



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Jef Fuller  
Chairperson

Date: December 6, 2007

### MEMORANDUM

TO: Carla Reid Joyner, Director  
Department of Permitting Services

FROM: Josh Silver, Senior Planner *(TDS)*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #468507, driveway alterations, brick wall removal, and brick walkway installation

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the December 5, 2007 meeting.

- 1. The applicant will contact the Chevy Chase Village arborist to determine if a tree protection plan is necessary for the project. If required, the tree protection plan must be implemented prior to beginning the project.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Stephen Conley

Address: 9 West Lenox Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





DEPARTMENT OF PERMITTING SERVICES  
 235 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
 (301) 407-7737

DPS - #8

HISTORIC PRESERVATION COMMISSION  
 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Bob Hawkins  
 Daytime Phone No.: (301) 440-0590

Tax Account No.: 160700456183  
 Name of Property Owner: Stephen Conley Daytime Phone No.: \_\_\_\_\_  
 Address: 9 West Lenox Street Chevy Chase Maryland 20815  
Street Number City State Zip Code  
 Contractor: To be determined Phone No.: \_\_\_\_\_  
 Contractor Registration No.: \_\_\_\_\_  
 Agent for Owner: Bob Hawkins Daytime Phone No.: 301 440-0590

**LOCATION OF BUILDING/PREMISE**

House Number: 9 West Lenox Street Street \_\_\_\_\_  
 Town/City: Chevy Chase Nearest Cross Street: Laurel Parkway  
 Lot: 1+2 Block: 42 Subdivision: \_\_\_\_\_  
 Liber: 34500 Folio: 350 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Haze  
 Revision  Repair  Revocable

CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: Alter drive - add new walks + Landscaping (Screening)

1B. Construction cost estimate: \$ 50,000

1C. Is this a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
 Signature of owner or authorized agent

10/15/07  
 Date

Approved:  \_\_\_\_\_ For: Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 12/6/2007  
 Application/Permit No: 146850.7 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CIRA @ AHS House with large covered porches - brick walks - sliding (wood) house - tar & chip current drive + turn around - large trees on lot, especially Laurel Parkway side - lawn + groundcovers House remodeled in 1990 with an addition, new kitchen + brick walk - renovated garage.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Mr. Conley has visual (eye) impairment wishes to enlarge turn around in drive and remove small brick wall which make it difficult for him to get in + out of drive - matching brick walkways to be installed for easier access (also) Mature landscape screening to be installed for screening + privacy

See plan provided

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

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- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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**6. TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

# CHEVY CHASE VILLAGE

## Facsimile Transmission



5906 Connecticut Avenue  
Chevy Chase, MD 20815

Telephone: (301) 654-7300

Facsimile: (301) 907-9721

Website: [www.ccvillage.org](http://www.ccvillage.org)

E-Mail: [ccv@montgomerycountymd.gov](mailto:ccv@montgomerycountymd.gov)

To: Anne Fothergill and/or Josh Silver @ HPC

From: Shana Davis-Cook

Date: December 19, 2007

Fax Number: 301 563 3412

Total Number of Pages (Including Cover Sheet): Seven (7)

Comments: Final signed decision for the driveway at 9 W. Heron St. for your files.

**CONFIDENTIAL**

If all pages are not received, please contact the Village office at (301) 654-7300.

CASE NO. A-5311  
Appeal of Mr. and Mrs. Stephen C. Conley  
(Hearing held November 13, 2007)

DECISION OF THE BOARD OF MANAGERS

This proceeding is an application for a special permit pursuant to Section 8-12(b) of the Chevy Chase Village Code. The applicants propose to replace and expand an existing asphalt driveway with a concrete paver driveway. The applicants propose to create a wider apron and turnaround area. The proposed apron and turnaround area would be located on private property and would have a maximum width of fifty-four feet (54').

The application is filed pursuant to the requirements of Section 8-26 which provides:

Any driveway on private property may not exceed fifteen (15) feet in width without a special permit from the Board of Managers, except that the apron in front of a two-car garage may extend the full width of the two-car garage, provided that such apron does not exceed twenty (20) feet in length.

The subject property is known as Lots 1 and 2, Block 42, in the "Chevy Chase, Section 2" subdivision, also known as 9 West Lenox Street, Chevy Chase, Maryland 20815, in the R-60 zone. Notice was mailed to all abutting property owners, posted at the Village Hall, and posted on the property on November 1, 2007.

In support of the application, the applicants submitted the following: (i) a copy of the applicants' Village Building Permit Application; (ii) a statement from the applicants' landscape designer, Hawkins Signature Landscapes, describing the nature of the applicants' request; (iii) a location drawing denoting existing conditions; (iv) several photographs depicting existing conditions; (v) a site plan illustrating the existing driveway and the proposed paver driveway; and (vi) a planting plan. Two photographs depicting existing conditions were submitted by Village staff

for the record. Four photograph montages depicting an aerial view of the subject property and alternative driveway configurations were submitted by Village staff for the record.

The statement from Hawkins Signature Landscapes contains the following summary of the applicants' request:

Mr. & Mrs. Conley are requesting a variance for proposed exterior work including their driveway ("Turn around area") in order to facilitate Mr. Conley's visual impairment which obviously affects his eye sight especially his peripheral vision. In an effort to back out of Mr. Conley's garage he would like a less restrictive curve radius as well as a more comfortable area in which to proceed forward out of the drive. He has already struck a small wall that is adjacent to this curve radius. The wall is strictly an ornamental painted brick wall with no structural elements what so ever. As well the wall does not seem to be a part of the 'Plantation Style - Turn of the Century' architecture and seems to be more contemporary than anything else. This wall was constructed in 1990. With the elimination of this wall the curve radius can be made more receptive to Mr. Conley's condition. The turn around area measures 15' in width, which is in accordance with Village guidelines. The surface of the drive would be a paver ('Balcon' concrete paver) on a crush[ed] stone base with a sand grout. Since the drive is relatively flat this will allow for water percolation.

\* \* \*

And finally, the Conley[s] will install an elaborate and mature landscape screening in accordance with the Chevy Chase image and keeping in style with adjacent landscapings. It will be somewhat naturalized with large scale plantings of Hollies, dwf. Little Gem Magnolias, Crepe Myrtles, hydrangeas, English weeping yews, rhododendron, and matching ground cover of existing ivy presently throughout the site. As well a London Plane tree has been incorporated per Mr. Geoffrey Biddle's request as a canopy tree on the Laurel Parkway side.

The Conley[s'] intention is to bring the residence of 9 West Lenox Street back to its original grandeur as a turn of the century, Plantation Style home in keeping with traditional Chevy Chase values. This design will also enable the Conley[s] to safely exit their driveway and to walk from their garage area throughout the yard. As well the drive will be comfortably screened from the street with mature landscapes. No large scale trees will be affected by this construction. And none of the work will hamper any street traffic and can be contained within the Conley site. No port-o-johns are expected to be used during installation. The Conley[s] thank you for your consideration of this matter.

The materials submitted by the applicants reflect that the applicants' property is a corner lot with frontage on West Lenox Street and Laurel Parkway. The materials submitted by the applicants

show that the proposed driveway apron and turnaround area would be located on private property and would have a maximum width of fifty-four feet (54'). The length of the driveway from the existing garage to West Lenox Street, and the width of the portion of the driveway that adjoins West Lenox Street, would not be increased.

Bob Hawkins, the applicants' landscape designer, appeared at the hearing and testified on the applicants' behalf. According to Mr. Conley, the proposed paver driveway is necessary to make backing out of the garage safer for Mr. Conley. He explained that there is a fire hydrant located near the end of the applicants' driveway adjoining West Lenox Street and that, as a result of the difficulty encountered in backing out of the curved driveway, the applicants have struck the hydrant on at least one occasion. Mr. Hawkins explained that the applicants propose to replace their current "tar and chip" asphalt drive with a more pervious paver driveway. According to Mr. Hawkins, the concrete paver design, incorporating crushed stone infill, is similar to what has been installed on other nearby properties. He explained that the applicants propose to reduce the turn radius of the turnaround area by extending it ten and one-half feet (10.5') and increasing the depth by eleven feet (11'). Village staff calculated the proposed surface area increase to be three hundred eleven (311) square feet.

Mr. Conley testified at the hearing and reiterated that the applicants wish to widen their driveway apron and turn around area to make backing out of the garage safer. Mr. Conley explained that he has suffered multiple strokes and as a result, his vision has been impaired. Mr. Conley asserted that the applicants' proposed paver driveway and landscaping would improve the appearance of the applicants' property.

Susan Gorman of 45 West Lenox Street testified in support of the applicants' request. She stated that she believes the applicants' two-car garage makes it difficult to back out of the driveway. Also, she stated that she finds the proposed pavers to be nice looking.

No testimony or other evidence in opposition to the application was submitted.

Based upon the testimony and evidence of record, the Board of Managers (the "Board") makes the following findings in connection with this matter:

1. The portion of the proposed paver driveway that requires a special permit would be located on private property.
2. The proposed payer driveway would increase the driveway surface area by no more than three hundred eleven (311) square feet.
3. The proposed apron and turnaround area would have a maximum width of fifty-four feet (54').
4. Due to the acute angle of the intersection of West Lenox Street and Laurel Parkway, automobiles backing out of the applicants' driveway may not be able to timely observe vehicles approaching from multiple directions.
5. It is necessary for the applicants to exit the driveway front first in order to more readily observe traffic on West Lenox Street and Laurel Parkway.
6. The extra width of the proposed driveway apron and turnaround area is necessary for a car to turn around and exit the driveway front first.
7. The pavers proposed by the applicants would conform in appearance to a driveway located on a nearby property.
8. A Village resident, who resides on West Lenox Street, approves of the applicants' request.
9. The applicants proposed paver driveway would be more pervious than the applicants' existing asphalt driveway and would improve water drainage.
10. No correspondence or testimony in opposition to the application was presented.



11. The lack of objection from any neighbor, and the support of a resident of West Lenox Street, leads to the conclusion that the proposed driveway apron would not interfere with the reasonable use of adjoining properties.

Based upon the foregoing findings, the Board concludes that:

1. The special permit is authorized by the Village building regulations;
2. The special permit will not adversely affect the public health, safety or welfare nor the reasonable use of adjoining properties; and
3. The special permit can be granted without substantial impairment of the intent and purpose of the building regulations.

Accordingly, the requested special permit to construct a driveway in excess of fifteen feet (15') in width on private property is granted subject to the following conditions:

1. The driveway shall be constructed and maintained in accordance with the plans and specifications submitted for the record in this matter; and
2. The applicants shall complete construction of the driveway on or before the 13<sup>th</sup> day of November, 2008.

The Chevy Chase Village Board of Managers hereby adopts the following Resolution:

**BE IT RESOLVED** by the Board of Managers of Chevy Chase Village that the Decision stated above be adopted as the decision as required by Section 8-12(d) of the Chevy Chase Village Code, and the Village Manager and/or his designee be and he is hereby authorized and directed to issue a building permit for the construction of the concrete paver driveway, in accordance with this Decision, provided the same complies with all other applicable codes.

The foregoing Resolution was adopted by the Chevy Chase Village Board of Managers with the following members voting in favor: Gail Feldman, Robert Jones, Douglas B. Kamerow, David L. Winstead, and Peter Yeo. Betsy Stephens was not present at the hearing in this matter and did not

participate in this Decision. Susie Eig voted against the foregoing decision and would have denied the application.

I HEREBY CERTIFY that the foregoing Decision and Resolution were approved and adopted by the Chevy Chase Village Board of Managers on this 7<sup>th</sup> day of December, 2007.

  
\_\_\_\_\_  
Susie Eig, Secretary  
Board of Managers

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**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	9 West Lenox Street, Chevy Chase	<b>Meeting Date:</b>	12/05/2007
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	11/28/2007
<b>Applicant:</b>	Stephen Conley (Bob Hawkins, Agent)	<b>Public Notice:</b>	11/21/2007
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-07JJ	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b>	Driveway alterations, brick wall removal, and brick walkway installation		

**STAFF RECOMMENDATION:**

Staff is recommending the HPC **approve** this HAWP with the following condition:

1. The applicant will contact the Chevy Chase Village arborist to determine if a tree plan is necessary for the project. If required, the tree protection plan must be implemented prior to beginning the project.

**ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Contributing Resource  
 STYLE: Colonial Revival/Four-Square  
 DATE OF CONSTRUCTION: 1892-1912

**HISTORIC CONTEXT**

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

**PROPOSAL:**

*\* The driveway expansion has been given approval by Chevy Chase Village.*

The applicant is proposing three minor alterations to the subject property.

1. Installation of 310 sq. ft. of brick pavers to accommodate the expansion of the existing tar and chip driveway.
2. Removal of a non-historic brick wall enclosure to accommodate the proposed driveway expansion.

3. Installation of a new 9' wide brick pathway along the southwest (side) of the house.

### **APPLICABLE GUIDELINES**

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

#### ***Chevy Chase Village Historic District Master Plan***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

**“Lenient Scrutiny”** means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

**“Moderate Scrutiny”** involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

**“Strict Scrutiny”** means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny.

#### ***Montgomery County Code; Chapter 24A***

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

#### ***Secretary of the Interior's Standards for Rehabilitation***

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **STAFF DISCUSSION**

Staff supports all three elements of the proposal because the modifications to subject property are very minor.

The applicant is requesting the driveway expansion to improve ingress/egress to the site because of a visual impairment that limits his peripheral vision. The driveway expansion will improve ingress/egress to the two-car garage located on the side of the house by making the existing curve less restrictive and easier to navigate. The proposed driveway expansion is minor and will have minimal impact on the streetscape of the historic district. The use of brick pavers is sympathetic to the existing brick walkways on the property and will have no adverse impact on the property or house.

Staff is recommending the Commission approve the proposed brick pathway located along the southwest (side) of the house. The location of the pathway on the side of the house and proposed use of vegetative screening will minimize its visibility from the public right-of-way. The use of brick to match the existing brick pathways located at the front and side of the house also make the addition of this feature supportable. The pathway will have only minimal visibility from the public right-of-way and have no adverse impact on the property.

The removal of the non-historic brick wall is necessary to accommodate the proposed driveway expansion. Its removal will have no adverse effect on the setting of the property or historic district. *Staff is recommending the HPC approve this HAWP application.*

#### **STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application **with the condition specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Chevy Chase Village Historic District Master Plan – Expansion, Adopted April 1998*

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



HISTORIC PRESERVATION COMMISSION  
 301/563-3400

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CHECK ALL APPLICABLE:

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 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: Alter drive - add new walks + Landscaping (Screening)

1B. Construction cost estimate: \$ 50,000  
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.  
 \_\_\_\_\_ Date: 10/15/07  
Signature of owner or authorized agent

Approved: \_\_\_\_\_ For: Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Application/Permit No: 14657 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

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If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which abut the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, 1301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Conley 9 West Lenox Street Chevy Chase, Maryland	Hawkins 12205 Annapolis Road Bowie, Md. 20720
Adjacent and confronting Property Owners mailing addresses	
Joyce 10 Laurel Parkway Chevy Chase, Md. 20815	Gellman 11 West Lenox Street Chevy Chase, Md. 20815
Bennett 4 Laurel Parkway Chevy Chase, Md. 20815	Fox 8 West Lenox Street Chevy Chase, Md. 20815

15 October 2007

***Historic Area Work Permit – 9 West Lenox Street (Chevy Chase, Md.)  
Conley Residence***

*Mr. & Mrs. Conley are requesting a historic area work permit (HAWP) for proposed exterior work including their driveway ('Turn around area') in order to facilitate Mr. Conley's visual impairment which obviously affects his eye sight especially his peripheral vision. In an effort to back out of Mr. Conley's garage he would like a less restrictive curve radius as well as a more comfortable area in which to proceed forward out of the drive. He has already struck a small wall that is adjacent to this curve radius. The wall is strictly an ornamental painted brick wall with no structural elements what so ever. As well the wall does not seem to be a part of the 'Plantation Style – Turn of the Century' architecture and seems to be more contemporary than anything else. This wall was constructed in 1990. With the elimination of this wall the curve radius can be made more receptive to Mr. Conley's condition. The turn around area measures 15' in width, which is in accordance with Village guidelines.*

*A second feature of this design is a brick walkway that would companion this new turnaround area which will ease pedestrian travel between the front and back yards via through the garage area which is well needed for safe and comfortable walking through this area. Currently there is no adjoining walkway between the front and rear yards. This walk would be a matching walk (brick herringbone style) to the existing front and rear walks presently in place.*

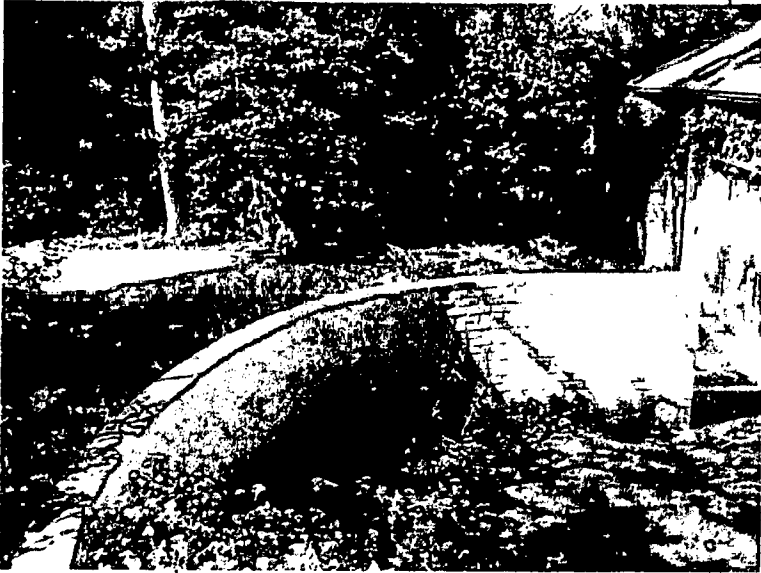
*And finally, the Conley's will install an elaborate and mature landscape screening in accordance with the Chevy Chase image and keeping in style with adjacent landscapings. It will be somewhat naturalized with large scale plantings of Hollies, dwf. Little Gem Magnolias, Crepe Myrtles, hydrangeas, English weeping yews, rhododendron, and matching ground cover of existing ivy presently throughout the site.*

*The Conley's intention is to bring the residence of 9 West Lenox Street back to its original grandeur as a turn of the century, Plantation Style home in keeping with traditional Chevy Chase values. This design will also enable the Conley's to safely exit their driveway and to walk from their garage area throughout the yard. As well the drive will be comfortably screened from the street with mature landscapes. No large scale trees will be affected by this construction. And none of the work will hamper any street traffic and can be contained within the Conley site. The Conley's thank you for your consideration of this matter.*

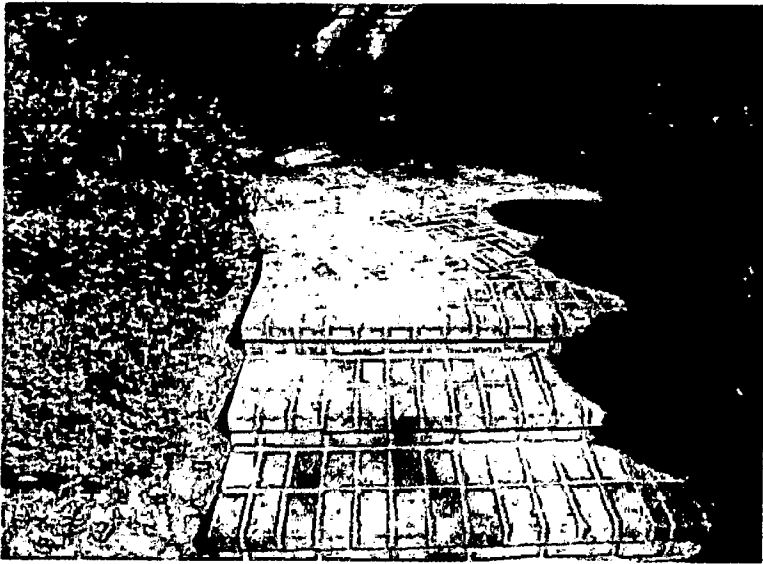








Serpentine brick wall to remove adjacent to 'turn around' AREA



Matching Brick Walks (existing above)

Conley's Residence 9 West Lenox Street



Existing Garage (Tar/Chip surface)



Exit of drive (to remain as is)



Turn Around Area  
Existing conditions are to 'tight'  
for Mr. Conley's visual impairment



3 Existing Dogwoods to Remain  
with new evergreen underplantings  
for screening

## Fothergill, Anne

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**Subject:** FW: LAP comments on 9 W Lenox, Brookville Rd

### HAWP II-A

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**From:** Bourke, Tom (Winchester Homes, Inc.)(Tom) [mailto:tom.bourke@whihomes.com]  
**Sent:** Monday, December 03, 2007 4:13 PM  
**To:** Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua  
**Cc:** Biddle, Geoff; Bob Elliott; Bourke email file; FeldmanGS@aol.com; abjdoe@gmail.com; r.marshes@verizon.net; Stephens, Betsy; Wellington, P. (ccv)  
**Subject:** LAP comments on 9 W Lenox, Brookville Rd

The following are the comments of the Chevy Chase Village LAP for the HPC hearing on 12/5/-07:

#### 9 W Lenox

contributing resource  
driveway expansion, as already approved by CCV  
Staff recommends approval, provided applicant coordinates with CCV arborist

LAP concurs with staff recommendation

One member noted in agreeing with the staff's recommendation that this project should be approved, as follows" In addition to other improvements, I believe that the removal of the wall, constructed in 1990, will improve the streetscape and provide an uninterrupted view of this interesting and attractive historic property."

Another member supported the approval but wanted to clarify for staff as follows: "...note that any reliance by the HPC on the staff report's suggestion that "proposed use of vegetative screening will minimize its visibility from the public right-of-way" would be inconsistent with "Rule 1" of the Guidelines, which states:

1. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

The last clause of the rule requires review of additions etc. without regard to whether they may be screened by vegetation or landscaping, since the HPC has no control over future changes in vegetation and landscaping...."

### **Preliminary Consultation III-B**

#### Brookville Rd Sidewalk

Prelim Consultation

Staff questioned need for 5' width and the appearance of the "concrete dividers"

LAP concurs with Staff recommendation. We also question the need for 5' width and the concrete wheel stops will leave a lot to be desired - especially when viewed as a long (and inevitably meandering) white row along the street.

The LAP does however recognize the importance of getting some accommodation for pedestrians along Brookville Rd, and strongly urges the various jurisdictions and agencies - the Village, State and HPC - to come to a resolution.

Submitted for the LAP by  
Tom Bourke  
Chair

# Conley's Residence

9 West Lenox Street



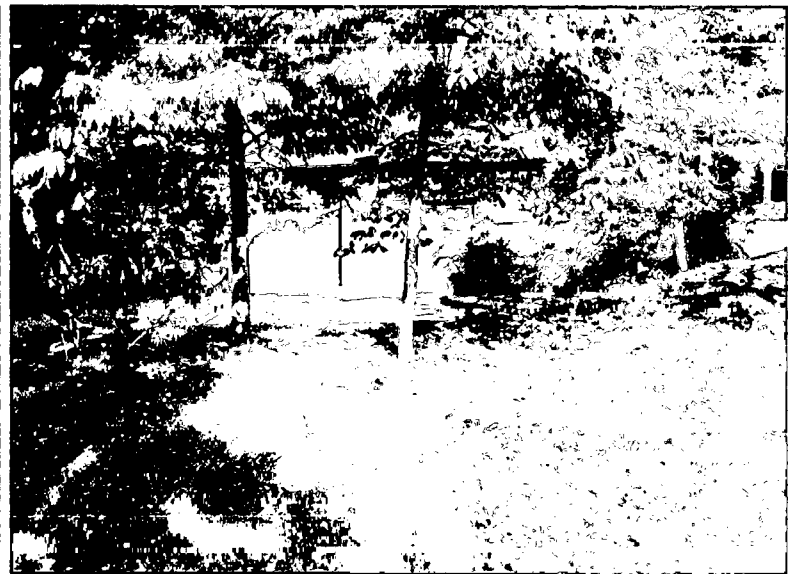
Existing Garage (Tar/Chip surface)



Exit of drive (to remain as is)



Turn Around Area  
Existing conditions are to 'tight'  
for Mr. Conley's visual impairment

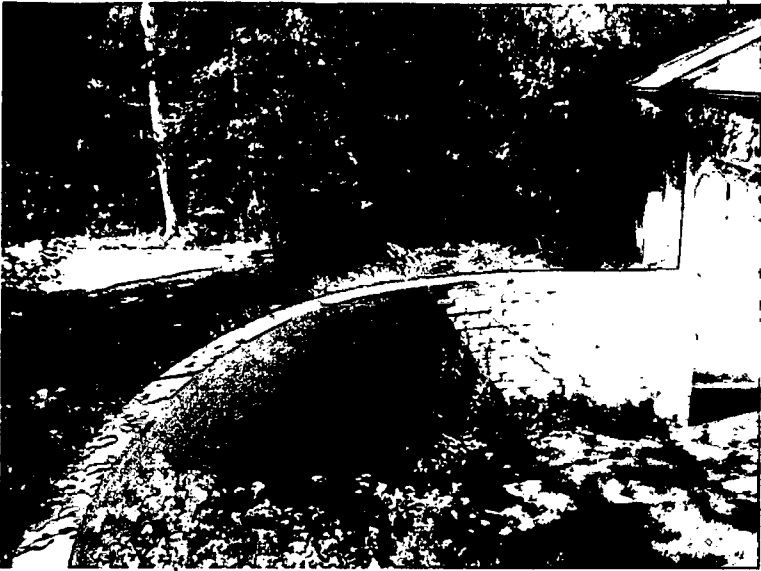


3 Existing Dogwoods to Remain  
with new evergreen underplantings  
for screening

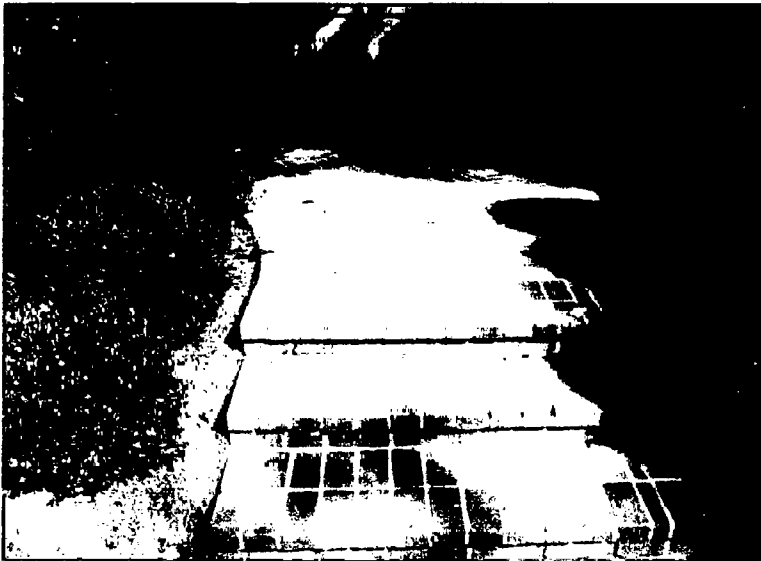


Conley Residence

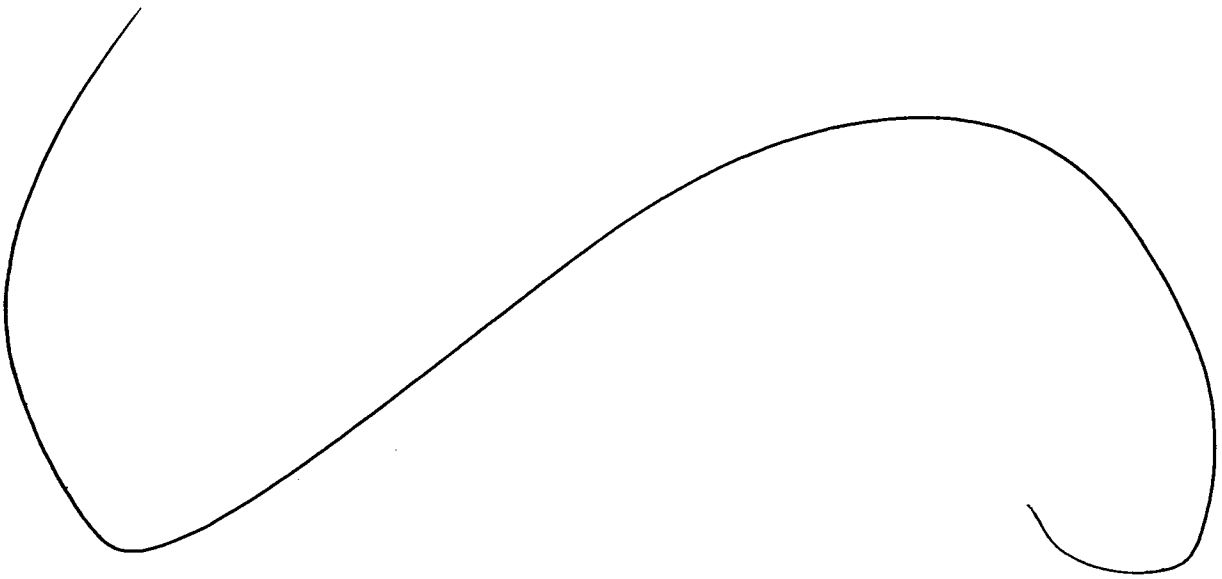
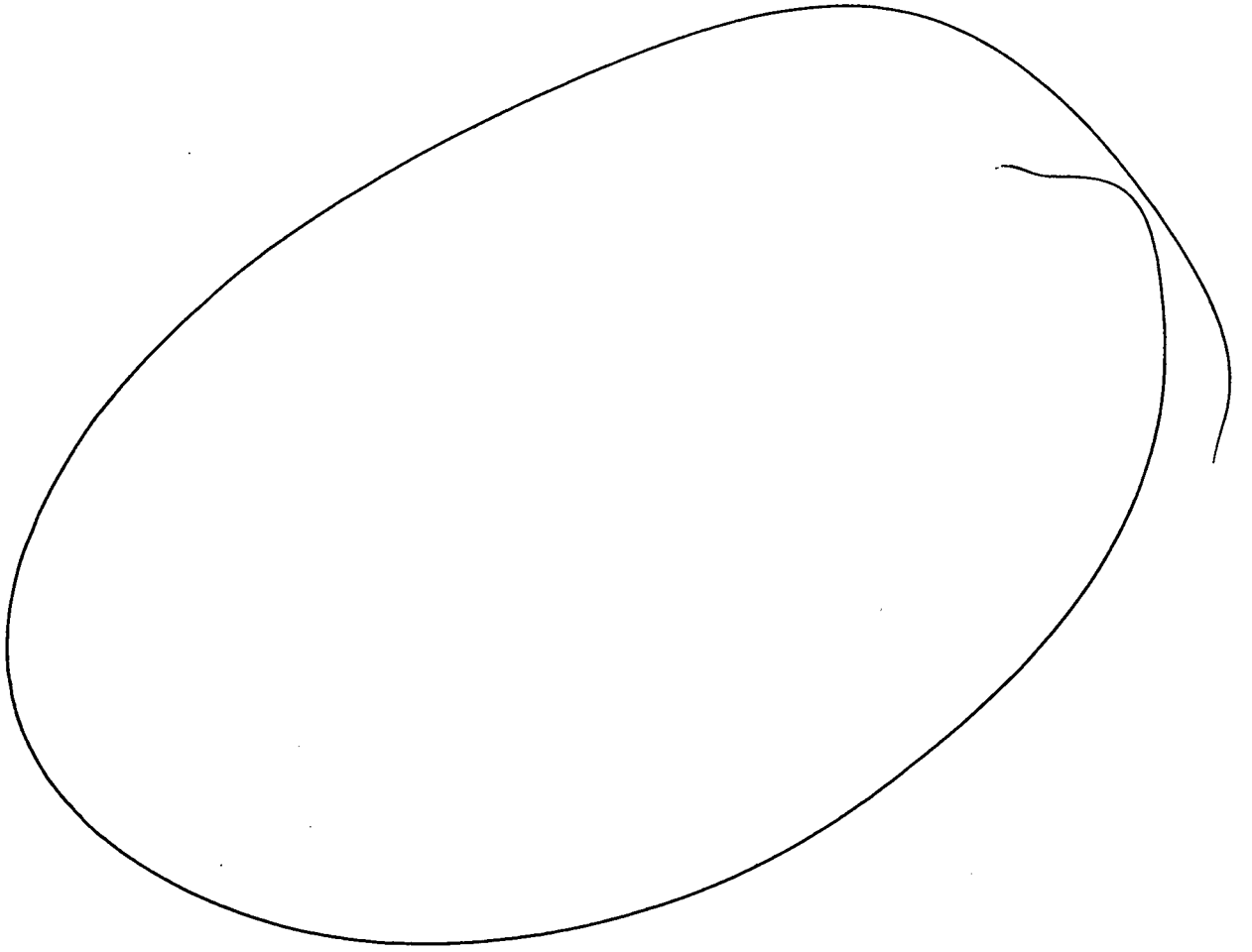
9 West Lenox Street



Serpentine brick wall to remove  
Adjacent to 'turn around' AREA



Matching Brick Walks (existing above)



CASE NO. A-5311  
Appeal of Mr. and Mrs. Stephen C. Conley  
(Hearing held November 13, 2007)

DECISION OF THE BOARD OF MANAGERS

This proceeding is an application for a special permit pursuant to Section 8-12(b) of the Chevy Chase Village Code. The applicants propose to replace and expand an existing asphalt driveway with a concrete paver driveway. The applicants propose to create a wider apron and turnaround area. The proposed apron and turnaround area would be located on private property and would have a maximum width of fifty-four feet (54').

