
 SHEET 1 OF 10



1 Attic Floor Plan  
 1/4" = 1'-0"

74  
 30

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

**Address:** 10245 Capitol View Ave, Silver Spring      **Meeting Date:** 03/09/05  
**Resource:** Outstanding Resource      **Report Date:** 03/02/05  
                  **Capitol View Park Historic District**  
**Review:** Preliminary Consultation      **Public Notice:** 02/23/05  
**Case Number:** N/A      **Tax Credit:** N/A  
**Applicant:** Macon Construction      **Staff:** Michele Oaks  
                  (Carl Mahany, Agent)

**PROPOSAL:** Rehabilitation and Additions

---

### STAFF RECOMMENDATION:

Staff recommends that the applicant submit a HAWP application with the following information included:

1. Provide photo documentation of the existing roofing material on building.
2. Provide a detailed window/door condition assessment report with each window to be moved or replaced identified.

### HISTORIC INFORMATION

Capitol View Park is a railroad community begun in 1887 when Mary and Oliver Harr purchased and subdivided land along the B&O's Metropolitan Branch between Forest Glen and Kensington. The community's name came from the view of the Capitol dome afforded by the upper stories of some of the early houses. Because of the growth of trees in intervening years, this view is no longer possible. Capitol View Park, however, continues to retain the scenic, rural setting which attracted its first inhabitants from Washington. Narrow, country lanes wind between large lots, the average of which is 12,000 square feet. Farmer Thomas Brown built a house in the post-Civil War era, before the railroad bisected his farm. Set back on a long curving driveway, Brown's dwelling still stands, known as the *Case House*, at 9834 Capitol View Avenue.

Unlike the homogenous suburban developments that make up a great deal of Montgomery County, Capitol View Park is a picturesque blend of many architectural styles dating from the 1890s to the 1980s. The community represents the architectural history of Montgomery County over the last century. The first houses built in Capitol View Park were designed in the Queen Anne style, characterized by their picturesque rooflines, large scale, numerous porches, and variety of building materials, including clapboard and fishscale shingles. Notable Queen Anne-style houses, built in the 1880s and 1890s, are found on Capitol View Avenue, Meredith Avenue, Lee Street, and Menlo

Avenue. Residents built Colonial Revival style dwellings beginning in the 1890s. These dwellings feature classical details including cornices with entablatures, heavy window molding, and large round porch columns. Colonial Revival-style houses are found on Capitol View Avenue and Grant Avenue.

By the turn of the twentieth century, smaller-scale houses were becoming popular. Designed to harmonize with natural settings, these structures have a horizontal emphasis and were painted in natural tones. This group includes Bungalow- and Craftsman-style houses built from 1900 into the 1920s. Early examples are found on Stoneybrook Drive, Meredith Avenue, and Capitol View Avenue.

The pace of growth in Capitol View Park continued at a constant rate until the 1940s when a construction boom added nearly 50 houses to the community. Since then, houses have been added at a more leisurely rate, continuing the pattern of diversity that characterizes Capitol View Park.

### **SITE DESCRIPTION**

SIGNIFICANCE: Dwyer House; Outstanding Resource in the Capitol View Park Historic District  
STYLE: Colonial Revival  
DATE: c1893

The subject property is located at the northwestern boundary of the historic district. The property currently contains the existing house and an abandoned wishing well. Its' neighbors are the Cooley House (Outstanding Resource, 1912 Colonial Revival) to the east and several c. 1950s resources to the north, south and west – which are outside the historic district's boundary. The property is dense with foliage and trees.

The Planning Board recently approved the Commission recommended subdivision of this property creating 2 additional buildable lots (see site plan in packet). The historic, Dwyer House will remain on Lot 3. The remaining acreage is divided as follows:

Lot 1	.16 acres	Lot 3	.39 acres
Lot 2	.17 acres	Outlot A	.14 acres
Outlot B	.12 acres		
Capitol View Ave ROW	.36 acres		

### **PROPOSAL:**

The applicant proposes to rehabilitate the existing house by:

1. Removing the deteriorated wood siding and trim, as needed, and replacing it in-kind.
2. Removing the existing roofing material and replace with asphalt shingles.
3. Removing the existing chimney and rebuild the exterior chimney stack only - to

- match existing.
4. Reconstructing the original full-width front porch (see historic photos).
  5. Repair or replace the existing 6/1 windows. Remove and replace the existing 1/1 windows with 6/1 SDL wood windows to match the existing.

The applicant proposes to modify the existing house by:

6. Removing the two- story, hipped roofed side extension and constructing a new, 2-1/2 story gabled (Scheme A) or hipped roof (Scheme B) side addition.
7. Construct a one-story addition with side porch in front of the new gable or hipped roof side addition.
8. Construct a rear one-story with basement octagonal sunroom addition to the house.

### **APPLICABLE GUIDELINES:**

When reviewing alterations and additions to outstanding resources within the Capitol View Park *Master Plan* Historic District two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

#### **Montgomery County Code; Chapter 24A**

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

#### **Secretary of the Interior's Guidelines for Rehabilitation**

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #7 Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION:**

*Topic #1 Removing the deteriorated wood siding and trim, as needed, and replacing it in-kind.*

Staff commends the applicant's desire to rehabilitate the original massing of this house and does not object to the proposed repair and replacement of deteriorated building material on this property as long as it is not a entire replacement. Retaining as much of the original fabric as possible helps to retain the building's architectural integrity.

*Topic #2 Removing the existing roofing material and replace with asphalt shingles.*

Staff is unclear what the existing roofing material is on the house. If the existing material is asphalt, staff does not object to the replacement in-kind of this building material. We ask that the applicant provide us with documentation of the existing roofing material with the formal HAWP application.

*Topic #3 Removing the existing chimney and rebuild the exterior chimney stack only - to*

*match existing.*

The existing chimney and fireboxes have created significant damage to the integrity of the building's structure. Staff does not object to its removal as long as the chimney stack, as specified by the applicant, is rebuilt and no exterior elements will be changed.

*Topic #4 Reconstructing the original full-width front porch.*

The applicant has provided staff with photo documentation of the original house's full-width front porch. Therefore, this reconstruction of a documented original feature is in accordance with the guidelines and thus staff supports its installation.

*Topic #5 Repair or replace the existing 6/1 windows. Remove and replace the existing 1/1 windows with 6/1 SDL wood windows to match the existing.*

Staff encourages repair of original windows. Holistic replacement of original windows, even if they are to be replaced with exact replicas, is only supported by staff where the level of deterioration warrants. We encourage the applicant to provide the Commission with a detailed assessment of every window on the building so this determination can be made. The replacement of the non-historic 1/1 windows with 6/1 SDL wood windows is encouraged.

*Topic #6 Removing the two story, hipped roofed side extension and constructing a new, 2-1/2 story gabled (Scheme A) or hipped roof (Scheme B) side addition.*

Staff is unclear whether this extension is original to the house or a very early addition. The roof form as it attaches to the main massing's roof suggests that it was an early addition, however, the foundation appears to match the original massing. If it is determined that this is an original detail, staff would not support its removal. Further research and additional site visits by staff needs to occur before this determination can be made.

If it is determined that this addition is not original, staff supports Scheme A over Scheme B, with the omission of the boxed and bay windows. Simple paired and triple windows would be a more compatible, yet, simplified detail on a highly visible side addition. The boxed and bay windows are too detailed for this simple building.

*Topic #7 Constructing a one-story addition with side porch in front of the new gable or hipped roof side addition.*

The introduction of a second, side-addition concerns staff. A one-story open entry porch without an enclosed bathroom addition is less problematic in staff's prospective, because it encourages the retainment of the original exterior wall surface. Enclosing this section, even though the intent of the applicant is to retain the exterior window in the interior space, makes it enclosed in an interior space