The application is filed pursuant to the requirements of Section 8-26 which provides:

Any driveway on private property may not exceed fifteen (15) feet in width without a special permit from the Board of Managers, except that the apron in front of a two-car garage may extend the full width of the two-car garage, provided that such apron does not exceed twenty (20) feet in length.

The subject property is known as Lots 1 and 2, Block 42, in the "Chevy Chase, Section 2" subdivision, also known as 9 West Lenox Street, Chevy Chase, Maryland 20815, in the R-60 zone. Notice was mailed to all abutting property owners, posted at the Village Hall, and posted on the property on November 1, 2007.

In support of the application, the applicants submitted the following: (i) a copy of the applicants' Village Building Permit Application; (ii) a statement from the applicants' landscape designer, Hawkins Signature Landscapes, describing the nature of the applicants' request; (iii) a location drawing denoting existing conditions; (iv) several photographs depicting existing conditions; (v) a site plan illustrating the existing driveway and the proposed paver driveway; and (vi) a planting plan. Two photographs depicting existing conditions were submitted by Village staff

for the record. Four photograph montages depicting an aerial view of the subject property and alternative driveway configurations were submitted by Village staff for the record.

The statement from Hawkins Signature Landscapes contains the following summary of the applicants' request:

Mr. & Mrs. Conley are requesting a variance for proposed exterior work including their driveway ('Turn around area') in order to facilitate Mr. Conley's visual impairment which obviously affects his eye sight especially his peripheral vision. In an effort to back out of Mr. Conley's garage he would like a less restrictive curve radius as well as a more comfortable area in which to proceed forward out of the drive. He has already struck a small wall that is adjacent to this curve radius. The wall is strictly an ornamental painted brick wall with no structural elements what so ever. As well the wall does not seem to be a part of the 'Plantation Style – Turn of the Century' architecture and seems to be more contemporary than anything else. This wall was constructed in 1990. With the elimination of this wall the curve radius can be made more receptive to Mr. Conley's condition. The turn around area measures 15' in width, which is in accordance with Village guidelines. The surface of the drive would be a paver ('Balcon' concrete paver) on a crush[ed] stone base with a sand grout. Since the drive is relatively flat this will allow for water percolation.

\* \* \*

And finally, the Conley[s] will install an elaborate and mature landscape screening in accordance with the Chevy Chase image and keeping in style with adjacent landscapings. It will be somewhat naturalized with large scale plantings of Hollies, dwf. Little Gem Magnolias, Crepe Myrtles, hydrangeas, English weeping yews, rhododendron, and matching ground cover of existing ivy presently throughout the site. As well a London Plane tree has been incorporated per Mr. Geoffrey Biddle's request as a canopy tree on the Laurel Parkway side.

The Conley[s'] intention is to bring the residence of 9 West Lenox Street back to its original grandeur as a turn of the century, Plantation Style home in keeping with traditional Chevy Chase values. This design will also enable the Conley[s] to safely exit their driveway and to walk from their garage area throughout the yard. As well the drive will be comfortably screened from the street with mature landscapes. No large scale trees will be affected by this construction. And none of the work will hamper any street traffic and can be contained within the Conley site. No port-o-johns are expected to be used during installation. The Conley[s] thank you for your consideration of this matter.

The materials submitted by the applicants reflect that the applicants' property is a corner lot with frontage on West Lenox Street and Laurel Parkway. The materials submitted by the applicants

show that the proposed driveway apron and turnaround area would be located on private property and would have a maximum width of fifty-four feet (54'). The length of the driveway from the existing garage to West Lenox Street, and the width of the portion of the driveway that adjoins West Lenox Street, would not be increased.

Bob Hawkins, the applicants' landscape designer, appeared at the hearing and testified on the applicants' behalf. According to Mr. Conley, the proposed paver driveway is necessary to make backing out of the garage safer for Mr. Conley. He explained that there is a fire hydrant located near the end of the applicants' driveway adjoining West Lenox Street and that, as a result of the difficulty encountered in backing out of the curved driveway, the applicants have struck the hydrant on at least one occasion. Mr. Hawkins explained that the applicants propose to replace their current "tar and chip" asphalt drive with a more pervious paver driveway. According to Mr. Hawkins, the concrete paver design, incorporating crushed stone infill, is similar to what has been installed on other nearby properties. He explained that the applicants propose to reduce the turn radius of the turnaround area by extending it ten and one-half feet (10.5') and increasing the depth by eleven feet (11'). Village staff calculated the proposed surface area increase to be three hundred eleven (311) square feet.

Mr. Conley testified at the hearing and reiterated that the applicants wish to widen their driveway apron and turn around area to make backing out of the garage safer. Mr. Conley explained that he has suffered multiple strokes and as a result, his vision has been impaired. Mr. Conley asserted that the applicants' proposed paver driveway and landscaping would improve the appearance of the applicants' property.

Susan Gorman of 45 West Lenox Street testified in support of the applicants' request. She stated that she believes the applicants' two-car garage makes it difficult to back out of the driveway. Also, she stated that she finds the proposed pavers to be nice looking.

No testimony or other evidence in opposition to the application was submitted.

Based upon the testimony and evidence of record, the Board of Managers (the "Board") makes the following findings in connection with this matter:

1. The portion of the proposed paver driveway that requires a special permit would be located on private property.

2. The proposed paver driveway would increase the driveway surface area by no more than three hundred eleven (311) square feet.

3. The proposed apron and turnaround area would have a maximum width of fifty-four feet (54').

4. Due to the acute angle of the intersection of West Lenox Street and Laurel Parkway, automobiles backing out of the applicants' driveway may not be able to timely observe vehicles approaching from multiple directions.

5. It is necessary for the applicants to exit the driveway front first in order to more readily observe traffic on West Lenox Street and Laurel Parkway.

6. The extra width of the proposed driveway apron and turnaround area is necessary for a car to turn around and exit the driveway front first.

7. The pavers proposed by the applicants would conform in appearance to a driveway located on a nearby property.

8. A Village resident, who resides on West Lenox Street, approves of the applicants' request.

9. The applicants proposed paver driveway would be more pervious than the applicants' existing asphalt driveway and would improve water drainage.

10. No correspondence or testimony in opposition to the application was presented.

11. The lack of objection from any neighbor, and the support of a resident of West Lenox Street, leads to the conclusion that the proposed driveway apron would not interfere with the reasonable use of adjoining properties.

Based upon the foregoing findings, the Board concludes that:

1. The special permit is authorized by the Village building regulations;
2. The special permit will not adversely affect the public health, safety or welfare nor the reasonable use of adjoining properties; and
3. The special permit can be granted without substantial impairment of the intent and purpose of the building regulations.

Accordingly, the requested special permit to construct a driveway in excess of fifteen feet (15') in width on private property is granted subject to the following conditions:

1. The driveway shall be constructed and maintained in accordance with the plans and specifications submitted for the record in this matter; and
2. The applicants shall complete construction of the driveway on or before the 13<sup>th</sup> day of November, 2008.

The Chevy Chase Village Board of Managers hereby adopts the following Resolution:

BE IT RESOLVED by the Board of Managers of Chevy Chase Village that the Decision stated above be adopted as the decision as required by Section 8-12(d) of the Chevy Chase Village Code, and the Village Manager and/or his designee be and he is hereby authorized and directed to issue a building permit for the construction of the concrete paver driveway, in accordance with this Decision, provided the same complies with all other applicable codes.

The foregoing Resolution was adopted by the Chevy Chase Village Board of Managers with the following members voting in favor: Gail Feldman, Robert Jones, Douglas B. Kamerow, David L. Winstead, and Peter Yeo. Betsy Stephens was not present at the hearing in this matter and did not

participate in this Decision. Susie Eig voted against the foregoing decision and would have denied the application.

I HEREBY CERTIFY that the foregoing Decision and Resolution were approved and adopted by the Chevy Chase Village Board of Managers on this \_\_\_\_ day of November, 2007.

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Susie Eig, Secretary  
Board of Managers

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## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

Leslie Miles  
Chairperson

Date: May 9, 2012

### MEMORANDUM

TO: Diane R. Schwartz Jones, Director  
Department of Permitting Services

FROM: Josh Silver, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #568805, construction of side and rear additions, alterations to house and driveway and tree removal

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the June 8, 2011 meeting.

- 1. The applicants must implement tree protection measures in accordance with the Chevy Chase Village, Arborist approval for site work and new construction at the property. All tree protection measures must be implemented prior to commencing work at the subject property.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Daniel and Kristen Coughlan

Address: 20 West Lenox Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or [joshua.silver@mncppc-mc.org](mailto:joshua.silver@mncppc-mc.org) to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAN COUGHLAN

Daytime Phone No.: 240-744-4802

Tax Account No.: 07-009-00456013

Name of Property Owner: DANIEL & KRISTEN COUGHLAN Daytime Phone No.: 240-744-4802

Address: 20 WEST LENOX ST., CHEVY CHASE, MD 20815  
Street Number City Street Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: MATTHEW FIEMN Daytime Phone No.: 202-337-7255

**LOCATION OF BUILDING/PERMITS**

House Number: 20 Street WEST LENOX STREET

Town/City: CHEVY CHASE Nearest Cross Street: MAGNOLIA PKWY

Lot: 11 Block: 38 Subdivision: 2

Libar: 32802 Folio: 262 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- |   |                                  |  |  |   |   |   |                               |                               |
|---|----------------------------------|--|--|---|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> AC                   | <input type="checkbox"/> Slab                 | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze                | <input type="checkbox"/> Salar                           | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input type="checkbox"/> Single Family    |                               |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |   | <input type="checkbox"/> Other: _____             |   |                               |                               |

1B. Construction cost estimate: \$ 950,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line     Entirely on land of owner     On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies (state and local) and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

05-18-11  
Date

Approved: \_\_\_\_\_  
For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 5/9/12

Application/Permit No.: 568805 Date Filed: 5/18/11 Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	20 West Lenox Street, Chevy Chase	<b>Meeting Date:</b>	6/8/11
<b>Resource:</b>	<b>Contributing Resource</b> Chevy Chase Village Historic District	<b>Report Date:</b>	6/1/11
<b>Applicant:</b>	Daniel and Kristen Coughlan (Matthew Fiehn, Architect)	<b>Public Notice:</b>	5/25/11
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
		<b>Staff:</b>	Josh Silver

**Case Number:** 35/13-11T

**PROPOSAL:** Construction of side and rear additions, alterations to house and driveway and tree removal

**STAFF RECOMMENDATION**

Staff is recommending the HPC **approve** this HAWP application with the following condition:

1. The applicants must implement tree protection measures in accordance with the Chevy Chase Village, Arborist approval for site work and new construction at the property. All tree protection measures must be implemented prior to commencing work at the property.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival  
**DATE:** 1916-27

**BACKGROUND**

The HPC held a Preliminary Consultation hearing for the construction of a side and rear yard addition, alterations to the house and driveway and tree removal on April 13, 2011. There was general consensus among the HPC that the proposed concept for adding a side and rear addition could be approved at the subject property. In addition there was consensus the installation of dormers was consistent with the guidelines and that some level of alterations could occur to the existing driveway. (See attached HPC meeting transcript on Circle 41 )

The HPC provided the applicants with the following feedback in response to the proposed design:

- The depth of the proposed 1 story gable section (labeled kitchen) that projects toward the adjacent property should be reduced to preserve the existing side yard driveway and move the addition further away from the tree along the shared property line with 18 West Lenox Street
- The length of the proposed 1 story gable section (labeled breakfast room) should be reduced so that it is more proportional to the existing house and proposed additions
- General support for the installation of wooden panels in lieu of windows in openings on the 2 story hipped roof addition. A minority of the Commission expressed opposition to this treatment and recommended windows
- Support for the installation of dormers on the front and rear roof pitches. A minority of the

- Commission expressed opposition to the shed roof design and recommended a gable.
- The material, window and door treatments are appropriate for new construction on a Contributing Resource property and consistent with the historic massing.

## **PROPOSAL**

The applicants are proposing to construct a 1 and 2 story side addition and 2 story rear addition at the subject property. The proposed design expands the existing 2,148 s.f. building footprint to 3,250 s.f.

The proposed design program includes the installation of three shed roof dormers on the front roof slope and one dormer on the rear roof slope of the historic massing, the removal and replacement of the existing louvered fan vents in the gable ends of the historic massing and installation of new simulated divided light half round windows in enlarged openings. A new stone chimney is proposed at the rear of the proposed 2 story addition.

The proposed work also includes reducing the width of the existing side yard driveway that provides access to a rear yard garage. The existing driveway tapers from 12'1" -to- 9'8" along the side of the house and widens to 16'2" in front of the garage. The proposed driveway design maintains the dimensions at the public right-of-way and in front of the garage and calls for an 8' wide driveway with 1'0" +/- planting bed between the proposed addition and driveway.

The proposed material treatments and details for the new additions are consistent with the historic massing and include: wooden clapboard siding, a combination of cooper standing seam and asphalt roofing, a stone veneer foundation, wooden trim and details, and wooden simulated divided light double-hung and doors.

The proposed works also includes the removal of one 19.5" dbh Red Maple tree from the front yard of the property to accommodate the proposed 2 story side addition. Removal of the tree was reviewed and approved with conditions by Chevy Chase Village.

## **APPLICABLE GUIDELINES**

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

### ***Chevy Chase Village Historic District Master Plan***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

**“Lenient Scrutiny”** means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

**“Moderate Scrutiny”** involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of

compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources they should be subject to strict scrutiny if they are visible from the public right-of-way.
- Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village's open park-like character.
- Major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the street scape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.

#### **Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
  - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
  - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### **STAFF DISCUSSION**

The applicants' revised design responds to the general feedback they received from the HPC at the Preliminary Consultation hearing.

The proposed 1 story side gable (kitchen) addition section has been reduced in depth. This modest reduction helps preserve legibility of the existing driveway and moves the footprint of the addition outside the 13' radius root protection zone required by the Chevy Chase Village Arborist to preserve the tree.

The proposed 1 story gable (breakfast room) addition section has been slightly reduced in size and its orientation adjusted to address the proportions of the proposed addition with the existing house and new construction.

Staff supports the proposed removal of the Red Maple tree in the front yard to accommodate the 2 story hipped roof addition. The proposed removal has been reviewed and approved with conditions by Chevy Chase Village.

Staff recommends that the applicants continue consultation with the Village arborist to ensure appropriate tree protection measures are taken prior to commencing work at the property. Specific attention should be given to the protection of the White Oak tree on the shared property line to the west.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve the HAWP with the condition specific on Circle 1** as being

consistent with Chapter 24A-8(b)(1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or [joshua.silver@mncppc-mc.org](mailto:joshua.silver@mncppc-mc.org) to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
168 ANDERSON DRIVE, EIGHTH FLOOR, ROCKVILLE, MD 20850  
241-277-1378

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: DAN COUGHLAN  
Daytime Phone No.: 240-744-4802

Tax Account No.: 07-009-00456013  
Name of Property Owner: DANIEL & KRISTEN COUGHLAN Daytime Phone No.: 240-744-4802  
Address: 20 WEST LENOX ST., CHEVY CHASE, MD 20815  
Street Number City Street Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: MATTHEW FIEHN Daytime Phone No.: 202-337-7255

**LOCATION OF BUILDING/PREMISE**

House Number: 20 Street: WEST LENOX STREET  
Town/City: CHEVY CHASE Nearest Cross Street: MAGNOLIA PKWY  
Lot: 11 Block: 38 Subdivision: 2  
Liber: 32802 Folio: 262 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 950,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

05-18-11  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 568805 Date Filed: 5/18/11 Date Issued: \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1916 COLONIAL REVIVAL, WOOD CLAPBOARD WITH SIDE GABLES  
AND ASPHALT SHINGLE ROOF. IT IS CLASSIFIED AS A CATEGORY  
'2' CONTRIBUTING RESOURCE. FREE STANDING GARAGE, ASPHALT  
DRIVEWAY, 3' HIGH WOOD PICKET FENCE. STICK STYLE END GABLE  
BRACKETS, ENCLOSED UPPER PORCH & SCREENED LOWER, HALF  
ROUND LOWERED ATTIC VENTS, STONE CHIMNEY, PTD. WOOD  
SHUTTERS, COPPER GUTTERS & DOWNSPOUTS, EXPOSED RAFTER  
TAILS.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE ADDITION IS TO UTILIZE THE ABOVE LISTED FEATURES WHERE  
APPLICABLE INCLUDING WOOD CLAPBOARD SIDING, STICK STYLE  
END GABLE BRACKETS & EXPOSED RAFTER TAILS, HALF ROUND  
LOWERED ATTIC VENTS, PTD WOOD SHUTTERS, STONE CHIMNEY  
AND COPPER GUTTERS & DOWNSPOUTS

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

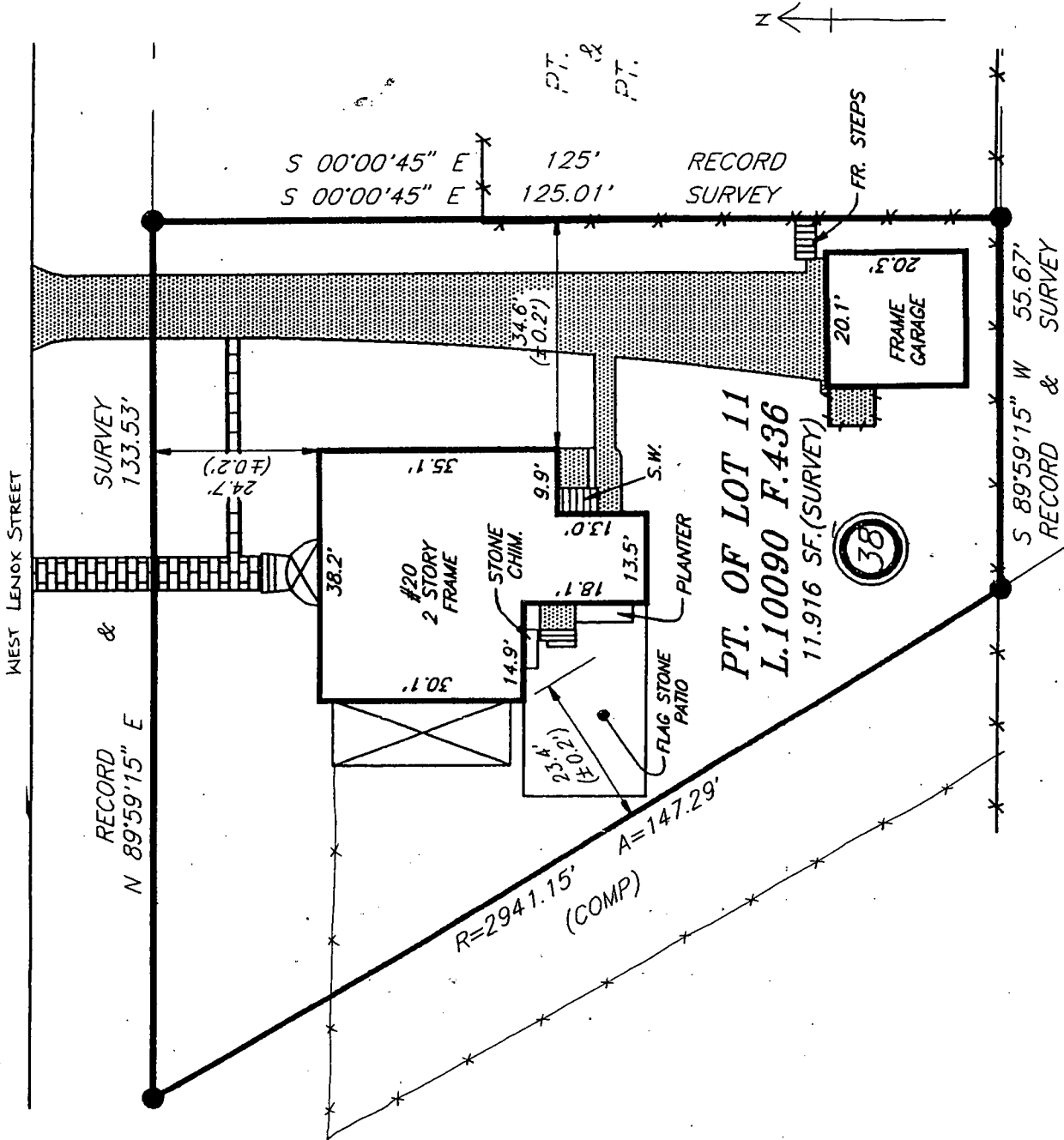
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

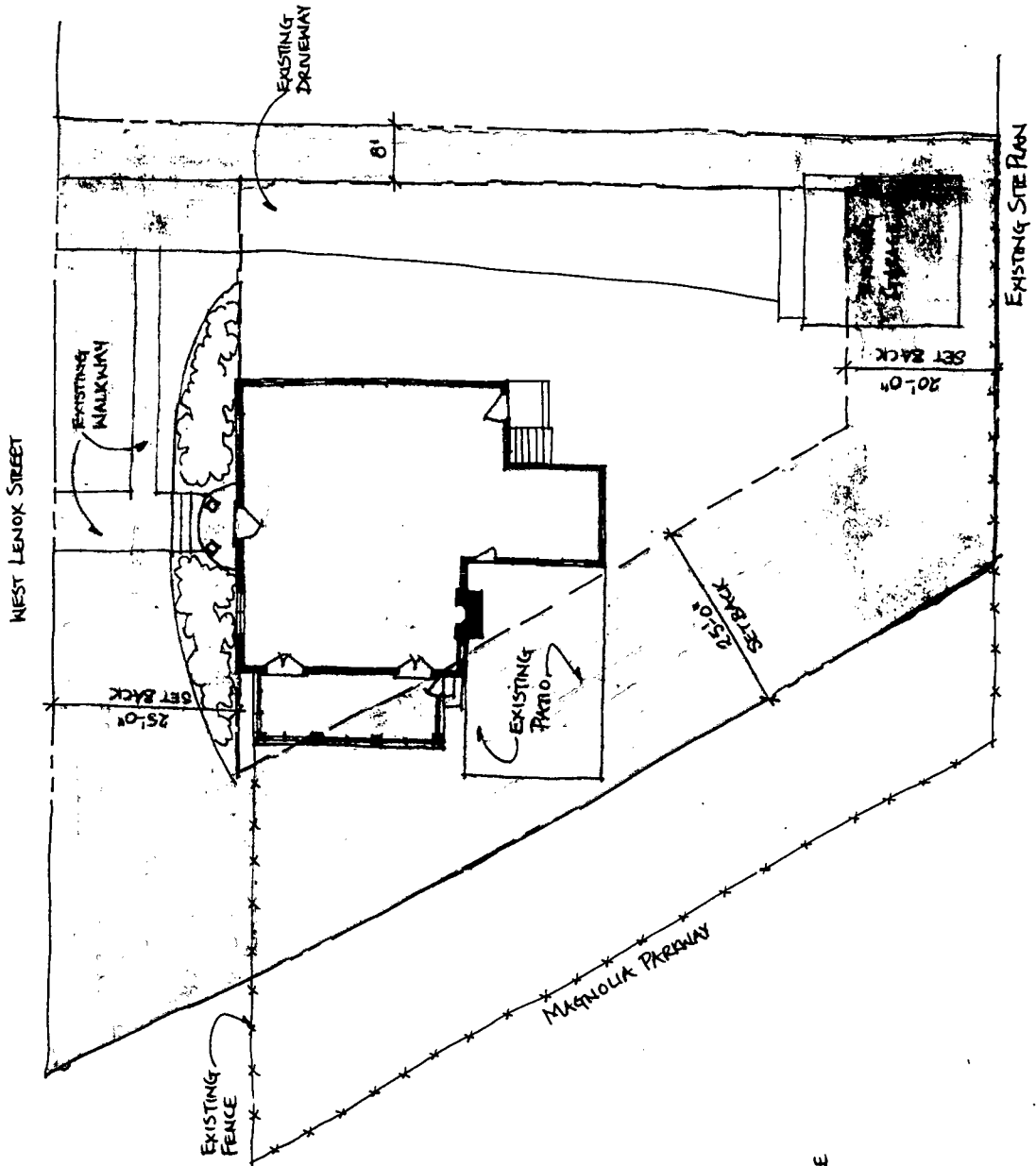
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

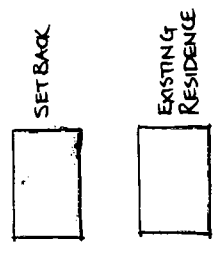
<p><b>Owner's mailing address</b>                  20 W LENOX ST.                  CHEVY CHASE, MD 20815</p>	<p><b>Owner's Agent's mailing address</b>                  BARNES VANZE ARCHITECTS                  1000 POTOMAC ST NW, SUITE L-2                  WASHINGTON, DC 20007</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>PETER L. &amp; M. K. WELLINGTON                  18 W LENOX ST.                  CHEVY CHASE, MD 20815</p>	<p>JOHN J. &amp; V. L. RYAN                  33 W. LENOX ST.                  CHEVY CHASE, MD 20815</p>
<p>BRIAN W. SMITH &amp; DONNA J. HOLVERSON                  35 W. LENOX ST.                  CHEVY CHASE, MD 20815</p>	<p>JEROME H. POWELL &amp; ELISSA A. LEONARD                  37 W. LENOX ST.                  CHEVY CHASE, MD 20815</p>
<p>ALEXANDER &amp; M. HUMPHREY                  25 W. KIRKE ST.                  CHEVY CHASE, MD 20815</p>	<p>PETER D. &amp; SUSAN G. KEISLER                  20 MAGNOLIA PKWY                  CHEVY CHASE, MD 20815</p>

THOMAS S. DANN &  
 MELISSA SHACKLETON DANN  
 27 W. KIRKE ST.  
 CHEVY CHASE, MD 20815



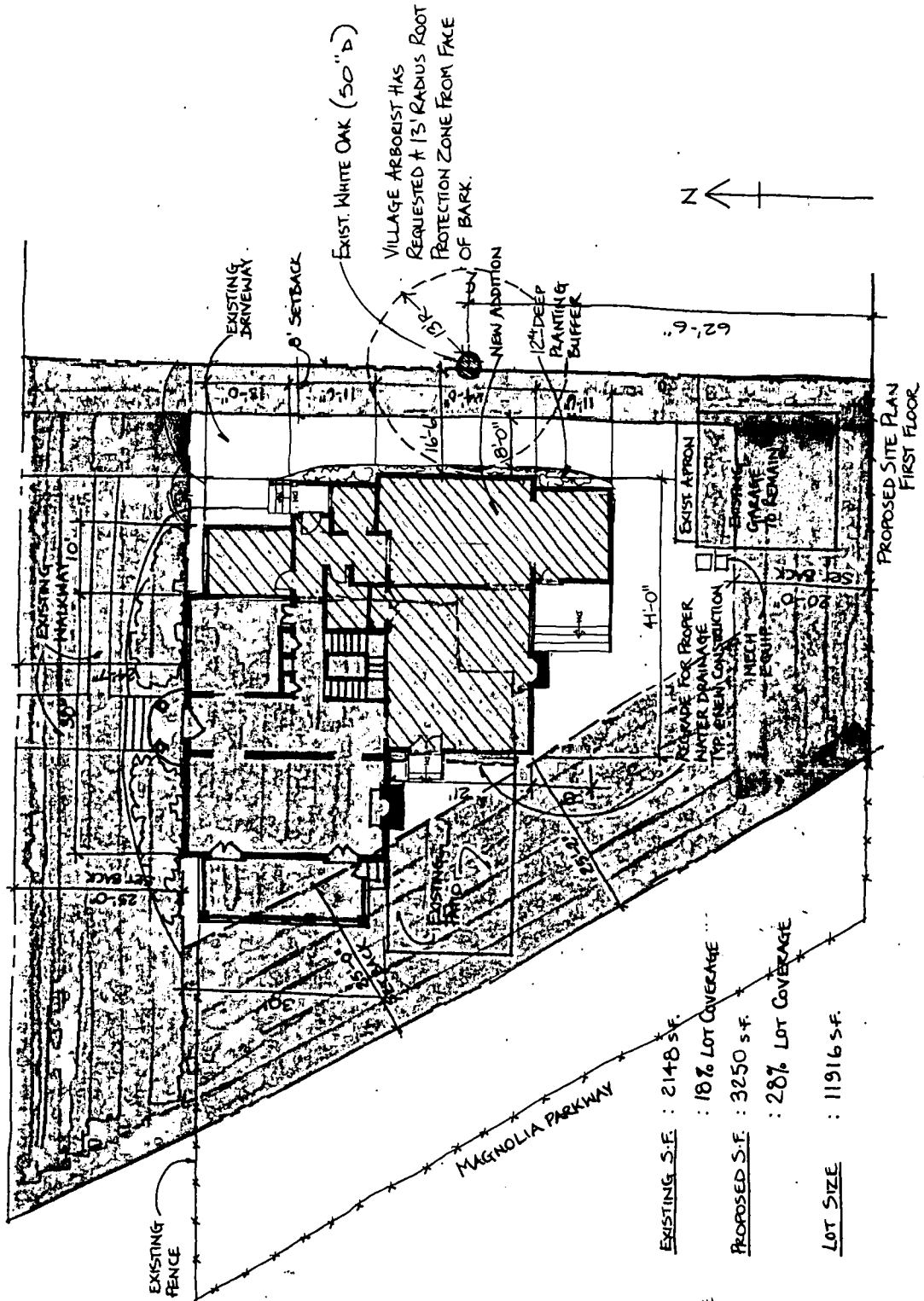


COUGHLAN RESIDENCE  
 SITE PLAN  
 BARNES YANZE ARCHITECTS  
 05-18-11  
 1/16" = 1'-0"

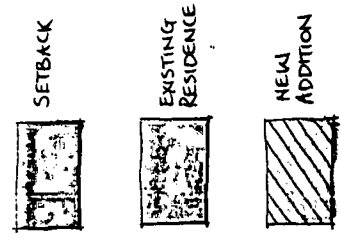




WEST LENOX STREET



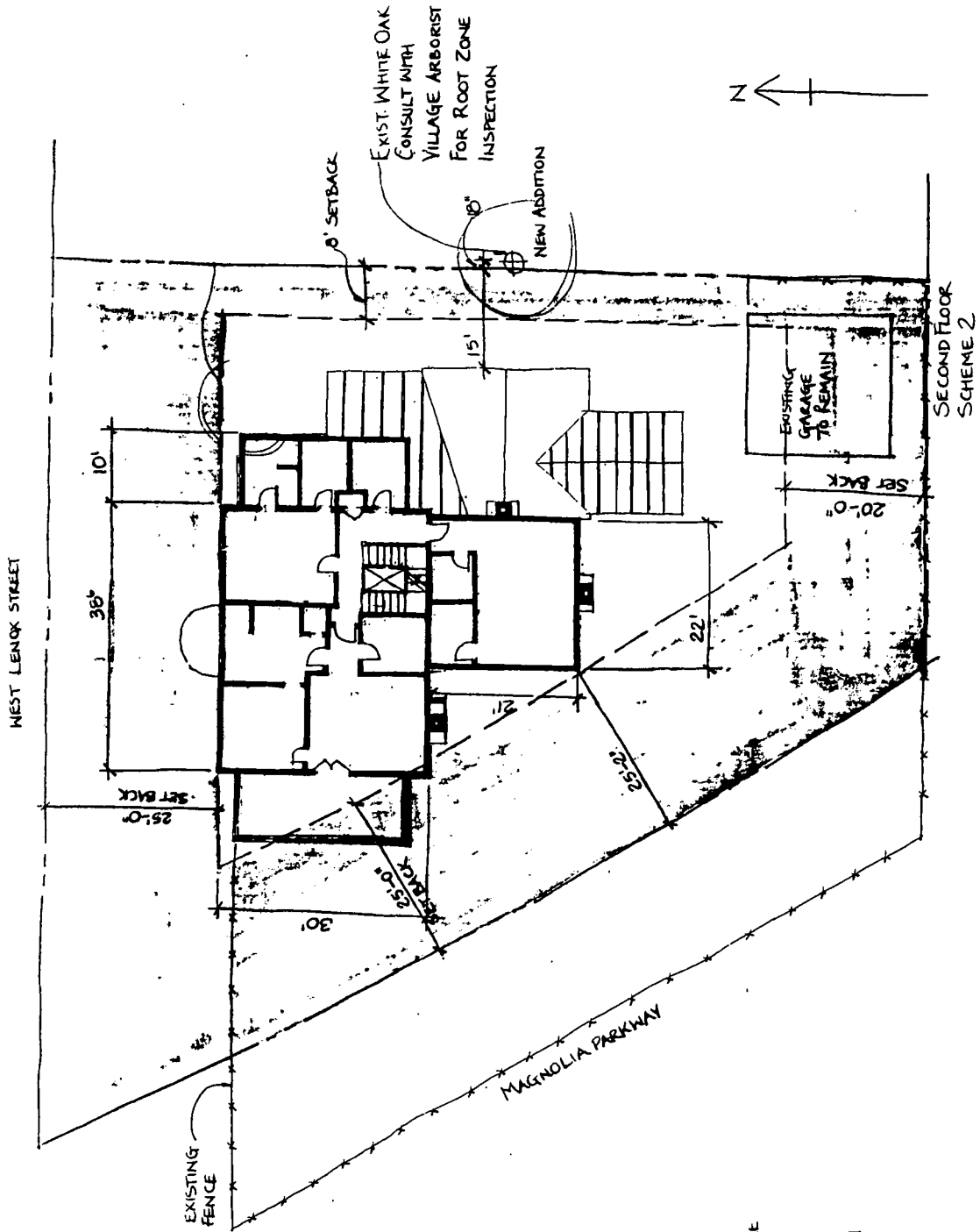
EXISTING S.F. : 2148 S.F.  
 : 18% LOT COVERAGE  
 PROPOSED S.F. : 3250 S.F.  
 : 28% LOT COVERAGE  
 LOT SIZE : 11916 S.F.



COUGHLIN RESIDENCE  
 SITE PLAN  
 BARNES VANZE ARCHITECTS  
 05-18-11  
 1/16" = 1'-0"

HAMP

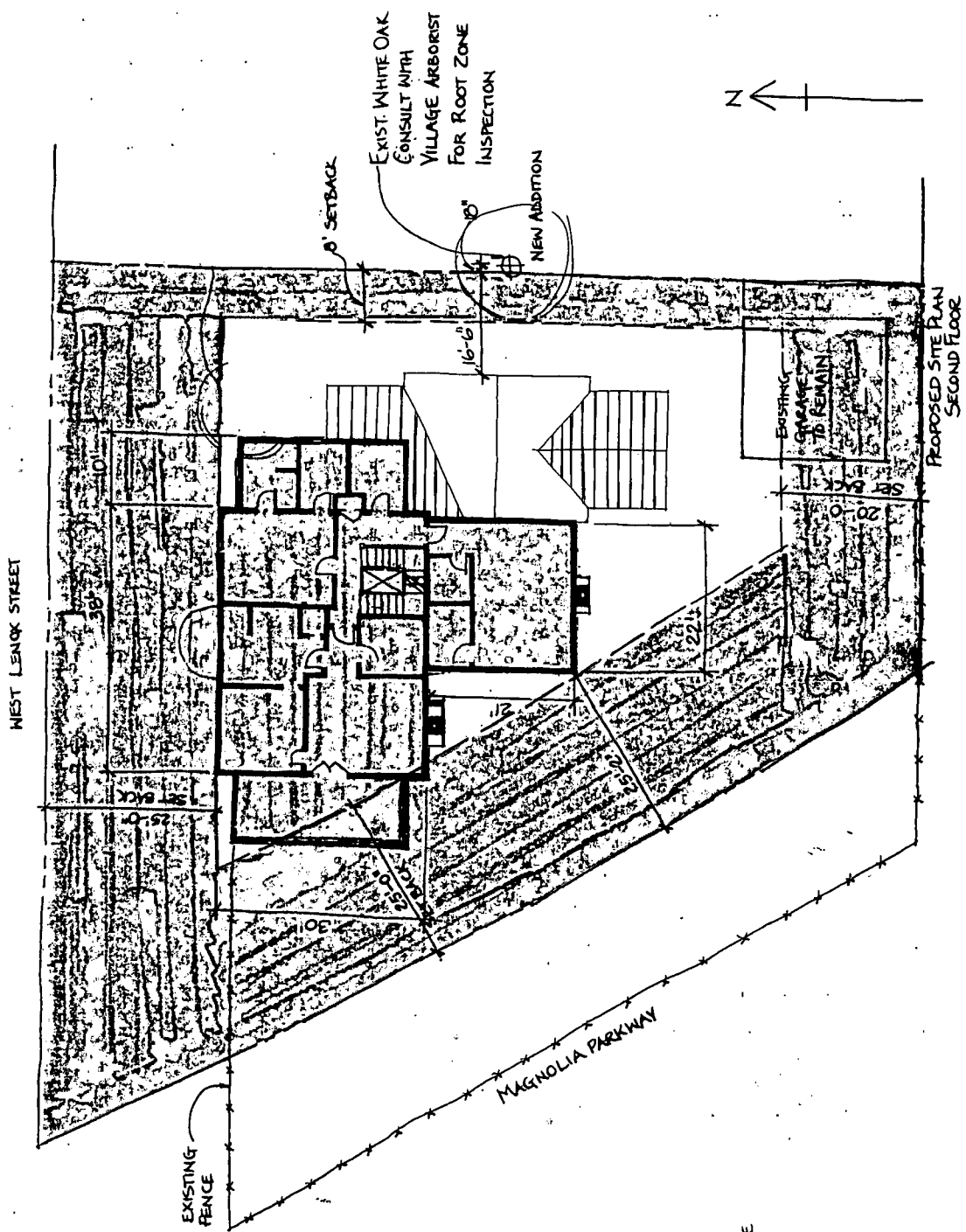
12



COUGHLIN RESIDENCE  
SITE PLAN  
BARNES VANZE ARCHITECTS  
V. 11.11.11  
02.24.11




PRELIMINARY PLANS





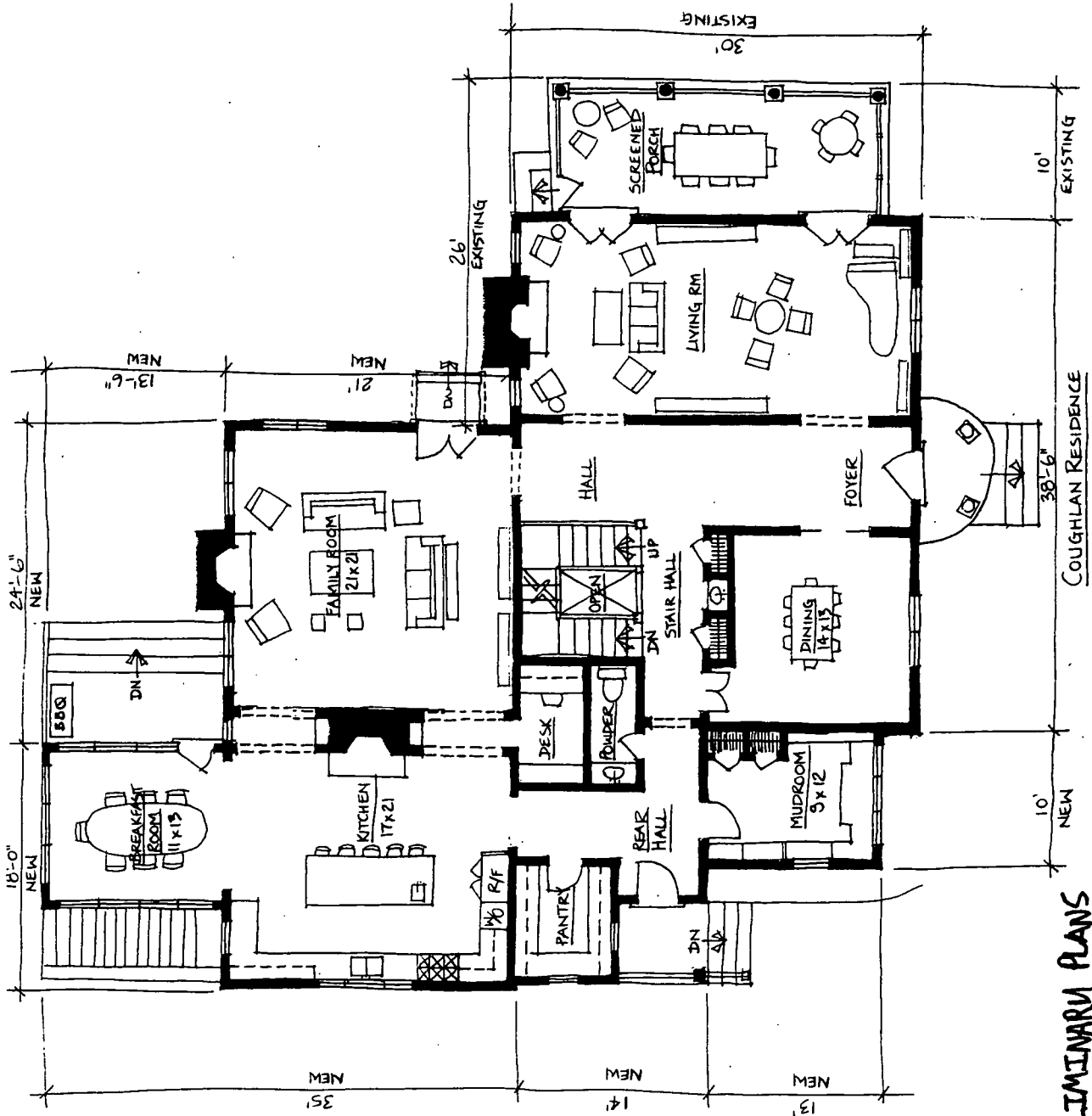
COUGHLAN RESIDENCE  
 SITE PLAN  
 BARNES VANZE ARCHITECTS  
 05.18.11  
 1/16" = 1'-0"

HAWP

- 
 SETBACK
- 
 EXISTING RESIDENCE
- 
 NEW ADDITION

14

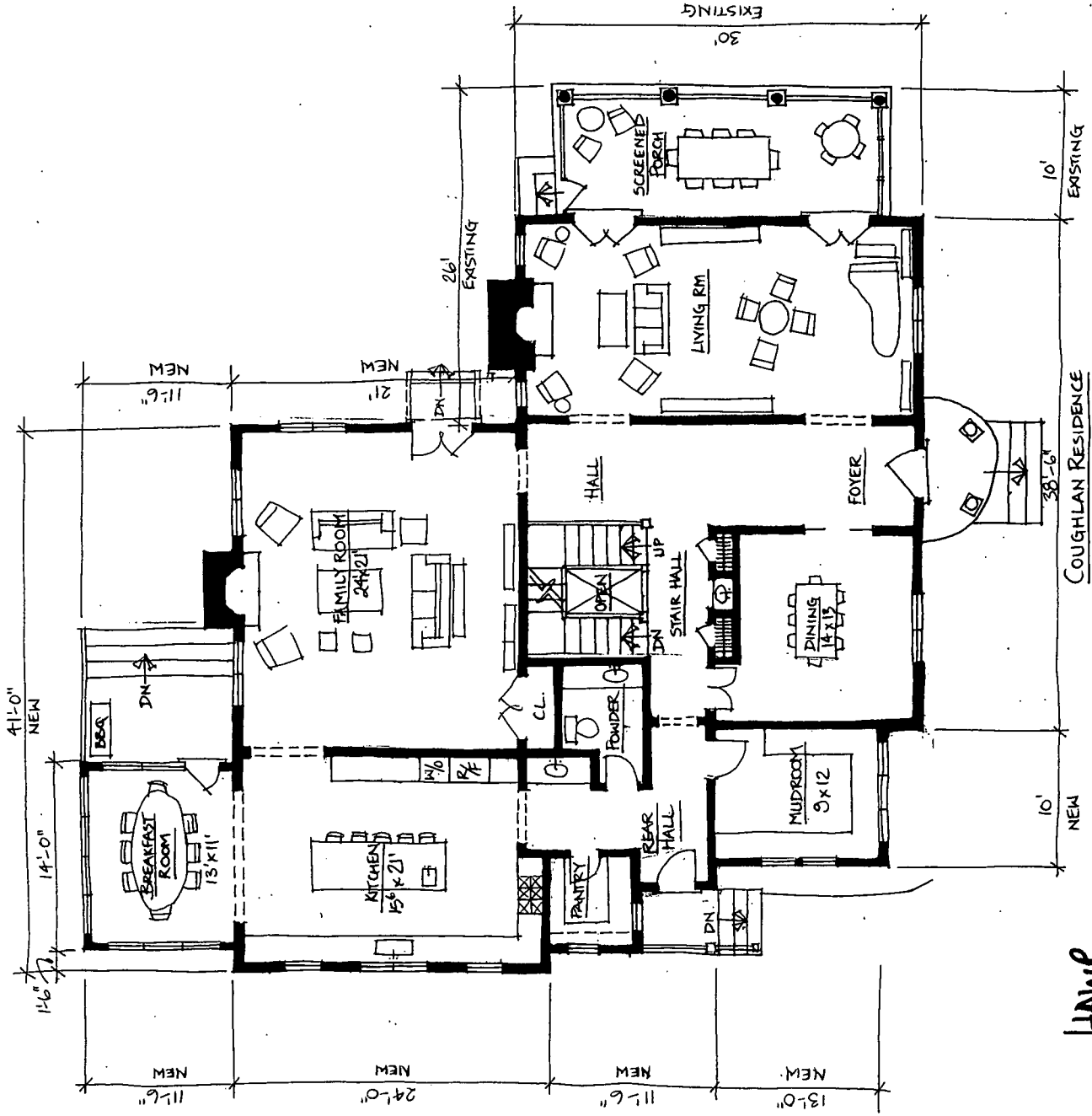




COUGHLAN RESIDENCE  
 FIRST FLOOR PLAN  
 BARNES VANZE ARCHITECTS

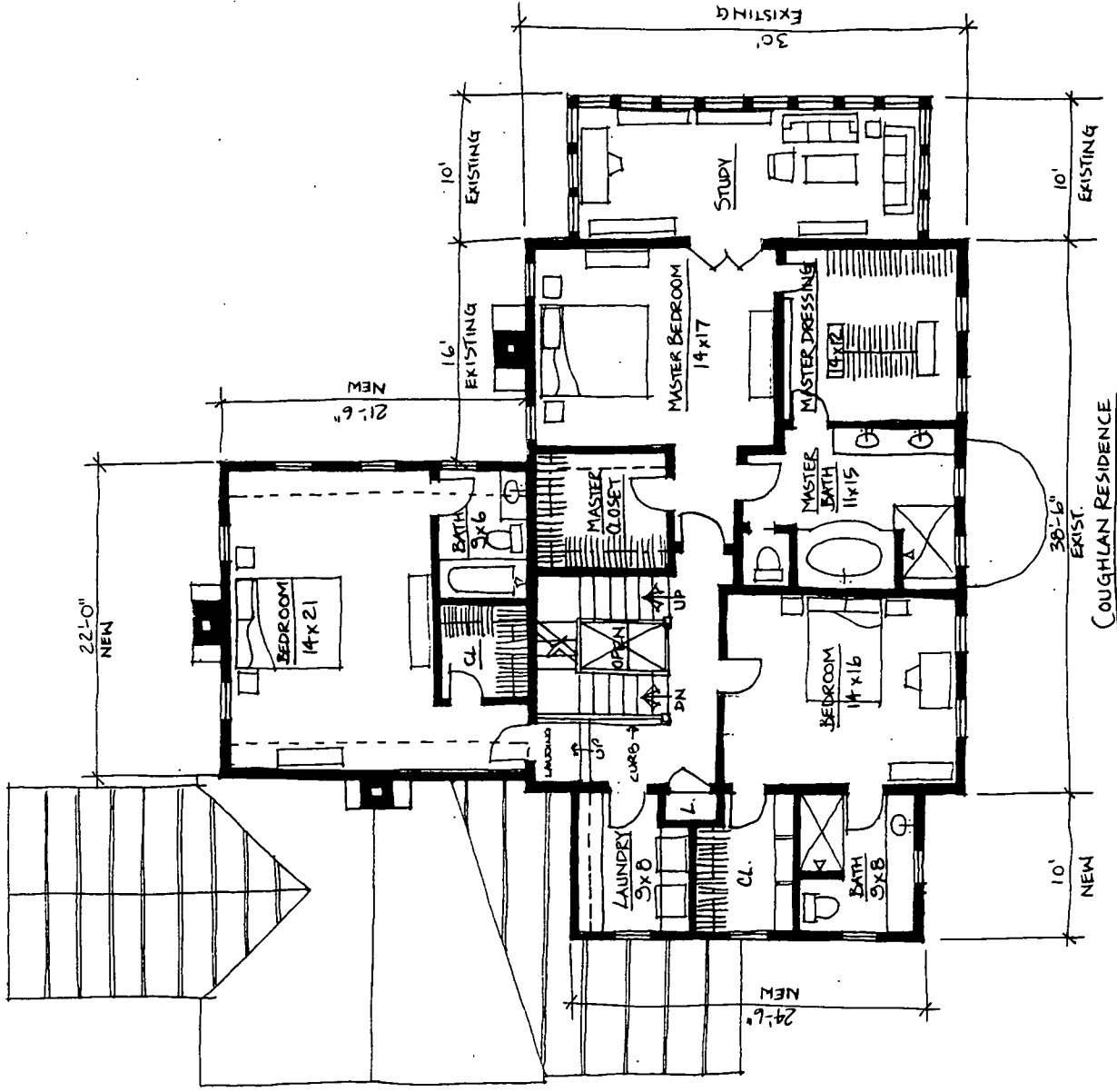
PRELIMINARY PLANS

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COUGHLAN RESIDENCE  
 FIRST FLOOR PLAN  
 BARNES YANZE ARCHITECTS

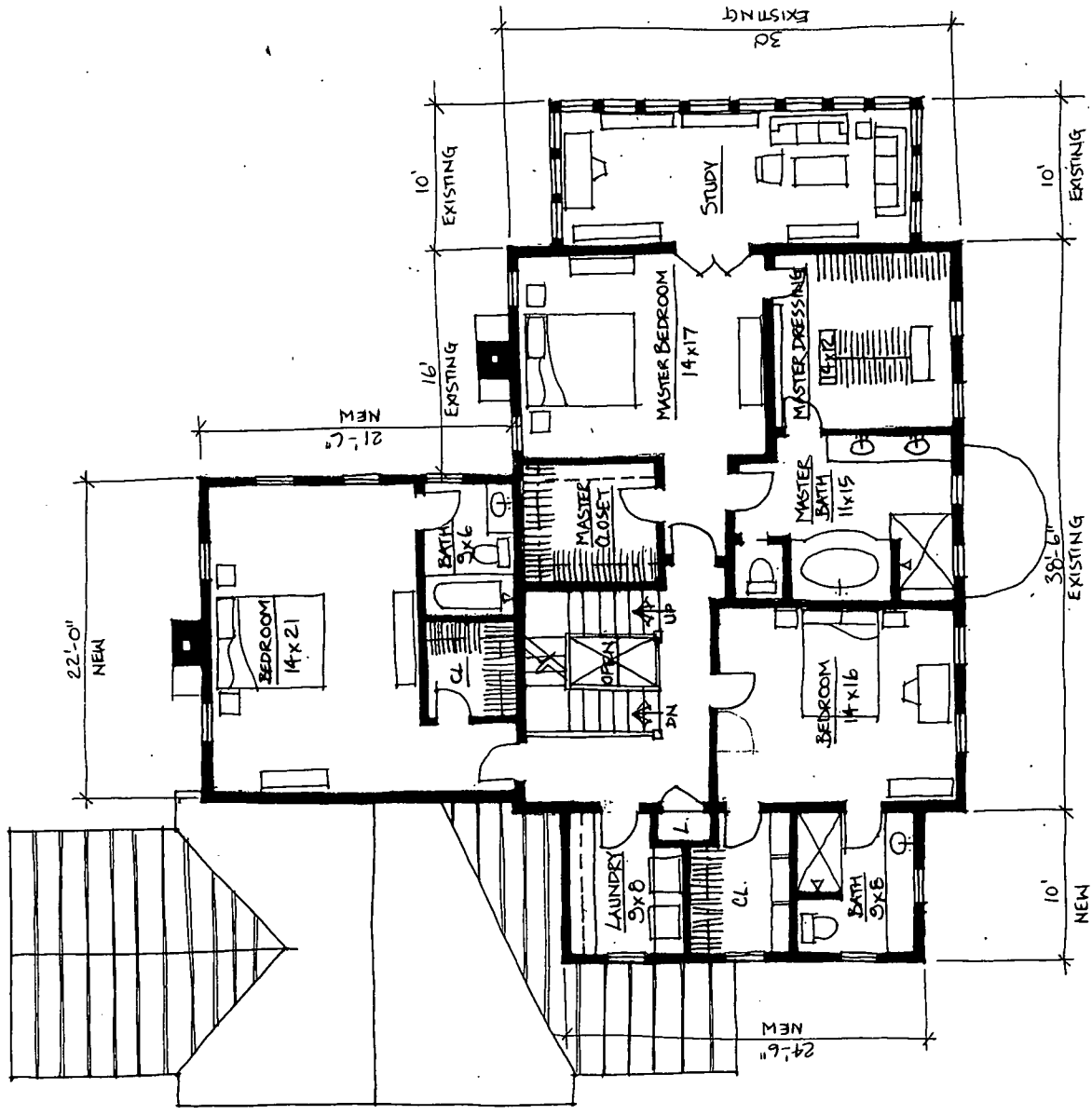
HAWP



COUGHLAN RESIDENCE  
 SECOND FLOOR PLAN  
 BARNES VANZE ARCHITECTS  
 03.24.11  
 1/8" = 1'-0"

PRELIMINARY PLANS

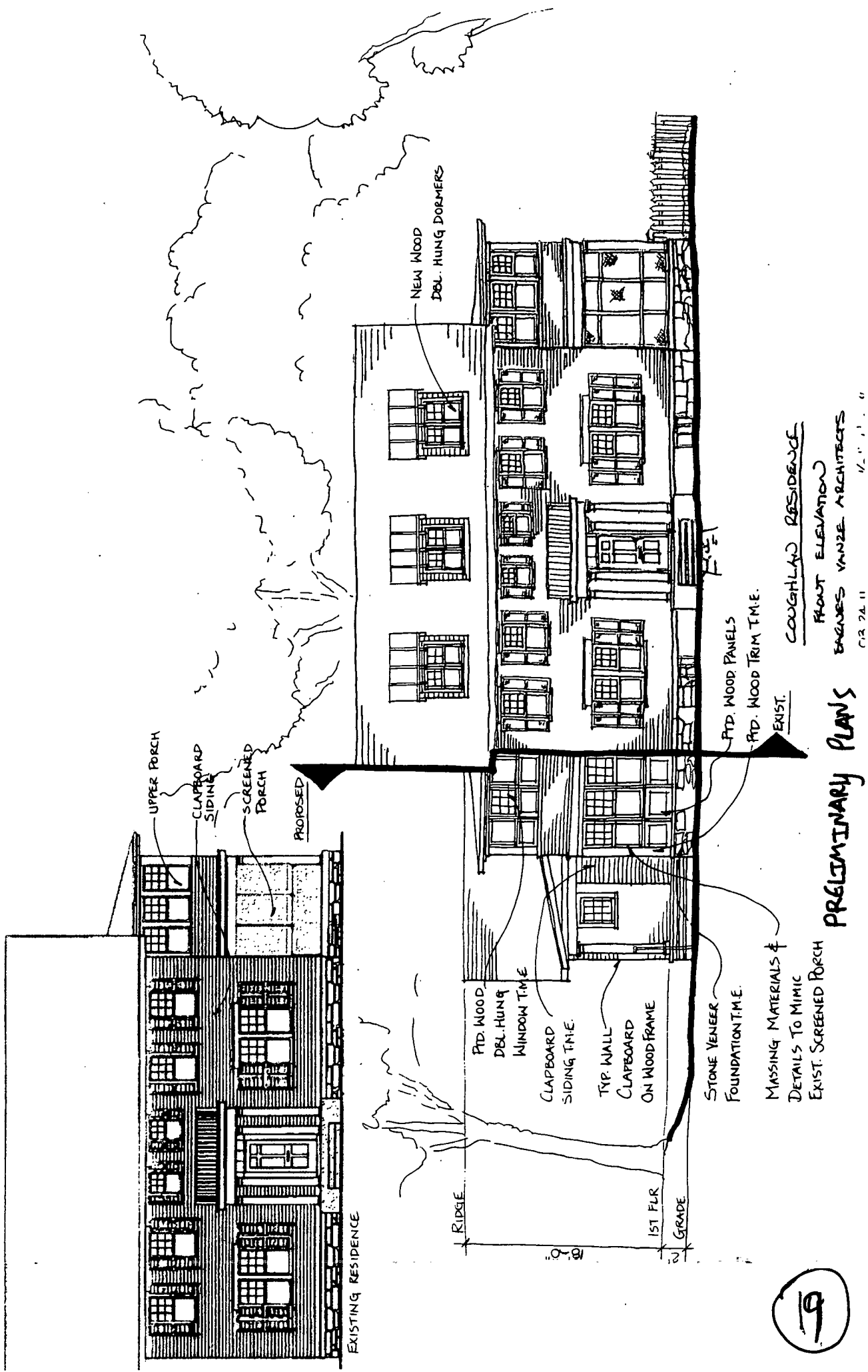




COUGHLIN RESIDENCE  
 SECOND FLOOR PLAN  
 BARNES VANZE ARCHITECTS

HAMP





UPPER PORCH  
 CLAPBOARD SIDING  
 SCREENED PORCH  
 PROPOSED

NEW WOOD  
 DBL. HUNG DORMERS

PTD. WOOD  
 DBL. HUNG  
 WINDOW T.M.E.  
 CLAPBOARD  
 SIDING T.M.E.  
 TYP. WALL  
 CLAPBOARD  
 ON WOOD FRAME

PTD. WOOD PANELS  
 PTD. WOOD TRIM T.M.E.  
 EXIST.

STONE VENEER  
 FOUNDATION T.M.E.

MISSING MATERIALS &  
 DETAILS TO MIMIC  
 EXIST. SCREENED PORCH

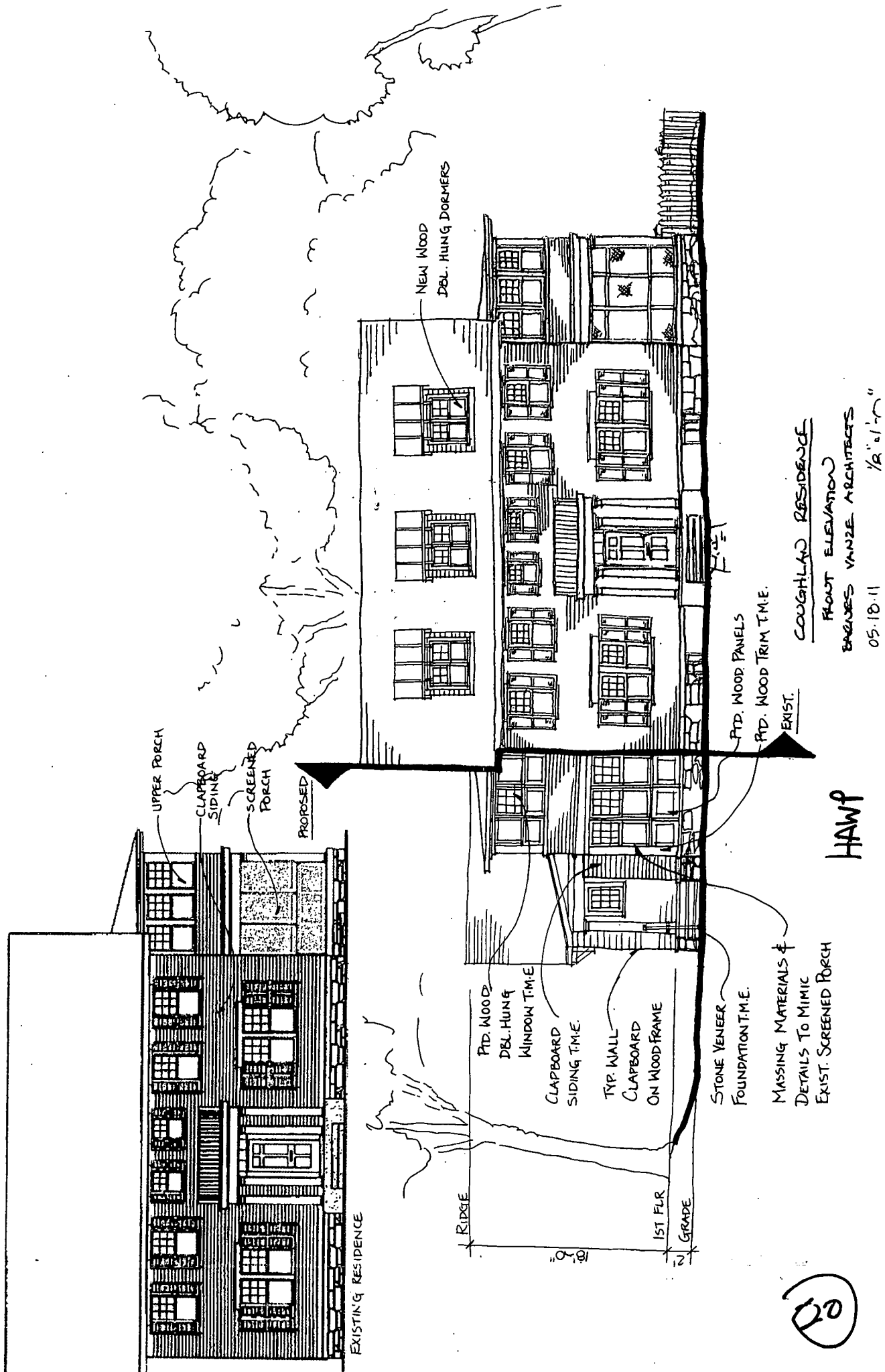
COUGHLIN RESIDENCE

FRONT ELEVATION

BRUNES VANZE ARCHITECTS  
 1/2" = 1' - 0"

PRELIMINARY PLANS





UPPER PORCH  
CLAPBOARD SIDING  
SCREENED PORCH  
PROPOSED

NEW WOOD  
DBL. HUNG DORMERS

PTD. WOOD  
DBL. HUNG  
WINDOW T.M.E.

CLAPBOARD  
SIDING T.M.E.

TYP. WALL  
CLAPBOARD  
ON WOOD FRAME

STONE VENEER  
FOUNDATION T.M.E.

MASSING MATERIALS &  
DETAILS TO MIMIC  
EXIST. SCREENED PORCH

PTD. WOOD PANELS  
PTD. WOOD TRIM T.M.E.  
EXIST.