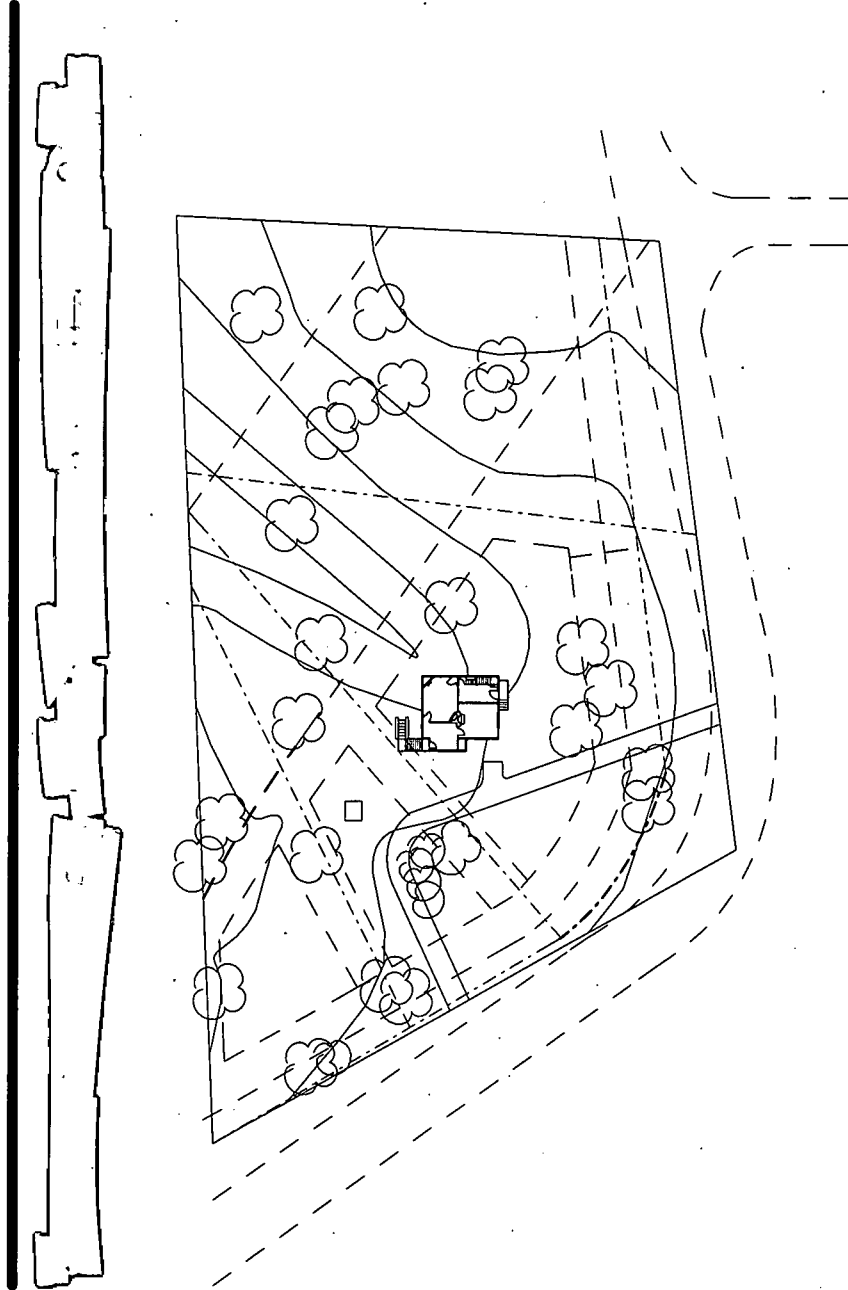


and thus, the Commission does not have any review over the removal of this exterior wall in the future.

*Topic #8 Constructing a rear one-story with basement octagonal sunroom addition to the house.*

The proposed addition is compatible to the existing architectural style and does not negatively impact the original house. There are currently French doors on the first story and a single door on the basement level on this elevation which will provide access to the new space.

# Renovation to the Capitol View Residence



1 Site Plan  
1" = 30'-0"

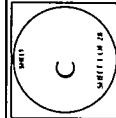


Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Cover Sheet

Working drawings are to be used only for the project and site shown. They are not to be used for any other project or site without the written consent of the architect.

DATE:	02.10.05
PROJECT:	Capitol View Residence
DESIGNER:	ARCHITECTS
SCALE:	AS SHOWN



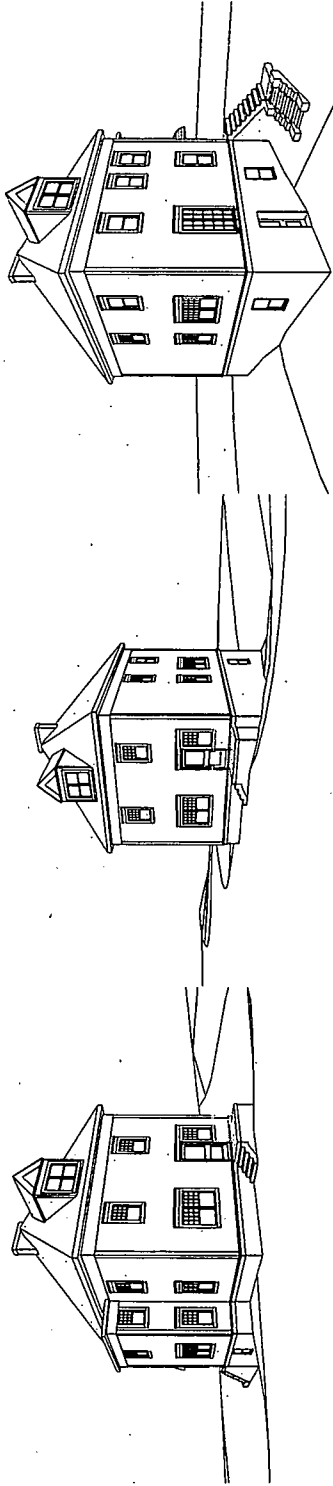
LA-A

7

# Renovation to the Capitol View Residence

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## Existing



1 Front Perspective  
1/2, 08

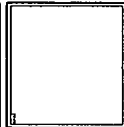
2 O-Front Perspective  
1/2, 08

3 Rear Perspective  
1/2, 08



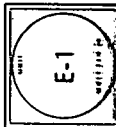
W&P ASSOCIATES, INC.  
ARCHITECTS AND INTERIORS  
10412 Montgomery Ave  
Kensington, MD 20895

Existing  
Perspectives



Scale: As Shown  
Date: 01.10.08  
Drawing: 01-10-08

Project: As Shown  
Scale: As Shown  
Date: 01.10.08  
Drawing: 01-10-08



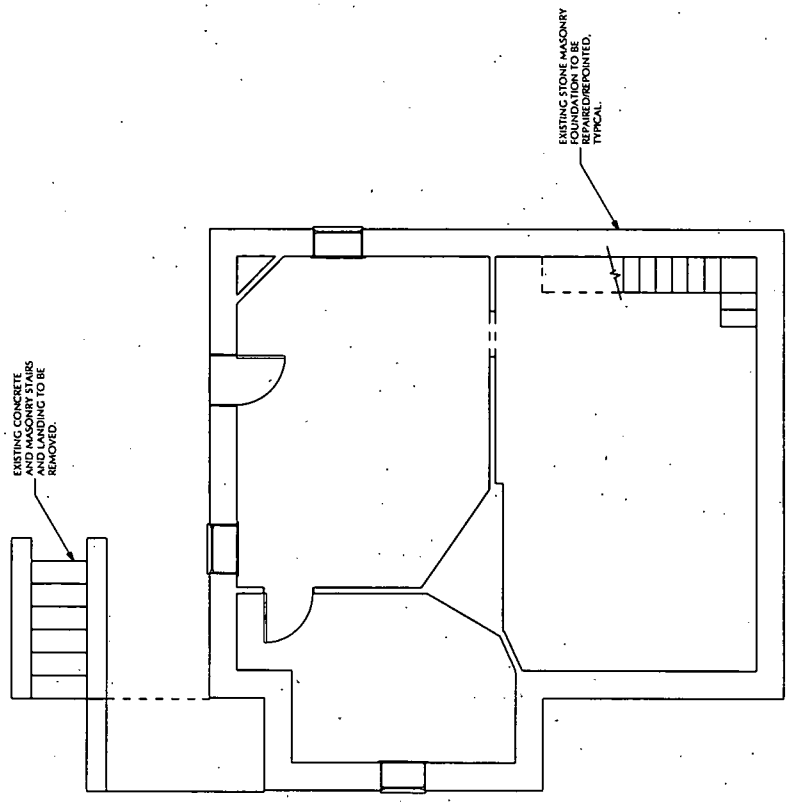


Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

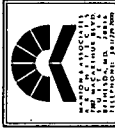
Existing  
 Basement Floor Plan

It is the responsibility of the architect to provide a complete and accurate set of drawings for the project. The client is responsible for providing all necessary information and for verifying the accuracy of the information provided. The architect is not responsible for any errors or omissions in the drawings, or for any consequences arising therefrom.

DATE:	01.10.05
PROJECT:	Capitol View Residence
ARCHITECT:	Kaplan Architects
SCALE:	1/4" = 1'-0"

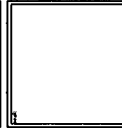


1 Basement Floor Plan  
 1/4" = 1'-0"



Capitol View Residence  
 10412 Montgomery Ave  
 Kensington, MD 20895

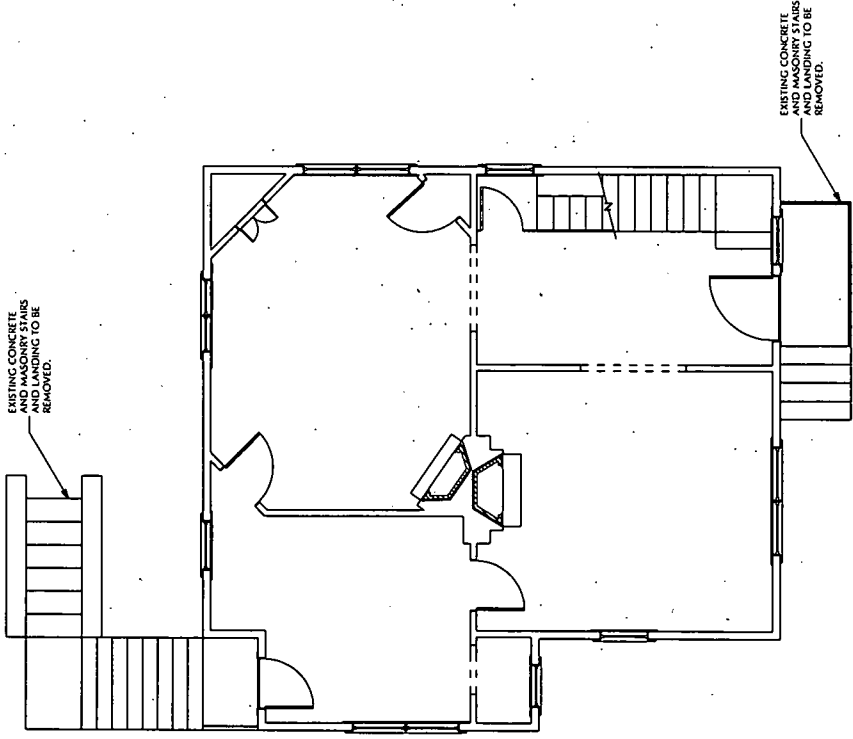
Existing  
 First Floor Plan



Notes: All work shall be done in accordance with the approved plans and specifications. All materials shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions.

NO.	DATE	BY	DESCRIPTION

SHEET  
**E-3**  
 SHEET # OF 15

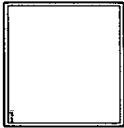


1 First Floor Plan  
 1/4" = 1'-0"



Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

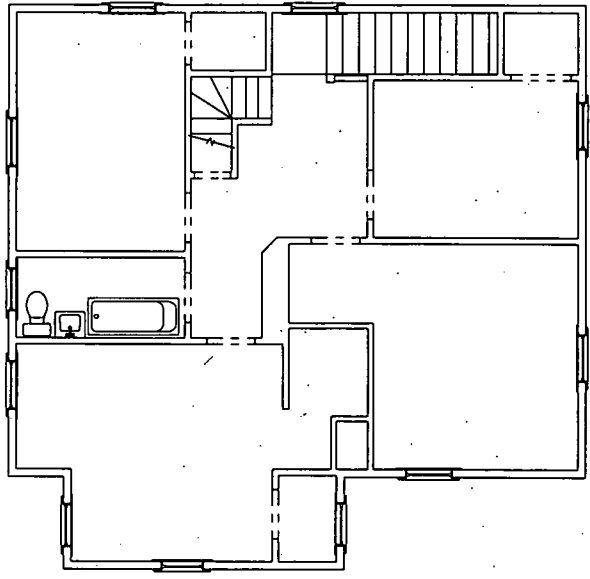
Existing  
Second Floor Plan



DATE: 02.10.05  
BY: [Signature]

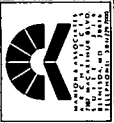
NO.	DATE
1	02.10.05
2	
3	
4	
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10	