COUGHLIN RESIDENCE

FRONT ELEVATION

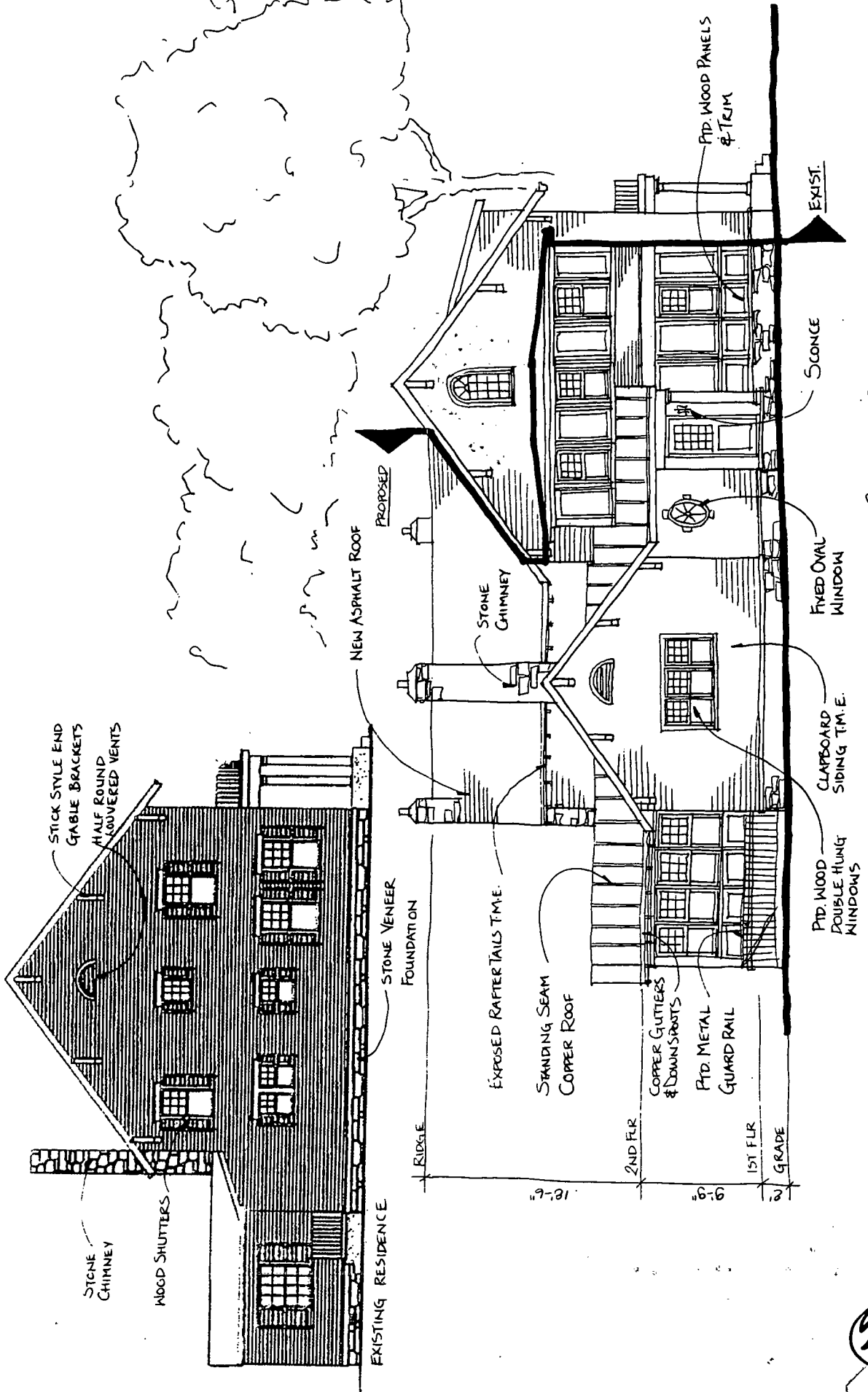
BARNES VANZE ARCHITECTS

05.10.11

1/2" = 1'-0"

HAWP

20



COUGHLIN RESIDENCE

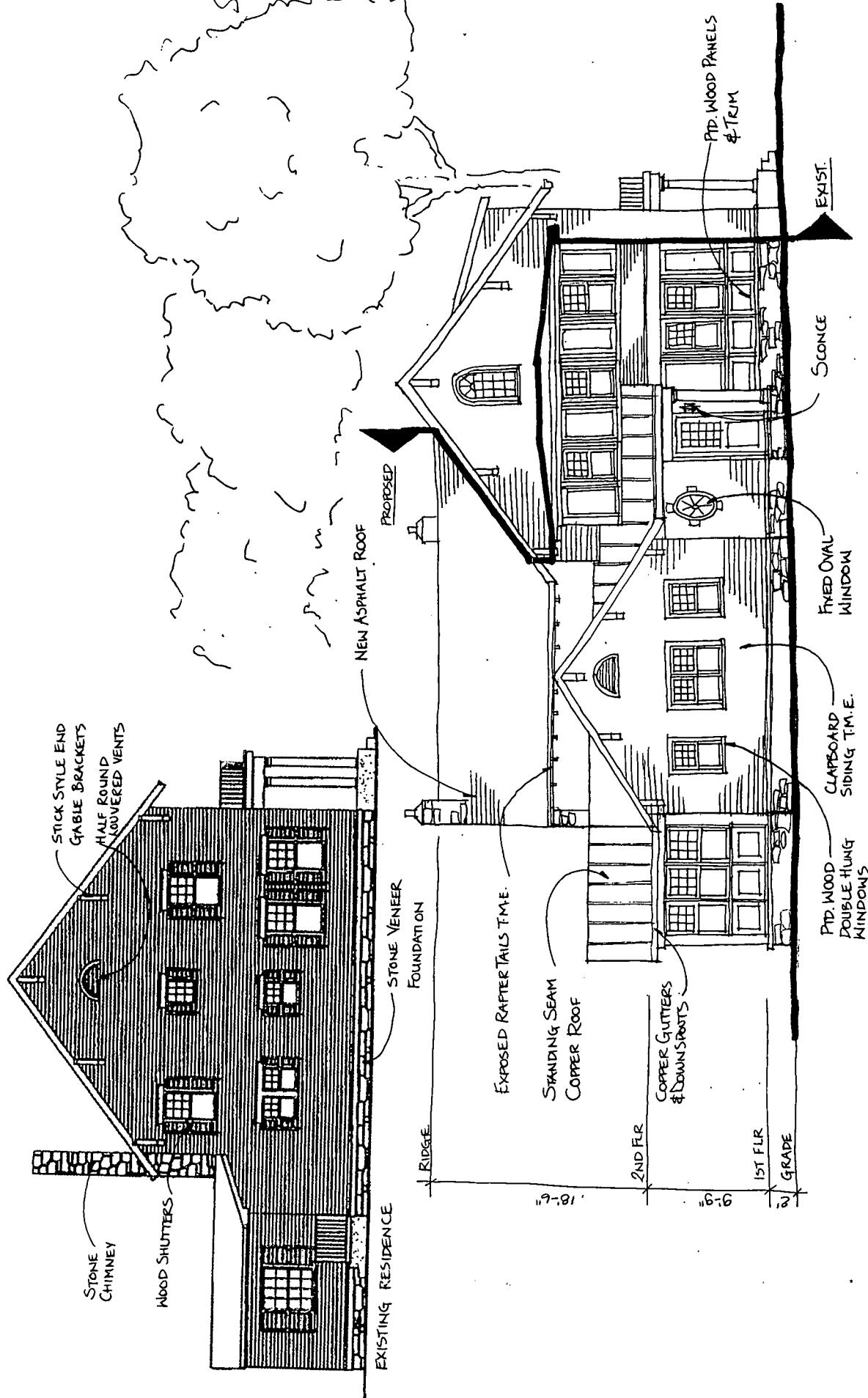
DRIVEWAY ELEVATION

EMERUS VANZE ARCHITECTS

1/4" = 1' - 0"

PRELIMINARY PLANS





STICK STYLE END  
GABLE BRACKETS  
HALF ROUND  
COVERED VENTS

STONE  
CHIMNEY

WOOD SHUTTERS

EXISTING RESIDENCE

NEW ASPHALT ROOF

PROPOSED

STONE VENEER  
FOUNDATION

RIDGE

EXPOSED RAFTER TAILS T.M.E.

STANDING SEAM  
COPPER ROOF

COPPER GUTTERS  
& DOWNSPOUTS

2ND FLR

1ST FLR

GRADE

PTD. WOOD PANELS  
& TRIM

EXIST

SCONCE

FIXED OVAL  
WINDOW

CLAPBOARD  
SIDING T.M.E.

PTD. WOOD  
DOUBLE HUNG  
WINDOWS

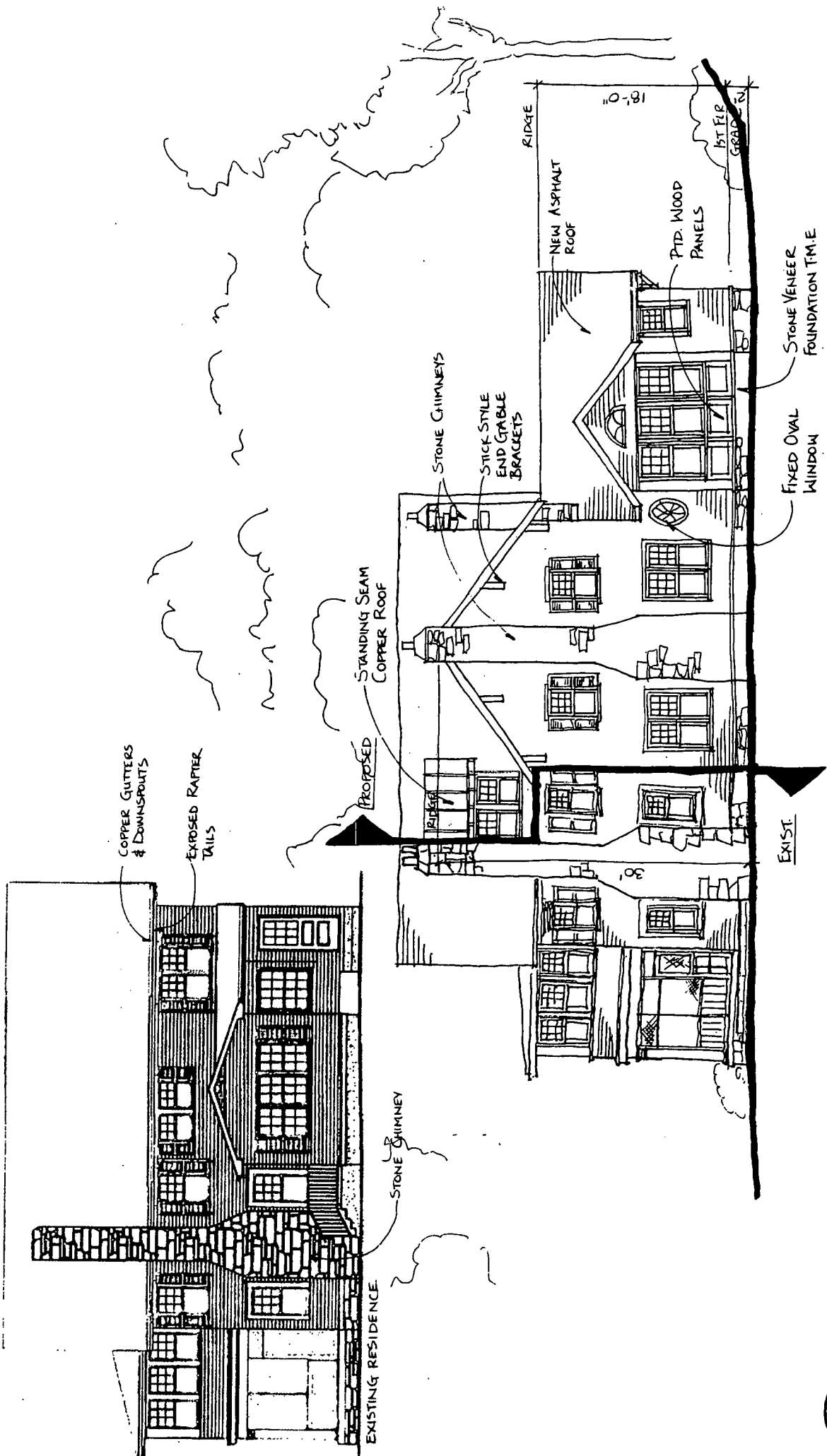
COUGHLIN RESIDENCE

DRIVEWAY ELEVATION  
BRAYNES VANZE ARCHITECTS  
05-18-11

HAMP

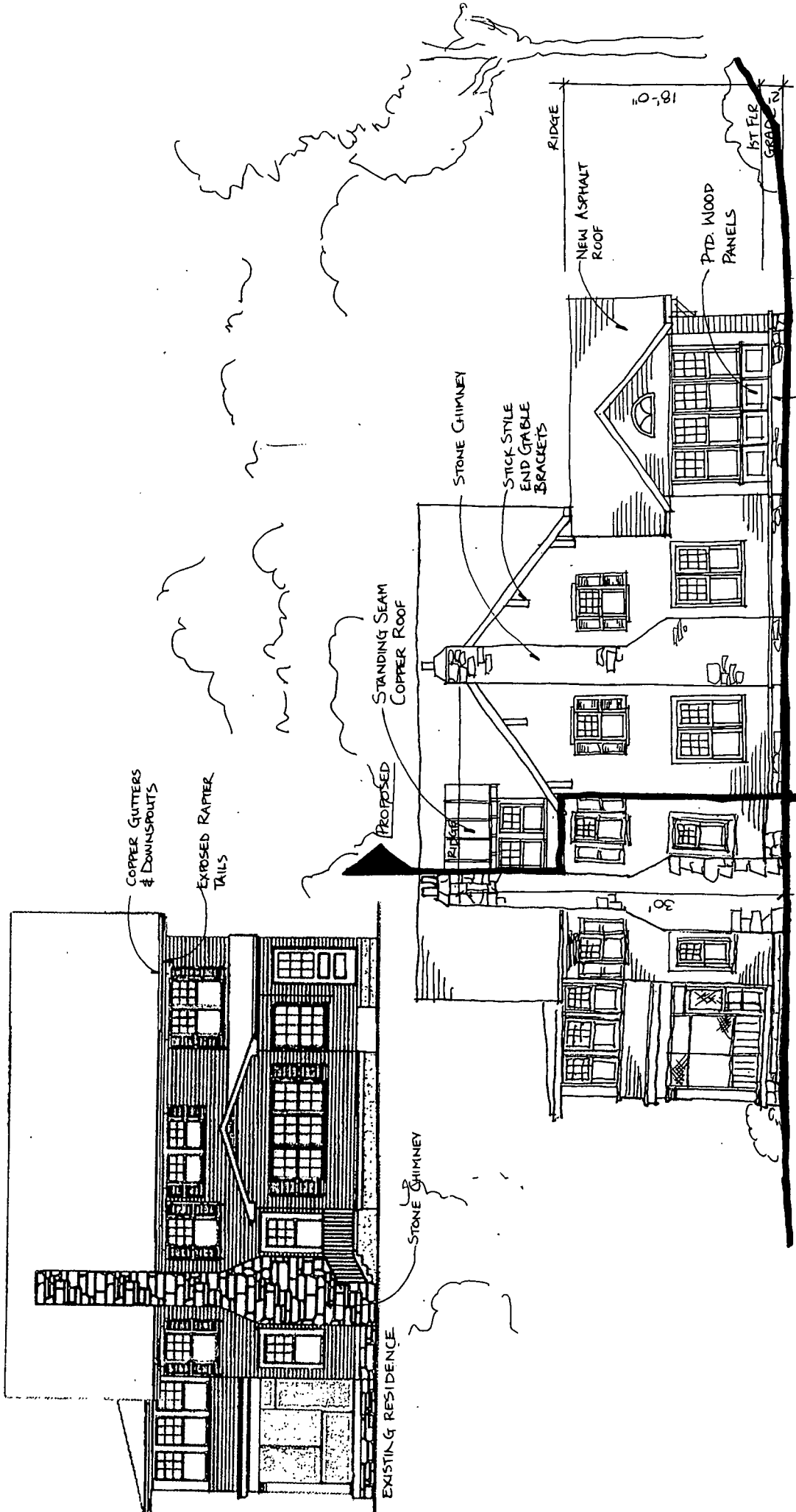
22





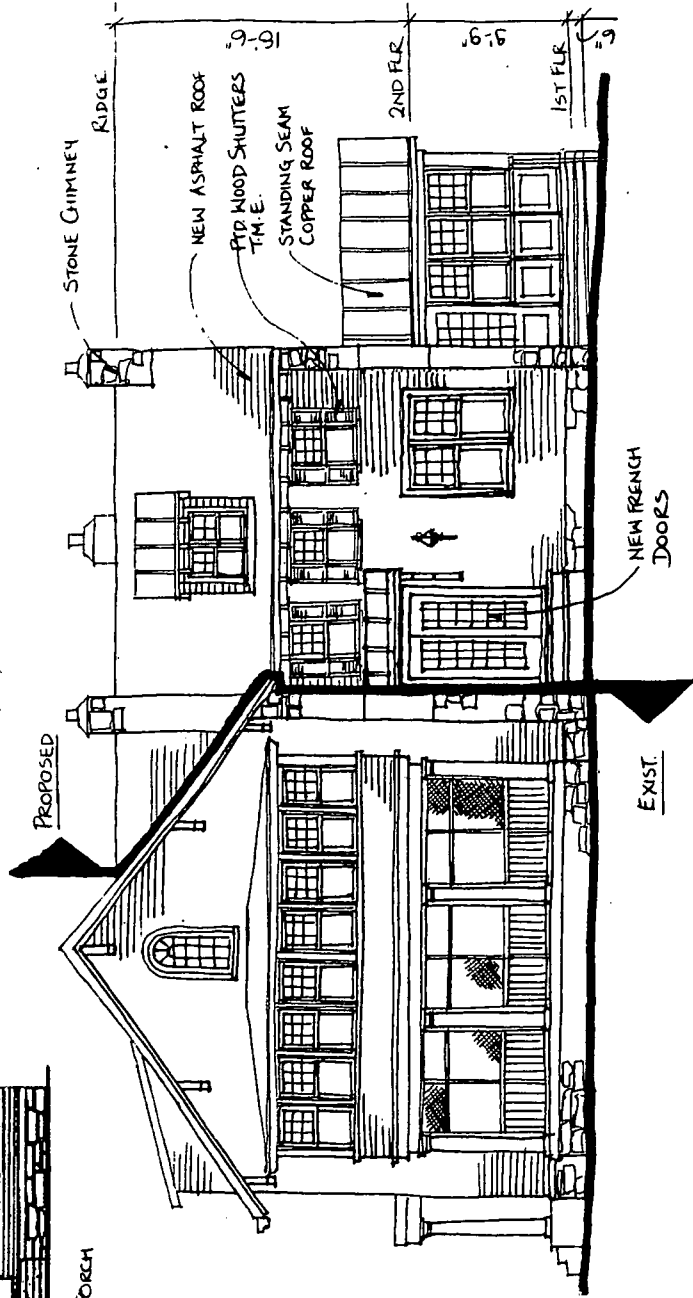
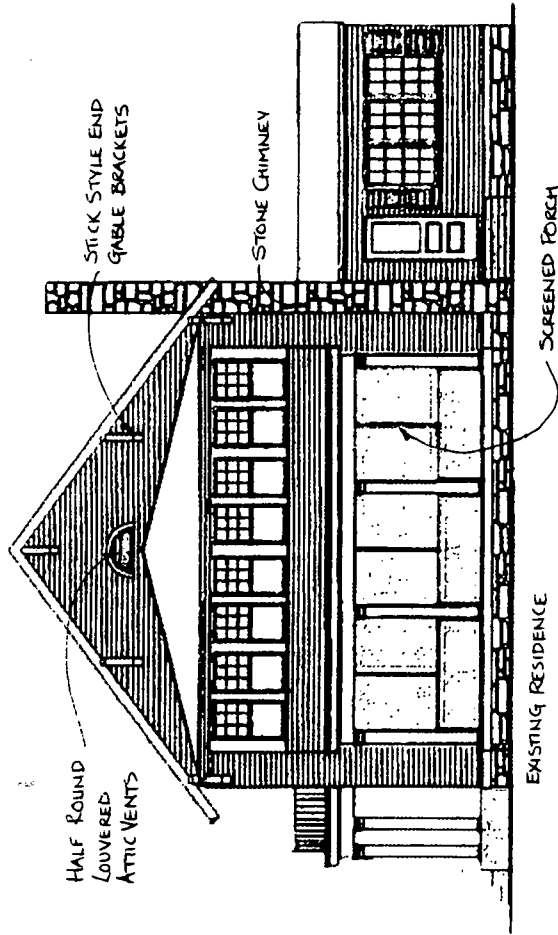
COUGHLIN RESIDENCE  
 REAR ELEVATION  
 BARNES VANZE ARCHITECTS  
 1/11/11

PRELIMINARY PLANS



COUGHLIN RESIDENCE  
 REAR ELEVATION  
 BARRIS WATZ ARCHITECTS  
 05-18-11  
 1/8" = 1'-0"

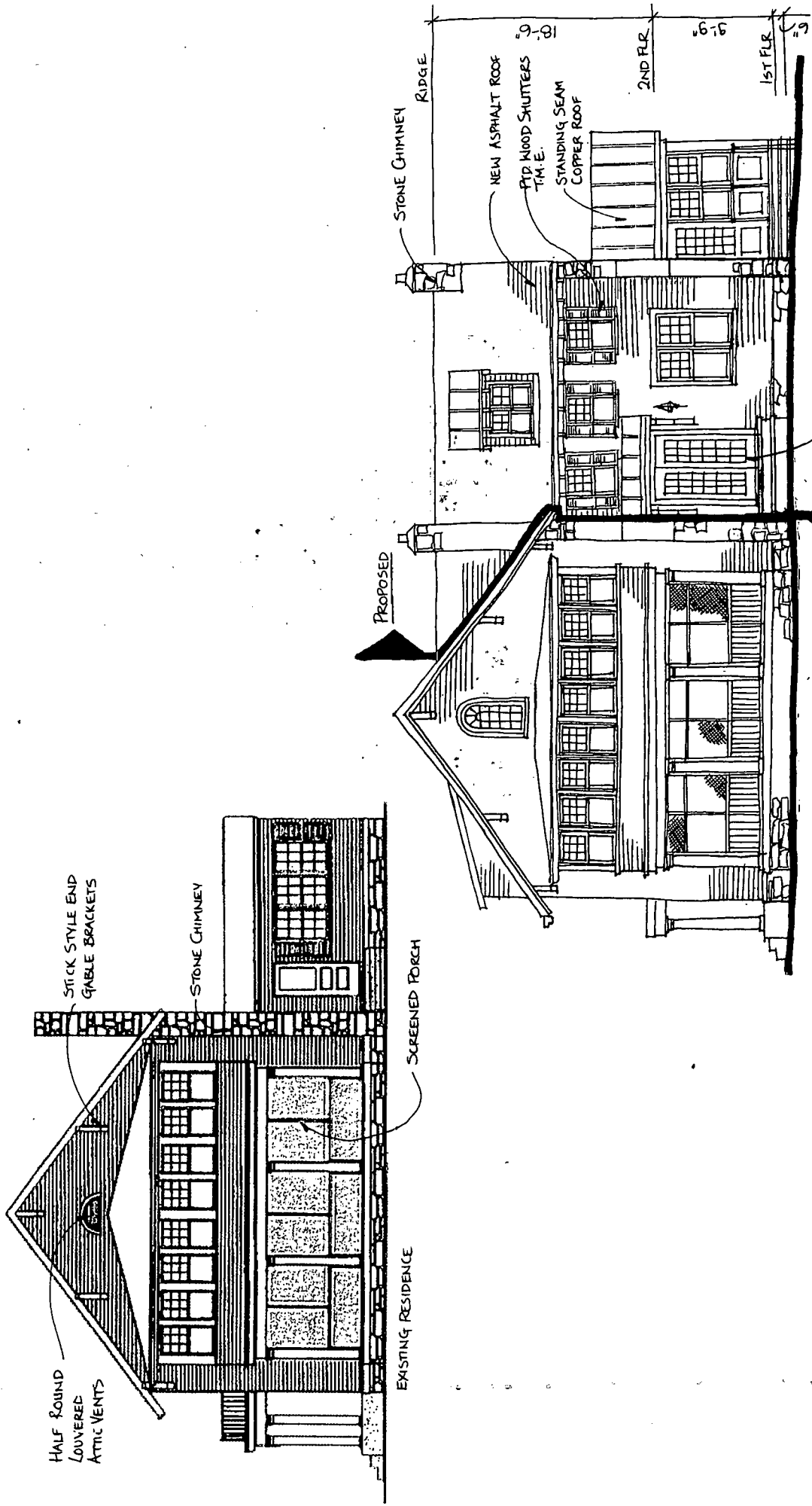
HAMP



COUGHLIN RESIDENCE  
 SIDE ELEVATION  
 BARNES VANZE ARCHITECTS  
 1/8" = 1'-0"  
 03-24-11

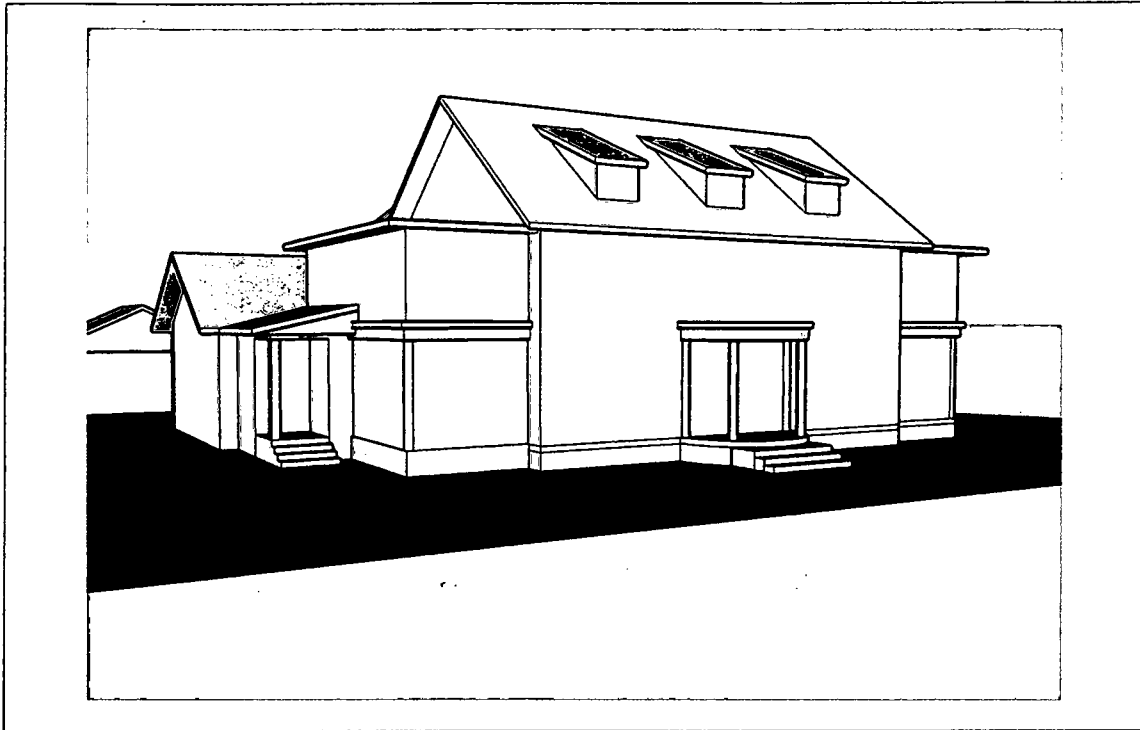
PRELIMINARY PLANS

25

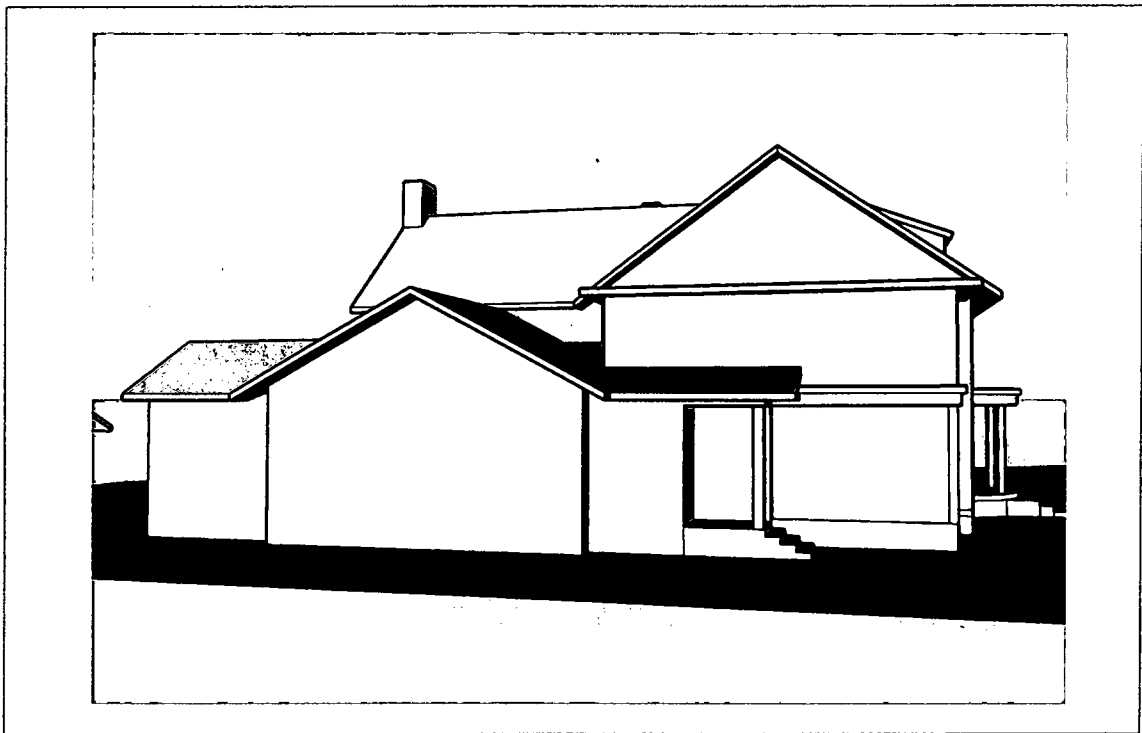


HAWP

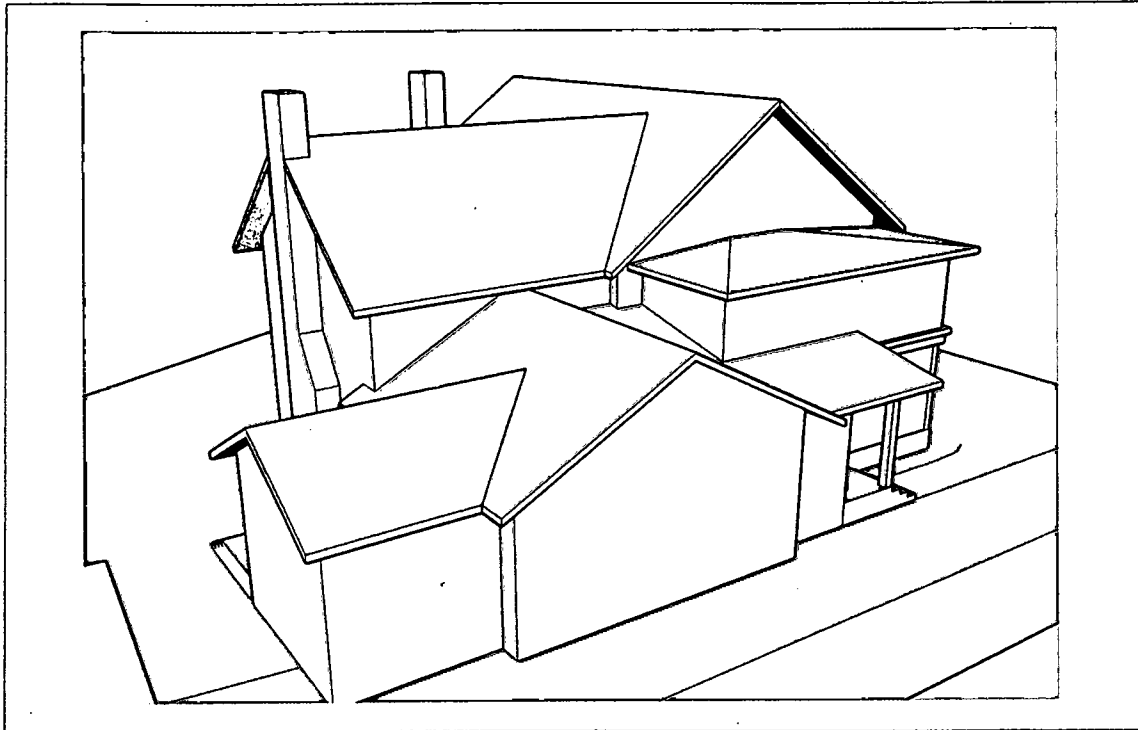
COUGHLAN RESIDENCE  
 SIDE ELEVATION  
 BARNES VANZE ARCHITECTS  
 05.10.11  
 1/8" = 1'-0"



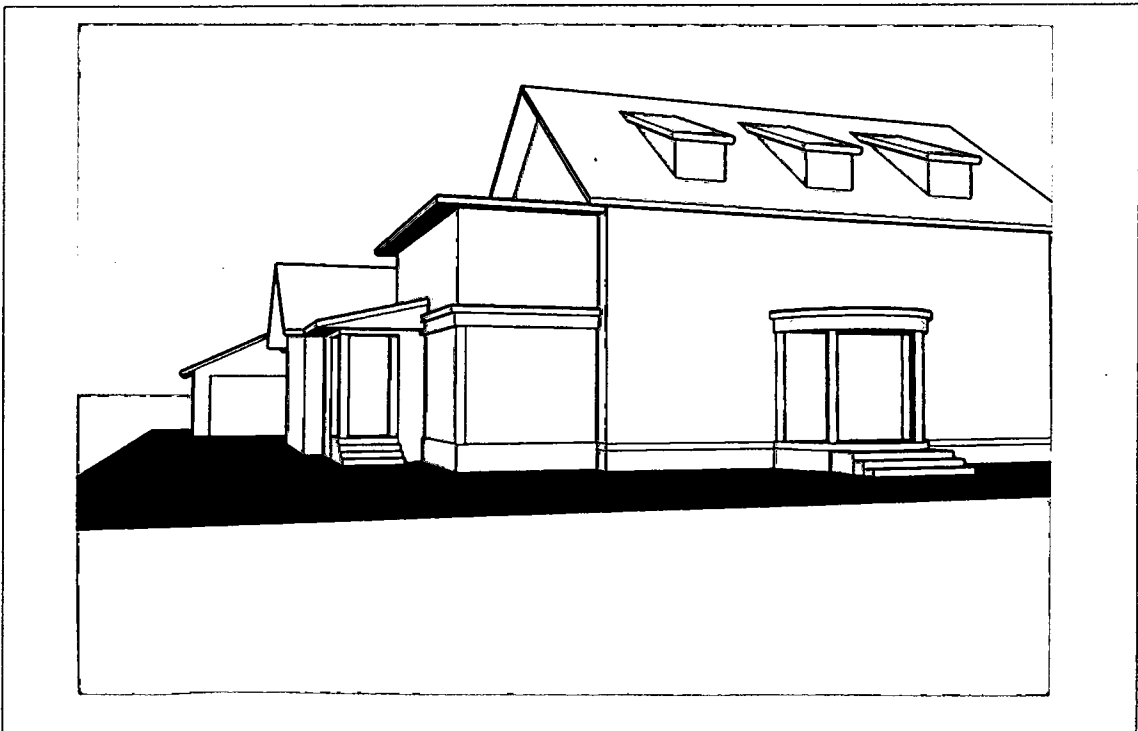
Detail: PROPOSED VIEW FROM STREET FRONT



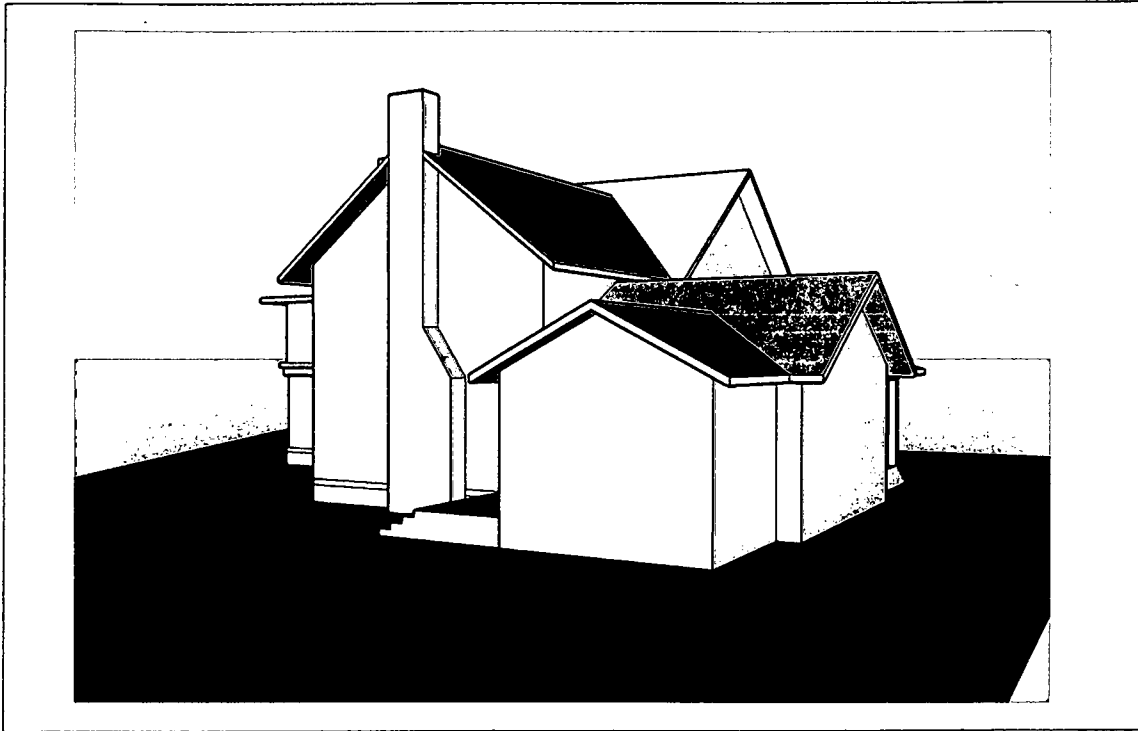
Detail: PROPOSED VIEW FROM DRIVEWAY SIDE



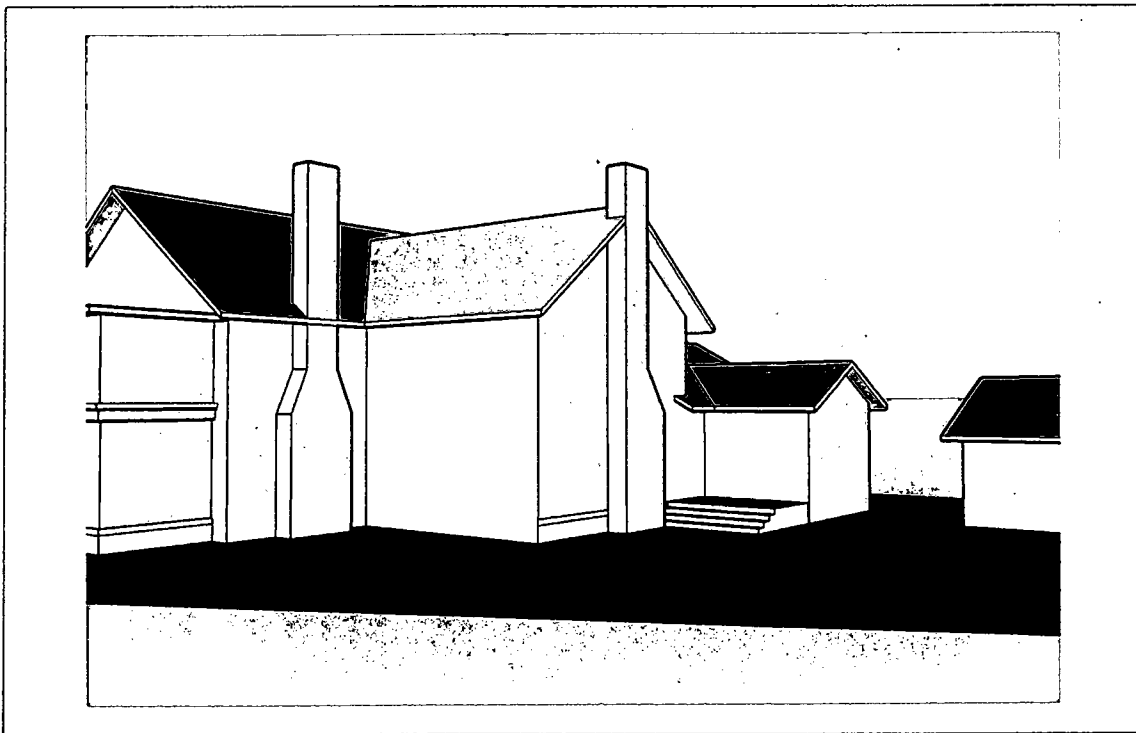
Detail: PROPOSED VIEW FROM SIDE PROPERTY



Detail: PROPOSED DRIVEWAY VIEW



Detail: PROPOSED VIEW FROM REAR OF PROPERTY



Detail: PROPOSED VIEW FROM MAGNOLIA PKWY

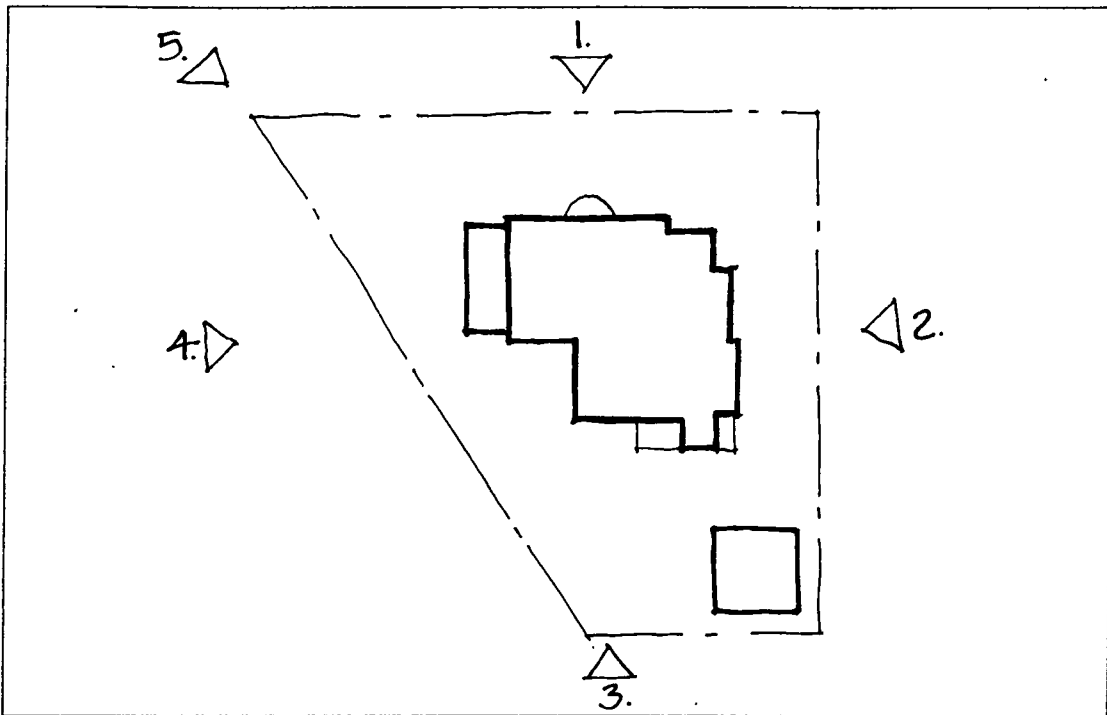
81



30



Existing Property Condition Photographs (duplicate as needed)



Detail: KEY PLAN



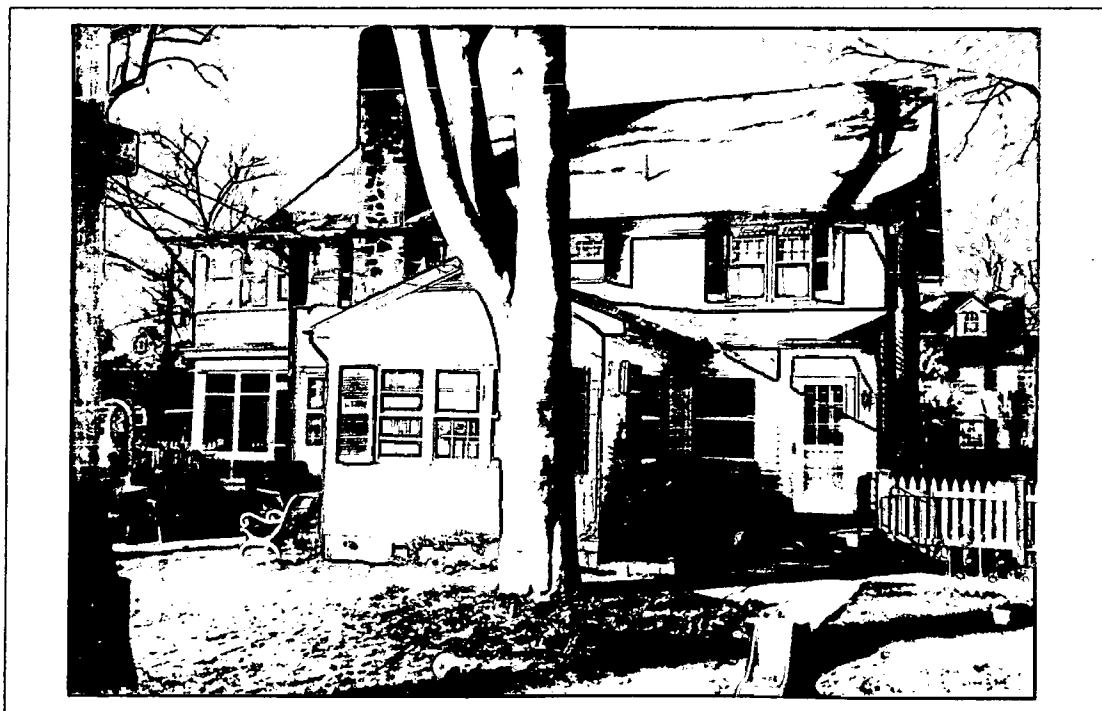
Detail: 1. NORTH ELEVATION

Applicant: COUGHLAN

Existing Property Condition Photographs (duplicate as needed)



Detail: 2. EAST ELEVATION



Detail: 3. SOUTH ELEVATION

Applicant: COUGHLAN

Existing Property Condition Photographs (duplicate as needed)



Detail: 4. WEST ELEVATION



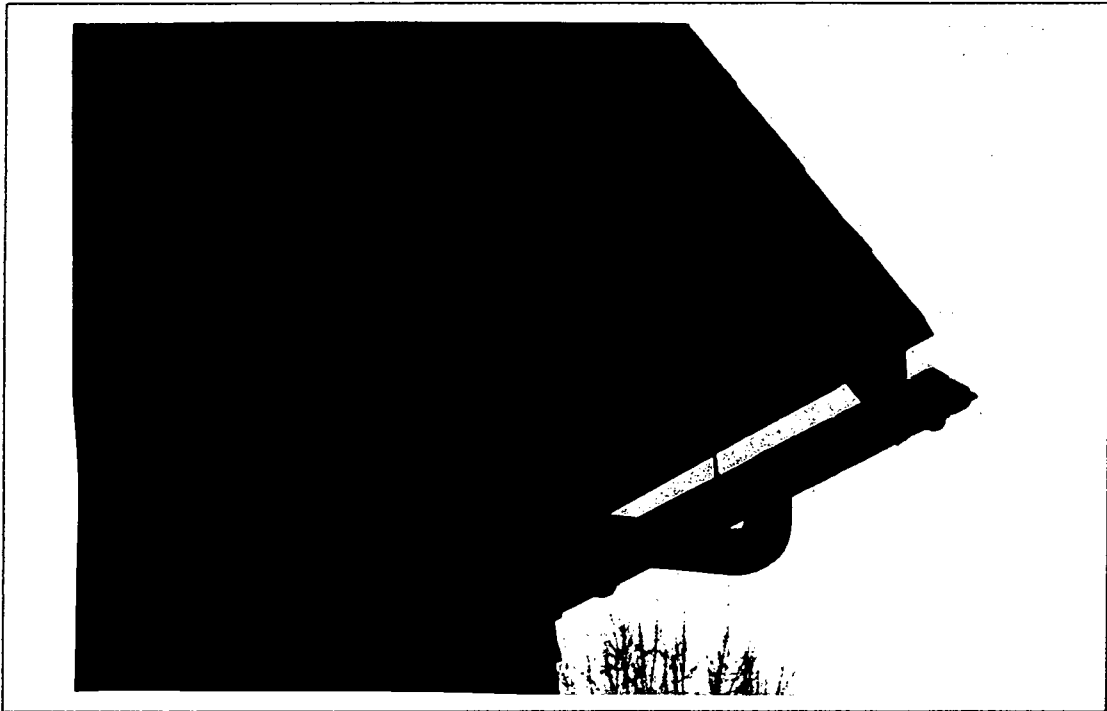
Detail: 5. NORTH WEST ELEVATION

Applicant: COUGHLAN

Existing Property Condition Photographs (duplicate as needed)



Detail: EXPOSED RAFTER TAILS



Detail: STICK STYLE END GABLE BRACKETS

Applicant: COUGHLAN

Existing Property Condition Photographs (duplicate as needed)



Detail: COPPER GUTTERS & DOWNSPOUTS



Detail: WOOD SHUTTERS

Applicant: COUGHLAN

Existing Property Condition Photographs (duplicate as needed)



Detail: STONE CHIMNEY



Detail: HALF ROUND LOUVERED ATTIC VENTS

Applicant: COUGHLAN

Existing Property Condition Photographs (duplicate as needed)



Detail: UPPER PORCH



Detail: SCREENED PORCH

Applicant: COUGHLAN

Existing Property Condition Photographs (duplicate as needed)



Detail: 14 WEST LENOX STREET, DRIVEWAY VIEW

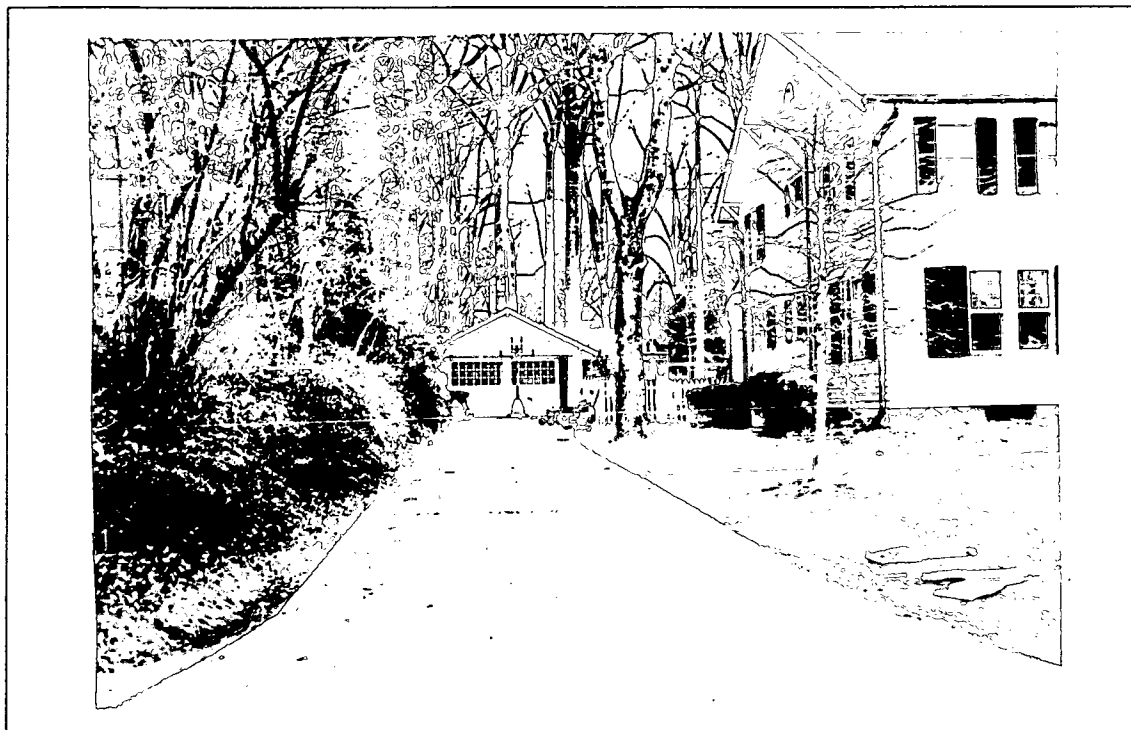


Detail: 16-18 WEST LENOX STREET, DRIVEWAY VIEW

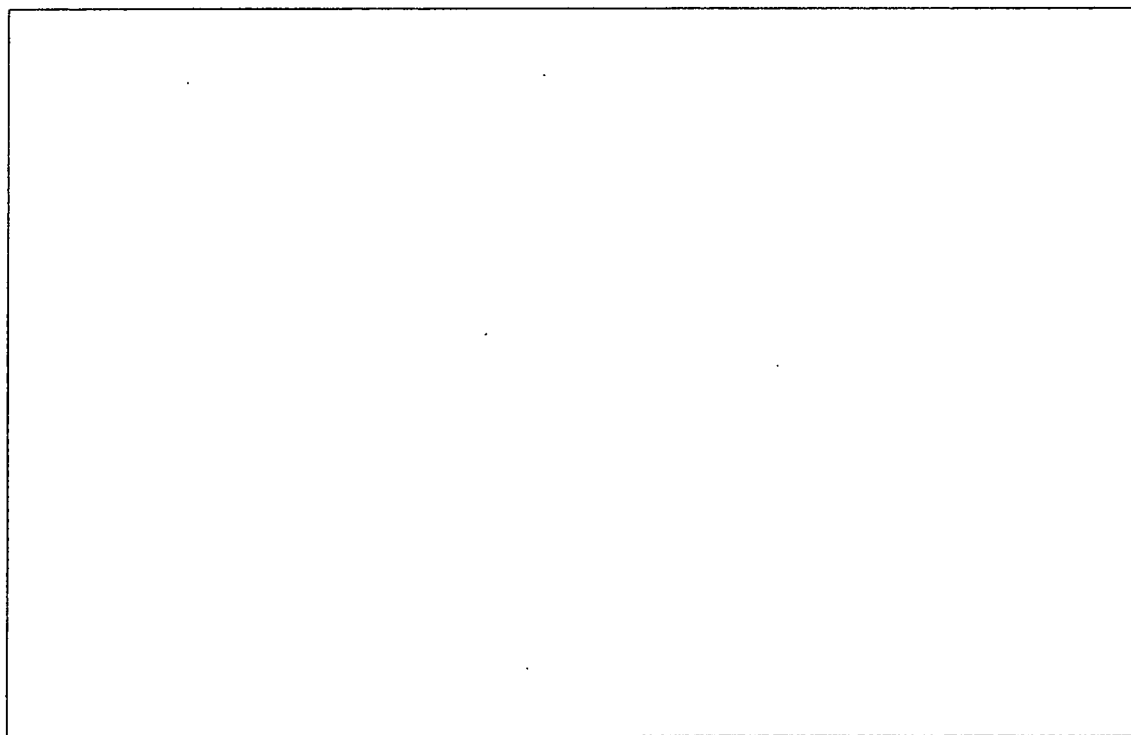
Applicant: COUGHLAN



Existing Property Condition Photographs (duplicate as needed)



Detail: 20 WEST LENOX STREET, DRIVEWAY VIEW



Detail: \_\_\_\_\_

Applicant: COUGHLAN

**Matthew Fiehn**

---

**From:** CCV Permitting [ccvpermitting@montgomerycountymd.gov]  
**Sent:** Tuesday, April 12, 2011 12:20 PM  
**To:** Fothergill, Anne  
**Cc:** Silver, Joshua; Meredith Wellington; dcoughlan@tritecrealestate.com; Matthew Fiehn  
**Subject:** April board meeting decisions  
**Attachments:** arborist report.pdf

Anne/Josh:

The following decisions were made at the monthly regular Board meeting:

20 West Lenox: Tree removal appeal of one 20.0" Red Maple approved with conditions.

3 Primrose Street: Garage demolition approved contingent upon issuance of HAWP and Montgomery County demolition and building permit.

Also, regarding 20 West Lenox Street, the arborist has determined that the White Oak on the property line with 18 West Lenox Street will require a thirteen (13) foot radius of tree preservation (not from the center but around the trunk). Because this encroaches on the current plan as submitted by the resident, the Board required that a boundary survey be provided by the resident and that any proposed addition accommodate this radius prior to issuance of the permit.

The resident and architect stated that they can submit a plan which will comply with the tree preservation requirement. Per Village permitting process, HPC and Montgomery County permits must be issued prior to the Village review and tree preservation must be installed prior to issuance of the permit.

We are relaying this information to you today so that you can take it into account in your HPC review of the proposed addition. Attached is the arborist's report.

Ellen Sands  
Permitting and Code Enforcement Coordinator  
Chevy Chase Village  
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1 MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

- 2
- 3 - - - - - X
- 4 HISTORIC AREA WORK PERMIT - : HPC Case No. 35/13-11K
- 5 11 West Melrose Street : :
- 6 - - - - - X
- 7 HISTORIC AREA WORK PERMIT - : HPC Case No. 35/13-11L
- 8 4 Primrose Street : :
- 9 - - - - - X
- 10 HISTORIC AREA WORK PERMIT - : HPC Case No. 13/10-11A
- 11 23315 Frederick Road : :
- 12 - - - - - X
- 13 PRELIMINARY CONSULTATION - : :
- 14 20 West Lenox Street : :
- 15 - - - - - X
- 16 PRELIMINARY CONSULTATION - : :
- 17 12800 Viers Mill Road : :
- 18 - - - - - X

11 A meeting in the above-entitled matter was held on  
 12 April 13, 2011, commencing at 7:28 p.m., in the MRO  
 13 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland  
 14  
 15 20910, before:

16 COMMISSION CHAIRMAN

17 Leslie Miles

18 COMMISSION MEMBERS

- 19 William Kirwan, Vice Chairman
- 20 Sandra Heiler
- 21 Jorye Rodriguez
- 22 M'Lisa Whitney
- 23 Joe Coratola
- 24 Paul Treseder
- 25 Craig D. Swift

Deposition Services, Inc.  
 12321 Middlebrook Road, Suite 210  
 Germantown, MD 20874  
 Tel: (301) 881-3344 Fax: (301) 881-3338  
 info@DepositionServices.com www.DepositionServices.com

ALSO PRESENT:

Scott Whipple, Staff Supervisor  
Ann Fothergill, Historic Preservation Staff  
Josh Silver, Historic Preservation Staff  
Clare Kelly, Historic Preservation Staff

APPEARANCES

<u>STATEMENT OF:</u>	<u>PAGE</u>
Douglas Rixey	7
Lydia Calio	
Ed McReady	13
Gus Bauman, Esq.	29
Sam Dutz	30
Bette Buffington	49
Anthony Barnes	65
Daniel Coughlan	65
Matthew Fiehn	65
Meredith Wellington	72
Martin Rosenbloom	74
Tim Russell	98
Jack Young	98

1 much.

2 MS. MILES: And they probably know your cell phone  
3 by heart.

4 (Discussion off the record.)

5 MS. MILES: Next, we have two preliminary  
6 consultations. The first is at 20 West Lenox Street in  
7 Chevy Chase. Do we have a staff report?

8 MR. SILVER: Yes, we do. Before we start, I just  
9 want to enter a few things in the record. The local Chevy  
10 Chase Village local advisory panel submitted email comments  
11 to us today at 10:36 a.m. Those comments were emailed to  
12 the Commission this afternoon.

13 There is also written testimony. We have  
14 supporting documentation that was submitted by the neighbor  
15 at 18 West Lenox, which was distributed via email to the  
16 Commission. And there is an arborist report from the Chevy  
17 Chase Village arborist that I did not distribute via email,  
18 but I am making reference to. And they have recommended --  
19 I'll get into the recommendation.

20 20 West Lenox is a contributing resource in the  
21 Chevy Chase Village historic district. The proposal is  
22 rather long, so I'll try to sort of fine tune this a little  
23 bit. But the applicants are proposing to construct a one  
24 and two-story side addition and a two-story rear addition to  
25 the subject property. The design expands the existing

1 building footprint that is current 2,148 square feet to  
2 3,300 square feet.

3           It includes the installation of three shed roof  
4 dormers on the front roof slope, and one dormer on the rear  
5 roof slope of the historic massing, the removal and  
6 replacement of the existing louvered fan vents in the gable  
7 ends of the historic massing, and installation of new  
8 simulated divided light half round windows in enlarged  
9 openings. This is being requested because the attic is  
10 becoming habitable space as part of the proposed expansion,  
11 and it's required for egress purposes.

12           A new stone chimney is proposed at the ridge of  
13 the proposed one-story addition. It also includes narrowing  
14 the existing side yard driveway that provides access to the  
15 garage via the left side of the house. The maximum width  
16 would be five feet six inches.

17           An 18-inch planting bed is proposed between the  
18 side addition and the driveway to provide a buffer between  
19 those two features. Material treatments and details for the  
20 new additions are consistent with the historic massing,  
21 clapboard siding, combination of copper standing seam and  
22 asphalt roofing, a stone veneer foundation, wooden trim and  
23 details, and wooden simulated divided light double hung and  
24 casement windows and doors.

25           The proposed work also includes the removal of one

1 red maple tree from the front yard of the property, to  
2 accommodate the proposed two-story expansion. The removal  
3 of that tree requires a waiver from Chevy Chase Village.  
4 The applicants did receive a waiver from the Village with a  
5 condition that a boundary survey be done. And I'll talk a  
6 little bit more of why that is the case, but it's with  
7 regard to another tree on the shared property line with 18  
8 West Lenox.

9           The applicants have also already installed a four-  
10 foot high wood and picket fence without HPC approval, so  
11 staff is going to encourage them to, when they do get to the  
12 point of applying for a historic area work permit to include  
13 that as part of the proposal. I will say that staff finds  
14 the proposed fence style, dimensions, height consistent with  
15 the Chevy Chase Village guidelines, and is the type of fence  
16 that the Commission regularly approves.

17           So staff supports the side and rear addition at  
18 the property. Due to the existing side and rear yard  
19 setbacks that limit the buildable area for a major addition,  
20 it is entirely at the rear of the house.

21           The applicant has provided a very nice site plan  
22 showing the setbacks in sort of this, what I would describe  
23 as a difficult configuration or buildable area to deal with.  
24       Given that it's a corner lot, there are public right-of-way  
25 issues and some setbacks.

1           The Village guidelines state that design or view  
2 emphasis should be restricted to changes that would be  
3 visible from the front or side of public right-of-way and  
4 would be visible in the absence of vegetation or  
5 landscaping.

6           There is no question, because this is a corner  
7 lot, it is not heavily treed, despite the fact there are  
8 some significant trees on the property, and shared property  
9 line, that no matter what happens, it is visible from the  
10 public right-of-way.

11           I reach this after visiting the property and  
12 photographing the property. So the HPC's review should  
13 factor or should consider, rather, both the impact of the  
14 additions on the streetscape, as well as the historic  
15 district when working within the Chevy Chase Village  
16 guidelines.

17           Staff supports the construction of the two-story  
18 hipped roof side addition. The proposed scale and  
19 articulation of the side addition is complementary to the  
20 existing two-story addition, on the right, west side  
21 elevation, and is in character with the style of the  
22 historic massing.

23           Staff recommends that six over one double hung  
24 windows be installed in locations where wooden panels are  
25 proposed in lieu of windows, to create cohesion throughout



1 the design of the addition, this particular section of the  
2 addition.

3 Staff supports the removal of the red maple tree  
4 in the front yard to accommodate the addition. The staff  
5 report says, pending approval.

6 As I mentioned, they received approval for their  
7 appeal with a condition that they do a boundary survey to  
8 make sure that the -- there is a shared white oak tree which  
9 you have received rewritten testimony that details, and  
10 supporting documentation as well as the LAP comments refer  
11 to it that there is a specified distance by the Village  
12 arborist of 13 feet radius between any new construction and  
13 the root zone of the trunk, measures from the trunk or the  
14 root zone of this tree.

15 And I'll note that there is a neighbor here to  
16 speak more directly to that, and I will defer to the  
17 neighbor, or the neighbor's agent.

18 I do support construction of a two-story addition  
19 at the rear. This design would remove what is a non-  
20 historic one-story addition, and more or less use that same  
21 building footprint to construct a two-story addition. I do  
22 find that it is in keeping with the guidelines for major  
23 additions.

24 Again, it's a corner lot. Its visibility is  
25 unavoidable. I find that that addition does not

1 substantially alter or obscure the front of the structure  
2 and is compatible with the streetscape, and it meets other  
3 criteria that the Commission generally uses in its decision  
4 making process such as the massing being lower than the  
5 historic massing.

6           It does preserve what I've described as a small  
7 section of the second story left rear corner to help define  
8 this connection between what is the historic massing and the  
9 new construction. And I also feel that the materials,  
10 window configurations, are consistent with the colonial  
11 revival style of the house.

12           I do support the construction of a one-story gable  
13 and shed roof side addition on the left or the east side. I  
14 am concerned, however, with the cumulative impact of these  
15 additions to the historic massing and their impact on the  
16 streetscape of the district.

17           I've made some recommendations, one of which is to  
18 reduce the depth of the proposed one-story gable addition  
19 section so that it does not project beyond the eave line of  
20 the one-story shed roof. I'm also recommending a reduction  
21 to some degree to the length of the one-story shed roof  
22 section so that it terminates, the section that terminates  
23 is a gable in the rear yard.

24           I am recommending those changes to help reduce the  
25 scale of the addition in relationship to the historic

1 massing, mitigate their visual impact on the streetscape of  
2 the district, and to help protect the Village's open parkway  
3 character, which the guidelines state is of paramount  
4 importance that the HPC recognize.

5           These changes, what I saw, had preserved some of  
6 the existing side yard driveway, which is a typical  
7 characteristic of Village properties with rear yard  
8 accessory structures.

9           The guidelines do state that the goal of new  
10 construction within the district is to be sympathetic to the  
11 traditional street and building patterns while allowing for  
12 creative and new building designs. I find that a narrower  
13 and shorter side addition would be more consistent with the  
14 building pattern along West Lenox Street, which does include  
15 examples of side yard driveway accesses to rear yard  
16 accessory structures.

17           I support the installation of dormers. I find  
18 that to be consistent with the Chevy Chase Village  
19 guidelines. It would not adversely affect the character of  
20 this structure. And as I previously mentioned, I do support  
21 the wood fence installation for the reasons that I've  
22 already described. The material treatments I find to be  
23 totally consistent with the existing house and for  
24 alterations to the contributing resource.

25           And I do know that I have recommended this

1 continued consultation with the Village arborist to ensure  
2 appropriate tree protection measures are taken prior to  
3 commencing work at the property. That would be a condition  
4 approval.

5 I've spoken with the project architect. They have  
6 been in consultation with the Village arborist, and have  
7 been made aware of the importance of dealing with tree  
8 protection with specific attention being given to this white  
9 oak at the shared property line.

10 And I have given sort of five bullet points or  
11 rather numbers that I am asking the Commission to provide  
12 the applicants with, and guidance to their preliminary  
13 consultation and proposal. And I can run you through a few  
14 slides here, just to give you a little bit of neighborhood  
15 context.

16 As I said, it's a corner lot. I just would ask  
17 that you note the location of driveways along this  
18 particular block of the district. Most of you are familiar  
19 with Chevy Chase and have seen that configuration before,  
20 but just given the immediate context.

21 Okay. Now, the left side, that's the tree, not  
22 the little tree but the other tree would be the one that I  
23 believe is the red maple that they were given approval for.

24 The white oak is going to be -- I don't know if that's  
25 visible or not, but if it is, it's the extreme left of the

1 photo there. And just to give you a sense of how this  
2 driveway communicates with the garage in the rear yard.  
3 Looking at the existing conditions, you can see the fence.  
4 So please do comment on the fence.

5 This would be taken from Magnolia Parkway, looking  
6 at the rear of the house. You can see the one-story non-  
7 historic addition which would be removed, the new addition  
8 in its place, a two-story addition. That looks like all I  
9 have. Any questions?

10 MR. CORATOLA: I actually have a couple of  
11 questions, Josh. When you talk about reducing the scale of  
12 the one-story addition to the rear, are you talking about  
13 the 13-6 dimension, the front to back dimension, or are you  
14 just talking in general terms? I guess that's the breakfast  
15 room addition that you're --

16 MR. SILVER: I am referring, I'm not specifying a  
17 specific dimension, but I am referring precisely to the  
18 breakfast room section there, in terms of its length,  
19 reducing the length of that section.

20 MR. CORATOLA: But the front to back?

21 MR. SILVER: That's correct. Yes.

22 MR. CORATOLA: Okay.

23 MR. SILVER: Sorry. Yes.

24 MR. CORATOLA: And then the other question I had  
25 was on the changing the panels to the two-story addition on

1 the front side, that's in the, you're talking about in the  
2 second floor?

3 MR. SILVER: Yes, that is correct, the second  
4 floor of that hipped roof, two-story addition. And --

5 MR. CORATOLA: Are you also referring to the first  
6 floor?

7 MR. SILVER: I do believe that if you look on page  
8 15 on the driveway elevation, I believe those panels there  
9 as well, on the first story of that section.

10 MR. CORATOLA: But not the second story or both?

11 MR. SILVER: I think the second story is also, I'm  
12 recommending that, yes.

13 MR. CORATOLA: Okay. That's all I have.

14 MS. MILES: Are there any other questions for  
15 staff?

16 MR. KIRWAN: Yes, Josh, could you clarify the  
17 recommendation to reduce the extension of the addition into  
18 the side yard? I think you made reference to holding it  
19 back to the eave of the shed roof portion. Is that what  
20 appears to be about a one-foot difference between the  
21 kitchen gable projection and the porch entry?