SHEET  
E-4  
SHEET 15 OF 35



1 Second Floor Plan  
1/4" = 1'-0"



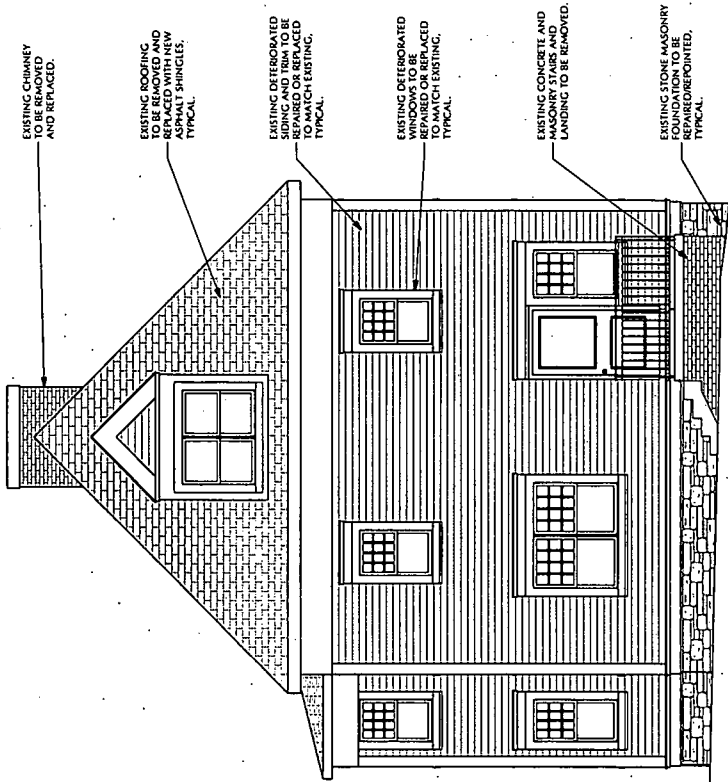
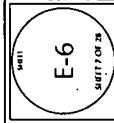


Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Existing  
Front Elevation

Notes: All dimensions are in feet and inches. All work shall be in accordance with the applicable building codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals.

DATE:	02/10/05
DESIGNER:	
CHECKED:	
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1 Front Elevation  
1/4" = 1'-0"





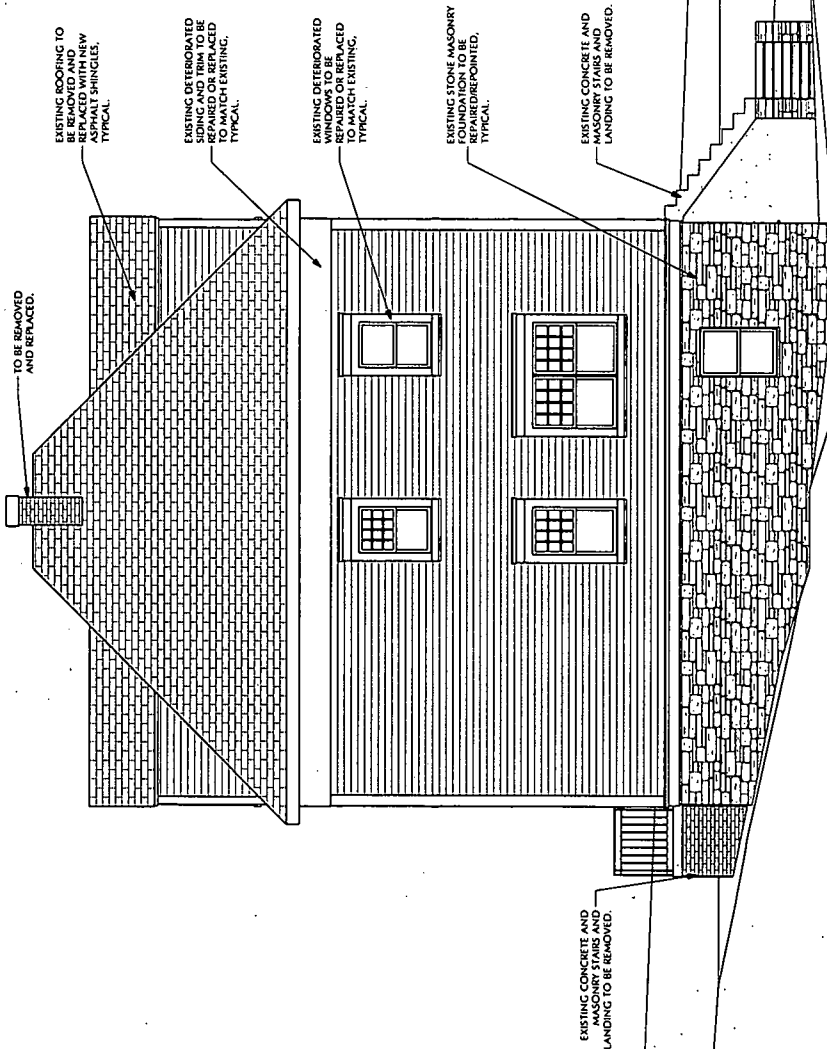
Capitol View Residence  
10412 Montgomery Ave  
Kensington, MD 20895

Existing  
Right Side Elevation

Warning: This drawing is intended for the use of the Contractor only. It is not to be used for any other purpose without the written consent of the Architect. The Contractor shall be responsible for obtaining all necessary permits and for the accuracy of the information provided to the Architect.

Project:	As Noted
Drawn:	
Checked:	
Date:	02.10.05
Revised:	
COPYRIGHT	

SHEET  
E-7  
SHEET 10 OF 15



TO BE REMOVED AND REPLACED.

EXISTING ROOFING TO BE REMOVED AND REPLACED WITH NEW ASPHALT SHINGLES. TYPICAL.

EXISTING DETERIORATED ROOFING TO BE REMOVED AND REPLACED TO MATCH EXISTING. TYPICAL.

EXISTING DETERIORATED ROOFING TO BE REMOVED AND REPLACED TO MATCH EXISTING. TYPICAL.

EXISTING STONE MASONRY FOUNDATION TO BE REPAIRED/REPOINTED. TYPICAL.

EXISTING CONCRETE AND MASONRY STAIRS AND LANDING TO BE REMOVED.

EXISTING CONCRETE AND MASONRY STAIRS AND LANDING TO BE REMOVED.

1 Right Side Elevation  
1/4" = 1'-0"







FACSIMILE CORRESPONDENCE

(301)

To: HISTORIC PRESERV. OFFICE

Your Fax No.: 563-3412

Date: 3-21-05

Attn.: MICHAEL DAVIS

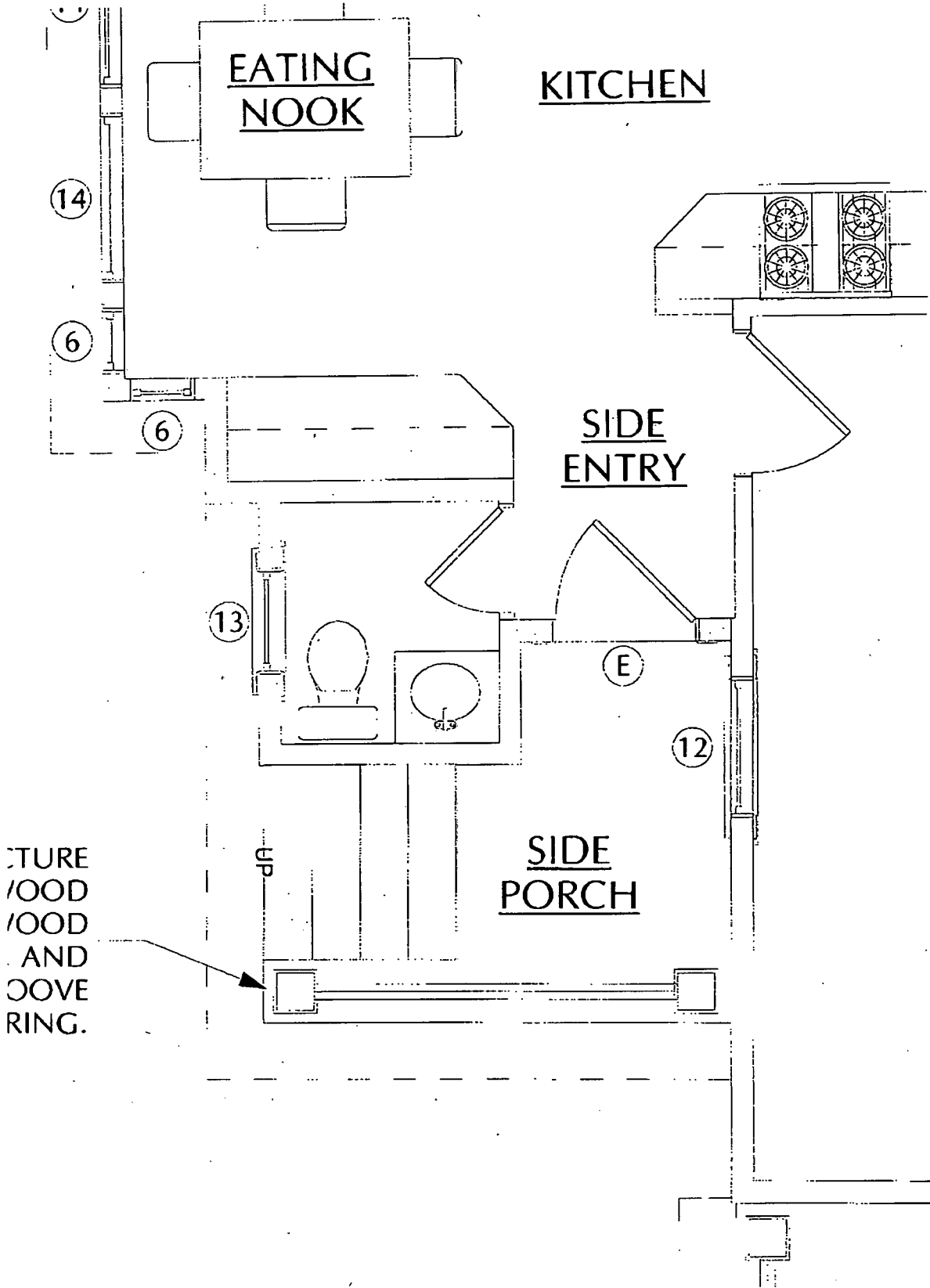
From: CARIB MARTIN

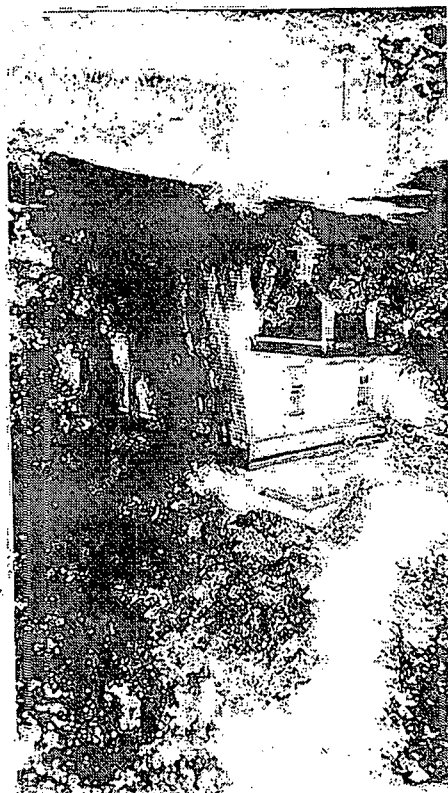
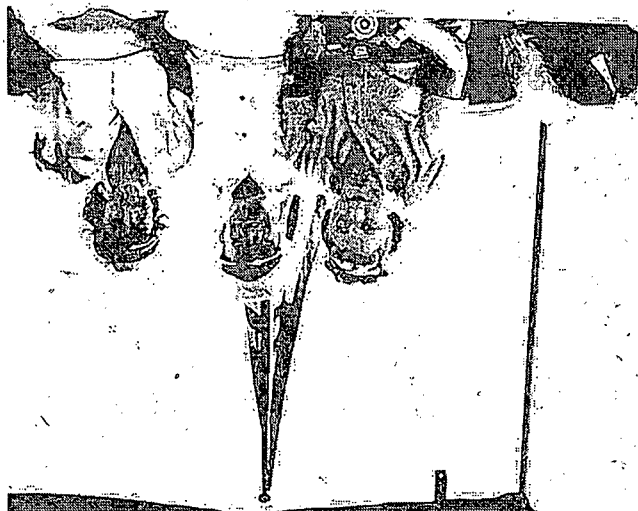
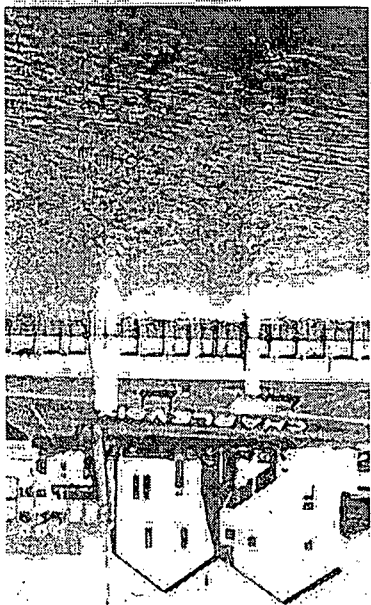
Subject: CAPITOL VIEW RESIDENCE

3 Pages Including Cover Sheet

Message / Comments: MICHAEL: HERE IS OUR ATTEMPT TO  
SAVE THE FUNCTION OF THE SIDE ENTRY SPACE  
WITHOUT ENCLASING THE EXISTING WINDOW  
PLEASE LET ME KNOW YOUR RESPONSE.

THANKS!





**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**

301-563-3400

**WEDNESDAY  
March 9, 2005**

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
MRO AUDITORIUM  
8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20910