22 MR. SILVER: I am referring --

23 MR. KIRWAN: Or is there something else you are  
24 referring?

25 MR. SILVER: I am referring right to that gable,

1 that one-story -- I'm on page 15, just as a point of  
2 reference, and the one-story gable section with the three  
3 windows, the double hung windows. That section is what I'm  
4 referring, pulling back toward the shed roof section. And I  
5 was, my recommendation was to bring it in line with, if you  
6 were to draw a line along the eave of that shed roof section  
7 to bring it more in line with that, to reduce. I'm not  
8 specifying an exact dimension, but you are providing me with  
9 a number, it sounds like. Are we referring to the same --

10 MR. KIRWAN: Well, it seems like, effectively, it  
11 would become coplanar with the wall that has the oval window  
12 in it.

13 MR. SILVER: That's a great way of putting it.  
14 Thank you.

15 MS. MILES: Any other questions for staff? Would  
16 the applicant please come forward? If everyone could please  
17 turn on your microphones and state your names for the  
18 record.

19 MR. COUGHLAN: Hello, my name is Daniel Coughlan,  
20 and I am the owner of 20 West Lenox Street.

21 MR. BARNES: Anthony Barnes, Barnes Vanze  
22 Architects working for Mr. Coughlan.

23 MR. FIEHN: Matthew Fiehn, Barnes Vanze  
24 Architects.

25 MS. MILES: Thank you. Why don't you just

1 describe the project to us and give us a better sense of  
2 your goals, and if you have any questions that you'd like  
3 for us to particularly address.

4 MR. BARNES: Thank you. We have brought a similar  
5 slide projection show, but with a few extra images in it.  
6 I'm wondering whether we could just show that, and just talk  
7 while we show that.

8 MS. MILES: I'm sure Josh will help you, and you  
9 need to have a microphone when you step away.

10 MR. BARNES: None of this has changed. Thank you.  
11 Thank you for seeing this case. We have been on the agenda  
12 to see you before, and when there was discussion at the  
13 Village about the removal of the red maple, the application  
14 was pulled and we, in fact, met with the neighbors on the  
15 east side and redesigned and made smaller the addition in  
16 line with staff comments from the first proposal which you  
17 never actually saw formally, and with the concerns of the  
18 neighbor.

19 So just running through the challenges of the lot  
20 that Josh has mentioned, you can see that it's a corner lot,  
21 but there's a tremendous amount of the lot that's not  
22 buildable. All of the dark gray or purple areas that, the  
23 pink areas are the existing garage and the main house.

24 Sorry, I've gone too fast. This is our first  
25 floor proposal. The shaded blue area shows you how we've



1 broken up the mass, smaller at the front of the street,  
2 getting a little bit wider on the side. And you can see  
3 that there is not much of the rear yard that is buildable  
4 beyond the area where we are building behind. So building  
5 to the side, although it's regrettable in the Village, is  
6 really our first choice here, or major choice.

7 I'll point out that we are staying 15-feet away,  
8 in our proposal, from the side yard to the east. And that  
9 is where the large oak street, as you can see it on our  
10 drawing, straddling the lot line.

11 This is our second floor, which you can see pulls  
12 back. In fact, most of the addition to the side is actually  
13 a one-story addition, as proposed.

14 You've seen the front elevation and the side from  
15 the street. The rear, this large tree was removed with a  
16 tree permit from the Village. The bark had started falling  
17 off. It's very close to the house. And when it was taken  
18 down, there was about a 15-inch hole in the middle of it.  
19 It was unfortunately diseased.

20 I'll mention that the fence, there was a fence in  
21 this location that was brown, not white. And when the  
22 current owner planned to replace it, she placed a call to  
23 HPC, I believe, and was told it doesn't need a permit  
24 because it was considered a repair rather than replacement.  
25 However, we like the fact that you like it. So we just

1 want to put that in, for the record.

2           Just more detail in the plan, which I don't know  
3 if that's relevant at this point. We did prepare a three-  
4 dimensional massing model to try and help our staff and the  
5 owners understand our intention. You can see the existing  
6 at the top, proposed down below.

7           So you can see that we're matching the two-story  
8 volume from the right of the house to the left, which is an  
9 enclosed porch above the screen porch on the right. And we  
10 have other accommodations there. Then there's a small entry  
11 porch, and a single-story gable that houses the kitchen  
12 towards the west.

13           As you move around you can see the former non-  
14 historic room on the back on the top left here, and you can  
15 see our proposal for the single-story gabled breakfast room,  
16 which has been referred to earlier on that side as well.

17           When you just get around to the Magnolia Parkway  
18 side, really, this two-story addition with a chimney on the  
19 gable, and a single-story breakfast room, peaking by it.

20           If the slide projector will listen to me, it seems  
21 to be stuck. It doesn't seem to want to advance. Sorry.  
22 Thank you. I just wanted to point out, in the massing we  
23 are keeping one of the old corners of the historic structure  
24 back there so that again the historical accumulation of  
25 additions would be visible over time.

1 I'm sorry that the projector continues not to  
2 help. Thank you so much. Let's just go past the addition  
3 to the elevations, if we may. The staff and Board have all  
4 seen this. Could you give us the next one, please, and the  
5 next one, and the next one, and the next one.

6 Just the historic dormers in the neighborhood are  
7 somewhat similar to the ones we have. That was just an  
8 example. The next slide please. Thank you, sir

9 I also want to spend a little moment on the  
10 driveway aspects. So the subject property is here. The  
11 driveway C, B and A being the ones that you are now going  
12 to see in photographs from the street. The next slide  
13 please.

14 So driveway A you can see fairly narrow. The  
15 garage back here is largely obscured. Next slide please.  
16 This is the driveway to the east of our eastern neighbor,  
17 and there are two driveways in between there. I believe  
18 this is about nine foot from the property line to the side  
19 of the two-story part of this house. Next slide please.

20 Our driveway here, we have substantially more  
21 distance, and you can see the driveway back here. Can I ask  
22 you to back up one slide? Excuse me. I just want to point  
23 out that although the garages are visible and both of these  
24 driveways which are immediately to the east of us, they, of  
25 course, are partly obscured by the house. So that is also a

1 condition that is prevalent in the neighborhood and on the  
2 street with our neighbors. Next slide please. And then the  
3 next slide again.

4 This is our proposed massing from a similar  
5 volume, sorry, similar vantage point where you can see how  
6 our garage is somewhat obscured but still visible along the  
7 driveway. I'll mention briefly that the driveway dimension  
8 being narrowed as acutely as described in the staff report  
9 is, of course, because we are proposing an 18-inch planter  
10 on the side. Certainly, we could reduce the width of the  
11 planter a bit to keep the driveway line where it is and  
12 actually make it a little more usable than was described.

13 I think those are the points that I wanted to  
14 make. Do you think there is anything else? So perhaps  
15 we'll turn that over to you. Thank you.

16 MS. MILES: Thank you. Do any members of the  
17 Commission have any questions for the applicant or the  
18 architects?

19 MR. KIRWAN: I have a question. On our staff  
20 review packet, circle -- sorry -- circle 17, which shows the  
21 existing side elevation that faces Magnolia Parkway. On the  
22 existing side elevation, the two-story porch has a hip roof  
23 on it. And in your proposed elevation, you show that hip at  
24 a much greatly reduced slope. Is that the intention, or is  
25 that roof being replaced or are you maintaining --

1 MR. BARNES: I'm sorry. Are you referring to the  
2 -- I don't recall. Which page?

3 MR. KIRWAN: The original two-story porch.

4 MR. BARNES: Let me just be sure I understand what  
5 you are saying.

6 MR. FIEHN: If I may, the original two-story porch  
7 was drawn by a previous architect. We are intending to  
8 match what's existing. And what's existing is the lower  
9 sloped portion that we drew.

10 MR. BARNES: And we worked over someone else's  
11 existing condition drawings. Excuse me.

12 MR. KIRWAN: Also, in your 3-D model you show  
13 portions of your, on your proposed east elevation, you show  
14 portions of the new entry porch with the flat roof and then  
15 the shed is sort of further back on the flat roof. Are we,  
16 is what you are showing us in the 3-D model more accurate to  
17 what you are proposing, or is it what we are seeing in the  
18 proposed drawings?

19 MR. BARNES: The elevations would rule.

20 MS. MILES: Any other questions, or shall we begin  
21 making remarks?

22 MR. WHIPPLE: Before you start making remarks, I  
23 think the other speaker wants to --

24 MS. MILES: I would propose, then, that you slide  
25 to the side, turn off your microphones, and let's allow the

1 next speaker to come before us. Thank you. Yes, I do have  
2 these pieces of paper here. So this is Ms. Wellington and  
3 her architect, Mr. Rosenbloom. And I apologize.

4 MR. SILVER: Did every get -- for the attachments  
5 that I sent in the email today, did everybody get the  
6 supplemental information from the neighboring property, the  
7 boundary survey?

8 MS. MILES: Yes, thank you. Please turn on your  
9 microphones. Just press the button and release. The red  
10 light will come on and identify yourselves for the record.

11 MS. WELLINGTON: Thank you very much for this  
12 opportunity to speak. My name is Meredith Wellington. I  
13 live at 18 West Lenox in an outstanding resource.

14 MS. MILES: Ms. Wellington, I just wanted to tell  
15 you, you'll have between yourself and your representative,  
16 five minutes to speak.

17 MS. WELLINGTON: Okay. We'll be as quick as we  
18 can. Thank you.

19 MS. MILES: Thank you.

20 MS. WELLINGTON: I am a former Commissioner of  
21 MNCPPC. I served here from 1999 to 2007. I have a long  
22 track record with historic preservation. I was here when we  
23 made Uncle Tom's Cabin historic. I went through the Comsat  
24 battle and Canada Dry.

25 So I'm not new to historic preservation. I'm not

1 a NIMBY. And I am just someone who believes in historic  
2 preservation. I was one of the first people that worked to  
3 get historic preservation in Chevy Chase Village.

4 The issue today is, I am speaking in support of  
5 the staff report that there be changes to the proposed  
6 addition to mitigate the visual impact. But the greatest  
7 danger here, the thing I am concerned about and the reason I  
8 am here tonight, is the potential destruction of this  
9 massive oak tree that you see in the picture.

10 It's a specimen tree. It's 49.5 dbh. I believe  
11 you do have a copy of the arborist's report from the  
12 Village. And I hope you do have the email that the Village  
13 staff sent to you all that the tree protection needs to be  
14 13 feet, a 13-foot radius.

15 And the problem is, and the reason I also was  
16 present at the hearing on Monday night, is that currently,  
17 with the proposed addition, the proposed, the tree, the 13  
18 feet is encroached on by the addition.

19 And we did send to you all a drawing that was done  
20 by Mr. Rosenbloom and his office. Did you get a copy of  
21 this that shows the encroachment? I have more if you  
22 haven't seen it.

23 MS. MILES: We did get it, but if you'd like to  
24 hand it to Josh, he'll pass it around if you'd like.

25 MS. WELLINGTON: And that's why we're here now, to

1 resolve this issue in the beginning, so that it's not at the  
2 end of the process when everybody has gone through all the  
3 different plans.

4           And we understand other preservation issues can be  
5 dealt with later, but you can't deal with an issue of the  
6 building being in the area that the arborist says has to be  
7 protected from any kind of encroachment.

8           So there's much more I could say. This is exactly  
9 the kind of tree that is described in the guidelines. They  
10 actually discuss critical characteristic, the naturalistic  
11 landscape of massive, mature trees. And of course, tree  
12 removal has strict scrutiny. And this would be a de facto  
13 removal, if you allow any damage to the roots. Would you  
14 like to say anything?

15           MR. ROSENBLOOM: First of all, we've been working  
16 -- my name is Martin Rosenbloom. I'm an architect with a  
17 degree in historic preservation. And I have been working  
18 with Meredith, and we have been working with the architects  
19 next door, and the owners.

20           And it's been a very nice collaboration. And I  
21 think that their design is quite lovely. Our real concern,  
22 we've done some property surveys of where the tree is. The  
23 tree was originally shown further on the Wellington's  
24 property. It's really irrelevant where the tree sits. What  
25 is relevant is that we must stay 13 feet off the face of the



1 tree with any excavation or damage at this point, because  
2 that is the information that we have.

3           And so what we did to clarify this, and as I said,  
4 property line or setback is not the critical issue. It is  
5 the 13 feet plus the builder's trench. And that is really  
6 what we are here about this evening, because it is the  
7 principal defining character between those houses, is that  
8 one major tree. And it is visible from Kirke Street, as  
9 well. I mean, it is -- and Magnolia Parkway. It is a very  
10 significant tree. That's all that we're asking, very  
11 simply, we want to work with the neighbors.

12           We do want to make sure that the guidelines are  
13 fixed and recognized and that everyone knows what we are  
14 doing going into this, instead of encroaching on it, and  
15 encroaching on that 13 feet with the builder's trench and  
16 damaging the tree.

17           MS. MILES: Thank you. And again, I apologize for  
18 not calling you. And does anyone have any questions for  
19 Ms. Wellington or Mr. Rosenbloom.

20           MR. SWIFT: I have a question. Where did the 13  
21 foot dimension come from, again, if you can?

22           MR. ROSENBLOOM: The Village arborist came out and  
23 specified that.

24           MR. SWIFT: Okay.

25           MS. WELLINGTON: We have a copy of his report.

1           MR. SWIFT: I'm sure. Is that an absolute  
2 dimension of no infringement? It's my understanding, and  
3 I'm not an expert on tree care, that that's a root zone to  
4 be protected -- and I know we can ignore this -- but that  
5 it's generally taken more as a small, as a certain  
6 percentage of that can be infringed on, and especially at  
7 the outside, it may not have as much of an impact on the  
8 smaller roots, but I'll stop there. That's as much as I  
9 would claim to know anything about.

10           MR. ROSENBLOOM: Meredith, are you going to grab  
11 the original report? We have the actual report. He said 13  
12 feet. I think the issue here is that the next door neighbor  
13 wants to move along with this, which we totally understand.  
14 We can only move along with the best guidelines that have  
15 been offered by a professional at this time. He said 13  
16 feet, therefore, it's 13 feet plus a builder's trench.

17           MR. KIRWAN: To stay on that topic, I mean, is  
18 that what he specifically says, 13 feet, plus a builder's  
19 trench, or is there additional working area between the  
20 trench and the tree, the tree line?

21           MR. ROSENBLOOM: Yes. I'm sorry. He actually said  
22 13 feet off the face of the tree not to be disturbed, which  
23 we then added the builder's trench because the footing  
24 itself has to come out further.

25           MR. SILVER: Commissioner Kirwan, you are going to

1 get a copy of the arborist's report that the neighbor just  
2 handed to me. But I think what might be most helpful is, I  
3 can read a very quick paragraph to you. This may clarify if  
4 for you.

5 This is from the Chevy Chase Village staff, from  
6 the permitting and code enforcement coordinator of the  
7 Village, who provided an arborist, the same arborist report.

8 It says, regarding 20 West Lenox Street, the arborist has  
9 determined that the White Oak on the property line with 18  
10 West Lenox Street, will require a 13 foot radius of tree  
11 preservation (not from the center but around the trunk).  
12 Because this encroaches on the current plan, as submitted by  
13 the resident, the Board required that a boundary survey be  
14 provided by the resident and that any proposed addition  
15 accommodate this radius prior to issuance of the permit.

16 So I will repeat, it says, not from the -- the 13  
17 foot radius of the tree preservation is not from the center  
18 but around the trunk.

19 MS. MILES: Go ahead.

20 MR. TRESEDER: I probably should have asked this  
21 of the architects, but is there a basement design for any of  
22 this addition?

23 MR. SILVER: Yes, there is. And in fact, there is  
24 stairs on the floor plan. You can see, refer to circle 12,  
25 Commissioner Treseder, if you look at the top left corner

1 there, you see stairs going down to a basement level.

2 MR. RODRIGUEZ: I guess would the basement extend  
3 to cover the addition, under the addition?

4 MR. SILVER: Let's have the architects come back  
5 up and answer those questions specifically when their --

6 MR. BARNES: Sure. There is a basement proposed  
7 under the addition. And I can presume we can address our  
8 neighbor's comments at some point when it suits you in the  
9 proceedings.

10 MS. MILES: Are there any other questions for the  
11 neighbor and her architect?

12 MS. WHITNEY: To be blatant about it, your house  
13 encroaches on this 13 feet. From the trunk of the tree, if  
14 you draw 13 feet, not just on your neighbor's property, but  
15 continue around to your property, your house needs to move  
16 back about two feet, the same distance as theirs. And there  
17 is no moving your house, I recognize that. So we have  
18 encroachments on both sides of this tree. I just wanted to  
19 point that out.

20 MS. WELLINGTON: Well, I think the difference is,  
21 if I may speak, Commissioner, is that if we were to do some  
22 construction now, I guess we might be out of luck if we want  
23 to preserve the tree.

24 MS. WHITNEY: Granted.

25 MS. WELLINGTON: Anything that we ever did was 25

1 years ago. We haven't touched the house in 25 years. As I  
2 said, it is an outstanding resource. But we did build an  
3 addition on the very back on that side, and there is a  
4 patio. But we are subject to the same rules as everybody  
5 else.

6 MS. MILES: If I can clarify, when you are doing  
7 new construction, you disturb a root system that has  
8 extended into what the tree believed to be free area and the  
9 tree is not growing, obviously, into their existing  
10 structure or basement, so it's not the same thing as  
11 construction. The tree found other avenues to find water.  
12 It didn't go that way.

13 MR. ROSENBLOOM: If I may make one point on that.  
14 It becomes more critical given that there is less open  
15 ground on the Wellington's side for water to get to the root  
16 system, that the roots have moved to where they can get  
17 water. And that makes the loss of root structure on the  
18 side of 20 more critical.

19 MS. WHITNEY: But if you have a slate patio not  
20 allowing water to get to the earth, I mean, that that's  
21 covering --

22 MS. WELLINGTON: No, it's pervious. It's not  
23 impervious. It's not a solid concrete structure. It's  
24 just, you know, the slate slabs. And we have had the tree  
25 checked. We share this every single year, by Bartlett

1 trees, and done everything that we've been asked to do.

2 It's a very healthy tree. It's been there a long time.

3 MR. SWIFT: I think I'd also note that I don't  
4 know that a 16-inch builder's trench would necessarily be  
5 required. I would encourage the design architects to look  
6 into that potentially with contractors and engineers. You  
7 know, there is an opportunity to just excavate at a certain  
8 line and pour concrete against that, have a footing that  
9 turns in towards the building.

10 So I don't think it's fair to assume that. I  
11 think it's reasonable to consider that, and to ask the  
12 designers to look into that. But I don't think that should  
13 be part of the discussion necessarily.

14 MR. BARNES: May I respond? I think we recognize  
15 the value of this tree as much as the Wellingtons do, and  
16 treasure it as a contribution to everyone's beauty in the  
17 backyard. And so we have consulted from the beginning a  
18 terrific arborist, Keith Pitchford, who is recognized and  
19 known to the arborist in the Village, as to how to deal with  
20 the tree. We often build near mature trees without harming  
21 them. It's something we do all the time. So we take it  
22 very seriously.

23 Our intent would be not to dig and over dig with a  
24 builder's trench, but in fact to use a sheeting and shoring  
25 technique that's used all the time for office building

1 construction, or any construction close to a property line  
2 where you can't over-excavate. It is an extra expense for  
3 the client, who is familiar with construction. And we're  
4 certainly prepared to do that so that we don't have an over  
5 dig.

6 In the absence of more detail and factual  
7 information about where the roots are, the arborist's 13-  
8 foot guideline is something that we are committed to  
9 respect, even if it means pulling in our basement a little  
10 bit, and letting the kitchen overhang that a little bit, to  
11 be able to get the useful minimum dimension that we think  
12 we're at in terms of what works in the plan.

13 So we are prepared to commit to preserve the 13  
14 feet as the neighbor's request. And to also work with the  
15 consulting arborist and the Village arborist and the  
16 neighbors as we proceed with the plans for the construction.

17 I'd also point out that a well-recognized fairly  
18 new technique for finding out where the roots are is, in  
19 fact, to use an air sprayer, a compressed air jet, and  
20 actually expose the roots without harming them at all. And  
21 it is our intention to take up this section of driveway  
22 between the tree and the addition for a 10 foot strip, and  
23 completely expose the roots in this area with an air spray  
24 before we actually finally commit to the foundation  
25 technique and final location. And so at that point we can

1 determine where the roots are.

2           It is the new Village arborist's observation today  
3 when he went by the house, that it's unlikely that any major  
4 roots have been growing underneath the driveway, which has  
5 been there, I think, for something like 80 years, or a  
6 version of that driveway has. And there is a steep bank  
7 next to it.

8           So the fact that the driveway has been there all  
9 this time as the tree has grown means it's most likely that  
10 we're going to run into these roots, but if we do, we will  
11 respect them and treat them as recommended by the arborist.

12           MS. WELLINGTON: Well, there was gravel there  
13 until sort of in the mid-eighties, and then there was the  
14 concrete. But no, the paved driveway has been there since  
15 the 1980's, not time immemorial.

16           MS. MILES: Are there any other questions? If  
17 there are no other questions, I'm going to ask you all to  
18 turn off your microphones, and we can make any remarks. And  
19 who would like to begin?

20           MR. RODRIGUEZ: I will go first then.

21           MS. MILES: Excellent.

22           MR. RODRIGUEZ: I do have a concern, and it is a  
23 concern that is more, I would say, the massing, the  
24 treatment of the massing. I think it's going to affect some  
25 of these responses regarding the location of this side,



1 facing the neighbor's property.

2           When I look at the plans, I can understand that it  
3 is like a double axis and certain idea of symmetry, trying  
4 to balance the house from one side to the other. I think  
5 that gets lost completely when I start looking in the  
6 kitchen at the breakfast addition.

7           Since he seems to be expressing the elevation,  
8 this means as he turns around, and the way he faces Magnolia  
9 Street, and I think they're probably going to lose a lot of  
10 that, lose the cohesion that different elevation is trying  
11 to respond.

12           In general, I would be supportive of the addition,  
13 but I think the addition is expanding too close to the tree,  
14 and I think the projection of that gable and the width of  
15 the kitchen is too much and it should be shortened. And I  
16 think the project needs to be clarified clearly, what is the  
17 type of volumetric articulation that is suggested for that  
18 portion of the plan, basically the kitchen and the breakfast  
19 room.

20           I think the breakfast room projects too far out.  
21 And that, in my opinion, interferes with this natural park  
22 setting that is practically the defining feature of the,  
23 historic district? That is what we need to respect.

24           MS. MILES: Commissioner if you could, if you  
25 don't mind, there are five items to respond to. I think

1 you've responded to number one, does the HPC find the  
2 proposed design consistent with the guidelines for major  
3 additions. And number two, to some degree, are the  
4 additions compatible in scale.

5           Could you also speak briefly about number three,  
6 about proposed building materials; number four, about the  
7 front and rear dormers; and number five, about the driveway.

8     You did respond to that one.

9           MR. RODRIGUEZ: Yes. Okay. So regarding the  
10 proposed materials, I support it. I think it matches the  
11 guidelines. Regarding the dormers, I don't have any  
12 comments. I think the dormers help to scale the house a  
13 little bit. The plane on the roof is too large.

14           I do have a high, a really big concern regarding  
15 the driveway. I think that a five foot six drive isle is  
16 not practical, and at the end, what is going to happen is,  
17 the car is going to start going into the zone that belongs  
18 to the tree roots.

19           So I think that for me will be the other point to  
20 really study carefully and determine if the kitchen wall is  
21 not too far out towards the driveway.

22           MS. HEILER: I would agree with Commissioner  
23 Rodriguez on the design, I believe, is consistent. I do  
24 think the staff is right that many of these panels should be  
25 replaced with windows to make the design more symmetrical

1 with the addition on the other side.

2 I think it does extend too far, and the massing of  
3 that one-story addition, plus the driveway, I think, creates  
4 a problem on that side.

5 The materials I think are appropriate. I do have  
6 a problem with the dormers. We saw an earlier picture where  
7 there were gabled dormers, which to me looked far more  
8 appropriate for this particular kind of colonial revival,  
9 which has some Georgian touches. I think the shed dormers  
10 are incompatible with that front portico. They are  
11 incompatible with the oval window.

12 I know there are some other shed dormers on that  
13 street, but there are also gabled dormers, which I think  
14 would look much more appropriate. I think the dormers  
15 become a very important feature just because they break up  
16 that roof. And so I would suggest going back to the gabled  
17 dormers.

18 When I saw that earlier plan, I thought that they  
19 should not have the arched windows. That made them stand  
20 out as almost a defining feature of the house. If they are  
21 ordinary rectangular windows with gables, they'll look much  
22 more like the other dormers on the street. And I think the  
23 fence looks great.

24 MS. MILES: Yes.

25 MR. TRESEDER: I'm sorry. I'm just going to take

1 my turn to go down this list. Although I think this  
2 addition could indeed be improved by making it smaller, as  
3 the other Commissioners have suggested. And if the tree  
4 does end up requiring that, I think that will be all to the  
5 better.

6 ~~Nevertheless, I think~~ based on the moderate  
7 scrutiny standard, the project we have before us passes  
8 that, in my opinion. And similarly, I think that even  
9 though I agree with the staff and the other Commissioners,  
10 that replacing the panels with windows would look better, I  
11 think that there could very well be very functional reasons  
12 not to do that, and the design, as it is, does attempt to  
13 address the scale of the porch and reflects that. So I  
14 would not disapprove of that.

15 ~~The fence looks good. Fine. And then I guess the~~  
16 ~~only~~, I did have a comment that as part of your proposal, ~~if~~  
17 ~~you could look into replacing the driveway with permeable~~  
18 ~~pavers~~, anything you could do to give that tree the best  
19 possible lease on life. I know that they usually also do  
20 fertilization as well. But if permeable pavers were part of  
21 the driveway design, I think that could be very helpful.

22 MS. MILES: Before we continue, I just want to  
23 clarify something, Commissioner Treseder. There's actually  
24 different levels of scrutiny for the different elements that  
25 we're looking at here. Driveways are subject to moderate

1 scrutiny if they are visible, so this one is moderate  
2 because this is not an outstanding resource. I'm sorry.  
3 Dormers.

4 Driveways are strict scrutiny if there is an  
5 impact on landscaping, and there plainly is. The lot  
6 coverage is subject to strict scrutiny, and major additions  
7 are subject to very intense attention, particularly for a  
8 side lot or side addition. So I think we've got a variety  
9 of different standards to use in this case.

10 MR. TRESEDER: Okay. Well, maybe I'll comment  
11 again after prosing that, thank you.

12 MS. MILES: Okay. Anyone else?

13 MR. KIRWAN: I agree with a lot that the  
14 Commissioners have previously stated. I think there's a lot  
15 of good reasons to pull the addition off of the side  
16 property line. I think the tree is clearly one of them. I  
17 think the elements of scale of the side addition are  
18 another. And I think visibility of the garage and some  
19 sense of a driveway that, you know, may be a believable  
20 driveway as opposed to a five foot six wide driveway is more  
21 consistent with the original resource.

22 I think Commissioner Rodriguez made some excellent  
23 points about the, just the character of the architecture as  
24 it turns the corner of the addition. I think some control  
25 over the various architectural elements they are making of

1 the addition would be very helpful and more consistent with  
2 the original resource.

3 I am concerned about these various different roof  
4 pitches, as I mentioned in some of my questions earlier,  
5 that some are shown, some are shown flat in a 3-D model.  
6 Others were shown pitched in the drawings. You know, the  
7 shed dormer on the front part of the addition, while it  
8 looks like it's the same slope when you look at the side  
9 addition as the breakfast room, they are very different  
10 slopes, and I think all these different planes and different  
11 materials that are being proposed are adding to that sort of  
12 collective quality of all these different materials, which I  
13 don't think is very consistent with the resource.

14 And going down the line on some of the other  
15 items, I think I agree with Commissioner Treseder that I  
16 think it would be difficult to require that the panels on  
17 your proposed two-story side addition be all glass. I think  
18 there is plenty of reasons why that would be difficult  
19 programmatically. And also I think you've done enough with  
20 the detailing of that piece that it can be different from  
21 the original two-story side addition on the other side.

22 I think the dormers are okay. Again, I think  
23 given the moderate scrutiny application toward that, I think  
24 we can, you know, make those work. And again, the  
25 modifications to the existing side yard driveway, as I

1 mentioned, I think again what I'm hoping to see next time is  
2 the addition pulled back to give a more believable driveway  
3 toward the back, even though you might not ever use it as a  
4 driveway. It will also give some relief to the tree.

5 And I think also pulling that addition back is  
6 going to help us on these other concerns that have been  
7 raised about the architectural detailing.

8 MS. WHITNEY: Thank you all for coming out. I  
9 agree with Commissioner Heiler on the gabled dormers. I am  
10 known for not liking anyone to cut into a roof on a historic  
11 structure. And of course, gabled dormers, or whatever  
12 dormers you are going to put in there, that is exactly what  
13 that is.

14 I do like the complement of the roof lines, but  
15 I'm not sure that we're getting an accurate representation  
16 of what these roof lines actually are. I'd like to see  
17 something a little more concrete on the various roof  
18 pitches, and this and that.

19 I believe that the scale is a bit too large for  
20 the property. In looking at the footprint, you are  
21 increasing the footprint 1,152 feet, which is more than 50  
22 percent of the original massing. And it just seems a  
23 little, more than a little too large.

24 The materials are fine. Back to the scale being  
25 too large, even if you don't intend to use your driveway, by

1 putting in an addition this large, you are insuring that no  
2 one can ever, again, use the driveway. And I would like to  
3 see, regardless of the tree, I would like to see that whole  
4 side pushed back just a little bit to maintain access in the  
5 driveway and to the garage. Thank you.

6 MR. SWIFT: I think the massing with the 50  
7 percent increase is probably reasonable in the neighborhood.  
8 I do agree that pulling back the addition by a couple feet  
9 solves most of the issues. I don't think that's governed by  
10 the tree too much, but I think it would help avoid the risk  
11 of any tree problems. And I think mostly it helps the  
12 massing from the front of the building.

13 I think the mud room extension is 10 feet, and I  
14 think having it be slightly, the further extension beyond  
15 that being slightly less helps it read better from the front  
16 of the building.

17 I think materials are appropriate. I think the  
18 shed dormers work fine. And I think the driveway expanding  
19 due to pulling back the addition, I think will work best.

20 MR. CORATOLA: I agree with a lot of the comments  
21 the Commissioners have said. I do feel on the front  
22 elevation that keeping the panels versus replacing with  
23 glass is more appropriate. It fits the style. We're not  
24 trying to -- I don't think we want to try to mimic exactly  
25 on the right side of the house. It is a new function.



1 We're getting the symmetry in the massing and the  
2 proportions and the rhythm. And I think that addresses  
3 that.

4 I think the front mud room porch roof might work  
5 better as a hip roof rather than a shed roof. Again, it  
6 plays off of that front massing.

7 I really don't have a problem with the size of the  
8 side addition. I think the massing works there. I don't  
9 think it's necessary to pull it in more than a foot, you  
10 know. I think it works well. I do agree with staff's  
11 comment about the breakfast room addition. It might be  
12 proportionally a bit too long, not grossly enlarged, but  
13 slightly, just looking at the proportions of that.

14 I feel that the dormers are in keeping with the  
15 style of the house. It is, it is that stick style and the  
16 mixture of the colonial, and I think those, the shed dormers  
17 work. Again, you might want to study just the proportions  
18 of the windows in there, so that they are more in keeping  
19 with the rest of the house. But the basic massing with the  
20 shed dormers, I think, works well.

21 The materials are definitely appropriate for this  
22 style of house. And the side yard driveway, you know, if it  
23 is going to be used as your driveway, I think we all know  
24 that the five foot six isn't a workable dimension for a  
25 driveway. But if we are going to abandon the garage and the

1 driveway use, then maybe look at it as a different material.  
2 Maybe it is a sidewalk versus a driveway look, and different  
3 materials for the driveway surface at that point. And I  
4 think I've hit all the points.

5 MS. MILES: My view of it is that the, I'm going  
6 to echo a lot of what's already been said. I think that in  
7 general the design is consistent, but that the addition is  
8 not far off, but it's not compatible. The kitchen dimension  
9 is too large, and it's not just because it encroaches on the  
10 tree. It's affecting the front elevation.

11 I agree with what Commissioner Rodriguez said  
12 about the symmetry being appealing in terms of putting the  
13 mud room addition on the front elevation, but the kitchen  
14 addition is quite substantial on the side there, and throws  
15 it off balance, aside from making your driveway unusable,  
16 and your tree endangered. I think it would be better to  
17 pull that in. And I think it does read quite large from two  
18 elevations that are visible.

19 The building materials don't trouble me. The  
20 panels don't trouble me. The dormers I think are okay. I  
21 think I would probably prefer a more traditional for this  
22 colonial revival house to have a gabled dormer than a shed,  
23 but I don't think it's fatal. And I think that the, as I  
24 said about the driveway, I think it's problem that it's  
25 going to become an unusable driveway and your car is going

1 to be parked, essentially, in front of your house. And I  
2 think that will not be a satisfactory solution ultimately.

3 So I think you've had a lot of comments and  
4 feedback, and we look forward to seeing you come back for a  
5 HAWP. Thank you.

6 And our last matter tonight is another  
7 preliminary. It's for 12800 Veirs Mill Road, the Parklawn  
8 Cemetery at the Wilkins Estate. Do we have a staff report?

9 MS. FOTHERGILL: We do. This is an individually  
10 designated master plan site called the Wilkins Estate, as  
11 you mentioned. There is an excerpt from the book, Places  
12 from the Past, describing the significance of this previous  
13 private estate, now currently a cemetery.

14 And the applicants, the Parklawn Memorial Park  
15 Cemetery company, are proposing to create a cremation garden  
16 in the existing southern courtyard, adjacent to the mansion.

17 There are no alterations proposed to the historic  
18 building, and the garden currently has a wall surrounding  
19 it, so the garden is 125 feet by 65 feet, and it's  
20 surrounded by a three foot eight inch tall stone wall.

21 The applicants are here, and will talk about their  
22 need for a cremation garden, and why they chose this  
23 courtyard. As you can see in this slide, the environmental  
24 setting is not the entire cemetery. It is just what you see  
25 here in the hatched lines. And the courtyard is right below

**Matthew Fiehn**

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**From:** CCV Permitting [ccvpermitting@montgomerycountymd.gov]  
**Sent:** Tuesday, April 12, 2011 12:20 PM  
**To:** Fothergill, Anne  
**Cc:** Silver, Joshua; Meredith Wellington; dcoughlan@tritecrealestate.com; Matthew Fiehn  
**Subject:** April board meeting decisions  
**Attachments:** arborist report.pdf

Anne/Josh:

The following decisions were made at the monthly regular Board meeting:

20 West Lenox: Tree removal appeal of one 20.0" Red Maple approved with conditions.

3 Primrose Street: Garage demolition approved contingent upon issuance of HAWP and Montgomery County demolition and building permit.

Also, regarding 20 West Lenox Street, the arborist has determined that the White Oak on the property line with 18 West Lenox Street will require a thirteen (13) foot radius of tree preservation (not from the center but around the trunk). Because this encroaches on the current plan as submitted by the resident, the Board required that a boundary survey be provided by the resident and that any proposed addition accommodate this radius prior to issuance of the permit.

The resident and architect stated that they can submit a plan which will comply with the tree preservation requirement. Per Village permitting process, HPC and Montgomery County permits must be issued prior to the Village review and tree preservation must be installed prior to issuance of the permit.

We are relaying this information to you today so that you can take it into account in your HPC review of the proposed addition. Attached is the arborist's report.

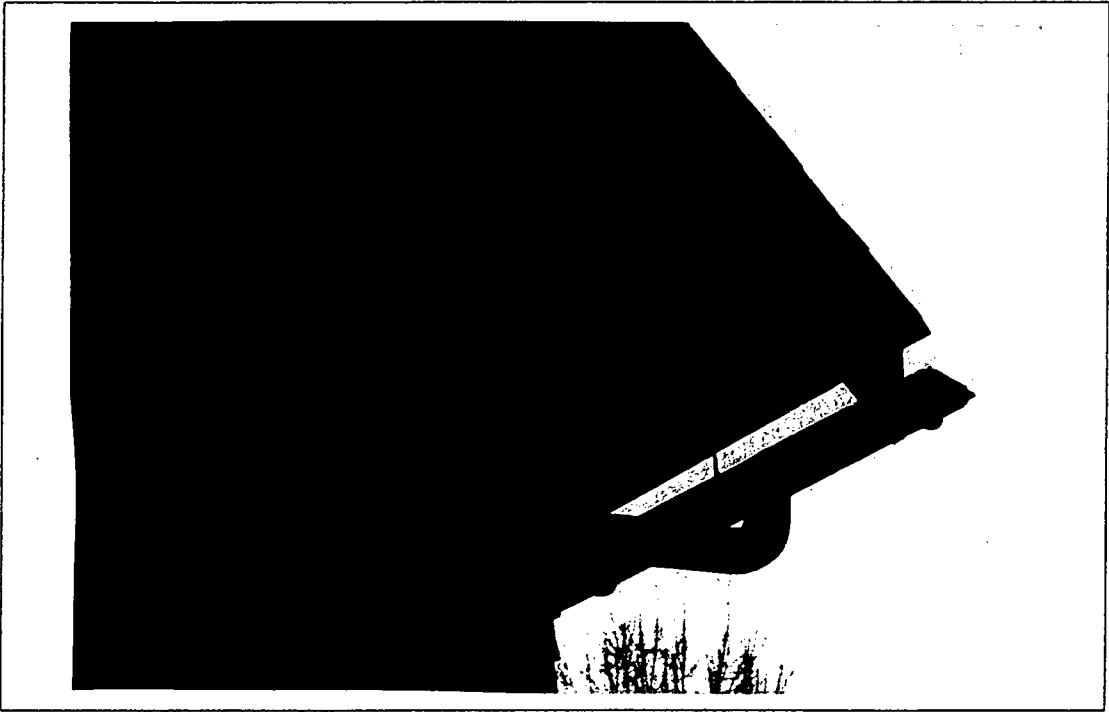
Ellen Sands  
Permitting and Code Enforcement Coordinator  
Chevy Chase Village  
Tele. 301-654-7300  
FAX 301-907-9721

ccvpermitting@montgomerycountymd.gov  
www.chevychasevillagemd.gov

Existing Property Condition Photographs (duplicate as needed)



Detail: EXPOSED RAFTER TAILS

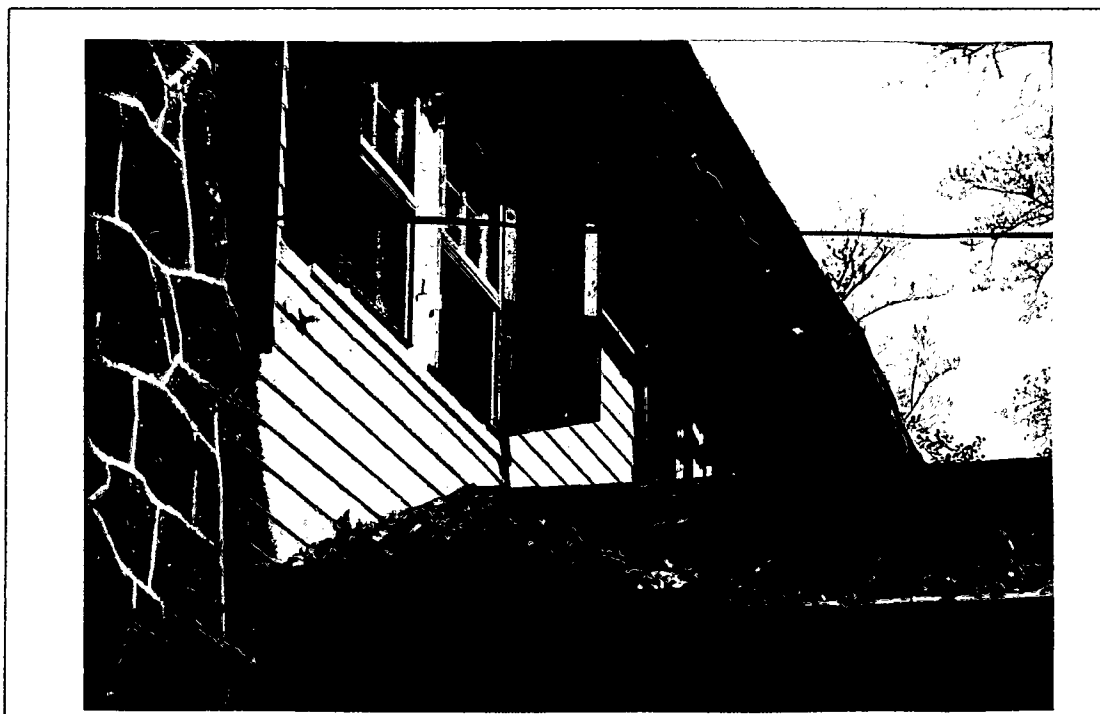


Detail: STICK STYLE END GABLE BRACKETS

Existing Property Condition Photographs (duplicate as needed)



Detail: COPPER GUTTERS & DOWNSPOUTS



Detail: WOOD SHUTTERS

Existing Property Condition Photographs (duplicate as needed)



Detail: STONE CHIMNEY



Detail: HALF ROUND LOUVERED ATTIC VENTS

Existing Property Condition Photographs (duplicate as needed)



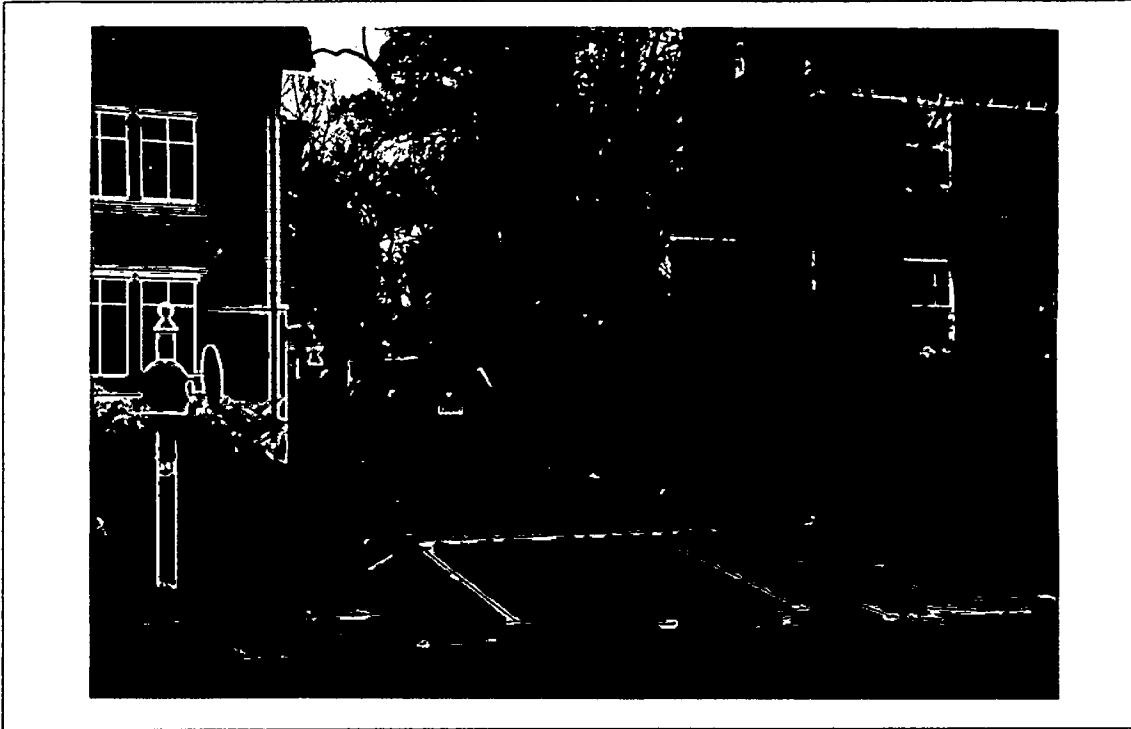
Detail: UPPER PORCH



Detail: SCREENED PORCH



Existing Property Condition Photographs (duplicate as needed)

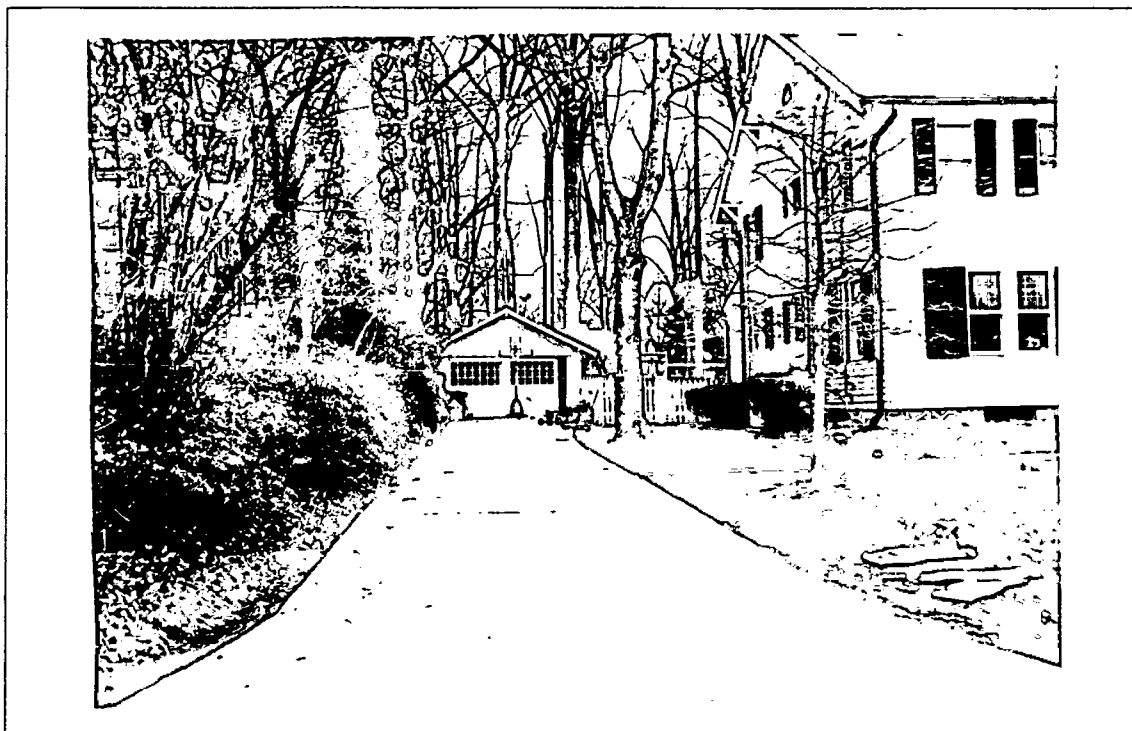


Detail: 14 WEST LENOX STREET, DRIVEWAY VIEW

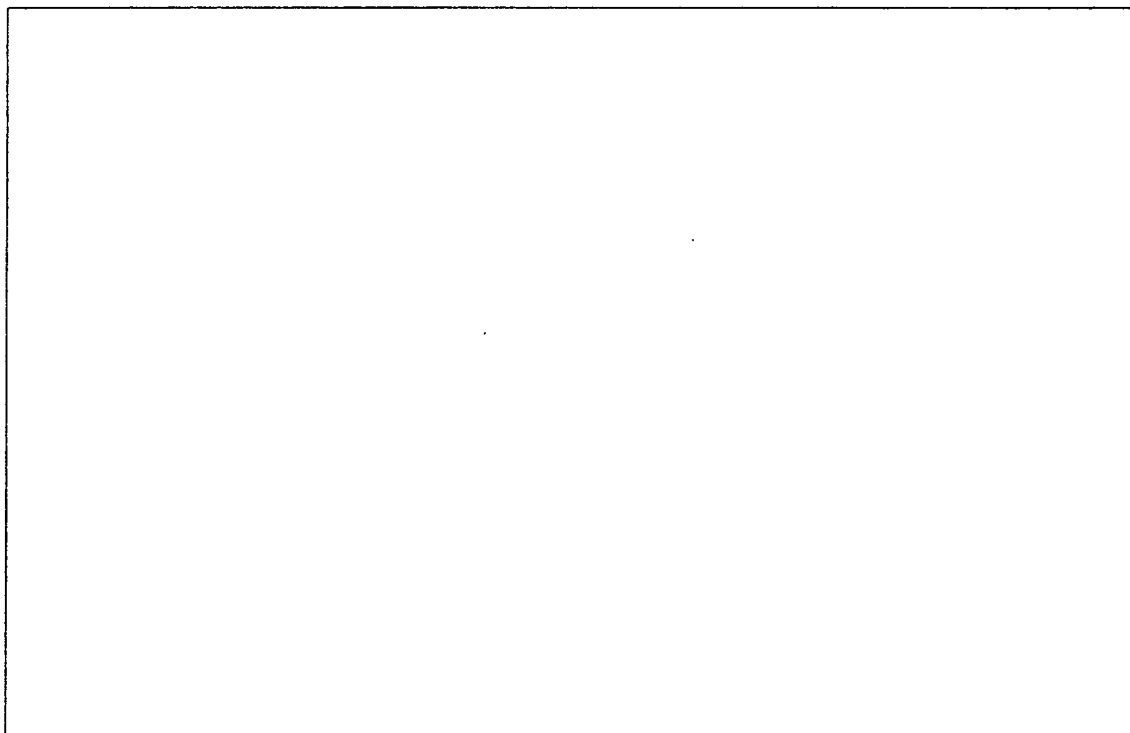


Detail: 16-18 WEST LENOX STREET, DRIVEWAY VIEW

Existing Property Condition Photographs (duplicate as needed)

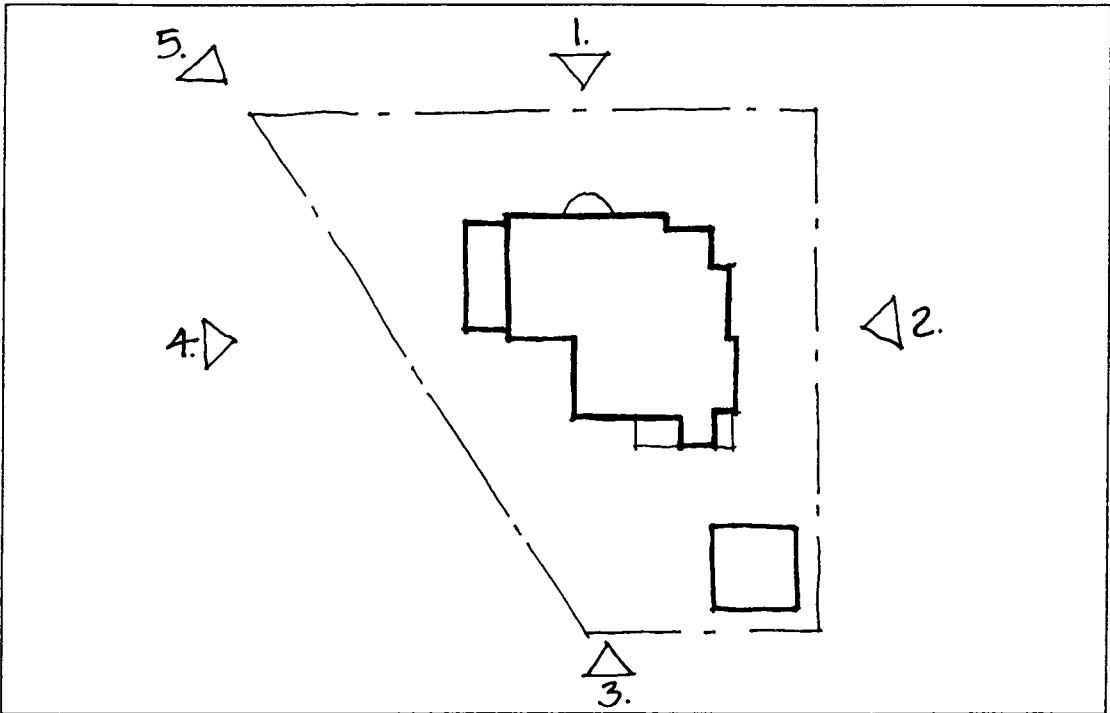


Detail: 20 WEST LENOX STREET, DRIVEWAY VIEW



Detail: \_\_\_\_\_

Existing Property Condition Photographs (duplicate as needed)



Detail: KEY PLAN

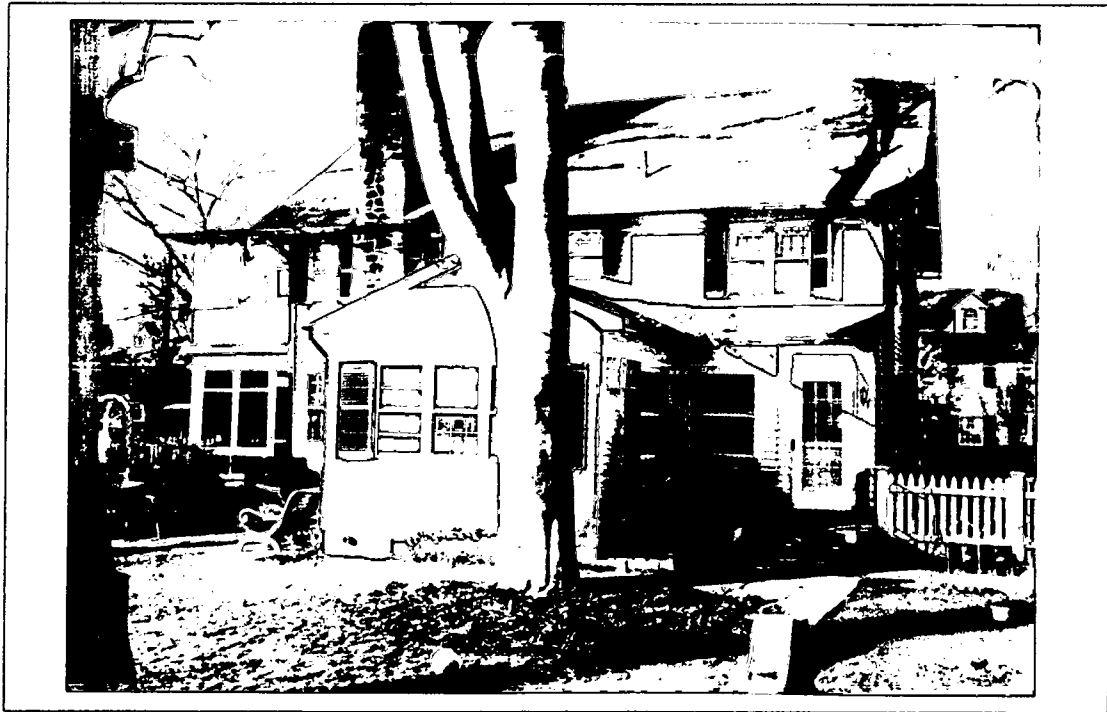


Detail: 1. NORTH ELEVATION

Existing Property Condition Photographs (duplicate as needed)

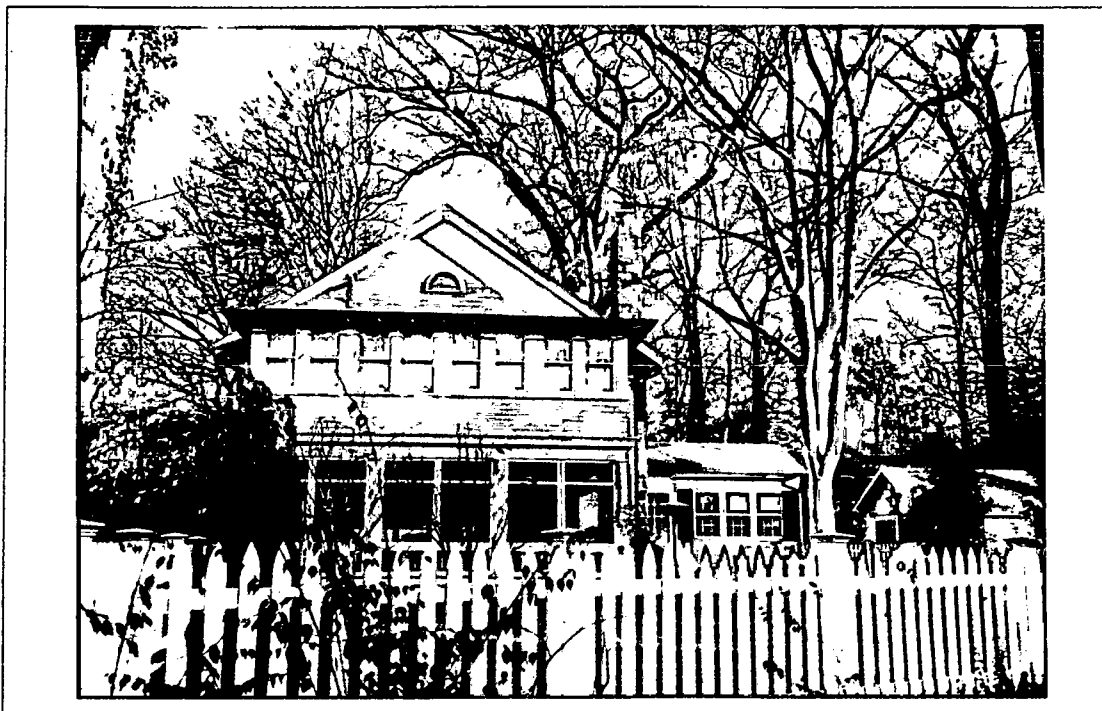


Detail: 2. EAST ELEVATION



Detail: 3. SOUTH ELEVATION

Existing Property Condition Photographs (duplicate as needed)



Detail: 4. WEST ELEVATION



Detail: 5. NORTH WEST ELEVATION

1 smaller.

2 MS. MILES: Okay, thank you. All right, I'm going  
3 to ask for a motion. Would anyone care to make one?

4 MR. KIRWAN: I'll make a motion. I move that we  
5 approve HPC Case No. 35-13-11T at 20 West Lenox Street in  
6 Chevy Chase with the following conditions, that the kitchen  
7 pantry hall and breakfast room additions all move with  
8 respect to each other one foot further from the property  
9 line as shown in the HAWP, and further add a condition that  
10 the roof materials for the kitchen, the breakfast room and  
11 the hall pantry area be of the same material. And also, the  
12 third condition being one that was already recognized in the  
13 staff report, the applicant's must implement tree protection  
14 measures in accordance with Chevy Chase Village arborist  
15 approval for site work and new construction at the property.  
16 All tree protection measures must be implemented prior to  
17 commencing work at the property.

18 MS. MILES: Is there a second?

19 MS. HEILER: I second the motion.

20 MS. MILES: Is there any discussion? All in favor  
21 raise your right hand.

22 VOTE.

23 MS. MILES: All opposed?

24 VOTE.

25 MS. MILES: The HAWP is approved by a vote of 4 to

## Silver, Joshua

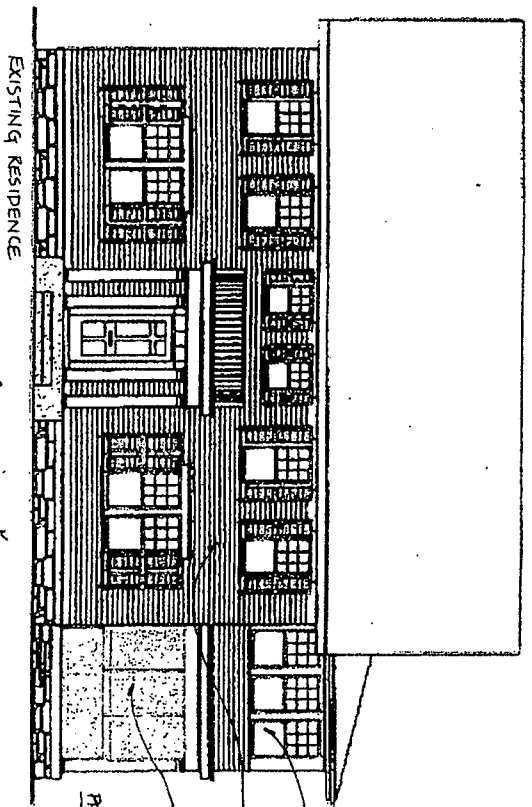
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**From:** Dan Coughlan <dcoughlan@tritecrealestate.com>  
**Sent:** Thursday, January 26, 2012 11:51 AM  
**To:** Silver, Joshua  
**Subject:** 20 W. Lenox st. Chevy Chase  
**Attachments:** 20 W. Lenox Revised 1 12.pdf; 20 W. Lenox Presented in June.pdf

Josh  
If you remember we went before the HPC in June of 2011 with our addition to our Chevy Chase house and received approval subject to pulling the addition back slightly to create a landscape buffer between the house and the driveway. This created some internal issues with design which I think we have finally worked out. I have attached the new plans which reflected the fact that we pulled the house back to create the 18" landscape buffer between the house and the driveway - We made the eating nook smaller on the back of the house to help pull the house further away from the garage and we eliminate the metal seamed roof on part of the addition as requested. I believe we are meeting everything the commission has asked for in their approval and as indicated should be an administrative sign off. Enclosed are the drawings from June and the revised drawings. If you have any questions or need any additional information please feel free to contact me



**Dan Coughlan**  
Principal  
TRITEC Development Group, LLC  
P. 240.744.4802 | C. 202.498.9686  
[www.tritecdevelopment.com](http://www.tritecdevelopment.com)



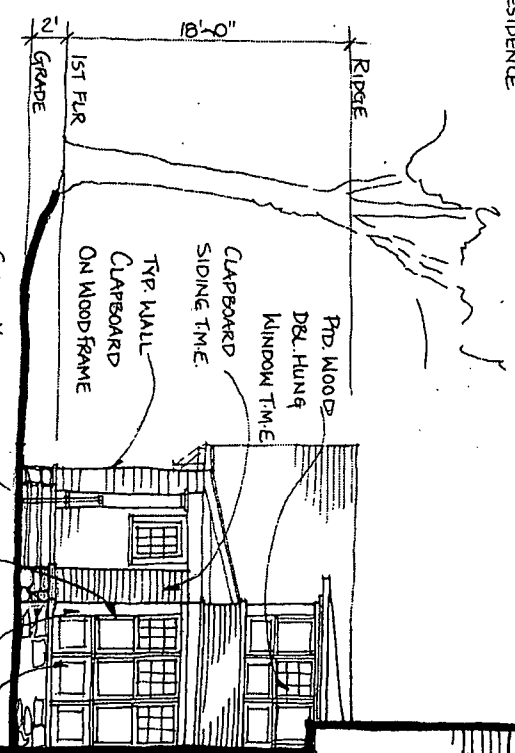
EXISTING RESIDENCE

UPPER PORCH

CLAPBOARD SIDING

SCREENED PORCH

PROPOSED



RIDGE

PRD. WOOD  
DBL. HUNG  
WINDOW T.M.E.

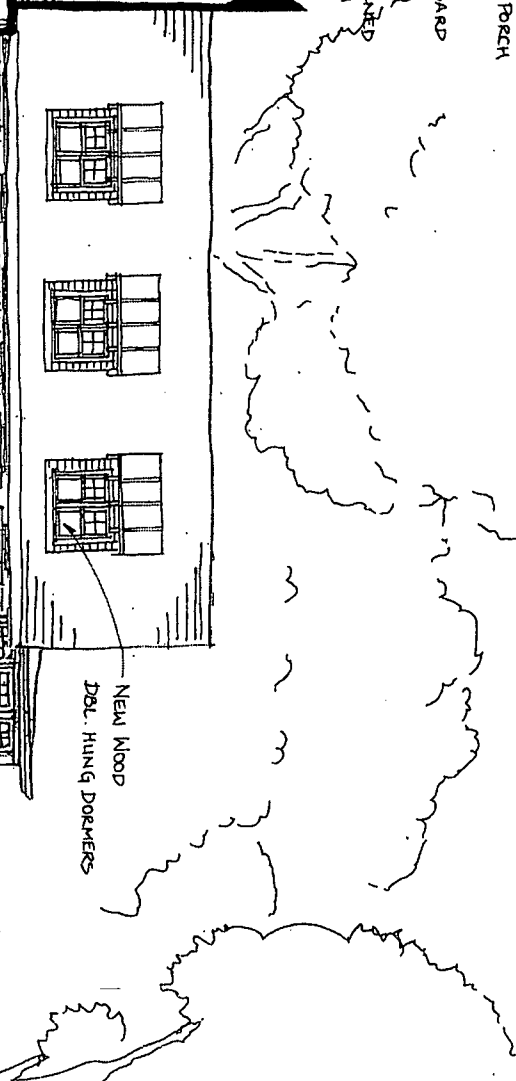
CLAPBOARD  
SIDING T.M.E.

TRIP. WALL  
CLAPBOARD  
ON WOOD FRAME

STONE VENEER  
FOUNDATION T.M.E.

MISSING MATERIALS &  
DETAILS TO MIMIC  
EXIST. SCREENED PORCH

1ST FLR  
GRADE



NEW WOOD  
DBL. HUNG DORMERS

PRD. WOOD PANELS  
PRD. WOOD TRIM T.M.E.  
EXIST.