**PLEASE NOTE: The HPC agenda is subject to change any time after printing or during the commission meeting. Please contact the Historic Preservation Commission at the number above to obtain current information. If your application is included on this agenda, you or your representative is expected to attend.**

I. HPC WORKSESSION - 7:00 p.m. in Third Floor Conference Room

II. MASTER PLAN DESIGNATION - 7:30 P.M. in MRO Auditorium

J HPC Public Hearing, Worksession, and Action on the (Preliminary) Draft Amendment to the *Master Plan for Historic Preservation*: COMSAT Laboratories, 22300 Comsat Drive, Clarksburg.

III. HISTORIC AREA WORK PERMITS - 8:30 p.m. in MRO Auditorium

- T A. Bonnie Thomson and Eugene Tillman (Greg Wiedemann, Architect) for rear addition, new driveway and landscaping at 5808 Warwick Place, Chevy Chase (HPC Case No. 35/36-05A)(Somerset Historic District).
- A B. Jerry and Lisa Weed for rear sunroom addition at 3907 Washington Street, Kensington (HPC Case No. 31/06-05B) (Kensington Historic District).
- A C. Thomas and Barbara Albrecht for new driveway at 4117 Jones Bridge Road, Bethesda (HPC Case No. 35/54-05A)(Hawkins Lane Historic District).

IV. PRELIMINARY CONSULTATION - 9:30 p.m. in MRO Auditorium

- M A. Carl Mahaney for renovation and addition to 10245 Capitol View Avenue, Silver Spring (Capitol View Park Historic District).
- T B. Victor Peek (Thomas J. Taltavull, Architect) for rear addition and landscaping at 23310 Frederick Road, Clarksburg (Clarksburg Historic District).

V. MINUTES

- A. February 9, 2005

VI. OTHER BUSINESS

- A. Commission Items  
B. Staff Items

VII. ADJOURNMENT

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CRESTGLAD & PRIMECREST



THE RIGHT WINDOW, RIGHT ON TIME.