COUGHLIN RESIDENCE

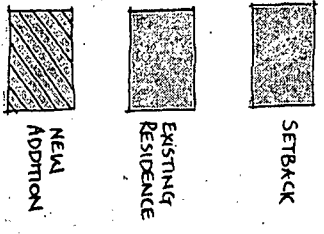
FRONT ELEVATION

BARBARA VAN ZE ARCHITECTS

05.18.11

1/8" = 1'-0"

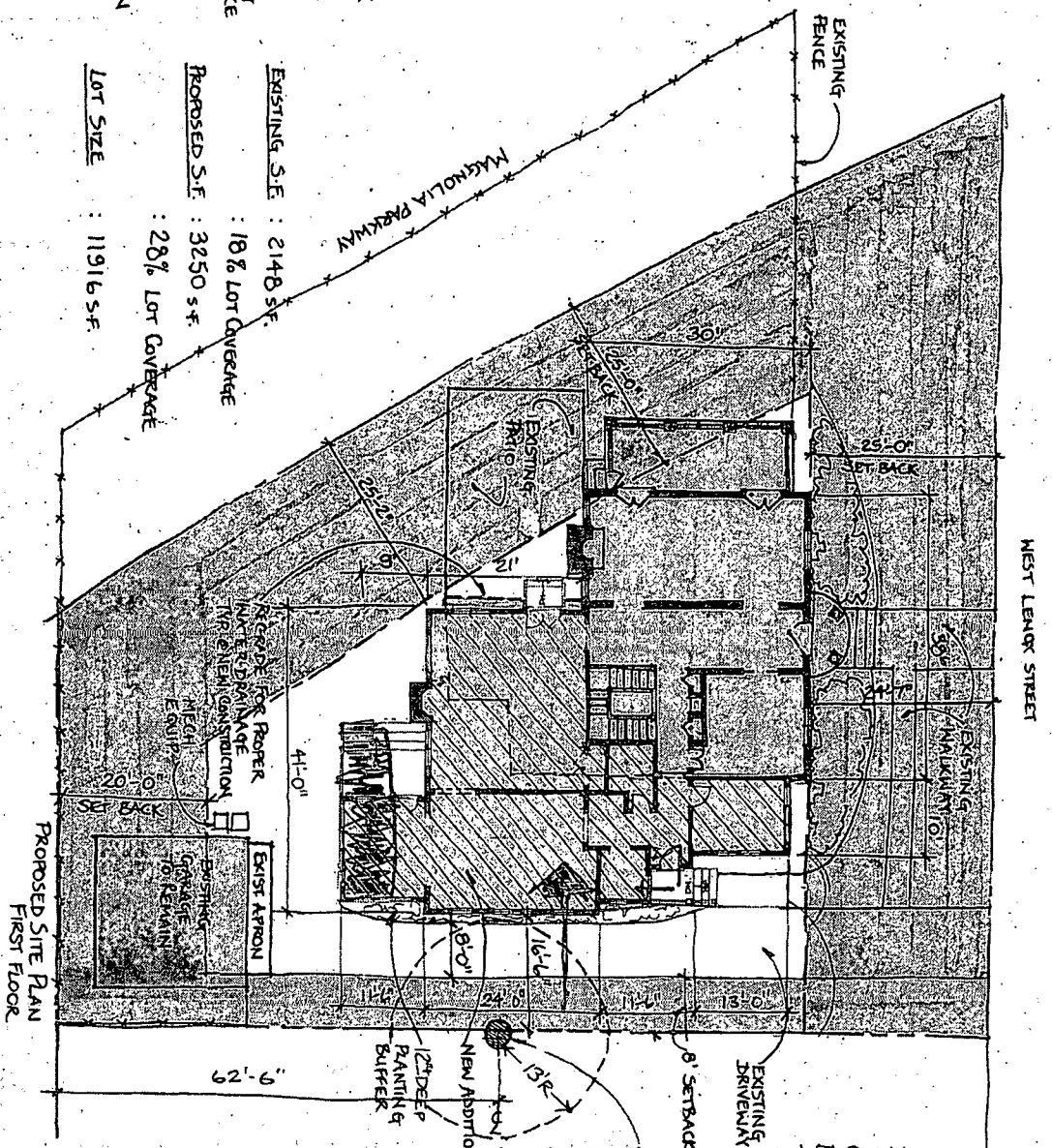




EXISTING S.F. : 2148 S.F.  
 : 18% LOT COVERAGE

PROPOSED S.F. : 3250 S.F.  
 : 28% LOT COVERAGE

LOT SIZE : 11916 S.F.



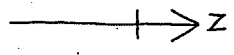
PROPOSED SITE PLAN  
 FIRST FLOOR

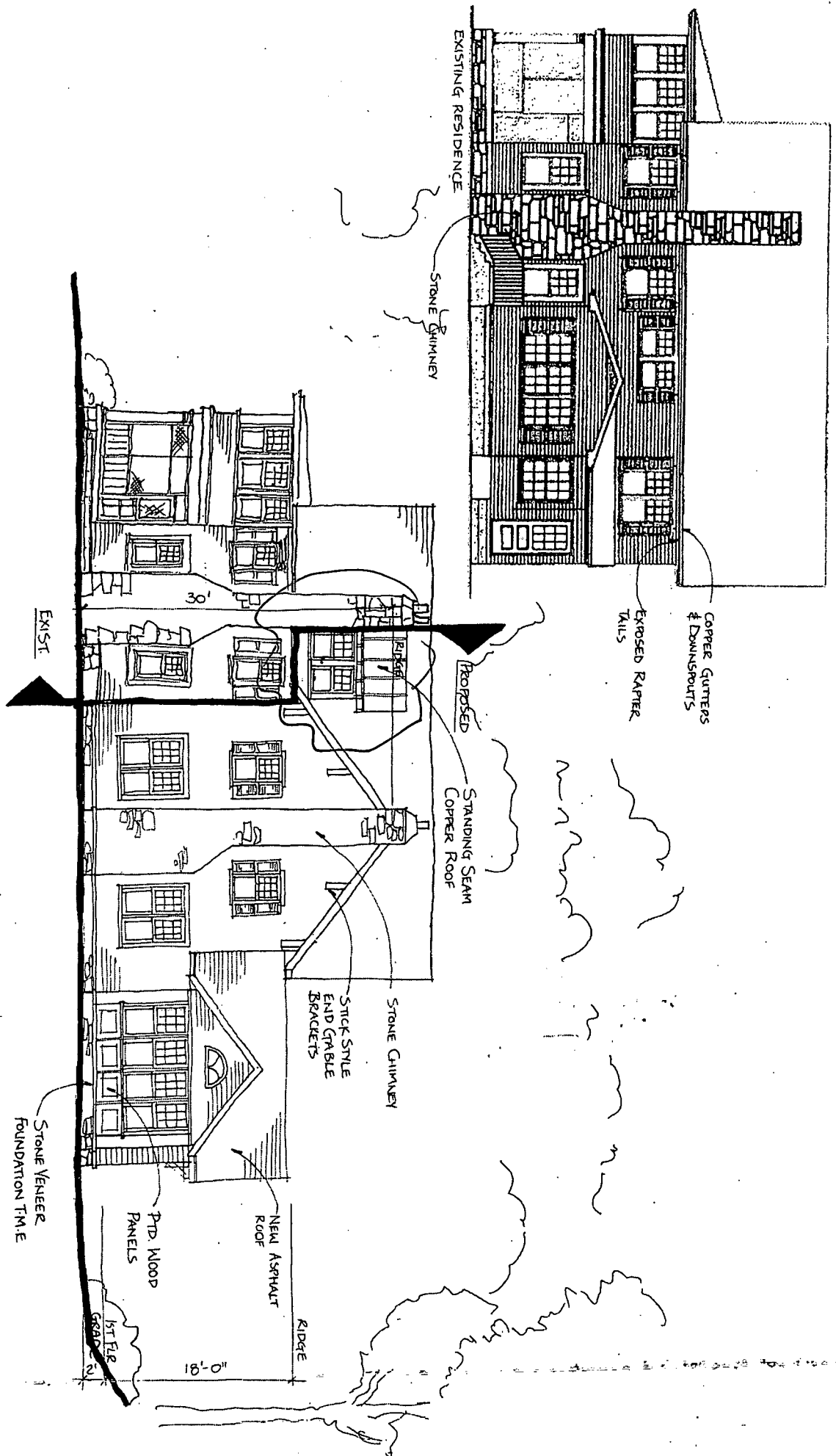
COUGHLAN RESIDENCE

SITE PLAN  
 BARNES VANZE ARCHITECTS  
 05.18.11  
 1/8" = 1'-0"

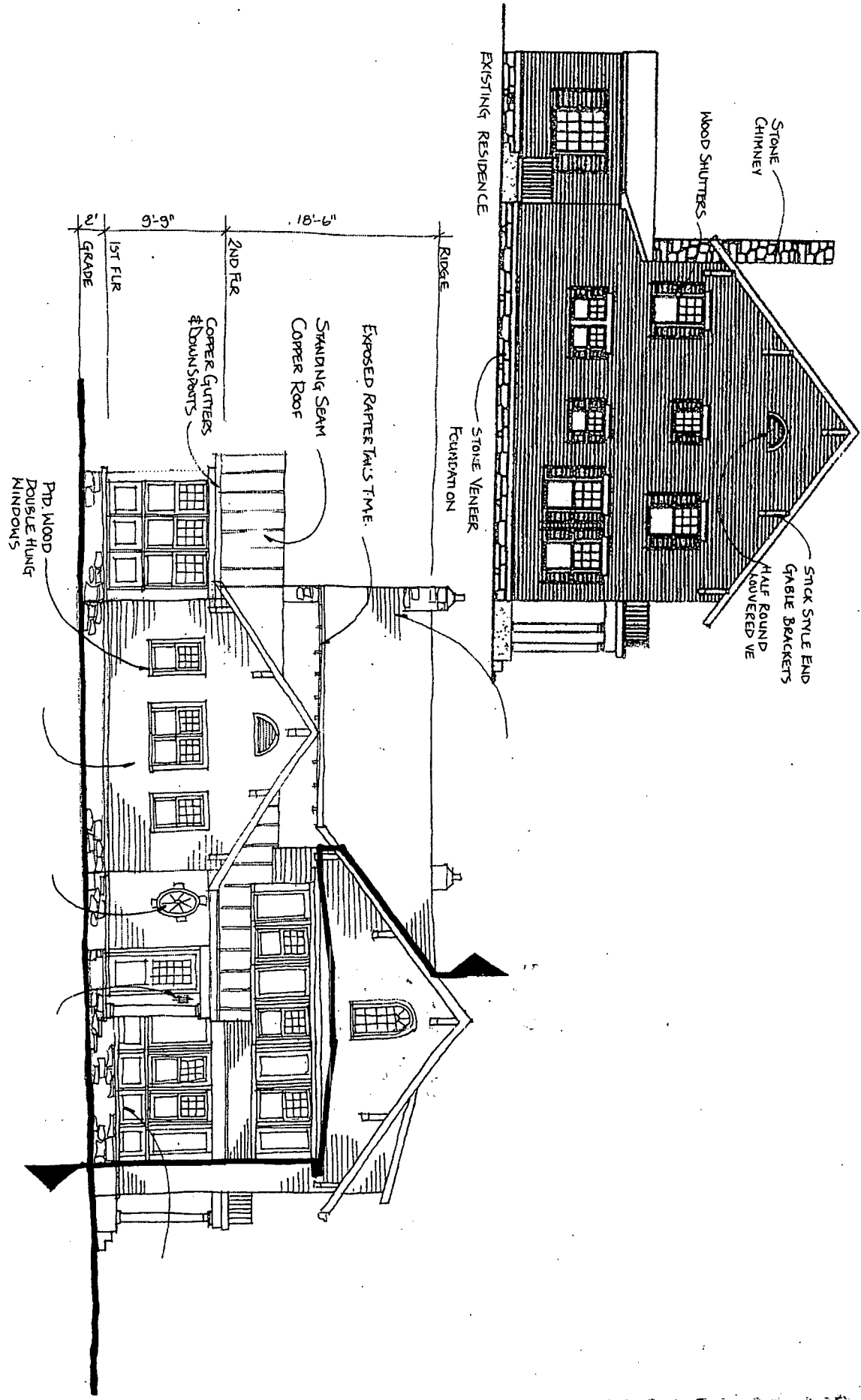
NOTE:  
 A BOUNDARY SURVEY WILL BE OBTAINED TO SHOW THE DISTANCE BETWEEN THE CLOSEST POINT OF THE TRUNK OF THE 4-3-5" WHITE OAK TREE & THE NEAREST LINE OF THE EXISTING DRIVEWAY AREA TO BE EXCAVATED OR OTHERWISE DISTURBED DURING THE CONSTRUCTION OF THE PROPOSED 9' SETBACK ADDITION.

EXIST. WHITE OAK (50" D)  
 VILLAGE ARBORIST HAS REQUESTED A 13' RADIUS ROOT PROTECTION ZONE FROM FACE OF BARK.





COUGHLIN RESIDENCE  
 REAR ELEVATION  
 BARBARA WADE ARCHITECTS  
 05-18-11  
 1/8" = 1'-0"



EXISTING RESIDENCE

STONE CHIMNEY  
WOOD SHUTTERS

STICK STYLE END  
GABLE BECKETS  
HALF ROUND  
COVERED VE

STONE VENEER  
FOUNDATION

EXPOSED RAFTER TAIL TIME

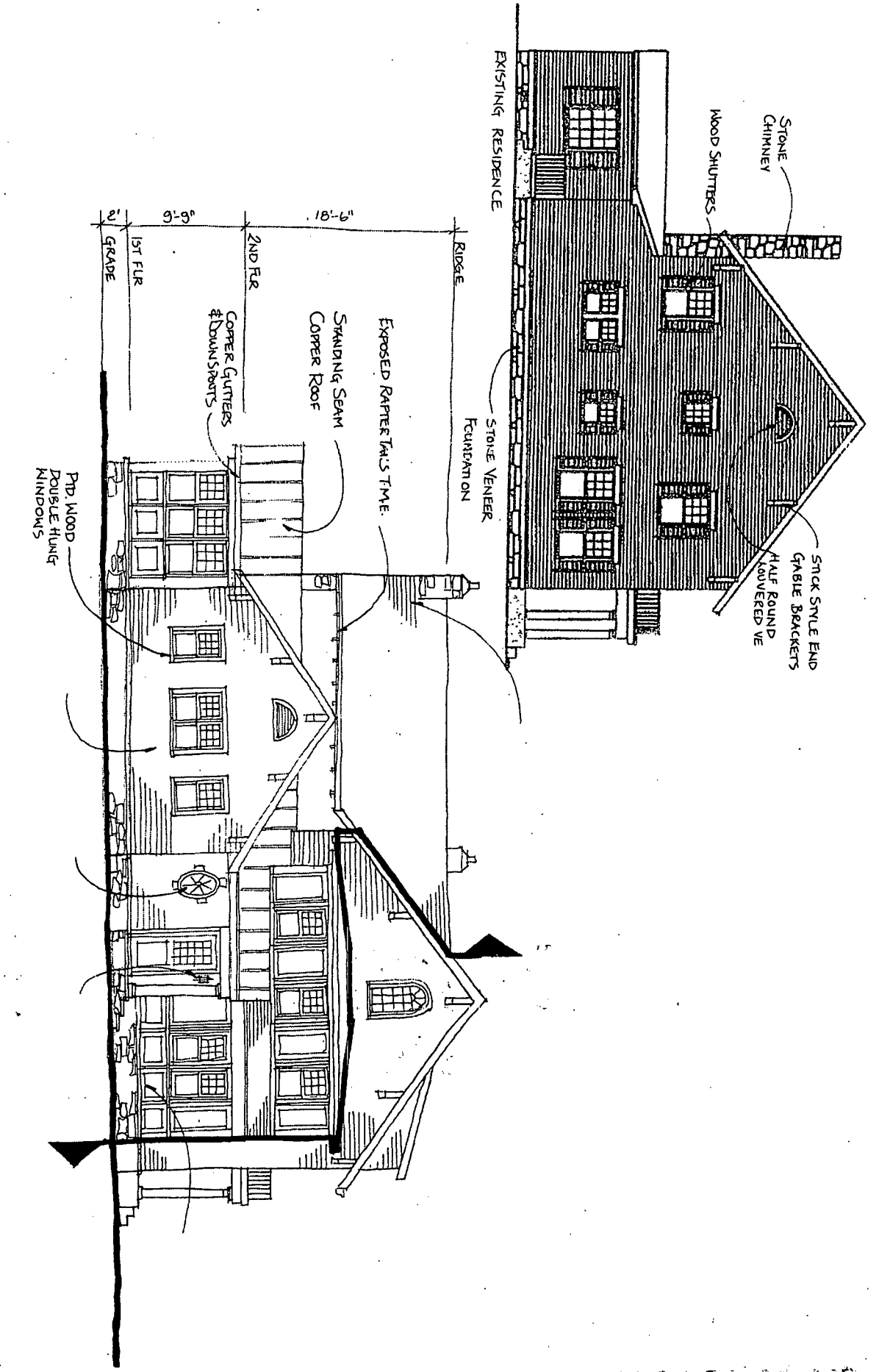
STANDING SEAM  
COPPER ROOF

CORNER GUTTERS  
& DOWNSPOUTS

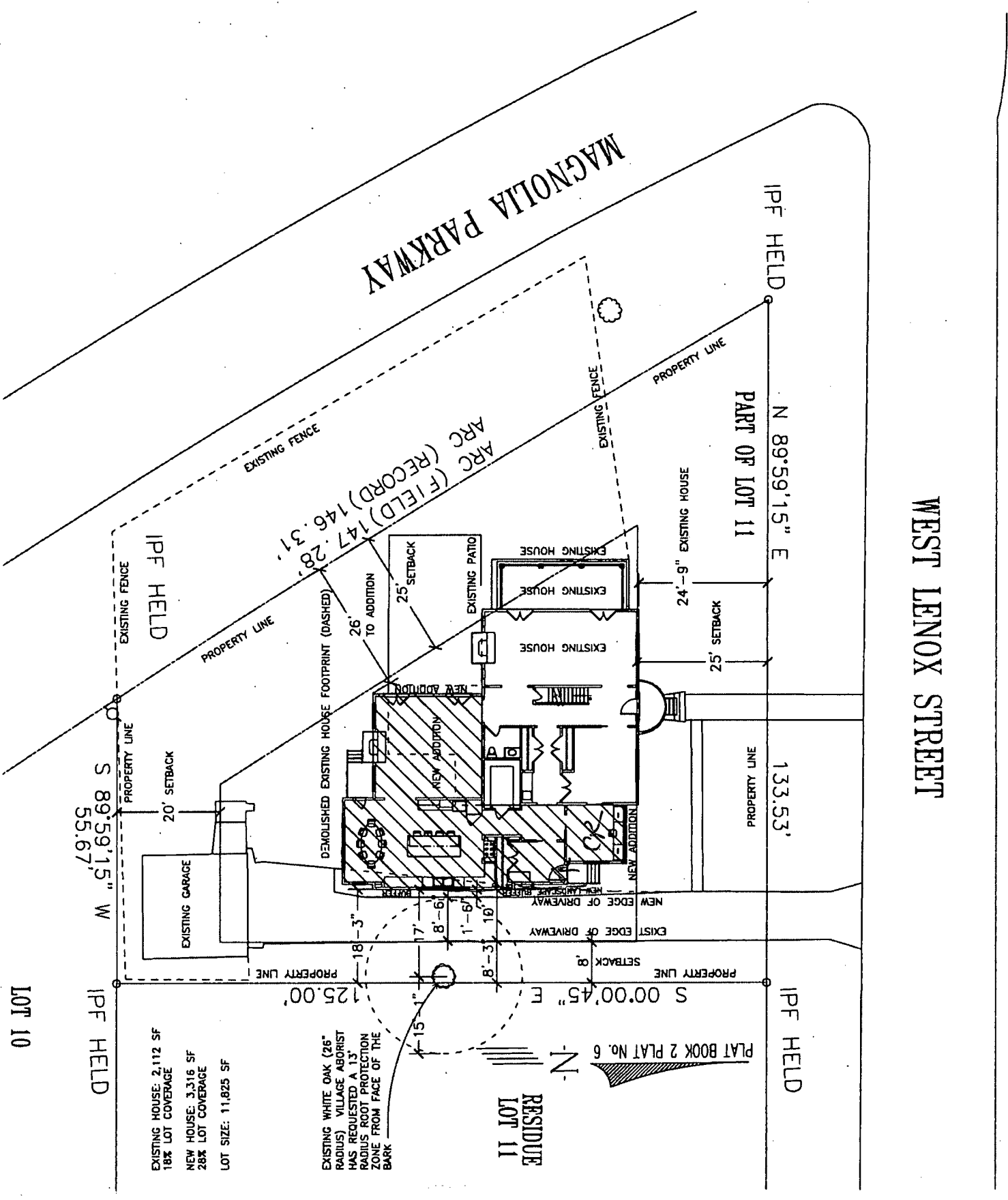
9'-9"  
1ST FLR  
2ND FLR  
GRADGE

PFD. WOOD  
DOUBLE HUNG  
WINDOWS

RIDGE



REVISED



WEST LENOX STREET

MAGNOLIA PARKWAY

IPF HELD

PART OF LOT 11

N 89.59'15" E

24'-9" EXISTING HOUSE

25' SETBACK

133.53'

PROPERTY LINE

IPF HELD

EXISTING FENCE

EXISTING FENCE

IPF HELD

EXISTING FENCE

S 89.59'15" W

55.67'

IPF HELD

LOT 10

EXISTING HOUSE: 2,112 SF  
18% LOT COVERAGE

NEW HOUSE: 3,316 SF  
28% LOT COVERAGE

LOT SIZE: 11,825 SF

EXISTING WHITE OAK (26" RADIUS) VILLAGE ARBORIST HAS REQUESTED A 13' RADIUS ROOT PROTECTION ZONE FROM FACE OF THE BARK

RESIDE LOT 11

N

PLAT BOOK 2 PLAT No. 6

S 00.00'45" E

PROPERTY LINE

SETBACK

NEW EDGE OF DRIVEWAY

EXIST. EDGE OF DRIVEWAY

NEW LANDSCAPE BARRIER

NEW ADDITION

NEW ADDITION

DEMISED EXISTING HOUSE FOOTPRINT (DASHED)

26' TO ADDITION

25' SETBACK

EXISTING PATIO

EXISTING HOUSE

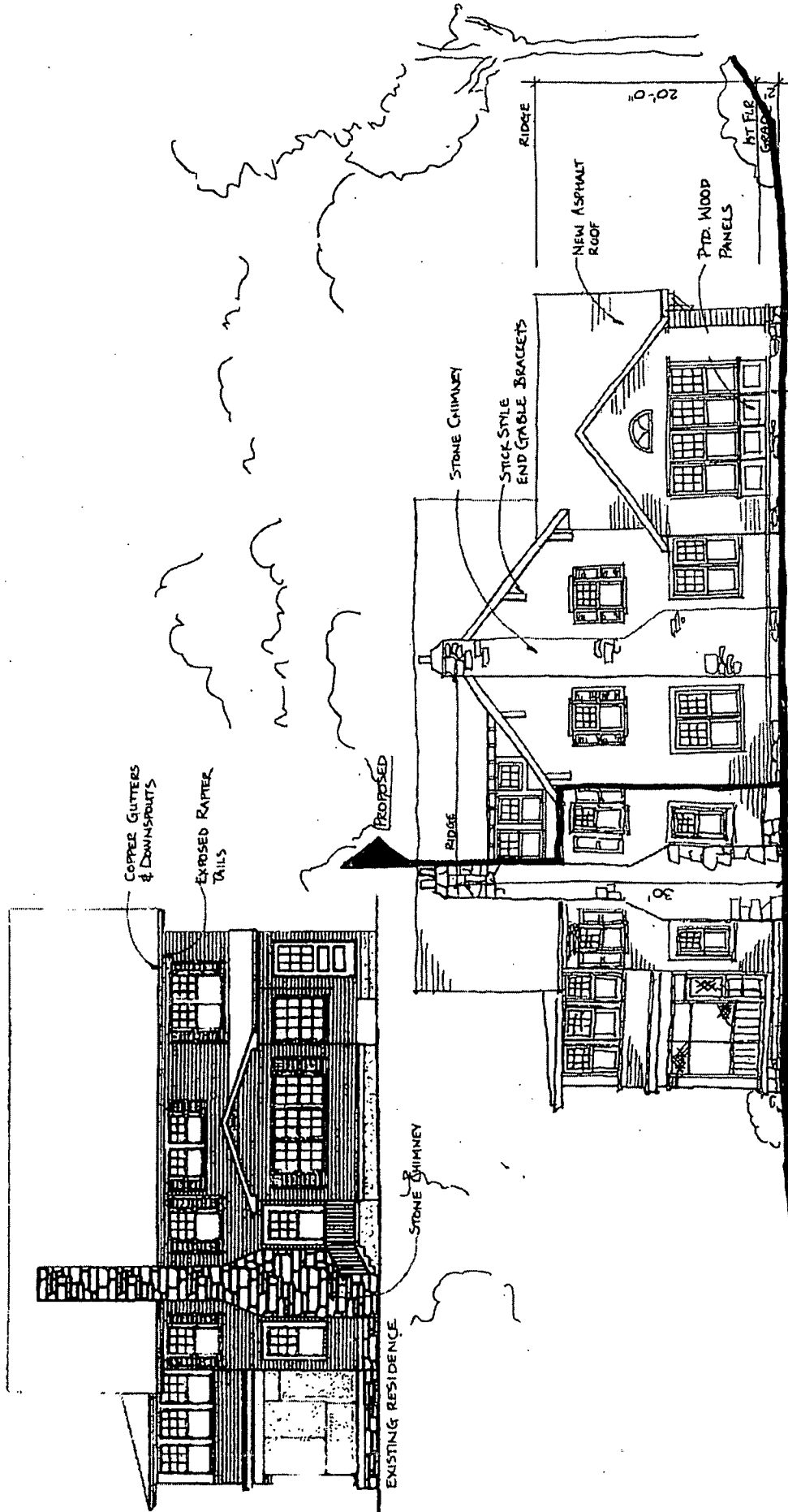
EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

REVISED



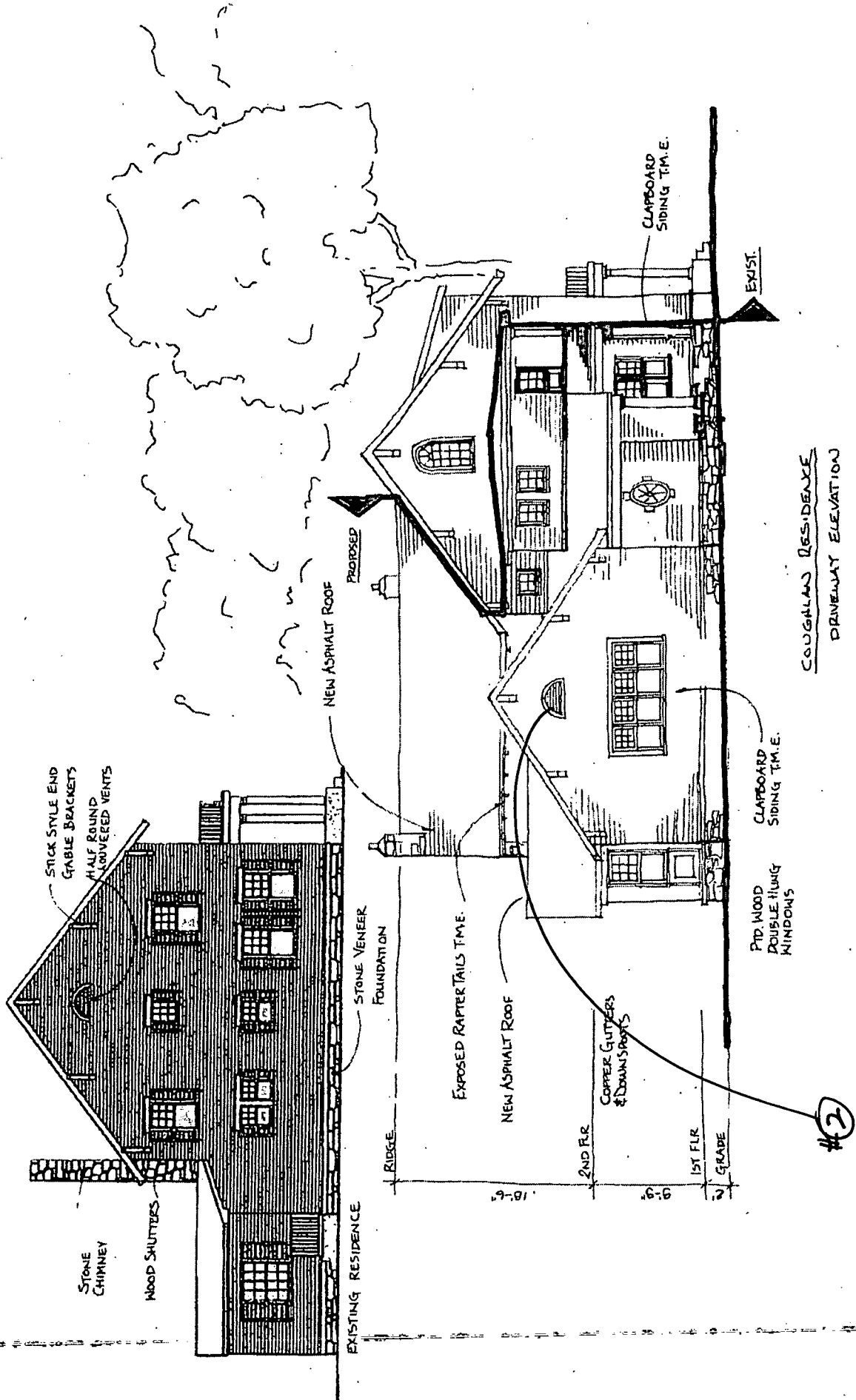
COUGHLIN RESIDENCE  
REAR ELEVATION

01-18-12

1/8" = 1'-0"

19 21  
20 22  
21 23

REVISED

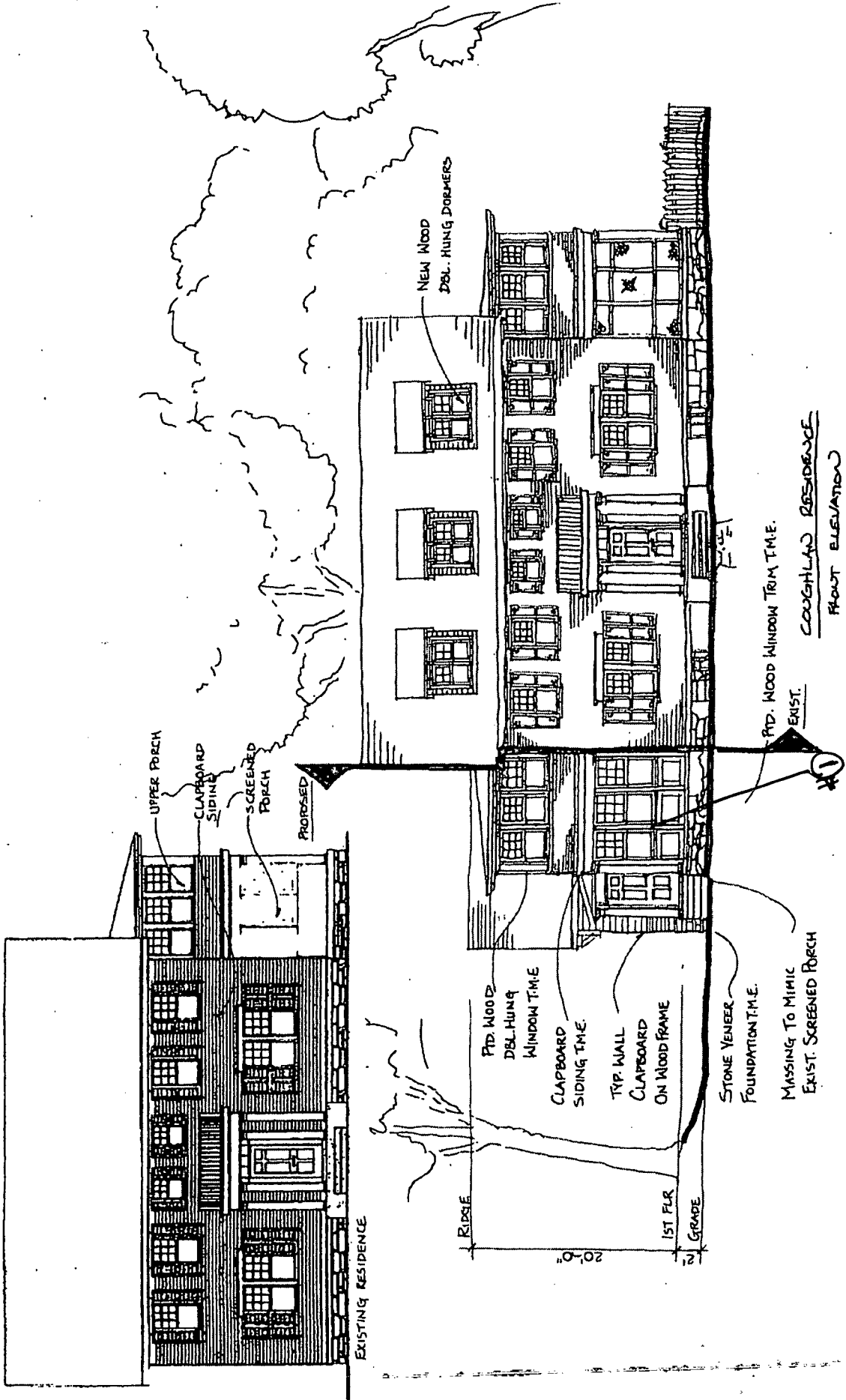


COUGHLIN RESIDENCE  
DRIVEWAY ELEVATION

01-18-12

1/8" = 1'-0"

REVISED



01-18-12 1/8" = 1'-0"

Rodriguez:

Addition is expanding too close to the tree on the adjacent property  
Breakfast room section projects too far out and interferes with the park-like setting of the historic district

Width and projection of the kitchen is too much and should be shortened

Width of the proposed drive aisle is not practical

Heiler:

Concurs with staff that many of the wooden panels should be replaced with windows to make the design more symmetrical

Addition extends too far toward adjacent property. The massing of the 1 story addition, plus driveway creates a problem on the left side

Does not support dormers. Shed dormers are incompatible

Treseder:

A smaller addition would be preferable

Supports proposed design applying moderate scrutiny standard

Supports panel installation

Replace driveway with permeable pavers

Kirwin:

Addition needs to be pulled off the side property line (i.e., tree and driveway preservation)

Concerned with various different roof pitches and materials are adding to the collective quality of all the different materials and how this is inconsistent with the historic massing

Supports panels and dormers

Return for HAWP it is expected that the addition will be pulled back to give a more believable driveway toward the back of the house, provide additional relief to the tree and help address concerns raised about architectural detailing

Whitney:

Does not support dormers

Reduce depth of side addition to preserve driveway

Swift:

Reduce depth of side addition

Coratola:

Supports panels in lieu of windows

Supports size of addition

Side addition needs to be pulled in a maximum of 1'

Breakfast room addition section is proportionally too long

Supports dormers

Miles:

(Side addition) kitchen dimension is too large and effects the front elevation. Needs to be pulled in to also preserve driveway.