## FEATURES & OPTIONS

### Frames & Sash

- Made from the finest select wood.
- Preservative-treated for weather protection.
- Both sash are removable and tilt in for easy cleaning.
- Adjustable balance makes operation easy.

### Exterior Finishes

- Exterior wood is available factory-sealed with CrestGuard® primer.
- Virtually maintenance-free, choose CrestClad aluminum-clad exteriors in White, Almond, Pewtertone, Sierra Brown or Forest Green.
- Custom and special colors are available as a premium option.

### Interior Finishes

- Interior frame and sash are available in natural wood, light oak tone or prefinished with custom paint or stain options.

### Glass

- 3/4" Insulated glass is standard.
- 3/4" SmartR and SunPLUS4 high-performance argon-filled insulated glass optional.
- Many other glass options available.

### Divided Lites & Grilles

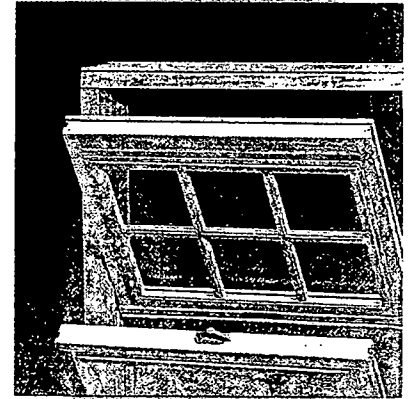
- The CrestLite Series of Insulated Divided Lites offers 19th century styling with modern energy efficiency.
- CrestLite Insulated Divided Lites are available in wood or aluminum-clad exteriors with authentically profiled 7/8" divided lite grilles.
- Choose full-surround 7/8" wood grilles that remove for easy cleaning.
- Colonial-style 5/8" aluminum grilles in the airspace match the standard cladding color.

### Screens, Storms & Hardware

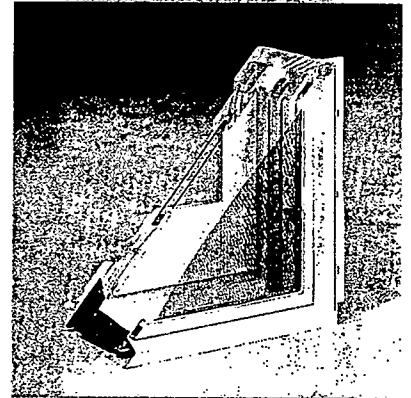
- Color-matched full screen is standard with White, Almond, Pewtertone, Sierra Brown or Forest Green frames at no additional cost.
- Optional combination storm units available.
- Copper-color cam-action sash lock maximizes security; White and Polished Brass locks optional.

### Bays & Specialty Units

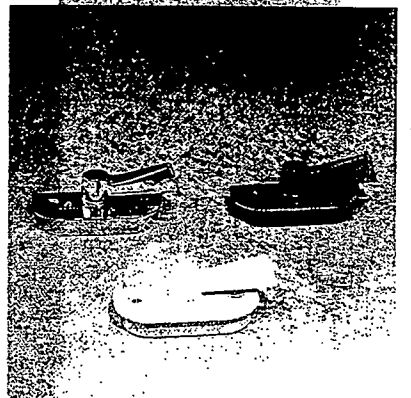
- Choose 30° or 45° angle bays, or a custom 90° box bay.
- Pine head and seat boards are standard; oak is optional.
- Classic Copper Roof is optional.
- Radius tops, geometric windows, transoms and custom shapes let you personalize your designs.
- CrestCurve windows feature integral radius and segment-head tops.



Double-hung sash are removable and tilt in for easy cleaning.



The exterior of CrestClad windows are attractive, durable and maintenance-free.



Cam-action sash locks are available in Copper-color, White and Polished Brass.

**CAPITOL VIEW PARK  
CITIZEN'S ASSOCIATION**

SILVER SPRING, MARYLAND 20910

Dwyer House  
11 April 2005  
HPC

Members of the Capitol View Park Historic Review Committee and the Civic Association Executive Board have reviewed the application of Carl Mahany for additions and front porch reconstruction at 10245 Capitol View Ave (HPC case No 31/07-05A) and have agreed with the HPC staff review and report regarding the HAWP

We too find the latest proposal for the side addition far more sympathetic to the building. The revised roof plans keep the emphasis on the main, historic block of the house while minimizing its impact on the original pyramidal hipped roof – an important character-defining feature of Foursquares. Eliminating the bay on the extension will also be more in keeping with the historic details of the house and avoids the risk of upstaging the original structure. The Committee is divided on the addition of the triangular deck. It was felt by some that it detracted from the simple lines of the original house but others felt that since it would not be visible from the street that the developer be allowed to include it in his renovations.

\*\*\*\*\*

The Committee and Civic association Board also reviewed the application of Maria Naranjo Case Number 31/07/05B for installation of Fence. We agree with the Staff report stipulating that the fence be constructed out of wood and that it be located inside the property lines. Concerns were raised that the fence on the front falls within a utility easement but it was agreed that that issue would be addressed by the Permit Department and not the Historic Review Committee.

Again our thanks to the HPC staff for the attention they continue to give to our community not only on HAWP interpretations but also preservation questions.

Linda Winter, President  
Capitol View Park Citizens Association

Carol Ireland Co-chair  
Duncan Tebow Co-chair  
Gordon Bock, Restoration Expert  
Capitol View Park Review Committee